RENOVATION & ADDITION FOR MR. JASON HERTZBERG





LEGAL DESCRIPTION

LOTS 13, 14, AND 15, BLOCK 33, CORAL GABLES COUNTRY CLUB SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE RECORDS OF MIAMI-DADE COUNTY, FLORIDA

FLOOD INFORMATION

FLOOD ZONE = $\frac{X}{N/A}$ BASE FLOOD ELEVATION = $\frac{X}{N/A}$ COMMUNITY No = 1205

COMMUNITY No = 120539

PANEL No = 0457

DATE OF FIRM = 09/11/200

AREA OF A MINIMAL FLOOD HAZARD.

(*) FLOOD INFORMATION IS BASED ON A SURVEY PREPARED BY JOHN IBARRA, DATED 01/20/2020

APPLICABLE CODES

FLORIDA BUILDING CODE (F.B.C.), RESIDENTIAL 2020 7th EDITION.
FLORIDA BUILDING CODE (F.B.C.), EXISTING BUILDING 2020
7th EDITION, ALTERATION LEVEL 2.
N.F.P.A. 2012 EDITION.
NATIONAL ELECTRICAL CODE, 2017 EDITION.
ALL APPLICABLE CODES.

	DRAWING INDEX							
SHEET No.	SHEET NAME							
	ARCHITECTURAL							
C.01	COVER SHEET							
C.02	CONTEXT ELEVATIONS							
C.03	EXISTING ELEVATIONS							
SP.01	EXISTING SITE PLAN							
SP.02	PROPOSED SITE PLAN							
SP.03	ZONING DIAGRAM							
A1.01	EXISTING & DEMOLITION FLOOR PLAN							
A1.02	PROPOSED FLOOR PLAN							
A2.01	ELEVATIONS							
A2.02	ELEVATIONS							
A2.03	SECTIONS							
A3.01	DOOR & WINDOW SCHEDULES							
	LANDSCAPE & IRRIGATION							
TD.1	TREE DISPOSITION PLAN							
TD.2	TREE DISPOSITION NOTES							
L.1	LANDSCAPE PLAN							
L.2	LANDSCAPE NOTES							

PROJECT DIRECTORY

ARCHITECT

J. ANTONIO RODRIGUEZ- TELLAHECHE, LIC. AR93998 2441 N.W. 93 AVENUE, SUITE 104-B -DORAL, FLORIDA 33172

DORAL, FLORIDA 33172 PHONE: 786.260.4265 www.rodtell.com <u>LANSCAPE</u>

enunez8420@att.net

ENRIQUE NUÑEZ, ASLA LIC. LA0000955 10235 SW 9th TERRACE MIAMI, FLORIDA 33174 PHONE: 305.772.3557 STRUCTURAL
TC ENGINEERING, INC
LIC. 74099
MIAMI, FLORIDA
PHONE: 305.261.0321
CONTACT: ANTONIO CANELAS, P.E.

MEP
JMM CONSULTING ENGINEERS, LLC
LIC. 56018
10251 SUNSET DRIVE - MIAMI, FLORIDA 33173
PHONE: 305.255.1621
CONTACT: JOSE M. MARTINEZ, PE

ntonio Rodriguez Tella

J. Antonio Rodriguez Tellaheche, Architect

> Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265 email: rodtell@aol.com

lecue Dates:

RENOVATION & ADDITION FOR MR. JASON HERTZBERG
3247 RIVIERA DRIVE,

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE,

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

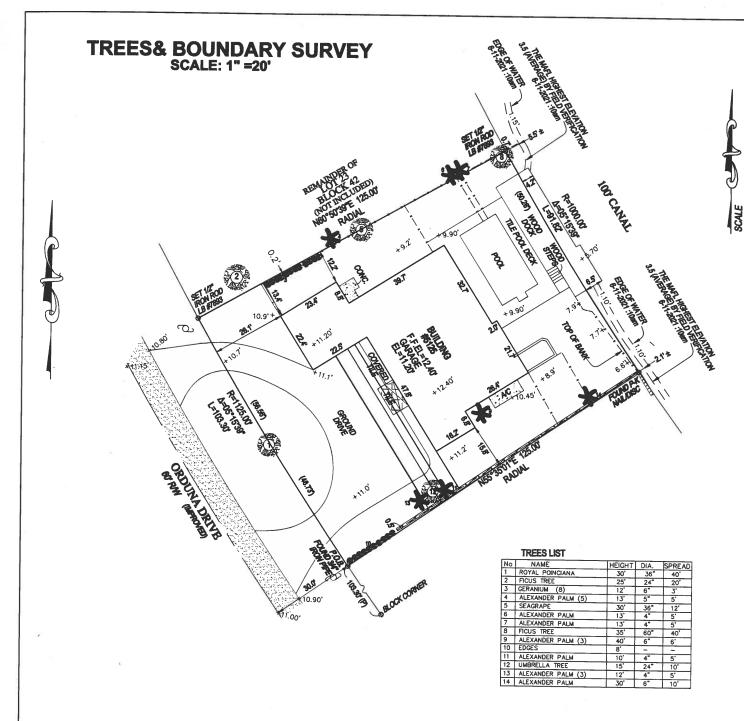
COVER SHEET

b Number:

Scale: AS SHOWN
Drawn: N.P.
Checked: T.R.T.

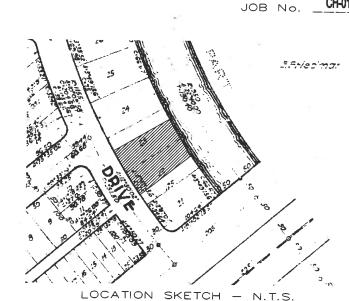


CH-010068



CERTIFIED TO: MANUEL CHAMIZO III

REVISIONS:



PROPERTY ADDRESS: 5125 ORDUNA DRIVE, CORAL GABLES, FL 33146 FOLIO# 03-4119-004-0020

PORTIONS OF LOTS 22 AND 23 AS DESCRIBE IN DB 3841-375 IN BLOCK 42 OF REVISED PLAT OF CG RIVIERA SETION PART 3
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 44 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ELEVATION INFORMATIONS

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY DATED OR REVISED ON 9/11/09 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY 120639 PANEL NUMBER 12071C0457 SUFFIX L ELEVATIONS REFER TO N.G.V.D. 1929 BENCHMARK USED: CG-11-1-R ELEVATION= 13.35'

LEGAL NOTES

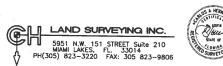
DATE: JUNE 11, 2021

UP-DATED

THIS SURVEY WAS PERFORMED DATE:
OCT. 15, 2020

SURVEY BY OTHERS

EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINATE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. FENCE OWNERSHIP NOT DETERMINED.



Carlos Arturo Hernandez

2021.06.11 14:33:42-04'00

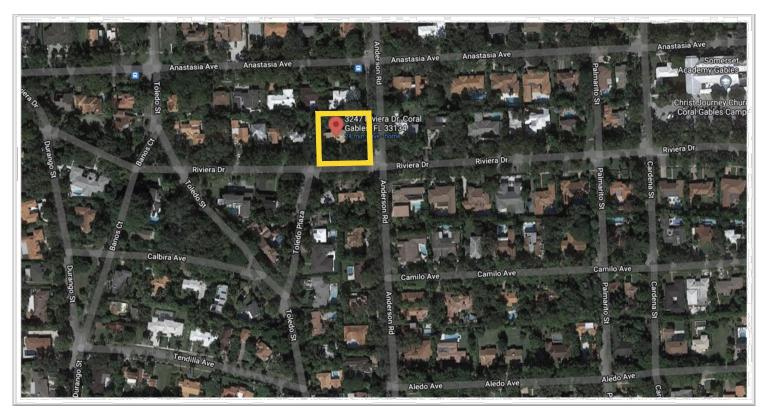
CARLOS A. HERNANDEZ

LAND SURVEYOR AND MAPPER No. 5718 STATE OF FLORIDA T VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISE FLORIDA LICENSED SURVEYOR AND MAPPER

LEGEND AND ABBREVIATIONS

6 = ELEVATIONS = FOUND PK NAIL

F.I.P.1/2"= FOUND IRON PIPE F.F.EL= FINISHED FLOOR ELEVATION W.M. = WATER METER



LOCATION SKETCH

CONTEXT ELEVATIONS

ADJACENT HOUSE - WEST SIDE (3245 RIVIERA DRIVE)

SUBJECT PROPERTY (3247 RIVIERA DRIVE)





HOUSE ACROSS ANDERSON ROAD - EAST SIDE (3211 ANDERSON RD)



RIVIERA DRIVE



HOUSE ACROSS RIVIERA ST. (3250 RIVIERA DRIVE)

REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

CONTEXT **ELEVATIONS**

EXISTING ELEVATIONS



SOUTH (FRONT) ELEVATION



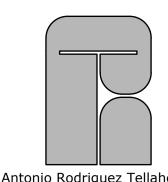
WEST (LEFT) ELEVATION



NORTH (REAR) ELEVATION



EAST (RIGHT) ELEVATION



J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Desig Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

ssue Dates:

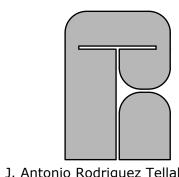
ATION & ADDITION FOR JASON HERTZBERG

CONFIDENTIAL AND PROPRIETAR

DO NOT MODIFY, DUPLICAT
REPRODUCE, DISCLOSE OF
TRANSFER THESE MATERIAL
WITHOUT THE EXPRESS WRITTE
PERMISSION OF J. ANTON
RODDICULES TELL ALLEC DE

Sheet Title:

EXISTING ELEVATIONS



J. Antonio Rodriguez Tellaheche,
Architect

Architecture Planning Design
Arch. Lic. AR93998 /
Interior Design Lic. ID5544
2441 NW 93 Avenue

Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

ssue Dates.

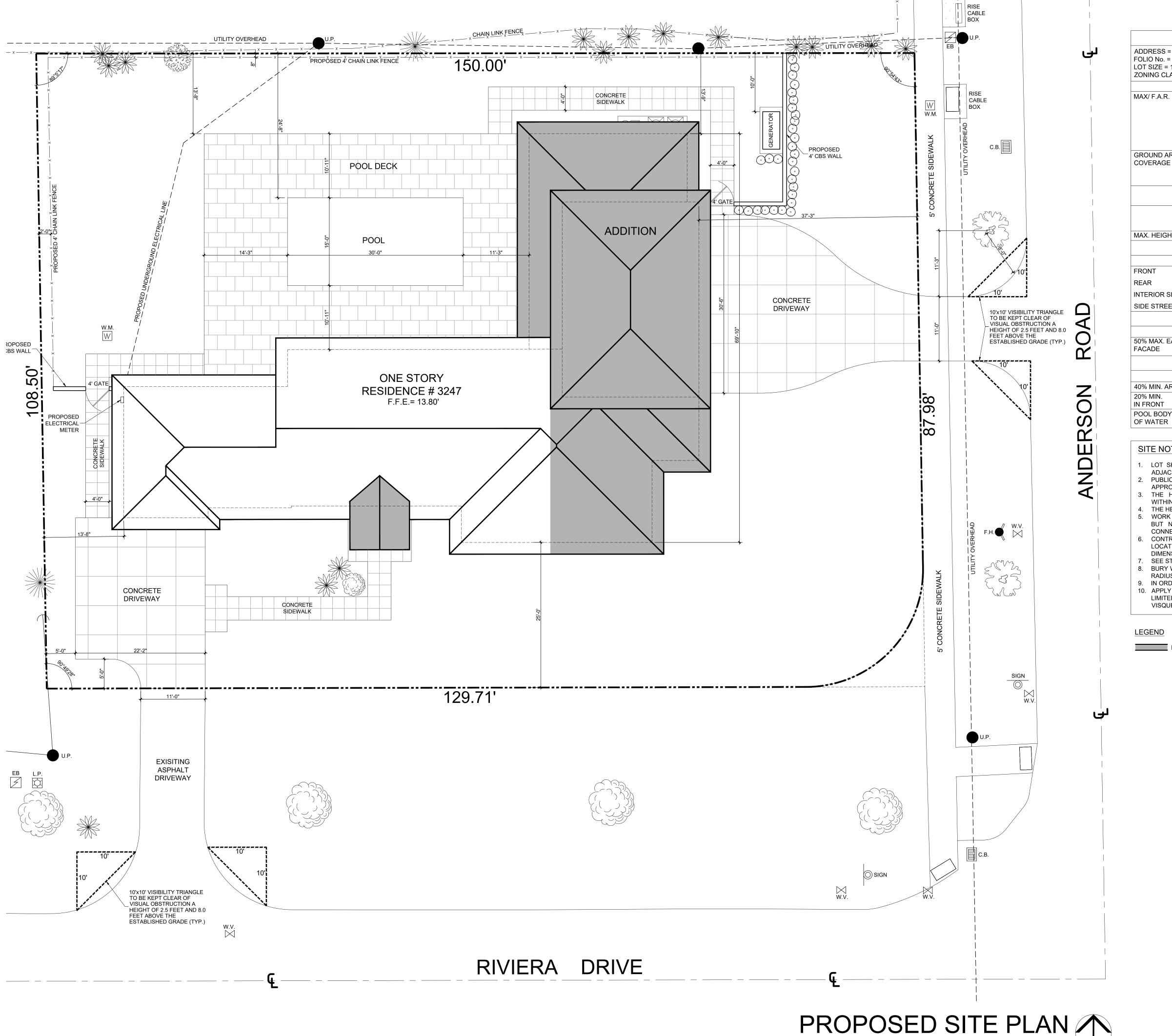
ATION & ADDITION FOR JASON HERTZBERG

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

EXISTING SITE PLAN



ZONING LEGEND

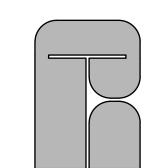
ADDRESS = 3247 RIVIERA DRIVE FOLIO No. = 03-4118-005-0310 LOT SIZE = 16.200 S.F

LOT SIZE = 16,200 ZONING CLASSIF) S.F FICATION = (SFR) SINGLE-FAMILY	RESIDENTIAL				
	REQUIRED	PROVIDED				
MAX/ F.A.R.	48% FOR 1rst 5,000 S.F. 5,000 x 0.48 = 2,400.00 S.F. 35% NEXT 5,000 S.F. 5,000 x 0.35 = 1,750.00 S.F. 30% REMAIN 6,200 x 0.30 = 1,860.00 S.F.	GROUND FLOOR = 2,518.72 S.F. GARAGES/WORK SHOP = 808.05 S.F.				
	TOTAL= 6,010.00 S.F.	TOTAL PROVIDED = 3,326.77 S.F.				
GROUND AREA COVERAGE	35% MAXIMUM 16.200 x 0.35 = 5,670.00 S.F.	GROUND FLOOR = 2,722.73 S.F. GARAGES/WORK SHOP = 866.30 S.F. COVERED ENTRY = 57.15 S.F.				
		TOTAL PROVIDED = 3,646.18 S.F. (22.51%)				
	AUXILIARY STRUCTURES	POOL DECK = 1,765.29 S.F.				
		TOTAL PROVIDED = 1,768.29 S.F.				
	45% MAXIMUM (35% MAX+AUXILIARY STRUCT.) 16,200 x 0.45 = 7,290.00 S.F.	TOTAL PROVIDED = 5,411.47 S.F. (33.40%)				
MAX. HEIGHT	25 FEET	20'-8"				
	SETBA	ACKS				
	REQUIRED	PROVIDED				
FRONT	25 FT	25'-0"				
REAR	10 FT	14'-1"				
INTERIOR SIDE	10 FT	13'-8"				
SIDE STREET	15 FT	37'-3"				
	GARAGE F	RONTAGE				
	REQUIRED	PROVIDED				
50% MAX. EAST FACADE	69'-10" x 50% = 34'-11"	33'-4" (47.73%)				
	OPEN LAI	NDSCAPE				
	REQUIRED	PROVIDED				
40% MIN. AREA	16,200 x 0.40 = 6,480.00 S.F.	8,097.13 S.F. (49.98%)				
20% MIN. IN FRONT	6,480 x 0.20 = 1,296.00 S.F.	2,923.72 S.F.				
POOL BODY OF WATER		450.00 S.F.				

SITE NOTES

- 1. LOT SHALL BE GRADED PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO
- ADJACENT PROPERTY. (SEE DRAINAGE PLAN).
 2. PUBLIC WORKS DEPARTMENT: A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY
- THE HEIGHT OF THE FENCES, WALL AND HEDGES SHALL NOT EXCEED 2.5 FT. IN HEIGHT WITHIN 10 FT. OF THE EDGE OF ANY DRIVEWAY LEADING TO A RIGHT OF WAY.
- THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE. WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE, TREES AND UTILITY
- 6. CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. VERIFY ALL
- DIMENSIONS AND NOTES BEFORE PROCEEDING WITH WORK. SEE STRUCTURAL PLANS FOR SOIL CONDITIONS.
- 8. BURY WATER, PHONE, CABLE, AND ELECTRIC SERVICE 18" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACK FILL AROUND PIPES.
- 9. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL TRADES. 10. APPLY APPROVED AND ACCEPTABLE SOIL POISONING TREATMENT INCLUDING BUT NOT LIMITED TO PATIOS, WALKS ETC, PRIOR TO PLACEMENT ALL NEW AREAS TO BE COVERED OF VISQUEEN (SEE STRUCTURAL PLANS).

DENOTES AREA OF ADDITION



J. Antonio Rodriguez Tellaheche, Architect

Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

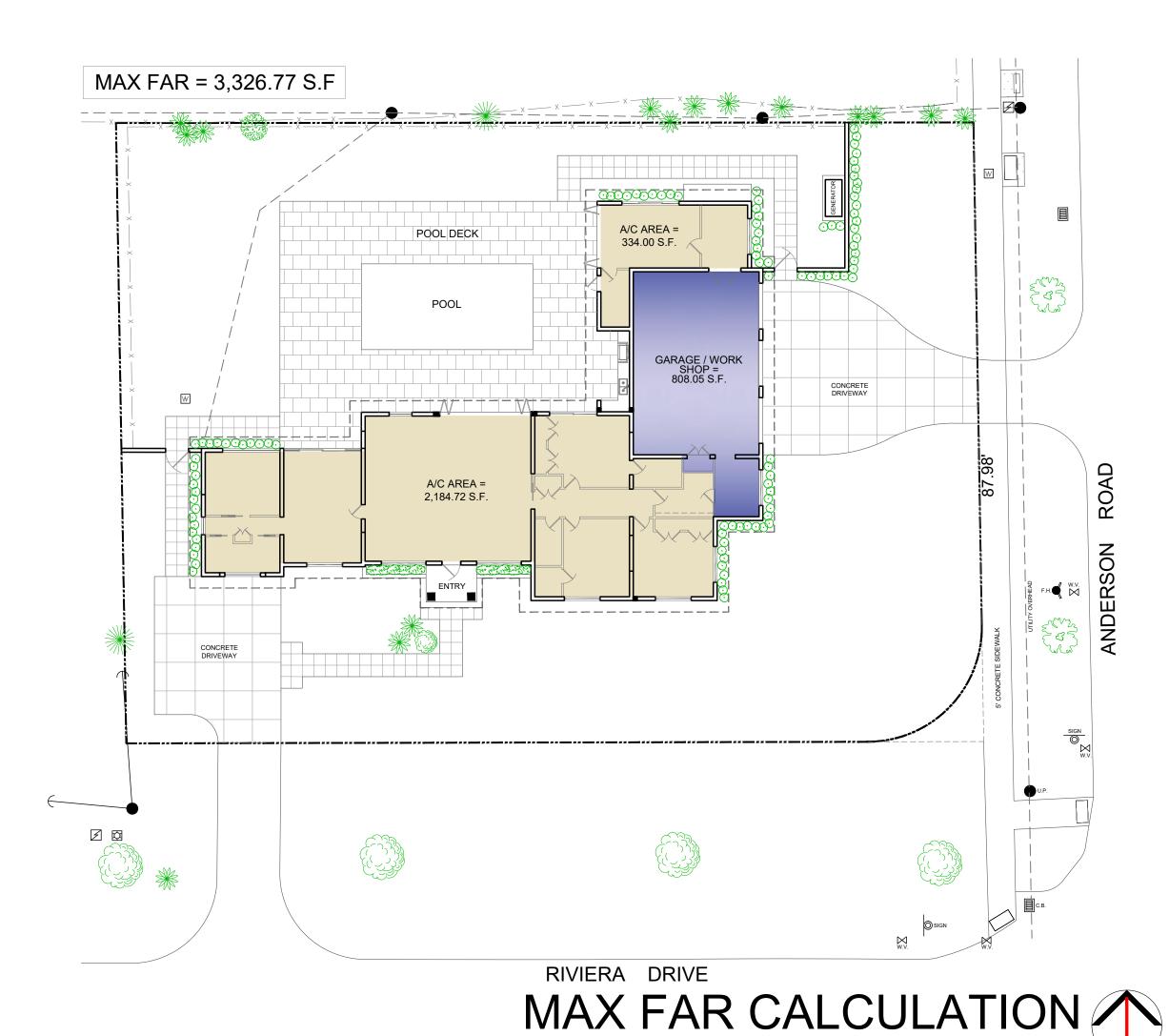
email: rodtell@aol.com

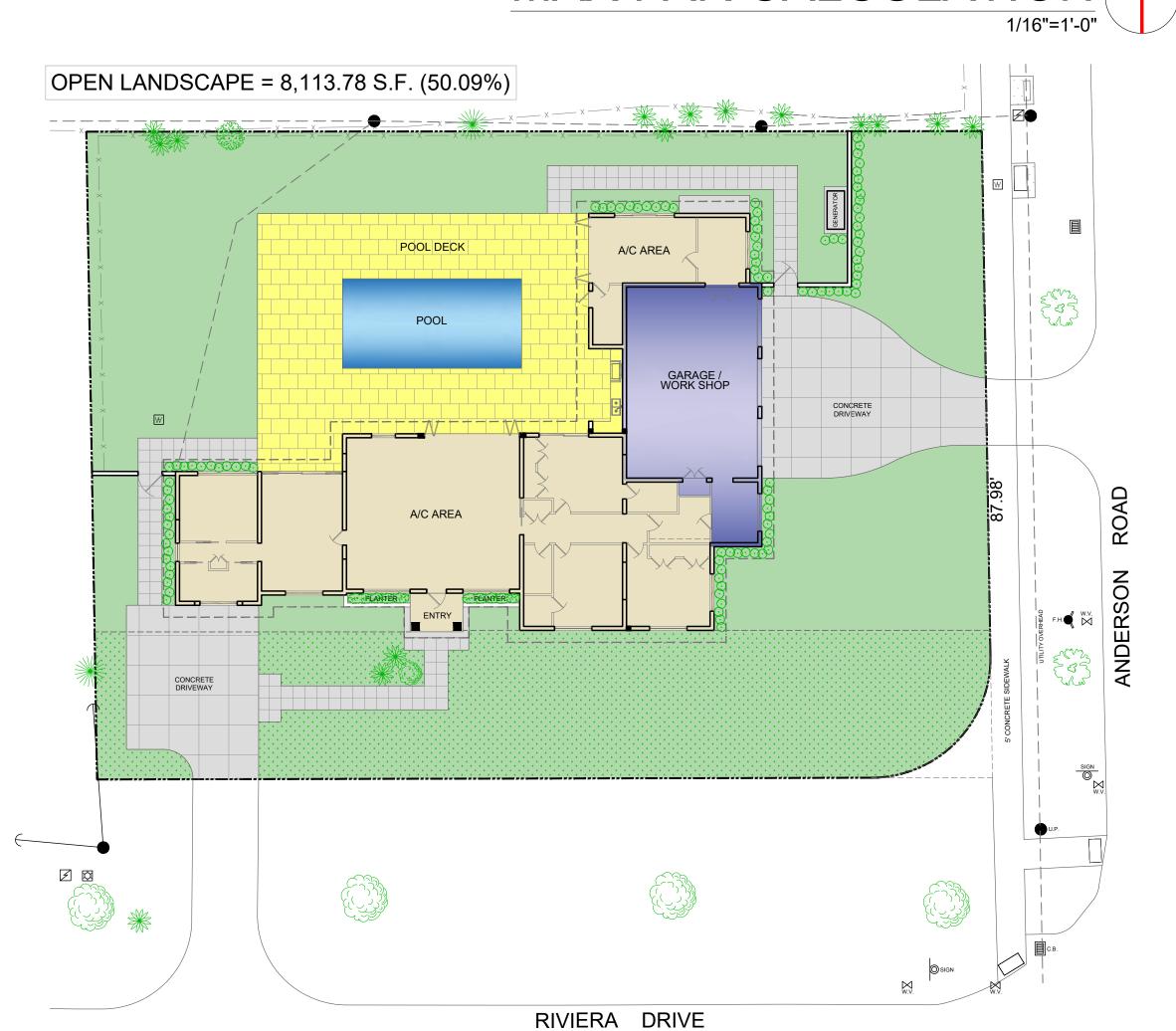
ON & ADDITION FOR SON HERTZBERG RENOVATION MR. JAS 3247 CORAL GA

CONFIDENTIAL AND PROPRIETARY DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

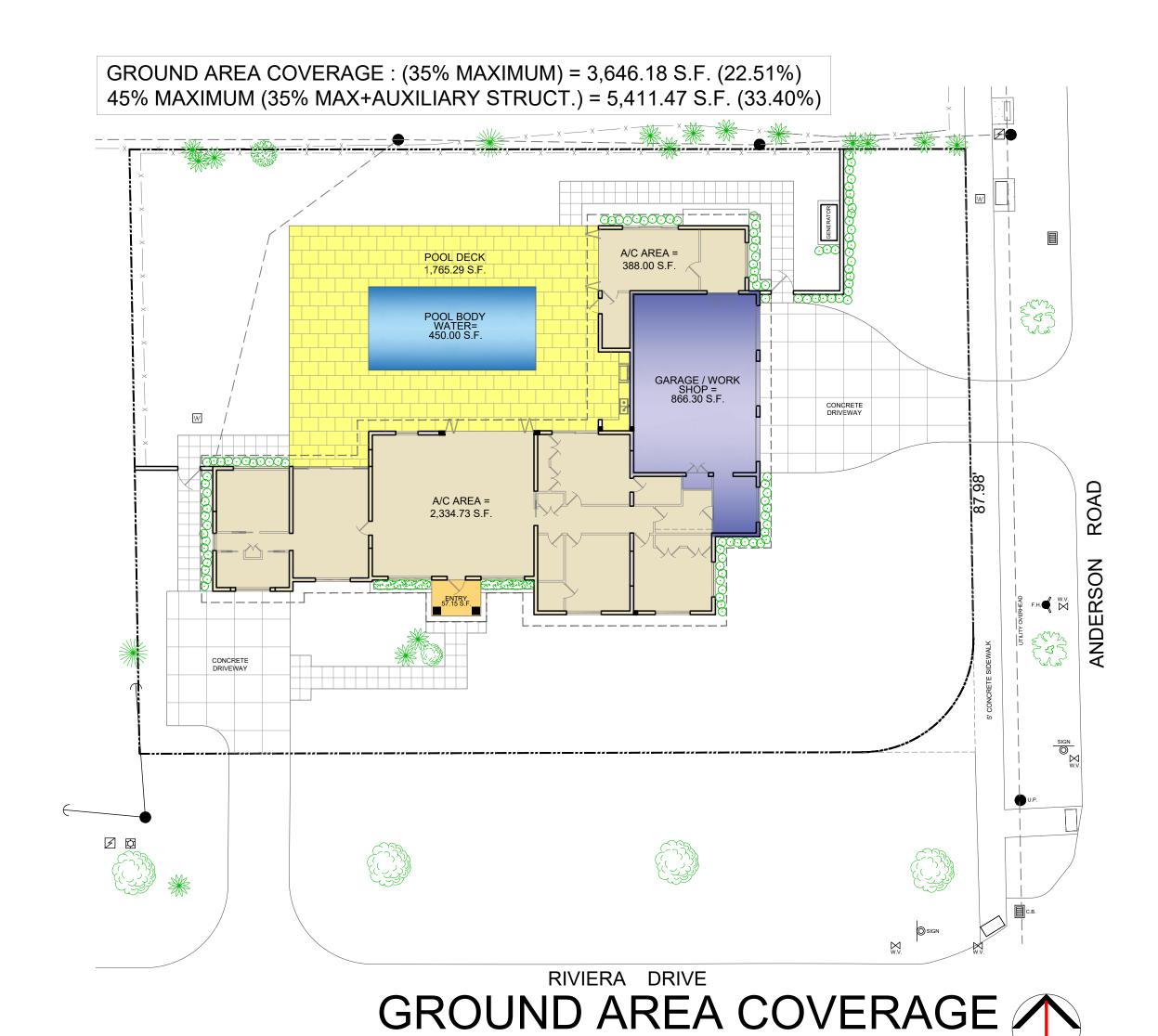
Sheet Title:

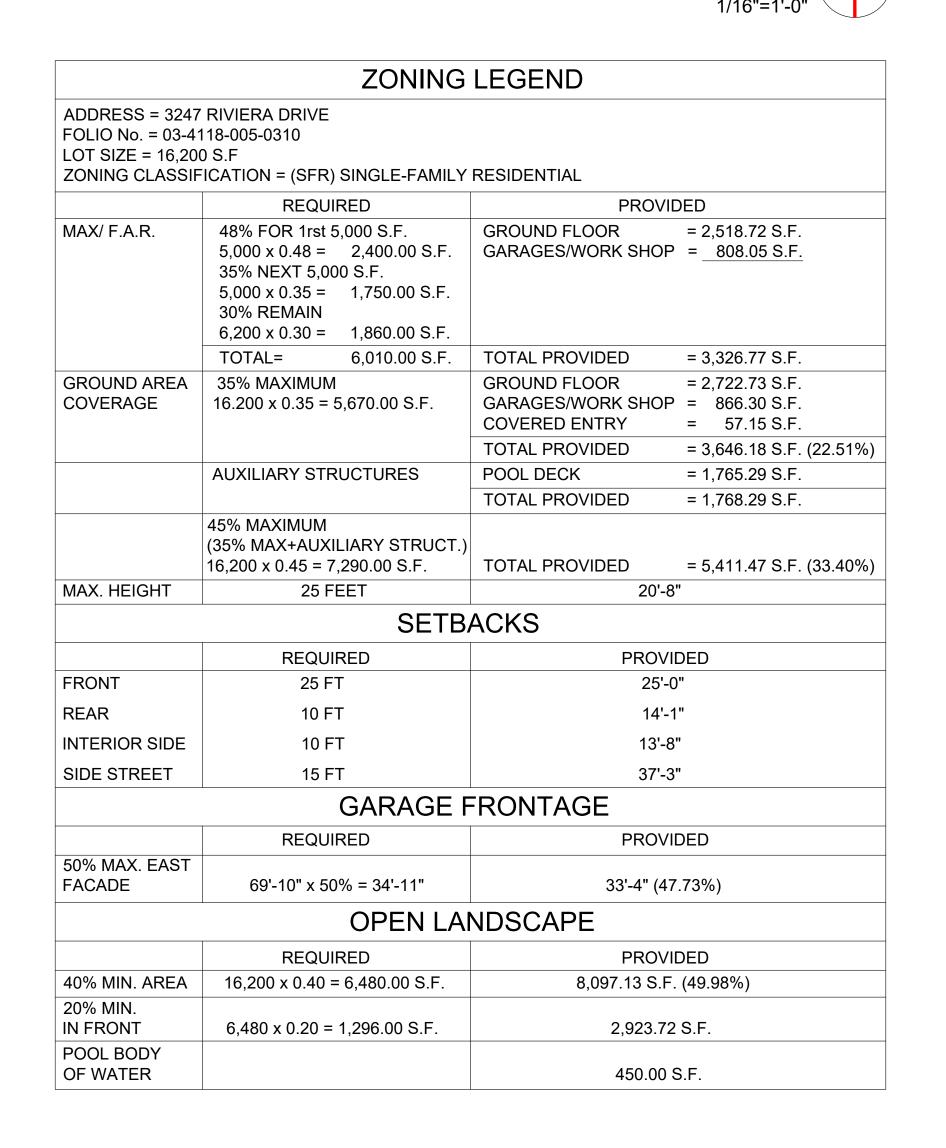
PROPOSED SITE PLAN

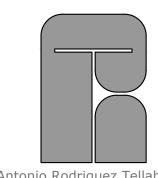




OPEN LANDSCAPE







J. Antonio Rodriguez Tellaheche, Architect

Issue Dates:

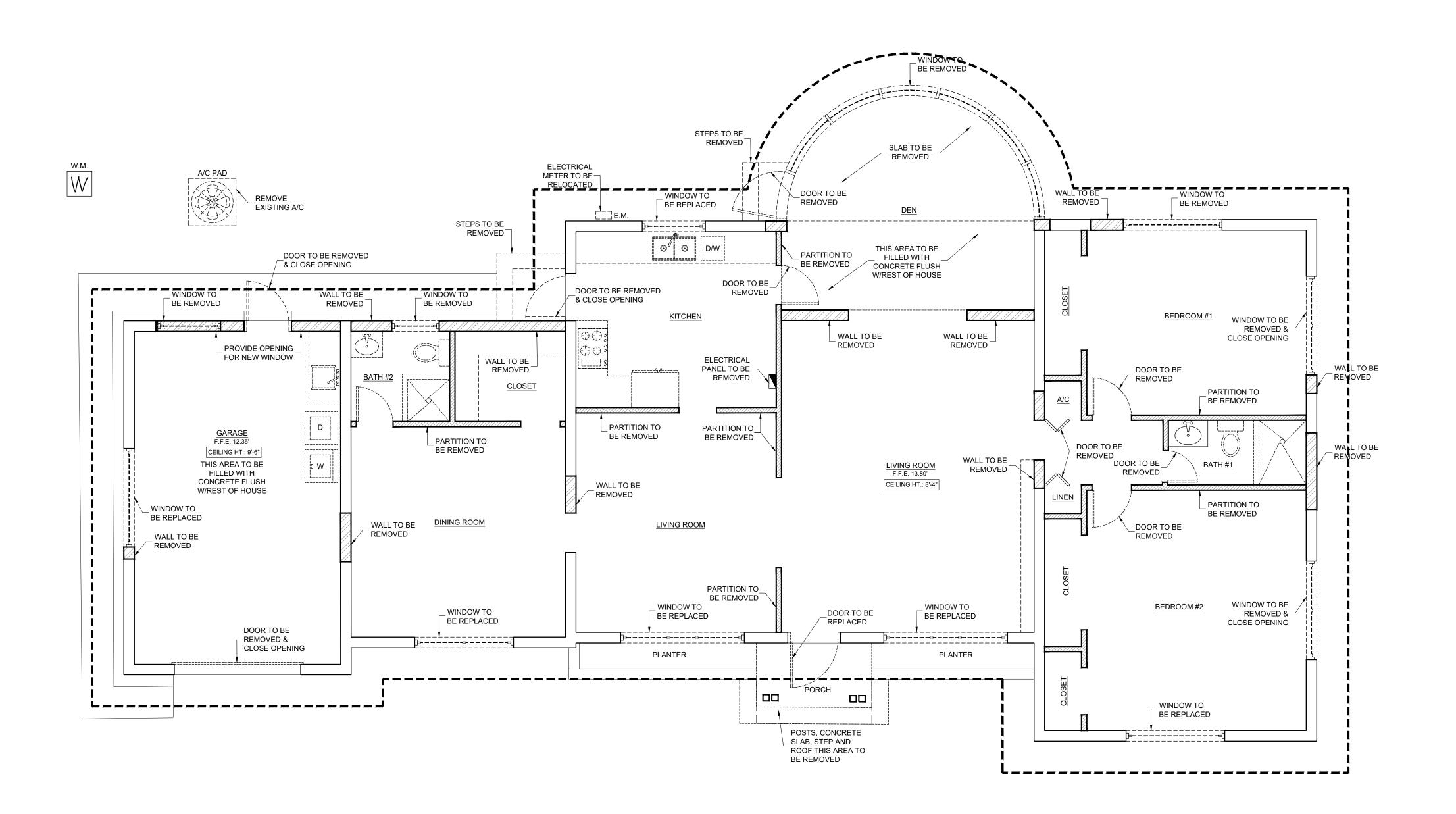
RENOVATION & ADDITION FOR MR. JASON HERTZBERG
3247 RIVIERA DRIVE,
CORAL GABLES, FLORIDA 33134

CONFIDENTIAL AND PROPRIETARY DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN
PERMISSION OF J. ANTONIO
RODRIGUEZ TELLAHECHE, RA

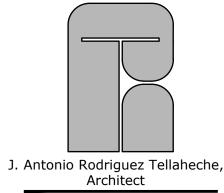
Sheet Title:

ZONING DIAGRAMS

AS SHOWN
Drawn: N.P. SP.03 Checked: T.R.T.







Architect

Architecture Planning Design
Arch. Lic. AR93998 /
Interior Design Lic. ID5544

Doral, Florida 33172 Tel: (786) 260-4265

2441 NW 93 Avenue

email: rodtell@aol.com

Issue Dates:

ON & ADDITION FOR SON HERTZBERG

13306 Da

1. REMOVE ROUNDED PORTION OF DEN AS SHOWN IN PLANS

DEMOLITION SCOPE OF WORK

- REMOVE ALL NON-BEARING INTERIOR WALLS AS SHOWN IN THE PLANS.
 REMOVE ALL BATHROOM, KITCHEN AND LAUNDRY FIXTURES AND APPLIANCES.
- 4. REMOVE ALL WINDOWS & DOORS.
- 5. REMOVE ALL EXISTING ELECTRICAL.
- 6. REMOVE ALL PLUMBING FIXTURES AND CAP-OFF.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL VISIT PROPERTY TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- 2. NEW EXTERIOR UNDERGROUND WORK SHALL NOT BE PERFORMED WITHOUT FIRST LOCATING EXISTING UTILITIES.
- 3. ALL APPLIANCES, PLUMBING FIXTURES, LIGHT FIXTURES, ETC. SHALL BE DISPOSED OF. IT IS THE CONTRACTORS RESPONSIBILITY TO CAP OFF GAS AND
- WATER LINES NOT IN USE.

 4. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY APPROVED DUMP SITE AT CONTRACTOR'S EXPENSE.
- 5. ALL EXISTING FINISHES NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED FOR DURATION OF DEMOLITION AND CONSTRUCTION WORK.
- CONTRACTOR SHALL LEAVE CONSTRUCTION SITE IN A SAFE/ CLEAN CONDITION AT THE END OF EACH DAY.
- 7. CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY EXISTING CONDITIONS THAT DIFFER FROM PLANS OR THAT EXPOSE AN UNSAFE WORK CONDITION BEFORE CONTINUING WITH DEMOLITION WORK.
- 8. ALL OPENINGS EXPOSED TO ELEMENTS DURING CONSTRUCTION SHALL BE SEALED AT THE END OF EACH WORK DAY.
- ANY PLUMBING, ELECTRICAL, OR MECHANICAL SYSTEMS TO BE REMOVED SHALL BE CUT AND CAPPED BY A LICENSED CONTRACTOR AFTER SERVICE IS INTERRUPTED FROM SYSTEM TO BE REMOVED.
- 10.REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, FOR THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEARIE VALUE.
- 11.REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR SHALL VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC SUPPORTING FLOOR ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVABLE. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVING OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THE CONTRACT.
- 12.PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS, AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR TEXTURE, THICKNESS, CUT, ETC.. TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- 13. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- 14. CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY ALL NECESSARY FORMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.

 15. INTENT OF SELECTED DEMOLITION TO EXPOSE EXIST. STRUCTURAL ELEMENTS
- 5.INTENT OF SELECTED DEMOLITION TO EXPOSE EXIST. STRUCTURAL ELEMENTS THAT MAY REQUIRE REPAIRS AND/ OR REPLACEMENT. NOTIFY ARCHITECT/ ENGINEER OF ALL SYSTEMS THAT ARE EXPOSED FOR VISUAL INSPECTION THAT A DETERMINATION OF CONDITION CAN BE MADE CONTRACTOR TO VERIFY ALL EXIST. APPLIANCES FIXTURES, ETC. TO BE SALVAGED AND COORDINATED STORAGE WITH OWNER.

LEGEND

EXISTING 8" CBS WALL TO REMAIN

EXISTING 8" CBS WALL TO BE REMOVED

EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

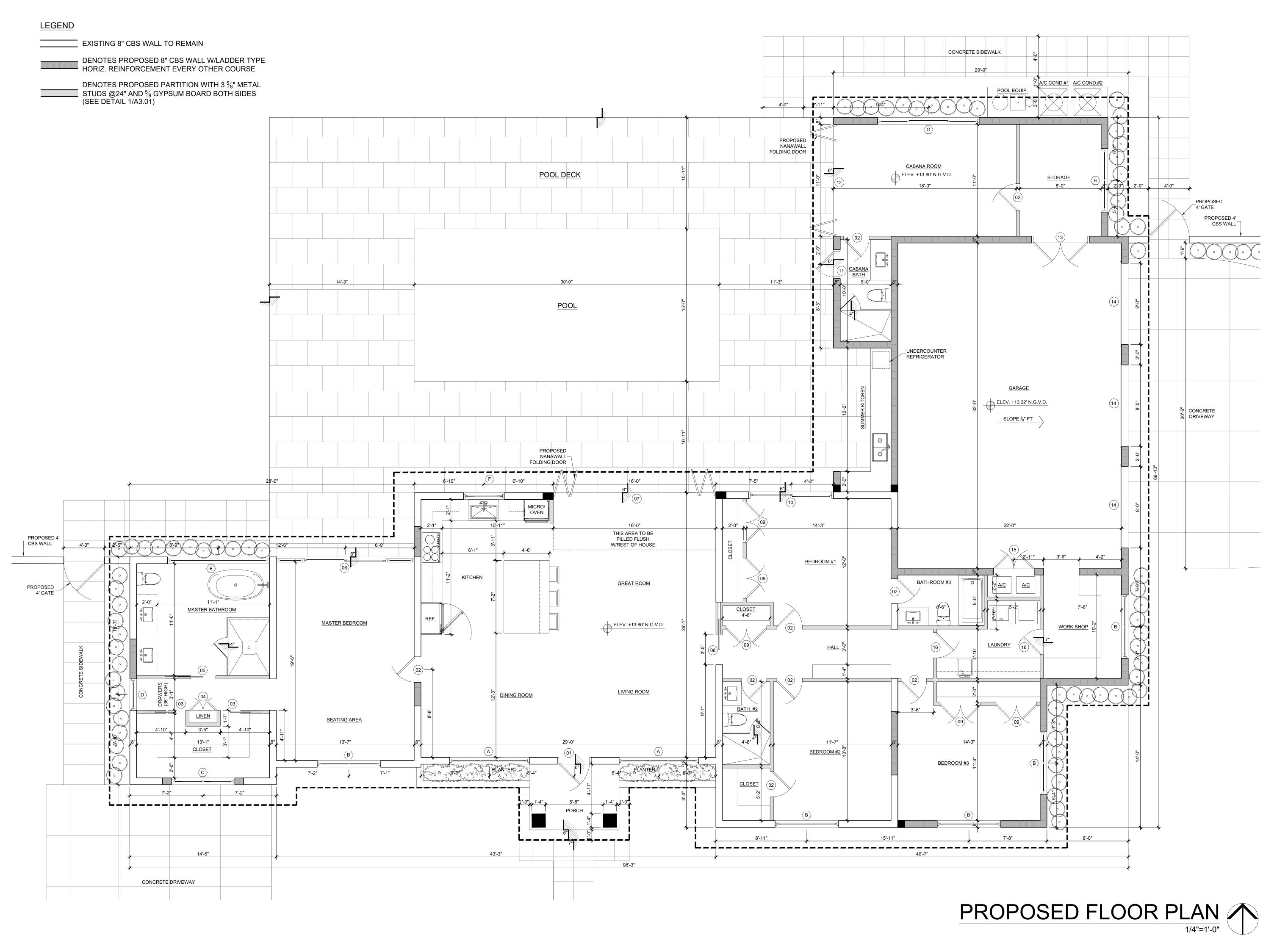
CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

EXISTING & DEMOLITION FLOOR PLAN

Cocale:
AS SHOWN
Drawn:
N.P.



1. Antonia Radriguez Talla

J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

Issue Dates:

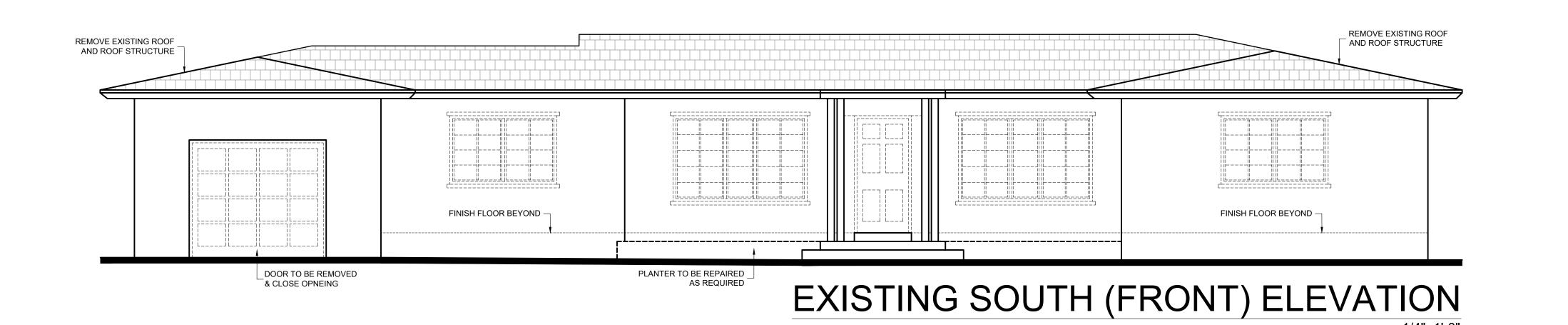
RENOVATION & ADDITION FOR MR. JASON HERTZBERG
3247 RIVIERA DRIVE,
CORAL GABLES, FLORIDA 33134

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

PROPOSED FLOOR PLAN

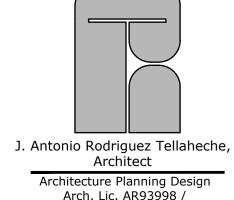


FINISH FLOOR BEYOND

IRREGULAR STONE (TYP.)

FLAT TILE (TYP.) -

PLANTER TO BE RE-FINISHED —



Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

ON & ADDITION FOR SON HERTZBERG

ELEV. +7'-10" (21.63' N.G.V.D.) TOP OF TIE BEAM ELEV. -0'-7" (13.22' N.G.V.D.) GARAGE LEVEL PROPOSED SOUTH (FRONT) ELEVATION

ELEV. +13'-3" (27.05' N.G.V.D.) TOP OF TIE BEAM

REMOVE EXISTING ROOF AND ROOF STRUCTURE REMOVE EXISTING ROOF REMOVE EXISTING ROOF AND ROOF STRUCTURE FINISH FLOOR BEYOND -WALL TO BE REMOVED -EXISTING (NORTH) REAR ELEVATION

ELEV. +18'-4" (32.13' N.G.V.D.)
TOP OF RIDGE ELEV. +13'-3" (27.05' N.G.V.D.) TOP OF TIE BEAM ELEV. +7'-10" (21.63' N.G.V.D.) TOP OF TIE BEAM ELEV. +7'-10" (21.63' N.G.V.D.) TOP OF TIE BEAM FIXED \longrightarrow FIXED FIXED FINISH FLOOR BEYOND -ELEV. +0'-0" (13.80' N.G.V.D.) GROUND FLOOR LEVEL ELEV. +0'-0" (13.80' N.G.V.D.) GROUND FLOOR LEVEL ELEV. -0'-6" (13.30' N.G.V.D.) POOL DECK LEVEL

PROPOSED (NORTH) REAR ELEVATION

ELEVATIONS

Sheet Title:

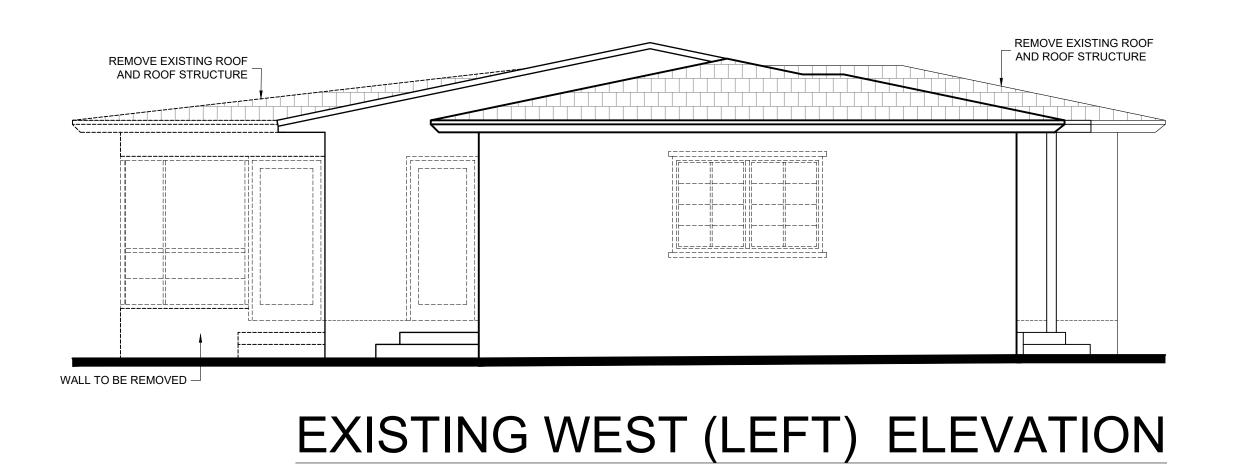
CONFIDENTIAL AND PROPRIETARY

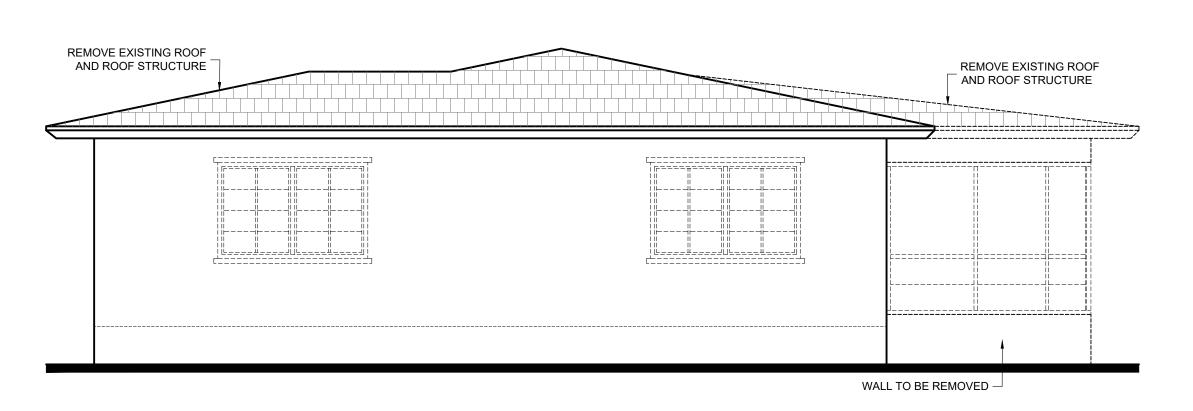
DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Scale: AS SHOWN N.P.

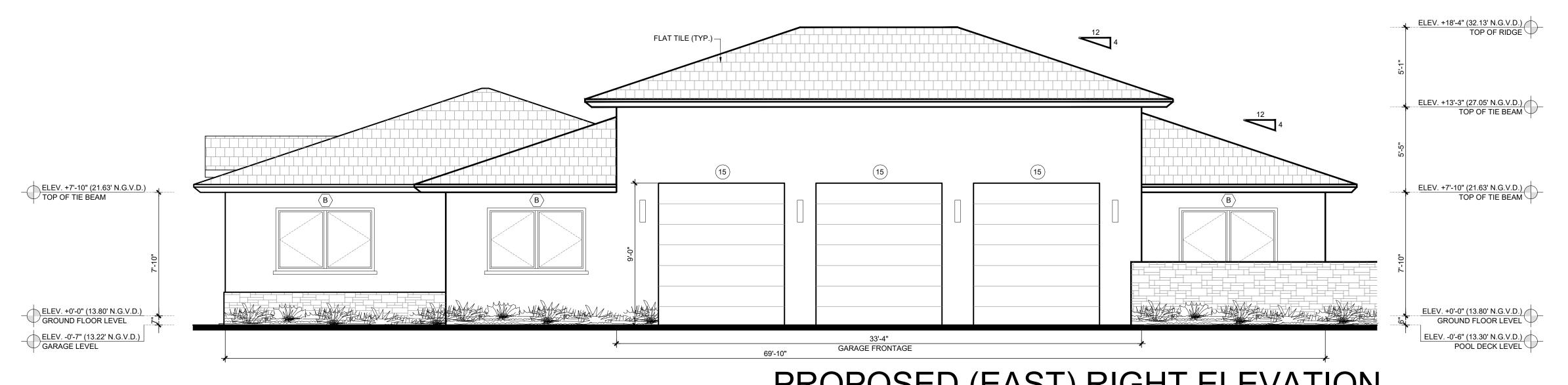
ELEV. +0'-0" (13.80' N.G.V.D.) GROUND FLOOR LEVEL

PROPOSED WEST (LEFT) ELEVATION





EXISTING (EAST) RIGHT ELEVATION



PROPOSED (EAST) RIGHT ELEVATION

J. Antonio Rodriguez Tellaheche, Architect

Architect

Architecture Planning Design
Arch. Lic. AR93998 /
Interior Design Lic. ID5544
2441 NW 93 Avenue
Doral, Florida 33172
Tel: (786) 260-4265

email: rodtell@aol.com

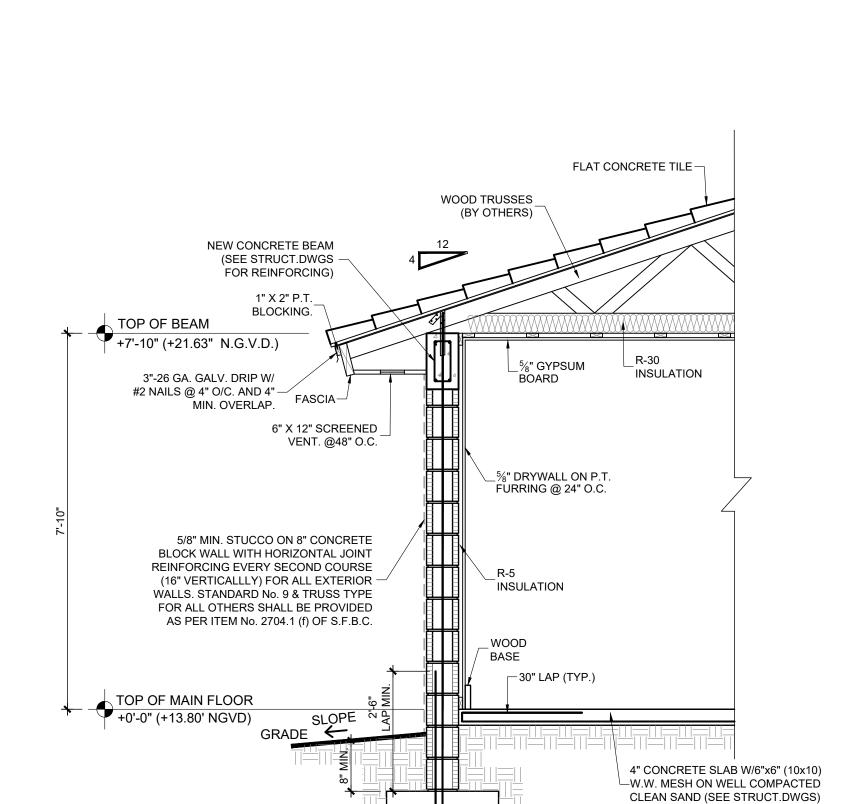
RENOVATION & ADDITION FOR MR. JASON HERTZBERG
3247 RIVIERA DRIVE,
CORAL GABLES, FLORIDA 33134

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

ELEVATIONS

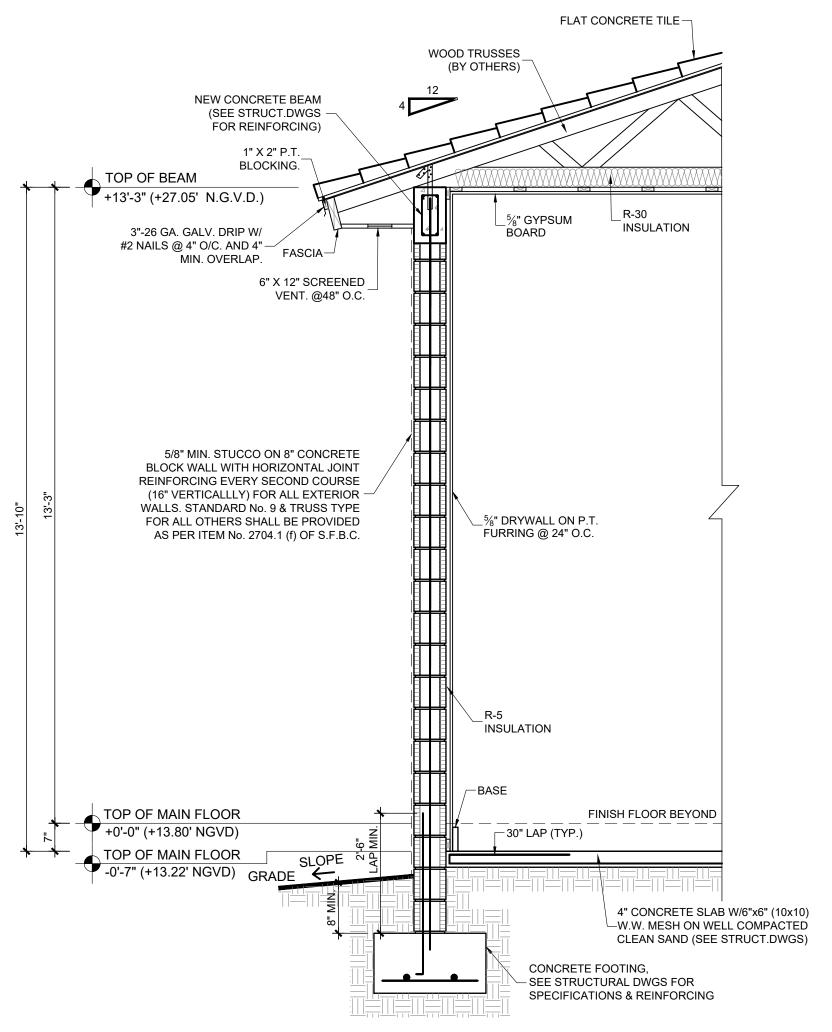


CONCRETE FOOTING,

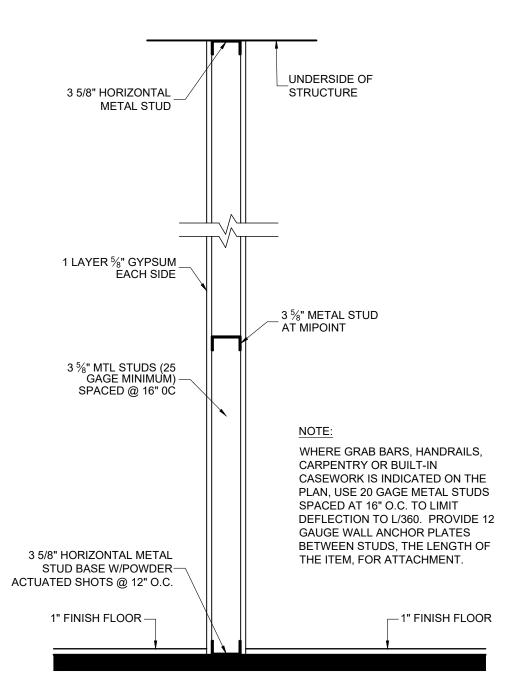
TYPICAL WALL SECTION

1/2" = 1'-0"

SEE STRUCTURAL DWGS FOR SPECIFICATIONS & REINFORCING



WALL SECTION THRU GARAGE
1/2" = 1'-0"



TYPICAL INTERIOR PARTITION
NON RATED 1"=1'-0"

J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265 email: rodtell@aol.com

Issue Dates:

RENOVATION & ADDITION FOR MR. JASON HERTZBERG
3247 RIVIERA DRIVE,
CORAL GABLES, FLORIDA 33134

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE,
REPRODUCE, DISCLOSE OR
TRANSFER THESE MATERIALS
WITHOUT THE EXPRESS WRITTEN
PERMISSION OF J. ANTONIO
RODRIGUEZ TELLAHECHE, RA

Sheet Title:

SECTIONS

					_	DO	ORS SC	HEDULE	=				
MARK	TYPE		SIZE		QUANT.	MATERIAL	THRESHOLD	FRAME	NOA	EXP. DATE	ACT	UAL	REMARK
		WIDTH	HEIGHT	THK	40/					2,41 . 3,412	NEG. PSI	POS. PSI	
01	SWING	36"	80"	1 3/4"	1	WOOD	METAL	WOOD					
02	SWING	30"	80"	1 1/2"	8	WOOD	-	WOOD					
03)	POCKET	24"	80"	1 1/2"	2	WOOD	-	WOOD					
04)	SWING (2)	16"	80"	1 1/2"	1	WOOD	-	WOOD					
05)	POCKET	30"	80"	1 1/2"	1	WOOD	TILE	WOOD					
06)	SLIDING GLASS (2)	96"	80"	-	1	METAL/GLASS	-	METAL					WITH SIDE LITES
07	FOLD GLASS (6)	192"	80"	-	1	METAL/GLASS	-	METAL					NANAWALL
08)	POCKET	36"	80"	1 1/2"	1	WOOD	-	WOOD					
09	SWING	24"	80"	1 1/2"	10	WOOD	-	WOOD					
10	SLIDING GLASS (2)	96"	80"	-	1	METAL/GLASS	-	METAL					
11)	SWING	30"	80"	1 3/4"	1	WOOD	-	METAL					
(12)	FOLD GLASS (4)	132"	80"	-	1	METAL/GLASS	-	METAL					NANAWALL
13	SWING (2)	32"	80"	1 3/4"	1	WOOD	-	METAL					20-MIN WITH SELF CLOSER
14)	SWING (2)	24"	80"	1 1/2"	1	WOOD	-	METAL					LOUVERS
15)	GARAGE DOOR	8'	8'	-	3	METAL	-	-					
16)	SWING	30"	80"	1 3/4"	3	WOOD	-	METAL					20-MIN WITH SELF CLOSER

DOOR NOTES:

- 1. PERSONNEL DOOR BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8 INCHES IN THICKNESS, OR A 20-MINUTE FIRE-RATED DOOR. IT SHALL HAVE AN APPROVED AUTOMATIC OR SELF-CLOSING DEVICE.
- IMPACT RESISTANT DOOR ASSEMBLIES (TYPICAL FOR ALL EXTERIOR DOORS).
- USE CAT. II SAFETY GLASS AT DOORS AND ADJACENT PANELS WITHIN 48", AND BATHROOM LOCATIONS.
- ALL DOORS AND FRAMES SHALL BE REINFORCED AS REQUIRED FOR THE INSTALLATION OF STANDARD HARDWARE.
- ALL WOOD DOORS SHALL BE PAINTED.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH THRESHOLD, RAIN THRESHOLD SHALL NOT EXCEED ½" IN HEIGHT ABOVE FINISH FLOOR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND / OR CUT SHEETS FOR APPROVAL.
- CONTRACTOR SHALL PREPARE HARDWARE SCHEDULE AND/OR CUT SHEETS FOR APPROVAL, DOOR CLOSETS, DOOR STOPS AND OLDERS, PUSH / PULL PLATES, DEAD LOCKS, SPRING HINGES, WEATHERS TRIPPING, THRESHOLDS, ETC.
- DOOR GLASS SHALL BE LAMINATED IMPACT PGT 0.90 PVB INTERLAYER BRONZE, 9/16" THICK.
- NEW EXTERIOR DOORS WILL BE IMPACT RESISTANT. (SEE NOA'S), DO NOT REQUIRE SHUTTERS.
- FBC 2411.3.1.3 DOORS IN INTERIOR WALLS.
- 12. ALL MULLIONS AND FRAMES SHALL BE BRONZE ANODIZED.
- GLAZING IN SLIDING AND SWING DOORS SHALL BE SAFETY-GLAZING COMPLYING WITH 16 CFR 1201, SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIAL, CONSUMER PRODUCT SAFETY COMMISSION, AND AS DESCRIBED IN 2411.3.1.3.1 THROUGH 2411.3.1.3.5.
- 13. ALL DOORS HEIGHTS SHOWN ABOVE FINISH FLOOR.

				WIN	NDON	VS SCI	HEDUL	.E					
MARK	DESCRIPTION	WIDTH	HEIGHT	AREA	QUANT.	TOTAL AREA	NOA	EXP. DATE	N	OA	ACTUAL		ZONE
	5250.tii 116.t	***************************************		(SQ.IN)	ασ,	(SQ.IN)			NEG. PSI	POS. PSI	NEG. PSI	POS. PSI	
$\langle A \rangle$	CASEMENT	94"	60"	5,640	2	11,280							
B	CASEMENT	75"	48"	3,600	6	21,600							
C	CASEMENT	75"	36"	2,700	1	2,700							
$\langle D \rangle$	CASEMENT	37"	44"	1,628	1	1,628							
(E)	HORIZONTAL ROLL	144"	24"	3,456	1	3,456							
F	HORIZONTAL ROLL	48"	42"	2,016	1	2,016							
G	HORIZONTAL ROLL	144"	60"	8,640	1	8,640							
		<u>'</u>	1	1	AREA	51.320		<u>'</u>			1	'	

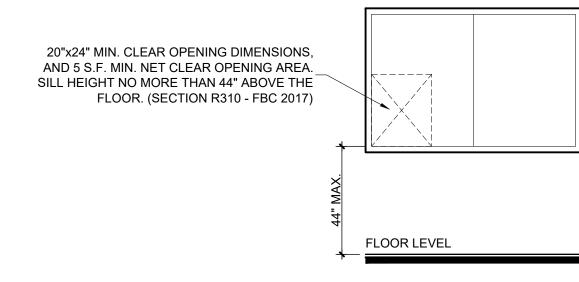
(SQ IN)

WINDOW & STOREFRONT NOTES:

- 1. CONTRACTOR SHALL EXERCISE CARE UPON INSTALLATION OF WINDOWS & STOREFRONT SO AS NOT TO SCRATCH OR DAMAGE GLASS.
- 2. ALL WINDOWS SHALL COMPLY WITH DADE COUNTY PRODUCT CONTROL DIVISION APPROVALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH REQUIRED ENGINEERING AND CALCULATIONS FOR REVIEW BY ARCHITECT, PRIOR TO MANUFACTURING OF FRAMES.
- 3. CONTRACTOR SHALL SUBMIT DOCUMENTATION OF COMPLIANCE WITH F.B.C. REQUIREMENTS FOR SAFETY GLAZING IN ALL WINDOWS INSTALLED WITH A DROP OF MORE THAN 30" ON THE EXTERIOR.
- 4. SAFETY GLAZING SHALL COMPLY WITH F.B.C 2411 AND DESIGN WIND PRESSURES INDICATED IN STRUCTURAL DRAWINGS.
- 5. PROVIDE TEMPERED AND FROSTED CAT II SAFETY GLASS AT BATHROOM LOCATIONS. CATEGORY II SAFETY GLASS COMPLYING WITH 16 CFR 1201, "SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS, CONSUMER PRODUCT SAFETY COMMISSION" (R4410.2 FBC 2017) (TYP).
- 6. EGRESS WINDOW NOTES: IN AN OUTSIDE WINDOW OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT, SUCH CLEAR, OPENING SHALL NE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT, AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 34"
- ABOVE THE FINISHED FLOOR. 7. WINDOW GLASS SHALL BE CLER IMPACT, 9/16" THICK.
- 8. NEW EXTERIOR WINDOWS WILL BE IMPACT RESISTANT. (SEE NOA's), DO NOT REQUIRE SHUTTERS.
- 9. ALL EXTERIOR GLASS SHALL BE COLOR CLEAR.
- 10. ALL MULLIONS AND FRAMES SHALL BE BRONZE ANODIZED.
- 11. ALL WINDOWS HEIGHTS SHOWN ABOVE FINISH FLOOR.

NOTE:

CONTRACTOR SHALL FIELD-VERIFY ALL THE EXISTING OPENINGS.



EGRESS WINDOW DETAIL

CONFIDENTIAL AND PROPRIETARY DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

RENOVATION MR. JAS

3247 ORAL GA

J. Antonio Rodriguez Tellaheche, Architect

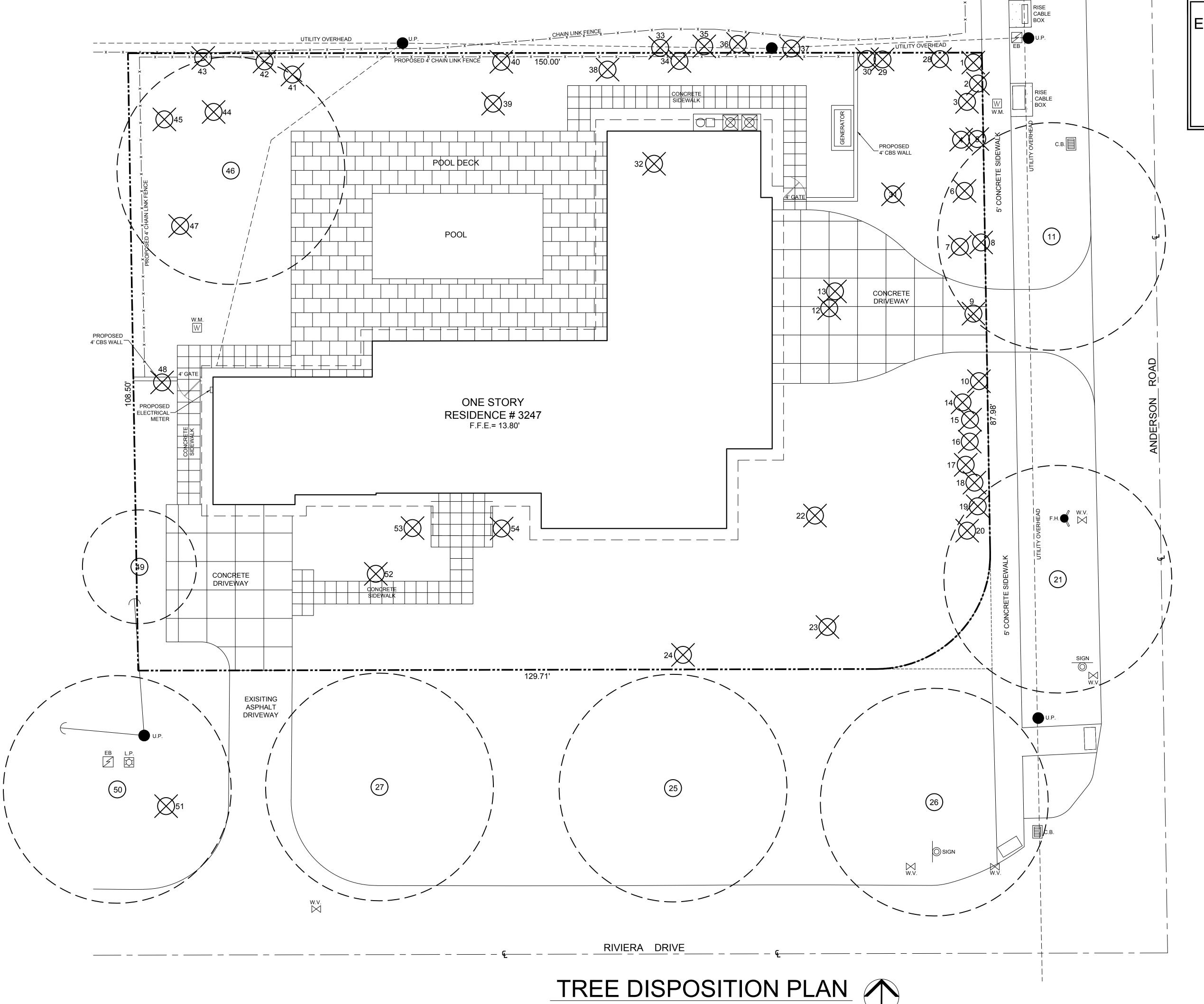
Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265 email: rodtell@aol.com

Issue Dates:

Sheet Title:

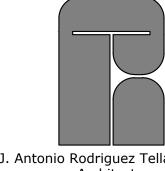
DOOR & **WINDOW SCHEDULES**

Scale: AS SHOWN N.P. Checked: T.R.T.



Enrique D. Nuñez, ASLA

LANDSCAPE ARCHITECT License No. LA0000955 10235 S.W. 9th Terrace Miami, Florida, 33174 enunez8420@att.net (305) 772-3557



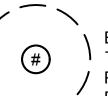
J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

RENOVATION & ADDITION FO MR. JASON HERTZBERG 3247 RIVERA DRIVE, CORAL GABLES, FLORIDA 3313

LEGEND



EXISTING TREE OR PALM TO REMAIN

EXISTING
TREE OR
PALM TO
BE
REMOVED

Sheet Title:

TREE DISPOSITION PLAN

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO POPULITIES TELL AMECULE DA

Job Number:

Scale:
AS SHOWN
Drawn:
J.L.

Checked: E.N.

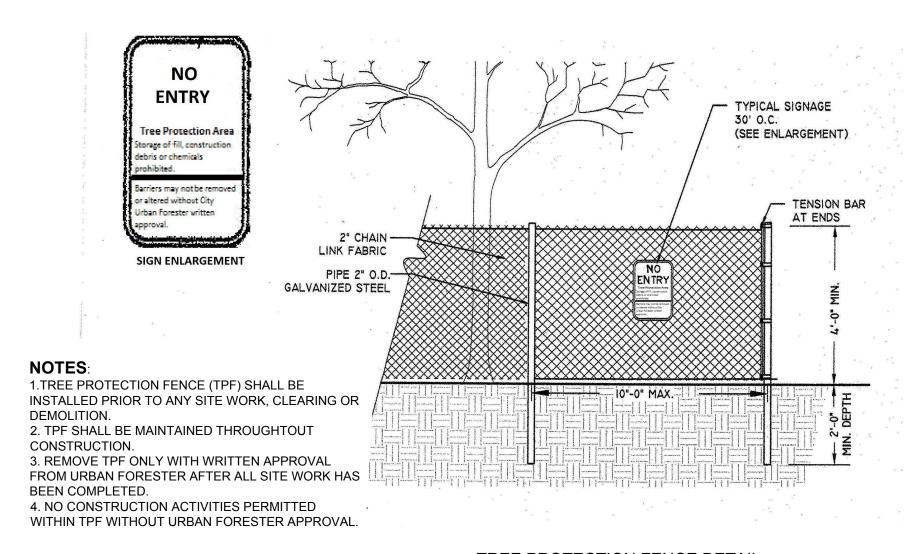
Date:

TREE PROTECTION REQUIREMENTS NOTES:

- 1-Existing trees and palms to remain shall follow the tree protection requirements specified in ANSI A - 300 (Part 5 Management of Trees and Shrubs during Site Planning, Site Development and Construction).
- 2-Tree protection fence shall be required for existing trees and palms to remain and shall consist of a 4' chain link fence with metal posts as per the Tree Protection Fence Detail. The tree protection fence shall be placed to the dripline or for every inch of trunk diameter there will be 8 inches of distance out from the trunk.
- 3- Care shall be taken to avoid utility or construction trenching through existing tree or palm critical root zones slated to remain in place or be relocated. If construction requires the cutting of any roots with a diameter of 2" or greater, roots shall be cleanly cut with a sharp tool, as directed by an ISA or ASCA Certified Arborist, and in accordance with the ANSI A-300 standards. Cut roots should be immediately covered with soil to prevent drying. should not be torn or broken by heavy equipment, and no shredded, ragged or broken root ends should be left. The Landscape Architect and Certified Arborist shall be notified in writing and or consulted prior to any root pruning taking place.
- 4-Should any corrective structural pruning be necessary for trees proposed to remain onsite, due to clearance, safety or for construction related reasons, the pruning shall be performed by an ISA or ASCA Certified Arborist in accordance with the latest version of the ANSI A-300 (Part 1-Pruning Standards) and sound horticultural practices. The Landscape Architect and Certified Arborist shall be provided with a written copy of the proposed pruning plan including the reasons why pruning is necessary, prior to the pruning activities taking place. 5- The Landscape Architect is not responsible for the preservation of existing trees.

GENERAL NOTES:

- REFER TO TREE SURVEY PREPARED BY JOHN IBARRA, PROFESSIONAL LAND SURVEYORS, DATE: JANUARY 20, 2021.
- THE CERTIFIED TREE SURVEY INFORMATION HAS BEEN OVERLAID DIRECTLY UPON THE SITE PLAN. TOTAL CANOPY LOSS IS 11,742 S.F.
- TREE REPLACEMENT/MITIGATION IS PROVIDED BY PLANTING 24 SHADE (HARDWOOD) 1 TREES (500 S.F. CREDIT EACH) AND 2 SMALL TREES (200 S.F. CREDIT EACH) FOR A TOTAL OF 12,400 S.F. OF CREDIT.
- REFER TO THE LANDSCAPE PLANS SHEET L-1 AND L-2 FOR THE LOCATIONS OF THE PROPOSED PLANTINGS.
- REFER TO ARBORIST REPORT BY KEITH S. WEYRICK, ISA CERTIFIED ARBORIST, DATED MAY 5, 2021.
- 7. ALL TREES ARE IN GOOD CONDITION UNLESS OTHERWISE NOTED IN THE REMARKS.



TREE PROTECTION FENCE DETAIL

N.T.S.

LIST OF EXISTING TREES AND PALMS

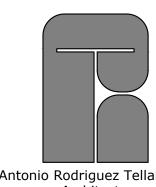
		LAISTING TAL	1	-				
No.	BOTANICAL NAME	TREE NAME	D.B.H.	HEIGHT	SPREAD	DISPOSITION	CANOPY LOSS S.F.	REMARKS
1	Ptychosperma elegans	Alexander palm	2"	10'-12'	10'-12'	REMOVE		Category II invasive exotic
2	Syagrus romanzoffiana	Queen palm	8"	20'-25'	20'-25'	REMOVE	490 S.F.	
3	Ptychosperma elegans	Alexander Palm	3"	25'-30'	15'-20'	REMOVE		Category II invasive exotic
4	Ptychosperma elegans	Alexander Palm	3"	25'-30'	15'-20'	REMOVE		Category II invasive exotic
5	Syagrus romanzoffiana	Queen palm	7"	20'-25'	20'-25'	REMOVE	490 S.F.	
6	1 3	Alexander Palm	3"	20'-25'	15'-20'	REMOVE		Category II invasive exotic
7	Albizia lebbeck	Woman's tongue	7"	35'-40'	20'-25'	REMOVE		Miami Dade prohibited plant list.
8		Alexander Palm	3"	20'-25'	15'-20'	REMOVE		Category II invasive exotic
9	Bursera simaruba	Gumbo limbo	2.5"	15'-20'	6'-8'	REMOVE	50 S.F.	Fair condition-previously topped
10	Mangifera indica	Mango Tree	9"	35'-40'	20'-25'	REMOVE	490 S.F.	Y all contained providesly topped
11	Quercus virginiana	Live Oak	20"	35'-40'	40'-45'	REMAIN	100 0.1 .	
12	Litchi chinensis	Lychee	20"	35'-40'	35'-40'	REMOVE	1256 S.F.	DBH is combined.
13	Syagrus romanzoffiana	Queen palm	5"	20'-25'	15'-20'	REMOVE	314 S.F.	Poor condition
14		Alexander Palm	3"	20'-25'	15'-20'	REMOVE	314 3.1 .	Category II invasive exotic
15	Ptychosperma elegans		N/A	10'-12'	10'-12'	REMOVE	78 S.F.	No DBH - too small. Fair condition
	Syagrus romanzoffiana	Queen palm	3"		15'-20'		10 S.F.	
16	Ptychosperma elegans	Alexander Palm	4"	20'-25'		REMOVE	112 C F	Category II invasive exotic
18	Syagrus romanzoffiana	Queen palm	<u> </u>	12'-14'	10'-12'	REMOVE	113 S.F.	Poor condition Poor condition
19	Syagrus romanzoffiana	Queen palm	4"	16'-18'	10'-12'	REMOVE	113 S.F.	Poor condition
-	Syagrus romanzoffiana	Queen palm	6"	20'-25'	20'-25'	REMOVE	490 S.F.	Poor condition. Borers present. Remove ASAP
20	Ptychosperma elegans	Alexander Palm	3"	12'-14'	10'-12'	REMOVE		Category II invasive exotic
21	Quercus virginiana	Live Oak	18"	35'-40'	35'-40'	REMAIN		In swale-City of Coral Gables
22	-	Royal Poinciana	20"	30'-35'	50'-55'	REMOVE	2375 S.F.	
23	Cassia sp.	Cassia tree	5"	20'-25'	15'-20'	REMOVE	314 S.F.	Fair condition.
24	·	Cassia tree	30"	30'-35'	25'-30'	REMOVE	706 S.F. X 2 = 1412	Poor condition.Improperly trimmed, dieback
25	Swietenia mahagoni	Mahogany Tree	30"	45'-50'	45'-50'	REMAIN		In swale-City of Coral Gables
26	Swietenia mahagoni	Mahogany Tree	37"	45'-50'	50'-55'	REMAIN		In swale-City of Coral Gables
27	Swietenia mahagoni	Mahogany Tree	40"	45'-50'	50'-55'	REMAIN		In swale-City of Coral Gables
28	Ptychosperma elegans	Alexander Palm	3"	20'-25'	15'-20'	REMOVE		Located under power lines-potential hazard and category II invasive exotic
29	Ptychosperma elegans	Alexander Palm	3"	25'-30'	10'-15'	REMOVE		Located under power lines-potential hazard and category II invasive exotic
30	Ptychosperma elegans	Alexander Palm	3"	10'-15'	10'-15'	REMOVE		Located under power lines-potential hazard and category II invasive exotic
31	Bauhinia purpurea	Purple orchid tree	8"	25'-30'	10'-15'	REMOVE	176 S.F.	Poor condition
32	Dypsis lutescens	Areca Palm	40"	15'-20'	20'-25'	REMOVE	490 S.F.	DBH is combined. Multi trunk.
33	Syagrus romanzoffiana	Queen palm	4"	20'-25'	4'-5'	REMOVE	20 S.F.	Poor condition. Located under power lines-potential hazard
34	Ptychosperma elegans	Alexander Palm	2"	10'-12'	10'-12'	REMOVE		Located under power lines-potential hazard and category II invasive exotic
35	Ptychosperma elegans	Alexander Palm	5"	20'-25'	4'-5'	REMOVE		DBH is combined, double trunk. Poor condition. Located under power lines-potential hazard and category II invasive exotic
36	Ptychosperma elegans	Alexander Palm	3"	25'-30'	15'-20'	REMOVE		Poor condition. Located under power lines-potential hazard and category II invasive exotic
37	Ptychosperma elegans	Alexander Palm	3"	15'-20'	15'-20'	REMOVE		Located under power lines-potential hazard and category II invasive exotic
38	Bauhinia purpurea	Purple orchid tree	23"	30'-35'	25'-30'	REMOVE		Poor condition.DBH is combined. On M-D Controlled Plant List
39	Bauhinia purpurea	Purple orchid tree	13"	25'-30'	25'-30'	REMOVE		Poor condition.DBH is combined. On M-D Controlled Plant List
40	Dypsis lutescens	Areca Palm	40"	15'-20'	20'-25'	REMOVE	490 S.F.	Poor condition. Located under power lines-potential hazard
41	Mangifera indica	Mango Tree	12"	25'-30'	20'-25'	REMOVE	490 S.F.	Fair condition. Located under power lines-potential hazard
42	Coccoloba uvifera	Seagrape	3"	12'-14'	12'-14'	REMOVE	154 S.F.	Located under power lines-potential hazard
43	Ptychosperma elegans	Alexander Palm	9"	15'-20'	15'-20'	REMOVE		DBH is combined. 3 trunk grouping. Located under power lines-potential hazard and category II invasive exotic
44	Persea americana	Avocado	5"	30'-35'	15'-20'	REMOVE	314 S.F.	Fair condition.
45	Syagrus romanzoffiana	Queen palm	6"	35'-40'	20'-25'	REMOVE	490 S.F.	Fair condition.
46	Mangifera indica	Mango Tree	56"	35'-40'	45'-50'	REMAIN		DBH is combined. Multi trunk.
47	-	Avocado	31"	30'-35'	25'-30'	REMOVE	706 S.F.	Poor condition. Significant interior voids present. May pose a hazard in storm conditions
48	Syagrus romanzoffiana	Queen palm	3"	10'-12'	10'-12'	REMOVE	113 S.F.	DBH is combined. Multi trunk.
49	Dypsis lutescens	Areca Palm	15"	10'-12'	15'-20'	REMAIN		DBH is combined. Multi trunk.
50	Swietenia mahagoni	Mahogany Tree	29"	45'-50'	35'-40'	REMAIN		In swale-City of Coral Gables
51	Phoenix roebelenii	Roebelenii palm	2.5"	6'-8'	6'-8'	REMOVE	Small, no mitigation	Fair condition.
52			8"	25'-30'	15'-20'	REMOVE	314 S.F.	Fair condition.
53		Queen palm Alexander Palm	3"	15'-20'	10'-12'	REMOVE	017 U.I .	Poor condition and category II invasive exotic
	' '							-
54	Ptychosperma elegans	Alexander Palm	4"	15'-20'	10'-12'	REMOVE		Fair condition and category II invasive exotic

11,742 s.f.

TOTAL CANOPY LOSS

Enrique D. Nuñez, ASLA

LANDSCAPE ARCHITECT License No. LA0000955 10235 S.W. 9th Terrace Miami, Florida, 33174 enunez8420@att.net (305) 772-3557



J. Antonio Rodriguez Tellaheche, Architect Architecture Planning Design

> Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265 email: rodtell@aol.com

Arch. Lic. AR93998 /

Issue Dates:

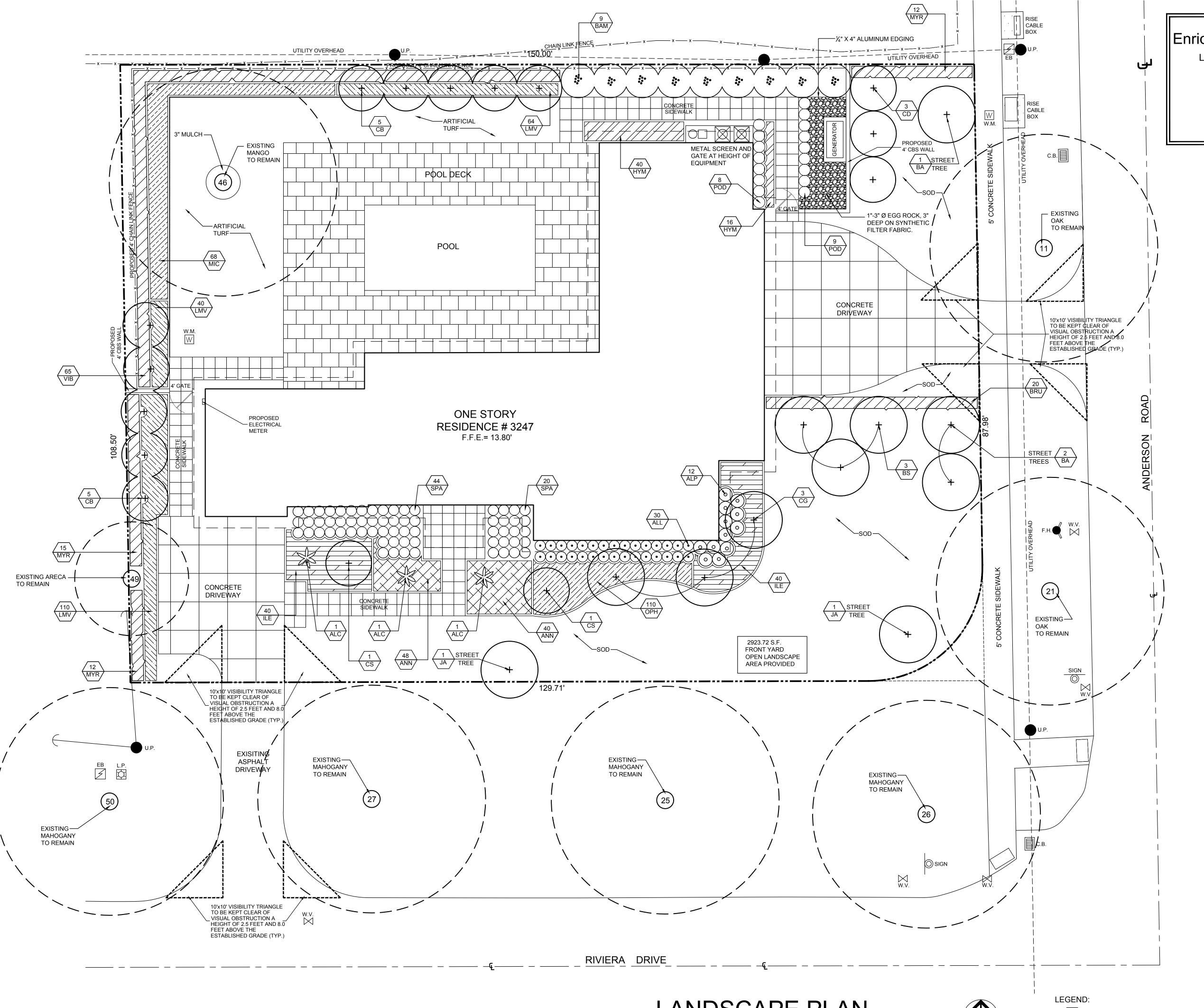
RENOVATION & ADDITION FOR MR. JASON HERTZBERG DRIVE, ORIDA

CONFIDENTIAL AND PROPRIETARY DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WITTEN

Sheet Title:

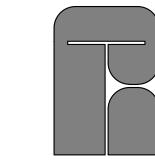
TREE DISPOSITION **NOTES**

TREE DISPOSITION - NOTES, DETAILS AND EXISTING TREES LIST



||Enrique D. Nuñez, ASLA

LANDSCAPE ARCHITECT License No. LA0000955 10235 S.W. 9th Terrace Miami, Florida, 33174 enunez8420@att.net (305) 772-3557



J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

Issue Dates:

R. JASON HERTZBERG
3247 RIVERA DRIVE,
AL GABLES, FLORIDA 33134

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF J. ANTONIO RODRIGUEZ TELLAHECHE, RA

Sheet Title:

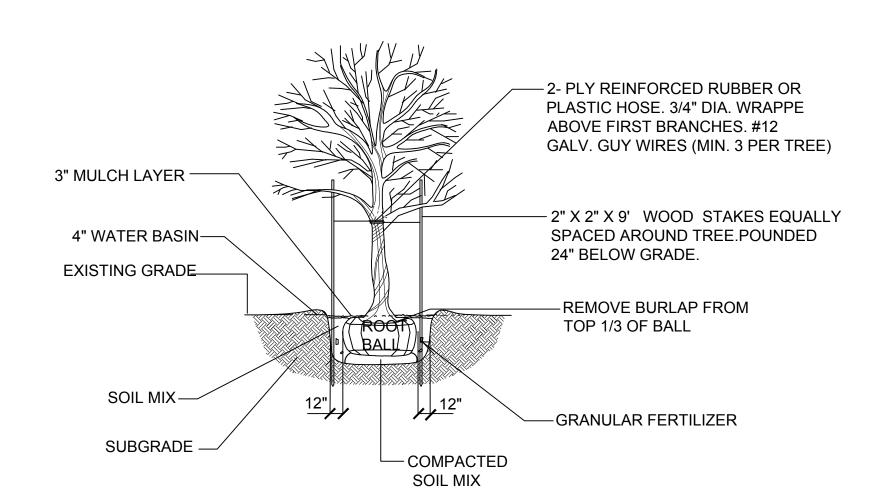
LANDSCAPE PLAN

Job Number:

Scale: AS SHOWN
Drawn: J.L.
Checked: E.N.

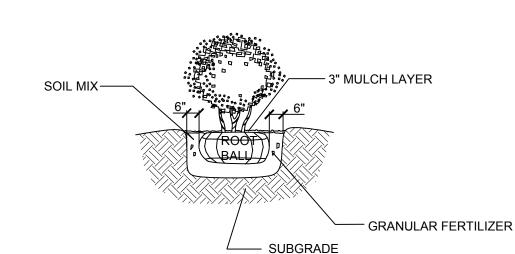


TIE PALM FRONDS DURING TRANSPORATION. DO NOT TRIM FROND ENDS AND SET (5) LAYER OF BURLAP PLUMB AND TRUE WITH GRADE (5) 2"X4"X12" WOOD BATTENS DO NOT REMOVE FRONDS TIE AFTER CONNECTED WITH — PLANTING IF SABAL PALMS. (2) 3/4" STEEL BANDS. - 2" X 4" X 8' WOOD BRACES POUNDED INTO GROUND 24" 3" MULCH LAYER-TOENAILED TO BATTENS. (MIN. 3 PER PALM) – 2" X 4" X 30" TREE STAKE NAILED TO BRACES GRANULAR FERTILIZER TYPICAL PALM PLANTING DETAIL



TYPICAL TREE PLANTING DETAIL

N.T.S.



TYPICAL SHRUB PLANTING DETAIL

N.T.S.

LANDSCAPE LEGEND

-			
Zoning District : SFR	Net Land Area: <u>.371</u> acres <u>16,200</u> square feet		
OPEN SPACE		Required	Provided
A. Square Feet of open space re net lot area = _ s.f. x % =	quired by Chapter 33, as indicated on site plan:	6,480	<u>8,097</u>
as indicated on site plan:	en space required by Chapter 18A, x 10 s.f. per parking space	<u>N/A</u>	N/A
C. Total s.f. of landscaped open	space required by Chapter 33: A+B=	<u>6,480</u>	<u>8,097</u>
LAWN AREA CALCULATION			
A Total s.f. of landscap B. Maximum lawn area (sod) per	bed open space required by Chapter 33 mited = $50\% \times 6,480$ s.f.	6,480 3,240	3,000
TREES			
A. The number of lot trees requir	ed per net lot acre	_3_	22 (1 EXISTING + 21 NEW)
B. 30 % Palms Allowed (3 palms Palms provided:	= one tree)	1	<u>1</u>
C. % Natives Required No. trees	provided x 30 %	_1_	<u>6</u>
D. Street trees (maximum averagents) 129.71 linear feet along	, ,	<u>4</u>	4 (3 EXISTING + 1 NEW)
E. Street trees located directly be (maximum average spacing of 29)	eneath power lines 5'o.c.) 119.68 linear feet along street / 25 = 4.78 (5)	5_	<u>6</u> (2 EXISTING + 4 NEW)
F. Total number of trees= (Lot +	street trees)	<u>12</u>	<u>32</u>
SHRUBS			
A. No. trees required $x 10 = No$.	of shrubs allowed	_120	259 (NOT INCL. GROUNDCOVER)
B. No. shrubs allowed x 30% = N	lo. of native shrubs required	<u>36</u>	<u>39</u>
IRRIGATION PLAN: Required by	Chapter 33. Auto irrigation or hose bib	provided . (See Irı	rigation Plans)

GENERAL NOTES

ALL PLANT MATERIALS SHALL BE EQUAL TO OR BETTER THAN FLORIDA No.1 AS CLASSIFIED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" BY THE DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE. PLANT MATERIALS SHALL HAVE A GROWTH HABIT THAT IS NORMAL FOR THE SPECIES; HEALTHY, VIGOROUS, FREE FROM INSECTS, DISEASE AND INJURY.

ALL PLANT MATERIALS WITH THE EXCEPTION OF PALM TREES AND BEACH MATERIAL SHALL BE PLANTED WITH THE FOLLOWING SOIL: 50% SAND AND 50% MUCK. THERE MUST BE A SLIGHT ACID REACTION TO THE SOIL WITH NO EXCESS OF CALCIUM OR CARBONATE. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION. ANY OTHER SOIL MIX MUST BE SUBMITTED TO AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY.

3. FERTILIZER

THE FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING AND SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. FERTILIZER FOR TREES, SHRUBS, AND CONTAINERIZED GROUNDCOVERS AND VINES SHALL BE AS FOLLOWS: 5 LBS. FEC 3-24-0 #1308 AS MANUFACTURED BY FLORIDA EAST COAST FERTILIZER CO., HOMESTEAD, FLORIDA, AND 2 LBS. FEC 15-8-8-#2500 OR EQUAL PER CUBIC YARD OF PLANTING SOIL.

FERTILIZER FOR GROUNDCOVER SEEDLING BEDS: BROADCOAST 4 LBS. OF THE ABOVE MIX FOR EACH 500 SQUARE FEET OF BED AREA. FERTILIZER FOR TURF ESTABLISHMENT: BROADCAST 15 LBS. OF FEC 7-11-7 OR EQUAL PER 1,000 SQUARE FEET (650 LBS. PER

MULCH SHALL BE SHREDDED PINE, EUCALYPTUS OR FLORIMULCH 100% MELALEUCA MULCH. ANY OTHER MULCH MUST BE SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. PLANTING AREAS NOT COVERED BY GRASS/SOD SHALL BE MULCHED TO A DEPTH OF THREE INCHES TO PRESENT A FINISHED APPEARANCE. THIS INCLUDES, BUT NOT LIMITED TO, ALL SHRUBS AND GROUNDCOVERS AREAS.

ALL DISTURBED AREAS SHALL BE COVERED WITH ST. AUGUSTINE PALMETTO SOLID SOD LAID OVER A FINELY GRADED, 2" DEEP SOIL BLANKET, FREE OF ROCKS. SOD SHALL BE LAID WITH CLOSE ABUTTING JOINTS AND HAVE A SMOOTH FINISHED APPEARANCE. EDGES OF SOD SHALL BE LAID 1'-0" AWAY FROM THE EDGES OF PLANTS.

Enrique D. Nuñez, ASLA

LANDSCAPE ARCHITECT License No. LA0000955 10235 S.W. 9th Terrace Miami, Florida, 33174 enunez8420@att.net (305) 772-3557

J. Antonio Rodriguez Tellaheche, Architect Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544

2441 NW 93 Avenue

Doral, Florida 33172

Tel: (786) 260-4265 email: rodtell@aol.com

Issue Dates:

LIST OF EXISTING TREES TO REMAIN

No.	BOTANICAL NAME	TREE NAME	D.B.H.	HEIGHT	SPREAD	REMARKS
11	Quercus virginiana	Live Oak	20"	35'-40'	40'-45'	In swale-City of Coral Gables
21	Quercus virginiana	Live Oak	18"	35'-40'	35'-40'	In swale-City of Coral Gables
25	Swietenia mahagoni	Mahogany Tree	30"	45'-50'	45'-50'	In swale-City of Coral Gables
26	Swietenia mahagoni	Mahogany Tree	37"	45'-50'	50'-55'	In swale-City of Coral Gables
27	Swietenia mahagoni	Mahogany Tree	40"	45'-50'	50'-55'	In swale-City of Coral Gables
46	Mangifera indica	Mango Tree	56"	35'-40'	45'-50'	DBH is combined. Multi trunk.
49	Dypsis lutescens	Areca Palm	15"	10'-12'	15'-20'	DBH is combined. Multi trunk.
50	Swietenia mahagoni	Mahogany Tree	29"	45'-50'	35'-40'	In swale-City of Coral Gables

	F	PLANT	MATERIAL SO	CHEDULE	=				
Key Quantity F			Plant Name	NATIVE	Size Specs.	Remarks			
Symbol Botanical Name / Common Name					Ht. x Spr , Caliper				
	1	TREES	S AND PALMS	<u>'</u>		<u>'</u>			
ВА	3	Bulnesia a		Yes	16' ht. x 10' spr., 4" DBH	Street Trees			
BS	3	Bursera si Gumbo Lir		Yes	16' ht. x 10' spr., 4" DBH	Lot Trees			
СВ	10		m brasiliense /	No	15' ht.x 8' spr., 3" DBH	Lot Trees			
CD	3		diversifolia /	Yes	3 DBH 15' ht.x 8' spr., 3" DBH	Lot Trees			
CG	3		a granadillo	No	16' ht. x 10' spr., 4" DBH	Lot Trees			
CS	2		surinamensis /	No	12' ht. x 8' spr., 2" DBH	Multi-trunk Tre			
JA	2		mimosifolia /	No	16' ht. x 10' - 12' spr., 4" DBH	Street Trees			
	1		HRUBS	<u> </u>		•			
ALC	3	Alcantarea Imperial B	imperialis /	No	30" spread	Accent Plant			
ALL	30	Allamanda	neriifolia 'Bush' /	No	24" o.a. , 3 gal. cont.	Flowering			
ALP	12	Alpinia pui Red Shell	purata /	No	36" o.a. , 3 gal. cont.	Tropical Accen			
BAM	9	Bambusa Weaver's	textilis /	No	8' ht. x 6' spr., heavy clump	Perimeter			
BRU	20	Brunfelsia	grandiflora / , Today and Tomorrow	No	30" ht. x 24" spr., 24" o.c.	Flowering			
MYR	39		es fragans /	Yes	36" ht. x 24" spr., 24" o.c.	Native Shrubs			
POD	17	Podocarpu Japanese	ıs macrophyllus / Yew	No	At height of equipment	Evergreen			
SPA	64		ttis plicata / ound Orchids	No	18" spr., 3 gal. cont. 24" o.c.	At entry			
VIB	65		suspensum / a Viburnum	No	48" ht. x 24" spr., 24" o.c.	Evergreen Shr			
		L	OW SHRUBS AND	GROUND C	OVERS				
ANN	134	Blue Daze Annuals b	, Pentas, Begonias /	No	6" pot 12" o.c.	Flowering Ground Covers			
HYM	56	Hymenoca	ıllis latifolia /	Yes	12" spr., 3 gal. cont.,	Tropical			
ILE	80	Spider Lily llex vomito Dwarf Yau	oria 'Nana' /	Yes	24" o.c. 18" spr., 3 gal. cont. 24" o.c.	Ground Covers Low Shrubs			
LMV	214		scari 'Variegated' /	No	12" spr., 1 gal. cont., 12" o.c.	Evergreen			
MIC	68		m scolopendrium /	No	18" spr., 3 gal. cont., 24" o.c.	Fern			
OPH 110 Ophiopog			ogon japonicus /		10" spr., 1 gal., 12" o.c.	Evergreen Ground Covers			
			MISCELLAN	EOUS					
Key	(Quantity	Description						
		3000 s.f.	St. Augustine 'Palme	etto' solid sod o	on 2" soil blanket				
EGG ROCK		160 s.f.	1"-3" diameter egg	rock on synthe	ck on synthetic filter fabric at generator area.				
ARTIFIC TURF	CIAL	1276 s.f.	Synlawn or equal on	sand bed and	l compacted subgrade				
ALUMIN	UM	10 l.f.	Permaloc or equal 1/4" thick X 4" wide						

- REFER TO TREE SURVEY PREPARED BY JOHN IBARRA, PROFESSIONAL LAND SURVEYORS, DATE: JANUARY 20, 2021. THE CERTIFIED TREE SURVEY INFORMATION HAS BEEN OVERLAID DIRECTLY UPON THE SITE PLAN.
- TOTAL CANOPY LOSS IS 11,742 S.F.
- TREE REPLACEMENT/MITIGATION IS PROVIDED BY PLANTING 24 SHADE (HARDWOOD) 1 TREES (500 S.F. CREDIT EACH)
- AND 2 SMALL TREES (200 S.F. CREDIT EACH) FOR A TOTAL OF 12,400 S.F. OF CREDIT.
- REFER TO THE LANDSCAPE PLANS SHEET L-1 AND L-2 FOR THE LOCATIONS OF THE PROPOSED PLANTINGS.
- REFER TO ARBORIST REPORT BY KEITH S. WEYRICK, ISA CERTIFIED ARBORIST, DATED MAY 5, 2021.
- 7. ALL TREES ARE IN GOOD CONDITION UNLESS OTHERWISE NOTED IN THE REMARKS.

CONFIDENTIAL AND PROPRIETARY

DO NOT MODIFY, DUPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS

WITHOUT THE EXPRESS WRITTEN

LANDSCAPE

RODRIGUEZ TELLAHECHE, RA

Sheet Title: