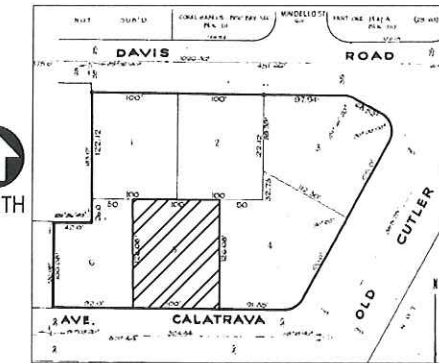
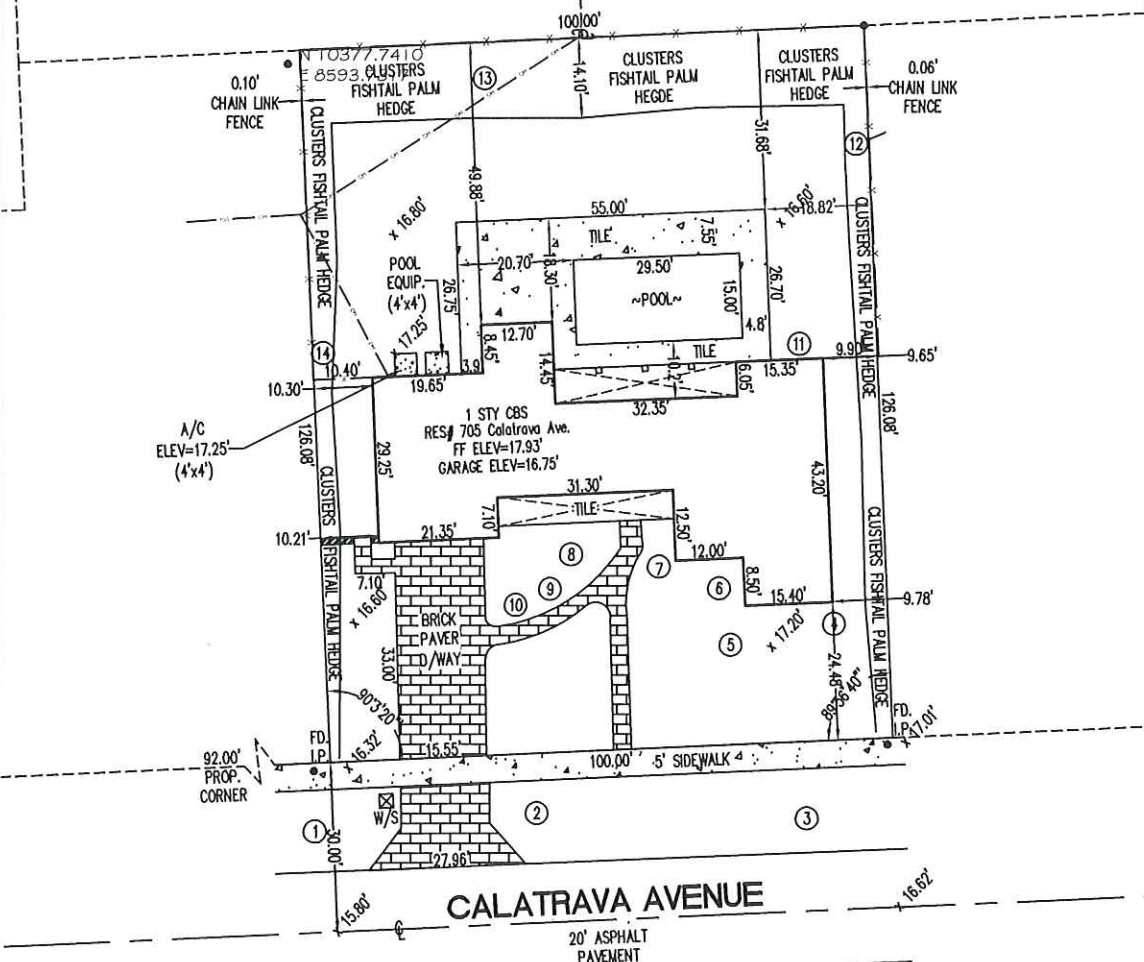


BOUNDARY SURVEY



LOCATION SKETCH
SCALE: N.T.S.



TREE CHART

No.	BOTANICAL NAME	COMMON NAME	DIAMETER	HEIGHT	CANOPY
1	CRESCENTIA CUJETE	CALABASH	2"±	40"±	30"±
2	CRESCENTIA CUJETE	CALABASH	2"±	40"±	30"±
3	CRESCENTIA CUJETE	CALABASH	2"±	40"±	30"±
4	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	.50"±	15"±	15"±
5	SABAL MINOR	DWARF PALMETTO	.40"±	12"±	5"±
6	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	.50"±	15"±	15"±
7	BAMBUSOIDEAE	BAMBOO	.60"±	12"±	30"±
8	SABAL MINOR	DWARF PALMETTO	.40"±	12"±	5"±
9	SABAL MINOR	DWARF PALMETTO	.40"±	12"±	5"±
10	SABAL MINOR	DWARF PALMETTO	.40"±	12"±	5"±
11	ARCHONTOPHOENIX ALEXANDRAE	ALEXANDER PALM	0.80"±	30"±	20"±
12	PISTACIA LENTISCUS	MASTIC	2"±	40"±	40"±
13	QUERCUS VIRGINIANA	LIVE OAK	2"±	40"±	40"±
14	PISTACIA LENTISCUS	MASTIC	2"±	40"±	40"±
15	CARYOTA (clusters/hegde)	FISHTAIL PALM	1"±	30"±	20"±

LEGAL DESCRIPTION:

Lot 5 Block - of "ERIN" according to the plat thereof as recorded in Plat Book 61 at Page 40 of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- The herein captioned Property was surveyed and described based on the shown Legal Description: Provided by Client.
- This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of Miami-Dade County, Examination of TITLE COMMITMENT was not performed to determine recorded instruments, if any affecting this property.
- Accuracy: The expected use of the land, as classified in the Minimum Technical Standards (5J-17), is "High Risk Residence". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Contact the appropriate authority prior to any design work on the herein described parcel for Building and Zoning Information.
- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- Ownership subject to Opinion of Title
- Type of Survey: Boundary Survey
- North arrow direction and bearings are based on Center line of Calatrava Avenue of Miami-Dade County, Florida
- Elevations are based on: National Geodetic Vertical Datum of 1929
- Bench Mark Used: MD# P-507 Elev=17.54'
- Property has access to a public road via Calatrava Avenue.
- Property Address: 705 Calatrava Avenue, Coral Gables, FL 33143
- Flood Zone Criteria: Panel Number: 12086C0459 L, Date: Sept 11, 2009, Flood Zone "X", Base Flood Elev.=N/A, City of Coral Gables 120639
- This PLAN OF SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
 - ROBERT A. GIRO

SURVEYOR'S CERTIFICATE:

I Herby Certify to the best of my knowledge and belief that this drawing is a true and correct representation of the BOUNDARY SURVEY, of the real property described hereon. I further certify that this survey was prepared in accordance with the applicable provisions of Chapter 5J-17 Florida Administrative Code.

Original Field Survey Date: November 13, 2020

By:

Sergio Redondo
Sergio Redondo P.S.M.
Professional Surveyor and Mapper
State of Florida, Registration No. 3162

LEGEND

- Overhead Wire Line
- Wire Fence
- Chain Link Fence
- ⊗ = Fire Hydrant
- ⊕ = Block Corner
- ⊙ = Light Pole
- ⊗ = Water Meter
- ⊕ = Catch Basin
- ⊙ = Sewer Manhole
- ⊕ = Utility Easement
- = Found Nail and Disc
- ⊙ = Set 1/2" Iron PIN
- (M)=Measured (P)=Plat

Server (current drawing) BOUNDARY SURVEY ORIGINAL MARIO AGUILAR 705 CALATRAVA AVENUE

SHEET SCALE: 1" = 20' DRAWN BY: N.R. DATE: 11/16/20 DATE CHECKED BY:	PROJECT NAME: 705 Calatrava Avenue, Coral Gables, FL 33143	REVISION NO. DATE DESCRIPTION OF REVISION
	PROJECT TYPE: BOUNDARY SURVEY	
	CLIENT: Robert A. Giro (Biscayne Bldrs)	SECTION: 32-54-41 MIAMI-DADE COUNTY

SERGIO REDONDO & ASSOCIATES
 13800 S.W. 145th COURT
 MIAMI, FLORIDA 33186
 PH. (305) 378-4443
 FAX (305) 378-4582
 L.B. No. 4474
 info@miamilandsurveyors.com

705 CALATRAVA AVE. CORAL GABLES, FLORIDA



INDEX:

- BA0 COVER SHEET
- SP-1 SITE PLAN
- SP-2 AREA DIAGRAMS
- BA1 FIRST FLOOR PLAN
- BA2 SECOND FLOOR PLAN
- BA3 ROOF PLAN
- BA4 PHOTOS
- BA5 ELEVATIONS
- BA6 ELEVATIONS / SECTION
- BA7 RENDERINGS
- BA8 RENDERINGS

7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
(305) 593-9798
WWW.MAS+MIAMI

MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

RESIDENCE AT
705 CALATRAVA AVE
CORAL GABLES, FLORIDA.

ABBREVIATIONS:

ABOVE FINISH FLOOR A.F.F.	A.F.F.	EMERGENCY OVERFLOW SCUPPER FINISH FLOOR FOOTING	E.O.S FIN. F.F. FTG.	PLYWOOD PRESSURE TREATED	PLY.WD. P.T.
AIR CONDITIONING A/C	A.H.U.	GALVANIZED GYPSUM BOARD	GALV. GYP.BO.	RADIUS	RAD.
AIR HANDLING UNIT ALT.	AVG.	HEIGHT	HT./HGT.	RAFTER	RAF.
ALTERNATE AVERAGE		HOSE BIBB	H.B.	REFRIGERATOR REQUIRED	REF. REQD
BEAM	BM.	INSULATION	INSUL.	REVISION	REV.
BLOCKING	BLKG.	INTERIOR LAVATORY	INT.	ROUGH OPENING	R.O.
BOTTOM	BOT.	LOUVER	LAV.	ROOF DRAIN	R.D.
BUILDING	BLDG.	MANUFACTURER	LOUV.	ROOM	RM.
CEILING	CLG.	MATERIAL	MFGR.	ROUGH OPENING	R.O.
CENTER LINE	CL	MAXIMUM	MATL. MAX.	SHEATHING SIMILAR	SHTG. SIM.
CLEAR	CLR.	MEAN ROOF HEIGHT	MTL. MIN.	SOLID CORE TONGUE AND GROOVE	S.C. T&G
CONCRETE MASONRY UNIT CONTINUOUS	C.M.U. CONT.	MINIMUM	M.R.H. MTL. MIN.	TOP OF BEAM TOP OF PLATE TYPICAL	T.O.B. T.O.P. TYP.
DIAMETER	DIA.	NATIONAL GEODESIC VERIFICATION DATA	N.G.V.D.	UNLESS NOTED OTHERWISE	U.N.O.
DISHWASHER	D.W.	NOT TO SCALE	N.T.S.	VENT THRU ROOF	V.T.R.
DOUBLE	DBL.	ON CENTER	O.C.	VERTICAL	VERT.
DOWN	DN.	OVERHANG	O.H.	WALK IN CLOSET	W.I.C.
EACH	EA.	PLATE	PL.	WATER CLOSET	W.C.
ELEVATION	ELEV./EL.			WATERPROOFING	W.P.
EQUAL	EQ.			WOOD	WD.
EXHAUST	EXH.				
EXPANSION JOINT	E.J.				
EXTERIOR	EXT.				

SYMBOLS:

	BUILDING SECTION SECTION LETTERS		KEYNOTE DRAWING NOTE (NUMBER)
	SECTION LETTERS (WHERE SECTION IS DRAWN)		STEP DOWN CHANGE IN FLOOR HEIGHT
	DETAIL DETAIL NUMBER		CONTROL OR DATUM POINT DESCRIPTION OF POINT (FIN.FLR., TOP OF PLATE, TOP OF T.B.)
	SHEET NUMBER		ELEVATION OR POINT
	INTERIOR ELEVATION(S) (UNFOLD) ARROWS INDICATE ELEVATIONS		REVISION REFERENCE NUMBER OF REVISION CORRESP. TO DESIGN SECTION OF TITLE BLOCK
	DOOR TYPE DOOR MARK (NUMBER)		WALL SECTIONS SECTION NUMBERS
	WINDOW TYPE WINDOW MARK (LETTER)		SECTION NUMBER (WHERE SECTION IS DRAWN)

REVISIONS	DATE	DESCRIPTION

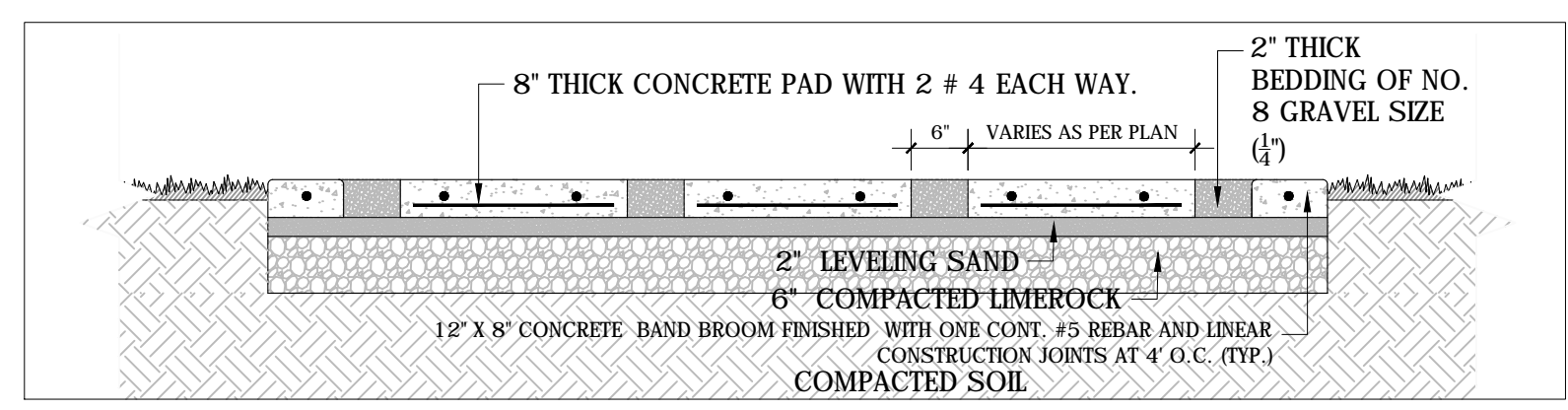
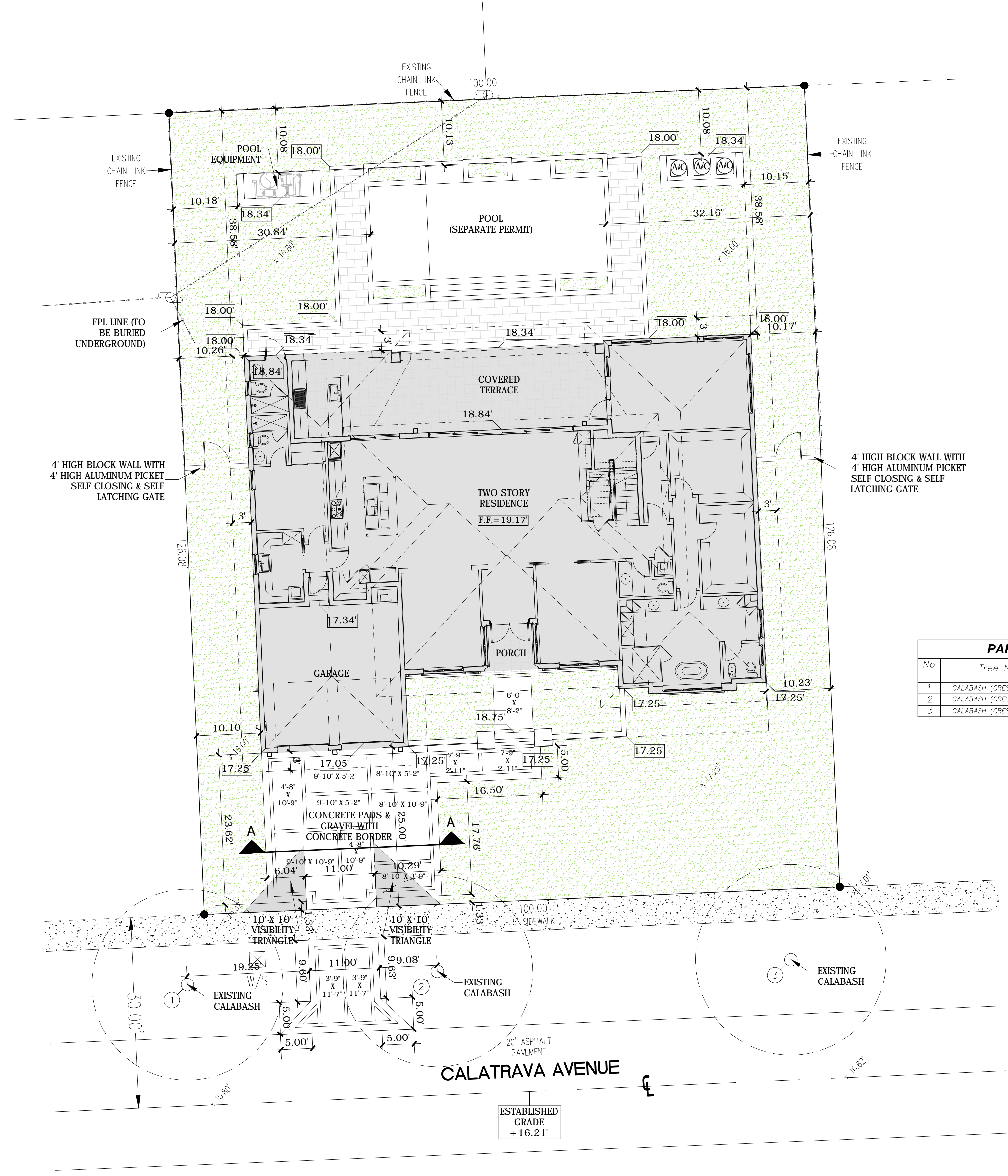
SCALE
JOB 2015
SHEET

BA0

4/19/2021

JENNIFER MALLON SALAMAN • AR-17181

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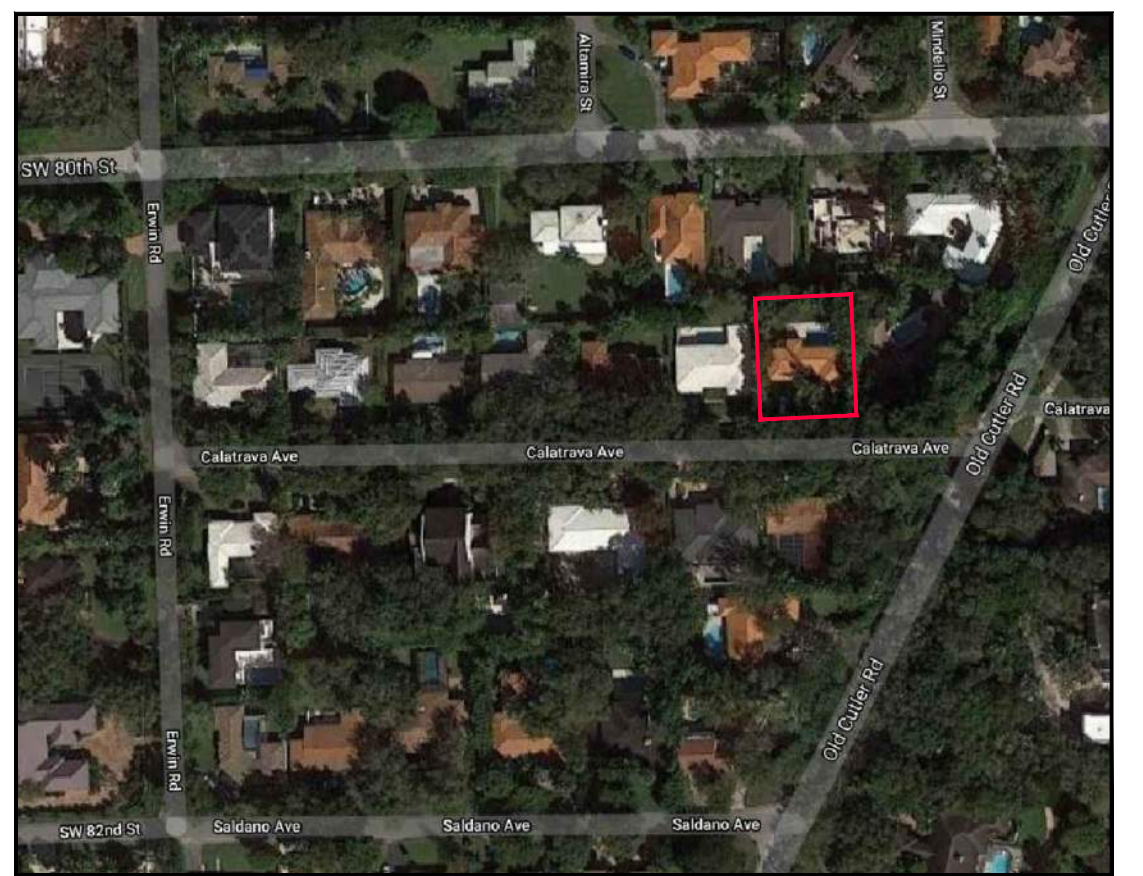
LEGEND:

16.80' EXISTING SPOT ELEVATION PROVIDED BY SURVEYOR (NGVD)

12.70' PROPOSED ELEVATION (NGVD)

SITE PLAN

SCALE: 1" = 10'-0"



LEGAL DESCRIPTION:

FOLIO NUMBER 03-4132-030-0150

Lot 5 Block - of "ERIN" according to the plat thereof as recorded in Plat Book 61 at Page 40 of the Public Records of Miami-Dade County, Florida.

AREA SUMMARY

(*)(*) FIRST FLOOR	3,176 SF
(**) SECOND FLOOR	1,268 SF
A/C AREA	4,444 SF
BALCONY	172 SF
(*) COVERED TERRACE	630 SF
(*)(*) GARAGE	541 SF
(*) PORCH	54 SF
NON A/C AREA	1,397 SF
GRAND TOTAL:	5,841 SF

(*) COUNTED TOWARDS GROUND AREA COVERAGE (SEE SHEET SP-2)
 (**) COUNTED TOWARDS F.A.R. (SEE SHEET SP-2)

PARKWAY TREE TABLE

No.	Tree Name	Diameter inches	Height feet	Spread feet
1	CALABASH (CRESCENTIA CUJETE)	24	40	30
2	CALABASH (CRESCENTIA CUJETE)	24	40	30
3	CALABASH (CRESCENTIA CUJETE)	24	40	30

SFR ZONING DISTRICT DATA

(SITE SPECIFIC REGULATIONS FOR "ERIN" SUBDIVISION)

FLOOD ZONE: X
 BASE FLOOD ELEVATION: NA

MAXIMUM ALLOWED BUILDING HEIGHT (FROM FINISHED FLOOR TO THE BEAM): 25'-0"
 PROPOSED BUILDING HEIGHT (TO PROPOSED TERRACE TIE-BEAM): -

TOTAL NET LAND AREA: 12,600 SQ. FT.

F.A.R.

LOT AREA: 12,600 SQ. FT.

MAXIMUM ALLOWED:
 48% OF 5,000.00 SQ. FT. = 2,400.00 SQ. FT.
 35% OF 5,000.00 SQ. FT. = 1,750.00 SQ. FT.
 30% OF 2,600.00 SQ. FT. = 780.00 SQ. FT.
 MAXIMUM ALLOWED = 4,930.00 SQ. FT.

PROVIDED:
 TOTAL AREA = 4,743.78 SQ. FT. (SEE SHEET SP-2 FOR GRAPHICS)

GROUND AREA COVERAGE

MAXIMUM ALLOWED PRINCIPAL STRUCTURE:
 12,600 SQ. FT. (LOT AREA) X 35% = 4,410.00 SQ. FT.

PROVIDED PRINCIPAL STRUCTURE:
 TOTAL AREA = 4,401.00 SQ. FT. (34.93%) (SEE SHEET SP-2 FOR GRAPHICS)

MAXIMUM ALLOWED AUXILIARY STRUCTURES:
 12,600 SQ. FT. (LOT AREA) X 10% = 1,260.00 SQ. FT.

PROVIDED POOL = 643.00 SQ. FT. (5.10%) (SEE SHEET SP-2 FOR GRAPHICS)

MAXIMUM TOTAL ALLOWED GROUND AREA COVERAGE:
 12,600 SQ. FT. (LOT AREA) X 45% = 5,670.00 SQ. FT.

TOTAL PROVIDED GROUND AREA COVERAGE = 5,044 SQ. FT. (40.03%) (SEE SHEET SP-2 FOR GRAPHICS)

SETBACKS

	MINIMUM ALLOWED	PROVIDED
FRONT	25' (HOUSE & POOL)	25.00'
REAR	10' (HOUSE & POOL) / 38.58' (HOUSE) / 10.13' (POOL)	
INTERIOR SIDE	10' (HOUSE & POOL) / 10.10' (HOUSE) / 30.84' (POOL)	

LANDSCAPE OPEN SPACE

MINIMUM REQUIRED:
 12,600 SQ. FT. (LOT AREA) X 40% = 5,040.00 SQ. FT.

PROVIDED:
 5,720.45 SQ. FT. OR 45.40% (SEE SHEET SP-2 FOR GRAPHICS)

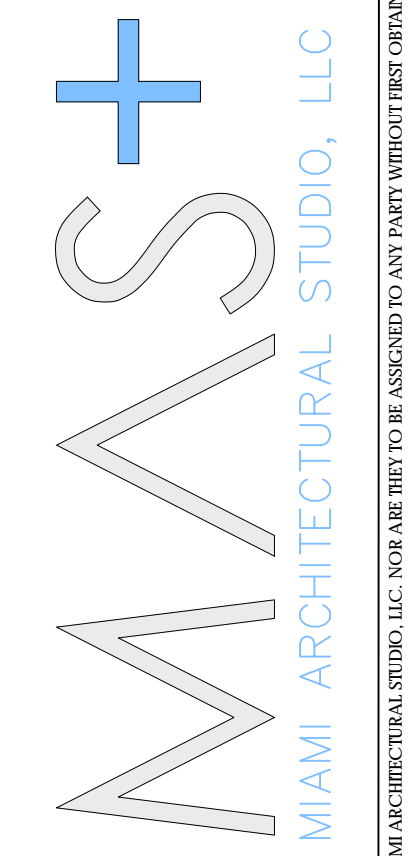
MINIMUM REQUIRED IN FRONT YARD:
 5,040.00 SQ. FT. (TOTAL REQUIRED) X 20% = 1,008.00 SQ. FT.

PROVIDED:
 2,239.03 SQ. FT. OR 44.43% (SEE SHEET SP-2 FOR GRAPHICS)

NOTES

- LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO ADJACENT PROPERTY. GRADING WILL REMAIN LEVELLED TO NEIGHBORING PROPERTY GRADE.
- TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF 2.5 FEET AND 8 FEET ABOVE THE ESTABLISHED GRADE.

7910 NW 25TH STREET
 SUITE 200
 DORAL, FL 33122
 (305) 593-9798
 WWW.MAS.MIAMI



GIRO RESIDENCE
 705 CALATRAVA AVENUE
 CORAL GABLES, FLORIDA 33143

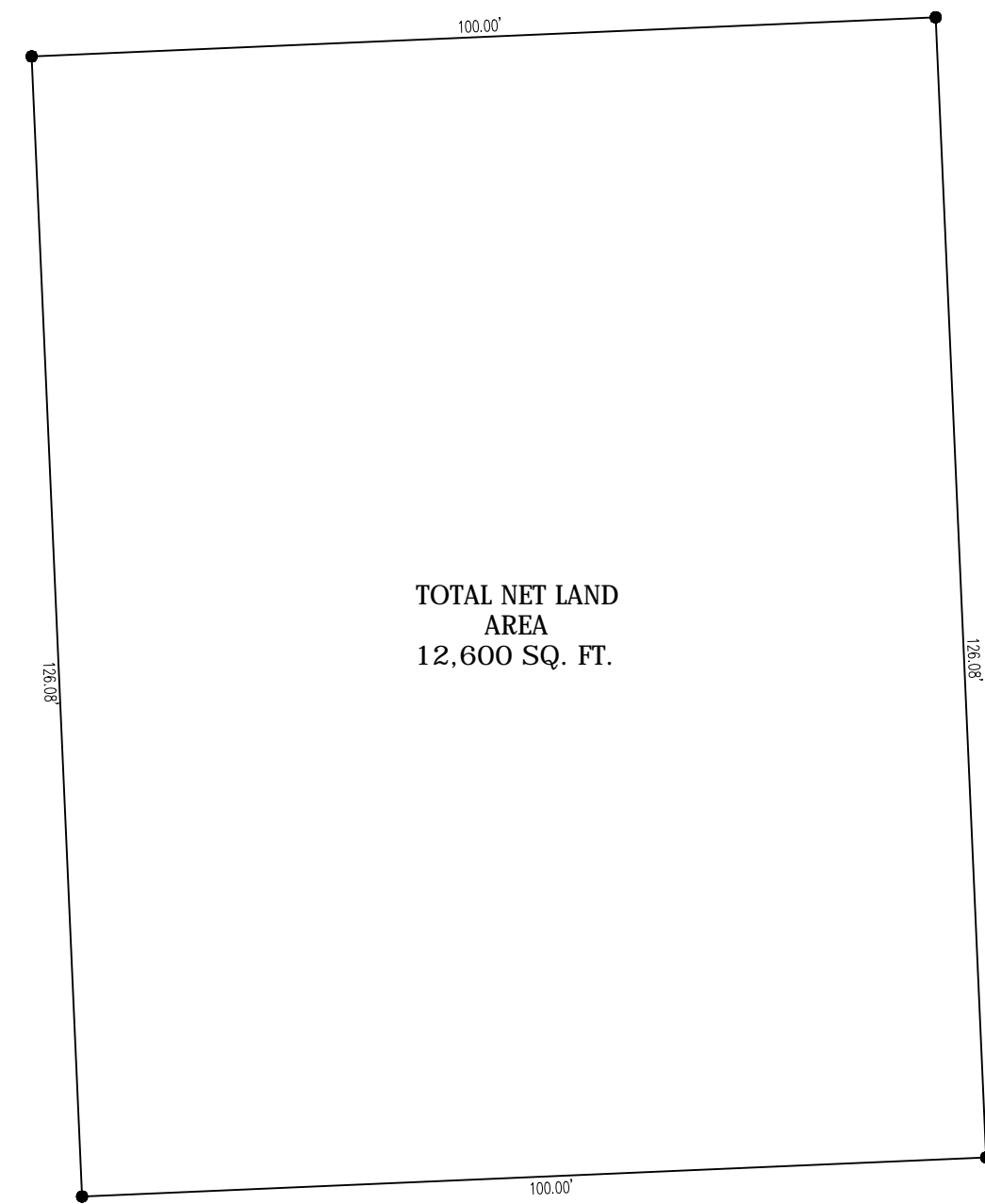
REVISION DATE	BY

SITE PLAN

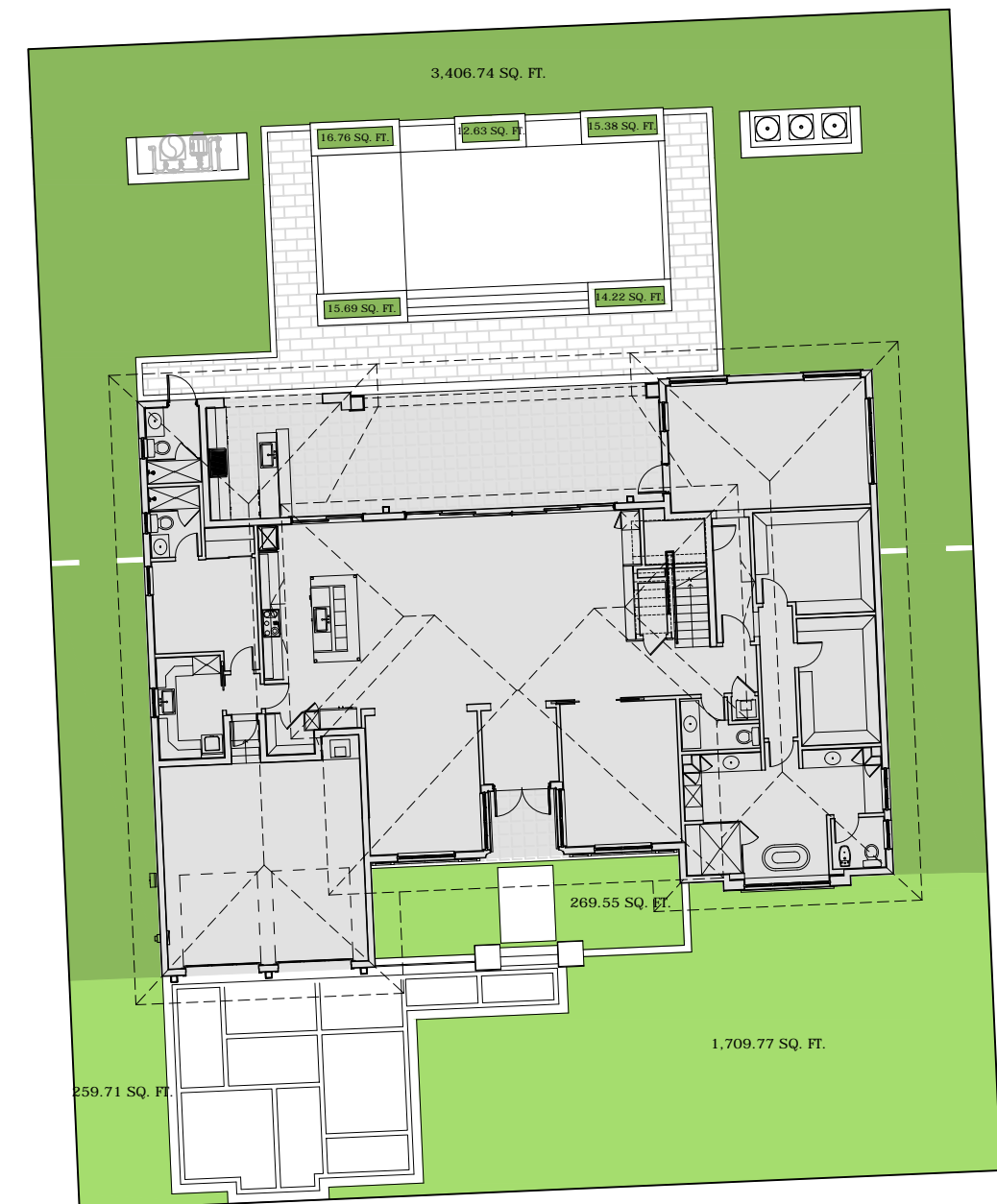
SCALE 1" = 10'-0"
 DATE 02-17-21
 JOB 2015
 SHEET **SP-1**

4/19/2021

LOT AREA DIAGRAM



LANDSCAPE OPEN SPACE DIAGRAM



FRONT YARD:

269.55 SQ. FT.
259.71 SQ. FT.
1,709.77 SQ. FT.
2,239.03 SQ. FT. TOTAL (44.43% OF MIN. REQUIRED 5,040.00 SQ. FT.) (20% MIN.)

SIDE & REAR YARDS:

3,406.74 SQ. FT.
16.76 SQ. FT.
12.63 SQ. FT.
15.38 SQ. FT.
15.69 SQ. FT.
14.22 SQ. FT.
3,481.42 SQ. FT. TOTAL

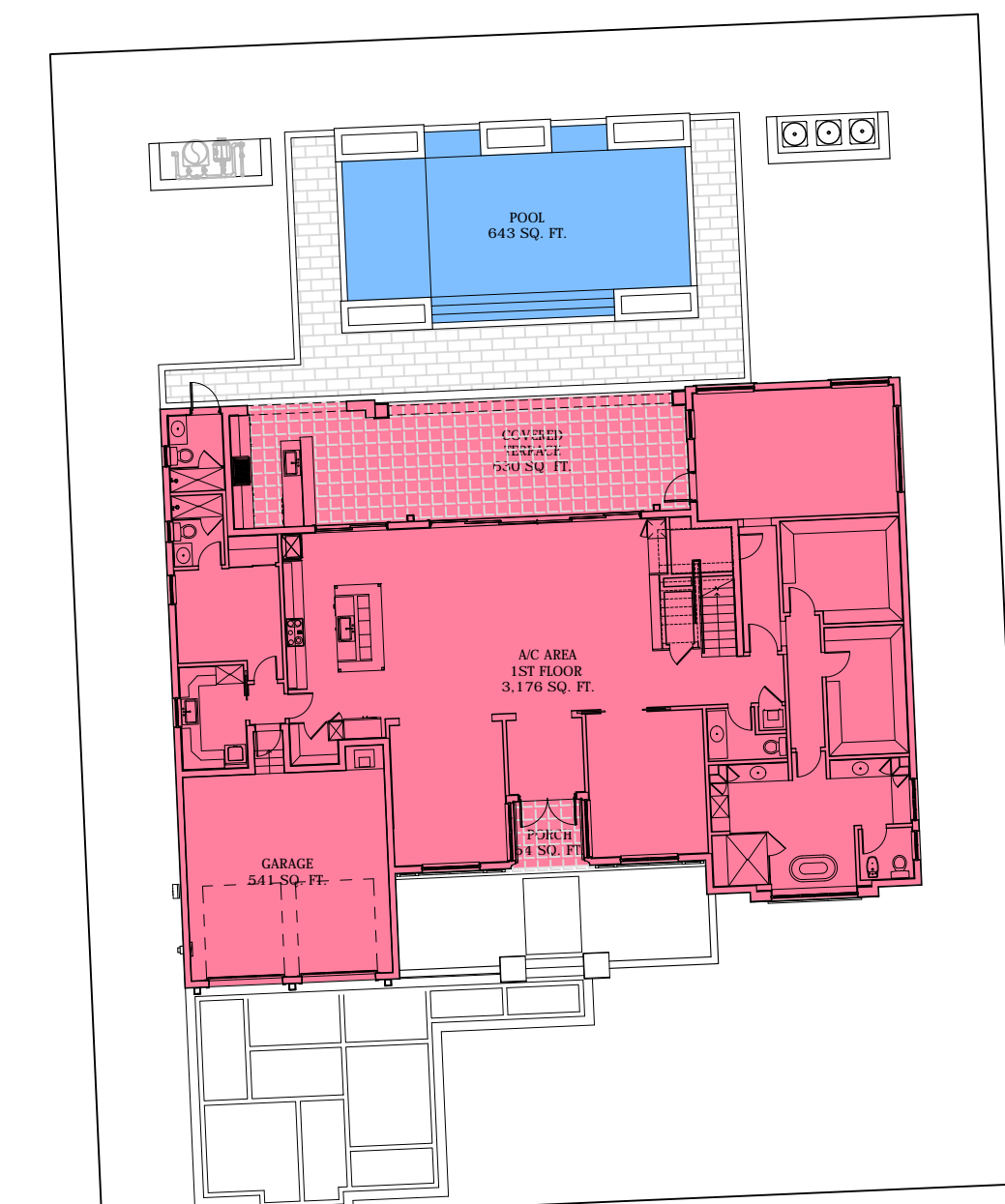
TOTAL LANDSCAPE OPEN SPACE:

5,720.45 SQ. FT. (45.40% OF NET LAND AREA OF 12,600 SQ. FT.) (40% MIN.)

GROUND AREA COVERAGE DIAGRAM

AREA SUMMARY	
1 ST FLOOR	3,176 SQ. FT.
2 ND FLOOR	1,888 SQ. FT.
A/C AREA	4,484 SQ. FT.
PORCH	54 SQ. FT.
COVERED TERRACE	630 SQ. FT.
GARAGE	541 SQ. FT.
PORCH	54 SQ. FT.
NON-A/C AREA	1,307 SQ. FT.
GRAND TOTAL	5,841 SQ. FT.

1ST COUNTED FORWARD; GRAND AREA COVERAGE SEE SHEET SP-2
2ND COUNTED FORWARD (A.R. SEE SHEET SP-2)



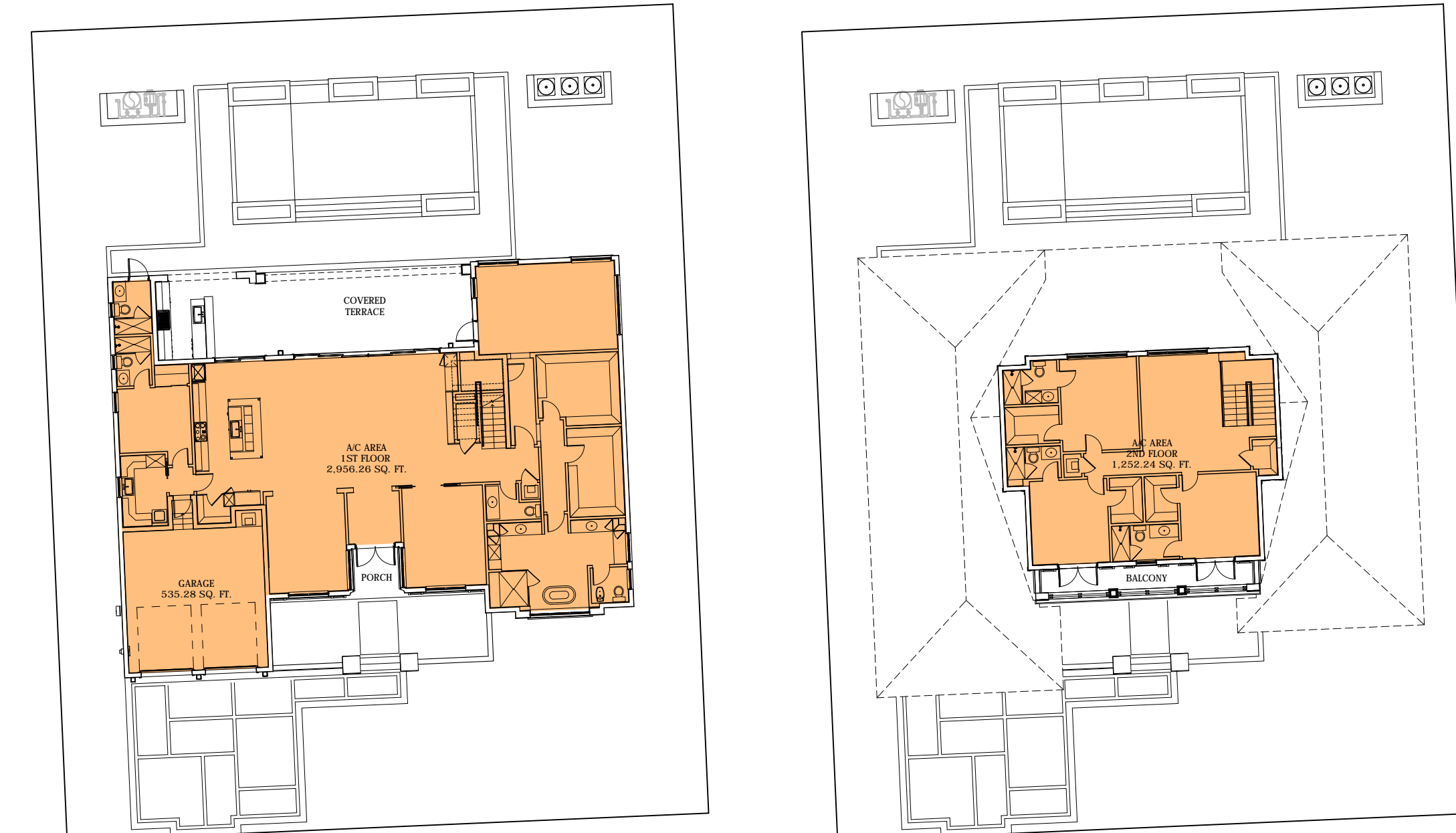
PRINCIPAL STRUCTURE:

A/C AREA 1ST FLOOR.....3,176 SQ. FT.
GARAGE.....541 SQ. FT.
COVERED TERRACE.....630 SQ. FT.
PORCH.....54 SQ. FT.
TOTAL.....4,401 SQ. FT. (34.93% OF TOTAL NET AREA OF 12,600 SQ. FT.) (35% MAX.)

AUXILIARY STRUCTURE:

POOL.....643 SQ. FT. (5.10% OF TOTAL NET AREA OF 12,600 SQ. FT.) (10% MAX.)

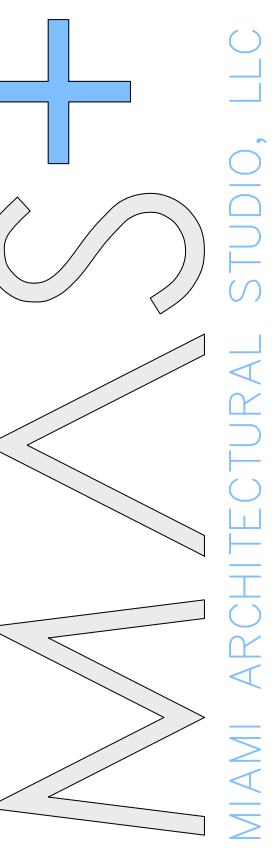
FLOOR AREA RATIO DIAGRAM



AREAS (MEASURED FROM INTERIOR FACE OF STRUCTURE):

A/C AREA 1ST FLOOR.....2,956.26 SQ. FT.
GARAGE.....535.28 SQ. FT.
A/C AREA 2ND FLOOR.....1,252.24 SQ. FT.
TOTAL.....4,743.78 SQ. FT. (4,930.00 SQ. FT. MAX. ALLOWED)

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(305) 593-9798
WWW.MAS.MIAMI



GIRO RESIDENCE
705 CALATRAVA AVENUE
CORAL GABLES, FLORIDA 33143

REVISION DATE	BY

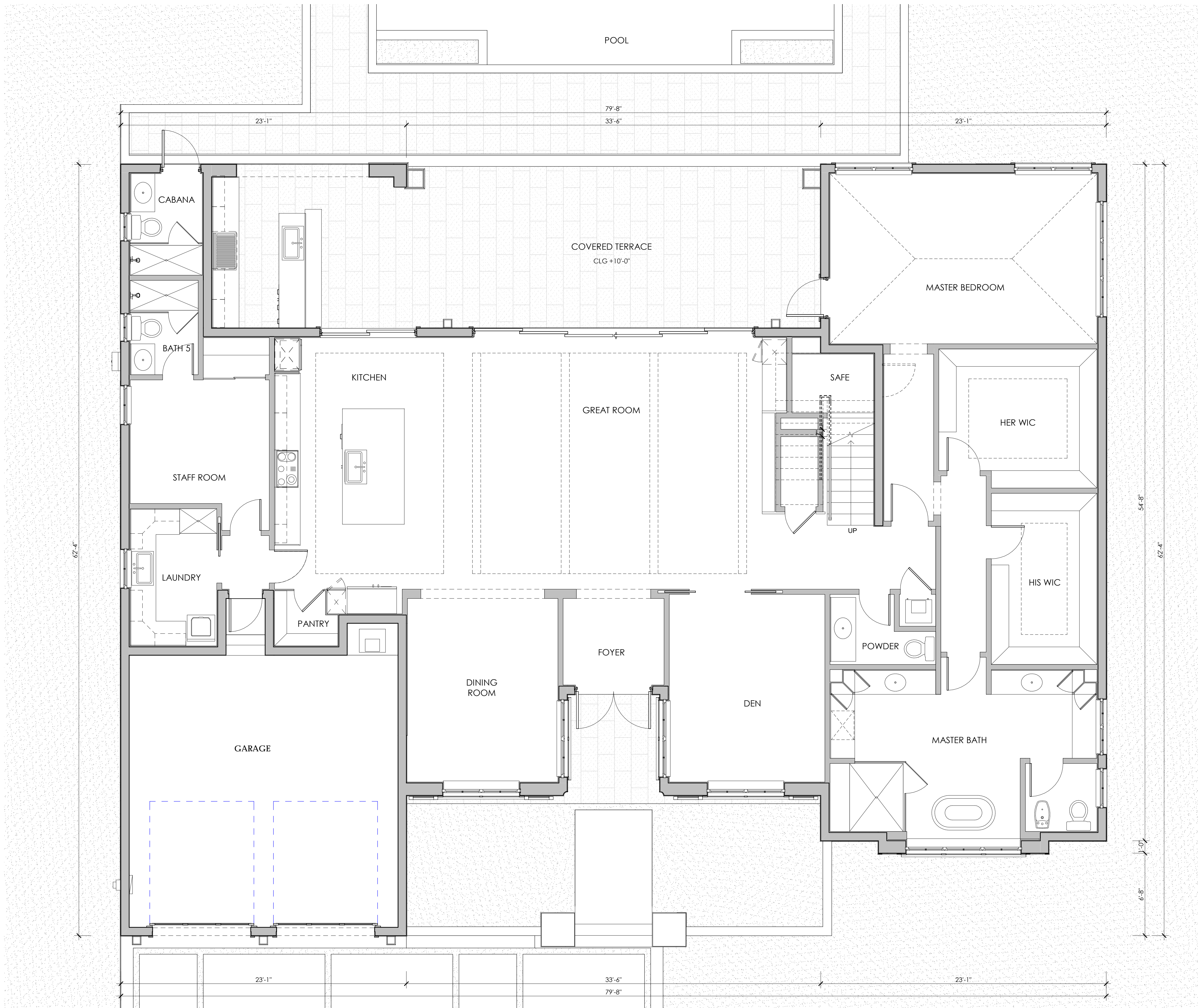
AREA DIAGRAMS

SCALE 1"=20'-0"
DATE 02-17-21
JOB 2015
SHEET

SP-2

4/19/2021

JENNIFER MALLON-SALMAN • AR 17184
LICENSE # A A 20001191



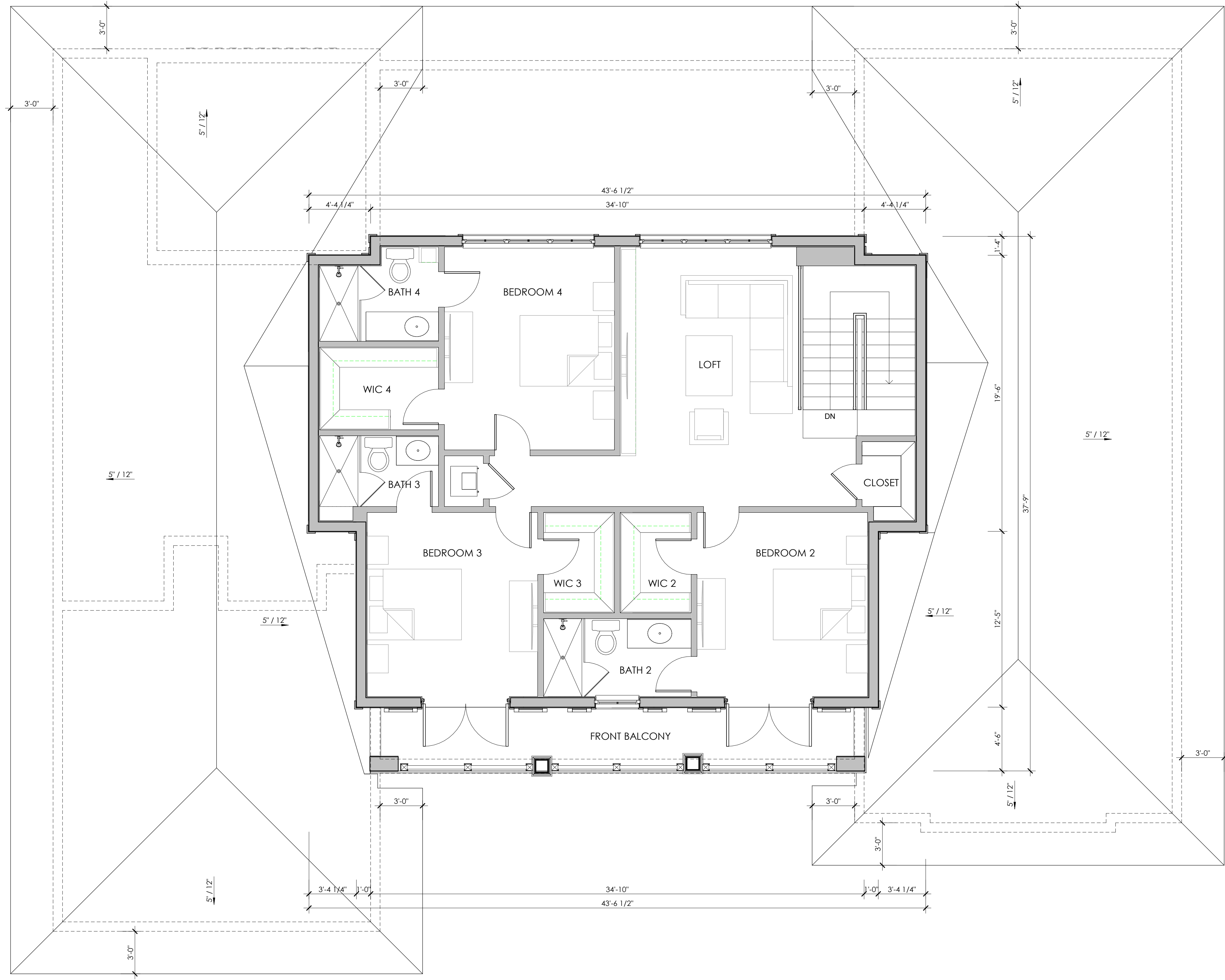
FIRST FLOOR PLAN
1/4" = 1'-0"

REVISIONS	DATE	DESCRIPTION

P:\PROJECTS\GIRO RESIDENCE\Revit\Giro Residence.rvt

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LICENSE # A 26201191

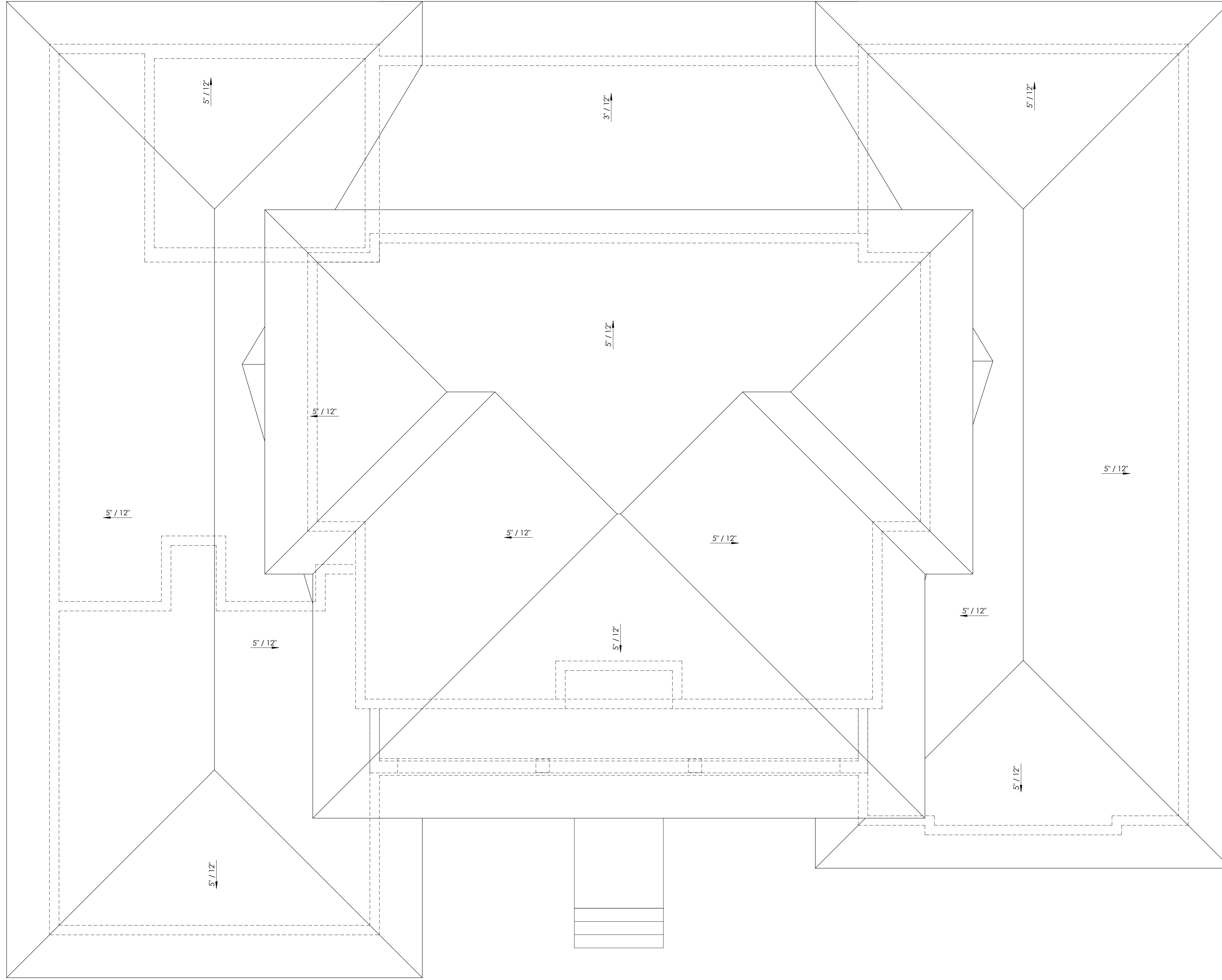


SECOND FLOOR PLAN
1/4" = 1'-0"

NO.	REVISIONS

P:\PROJECTS\GIRO RESIDENCE\Revit\Giro Residence.rvt

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ROOF PLAN
1/4" = 1'-0"

NO.	REVISIONS

ROOF PLAN

SCALE 1/4" = 1'-0"

JOB 2015

SHEET

BA3

4/19/2021

JENNIFER MALLON SALAMAN • AR-17181

RESIDENCE AT
705 CALATRAVA AVE
CORAL GABLES, FLORIDA.

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MIAMI ARCHITECTURAL STUDIO, LLC

7910 NW 25TH STREET
SUITE 200
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LICENSE # A 26201191



8 711 CALATRAVA AVE.



9 PROPOSED HOUSE 705 CALATRAVA AVE



10 8010 OLD CUTLER RD



1



2



3



LOCATION MAP
NTS
NEIGHBORING HOUSES



4



5



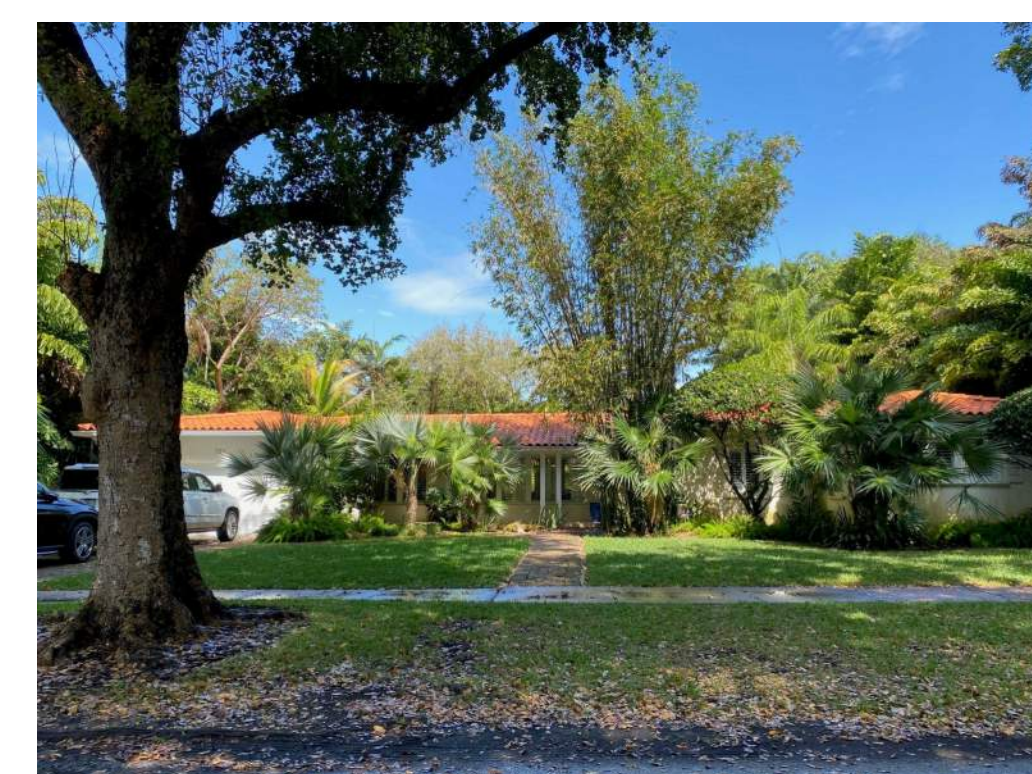
6



7



8



9 EXISTING HOUSE TO BE DEMOLISHED



10

NEIGHBORING HOUSES ADDRESS LIST

1. 8100 OLD CUTLER RD.
2. 704 CALATRAVA AVE.
3. 714 CALATRAVA AVE.
4. 730 CALATRAVA AVE.
5. 735 CALATRAVA AVE.
6. 731 CALATRAVA AVE.
7. 721 CALATRAVA AVE.
8. 711 CALATRAVA AVE.
9. 705 CALATRAVA AVE.
10. 8010 OLD CUTLER RD.

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RESIDENCE AT
705 CALATRAVA AVE
CORAL GABLES, FLORIDA.

REVISIONS	

SITE PHOTOS

SCALE
JOB 2015
SHEET

BA4

4/19/2021

JENNIFER MALLON SALAMAN • AR-17181

P:\PROJECTS\GIRO RESIDENCE\Revit\Giro Residence.rvt

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FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

KEYNOTES

1. CONCRETE ROOF TILE
2. SMOOTH FINISH STUCCO
3. SMOOTH FINISH STUCCO LAP SIDING
4. SQUARE CUT CORAL ROCK VENEER
5. SMOOTH FINISHED STUCCO BAND
6. SMOOTH FINISHED STUCCO BASE MOLDING
7. DECORATIVE ALUMINUM SHUTTERS
8. ALUMINUM RAILING (BRONZE)
9. STONE FLOORING AND STEPS
10. WALL MOUNTED LIGHTS

- ENTRY FRENCH DOORS - ALUMINUM BLUE, FINISH IMPACT
 FRENCH DOORS - ALUMINUM WHITE, FINISH IMPACT
 SLIDING DOORS - ALUMINUM WHITE, FINISH IMPACT
 WINDOWS - ALUMINUM WHITE, FINISH IMPACT

KEYNOTES

- ROOF TILE - BORAL SAXONY 900
 SPLIT SHAKE - CHARCOAL BROWN BLEND

EXTERIOR PAINT COLOR

- WALLS: EXTRA WHITE SW 7006
 MOLDINGS: ORHAMI WHITE SW 7636

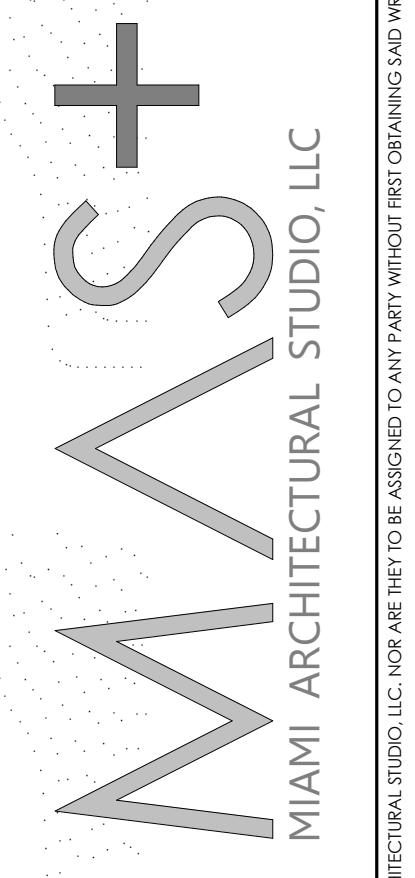
- SHUTTERS: SANTORINI BLUE SW 7607

- FASCIA AND SOFFITS: PURE WHITE SW 7005

- GUTTER: BRONZE

- RAILINGS: SANTORINI BLUE SW 7607

7910 NW 25TH STREET
 SUITE 200
 DORAL, FL 33122
 (305) 593-9798
 WWW.MAS.MIAMI



RESIDENCE AT
 705 CALATRAVA AVE
 CORAL GABLES, FLORIDA.

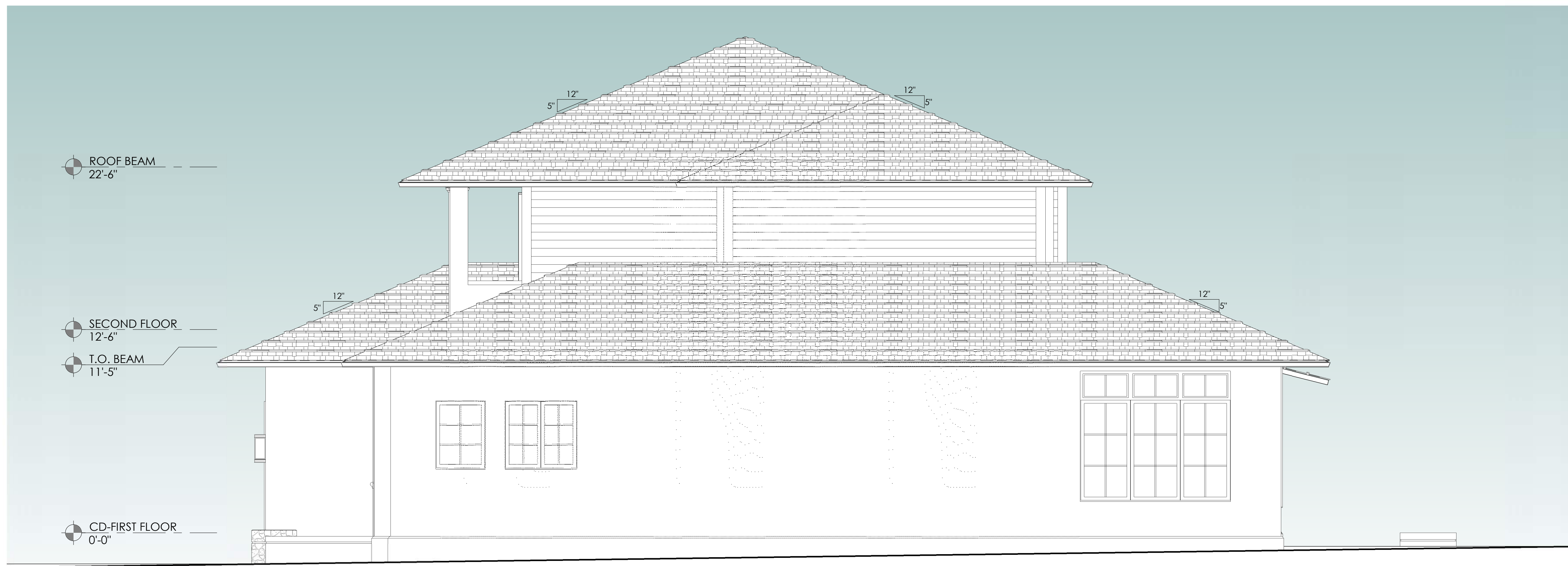
REVISIONS	DATE	DESCRIPTION

ELEVATIONS
SCALE: 1/4" = 1'-0"
JOB: 2015
SHEET
BA5

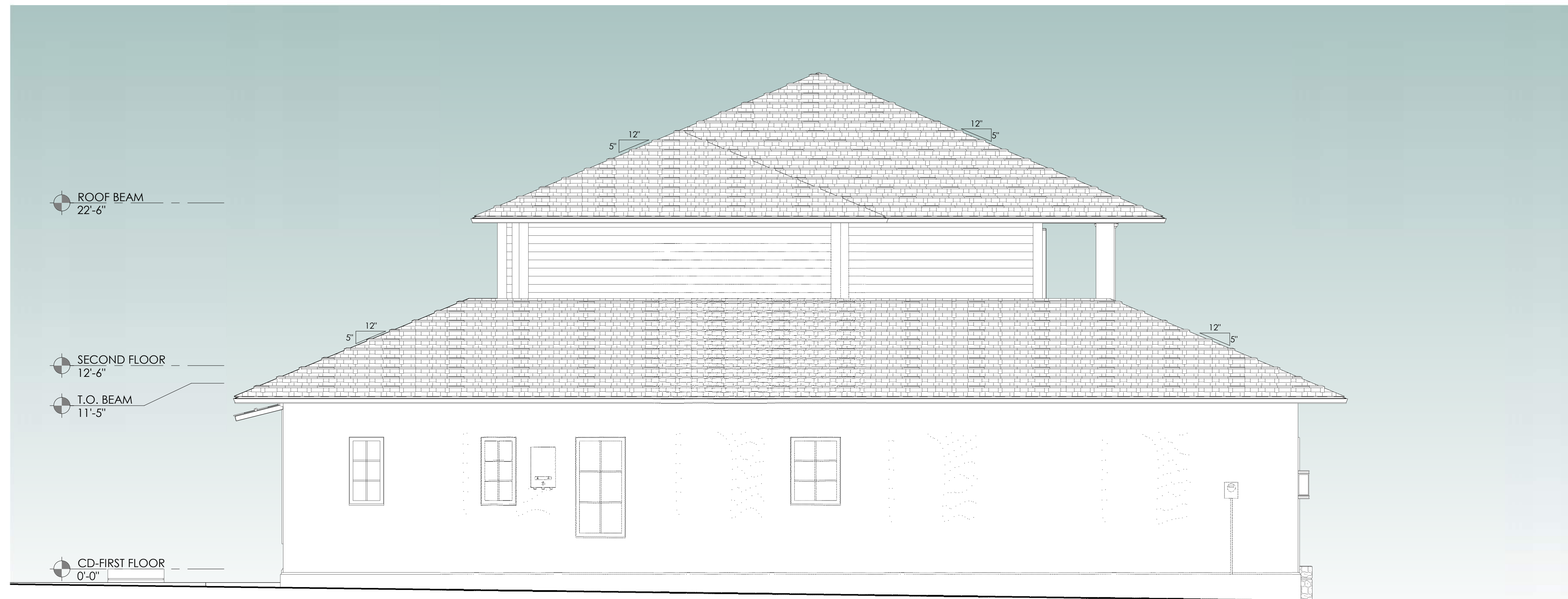
4/19/2021
 JENNIFER MALLON SALAMAN • AR-17181

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RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

7910 NW 25TH STREET
SUITE 200
DORAL, FL 33122
(305) 593-9798
WWW.MAS.MIAMI

MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

RESIDENCE AT
705 CALATRAVA AVE
CORAL GABLES, FLORIDA.

REVISIONS		

ELEVATIONS
SCALE: 1/4" = 1'-0"
JOB: 2015
SHEET
BA6

4/19/2021
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LICENSE # A 2600191



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SUITE 200
DORAL, FL 33122
(305) 593-9798
WWW.MAS.MIAMI

MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

RESIDENCE AT
705 CALATRAVA AVE
CORAL GABLES, FLORIDA.

NO.	REVISIONS

SCALE
JOB 2015
SHEET

BA7

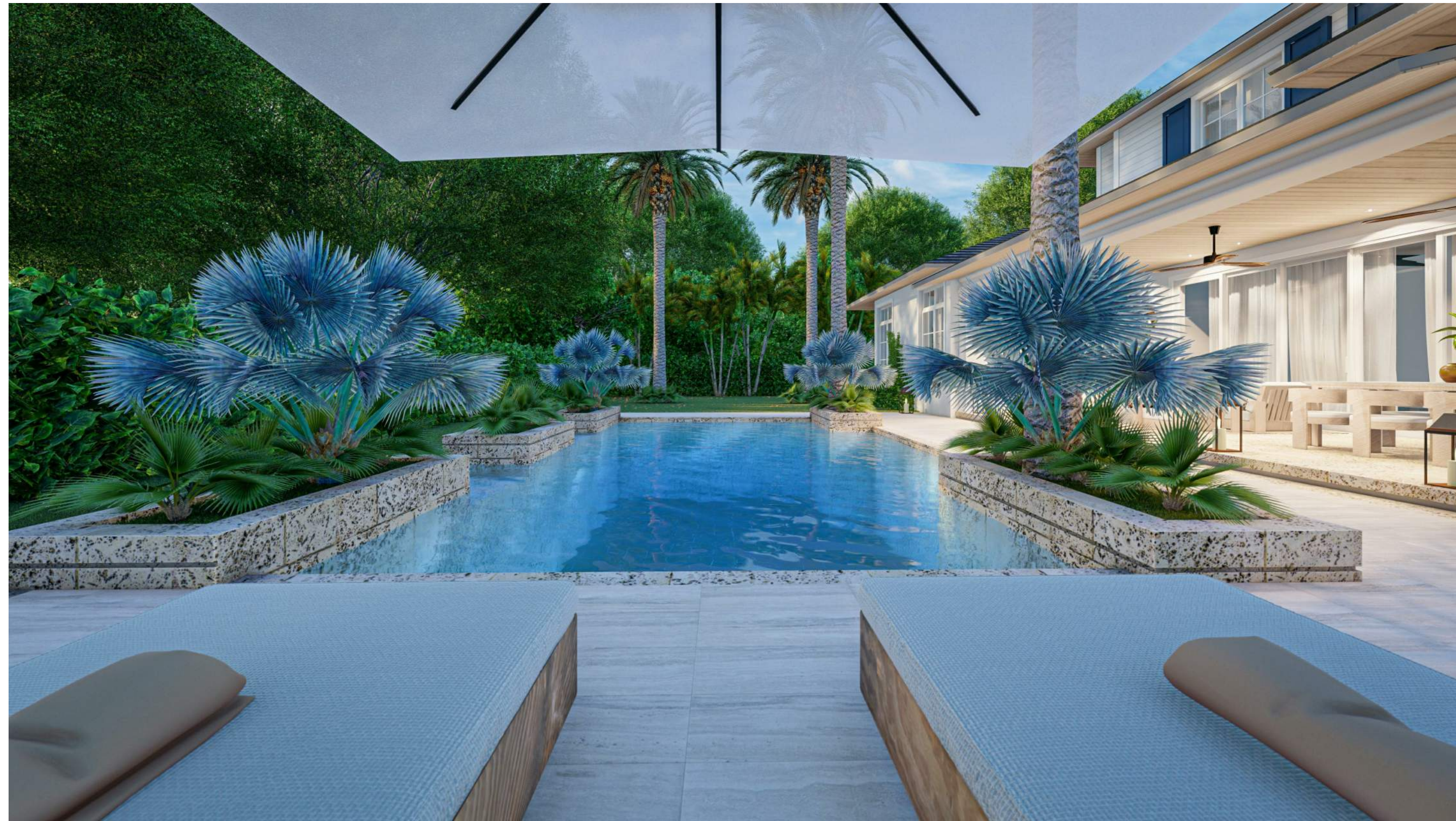
4/19/2021

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LICENSE # A 2600191

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7910 NW 25TH STREET
 SUITE 200
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 WWW.MAS+.MIAMI

MAS+
 MIAMI ARCHITECTURAL STUDIO, LLC

RESIDENCE AT
 705 CALATRAVA AVE
 CORAL GABLES, FLORIDA.

NO.	REVISIONS

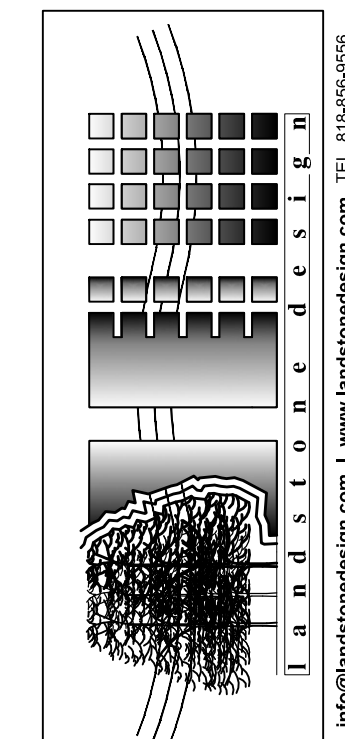
SCALE
 JOB 2015
 SHEET
BA8

4/19/2021

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TREE	COMMON NAME/SCIENTIFIC NAME	DBH (inches)	HT (feet)	CANOPY (feet)	DISPOSITION	CONDITION	COMMENTS
1	BLACK OLIVE TREE/ <i>Bucida buceras</i>	20	40	30	REMAIN	GOOD	SEE PROTECTION DETAILS
2	BLACK OLIVE TREE/ <i>Bucida buceras</i>	22	40	25	REMAIN	GOOD	SEE PROTECTION DETAILS
3	BLACK OLIVE TREE/ <i>Bucida buceras</i>	19	30	35	REMAIN	GOOD	SEE PROTECTION DETAILS
4	JAPANESE PRIVET/ <i>Ligustrum japonicum</i>	ML	15	12	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
5	DWARF PALMETTO/ <i>Sabal minor</i>	5	12	5	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
6	JAPANESE PRIVET/ <i>Ligustrum japonicum</i>	ML	15	15	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
7	BAMBOO/ <i>Bambusa spp.</i>	7	12	20	REMOVE	FAIR	ACCENT / NO MITIGATION REQ.
8	DWARF PALMETTO/ <i>Sabal minor</i>	4	12	5	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
9	DWARF PALMETTO/ <i>Sabal minor</i>	5	13	6	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
10	DWARF PALMETTO/ <i>Sabal minor</i>	4	12	4	TO RELOCATE	FAIR	SEE RELOCATION DETAILS
11	QUEEN PALM/ <i>Syagrus romanzoffiana</i>	7	30	18	REMOVE	FAIR	SEE PROTECTION DETAILS
12	LIVE OAK/ <i>Quercus virginiana</i>	17	20	15	REMAIN	FAIR	SEE PROTECTION DETAILS
12A	GUMBO LIMBO/ <i>Bursera simaruba</i>	18	40	30	REMAIN	GOOD	SEE PROTECTION DETAILS
13	LIVE OAK/ <i>Quercus virginiana</i>	20+18	35	30	REMOVE	POOR	POOR CANOPY, UNDER POWERLINES
14	GUMBO LIMBO/ <i>Bursera simaruba</i>	12	25	20	REMAIN	FAIR	SEE PROTECTION DETAILS

CONDITION: EXCELLENT=90-100%, GOOD=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35%
 All Shrubs/Vegetation not shown on this schedule are to be Removed.

TREE MITIGATION

TOTAL AREA OF CANOPY PROPOSED FOR REMOVAL:
 #13 (707 S.F.) TO BE REMOVED AND MITIGATED/ POOR CONDITION TREE, UNDER POWERLINES, SEVERE CUTS DUE TO POWERLINE CLEARANCE, DOUBLE TRUNK
 #11 (254 S.F.) TO BE REMOVED AND MITIGATED

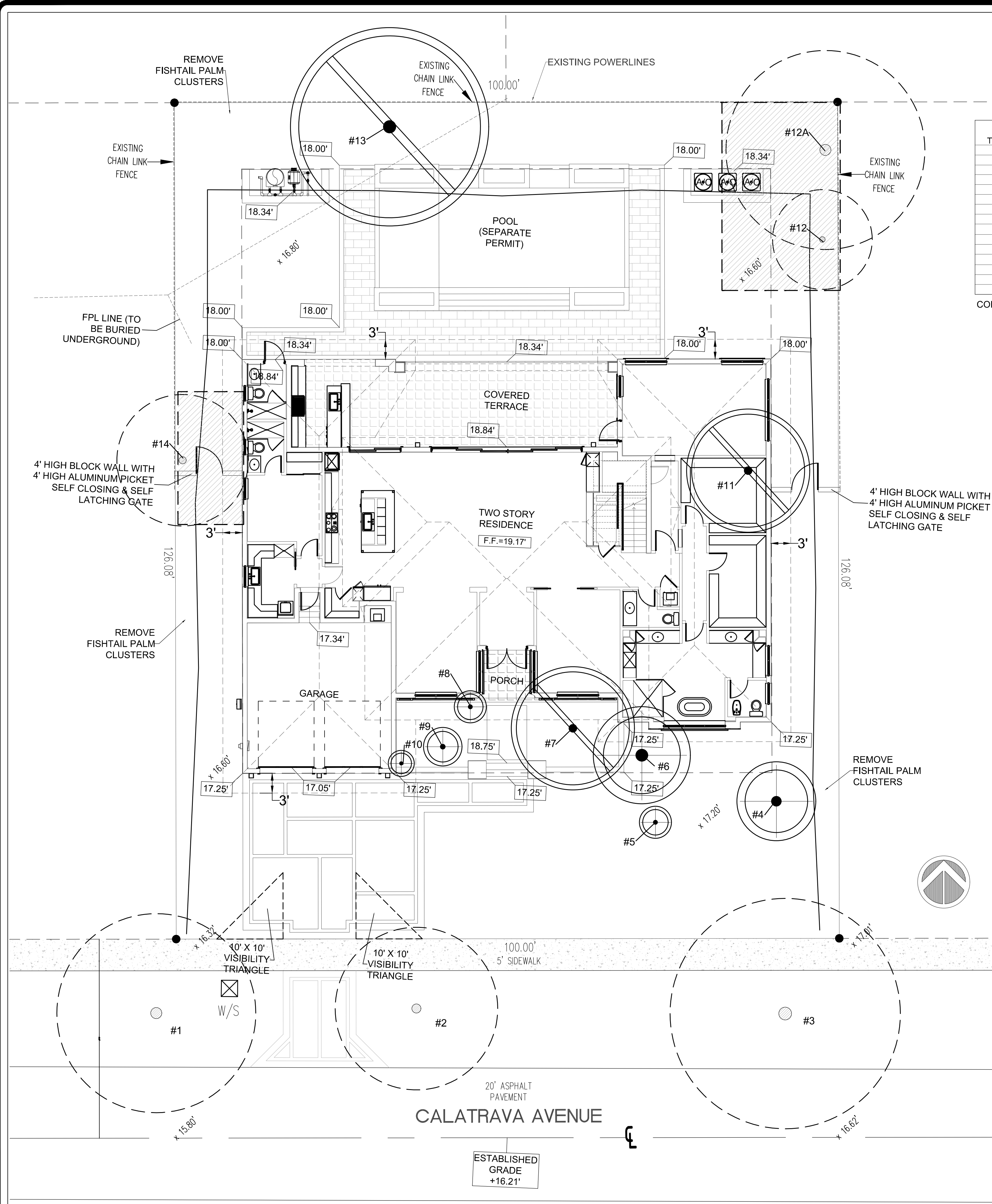
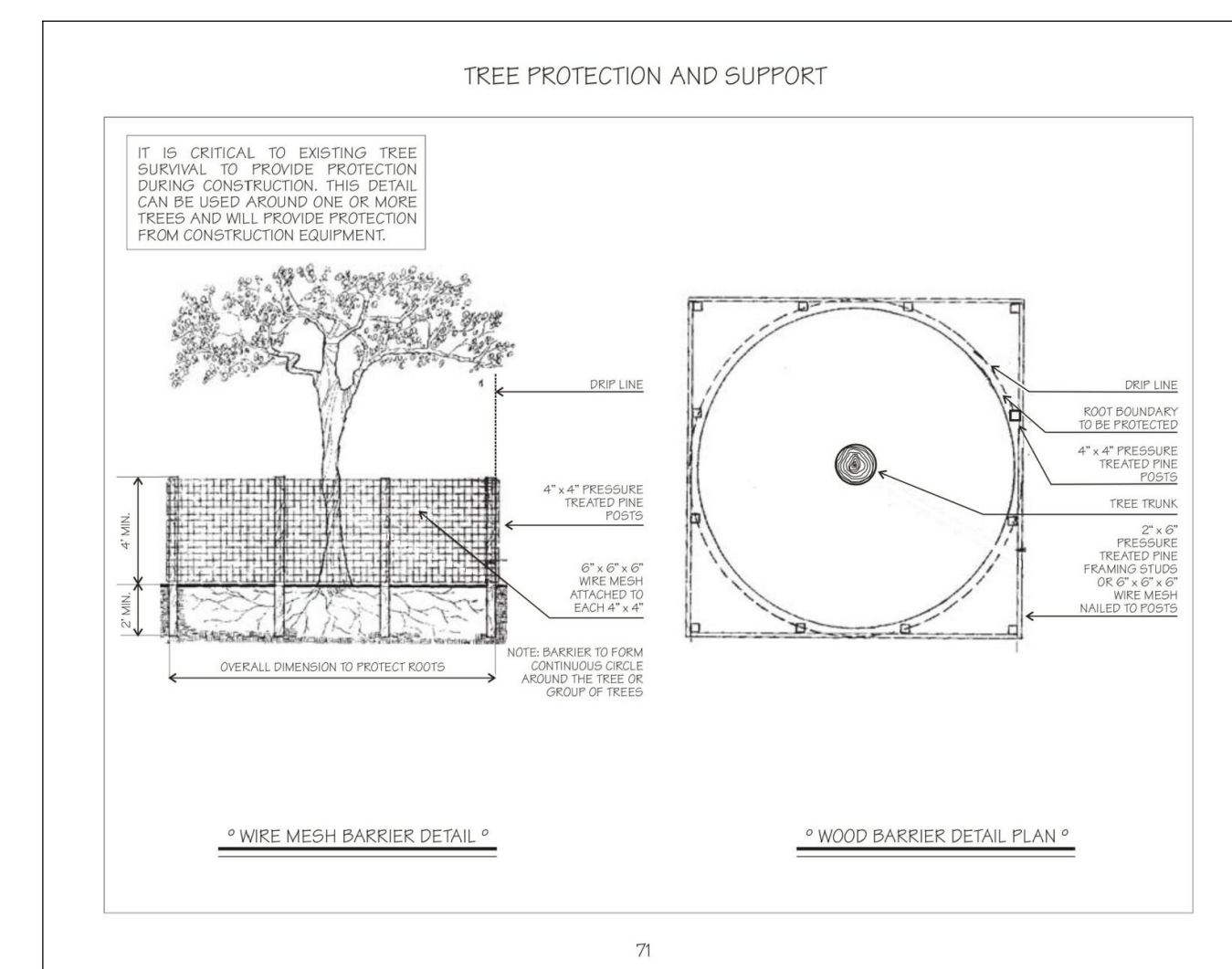
*961 S.F. TO BE REMOVED AND MITIGATED
 *1,000 S.F. OF CANOPY PROPOSED FOR REPLACEMENT AS PER REQ.

REPLACEMENT MITIGATION: 1,000 S.F.

(2) 8' HT. TREES @ 300s.f. each = 600s.f. / PROPOSED: (2) Spanish stopper Trees at 8-10' oa. ht, ML, fg
 (2) 6' OA HT TREES @ 200s.f. each = 400s.f. / PROPOSED: (2) Japanese Blueberry 6-8' ht, std, fg

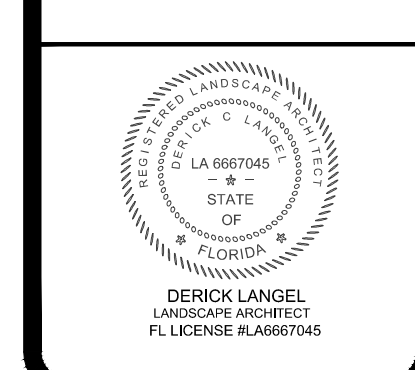
TREE DISPOSITION LEGEND:

- Existing TREE/PALM TO REMAIN
 Refer To Tree Protection during construction - Detail.
 (Refer To 'Tree Survey /Disposition Plan List' For Species and Canopy Sizes) Symbol may be enlarged to include more than one tree
- Existing TREE/PALM TO BE REMOVED
 Mitigated with Replacement Trees - Refer To Landscape Plan
 (Refer To 'Tree Survey /Disposition Plan List' For Species and Canopy Sizes)
 Symbol may be enlarged to include more than one tree
- Existing TREE/PALM TO BE RELOCATED
 Refer To Landscape Plan for new location
 (All Sabal Palms on site in conflict with proposed development will be relocated)
 Whether noted on plans or not.
 Symbol may be enlarged to include more than one tree
- LIMITS OF EXISTING TREE & PALM PROTECTION ZONE



REVISIONS	DATE

GIRO RESIDENCE
 705 CALATRAVA AVENUE
 Coral Gables, FL, 33143



DATE: 03-10-2021
 SCALE: 1/8" = 1'-0"
 SHEET

L-1
 TREE DISPOSITION PLAN