

Aug 20, 2018 at 4:09:06 PM
Coral Gables

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CITY OF CORAL GABLES

CODE ENFORCEMENT DIVISION
427 Biltmore Way, Suite 100

08/20/2018

Case #: CE279879-082018

Code Enforcement Violation Warning

55 S Prospect Dr.

LLEIDA REAL ESTATE LLC
1934 NE 147 TER

NORTH MIAMI FL 33181

Folio #: 03-4128-023-0380

Dear Property Owner and/or Occupant:

As part of an ongoing effort to enhance the health, safety, and welfare of the citizens of Coral Gables, a recent inspection was made of the premises at **55 S PROSPECT DR**, Coral Gables, FL.

At that time, a Code Enforcement Officer found the following violation(s) evident on the property:

Violation(s):

- **City Code - Chapter 105. Minimum Housing.**

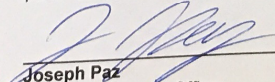
Code Enforcement Officer Comments: MIN Violation CC 105-5 (I.E. Roof and front fascia of roof throughout property are dirty. Exterior walls of property throughout property are dirty. Paint is peeling off exterior walls. Stone planters in front yard of property are dirty. Window on second floor of property is broken. Swale area in the middle of driveway does not have grass.)

The following steps should be taken to correct the violation:

Remedy: Must clean roof and front fascia of property. Must clean exterior walls throughout property. Must clean stone planters in front yard of property. Must repaint all areas of the walls where paint is peeling off. Must repair broken window on second floor of property. Must plant either sod or other approve surface onto swale area of property.

Coral Gables has earned the title of "The City Beautiful" with the help of the residents. Your immediate cooperation in correcting the violation(s) listed above would be gratefully appreciated. The Code Enforcement Division will re-inspect the property on **9/20/2018** to determine if corrective measures have been completed. If corrective measures have not been completed by **9/20/2018**, a Notice of Violation will be issued. The Division is available for consultation on this matter from 7:30 AM to 4:00 PM. Please do not hesitate to call the Code Enforcement Officer below for additional assistance.

Coral Gables ha merecido el título de "La Ciudad Bella" gracias a la ayuda de los residentes. Se agradece su cooperación inmediata para la corrección de la(s) violación(es) mencionadas arriba. La División del Cumplimiento del Código re-inspeccionará la propiedad el **9/20/2018** para determinar si se han tomado medidas correctivas. Si estas medidas correctivas no se han realizado para el **9/20/2018**, se emitirá un Aviso de Infracción. La División está disponible para consulta sobre este caso de 7:30 a.m. a 4:00 p.m. Por favor comuníquese con el Oficial del Cumplimiento del Código nombrado abajo para cualquiera asistencia adicional.


Joseph Paz
Code Enforcement Officer
305 476-7201
jpaz2@coralgables.com

8/20/2018

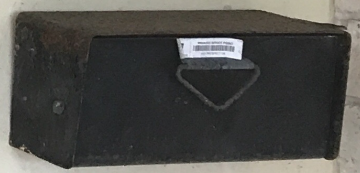
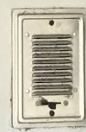
CE279879

55 S Prospect
8/20/18 CE27876

CITY OF CORAL GABLES
Littering Ordinance
55 S Prospect
8/20/18 CE27872

CITY OF CORAL GABLES
Code Enforcement/Notice Warning
55 S Prospect
8/20/18 CE27871

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CITY OF CORAL GABLES
CODE ENFORCEMENT DIVISION
427 Biltmore Way, Suite 100

09/24/2018

Case #: CE279879-082018

Notice of Violation

LLEIDA REAL ESTATE LLC
1934 NE 147 TER
NORTH MIAMI FL 33181

Folio #: 03-4128-023-0380

Dear Property Owner and/or Occupant:

This letter constitutes a notice that a violation(s) exists on the premises at **55 S PROSPECT DR,** Coral Gables, FL.

The violation(s) found was:

55 S Prospect Dr.

Violations:

- City Code - Chapter 105. Minimum Housing.

Code Enforcement Officer Comments: MIN Violation CC 105-5 (I.E. Roof and front fascia of roof throughout property are dirty. Exterior walls of property throughout property are dirty. Paint is peeling off exterior walls. Stone planters in front yard of property are dirty. Window on second floor of property is broken. Swale area in the middle of driveway does not have grass.)

The following steps should be taken to correct the violation:

Remedy: Must clean roof and front fascia of property. Must clean exterior walls throughout property. Must clean stone planters in front yard of property. Must repaint all areas of the walls where paint is peeling off. Must repair broken window on second floor of property. Must plant either sod or other approve surface onto swale area of property.

The regulations enforced by the City have been adopted in order to protect the public and assure continuing high property values. Your immediate attention to correcting the violation(s) listed above is required. The Code Enforcement Division will re-inspect the property on **10/1/2018** to determine if corrective measures have been completed. If the violation(s) has not been corrected at the time of inspection, your case will be presented to the Code Enforcement Board for review and possible action. At that time, you will have the opportunity to explain to the citizens serving on the Board the reasons why the violation(s) has not been corrected. The Board has the authority to assess a fine against you for as long as the violation continues. The Division is available for consultation on this matter from 7:00 AM to 5:00 PM. Please do not hesitate to call the Code Enforcement Officer below for additional assistance.

9/24/2018

CE279879

Sep 24, 2018 at 1:39:47 PM
Coral Gables

CITY OF CORAL GABLES
1000 EAST CORAL GABLES AVENUE
CORAL GABLES, FL 33134

Notice of Violation Case #: CE274974

09/24/2018

LEGAL MAIL DELIVERY LLC
1554 NW 47 ST
MORTON HAVEN, FL 33409

Date Property Owner's Notice: 9/24/2018

This letter constitutes a notice that a violation exists on the premises of 55 S PROSPECT DR, Coral Gables, FL.

The violation(s) found was/were: **55 S Prospect Dr.**

Violations:
Code Section: Chapter 100, Minimum Housing

Code Enforcement Official: Cynthia M. Williams, C.E. 100-2-2.1, Roof and Front Yards of roof

Remedy: Roof clean and front yards of property. Must clean entire roof throughout property. Must have roof inspected in front and back yard. Must have entire front and back yards cleaned in back area of property.

9/24/2018 CE274974

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CITY OF CORAL GABLES

CODE ENFORCEMENT DIVISION
427 Biltmore Way, Suite 100

Before the Code Enforcement Board
in and for the City of Coral Gables
Dade County, Florida

11/5/2018

Summons to Appear

The City of Coral Gables
vs
LLEIDA REAL ESTATE LLC
1934 NE 147 TER
NORTH MIAMI FL 33181

Case #: CE279879-082018

Folio #: 03-4128-023-0380

55 S Prospect Dr.

You, as the Owner and/or Occupant of the premises at:
55 S PROSPECT DR
CORAL GABLES, FL 33134

are in violation of the following sections and subject to Section 101.168 of the City Code of the City of Coral Gables by:

City Code - Chapter 105. Minimum Housing.

MIN Violation CC 105-5 (I.E. Roof and front fascia of roof throughout property are dirty. Exterior walls of property throughout property are dirty. Paint is peeling off exterior walls. Stone planters in front yard of property are dirty. Window on second floor of property is broken. Swale area in the middle of driveway does not have grass.)

The following steps should be taken to correct the violation:

Remedy: Must clean roof and front fascia of property. Must clean exterior walls throughout property. Must clean stone planters in front yard of property. Must repaint all areas of the walls where paint is peeling off. Must repair broken window on second floor of property. Must plant either sod or other approve surface onto swale area of property.

As a result of the above violation(s), a complaint has been filed against you and you are hereby commanded to appear before the Code Enforcement Board for a hearing on 11/28/2018 at 8:30 am in the Commission Chambers, located on the second floor of:

**City Hall
405 Biltmore Way
Coral Gables, Florida 33134**

This is your notice to appear at said time and place. Failure to do so will result in the matter being heard in absentia. An administrative fee of \$108.75 will be assessed at the time of your hearing.

Please be advised that if someone will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing.

If this notice pertains to failure to maintain a historic structure, please be advised that:

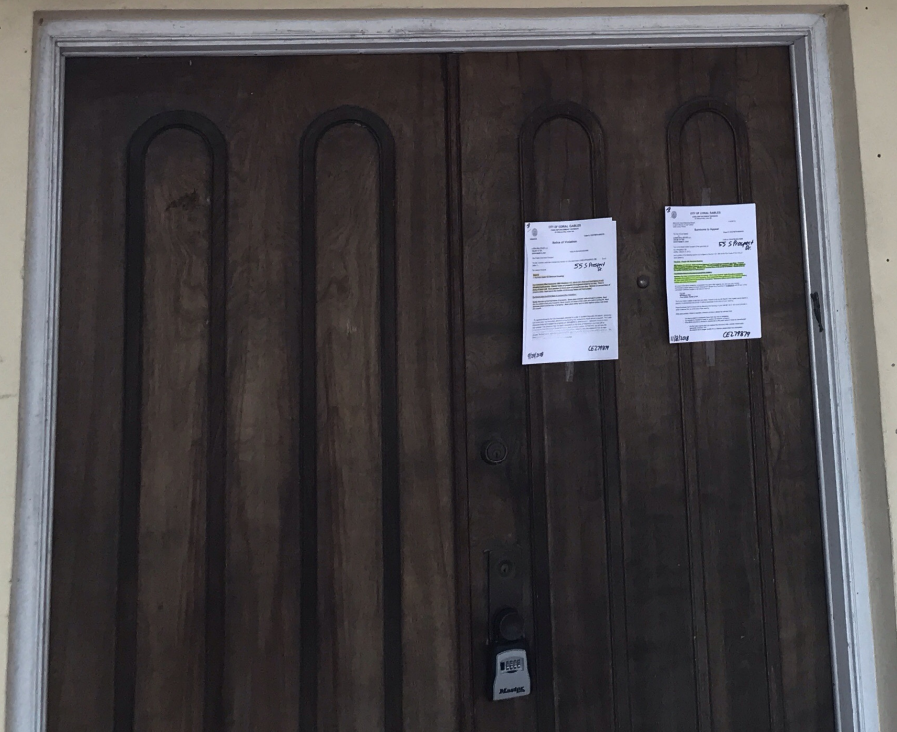
- You may be subject to substantial fines that may not be mitigated.
- You may also be required to repair or restore the historic structure.
- If the historic structure is allowed to deteriorate to the point where it must be demolished:
 - the City Code requires that you replace the structure with a similar historically-appropriate structure; and
 - the property will no longer qualify for an historic preservation tax exemption.

11/8/2018

CE279879

Nov 8, 2018 at 1:07:34 PM
Coral Gables

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