



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 9/11/2018

| Property Information | |
|----------------------|--|
| Folio: | 03-4120-017-1110 |
| Property Address: | 4025 PONCE DE LEON BLVD Coral Gables, FL 33146-1417 |
| Owner | BUSINESS & LEISURE INC |
| Mailing Address | 999 PONCE DE LEON BLVD #1135 CORAL GABLES, FL 33134 USA |
| PA Primary Zone | 6600 COMMERCIAL - LIBERAL |
| Primary Land Use | 2719 AUTOMOTIVE OR MARINE : AUTOMOTIVE OR MARINE |
| Beds / Baths / Half | 0 / 2 / 0 |
| Floors | 1 |
| Living Units | 0 |
| Actual Area | 8,490 Sq.Ft |
| Living Area | Sq.Ft |
| Adjusted Area | 8,490 Sq.Ft |
| Lot Size | 7,500 Sq.Ft |
| Year Built | 1948 |



| Assessment Information | | | |
|------------------------|-------------|-------------|-------------|
| Year | 2018 | 2017 | 2016 |
| Land Value | \$1,425,000 | \$1,275,000 | \$1,275,000 |
| Building Value | \$245,552 | \$248,500 | \$239,033 |
| XF Value | \$21,789 | \$22,047 | \$22,304 |
| Market Value | \$1,692,341 | \$1,545,547 | \$1,536,337 |
| Assessed Value | \$1,608,971 | \$1,462,701 | \$1,329,729 |

| Benefits Information | | | | |
|----------------------|----------------------|----------|----------|-----------|
| Benefit | Type | 2018 | 2017 | 2016 |
| Non-Homestead Cap | Assessment Reduction | \$83,370 | \$82,846 | \$206,608 |

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

| Short Legal Description |
|---|
| CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 7 8 & 9 BLK 5 LOT SIZE 75.000 X 100 74R-64307 |

| Taxable Value Information | | | |
|---------------------------|-------------|-------------|-------------|
| | 2018 | 2017 | 2016 |
| County | | | |
| Exemption Value | \$0 | \$0 | \$0 |
| Taxable Value | \$1,608,971 | \$1,462,701 | \$1,329,729 |
| School Board | | | |
| Exemption Value | \$0 | \$0 | \$0 |
| Taxable Value | \$1,692,341 | \$1,545,547 | \$1,536,337 |
| City | | | |
| Exemption Value | \$0 | \$0 | \$0 |
| Taxable Value | \$1,608,971 | \$1,462,701 | \$1,329,729 |
| Regional | | | |
| Exemption Value | \$0 | \$0 | \$0 |
| Taxable Value | \$1,608,971 | \$1,462,701 | \$1,329,729 |

| Sales Information | | | |
|-------------------|-----------|--------------|---|
| Previous Sale | Price | OR Book-Page | Qualification Description |
| 06/11/2012 | \$700,000 | 28178-1118 | Transfer where the sale price is verified to be part of a package or bulk sale. |
| 09/01/1974 | \$143,500 | 00000-00000 | Sales which are qualified |
| 03/01/1974 | \$110,000 | 00000-00000 | Sales which are qualified |

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

CITY'S

EXHIBIT

4025 PONCE DE LEON BOULEVARD



4025 Ponce de Leon Boulevard

Owner (Registered Agent)

Business and Leisure, Inc.

c/o Gonzalez & Rodriguez, P.L.

Registered Agent

999 Ponce de Leon Blvd, PH 1135

Coral Gables, FL 33134-3066



Home Citizen Services Business Services Back to Coral Gables.com

Permits and Inspections: Search Results

Logon Help Contact

New Permit Search

Permit Search Results

| Permit#: | App. Date | Street Address | Type | Description | Status | Issue Date | Final Date | Fees Due |
|---------------|------------|-------------------------|----------------------------|---|----------|------------|------------|----------|
| BL-19-01-3122 | 01/11/2019 | 4025 PONCE DE LEON BLVD | ROOF / LIGHT WEIGHT CONC | ROOF & FASCIA BOARD REPAIR \$4,000 | issued | 01/14/2019 | | 0.00 |
| CE-10-07-5107 | 07/27/2010 | 4025 PONCE DE LEON BLVD | CODE ENF LIEN SEARCH | LIEN SEARCH (4025 PONCE DE LEON BLVD.) | final | 07/27/2010 | 07/27/2010 | 0.00 |
| CE-11-10-5960 | 10/04/2011 | 4025 PONCE DE LEON BLVD | CODE ENF LIEN SEARCH | LIEN SEARCH | final | 10/06/2011 | 10/06/2011 | 0.00 |
| CE-12-05-8114 | 05/10/2012 | 4025 PONCE DE LEON BLVD | CODE ENF LIEN SEARCH | LIEN SEARCH | final | 05/11/2012 | 05/11/2012 | 0.00 |
| PU-13-07-0680 | 07/10/2013 | 4025 PONCE DE LEON BLVD | PUBLIC RECORDS SEARCH | REQ COPY OF VARIOUS PERMITS | final | 07/12/2013 | 07/12/2013 | 0.00 |
| PU-13-07-1271 | 07/18/2013 | 4025 PONCE DE LEON BLVD | PUBLIC RECORDS SEARCH | REQ COPY OF VARIOUS PERMITS | final | 07/22/2013 | 07/22/2013 | 0.00 |
| PU-18-08-4045 | 08/23/2018 | 4025 PONCE DE LEON BLVD | PUBLIC RECORDS SEARCH | copyof 4001-4025 ponce de leon on cd | pending | | | 0.00 |
| RC-18-09-2239 | 09/10/2018 | 4025 PONCE DE LEON BLVD | BLDG RECERT / CRB | BUILDING RECERTIFICATION (1948) CONSTRUCTION REGULATION BOARD CASE #19-8390 AND UNSAFE STRUCTURES FEE | issued | 09/13/2018 | | 600.00 |
| ZV-11-02-5410 | 02/16/2011 | 4025 PONCE DE LEON BLVD | ZONING LETTER VERIFICATION | ZONING VERIFICATION LETTER FOR THE SUBJECT PROPERTY LOCATED AT 4025 PONCE DE LEON BLVD. | approved | | | 0.00 |

The City's online services are protected with an [SSL encryption certificate](#). For technical assistance, please call 305-569-2448 (8am-5pm, M-F).

CITY'S

EXHIBIT

2



City of Coral Gables Fire Department

Fire Prevention Division

2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

| | | | |
|-----------------------|--|-------------------------|---|
| Occupant Name: | INFINITI OF CORAL GABLES | Inspection Date: | 9/28/2018 |
| Address: | 4001 Ponce De Leon Boulevard Coral Gables | InspectionType: | AA-Tactical, Business (Annual Fire Inspection) |
| Suite: | | Inspected By: | Leonard Veight 305-460-5577 lveight@coralgables.com |
| | | Occ. Sq. Ft.: | 21575 |
| | | Occupant Number: | 230007 |

No violations noted at this time.

Company Representative:


 Peter Vicioso
 9/28/2018 2:31:20 PM
 Signature valid only in mobile-eyes documents

Inspector:

Peter Vicioso
 9/28/2018

 Leonard Veight
 9/28/2018 5:31:20 PM
 Signature valid only in mobile-eyes documents

Leonard Veight
9/28/2018

CITY'S

EXHIBIT

3



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

March 6, 2018

VIA CERTIFIED MAIL

91 7108 2133 3932 5853 8368

BUSINESS & LEISURE INC
909 PONCE DE LEON BLVD #1135
CORAL GABLES, FL 33134

RE: 4025 PONCE DE LEON BLVD
FOLIO # 0341200171110
Recertification of Building 40 Years or Older

To whom it may concern:

As per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1948. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a completed Recertification Report ("Report") must be submitted to this Department within ninety (90) calendar days from the date of this letter. A completed Report includes the Building Structural Report, the Building Electrical Report, cover letter(s) stating the structure meets the electrical and structural requirements for recertification, the Parking Lot Illumination Standards Form and the Parking Lot Guardrails Requirements Form; no additional documents or photographs are necessary. Note all paperwork submitted must be the original signed and sealed documents (no copies). Submittal of the Report does not constitute recertification; it must be approved by this Department.

In the event repairs or modifications are found to be necessary, the Building Official is able to grant an extension of one hundred fifty (150) calendar days from the date of this letter to obtain the necessary permits and perform the repairs. The structure will be recertified once a revised Report is submitted and approved, and all required permits are closed.

The Architect or Engineer may obtain the required Form, "Minimum Inspection Procedural Guidelines for Building Recertification," from the following link: http://www.miamidade.gov/pa/propertyrecertification.asp. The Recertification Report fee of \$380.63 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays please submit in person in order to calculate the fees accordingly.

Failure to submit the required Report within the allowed time will result in declaring the structure unsafe and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The Department's working hours are Monday through Friday, 7:30am to 3:30pm, tel: (305) 460-5235.

Thank you for your prompt attention to this matter.

Handwritten signature of Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S Composite
EXHIBIT 4

USPS Tracking® FAQs > (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Track Another Package +

Tracking Number: 9171082133393258538368

Remove X

Your item has been delivered and is available at a PO Box at 9:16 am on April 2, 2018 in MIAMI, FL 33134.

 **Delivered**

April 2, 2018 at 9:16 am
Delivered, PO Box
MIAMI, FL 33134

Feedback

Tracking History

April 2, 2018, 9:16 am

Delivered, PO Box
MIAMI, FL 33134

Your item has been delivered and is available at a PO Box at 9:16 am on April 2, 2018 in MIAMI, FL 33134.

April 1, 2018

In Transit to Next Facility

March 31, 2018, 10:19 pm

Departed USPS Regional Facility
MIAMI FL DISTRIBUTION CENTER

March 26, 2018, 5:25 pm

Unable to deliver item, problem with address

MIAMI, FL 33134

March 7, 2018, 9:47 pm

Arrived at USPS Regional Facility

MIAMI FL DISTRIBUTION CENTER

Product Information



See Less ^

Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

FAQs (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Feedback

The easiest tracking number is the one you don't have to know.

With Informed Delivery®, you never have to type in another tracking number. Sign up to:

- See images* of incoming mail.
- Automatically track the packages you're expecting.
- Set up email and text alerts so you don't need to enter tracking numbers.
- Enter USPS Delivery Instructions™ for your mail carrier.

Sign Up

([https://reg.usps.com/entreg/RegistrationAction_input?](https://reg.usps.com/entreg/RegistrationAction_input?app=UspsTools&appURL=https%3A%2F%2Ftools.usps.com%2Fgo%2FTrackConfirmAction?tRef=fullpage&tLc=3&text28777=&tLabels...)

***NOTE:** Black and white (grayscale) images show the outside, front of letter-sized envelopes and mailpieces that are processed through USPS automated equipment.

Feedback



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

June 6, 2018

BUSINESS & LEISURE INC
909 PONCE DE LEON BLVD #1135
CORAL GABLES, FL 33134

RE: 4025 PONCE DE LEON BLVD
FOLIO # 0341200171110
Recertification of Building 40 Years or Older – SECOND NOTICE

Dear Property Owner:

In a certified letter dated March 6, 2018, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a licensed architect or engineer within ninety (90) calendar days certifying the structure meets the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

A completed Report includes: 1) cover letter(s) stating the structure meets the electrical and structural requirements for recertification from a Florida Registered Architect or Professional Engineer that inspects said building, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form; no additional documents or photographs are necessary. Note all paperwork submitted must be the original signed and sealed documents (no copies).

Failure to submit a completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official



The City of Coral Gables

Development Services Department July 10, 2018
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

BUSINESS & LEISURE INC
909 PONCE DE LEON BLVD #1135
CORAL GABLES, FL 33134

RE: Recertification of Building 40 Years or Older – **FINAL NOTICE**
4025 PONCE DE LEON BLVD
Folio # 0341200171110

Dear Property Owner:

In a certified letter dated March 6, 2018, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). A Second Notice, dated and mailed June 6, 2018, informed you it was necessary to submit a completed Report prepared by a licensed architect or engineer within thirty (30) calendar days certifying the structure meets (or does not meet) the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

As of this date, the completed Report has not been submitted and the **structure remains unsafe** due to non-compliance. Please be advised the matter will be forwarded to the City's Construction Regulation Board ("Board") and a \$600.00 Administrative Fee will be imposed once the Case is scheduled. The Board may impose additional fines of \$250.00 for each day the violation continues, may also enter an order of revocation of the Certificate of Occupancy and/or demolition and assess all costs of the proceedings along with the cost of demolition and any other required action for which the City shall have a lien against the Property Owner and the Property.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official



CFN 2012R0476879
 OR Bk 28178 Pgs 1118 - 1120; (3pgs)
 RECORDED 07/07/2012 09:01:49
 DEED DOC TAX 4,200.00
 SURTAX 3,150.00
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

PREPARED BY AND WHEN
 RECORDED RETURN TO:

The Lumpkin Law Firm P.A.
 Gables International Plaza, 5th Floor
 2655 Le Jeune Road
 Coral Gables, Florida 33134
 Attention: Peyton White Lumpkin, Esq.

Folio Number: 03-4120-017-1110

WARRANTY DEED

THIS WARRANTY DEED made as of the 11th day of June, 2012, by Gables Lincoln-Mercury, Inc., a Florida corporation, as Grantor, whose address is 558 Loretto Avenue, Coral Gables FL 33146, to Business and Leisure, Inc., a Florida corporation, as Grantee, whose address is 999 Ponce De Leon Blvd, Suite 1135, Coral Gables, FL 33134.

WITNESSETH:

The Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt and sufficiency whereof is hereby acknowledged, grants, bargains and sells to Grantee, and Grantee's legal representatives, successors and assigns forever, that certain real property, situated in Miami-Dade County, Florida as more particularly described on Exhibit A attached hereto and made a part hereof by this reference.

SUBJECT TO taxes and assessments for the year 2012 and all subsequent years; all applicable governmental, zoning and land use ordinances, restrictions, and prohibitions and other requirements imposed by governmental authority; and easements of record.

GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

(Signature appears on next page)

PK

IN WITNESS WHEREOF, the Grantor has caused this Warranty Deed to be executed on the day and year first above written.

WITNESSED BY:

GRANTOR

By: [Signature]
Name: THOMAS D. LUFRINO, II

Gables Lincoln-Mercury, Inc., a Florida corporation

By: [Signature]
Name: Danielle L. Smith

By: [Signature]
Paul Schaefer, Vice President

(corporate seal)

STATE OF FLORIDA)
COUNTY OF DUDE)

The foregoing instrument was acknowledged before me this 11th day of JUNE, 2012, by PAUL T. SCHAEFER who acknowledged before me that s/he executed the foregoing instrument as V.P. of Gables Lincoln-Mercury, Inc., a Florida corporation. Personally Known X OR Produced Identification _____; Type of Identification Produced _____

WITNESS my hand and official seal at MIAMI, Florida, this 11th day of JUNE, 2012.



Thomas D. Lumpkin, II
COMMISSION #EE 054395
EXPIRES: JAN. 22, 2015
WWW.AARONNOTARY.COM

[Signature]
NOTARY PUBLIC

My Commission Expires:

(NOTARY SEAL)

Exhibit A

Legal Description Of Real Property

Lots 7, 8, and 9 in Block 5 of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida

PK.



DIVISION of
CORPORATIONS
an official State of Florida website

[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation
BUSINESS AND LEISURE, INC.

Filing Information

| | |
|----------------------|--------------|
| Document Number | P12000042910 |
| FEI/EIN Number | 33-1224192 |
| Date Filed | 05/04/2012 |
| Effective Date | 12/09/2011 |
| State | FL |
| Status | ACTIVE |
| Last Event | CONVERSION |
| Event Date Filed | 05/04/2012 |
| Event Effective Date | NONE |

Principal Address

999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Mailing Address

999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Registered Agent Name & Address

GONZALEZ & RODRIGUEZ, PL
999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Officer/Director Detail

Name & Address

Title P

FERNANDEZ, M
999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Title T

FERNANDEZ, R
999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Title S

FERNANDEZ, H
999 PONCE DE LEON BLVD., PH 1135
CORAL GABLES, FL 33134

Annual Reports

| Report Year | Filed Date |
|-------------|------------|
| 2016 | 03/02/2016 |
| 2017 | 01/10/2017 |
| 2018 | 01/13/2018 |

Document Images

| | |
|---|--|
| 01/13/2018 -- ANNUAL REPORT | View image in PDF format |
| 01/10/2017 -- ANNUAL REPORT | View image in PDF format |
| 03/02/2016 -- ANNUAL REPORT | View image in PDF format |
| 02/21/2015 -- ANNUAL REPORT | View image in PDF format |
| 01/12/2014 -- ANNUAL REPORT | View image in PDF format |
| 02/09/2013 -- ANNUAL REPORT | View image in PDF format |
| 05/04/2012 -- Domestic Profit | View image in PDF format |

Garcia, Belkys

From: Garcia, Belkys
Sent: Thursday, November 15, 2018 9:32 AM
To: 'Felix Tong'
Cc: Lopez, Manuel
Subject: RE: 40-Year Certification Extension Request - 4025 Ponce de Leon Blvd

Hello Mr. Tong,

I spoke with the Building Official and he has granted the last administrative extension of 60 days. Please note the deadline to recertify the structure is January 15, 2019.

Thank you,

Belkys Garcia

City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: 305.460.5229



From: Felix Tong [mailto:felix@tcgengineers.com]
Sent: Thursday, November 15, 2018 9:26 AM
To: Garcia, Belkys <bgarcia@coralgables.com>
Subject: 40-Year Certification Extension Request

4025 Ponce de Leon
Coral Gables, FL 33134
Folio: 03-4120-017-1110

Re: 40-Year Re-certification Extension Request.

Mrs. Garcia:

It was a pleasure talking to you earlier today.

As per our conversation, we were retained by the owner/owner representative of the above-listed property to perform a 40 Yr. Certification. On August 7th, 2018 we requested, and were granted an extension of 60 days to complete the minor maintenance work required to complete the 40-year certification. However, during the

course of the work, a section with hidden decay in the roof wood framing was found that will require more extensive repairs. The owner is currently in the process of requesting bids to perform the repairs required.

It is our understanding the current extension expires tomorrow November 16th, 2018. At this point, we request an additional extension of 180 days to allow the owner the time required to select a contractor, prepare permit documents, process the required permit documents and complete the repairs required to comply with the 40 Yr Certification.

Please contact me at 786-290-8664 if you have questions or require additional information.

Felix Tong, P.E.
Tong Group Inc.
T: 305-551-5644
F: 786-866-9377
1350 Red Road, Suite 209
Miami, FL 33144

PS: A copy a Signed & Sealed letter to this effect is attached to this message.



TONG GROUP

1350 SW 57th Ave, Suite #209, Miami, FL 33144
PHONE: (305) 551-5644 FAX: (786) 866-9377

Tuesday, November 11, 2018.

Building Division
City of Coral Gables
405 Biltmore Way, 4th floor
Coral Gables, FL 33134

RE:

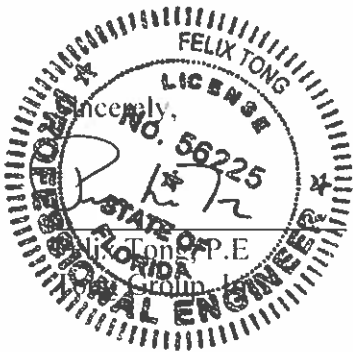
4025 Ponce de Leon
Coral Gables, FL 33134
Folio: 03-4120-017-1110

Re: 40-Year Re-certification Extension Request.

We were retained by the owner/owner representative of the above listed property to perform a 40 Yr. Certification. On August 7th, 2018 we requested, and were granted an extension of 60 days to complete the minor maintenance work required to complete the 40-year certification. However, during the course of the work hidden decay of the roof wood framing was found that will require more extensive repairs. The owner is currently in the process of requesting bids to perform the repairs required. The current time extension expires tomorrow November 16th, 2018.

At this point we request an additional extension of 180 days to allow the owner select a contractor, prepare permit and process the required permit documents and complete the repairs required to comply with the 40 Yr Certification.

Please contact me at 786-290-8664 if you have questions or require additional information.





The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

September 18, 2018

Business & Leisure Inc.
999 Ponce de Leon Boulevard #1135
Coral Gables, Florida 33134

ADDRESS: 4025 Ponce de Leon Boulevard
PROPERTY FOLIO #: 03-4120-017-1110

Dear Property Owner/Manager:

This Department has received the Building Recertification Report ("Report") you submitted for the above property address. Please note the Report indicates remedial repairs must be done to the structure in order for it to meet minimum requirements stipulated for safe occupancy as prescribed in the Miami-Dade County Code, Section 8-11.

By these means, I am granting you sixty (60) calendar days from the date of this letter to provide a new, completed and revised Recertification Report. Please note we **will not be able to grant additional extensions**; therefore, repairs to comply with the recertification criteria shall take place during these sixty (60) calendar days.

If you have any questions I can be reached at 305-460-5242.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official



TONG GROUP

1350 SW 57th Ave, Suite #209, Miami, FL 33144
PHONE: (305) 551-5644 FAX: (786) 866-9377

*up 1/15/19
30 day extension*

January 15th, 2019

Building Division
City of Coral Gables
405 Biltmore Way, 4th floor
Coral Gables, FL 33134

RE:

4025 Ponce de Leon *Blvd*
Coral Gables, FL 33134
Folio: 03-4120-017-1110 *# RC18092239*

Re: 40-Year Re-certification Extension Request

This letter is being issued as a clarification to the Extension Request for the 40-Year Certification period of the above-listed property issued by our office on January 11th, 2019.

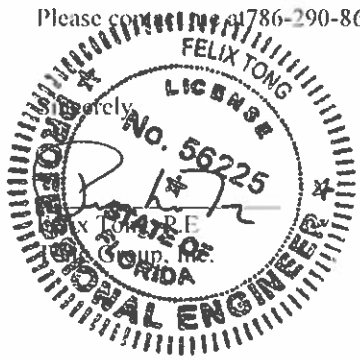
Please note that the owner representative in charge of completing the repairs required for re-certification of the building has already completed approximately 90% of the work. However, during the month of December, concealed roof damage areas were exposed during the repair of a portion of the roof overhang soffit on the west side of the building. The repair of the roof soffit was part of the 40-Year Certification repairs required, however, the uncovered concealed roof damage was not.

The owner representative was instructed to repair the exposed roof damage before proceeding with the soffit repairs. The owner representative has hired a roofing contractor (during the end-of-year holidays) to complete the repairs. On January 14th, the roofing contractor received permit BL-19-01-3122 to perform the roof repairs and replace the damaged soffit. (See attached copy of the Building Permit issued on Jan-14-2019)

We understand two extensions have been already issued to complete the re-certification repairs required in this building. Unfortunately, more time is required to complete the additional roof repairs uncovered during the course of the work. At this point, we are requesting an additional *45-day* certification period extension to complete the remaining repairs instead of the standard 180 days extension previously requested. *30 DAYS*

Thank you in advance for your cooperation and attention to this issue.

Please call (786) 290-8664 if you have questions or require additional information.



Garcia, Belkys

From: Garcia, Belkys
Sent: Monday, February 4, 2019 8:41 AM
To: 'Felix Tong'
Cc: Jonathan A. Solomon; Robert Avison
Subject: RE: 4025 Ponce De Leon - Bld Dept-40-Yr Certification Extension Request (Clarification) #4 (S&S).pdf

Good morning,

I have spoken to the Building Official and he has requested for the matter to be forwarded to the Construction Regulation Board for review. The owner and/or legal representative can request an extension at the Hearing, which is scheduled for Monday, March 11, 2019 at 2:00 pm. The Notice of Hearing will be mailed and the property will be posted.

Let me know if you have any questions.

Thank you,

Belkys Garcia
City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: 305.460.5229



From: Felix Tong [mailto:felix@tcgengineers.com]
Sent: Thursday, January 31, 2019 2:13 AM
To: Garcia, Belkys <bgarcia@coralgables.com>
Cc: Jonathan A. Solomon <jonathan@danconst.com>; Robert Avison <ravison@iofcg.com>
Subject: Re: 4025 Ponce De Leon - Bld Dept-40-Yr Certification Extension Request (Clarification) #4 (S&S).pdf

CAUTION: External email. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Belkis,

On January 15th, a 30-day extension of the re-certification period was granted by the Building Department to complete the repairs required for re-certification of the building. The contractor is currently working on the additional repairs related to the dry rot and water damage in the overhang framing and soffit exposed along the west side of the building at the end of November 2018.

During the execution of the repair work listed above, the contractor removed a section of the ceiling to access a concealed attic space and facilitate the repairs of the damaged roof overhang and soffit. Termite damage was found in the roof trusses beyond the overhang repair area.

We inspected the inspected the exposed area and consider the trusses have to be repaired before the building can be re-certified. The damage trusses are located over existing equipment that can not be moved.

Since the current extension expires in about two weeks, we consider additional time is required to complete the additional repair work. The attached letter and supporting documentation is submitted for your consideration and to request this additional extension to the re-certification period.

Please contact us if you have any questions or require additional information.

Thanks.

Felix Tong, P.E.
Tong Group, Inc.
1350 SW 57th Ave, Suite #209
Miami, Florida 33144
T: 305-551-5644
E: felix@tcgenineers.com

Sent with Mailcastr

On Tue, Jan 15, 2019 at 11:41 AM Felix Tong <felix@tcgenineers.com> wrote:

Belkis,

As per our phone conversation earlier today, we prepared and submitted the attached letter clarifying our request for the extension of the 40-year certification period for the building listed above.

Please note that 90% of the required repairs are already completed.

The additional time requested is required to complete repairs to concealed areas of the roof that were exposed during the course of the work. A permit to complete the additional roof repairs was issued by the Building Department on Monday (yesterday).

Please review the attached letter and call us if you have questions or require additional information.

Thank you.

Felix Tong, P.E.
Tong Group, Inc.
1350 SW 57th Ave, Suite #209
Miami, Florida 33144
T: 305-551-5644
E: felix@tcgenineers.com

Sent with Mailcastr

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES.
Petitioner,

Case No. 19-8390

vs.

BUSINESS and LEISURE, INC.
C/O GONZALEZ & RODRIGUEZ, P.L.
999 Ponce de Leon Boulevard, Penthouse 1135
Coral Gables, Florida 33134-3066

Return receipt number:

7018 2290 0001 6693 7564

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: February 19, 2019

Re: **4025 Ponce de Leon Boulevard**, Coral Gables, Florida 33146-1417 and legally described as Lot 7 8 & 9, Block 5, of CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4120-017-1110 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-1 86(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134, on March 11, 2019, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.



Belkys Garcia, Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Presentations made to this Board are subject to the City's False Claims Ordinance, Chapter 39 of the City of Coral Gables Code.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Case #: 19-8390

Title of Document Posted: Construction Regulation Board, Notice of Unsafe Structure Violation For Failure To Recertify and Notice of Hearing

I, JOSE PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 4025 Ponce de Leon, ON Feb 19, 2019
AT 11:05 AM Boulevard

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

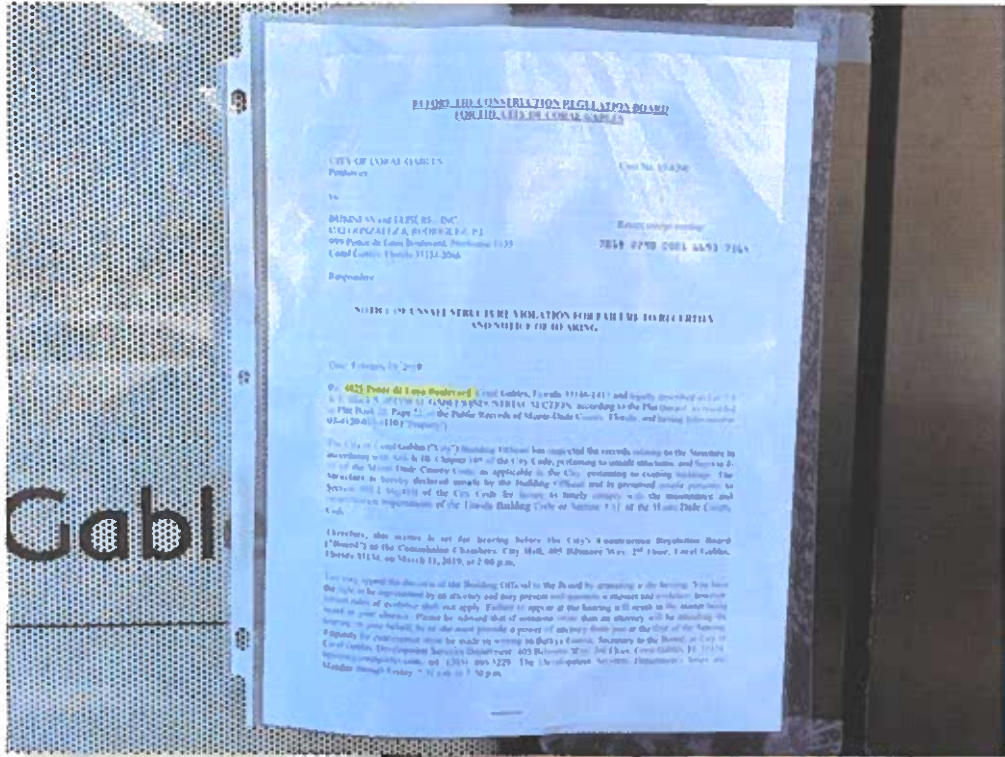
Sworn to (or affirmed) and subscribed before me this 19th day of February, in
the year 2019, by Jose Paz who is personally known to
me.

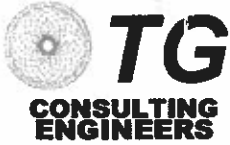
My Commission Expires:



Belkys Garcia
Notary Public

4025 PONCE DE LEON BOULEVARD





TONG GROUP

10 NW 42nd Avenue, Suite #212, Miami, FL 33126
PHONE: (305) 551-5644 FAX: (786) 866-9377

Tuesday, August 24, 2018.

Building Division
City of Coral Gables
405 Biltmore Way, 4th floor
Coral Gables, FL 33134

RE:

4025 Ponce de Leon
Coral Gables, FL 33134
Folio: 03-4120-017-1110

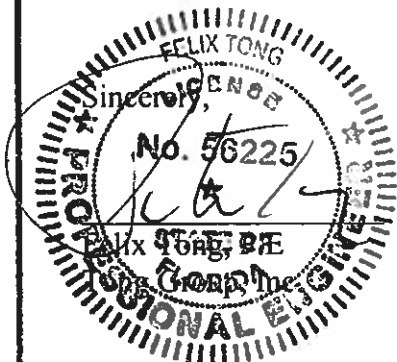
Description: 40-Year Re-certification

We were retained by the owner/owner representative of the above listed property to perform a 40 Yr. Certification. During the course of the inspection work areas were identified in the building that require minor repairs.

Due to reasons beyond our control the repairs have not be completed at this time.

At this point we request an extension of 90 days to complete the repairs required to comply with the 40 Yr Certification report.

Please contact us at 305-551-5644 if you have questions or require additional information.



MIAMI DADE FORM BUILDING DEPARTMENT

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING'S STRUCTURAL RECERTIFICATION

INSPECTION COMMENCED DATE: 07/30/18

INSPECTION COMPLETED DATE: 07/30/18

INSPECTION DONE BY: Felix Tong
 SIGNATURE: [Signature]
 PRINT NAME: Felix Tong
 TITLE: Structural Engineer
 ADDRESS: 1350 sw 57th Ave, Suite #209



| DESCRIPTION OF STRUCTURE | |
|---|---|
| a. Name of Title: | BUSINESS & LEISURE INC |
| b. Street Address: | 4025 PONCE DE LEON BLVD Coral Gables, FL 33146-1417 |
| c. Legal Description: | CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 7 8 & 9 BLK 5 LOT SIZE 75.000 X 100 74R-64307 |
| d. Owners Name: | BUSINESS & LEISURE INC |
| e. Owner's Mailing Address: | 999 PONCE DE LEON BLVD #1135 CORAL GABLES, FL 33134 |
| f. Folio Number of Building: | 03-4120-017-1110 |
| g. Building Code Occupancy Classification: | 6600 COMMERCIAL USE |
| h. Present Use: | AUTO REPAIR SHOP |
| i. General Description, Type of Construction, Size, Number of Stories, and Special Features | |
| Additional Comment: | |
| | SINGLE STORY BUILDING |
| | |
| | Section #1- CONCRETE BEAM AND COLUMN FRAME SUPPORTING PRECAST DOUBLE T ROOF |
| | INFILLED TIE PERIMETER TIE WALLS |
| | |
| | Section #2- CONCRETE COLUMN AND BEAM FRAME SUPPORTING WOOD JOIST AND PLYWOOD |
| | DECK ROOF |
| | |
| | |

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING'S STRUCTURAL RECERTIFICATION

1. DESCRIPTION OF STRUCTURE

a. Name of Title: **BUSINESS & LEISURE INC**
 b. Street Address **4025 PONCE DE LEON BLVD Coral Gables, FL 33146-1417**
 c. Legal Description: **CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 7 8 & 9 BLK 5 LOT SIZE 75.000 X 100 74R-64307**

d. Owner's Name **BUSINESS & LEISURE INC**
 e. Owner's Mailing Address: **999 PONCE DE LEON BLVD #1135 CORAL GABLES, FL 33134**

f. Building Official Folio Number: **03-4120-017-1110**
 g. Building Code Occupancy Classification: **6600 COMMERCIAL USE**

h. Present Use: **AUTO REPAIR SHOP**

i. General Description, Type of Construction, Size, Number of Stories, and Special Features
SINGLE STORY BUILDING WITH CONCRETE TIE BEAM / TIE COLUMN FRAME SUPPORTING (SECTION#1)
CONCRETE DOUBLE-T ROOF (SECTION#2) PLYWOOD DECK OVER WOOD JOIST ROOF

Additions to original structure:

NONE VISIBLE

2. PRESENT CONDITION OF STRUCTURE

a. General alignment (not good, fair, poor, explain if significant)

- 1. Bulging **NONE SIGNIFICANT NOTED**
- 2. Settlement **NONE SIGNIFICANT NOTED**
- 3. Defections **NOTED**
- 4. Expansion **OBSERVED IN FAIR CONDITION**
- 5. Contraction **NONE SIGNIFICANT NOTED**

b. Portion showing distress (Note, beams, columns, structural walls, floors, roofs, other)

AS NOTED IN THIS REPORT

c. Surface conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration & stains.

FINISHES OBSERVED IN GOOD TO FAIR CONDITION EXCEPT AS NOTED.

d. Cracks – note location in significant members. Identify crack size as HAIRLINE if barely dissemble; FINE if less than 1 mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm.

NONE SIGNIFICANT NOTED

e. General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood.

NONE SIGNIFICANT NOTED

f. Previous patching or repairs **NONE SIGNIFICANT NOTED**

g. Nature of present loading indicate residential, commercial, other estimate magnitude.
COMMERCIAL USE - 100PSF

3. INSPECTIONS

| |
|---|
| a. Date of notice of required inspection 07/10/18 |
| b. Date(s) of actual inspection 07/30/18 |
| c. Name and qualification of individual submitting inspection report: Felix Tong (FL Lic - 56225) |
| d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures NONE DEEMED NECESSARY |
| e. Structural repair note appropriate line: 1. None required XXX 2. Required (describe and indicate acceptance) |

4. SUPPORTING DATA

- a. _____ sheet written data
- b. **SEE APPENDIX** _____ photographs
- c. _____ drawings or sketches:

5. MASONRY BEARING WALL = Indicate good, fair, poor on appropriate lines:

| | |
|---|--|
| a. Concrete masonry units | FAIR CONDITION |
| b. Clay tile or terra cota units | NONE OBSERVED |
| c. Reinforced concrete tile columns | FAIR CONDITION |
| d. Reinforced concrete tile beams | FAIR CONDITION |
| e. Lintel | FAIR CONDITION |
| f. Other type bond beams | NONE NOTED |
| g. Masonry finishes - exterior | |
| 1. Stucco | REPAIRS REQ. ON S.W. CORNER & BLOCKED UP OFF DOOR AT ROOF LEVEL |
| 2. Veneer | NO OBSERVED |
| 3. Paint only | FAIR |
| 4. Other(describe) | N/A |
| h. Masonry finishes - interior | |
| 1. Vapor barrier | NONE VISIBLE |
| 2. Purring and plaster | FAIR |
| 3. Paneling | NONE OBSERVED |
| 4. Paint only | FAIR |
| 5. Other (describe) | N/A |
| i. Cracks: | |
| 1. Location - note beams, columns, other | |
| 2. Description | NO SIGNIFICANT DETERIORATION NOTED-OTHER THAN STUCCO CRACKS NOTED ON S.W. CORNER |
| j. Spalling: | |
| 1. Location - note beams, columns, other | |
| 2. Description | NO SIGNIFICANT DETERIORATION NOTED |
| k. Rebar corrosion-check appropriate line: | |
| 1. None visible | xxx |
| 2. Minor-patching will suffice | |
| 3. Significant-but patching will suffice | |

4. Significant-structural repairs required **NONE REQUIRED AT THIS TIME.**

I. Samples chipped out for examination in spall areas:

- 1. No. **XXX**
- 2. Yes - describe color texture, aggregate, general quality

6. FLOOR AND ROOF SYSTEM

a. Roof:

- 1. Describe (flat, slope, type roofing, type roof deck, condition).
SECTOR #1 MODIFIED BITUMINOUS FLAT ROOF OVER DOUBLE-T PANELS
SECTOR #2 3PLY ROOF OVER PLYWOOD SHEATING

2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of support:
ALL AC EQUIPMENT IN FAIR CONDITION

3. Note types of drains and scupper and condition cooling towers, air condition:
DOWNSPOUTS AND ROOF GUTTERS OBSERVED IN FAIR CONDITION-EXCEPT ON EAST ELEVATION(SEE PHOTO #16)

b. Floor systems(e)

- 1. Describe (type of system framing, material, spans, condition)
CONCRETE SLAB ON GRADE
IN FAIR CONDITION

c. Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.
INTERIOR CEILING TO BE REPAIRED AT LOCATION SHOWN IN PHOTOS(6, 7, 8, 9, 10, 11, 13.)

7. STEEL FRAMING SYSTEM

a. Description
CONCRETE BEAM RETROFIT OBSERVED IN SECTOR #2

b. Exposed Steel - describe condition of paint & degree of corrosion:
CONDITION OBSERVED IS GOOD - ALL ITEMS RECENTLY PAINTED

c. Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection
NONE OBSERVED

d. Elevator sheave beams & connections, and machine floor beams – note condition:
N/A

8. CONCRETE FRAMING SYSTEM

a. Full description of structural system
CONCRETE THE COLUMN AND CONCRETE TIE BEAMS WITH CMU INFILL PANELS

b. Cracking
1. Not significant **XXX**
2. Location and description of members affected and type cracking

c. General condition **FAIR**

d. Rebar corrosion - check appropriate line:

| | |
|---|-----|
| 1. Non visible | XXX |
| 2. Location and description of members affected and type cracking | |
| 3. Significant but patching will suffice | |
| 4. Significant - structural repairs required (describe) | |
| e. Samples chipped out in spall areas: | |
| 1. No. | XXX |
| 2. Yes, describe color, texture, aggregate. general quality: | |
| | |

9. WINDOWS

| | |
|--|---|
| a. Type (Wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other) | FIXED WINDOWS WITH ALUMINUM FRAMES. |
| b. Anchorage – type & condition of fasteners and latches | FASTENERS CONCEALED BY ALUMINUM MULLIONS |
| c. Sealant – type of condition of perimeter sealant & at mullions: | FAIR CONDITION |
| d. Interiors seals – type & condition at operable vents: | FAIR CONDITION |
| e. General condition: | |

10. WOOD FRAMING

| | |
|---|--|
| a. Type – fully describe if mill construction, light construction, major spans, trusses; | <small>SECTION 2: ROOF WOOD TRUSSES 24" @ 24" O.C.</small> |
| b. Note metal fitting i.e., angles, plates, bolts, split pintles, pintles, other, and note condition: | FAIR |
| c. Joints – note if well fitted and still closed: | FAIR |
| d. Drainage – note accumulations of moisture: | NONE SIGNIFICANT VISIBLE AT TIME OF INSPECTION |
| e. Ventilation –note any concealed spaces not ventilated: | FAIR |
| f. Note any concealed spaces opened for inspection | (SECTION #1)N/A (SECTION #2)SMALL CEILING OPENING |

40 Yr - Inspection Support Documentation and Additional Information

Purpose of Visit: 40 Yr Inspection Report

Job Name: Infinity Coral Gables
Job Address: 4025 Ponce de Leon
Coral Gables, FL
Job Number: 2k18042
Owner Name: Business and Leisure Inc
909 Ponce De Leon Blvd, #1135
Coral Gables, FL 33134
NA
Inspector: FT
Report No: 02
Report Date: Ago-14-2018
Visit Date: Jul-30-2018
Visit Time: 2:00 pm
Conditions: Rainy / 87 F

Reported To:

Building Department
City of Coral Gables

Address:

405 Biltmore Way - 3rd Floor
Coral Gables, FL

Folio Number:

03-4120-017-1110

Location/ Description of Work:

40 Yr Certification - Initial Inspection Findings.

Comments:

We performed a site visit the property listed above on 7/30/2018. The purpose of the site visit was to document the present conditions of the property pursuant the 40 year certification of the property.

No comments were issued related to the Electrical 40 Yr- Inspection.

However, during the course of our inspection some maintenance related repairs we noted related to the structural 40-Yr-Certification. Our observations of the repairs required for re-certification are outlined in the photo record attached to this report (Section: Maintenance/Repairs Required for Re-Certification).

We also noticed that a portion of a second level was removed in the southwest corner of the building (Sector 2) . The conditions observed indicate the second level was framed using wood joists and wood decking supported on the existing concrete beams. The removal of the second level does not appear to be part of any recent work. cursory review of the record drawings indicate the last permitted set of structural drawings were approved showing the removal of a portion of the second floor framing and the balance of the conditions as observed in the field. Based on the record drawings review no additional work being required related to the removal of the 2nd level in Sector 2 observed in the field.

Please call us if you have any questions or require additional information.



**CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS
REQUIREMENTS
IN CHAPTER 8C OF THE CODE OF MIAMI-DADE COUNTY**

DATE () Sep-11-2018

Re Case No _____ FYear 2018
Property Address 4025 Ponce DeLeon, Bldg. No.: 4025 Sq. Ft.: (8,490 sq. ft - per tax roll docs)
Building Description: Single Story commercial building - (currently used for auto repair shop.)

The undersigned states the following:

I am a Florida registered professional engineer or architect with an active license. On Sept - 10, 2018, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):

- The parking lot(s) is not adjacent to or abutting a canal, lake or other body of water.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are not protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.



Felix Tong

(Print Name)

Property Information

Aerial View

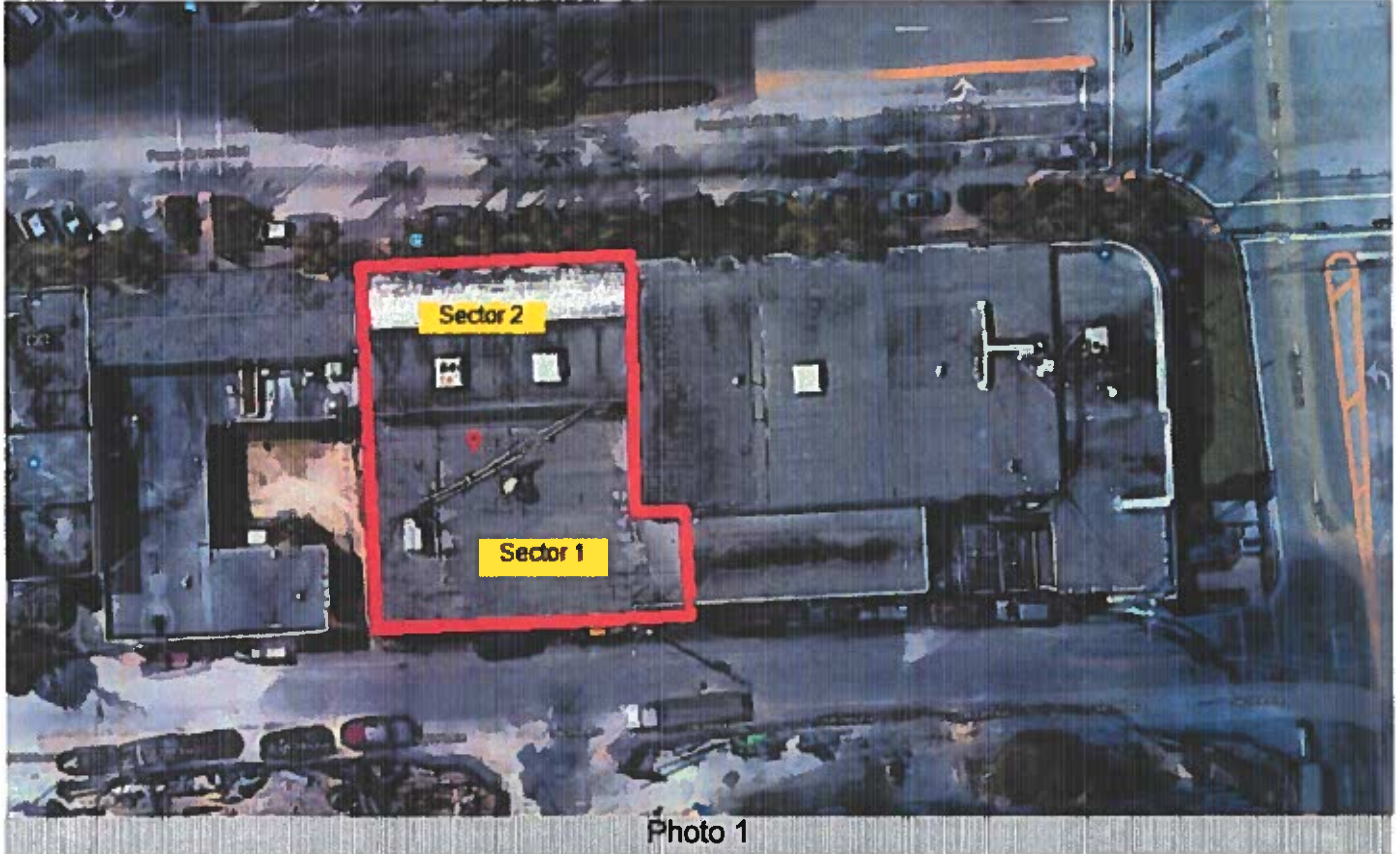


Photo 1
Area of Work

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Masonry Bearing Wall - Repairs



Photo 2

Location:

SE Corner

Comments/Notes:

Repair cracks and replace damaged stucco.



Photo 3

Location:

South Elevation

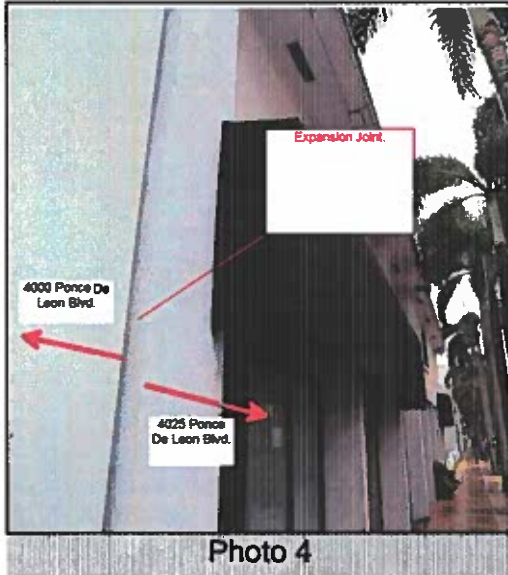
Comments/Notes:

Replace damaged stucco at closed opening.

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Masonry Bearing Wall - Repairs

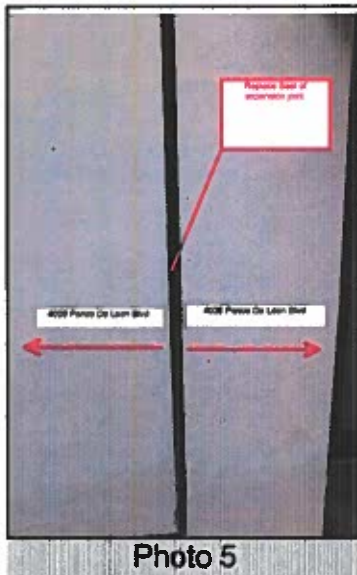


Location:

West Elevation - NW Corner.

Comments/Notes:

Replace seal of expansion joint between buildings.



Location:

West Elevation - NW Corner.

Comments/Notes:

Replace seal of expansion joint between buildings.

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs



Photo 6

Location:

West Elevation

Comments/Notes:

Repair overhang soffit to prevent a falling hazard on sidewalk.



Photo 7

Location:

West Elevation

Comments/Notes:

Repair overhang soffit to prevent a falling hazard on sidewalk.

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs



Photo 8

Location:

West Elevation

Comments/Notes:

Repair overhang soffit to prevent a falling hazard on sidewalk.

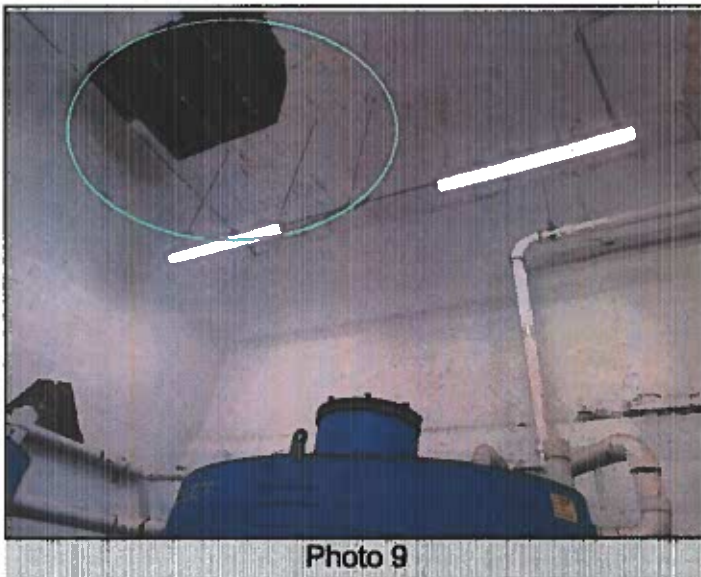


Photo 9

Location:

Interior - SW Corner

Comments/Notes:

Repair ceiling (Falling hazard).

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs

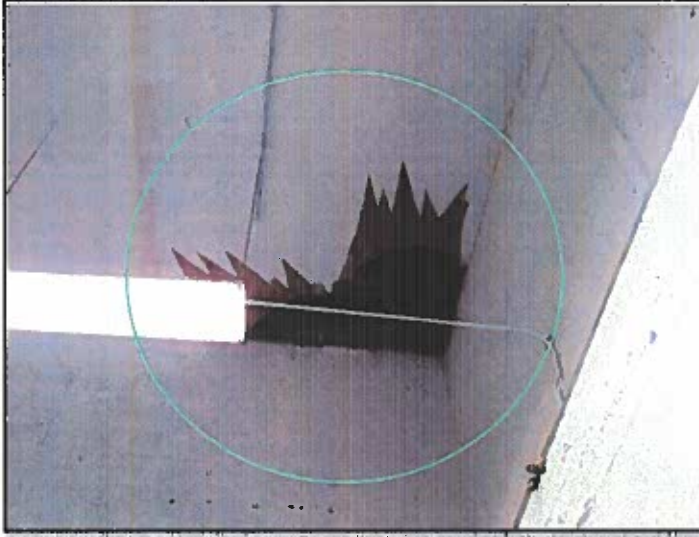


Photo 10

Location:

Interior - SW Corner

Comments/Notes:

Repair ceiling (Falling hazard).



Photo 11

Location:

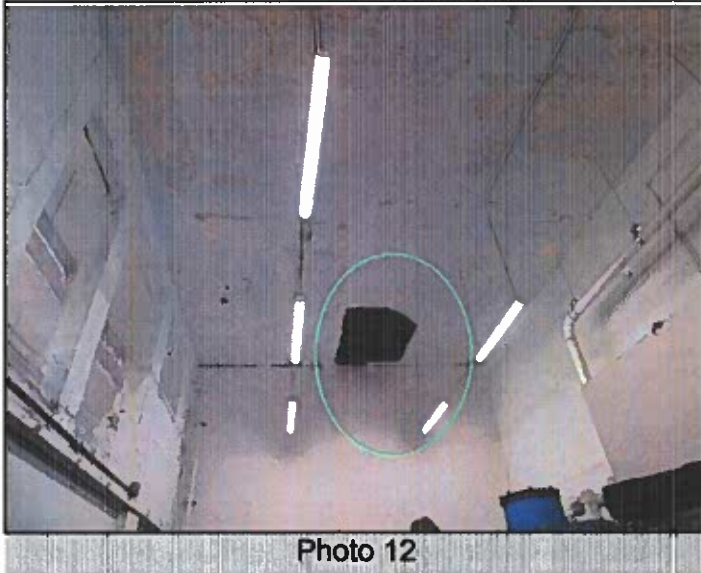
Interior - SW Corner

Comments/Notes:

Repair ceiling (Falling hazard).

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs



Location:

Interior - SW Corner

Comments/Notes:

Repair ceiling (Falling hazard).



Location:

Interior - SE Corner

Comments/Notes:

Repair Roof Leak.

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs

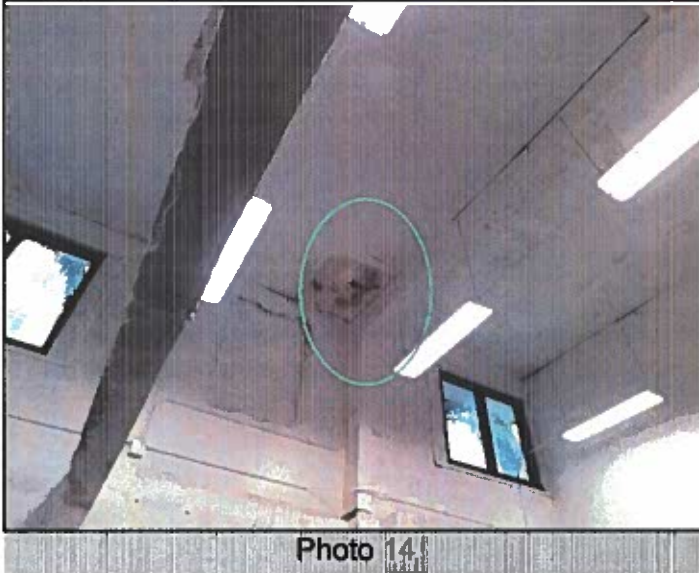


Photo 14

Location:

Interior - SW Corner

Comments/Notes:

Repair ceiling (Falling hazard).

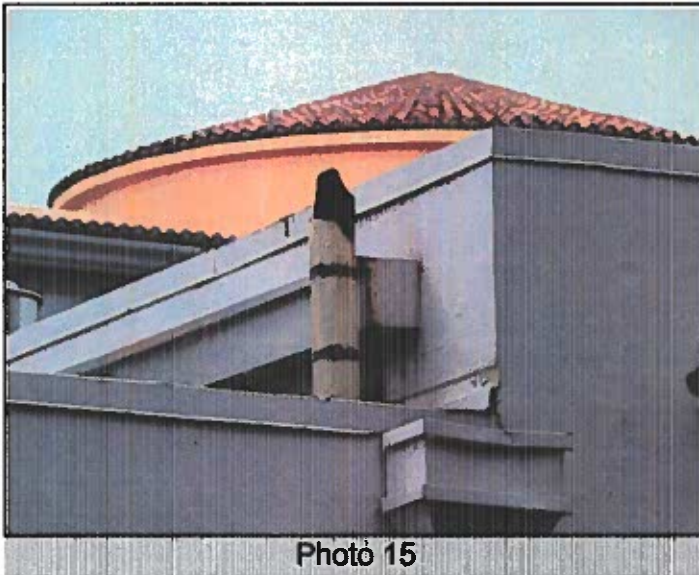


Photo 15

Location:

East Elevation

Comments/Notes:

Cap of vent stack.

Maintenance/Repairs Required for Re-Certification

Floor and Roof System - Repairs



Photo 16

Location:

East Elevation

Comments/Notes:

Repair downspout and gutter to prevent rain water falling on electrical meter box.

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Steel Framing System - Repairs



Location:

East Elevation

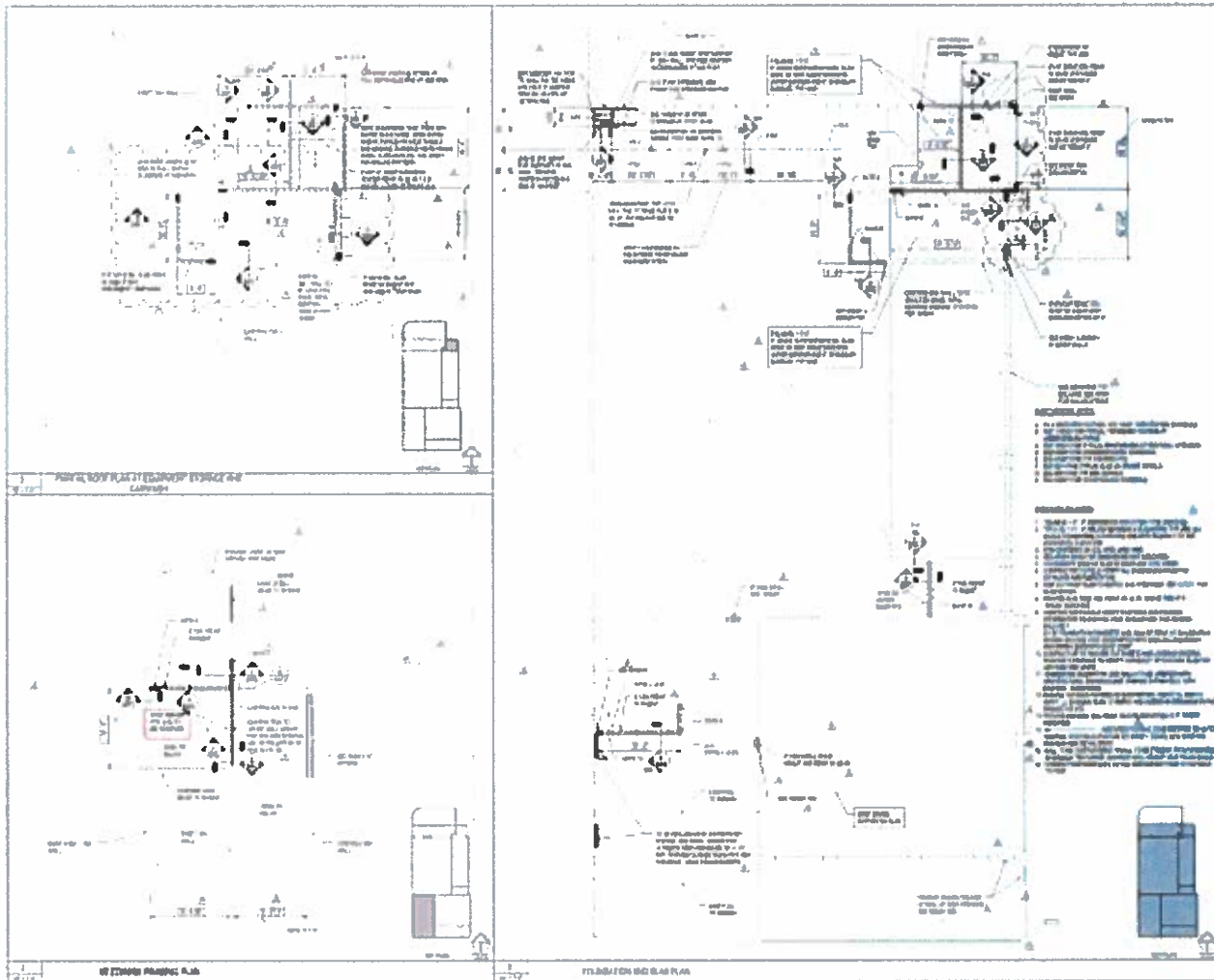
Comments/Notes:

Repair downspout. Remove loose tow-away sign. (Falling Hazard).

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Record Drawings Images



Y&M
Y&M
Y&M

| Item | Description | Quantity | Unit | Notes |
|------|--|----------|---------|-------|
| 1 | REPAIR AND REFINISH ALL EXISTING CONCRETE FLOOR SURFACES | 1 | SQ. FT. | |
| 2 | INSTALL NEW CARPETING | 1 | SQ. FT. | |
| 3 | REPAIR AND REFINISH ALL EXISTING WALLS | 1 | SQ. FT. | |
| 4 | INSTALL NEW PAINT | 1 | SQ. FT. | |
| 5 | REPAIR AND REFINISH ALL EXISTING CEILING | 1 | SQ. FT. | |
| 6 | INSTALL NEW LIGHT FIXTURES | 1 | EA. | |
| 7 | REPAIR AND REFINISH ALL EXISTING DOORS | 1 | EA. | |
| 8 | INSTALL NEW DOORS | 1 | EA. | |
| 9 | REPAIR AND REFINISH ALL EXISTING WINDOWS | 1 | EA. | |
| 10 | INSTALL NEW WINDOWS | 1 | EA. | |

CA 4575



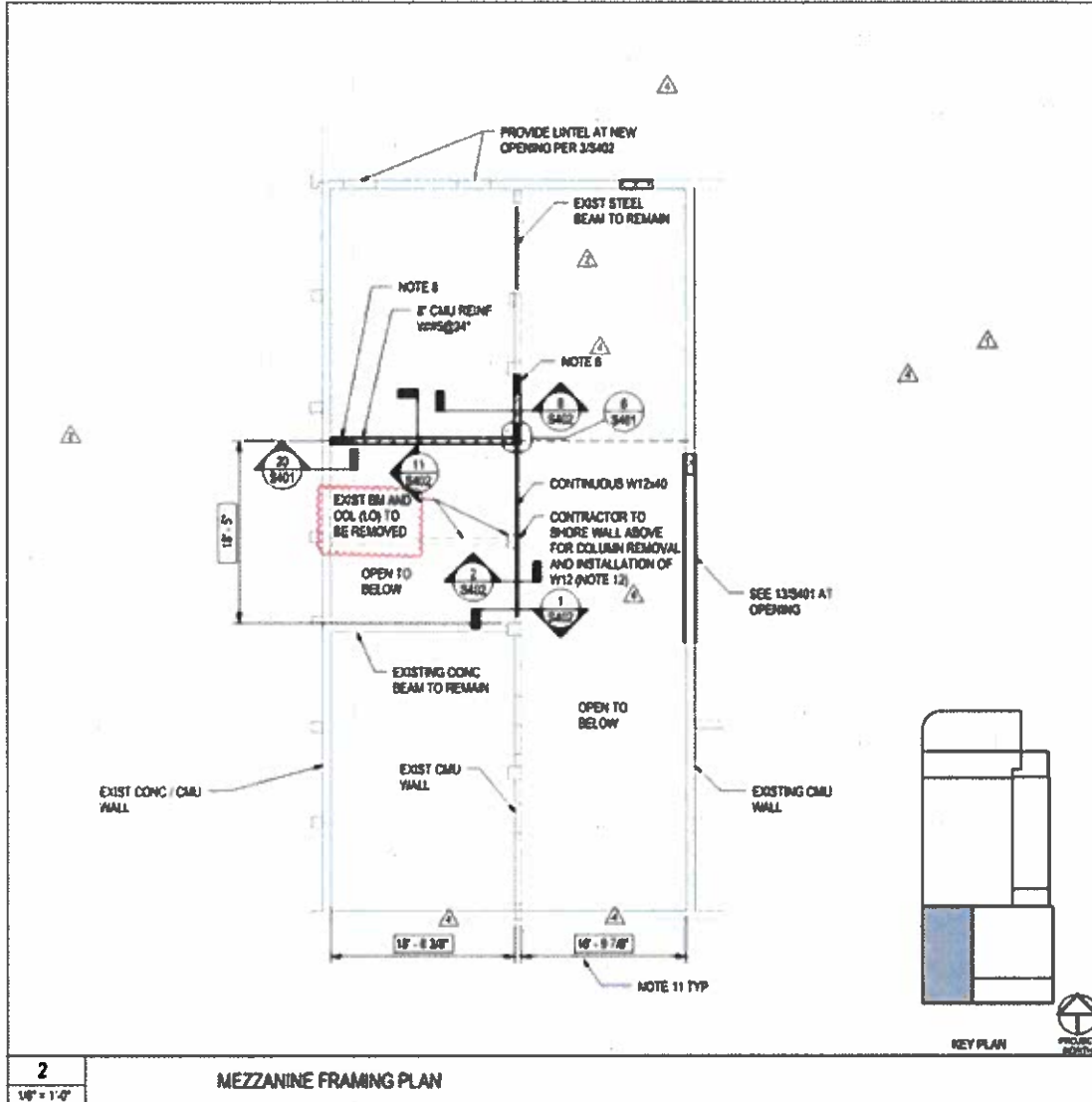
INFINITY of
Cord
Cables
Service

MEZZANINE PLAN
S131

DWG S-131 (Mezzanine Plan)

Maintenance/Repairs Required for Re-Certification

Record Drawings Images

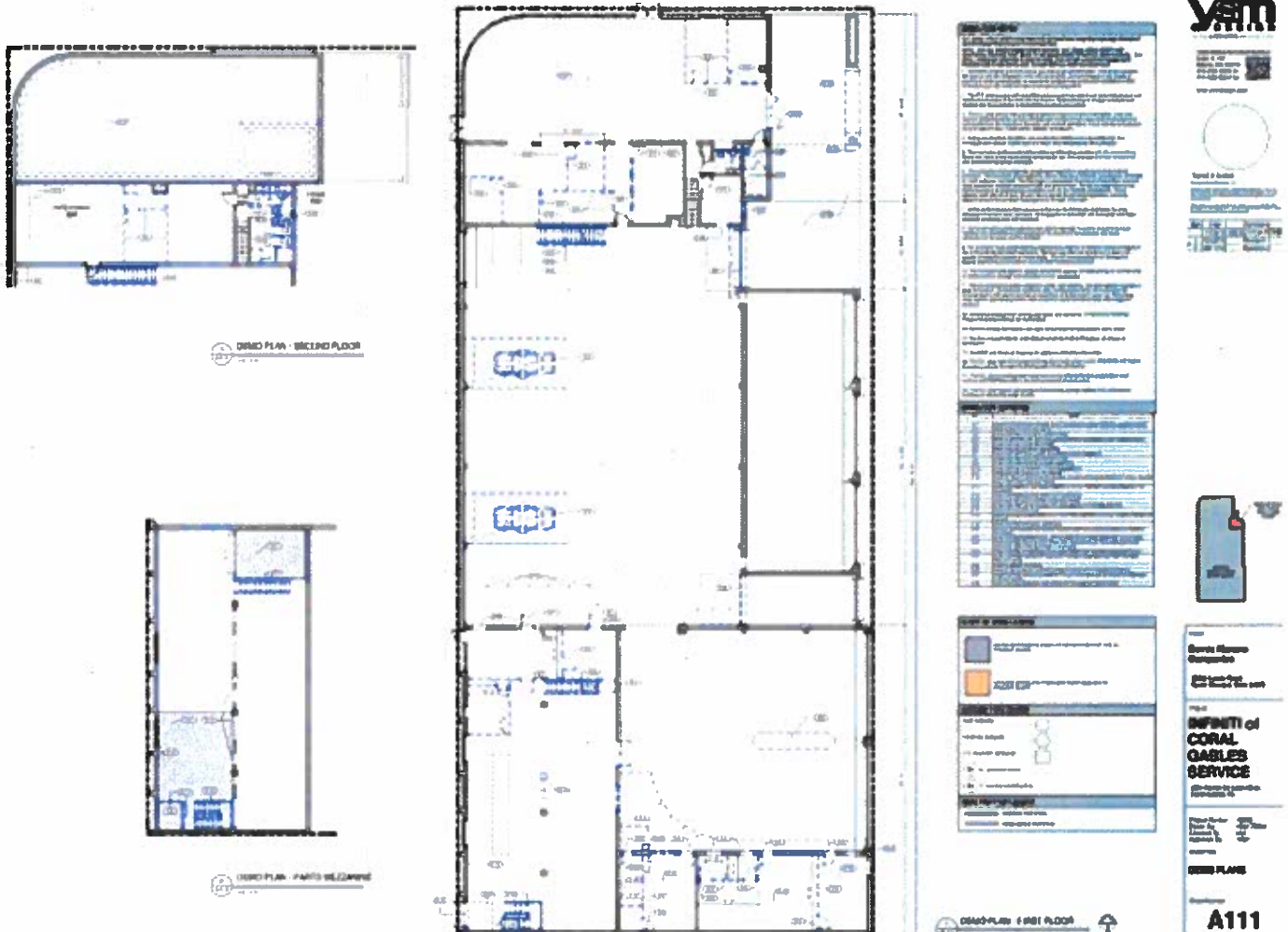


DWG S-131 (Det 2)

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Record Drawings Images

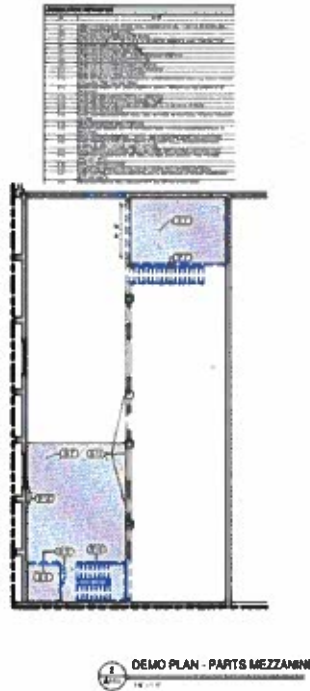


DWG A-111 (Demo Plan)

Tong Group, Inc.
Miami, Florida

Maintenance/Repairs Required for Re-Certification

Record Drawings Images



DWG S-131 (Det 2)

RLG Engineers

11295 SW 53 Terrace
Miami, Florida 33165
(305) 205-4271

August 1, 2018

City of Coral Gables
Building & Zoning Dept.
Coral Gables, Florida

Re: 4025 Ponce de Leon Blvd.

Folio No: 03-4120-017-1110

Building Official:

Attached please find the Electrical Re-certification performed by this office for the above referenced building. Building is electrically safe for its use and present occupancy.

If you have any questions, please do not hesitate to contact us.

Sincerely,



Rafael L. Gonzalez, P.E.
P.E. #11057

City of Coral Gables
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING
ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 7-30-18

INSPECTION COMPLETED

Date: 7-30-18

INSPECTION MADE BY: RLG Engineers

SIGNATURE: 

PRINT NAME: Rafael L. Gonzalez, P.E.

TITLE: Professional Eng. 11057

ADDRESS: 11295 SW 53 TERR.

Miami, FL 33165

1. DESCRIPTION OF STRUCTURE:

- a. **NAME OF TITLE:** BUSINESS & LEISURE INC
- b. **STREET ADDRESS:** 4025 PONCE DE LEON BLVD
- c. **LEGAL DESCRIPTION:** _____
- d. **FOLIO NUMBER:** 03-4120-017-1110
- e. **OWNER'S NAME:** BUSINESS & LEISURE INC
- f. **OWNER'S MAILING ADDRESS:** 999 PONCE DE LEON BLVD. CORAL GABLES, FL
- h. **PRESENT USE:** AUTOMOTIVE

i. **GENERAL DESCRIPTION, TYPE OF CONSTRUCTION, SIZE, NUMBER OF STORIES, AND SPECIAL FEATURES. ALSO ADDITIONAL COMMENT.**

1-STORY CBS (8,490 SF)

FORTY (40) YEAR STRUCTURES

1. ELECTRICAL SERVICE:

- a. **SIZE: AMPERAGE (800); FUSES (); BREAKER (X)**
- b. **PHASE: THREE PHASE (X) SINGLE PHASE ()**
- c. **CONDITION: GOOD (X); FAIR (); NEED REPAIR ()**
- d. **COMMENTS: _____**

2. METER AND ELECTRICAL ROOMS:

- a. **CLEARANCES: GOOD (X); FAIR (); CORRECTION REQ ()**
COMMENTS: _____

3. GUTTERS:

- a. **LOCATION: N/A**
GOOD (); REQUIRES REPAIR ()
- b. **Taps and Fills: N/A**
GOOD (); REQUIRES REPAIR ()
- c. **COMMENTS: _____**

4. ELECTRICAL PANELS:

- a. **PANEL # (MDP): GOOD (X); REQUIRES REPAIR ()**
LOCATION: SERVICE
- b. **PANEL # (): GOOD (); REQUIRES REPAIR ()**
LOCATION: _____
- c. **PANEL # (): GOOD (); REQUIRES REPAIR ()**
LOCATION: _____
- d. **PANEL # (): GOOD (); REQUIRES REPAIR ()**
LOCATION: _____
- e. **PANEL # (): GOOD (); REQUIRES REPAIR ()**
LOCATION: _____
- f. **COMMENTS: _____**

(Faint circular stamp)

(Handwritten signature)

ELECTRICAL
PAGE 2

5. BRANCH CIRCUITS:

- a. **IDENTIFIED: YES (X); MUST BE IDENTIFIED ()**
- b. **CONDUCTORS: GOOD (X); DE TERIORATED (); REPLACE ()**
- c. **COMMENTS:** _____

6. GROUNDING OF SERVICE: **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

7. GROUNDING OF EQUIPMENT: **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

8. SERVICE CONDUIT RACEWAYS; CONDITION: **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

9. SERVICE CONDUCTOR & CABLES; CONDITION: **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

10. TYPES OF WIRING METHODS:

- | | | |
|--------------------------|------------|--------------------------------------|
| CONDUIT RACEWAYS: | | GOOD (X); REQUIRES REPAIR () |
| CONDUIT; PVC: | N/A | GOOD (); REQUIRES REPAIR () |
| NM CABLE: | N/A | GOOD (); REQUIRES REPAIR () |
| BX CABLE: | N/A | GOOD (); REQUIRES REPAIR () |

COMMENTS: _____


[Handwritten signature]
8/11/14

ELECTRICAL
PAGE 3

11. **CONDUCTOR; CONDITION:** **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

12. **EMERGENCY LIGHTING:** **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

13. **BLDG. EGRESS ILLUMINATION:** **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

14. **FIRE ALARM SYSTEM:** **GOOD (); REQUIRES REPAIR ()**

COMMENTS: N/A

15. **SMOKE DETECTORS :** **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

16. **EXIT LIGHTS:** **GOOD (X); REQUIRES REPAIR ()**

COMMENTS: _____

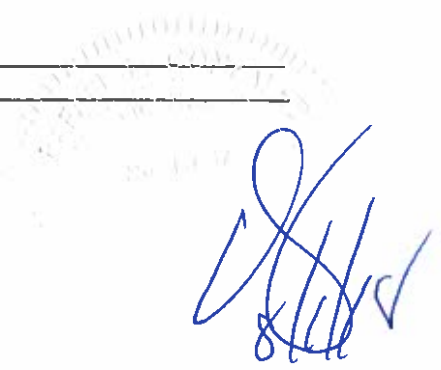
17. **EMERGENCY GENERATOR:** **GOOD (); REQUIRES REPAIR ()**

COMMENTS: N/A

18. **WIRING IN OPEN OR UNDERCOVER PARKING, GARAGE AREAS:**

Required Additional:
GOOD (X) ILLUMINATION ()

COMMENTS: _____



**ELECTRICAL
PAGE 4**

19. **OPEN OR UNDERCOVER PARKING
GARAGE AREAS AND EGRESS
ILLUMINATION:** **GOOD (X); ADD'L ILLUMINATION REQ ()**
COMMENTS: NO PARKING FACILITIES

20. **SWIMMING POOL WIRING:** **GOOD () ; REQUIRES REPAIR ()**
COMMENTS: N/A

21. **WIRING TO MECHANICAL EQUIPMENT:** **GOOD (X); REQUIRES REPAIR ()**
COMMENTS: A/C Equipment

22. **GENERAL ADDITIONAL COMMENTS:**

FLORIDA BOARD OF PROFESSIONAL ENGINEERS
WEST L. GODFREY
8/11/18


CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
PER FLORIDA BUILDING CODE
AND MIAMI-DADE COUNTY CHAPTER 8C-3

Date: **August 1, 2018**

Re: Property Address: 4025 Ponce de Leon Blvd., Coral Gables
Building Description: Automotive
Folio No. 03-4120-017-1110

The undersigned states the following:

THERE ARE NO PARKING FACILITIES

1. I am a Florida registered professional engineer with an active license.
2. On , at , I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum foot candle per SF, Minimum foot candle per SF,
Minimum to Maximum ratio: foot candle average per SF
4. The level of illumination provided in the parking lot(s) meets the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Code of Miami-Dade County.

Signature

Rafael L. Gonzalez, P.E. #11057
Print Name

Seal of Architect or Engineer Executing the
Certification Must Be Affixed in the Above Space



City of Coral Gables
Development Services



RC-18-09-2239

4025 PONCE DE LEON BLVD #

Folio #: 03-4120-017-1110
Permit Description: BUILDING
RECERTIFICATION (1948)

EL _____
ME _____
PL _____

OFFICE SET

| Section | Approved | |
|--|--------------------|---------|
| | By | Date |
| <input checked="" type="checkbox"/> BUILDING | | |
| <input type="checkbox"/> CONCURRENCY | | |
| <input checked="" type="checkbox"/> ELECTRICAL | <i>[Signature]</i> | 9/14/18 |
| <input type="checkbox"/> FEMA | | |
| <input type="checkbox"/> FIRE | | |
| <input type="checkbox"/> HANDICAP | | |
| <input type="checkbox"/> HISTORICAL | | |
| <input type="checkbox"/> LANDSCAPE | | |
| <input type="checkbox"/> MECHANICAL | | |
| <input type="checkbox"/> PLUMBING | | |
| <input type="checkbox"/> PUBLIC WORKS | | |
| <input type="checkbox"/> STRUCTURAL | | |
| <input type="checkbox"/> ZONING | | |
| <input type="checkbox"/> | | |
| <input type="checkbox"/> OWNER BUILDER | | |

R

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans.
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

Special Inspector required for the following:

- Special Inspector for PILING
- Special Inspector for REINFORCED MASONRY
- Special Inspector for _____

RC-18-09-2239



RC-18-09-2239

