

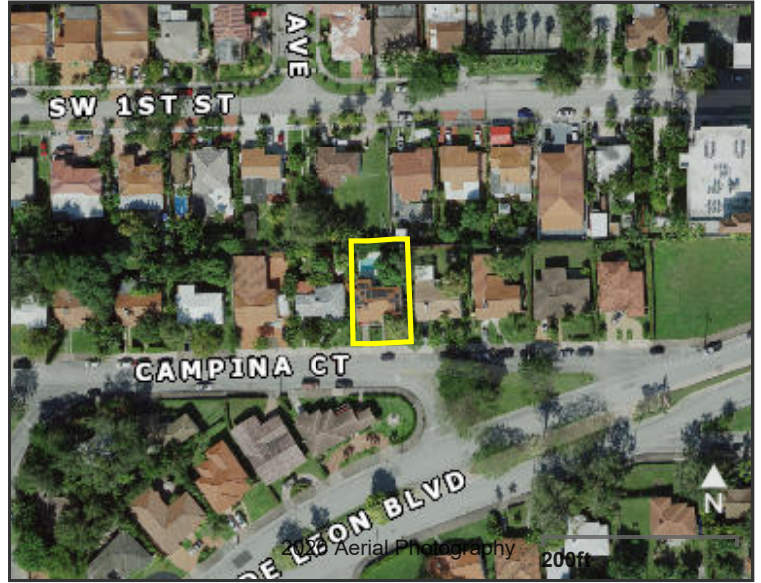


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 5/21/2021

Property Information	
Folio:	03-4105-050-0140
Property Address:	25 CAMPINA CT Coral Gables, FL 33134-1811
Owner	YOHANDEL RUIZ
Mailing Address	25 CAMPINA CT CORAL GABLES, FL 33134 USA
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	3 / 1 / 0
Floors	1
Living Units	1
Actual Area	1,493 Sq.Ft
Living Area	1,165 Sq.Ft
Adjusted Area	1,274 Sq.Ft
Lot Size	6,000 Sq.Ft
Year Built	1941



Assessment Information			
Year	2020	2019	2018
Land Value	\$223,769	\$195,619	\$195,619
Building Value	\$86,785	\$87,447	\$93,193
XF Value	\$38,633	\$39,010	\$0
Market Value	\$349,187	\$322,076	\$288,812
Assessed Value	\$261,929	\$256,041	\$212,985

Benefits Information				
Benefit	Type	2020	2019	2018
Save Our Homes Cap	Assessment Reduction	\$87,258	\$66,035	\$75,827
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
CORAL GABLES FLAGLER STREET SEC PB 10-12 E1/2 LOT 14 & LOT 15 BLK 3 LOT SIZE 60 X 100

Taxable Value Information			
	2020	2019	2018
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$211,929	\$206,041	\$162,985
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$236,929	\$231,041	\$187,985
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$211,929	\$206,041	\$162,985
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$211,929	\$206,041	\$162,985

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
09/18/2019	\$100	31930-3594	Corrective, tax or QCD; min consideration
06/12/2015	\$330,000	29660-3442	Qual by exam of deed
12/01/2014	\$235,000	29413-4078	Financial inst or "In Lieu of Foreclosure" stated
06/01/1972	\$27,800	00000-00000	Sales which are qualified

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