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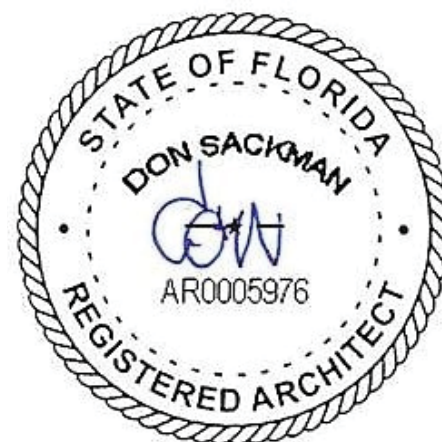
LANDSCAPE:



ENGINEERING:



355 ALHAMBRA CIRCLE SUITE 1400  
CORAL GABLES, FL 33134



# ALEXAN CRAFTS

330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383





**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**3D RENDERING**

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VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 9



VIEW 10



VIEW 7



VIEW 8



VIEW 11



VIEW 12



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**CONTEXT PLAN**

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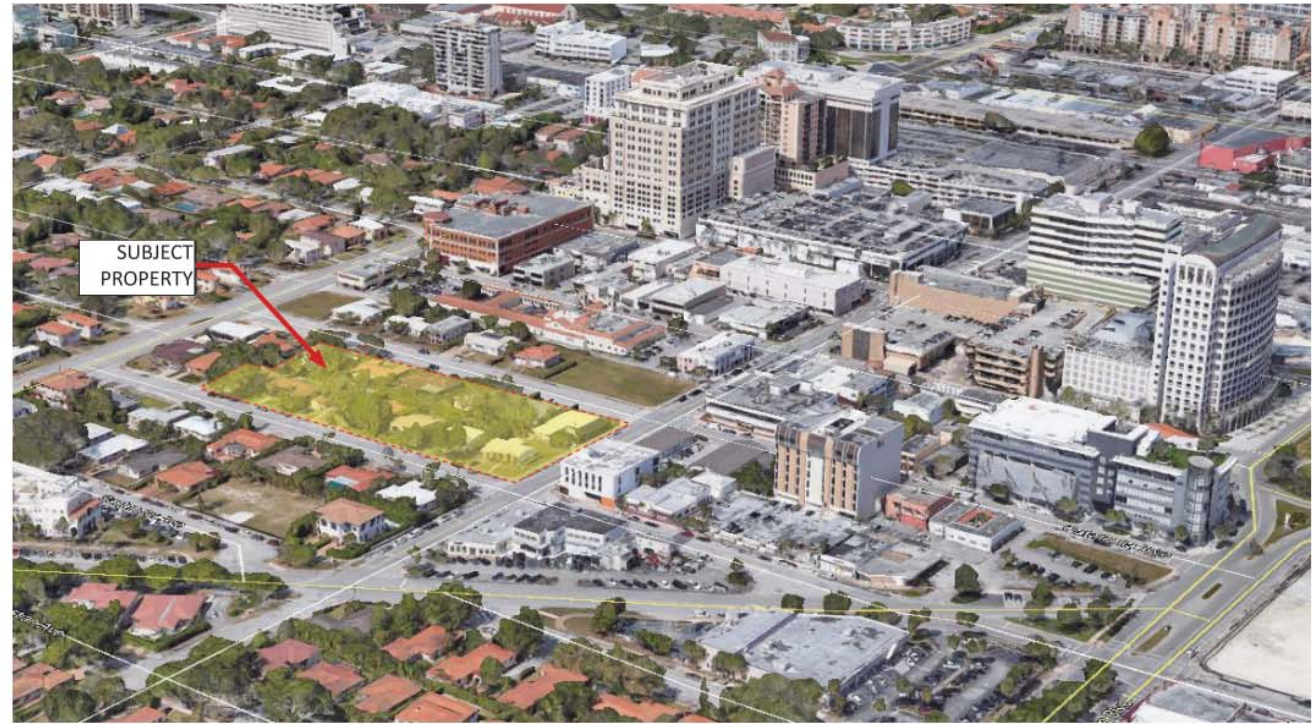
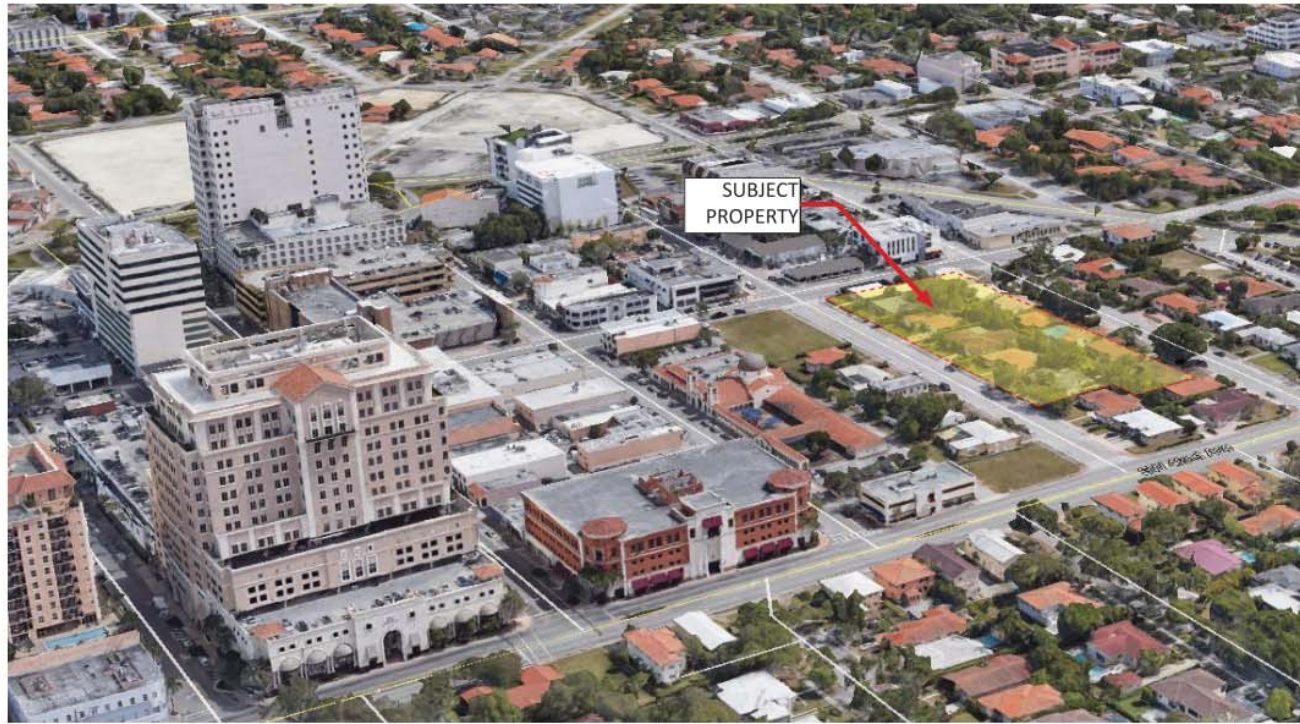
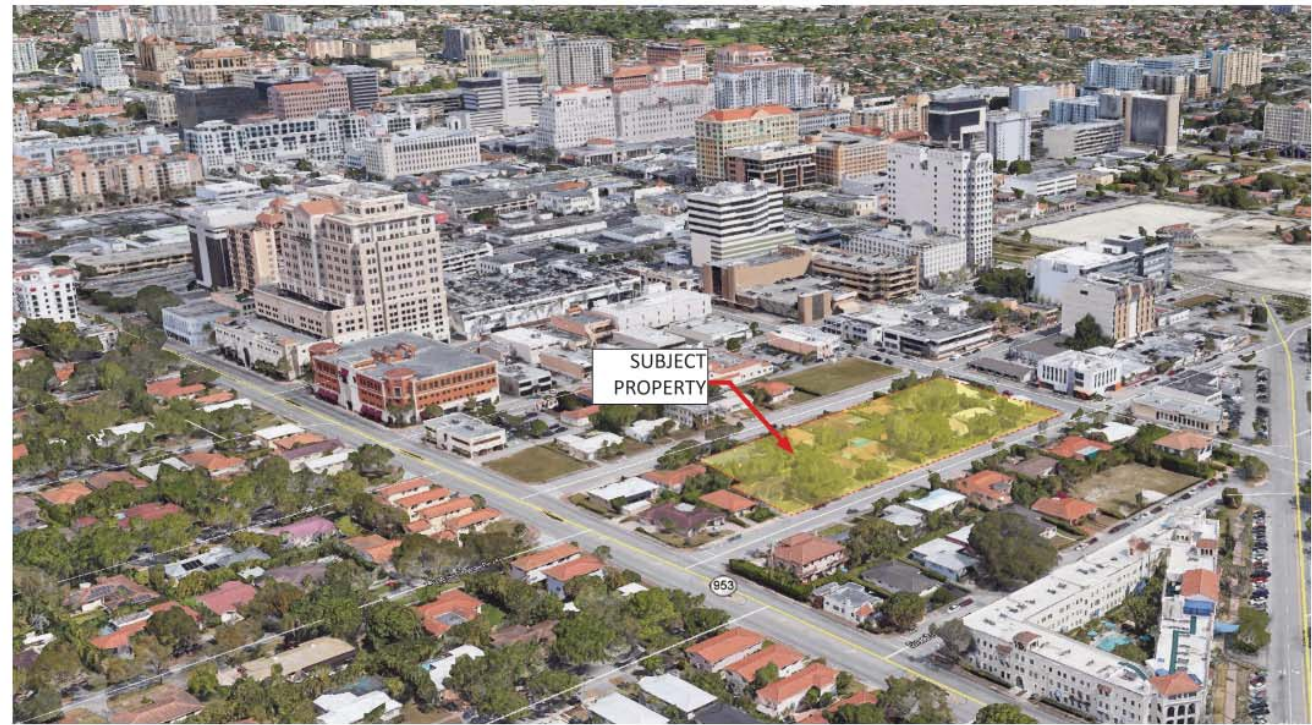
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**AERIAL CONTEXT**

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LEGEND AND ABBREVIATIONS			
	CONCRETE POLE		FIRE HYDRANT
	CONCRETE POWER POLE		DOUBLE DETECTOR CHECK VALVE
	CONCRETE LIGHT POLE		BACK FLOW PREVENTOR
	ALUMINUM LIGHT POLE		PROPERTY LINE
	WOOD POLE		RIGHT-OF-WAY
	WOOD POWER POLE		RADIUS
	WOOD LIGHT POLE		RADIUS WITH ARROW
	TRAFFIC BOX		PERMANENT CONTROL POINT
	STREET LIGHT BOX		FLAT BOOK AND PAGE
	PHONE BOX		SEWING UTILITY WIRES
	IRRIGATION BOX		OFFICIAL RECORD BOOK
	HANDICAP PAINT MARK		CONCRETE BLOCK STRUCTURE
	WHEEL STROLLER PAINT MARK		CONCRETE
	UNKNOWN MANHOLE		SQUARE COLUMN
	SEWER MANHOLE		ROUND COLUMN
	WATER MANHOLE		MAIL BOX
	GAS MANHOLE		IRRIGATION PUMP
	STORM MANHOLE		CLEANOUT POST
	GREASE TRAP MANHOLE		GROUND LIGHT
	GAS MANHOLE		FLAG POLE
	WATER METER		DRAINAGE WELL
	IRRIGATION METER		PS INLET
	GAS METER		CURB INLET
	ELECTRIC METER		FIRE HYDRANT
	COMMUNICATION MANHOLE		DOUBLE DETECTOR CHECK VALVE
	BELL SOUTH MANHOLE		BACK FLOW PREVENTOR
	PARKING METER		PROPERTY LINE
	PARKING KIOSK		RIGHT-OF-WAY
	WATER VALVE		RADIUS
	SEWER VALVE		RADIUS WITH ARROW
	GAS VALVE		PERMANENT CONTROL POINT
	FIRE VALVE		FLAT BOOK AND PAGE
	VACUUM BREAKER ASSEMBLY		SEWING UTILITY WIRES
	SAMESE CONNECTION		OFFICIAL RECORD BOOK
	POST INDICATOR VALVE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENTOR
	RIGHT-OF-WAY		PROPERTY LINE
	RADIUS		RIGHT-OF-WAY
	RADIUS WITH ARROW		RADIUS
	PERMANENT CONTROL POINT		RADIUS WITH ARROW
	FLAT BOOK AND PAGE		PERMANENT CONTROL POINT
	SEWING UTILITY WIRES		FLAT BOOK AND PAGE
	OFFICIAL RECORD BOOK		SEWING UTILITY WIRES
	CONCRETE BLOCK STRUCTURE		OFFICIAL RECORD BOOK
	CONCRETE		CONCRETE BLOCK STRUCTURE
	SQUARE COLUMN		CONCRETE
	ROUND COLUMN		SQUARE COLUMN
	MAIL BOX		ROUND COLUMN
	IRRIGATION PUMP		MAIL BOX
	CLEANOUT POST		IRRIGATION PUMP
	GROUND LIGHT		CLEANOUT POST
	FLAG POLE		GROUND LIGHT
	DRAINAGE WELL		FLAG POLE
	PS INLET		DRAINAGE WELL
	CURB INLET		PS INLET
	FIRE HYDRANT		CURB INLET
	DOUBLE DETECTOR CHECK VALVE		FIRE HYDRANT
	BACK FLOW PREVENTOR		DOUBLE DETECTOR CHECK VALVE
	PROPERTY LINE		BACK FLOW PREVENT





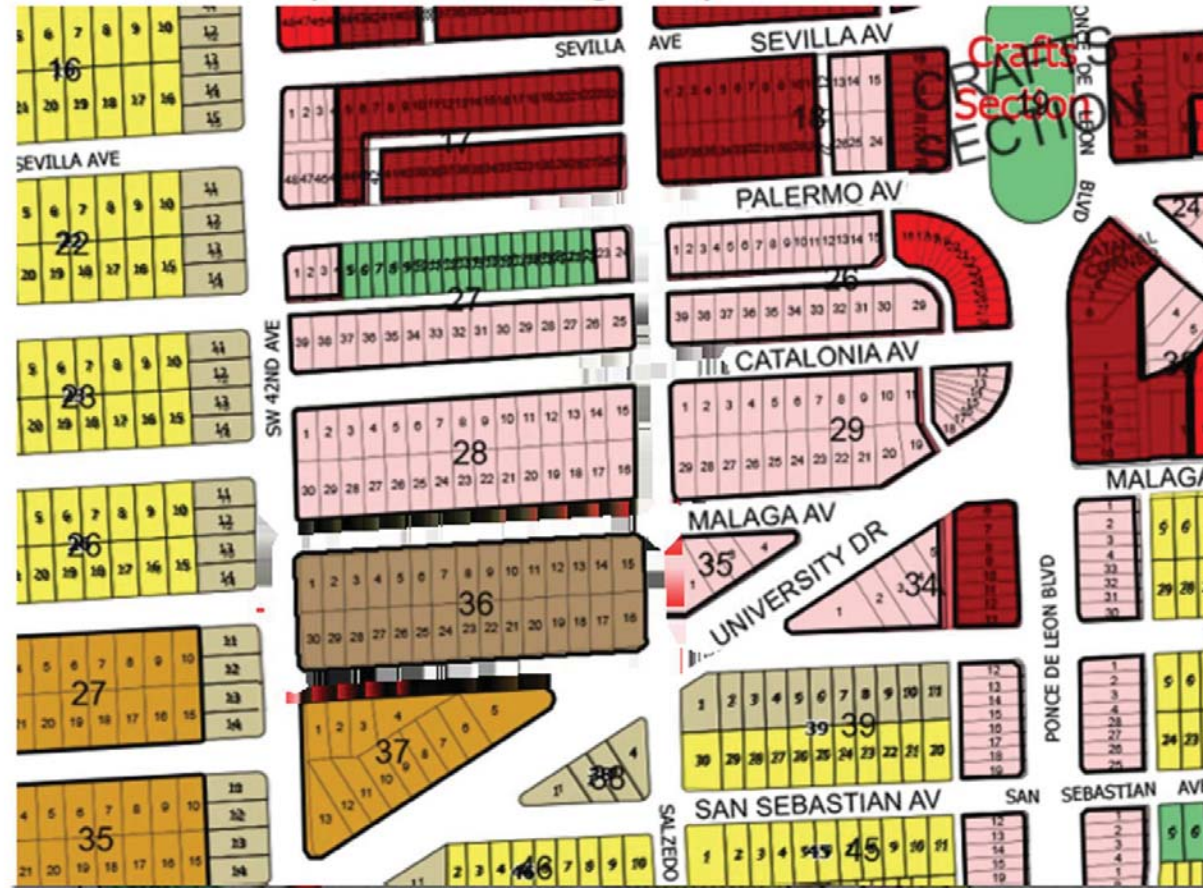
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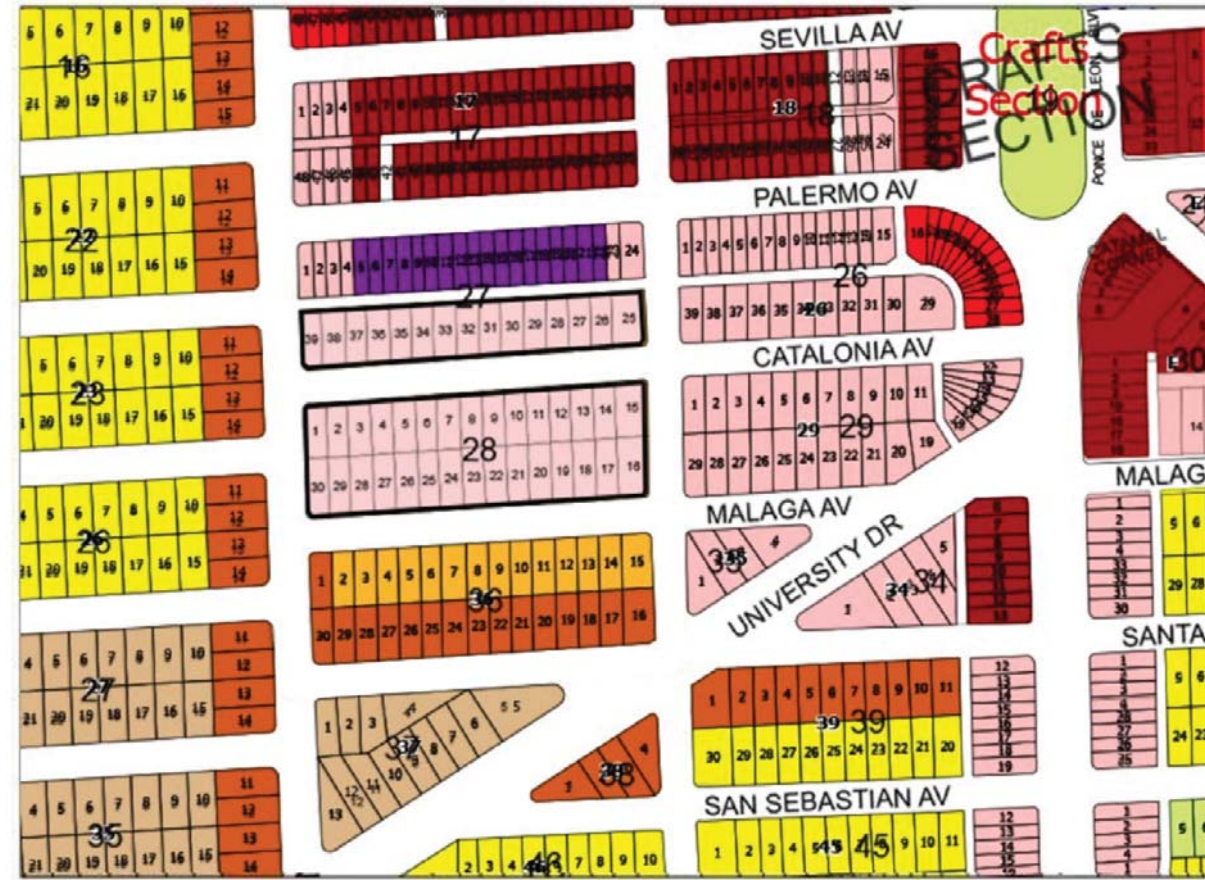
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 TCR  
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### Proposed Zoning Map



### Existing Future Land Use Map



## Zoning Map

- Zoning Districts**
- (SFR) Single-Family Residential District
  - (MF1) Multi-Family 1 Duplex District
  - (MF2) Multi-Family 2 District
  - (MF3) Multi-Family 3 District
  - (MF4) Multi-Family 4 District
  - (S) Special Use District
  - (P) Preservation District
  - (MX1) Mixed-Use 1
  - (MX2) Mixed-Use 2
  - (MX3) Mixed-Use 3

## Future Land Use Map

- Land Use Classifications**
- Residential Single-Family Low Density (6 Units/Acre)
  - Residential Single-Family High Density (9 Units/Acre)
  - Residential Multi-Family Duplex Density (9 Units/Acre)
  - Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)
  - Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre)
  - Residential Multi-Family High Density (150 Feet; 60 Units/Acre)
  - Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)
  - Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)
  - Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)
  - Industrial
  - University Campus
  - University Campus Multi-Use Area
  - Education
  - Parks and Recreation
  - Open Space
  - Mixed-Use Overlay District
  - Conservation Areas
  - Public Buildings and Grounds
  - Hospital
  - Religious/Institutional
  - Community Services and Facilities
  - Mixed-Use

ZONING MAP

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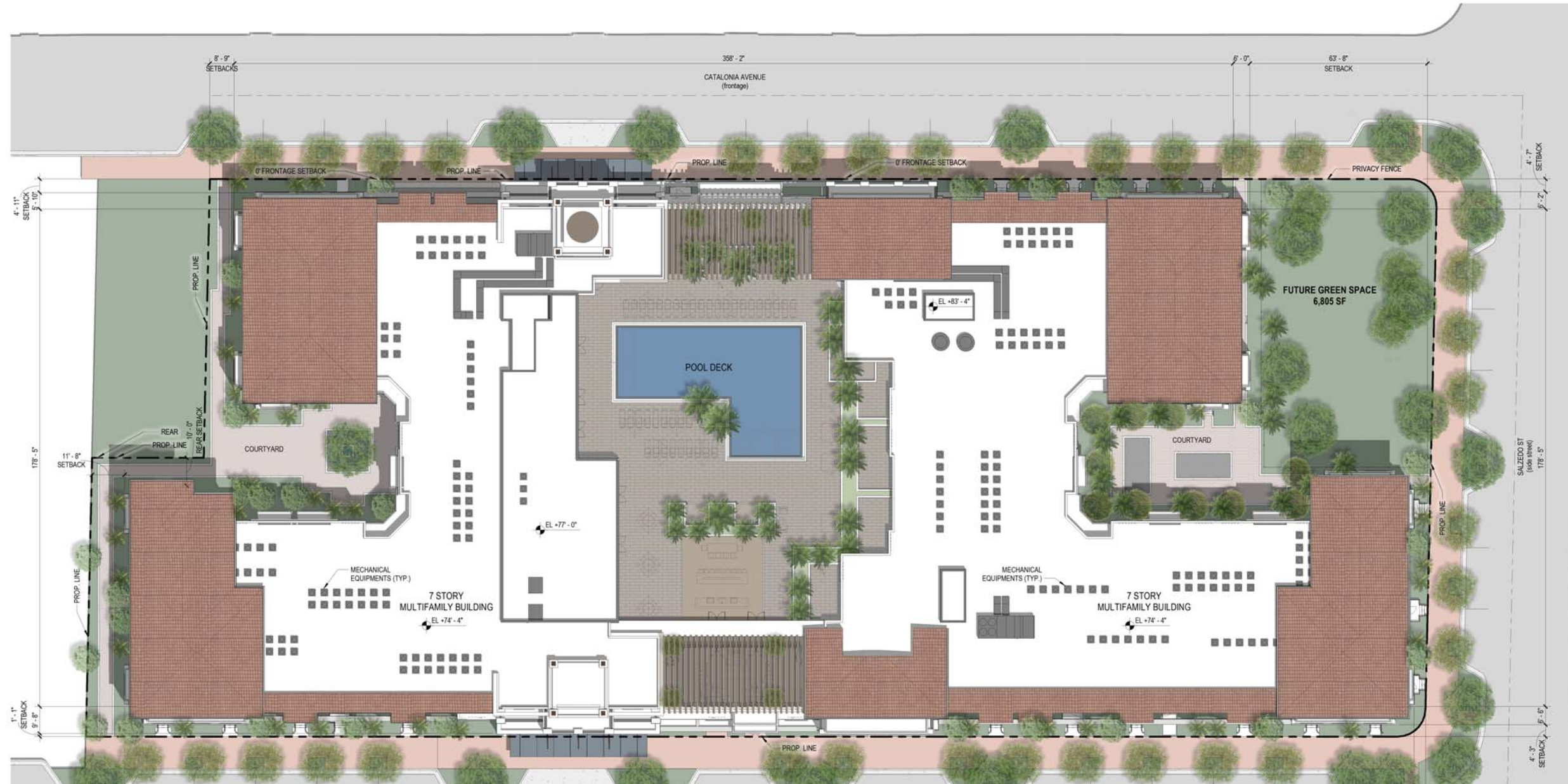


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**SITE PLAN**  
 SCALE: 1" = 20'-0"



**RENDERED SITE PLAN**

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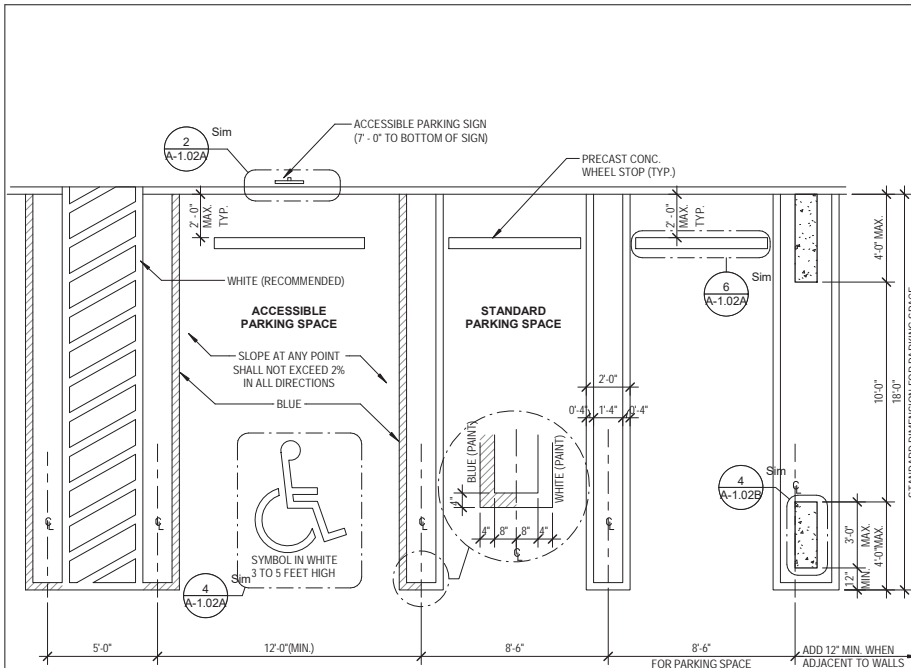
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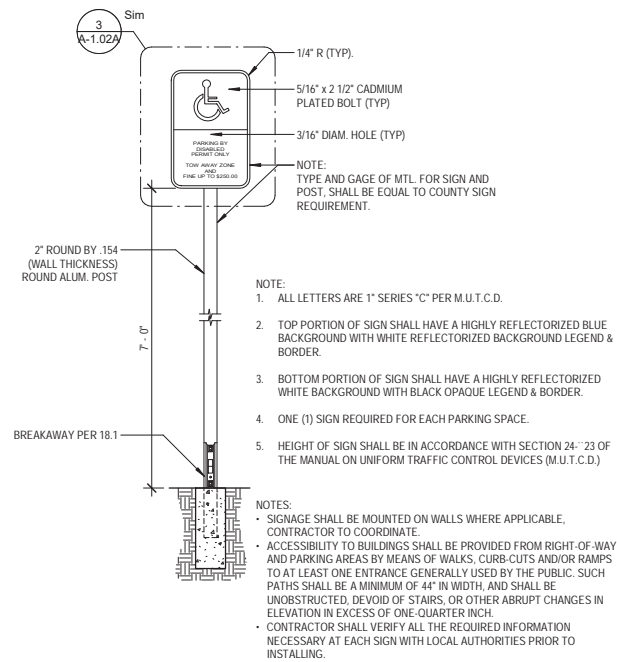
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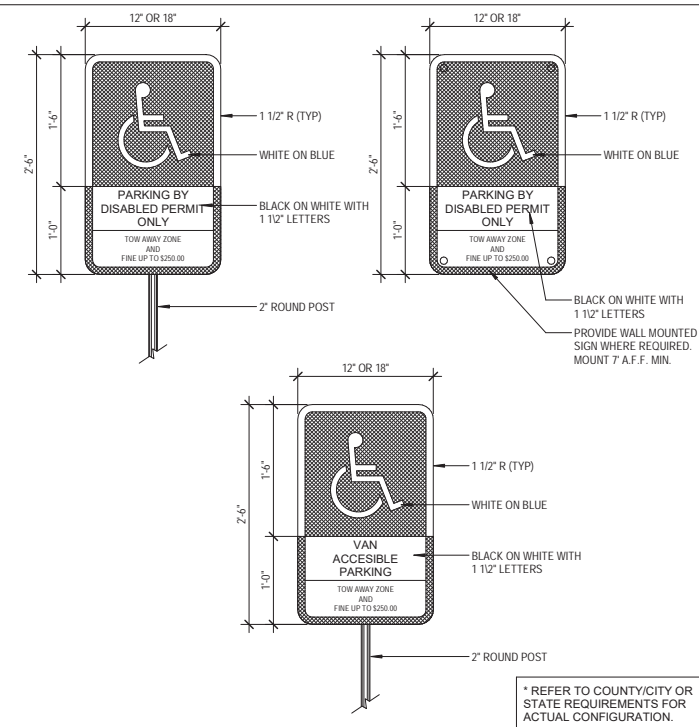




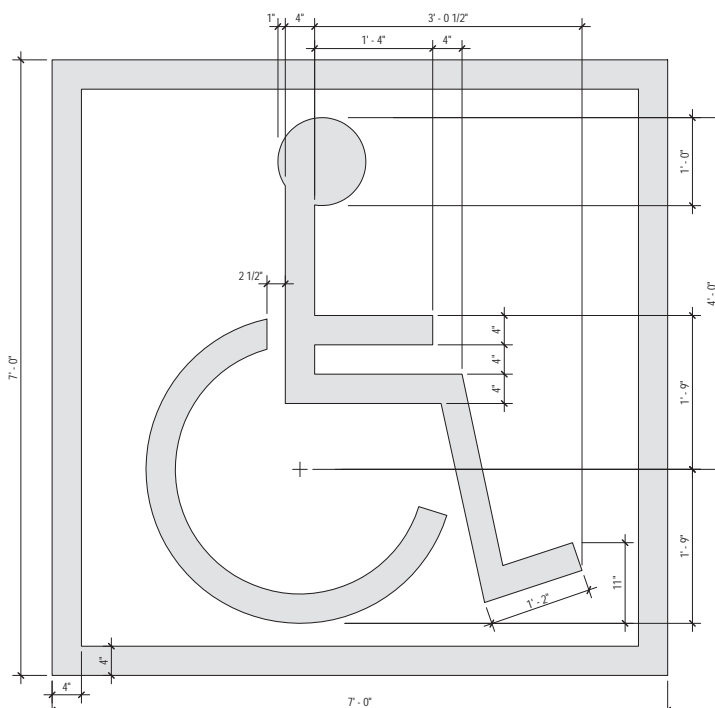
**1 ACCESSIBLE AND STANDARD PARKING DETAIL**  
SCALE: 1/4" = 1'-0"



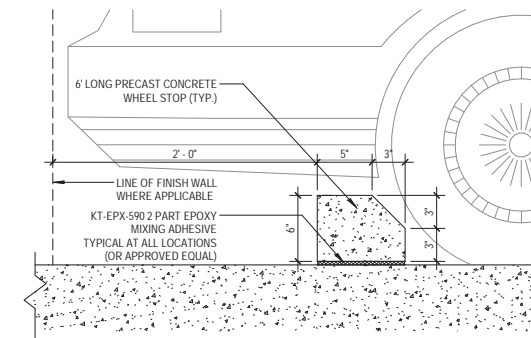
**2 ACCESSIBLE PARKING SPACE SIGN**  
SCALE: 1/4" = 1'-0"



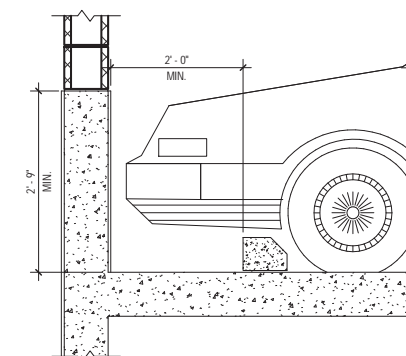
**3 ACCESSIBLE PARKING SIGN DETAIL**  
SCALE: 1" = 1'-0"



**4 STRIPPED SYMBOL @ H.C. PARKING STALL**  
SCALE: 1" = 1'-0"



**5 TYPICAL WHEEL STOP DETAIL**  
SCALE: 1 1/2" = 1'-0"



**6 TYPICAL CRASH WALL/ WHEEL STOP DETAIL**  
SCALE: 3/4" = 1'-0"







**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

SITE DETAILS

PHASE:

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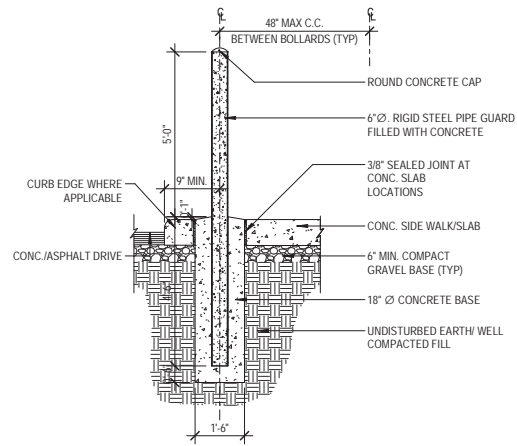


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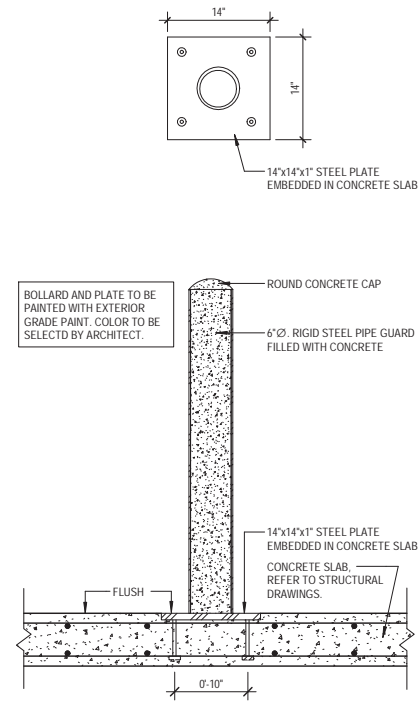
**DATE:** 07/23/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

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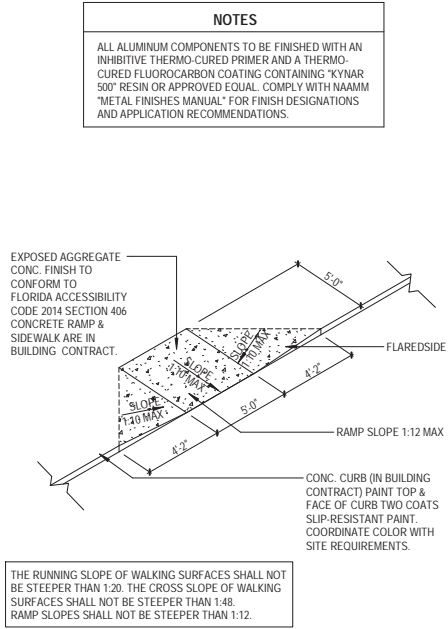
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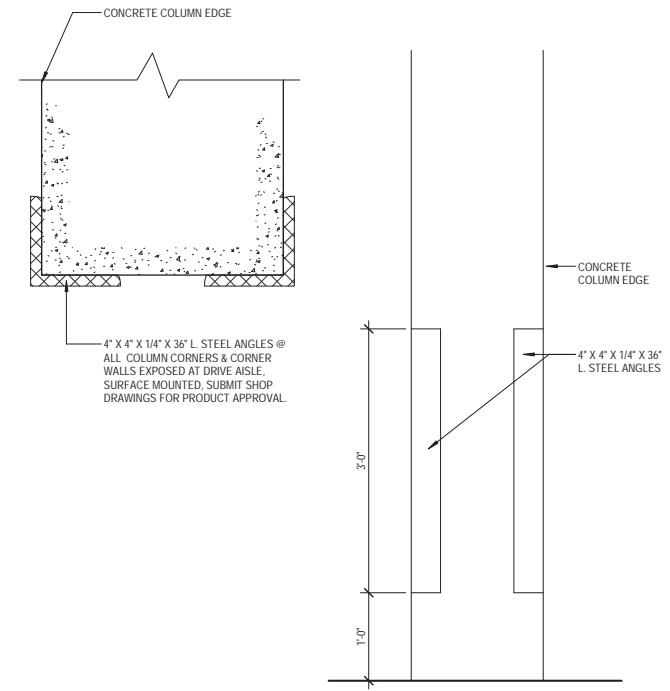
**1 TYPICAL BOLLARD AT GROUND FLOOR**  
SCALE: 3/8" = 1'-0"



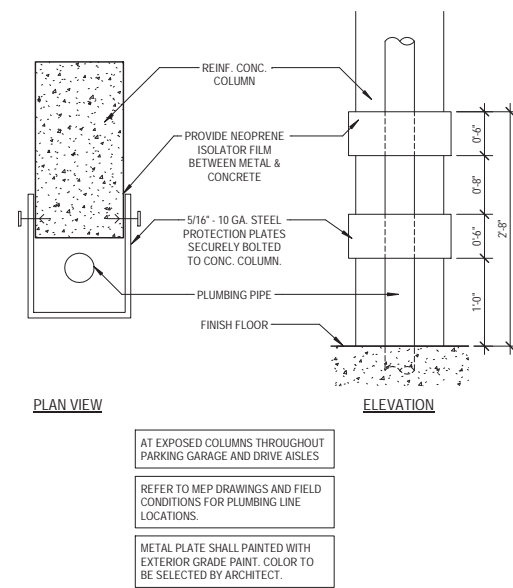
**2 TYPICAL BOLLARD AT ELEVATED SLABS**  
SCALE: 1" = 1'-0"



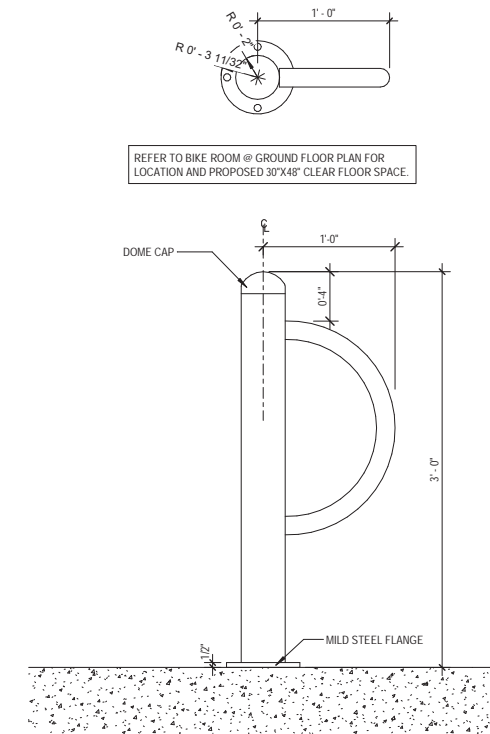
**3 CONCRETE RAMP SLOPE**  
SCALE: 1" = 1'-0"



**4 COLUMN GUARD DETAIL**  
SCALE: 1" = 1'-0"



**5 TYPICAL STEEL PIPE PROTECTION**  
SCALE: 1" = 1'-0"



**6 TYPICAL FLOOR MOUNTED BIKE RACK DETAIL**  
SCALE: 1 1/2" = 1'-0"





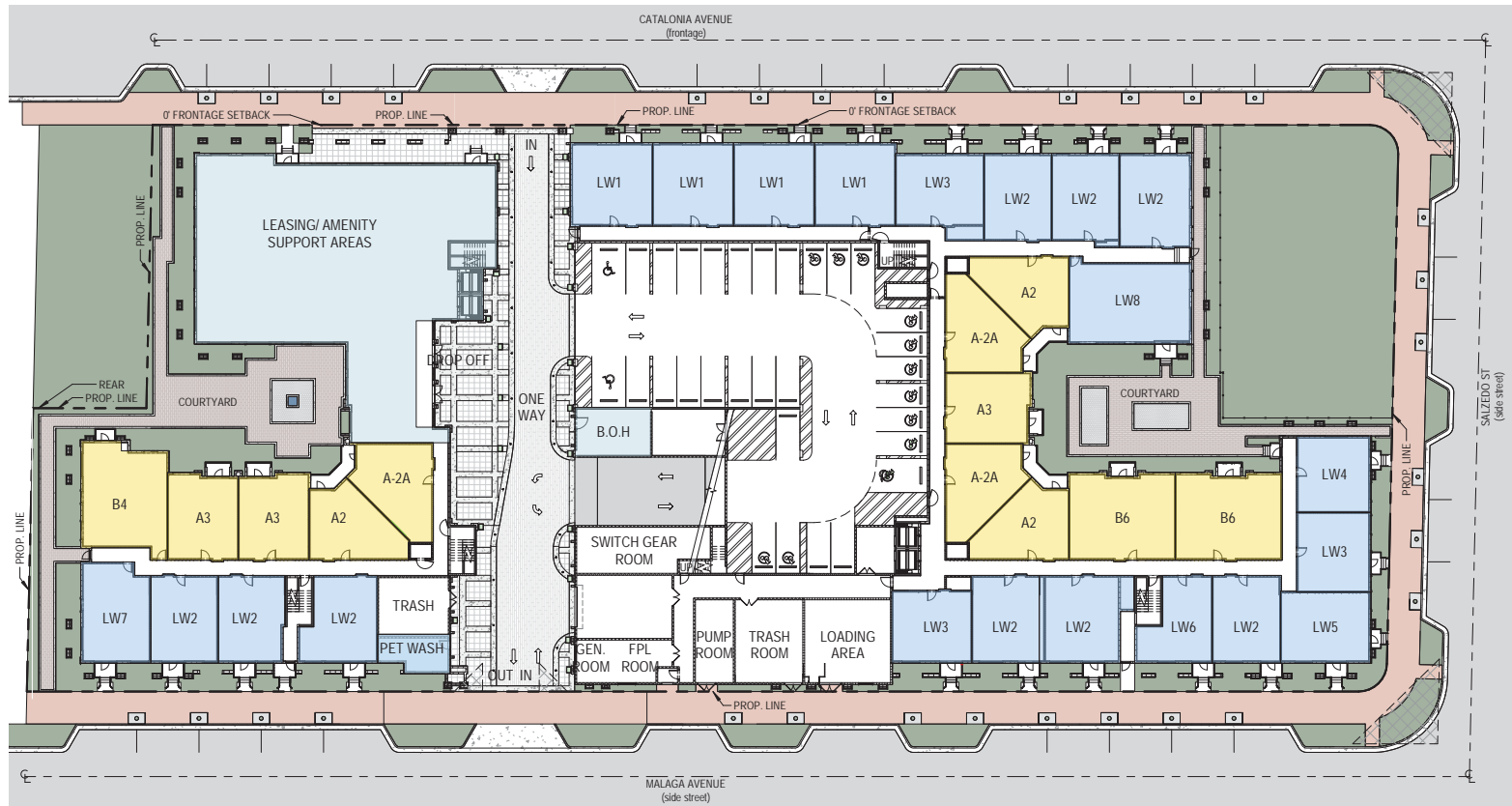
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LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



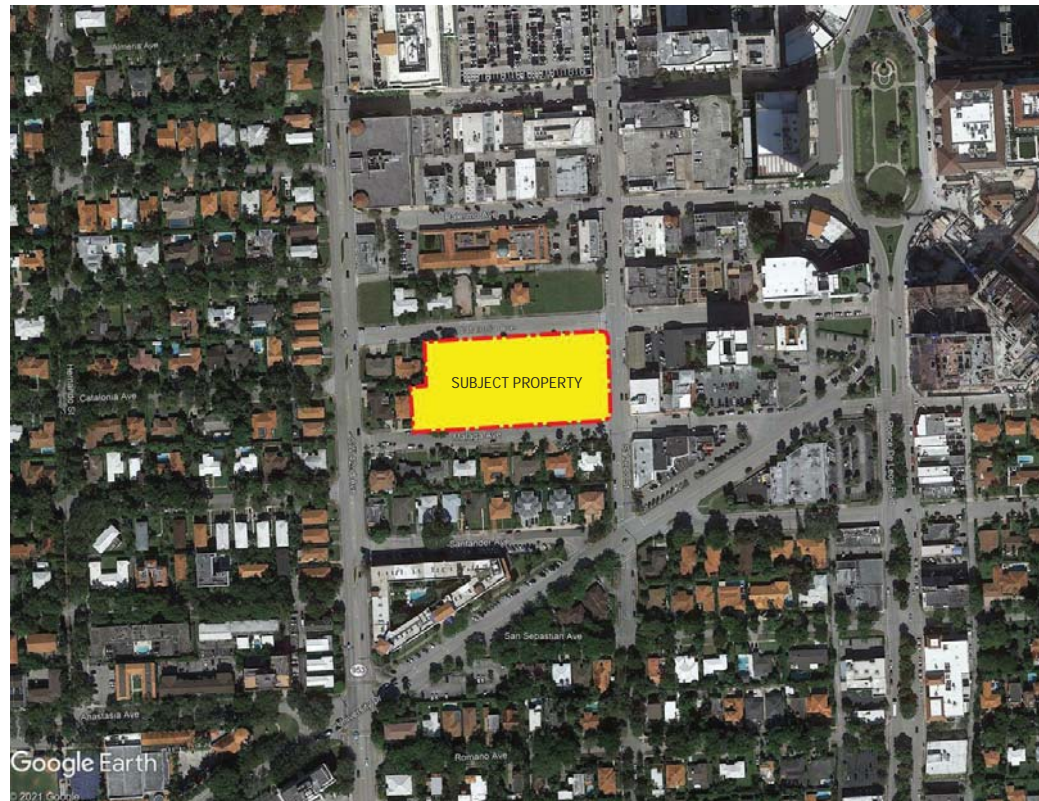
OWNER:  
**6400 Congress Avenue, Suite 1050**  
Boca Raton, FL 33487

PROJECT DATA



**MIXED USE DIAGRAM**

SCALE: 1" = 30'-0"



PROJECT DATA			
EXISTING ZONING	MIXED USE I (MX 1)		
EXISTING LAND USE	COMMERCIAL LOW-RISE INTENSITY		
1) LAND AREA	91,933 SF (2.11 ACRES)		
2) MIN. PARCEL OF LAND	10,000 S.F.	MIN. REQUIRED / ALLOWED	PROPOSED / PROVIDED
3) SETBACKS	FRONT (Catalonia Ave): 0'-0" SIDE STREET (Malanga Ave): 0'-0" SIDE STREET (Salzedo St): 0'-0" SIDE: 0'-0" REAR: 10'-0"		91,933 S.F. 0" 1'-1" 4'-1" 11'-8" 10'-0"
4) STEPBACKS	FRONT (Catalonia Ave): 10'-0" SIDE STREET (Malanga Ave): 10'-0" SIDE STREET (Salzedo St): 10'-0" SIDE: 15'-0" REAR: 10'-0"		10'-0" 10'-0" 10'-0" 16'-10" 11'-4"
5) FLOOR AREA RATIO (FAR)	*per Mediterranean bonus II	321,766 SF	311,352 SF
6) HEIGHT	*Subject to City Commission approval per Section 2-500(B)(2) of the Zoning Code.	6 STORIES	7 STORIES* - 77'-0" (MAX) 73'-8" (T.O. Roof Slab - at residential areas) 77'-0" (T.O. Roof Slab - from amenity areas)
7) OPEN SPACE	LAND AREA x (20%)	TOTAL = 18,386 SF (MIN)	Open to Sky = 19,453 (21.1%) Covered Open Space (8,777 SF) x 75% = 6,583 SF (7.20%) Total = 26,036 SF (28.32%)
8) PARKING CALCULATION	H.C. ACCESSIBLE	301 to 400 = 8 spaces, 2 of which are van *per FL Building code	9 H.C. (Ground Floor = 3 H.C. Intermediate = 1 H.C. 2nd Floor = 1 H.C. 3rd Floor = 1 H.C. 4th Floor = 1 H.C. 5th Floor = 1 H.C. 6th Floor = 1 H.C.)
	EV PARKING WITH CHARGING STATION	364 x (2% min.) = 8 SP (MIN)	8 SP
	EV-READY	364 x (3% min.) = 11 SP (MIN)	11 SP
	EV-CAPABLE	364 x (15% min.) = 55 SP (MIN)	55 SP
	LIVE/WORK	1 SP + 1 SP PER 350 sf of work area = 8 SP	
	STUDIO/1BD	1 SP x # OF STUDIOS/1BD = 79 SP	
	2 BD AND MORE	1.5 SP x # of 2BD/3BD = 78 SP	
	TOTAL PARKING REQUIRED	377 SP	
	TOTAL PARKING SPACES WITH SHARED PARKING REDUCTION *Refer to Shared Parking Table	357 SP MIN	364 SP
9) BICYCLE STORAGE	BICYCLE PARKING SPACE	Min. 5 bicycles for each 250 parking spaces = 7	14 @ Ground Floor
10) LOADING	Article 5, Division 14 - Table D	Nonresidential floor area ≤ 199,999 sq. ft.: 1 (one)	1 (one)
11) MIXED USE (Refer to "Mixed Use Diagram" to left)	GROUND FLOOR (8% MIN)	LIVE/WORK	17,138 SF
		SHARED SUPPORT AREAS	9,018 SF
		SUB TOTAL	26,156 SF (MIN)
	2ND FLOOR (LIVE/WORK)	LIVE/WORK	17,029 SF
7TH FLOOR (SHARED SUPPORT AREAS)	SHARED SUPPORT AREAS	3,674 SF	
	SUB TOTAL	20,703 SF	
	TOTAL (15% MIN)	46,723 SF (MIN)	46,859 SF
	RESIDENTIAL (85% MAX)	266,013 SF (MAX)	264,493 SF
12) UNITS & LIVE/WORK	DENSITY: 125 PER ACRE MAX = 125 x 2.11 = 264 units		263 UNITS
	LIVE/WORK		22 LIVE/WORK
	TOTAL		TOTAL = 285

\*Setback and stepback relief is being requested pursuant to the Mediterranean Design and PAD processes.

**LEGAL DESCRIPTION**

LOT 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26 AND 27, BLOCK 28, CORAL GABLES, CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 5, BLOCK 28 OF SAID PLAT OF CORAL GABLES, CRAFTS SECTION; THENCE RUN NORTH 86 DEGREES 12 MINUTES 21 SECONDS EAST, ALONG THE NORTH LINE OF SAID BLOCK 28, FOR 429.78 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 10.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 15.93 FEET THROUGH A CENTRAL ANGLE OF 91 DEGREES 15 MINUTES 51 SECONDS TO A POINT OF TANGENCY; THENCE SOUTH 02 DEGREES 31 MINUTES 48 SECONDS EAST, ALONG THE EAST LINE OF SAID BLOCK 28, FOR 180.00 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 10.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 15.49 FEET THROUGH A CENTRAL ANGLE OF 88 DEGREES 44 MINUTES 09 SECONDS TO A POINT OF TANGENCY; THENCE SOUTH 86 DEGREES 12 MINUTES 21 SECONDS WEST, ALONG THE SOUTH LINE OF SAID BLOCK 28, FOR 470.22 FEET TO THE SOUTHWEST CORNER OF LOT 27, OF SAID BLOCK 28; THENCE NORTH 02 DEGREES 31 MINUTES 48 SECONDS WEST, ALONG THE WEST LINE OF LOT 27 OF SAID BLOCK 28, FOR 100.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 27; THENCE NORTH 86 DEGREES 12 MINUTES 21 SECONDS EAST, ALONG THE NORTH LINE OF LOT 27 OF SAID BLOCK 28, FOR 40.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 27; THENCE NORTH 02 DEGREES 31 MINUTES 48 SECONDS WEST, ALONG THE WEST LINE OF LOT 5 OF SAID BLOCK 28, FOR 100.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND CONTAINING 91,933 SQUARE FEET (2.110

UNIT MIX			
UNIT TYPE	AVG. AREA	COUNT	PERCENT
TH (L/W)	1,676 SF	18 units	6%
STUDIO	631 SF	12 units	4%
STUDIO (L/W)	688 SF	2 units	1%
1 BD	777 SF	165 units	58%
1 BD (L/W)	737 SF	1 units	0.50%
2 BD	1,130 SF	75 units	26%
2 BD (L/W)	1,241 SF	1 units	0.50%
3 BD	1,449 SF	11 units	4%
<b>TOTAL</b>		<b>285</b>	<b>100%</b>

SHARED PARKING CALCULATION													
LAND USE	REQUIRED PARKING SPACES	WEEKDAY						WEEKEND					
		DAY: 8AM - 5PM		EVENING: 5PM - 12AM		NIGHT: 12AM - 8AM		DAY: 8AM - 5PM		EVENING: 5PM - 12AM		NIGHT: 12AM - 8AM	
		Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces
RESIDENTIAL (263 UNITS)	355 SP	60%	213.0	90%	319.5	100%	355.0	80%	284.0	90%	319.5	100%	355.0
OFFICE (22)	22 SP	100%	22.0	10%	2.2	5%	1.1	10%	2.2	5%	1.1	5%	1.1
<b>TOTAL</b>	<b>377 SP</b>		<b>235 SP</b>		<b>322 SP</b>		<b>357 SP</b>		<b>287 SP</b>		<b>321 SP</b>		<b>357 SP</b>

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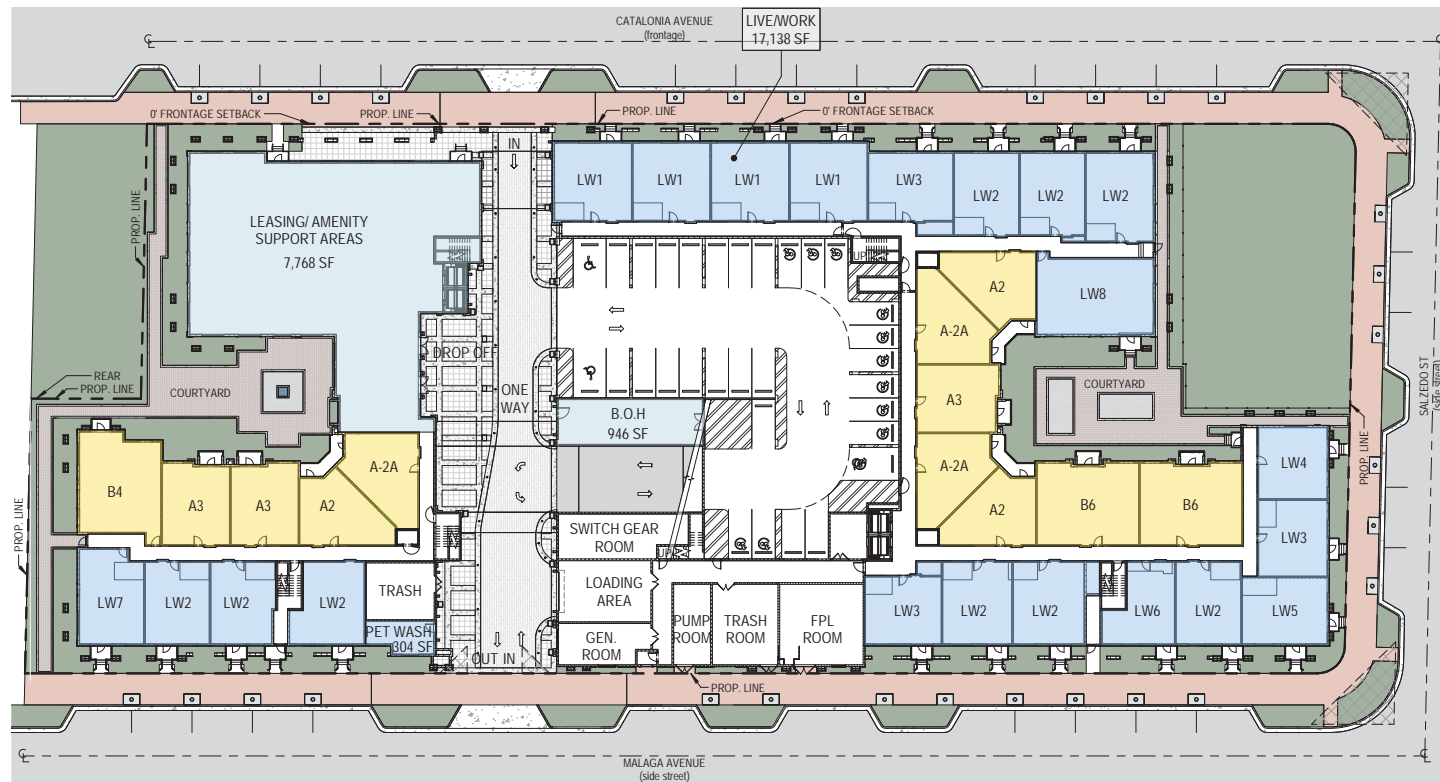


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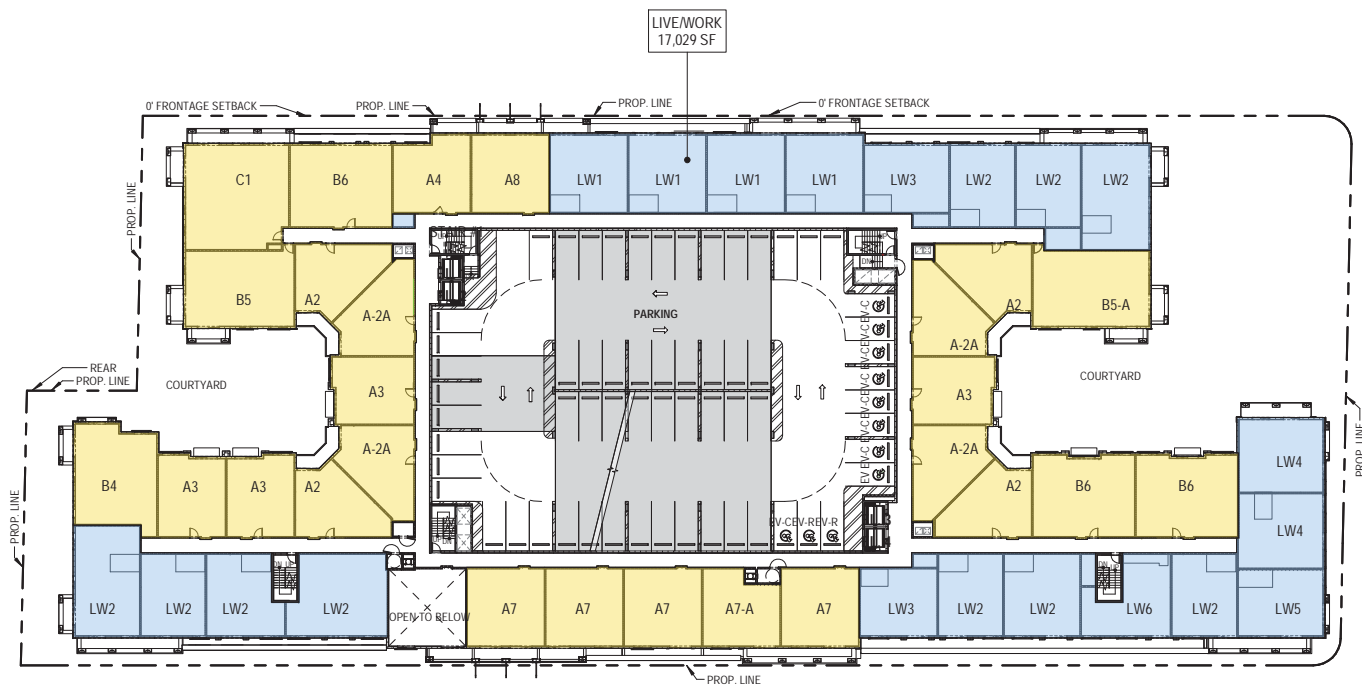
PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



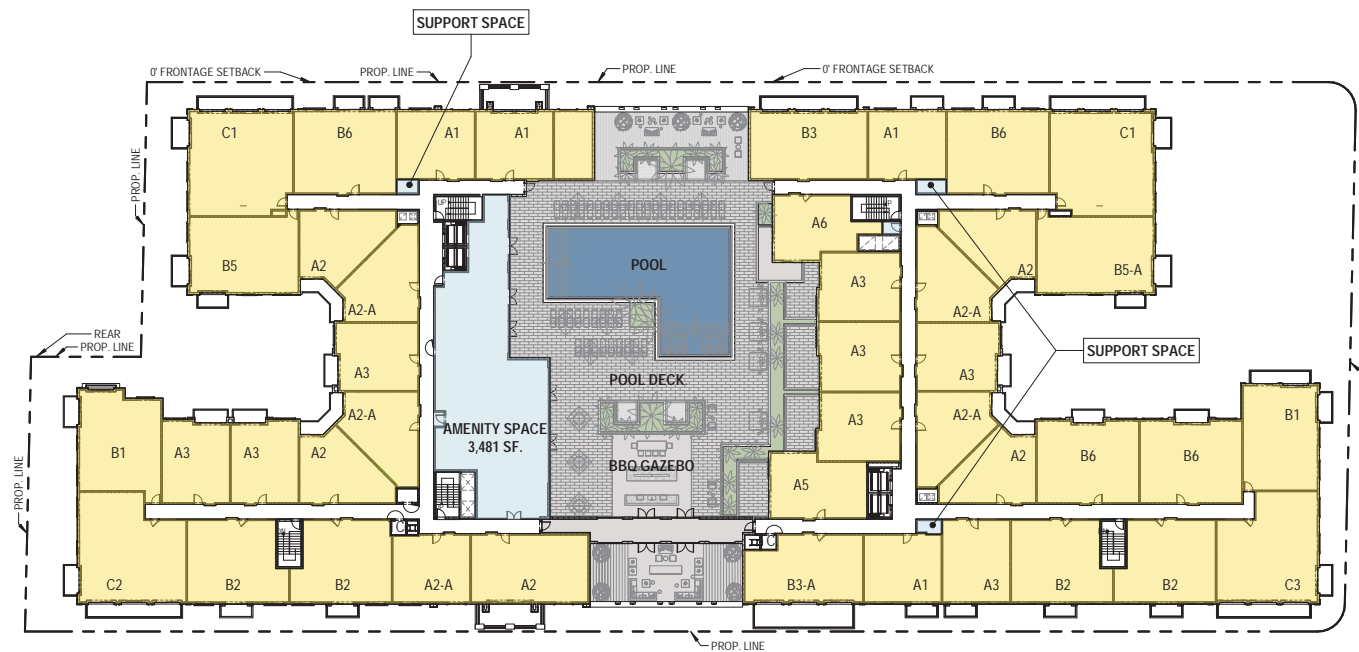
OWNER:  
**TCR**  
 TRAMMELL CROW RESIDENTIAL  
 6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487



**GROUND FLOOR - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"



**2ND FLOOR - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"



**7TH FLOOR PLAN - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"

LEGEND		
<span style="display:inline-block; width:15px; height:10px; background-color:blue; border:1px solid black;"></span>	PROPOSED RETAIL/COMMERCIAL/OFFICE SPACE	
<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	PROPOSED RESIDENTIAL SPACE	
MIXED USE CALCULATION	MIN. REQUIRED	
PROPOSED FAR 311,352 x 8% MIN.	24,908 SF	
	PROVIDED	
GROUND FLOOR (INCLUDES LIVE/WORK & SHARED SUPPORT AREAS)	26,156 SF	8.40%
2ND FLOOR (INCLUDES LIVE/WORK)	17,029 SF	5.47%
7TH FLOOR (INCLUDES SHARED SUPPORT AREAS)	3,674 SF	1.18%
<b>TOTAL</b>	<b>46,859 SF</b>	<b>15.05%</b>
TOTAL RESIDENTIAL (85% MAX.) (GROUND FLR THRU 7TH FLR)	264,493 SF	84.95%

MIXED USE DIAGRAMS

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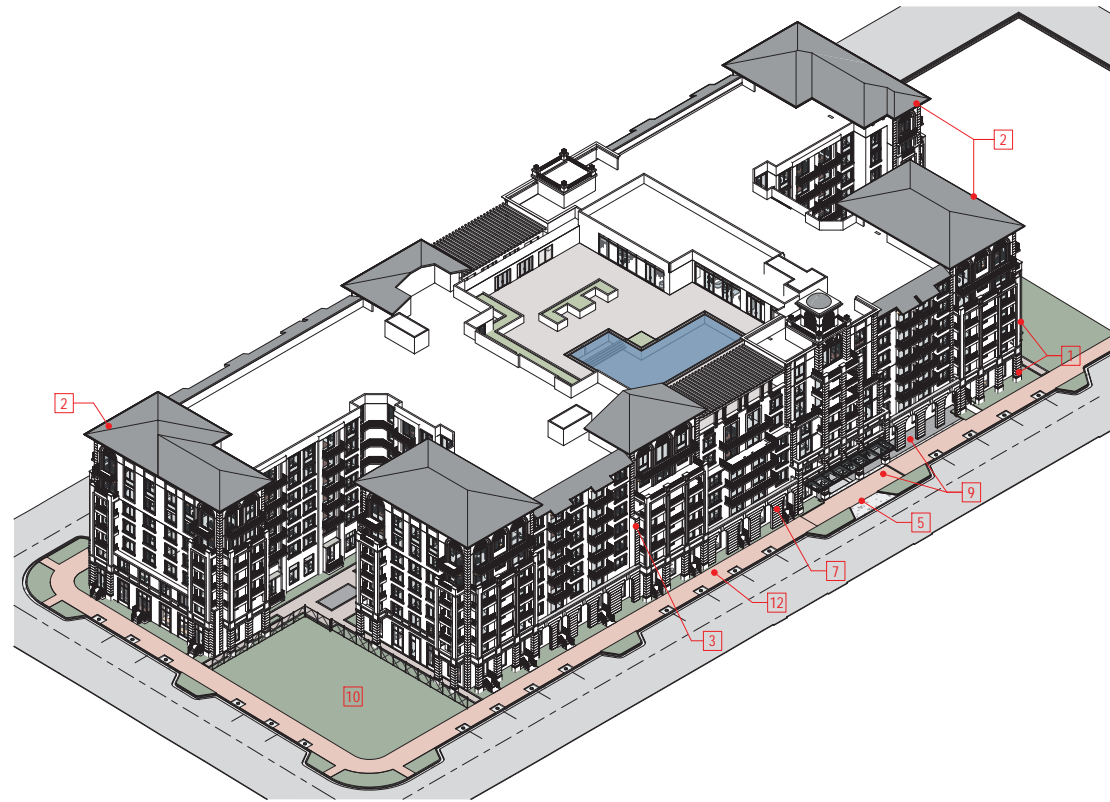
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 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

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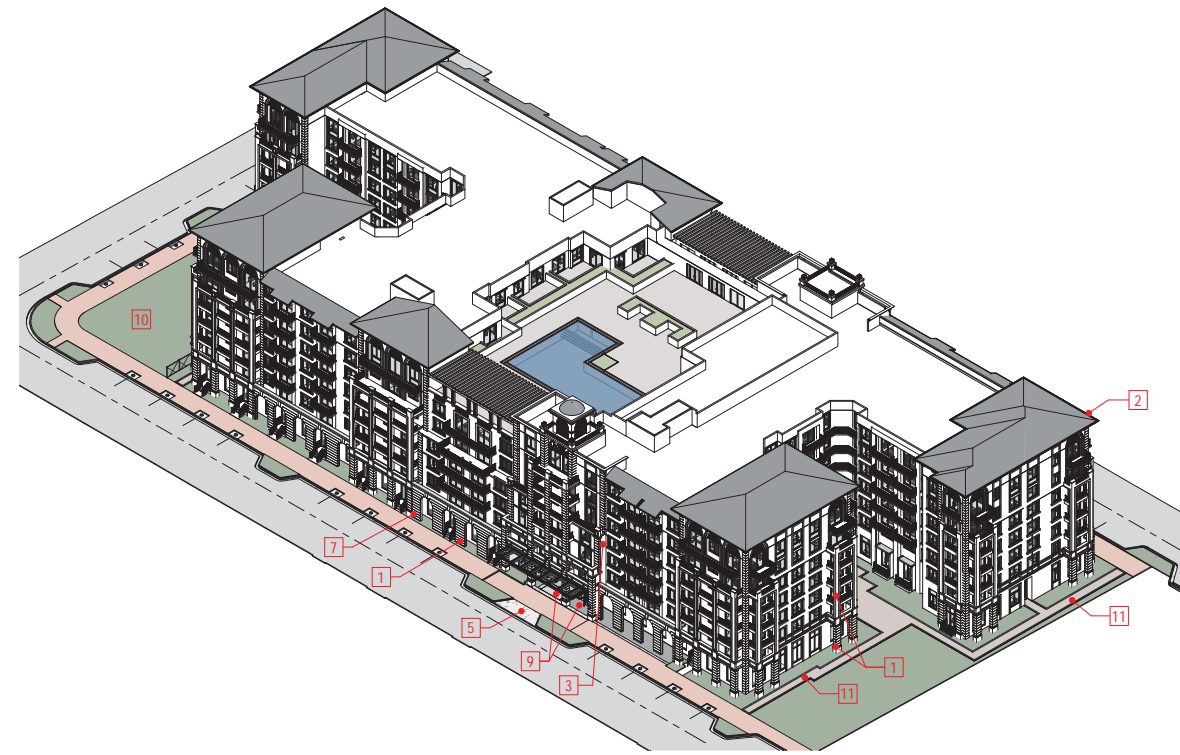
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**MEDITERRANEAN BONUS COMPLIANCE**



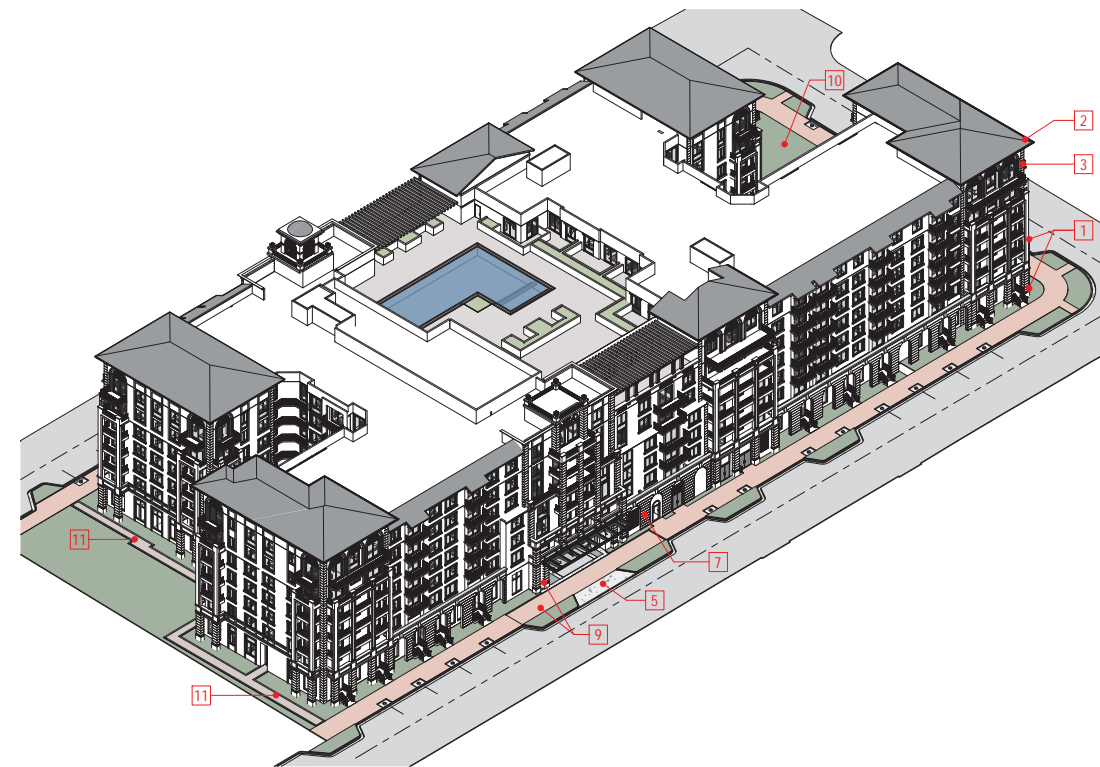
**NE VIEW**

SCALE:



**NW VIEW**

SCALE:



**SW VIEW**

SCALE:

MEDITERRANEAN ARCHITECTURAL DESIGN			
TABLE 1. REQUIRED STANDARDS			
REF.	TYPE	PROVIDED	SHEET REFERENCE
1.	ARCHITECTURAL ELEMENTS ON BUILDING FACADES	YES	SEE A-3.00 - A-3.03
2.	ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL	YES	SEE A-2.00 & A-3.00 - A-3.03
3.	ARCHITECTURAL RELIEF ELEMENTS LOCATED ON THE TOP OF BUILDINGS.	YES	SEE A-3.00 - A-3.03
4.	BICYCLE STORAGE	YES	SEE A-2.00
5.	BUILDING FACADES	YES	SEE A-3.00 - A-3.03
6.	BUILDING LOT COVERAGE	N/A	N/A
7.	DRIVE THROUGH FACILITIES	N/A	N/A
8.	LANDSCAPE OPEN SPACE AREA	YES	SEE A-1.06
9.	LIGHTING, STREET.	YES	SEE LANDSCAPE SHEETS
10.	PARKING GARAGES.	YES	SEE A-2.00
11.	PORTE-COCHERES	N/A	N/A
12.	SIDEWALKS/PEDESTRIAN ACCESS	YES	SEE A-2.00
13.	SOIL, STRUCTURAL	YES	SEE LANDSCAPE SHEETS
14.	WINDOWS ON MEDITERRANEAN BUILDINGS	YES	SEE A-3.00 - A-3.03

MEDITERRANEAN ARCHITECTURAL DESIGN			
TABLE 2. ARCHITECTURAL AND PUBLIC REALM STANDARDS (8OF12 REQUIRED)			
REF.	TYPE	PROVIDED	SHEET REFERENCE
1.	ARCADES AND/OR LOGGIAS	YES	SEE A-2.00
2.	BUILDING ROOFLINES	YES	SEE A-3.00 - A-3.03
3.	BUILDING STEPBACKS	YES	SEE A-3.00 - A-3.03 AND RENDERINGS
4.	BUILDING TOWERS	N/A	N/A
5.	DRIVEWAYS	YES	SEE A-2.00
6.	LIGHTING OF LANDSCAPING	YES	SEE LANDSCAPE SHEETS
7.	MATERIALS ON EXTERIOR BUILDING FACADES	YES	SEE A-3.00 - A-3.03
8.	OVERHEAD DOORS	N/A	N/A
9.	PAVER TREATMENTS	YES	SEE A-2.00 AND LANDSCAPE
10.	PEDESTRIAN AMENITIES	YES	SEE A-2.00 AND LANDSCAPE
11.	PEDESTRIAN PASS-THROUGHS/PASEOS ON PROPERTIES CONTIGUOUS TO ALLEYS AND/OR STREETS	YES	SEE A-2.00 AND LANDSCAPE
12.	UNDERGROUND PARKING	N/A	N/A

\* NUMBERS IN DIAGRAM REPRESENT ITEMS FROM TABLE 2

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**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**MEDITERRANEAN BONUS  
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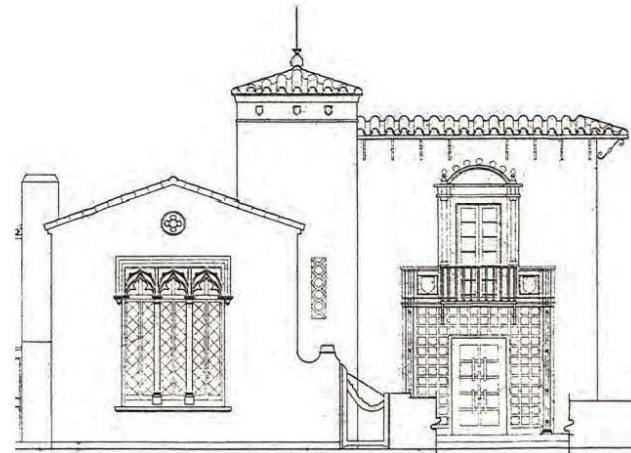
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**A-1.04A**

**HISTORICAL REFERENCE**

THE PROPOSED BUILDING DRAWS ELEMENTS THAT MIRROR THE  
ASTHETIC OF CORAL GABLES AND ITS HISTORY.

THE OVERALL DESIGN USES THE BUILDING COMPONENTS USED IN  
THE H. GEORGE FINK OFFICES, INCORPORATING ELEVATION AND  
MASSING SHIFTS PAIRED WITH HORIZONTAL AND VERTICAL  
ELEMENTS TO SOFTEN THE FACADE OF THE BUILDING.



H. GEORGE FINK OFFICE



THE PROJECT PROPOSES USING TWO ROOF TOP AREAS FOR  
COMMUNAL GATHERING THAT ARE FRAMED BY COLUMNS AND  
OVERHANGING ELEMENTS, GIVING AN ABOVE GROUND OPEN AIR  
RELIEF TO THE BUILDING. SIMILAR TO THE SAN SEBASTIAN  
APARTMENTS, THE SPACE IS ELEVATED OVERLOOKING A PRINCIPLE  
ELEVATION OF THE BUILDING.



SAN SEBASTIAN APARTMENTS

BY USING COLUMNS AT THE GROUND LEVEL UP THROUGH THE  
SECOND LEVEL, THE BUILDING PROPOSES A COVERED TERRACE  
WHICH OVERLOOKS THE COURTYARD. AT GROUND LEVEL, THE  
RETAIL SPACES COME TOGETHER IN A VIEWING ARCADE FRAMED  
BY THE COLUMNS, AS WAS DONE IN THE COLANNADE HOTEL.



COLANNADE HOTEL





TABLE 1

1.	✓	✓	✓	Architectural elements on building facades.	Similar exterior architectural relief elements shall be provided on all sides of all buildings. No blank walls shall be permitted unless required pursuant to applicable City, State and Federal requirements (i.e., Fire and Life Safety Code, etc). Parking garages shall include exterior architectural treatments compatible with buildings or structures that occupy the same property and/or street.
----	---	---	---	---	--

Requirement Satisfied

The project incorporates various architectural reliefs on all facades and does not have any blank walls. Each facade contains window and glass breaks, vertical and horizontal design elements, as well as different planes of view. Parking garage is fully lined by active uses. Please see adjacent elevations and plans.

2.	✓	✓	✓	Architectural relief elements at street level.	On any building facades fronting streets, where an adjoining pedestrian sidewalk is located, one (1) or more of the following design features shall be included at the street level: a. Display windows or retail display area; b. Landscaping; and/or c. Architectural relief elements or ornamentation.
----	---	---	---	--	--

Requirement Satisfied

The project houses landscaping and architectural relief elements on the majority of the ground floor. Please see adjacent elevations and plans.

3.	✓	✓	✓	Architectural elements located on the top of buildings.	Exclusion from height. The following shall be excluded from computation of building height in C, A and M-Use Districts: a. Air-conditioning equipment room. b. Elevator shafts. c. Elevator mechanical equipment rooms. d. Parapets. Roof structures used only for ornamental and/or aesthetic purposes not exceeding a combined area of twenty-five (25%) percent of the floor area immediately below. Such exclusion shall be subject to the provisions that no such structure shall exceed a height of more than twenty-five (25) feet above the roof, except for commercial buildings in the Central Business District (CBD) where no such structure shall exceed one-third (1/3) of the allowable total building height.
----	---	---	---	---	--

Requirement Satisfied

The combined aesthetic roof structures do not exceed more than 25% of the immediate floor below. The mechanical parapet does not exceed more 1/3 of the total building height. Please see adjacent elevations and plans.

4.	✓	✓	✓	Bicycle storage.	To encourage the use of bicycles, bicycle storage facilities (racks) shall be provided. A minimum of five (5) bicycle storage spaces shall be provided for each two hundred and fifty (250) parking spaces or fraction thereof.
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Requirement Satisfied

Bike racks (14) provided at ground level. Please see adjacent plan.

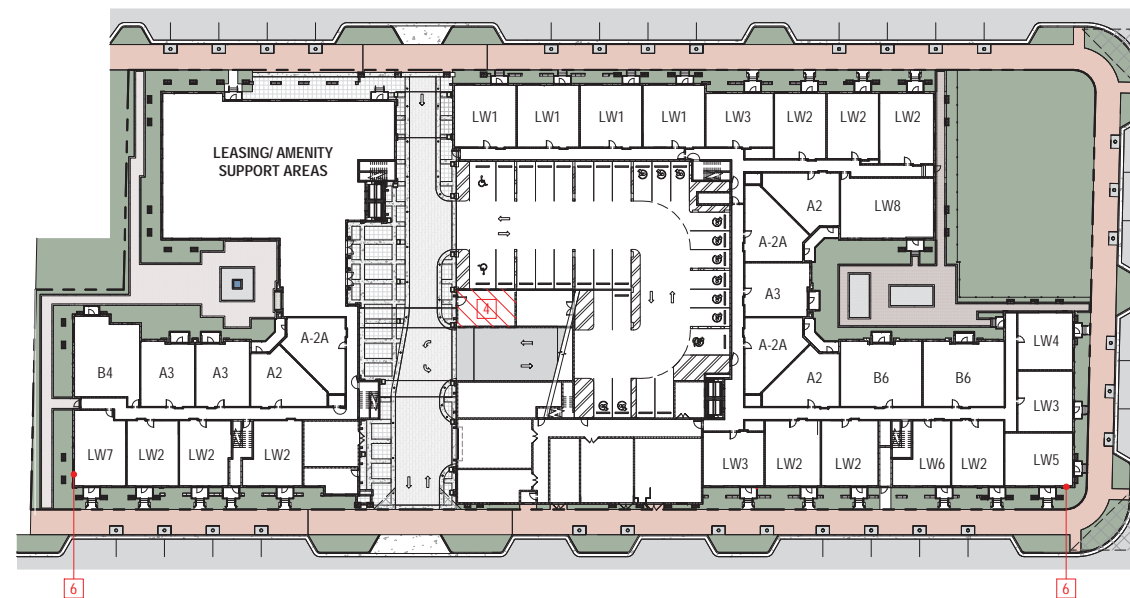
5.	✓	✓	✓	Building facades.	Facades in excess of one hundred and fifty (150) feet in length shall incorporate vertical breaks, stepbacks or variations in bulk/massing at a minimum of one hundred (100) foot intervals.
----	---	---	---	-------------------	--

Requirement Satisfied

Please see elevations, and diagram.

6.	✓	✓	✓	Building lot coverage.	No minimum or maximum building lot coverage is required.
----	---	---	---	------------------------	--

Requirement Satisfied



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
TCR  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

MEDITERRANEAN BONUS  
COMPLIANCE

PHASE:

BOA SUBMITTAL

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JOB No.: 2020-47  
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APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

A-1.04B



TABLE 1

7.	✓	✓	✓	Drive through facilities.	Drive through facilities including but not limited to banking facilities, restaurants, pharmacies, dry cleaners, etc. are prohibited access to/from Ponce de Leon Boulevard from S.W. 8th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.
----	---	---	---	---------------------------	---

Requirement Satisfied

The project does not have any drive through facilities.

8.	✓	✓	✓	Landscape open space area.	Each property shall provide the following minimum landscape open area (percentage based upon total lot area): a. Five (5%) percent for nonresidential properties; b. Ten (10%) percent for mixed use properties; and c. Twenty-five (25%) percent for residential properties. The total area shall be based upon the total lot area. This landscape area can be provided at street level, within the public right-of-way, elevated areas, planter boxes, planters, etc.
----	---	---	---	----------------------------	---

Requirement Satisfied

Refer to sheet A-1.06 for open area diagram and area percentages.

9.	✓	✓	✓	Lighting street.	Street lighting shall be provided and located on all streets/rights-of way. The type of fixture shall be the approved City of Coral Gables light fixture and location/spacing, etc. shall be the subject to review and approval by the Department of Public Works.
----	---	---	---	------------------	--

Requirement Satisfied

Lighting shall be provided as required.

10.	✓	✓	✓	Parking garages.	Ground floor parking as a part of a multi-use building shall not front on a primary street. ADA parking is permitted on the ground floor. Ground floor parking is permitted on secondary/side streets and shall be fully enclosed within the structure and/or shall be surrounded by retail uses and/or residential units. Ground floor parking is permitted on alley frontages. Parking facilities shall strive to accommodate pedestrian access to all adjacent street(s) and alleys.
-----	---	---	---	------------------	---

Requirement Satisfied

The project's parking garage is lined by active uses and away from primary streets. Ground floor parking is proposed to be enclosed and not visible from any streets.

11.	✓	✓	✓	Porte-Cocheres.	Porte-cocheres are prohibited access to/from Ponce de Leon Boulevard from S.W. 8th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.
-----	---	---	---	-----------------	--

Requirement Satisfied

No porte-cocheres contemplated in the project.

12.	✓	✓	✓	Sidewalks/ pedestrian access.	All buildings, except accessory buildings, shall have their main pedestrian entrances oriented towards adjoining streets. Pedestrian pathways and/or sidewalks shall be provided from all pedestrian access points and shall connect to one another to form a continuous pedestrian network from buildings, parking facilities, parking garages entrances, etc. Wherever possible pathways shall be separated from vehicular traffic.
-----	---	---	---	-------------------------------	---

Requirement Satisfied

All pedestrian entrances are facing streets. Each walkway is connected on the exterior side of the project, as well as the interior courtyard. All vehicular traffic is separated from pedestrian walkways through islands, landscape, and hardscape.

13.	✓	✓	✓	Soil, structural.	Structural soil shall be utilized within all rights-of-way for all street level planting areas with root barriers approved by the Public Service Department.
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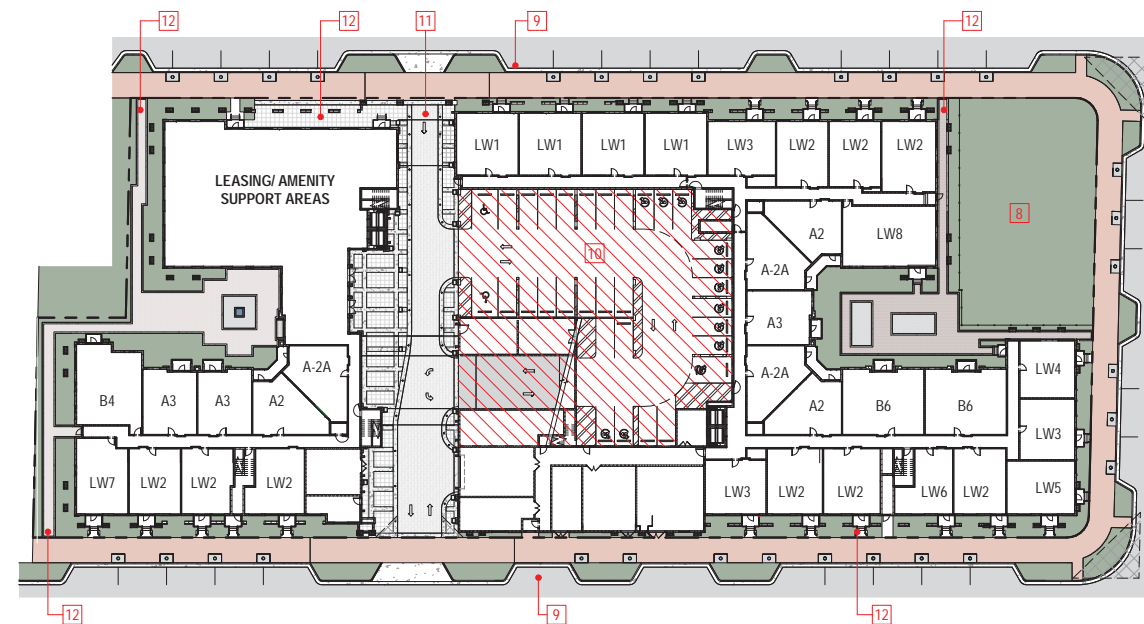
Requirement Satisfied

The project shall comply with requirements.

14.	✓	✓	✓	Windows on Mediterranean buildings.	Mediterranean buildings shall provide a minimum window casing depth of four (4) inches as measured from the face of the building.
-----	---	---	---	-------------------------------------	---

Requirement Satisfied

The project shall comply with requirements.



**CORWIL ARCHITECTS**  
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330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**MEDITERRANEAN BONUS COMPLIANCE**

PHASE:

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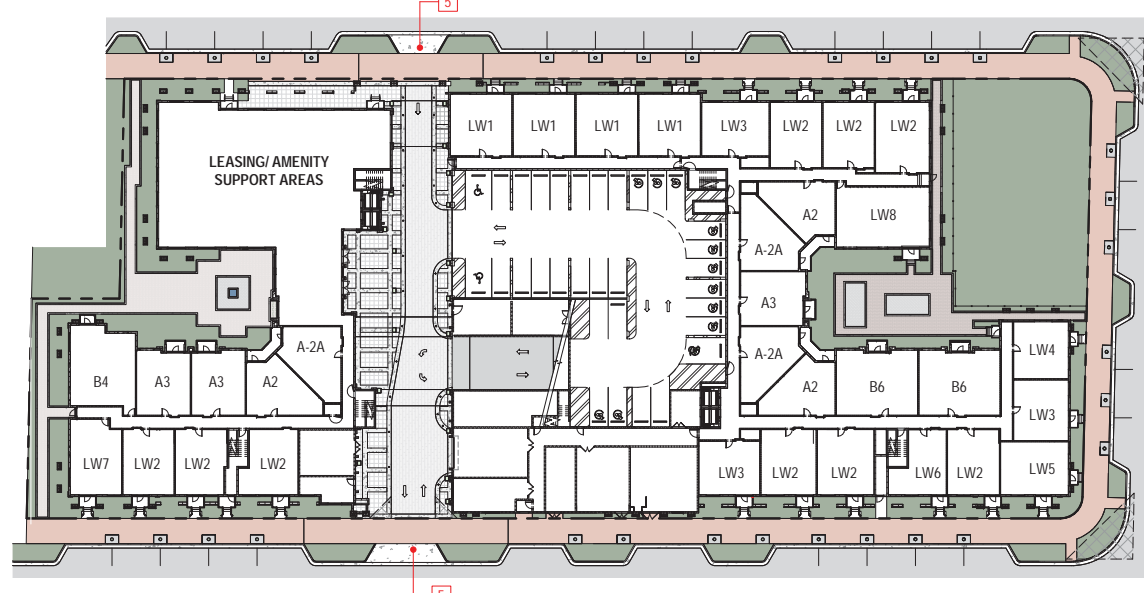
SHEET NUMBER:

**A-1.04C**



TABLE 2

1.	✓	✓	✓	Arcades and/or loggias.	Arcades, loggias, or covered areas constructed adjacent, parallel, and/or perpendicular to building to provide cover and protection from the elements for pedestrian passageways, sidewalks, etc. thereby promoting pedestrian passage/use. Limitations of encroachments on corners of buildings may be required to control view corridors and ground stories building bulk and massing. Awnings or other similar items do not satisfy these provisions.
Requirement Satisfied				The project incorporates covered drop off areas as well as a covered galleries along Catalonia and Malaga avenues.	
2.	✓	✓	✓	Building rooflines	Incorporation of horizontal and vertical changes in the building roofline.
Requirement Satisfied				The project makes use of vertical and horizontal elements that lead up to the main roof line. The roof line also follows the change in elevation recesses and projections seen on the elevations.	
3.	✓	✓	✓	Building setbacks	Setbacks on building facades of the building base, middle and/or top facade to further reduce the potential impacts of the building bulk and mass.
Requirement Satisfied				The project provides 2 principle setbacks to establish the building main, middle and top areas.	
5.	✓	✓	✓	Driveways	Consolidation of vehicular entrances for drive-through facilities, garage entrances, service bays and loading/unloading facilities into one (1) curb cut per street to reduce the amount of vehicular penetration into pedestrian sidewalks and adjoining rights-of-way.
Requirement Satisfied				The project shall consolidate all driveways into two locations, in an effort to reduce pedestrian interference: 1 - parking garage & covered drop off area entrance at the Catalonia Ave. (North) 2 - parking garage & covered drop off area exit at the Malaga Ave. (South)	
6.	✓	✓	✓	Lighting of landscape	Uplighting of landscaping within and/or adjacent to pedestrian areas (i.e., sidewalks, plazas, open spaces, etc.).
Requirement Satisfied				Exterior scones shall be placed on pillars and columns facing all pedestrian areas. Landscaping will be well lite and comply with requirements.	
7.	✓	✓	✓	Materials on exterior building facades.	The use of natural materials shall be incorporated into the base of the building on exterior surfaces of building. This includes but not limited to the following: marble, granite, keystone, etc.
Requirement Satisfied				The project will make use of natural materials, and will comply with requirements.	



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MEDITERRANEAN BONUS COMPLIANCE

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TABLE 2

9.	✓	✓	✓	Paver treatments	<p>Inclusion of paver treatments in all of the following locations:</p> <p>a. Driveway entrances minimum of ten (10%) percent of total paving surface.</p> <p>b. Sidewalks. Minimum of twenty-five (25%) percent of total ground level paving surface.</p> <p>The type of paver shall be subject to Public Works Department review and approval. Poured concrete color shall be Coral Gables Beige.</p>
----	---	---	---	------------------	---

Requirement Satisfied

The project shall make use of pavers throughout pedestrian areas, in a consistent and clean fashion. The pavers will be made for high traffic use and abide by the city of Coral Gables design criteria. Please see landscaping plans for information.

10.	✓	✓	✓	Pedestrian amenities.	<p>Pedestrian amenities on both private property and/or public open spaces including a minimum of four (4) of the following:</p> <p>a. Benches.</p> <p>b. Expanded sidewalk widths beyond the property line.</p> <p>c. Freestanding information kiosk (no advertising shall be permitted).</p> <p>d. Planter boxes.</p> <p>e. Refuse containers.</p> <p>f. Public art.</p> <p>g. Water features, fountains, and other similar water features. Ground and/or wall mounted.</p> <p>Above amenities shall be consistent in design and form with the City of Coral Gables Master Streetscape Plan.</p>
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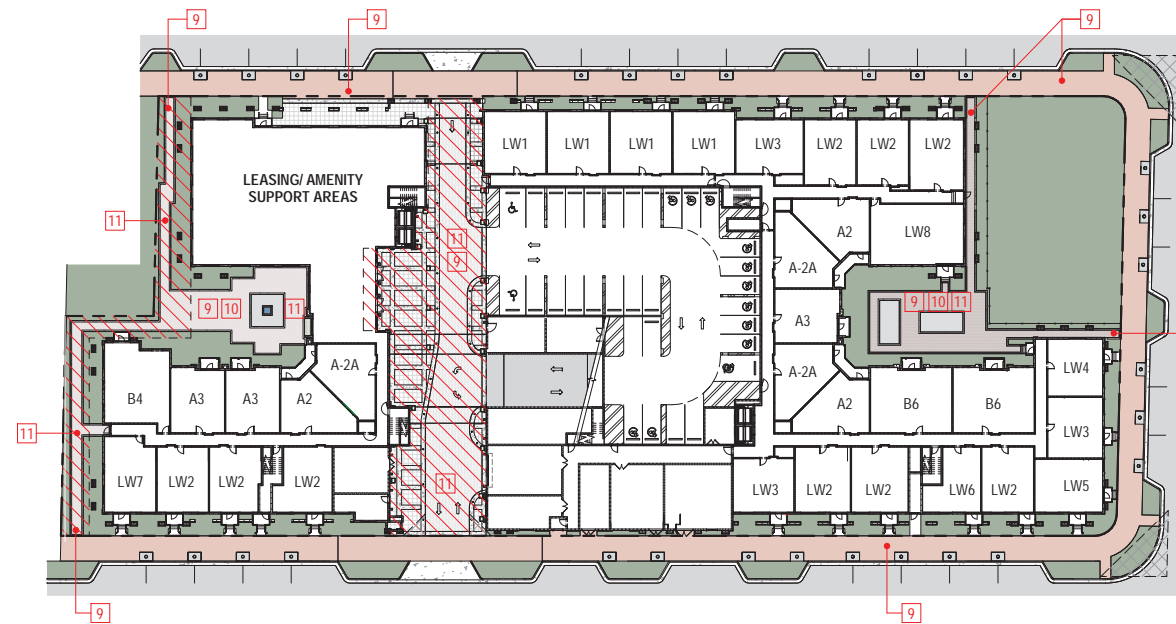
Requirement Satisfied

The project shall make use of public benches, waste receptacles, planter boxes consistent with overall landscaping design, and water features. Please see landscape and adjacent floor plans for layout.

11.	✓	✓	✓	Pedestrian passthroughs/ paseos on properties contiguous to alleys and/or streets.	<p>Pedestrian pass-throughs provided for each two hundred and fifty (250) linear feet or fraction thereof of building frontage provided on properties contiguous to alleys and/or streets or other publicly owned properties. Buildings less than two hundred and fifty (250) feet in size shall provide a minimum of one (1) pass through. The pass-throughs shall be subject to the following:</p> <p>a. Minimum of ten (10) feet in width.</p> <p>b. Include pedestrian amenities as defined herein.</p> <p>In lieu of providing one (1) pass-through of ten (10) feet in width every two hundred and fifty (250) feet of building frontage, two (2) pass-throughs can be combined to provide one (1) twenty (20) foot wide pass-through.</p>
-----	---	---	---	--	--

Requirement Satisfied

The project contemplates paseos and public courtyards complying with City of Coral Gables design criteria.



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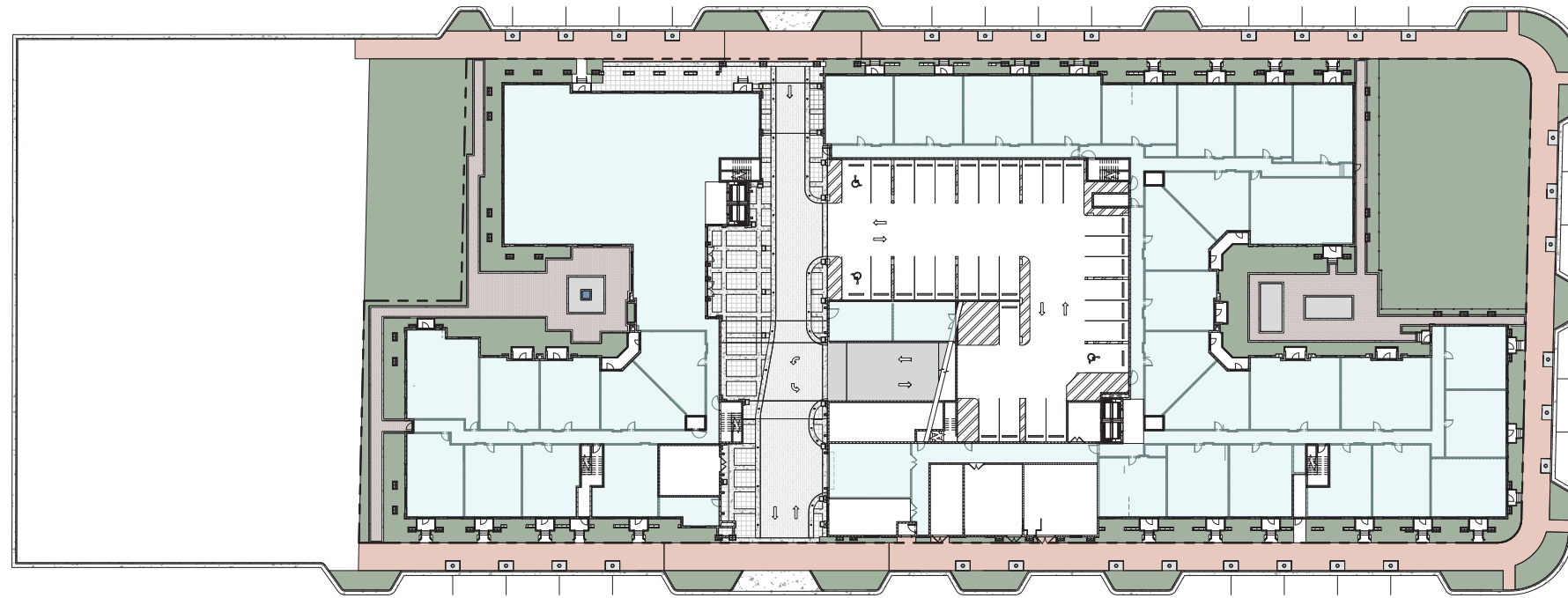
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FAR CALCULATIONS	
GROUND FLOOR	40,092 SF
2nd FLOOR	45,521 SF
3rd FLOOR	45,239 SF
4th FLOOR	45,239 SF
5th FLOOR	44,011 SF
6th FLOOR	44,011 SF
7th FLOOR	47,239 SF
<b>TOTAL</b>	<b>311,352 SF</b>
SITE AREA	91,933 SF (2.11 acres)
MAX FAR ALLOWED	321,766 SF



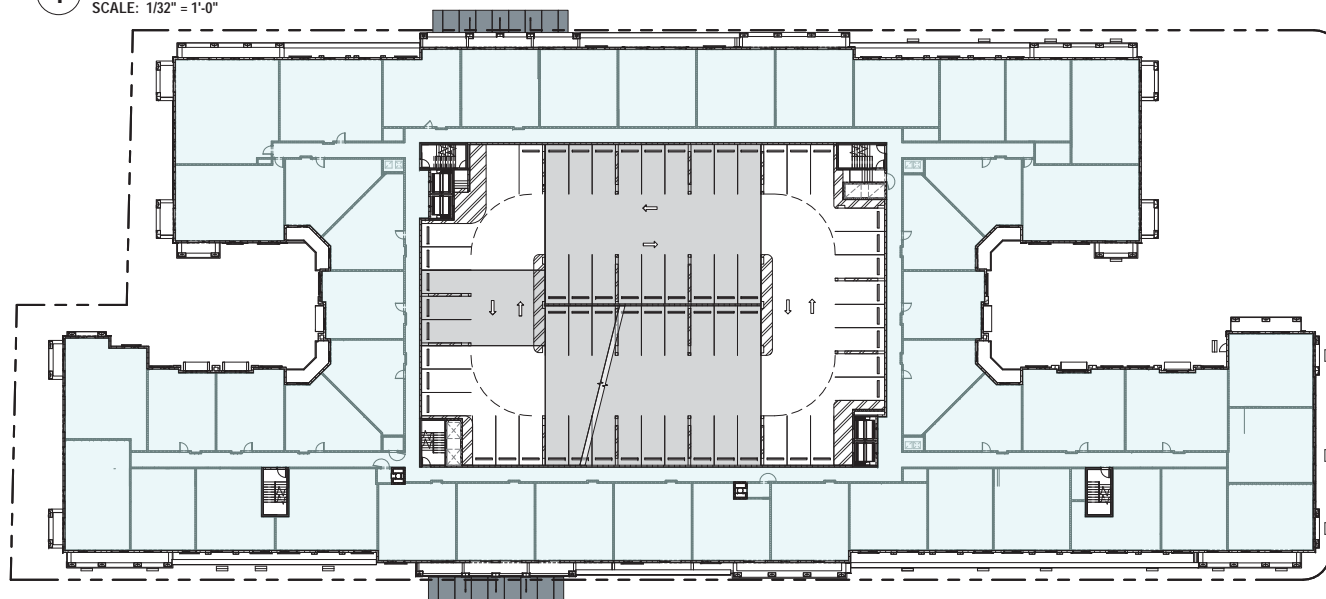
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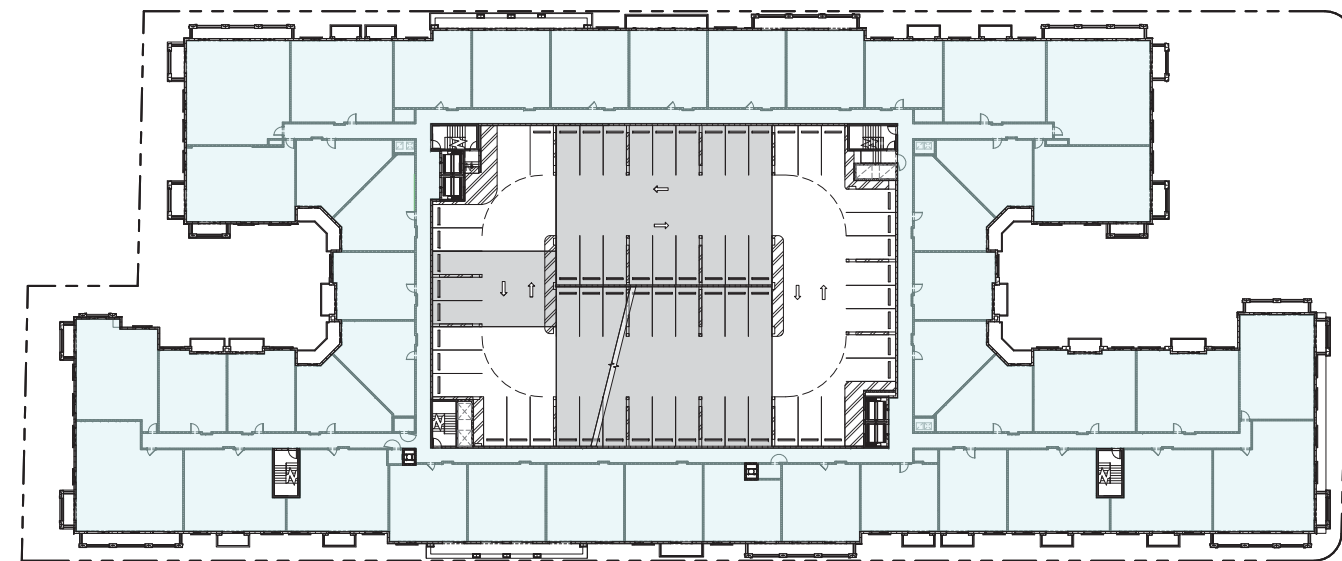
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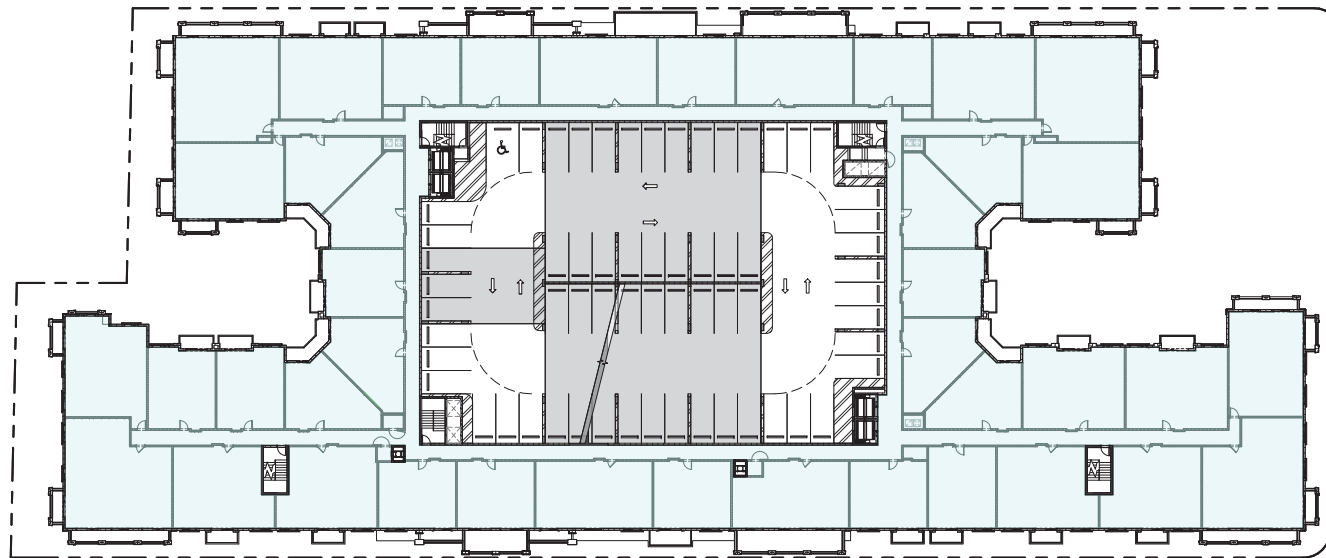
**1** 1st FLOOR PLAN  
SCALE: 1/32" = 1'-0"



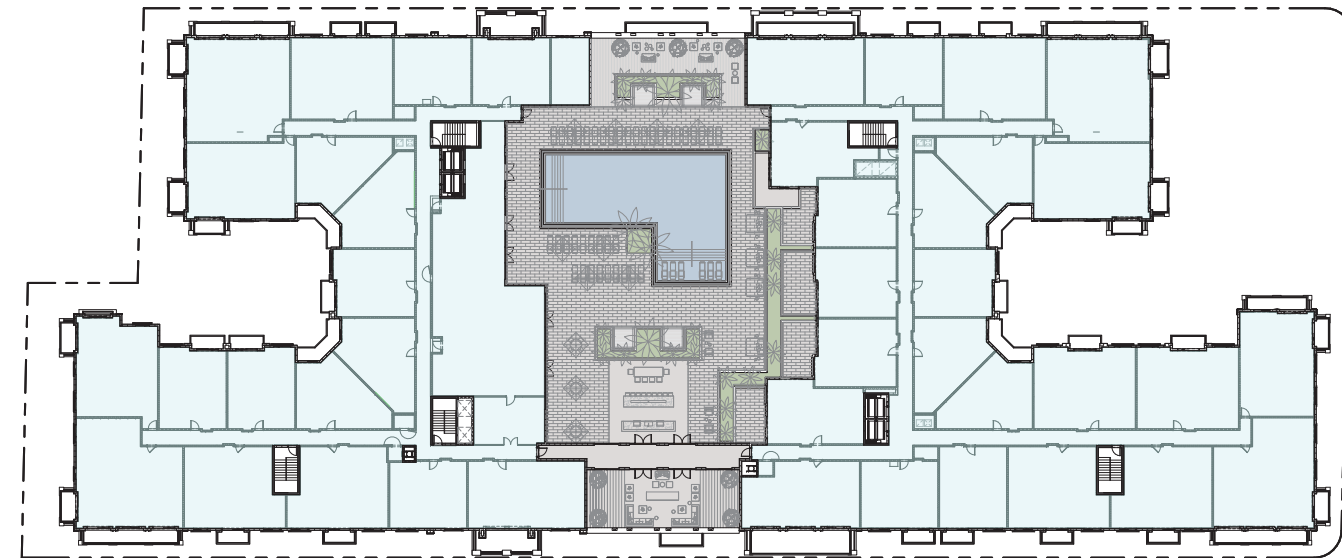
**2** 2nd FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**3** 3rd-4th FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**4** 5th-6th FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**5** 7th LEVEL FLOOR PLAN  
SCALE: 1/32" = 1'-0"

FAR DIAGRAMS

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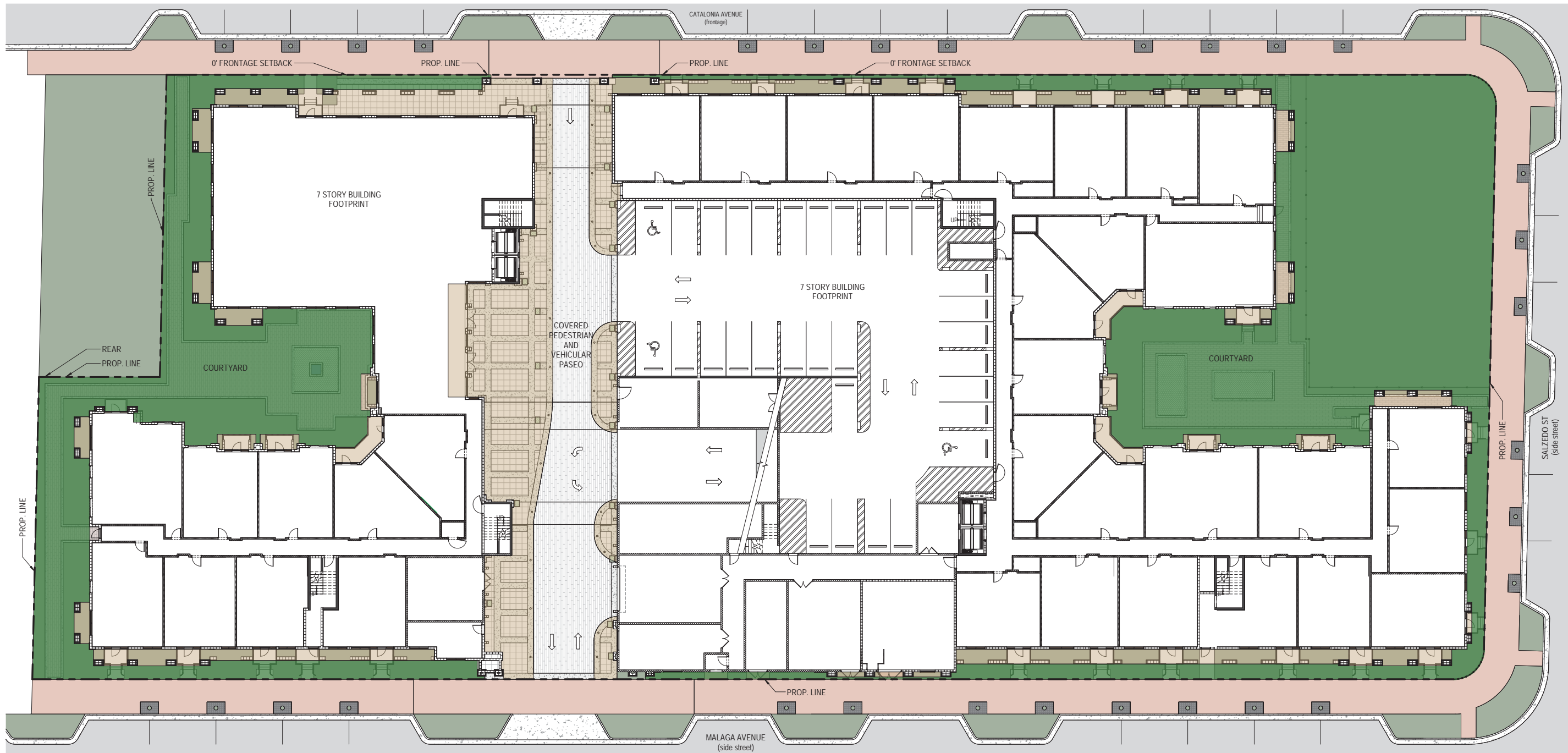
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**OPEN SPACE DIAGRAM**



**OPEN SPACE DIAGRAM**

SCALE: 1/16" = 1'-0"



LEGEND	
	PROPOSED OPEN SPACE (OPEN TO SKY) (INCLUDING COURTYARD)
	PROPOSED COVERED OPEN SPACE AREAS (INCLUDING PEDESTRIAN PASEO)
	PROPOSED BUILDING FOOTPRINT FOR REFERENCE

OPEN SPACE CALCULATION	MIN. REQUIRED	
LAND AREA (91,933 SF) X 20%	18,386 SF	
<b>TOTAL MINIMUM OPEN SPACE REQUIRED</b>	<b>18,386 SF (20%)</b>	
	PROVIDED	
OPEN TO SKY (INCLUDING COURTYARD)	19,453 SF	21.1%
COVERED OPEN SPACE (INCLUDING ARCADES/DRIVE AISLE)	8,777 SF x 0.75 = 6,583 SF	7.16%
<b>TOTAL OPEN SPACE PROVIDED</b>	<b>26,036 SF</b>	<b>28.32%</b>

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**MASSING (PUBLIC BENEFIT EXHIBIT)**

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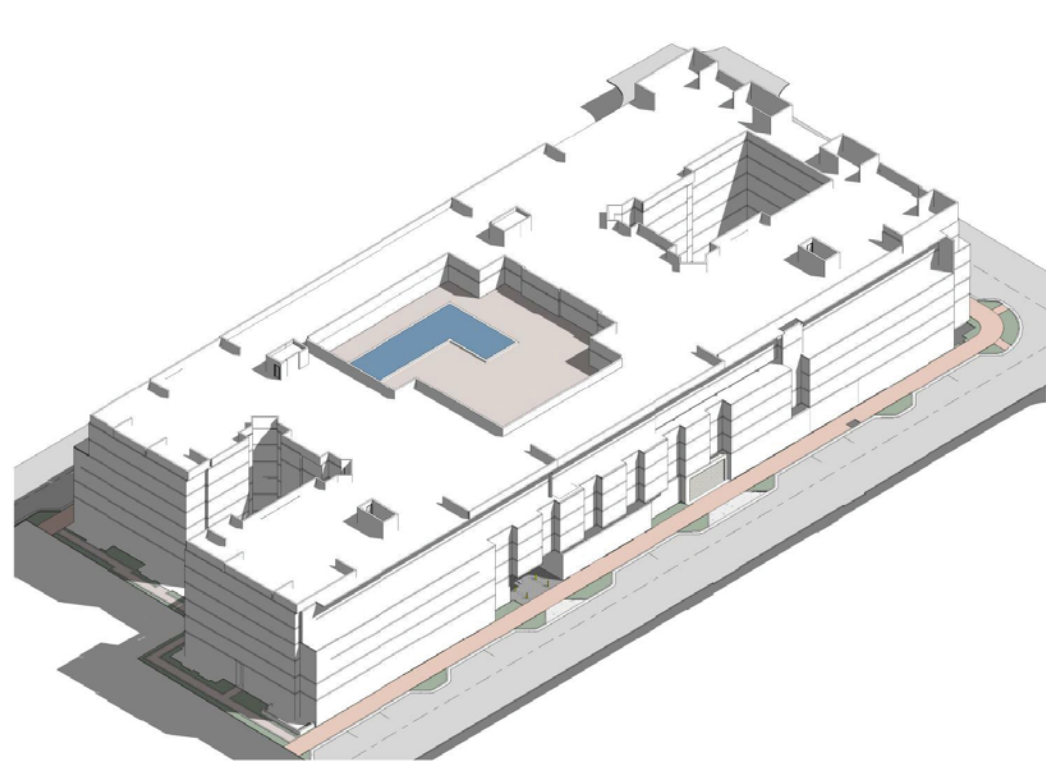


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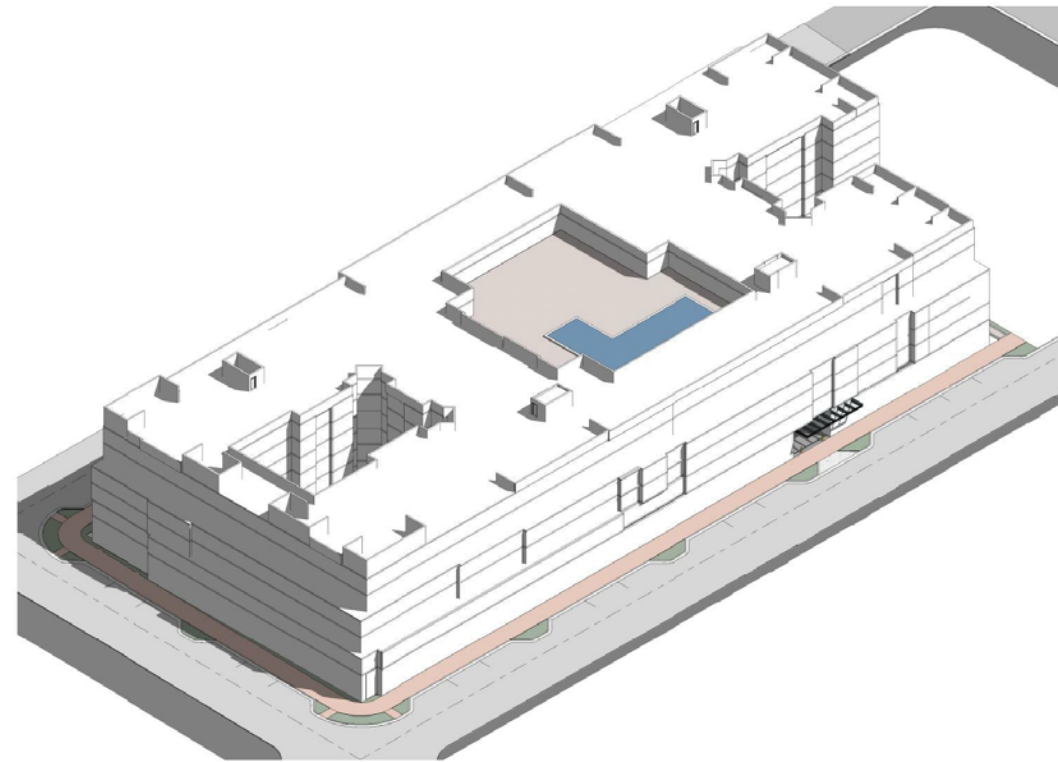
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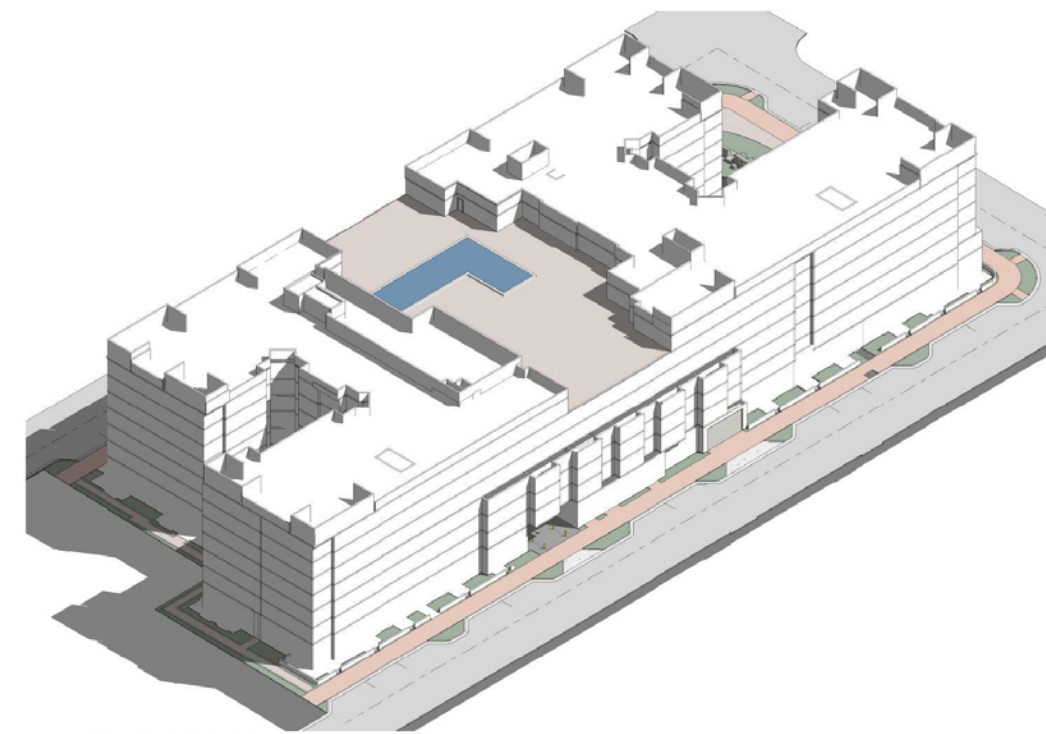
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SCALE:



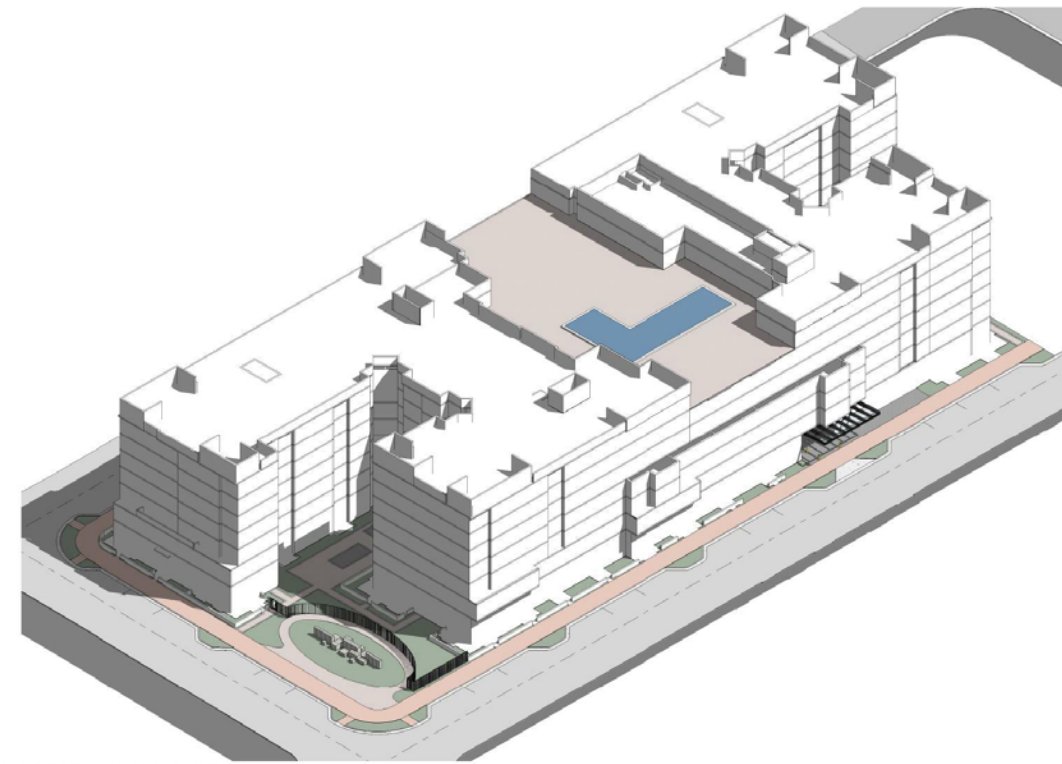
**NE VIEW (6 STORY)**

SCALE:



**SW VIEW (7STORY)**

SCALE:



**NE VIEW (7 STORY)**

SCALE:





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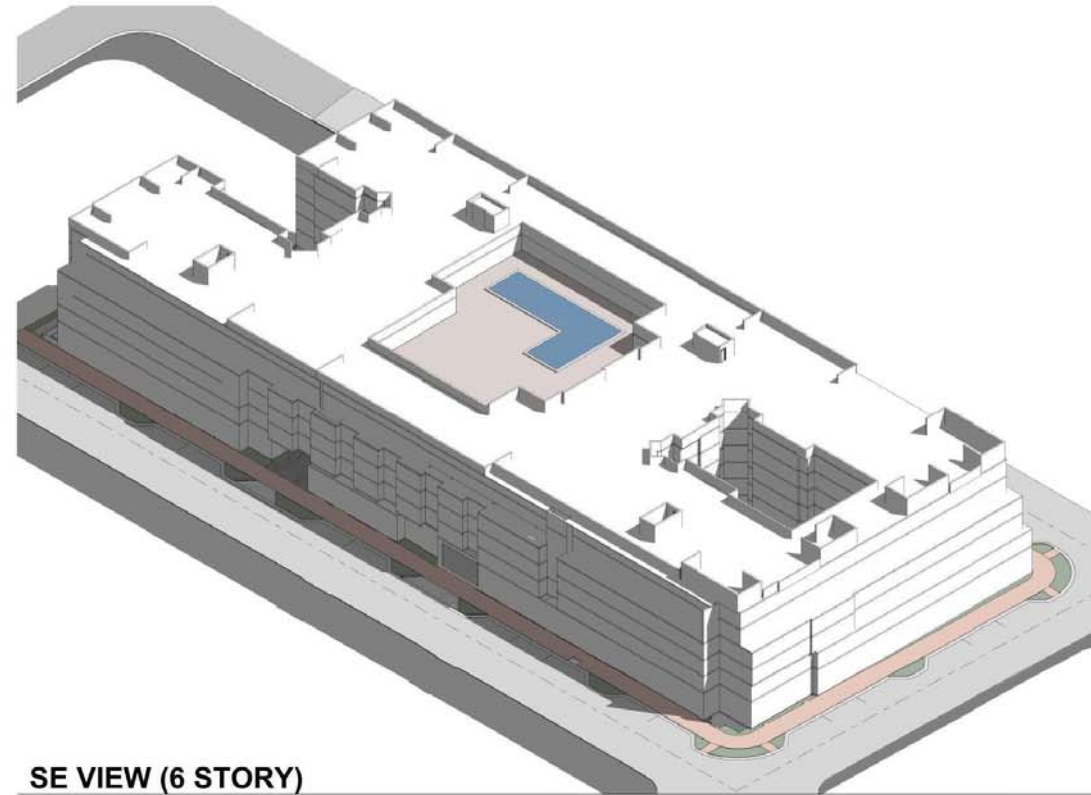


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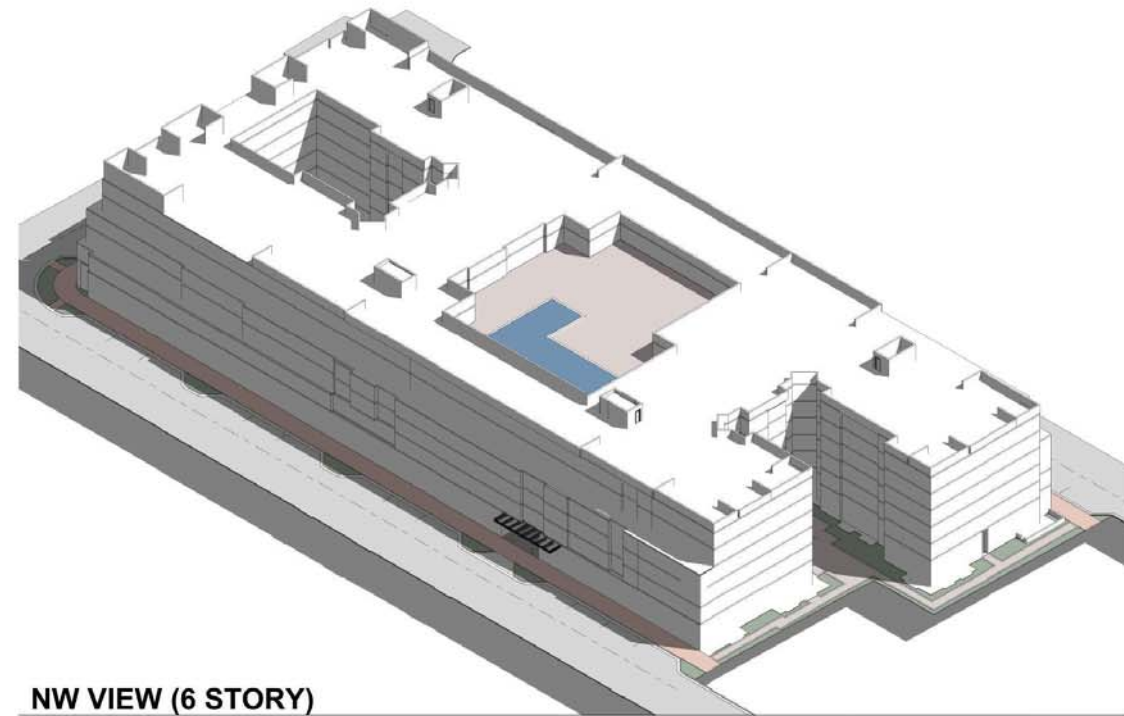
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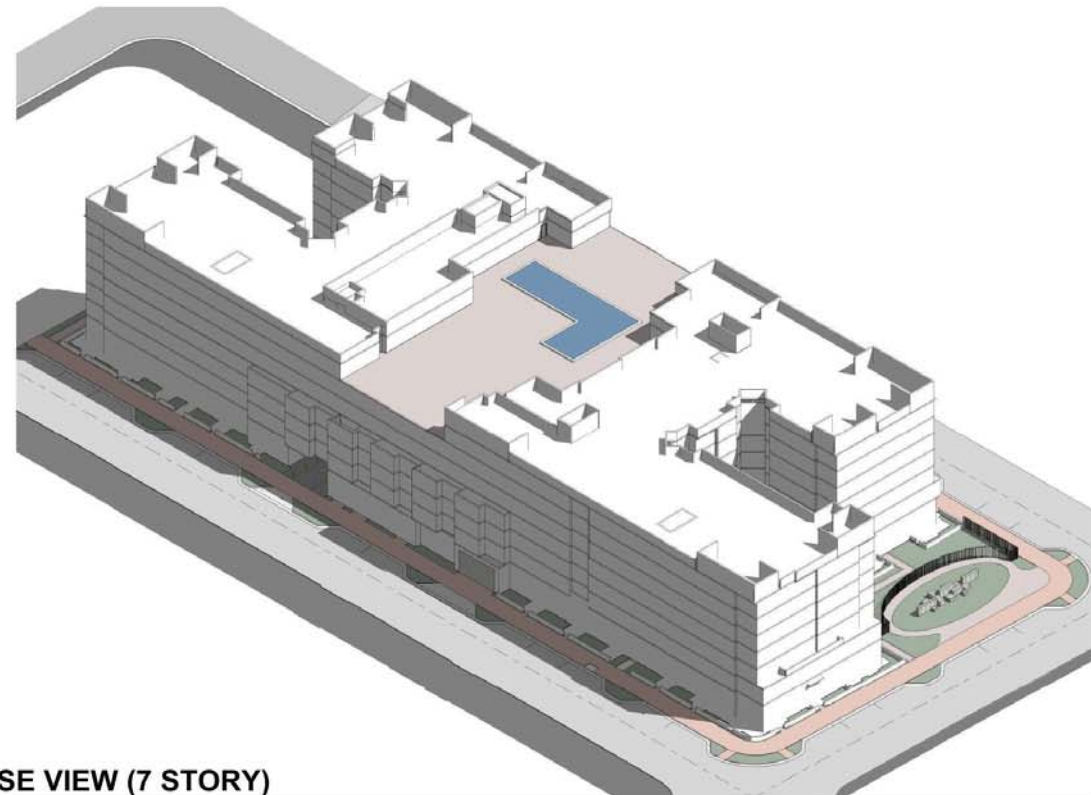
**SE VIEW (6 STORY)**

SCALE:



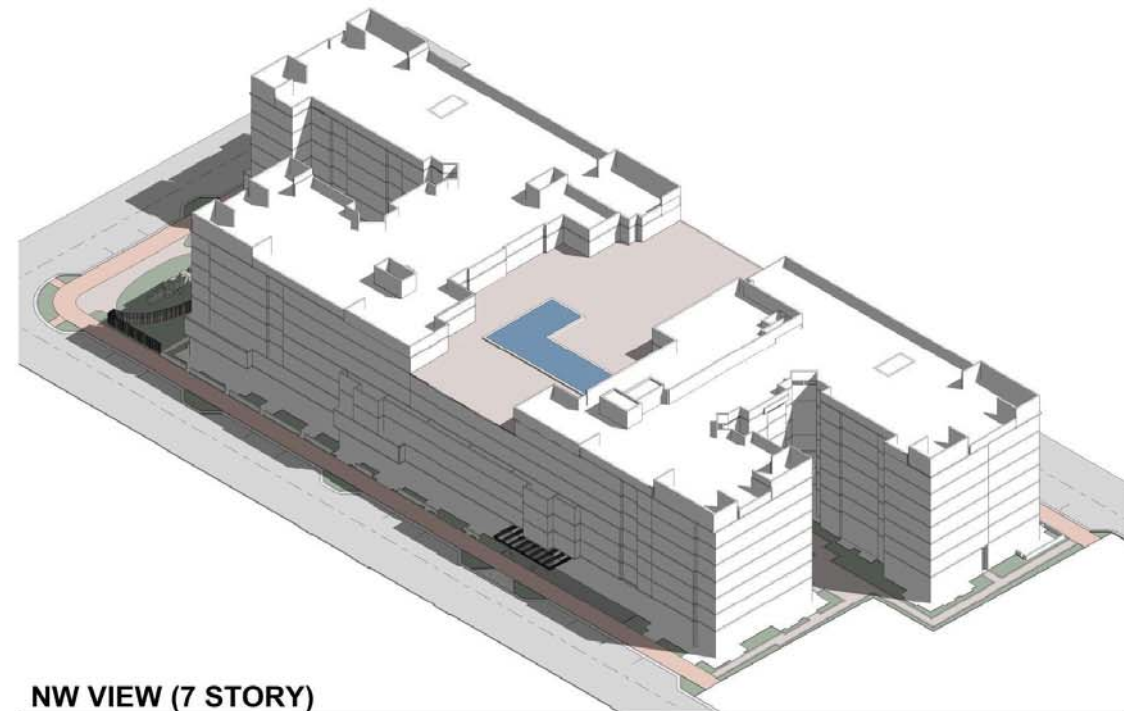
**NW VIEW (6 STORY)**

SCALE:



**SE VIEW (7 STORY)**

SCALE:



**NW VIEW (7 STORY)**

SCALE:





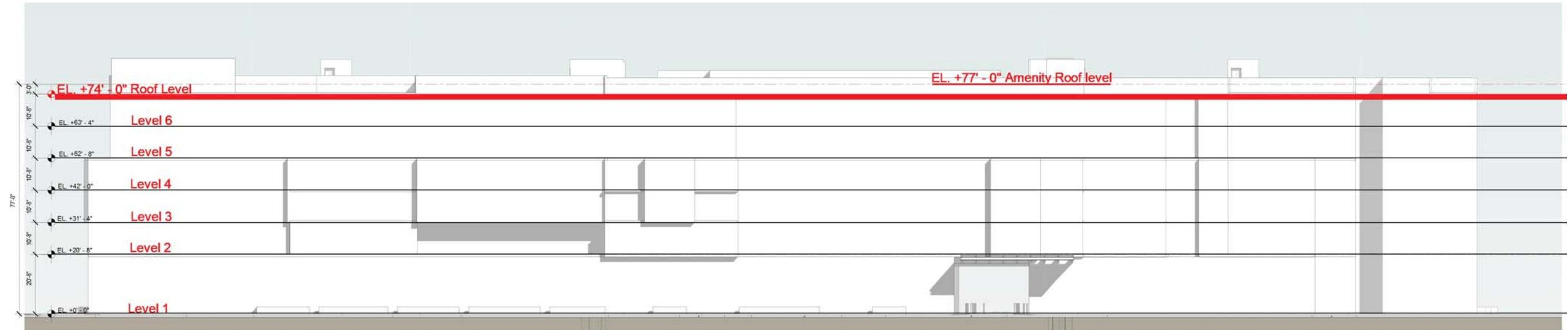
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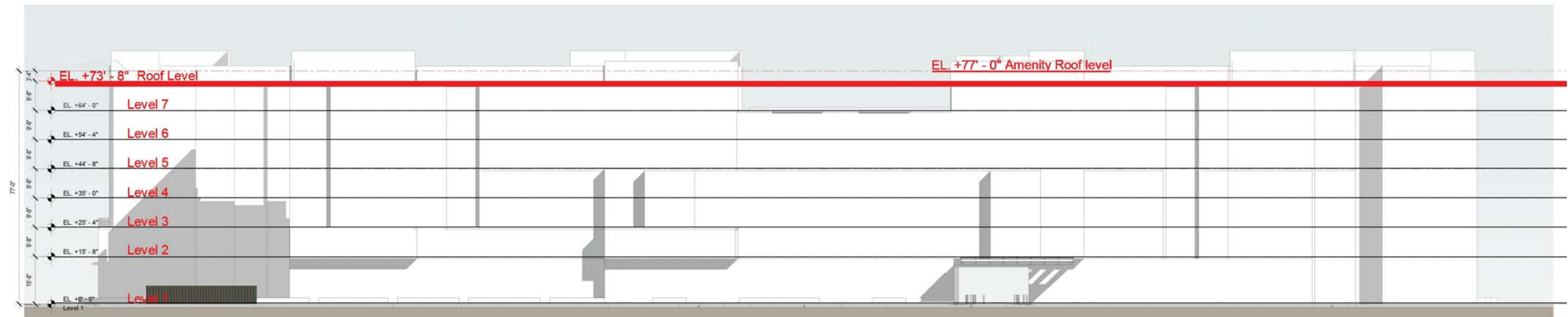
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ELEVATION (PUBLIC BENEFIT EXHIBIT)



**North - FRONTAGE 6 STORY**

SCALE: 1/16" = 1'-0"



**North - FRONTAGE 7 STORY**

SCALE: 1/16" = 1'-0"

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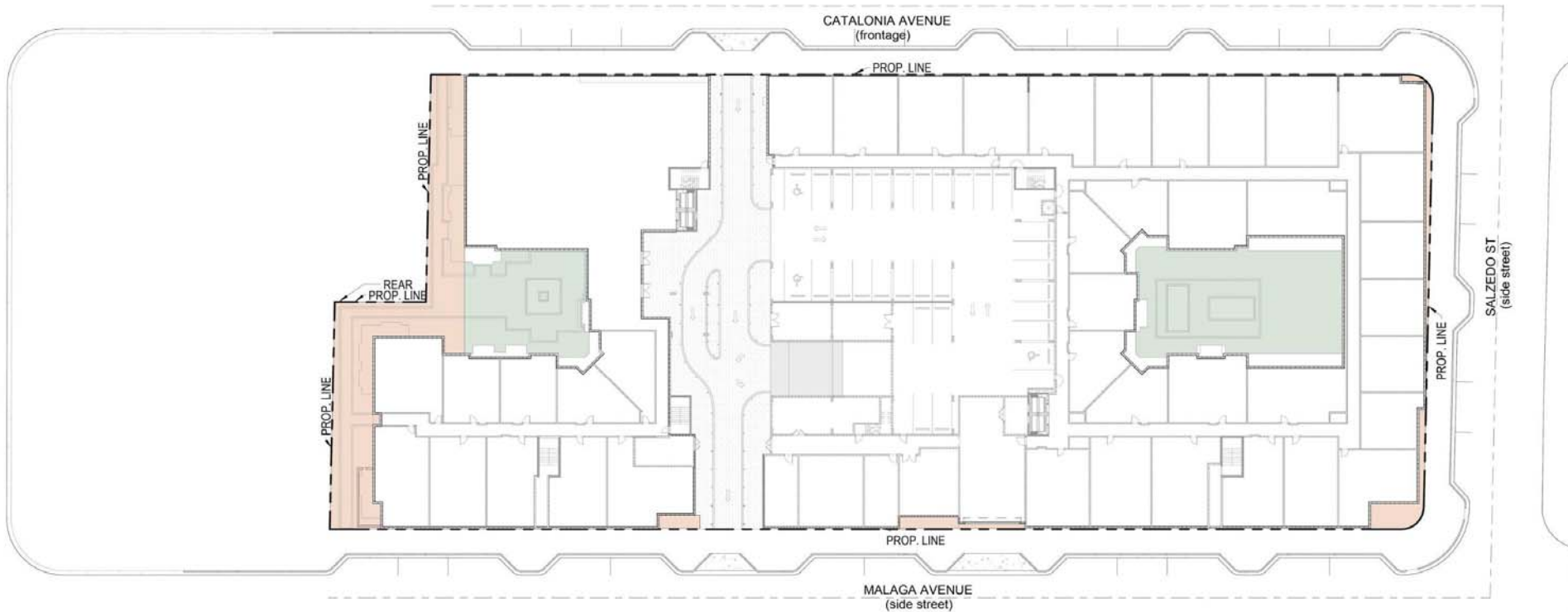
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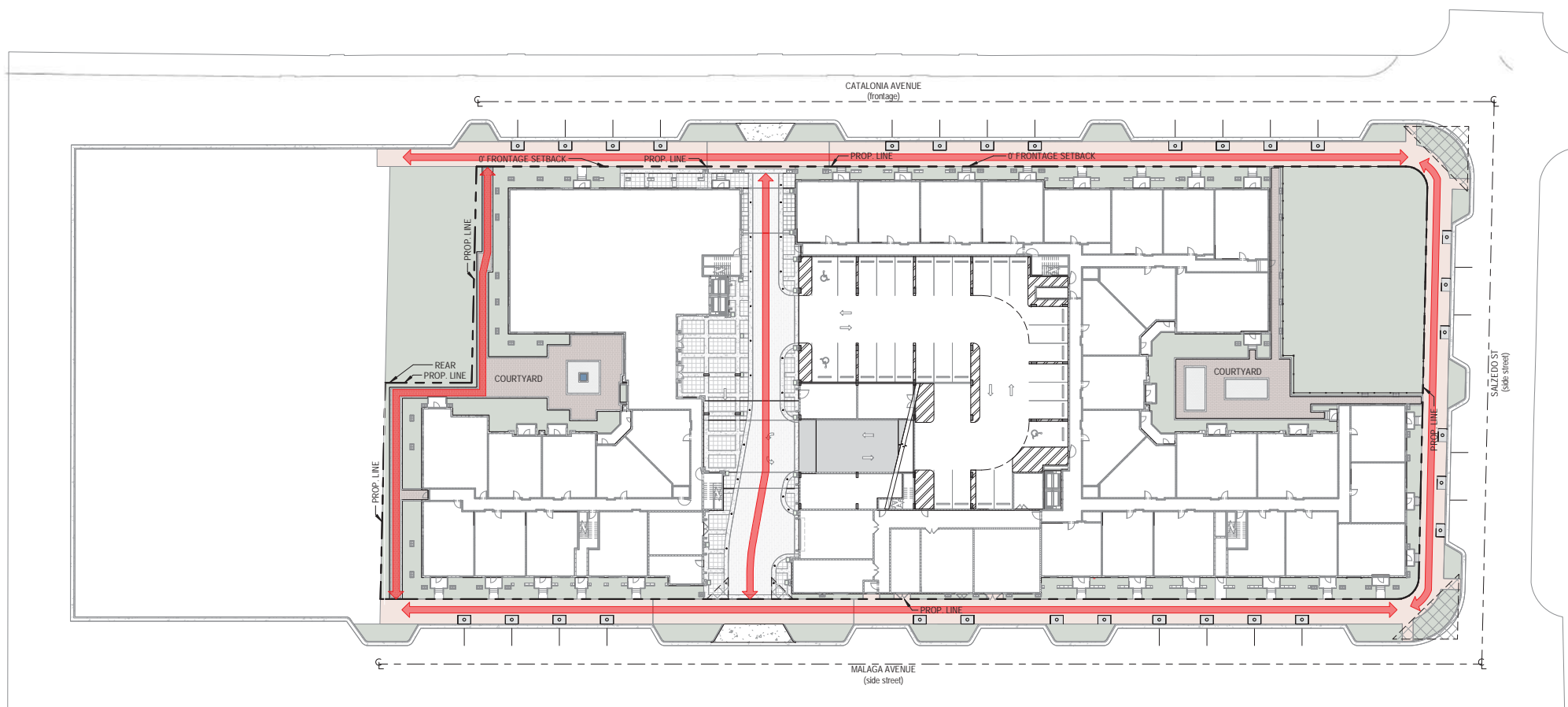
**PEDESTRIAN REALM (PUBLIC  
 BENEFIT EXHIBIT)**



**LEGEND (6 ST)**

- PEDESTRIAN REALM
- PRIVATE GREEN SPACE

**PEDESTRIAN REALM (6 STORY)**  
 SCALE: 1/32" = 1'-0"



**LEGEND (7 ST)**

- PEDESTRIAN REALM
- PRIVATE GREEN SPACE
- PEDESTRIAN FLOW

**PEDESTRIAN REALM (7 STORY)**  
 SCALE: 1/32" = 1'-0"

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SHEET NUMBER:

**A-1.09**









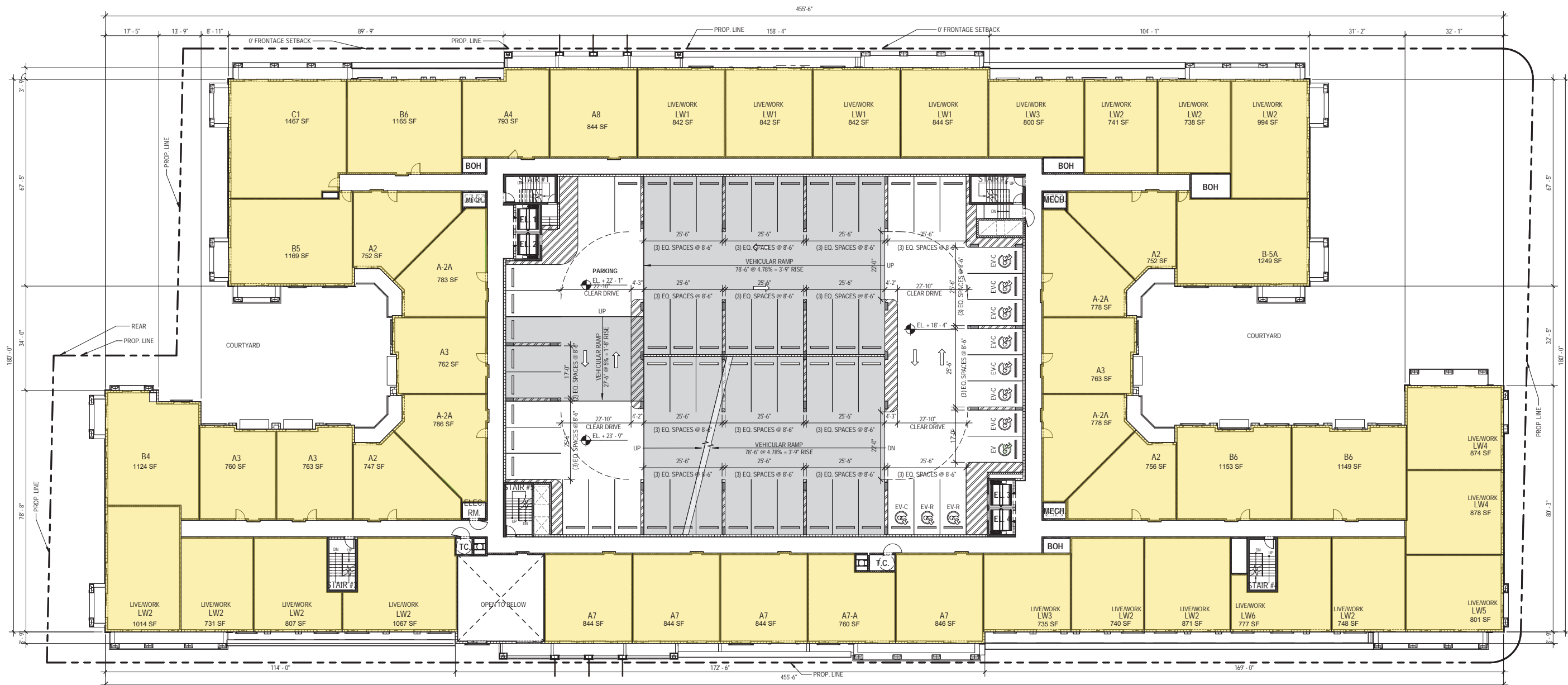
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



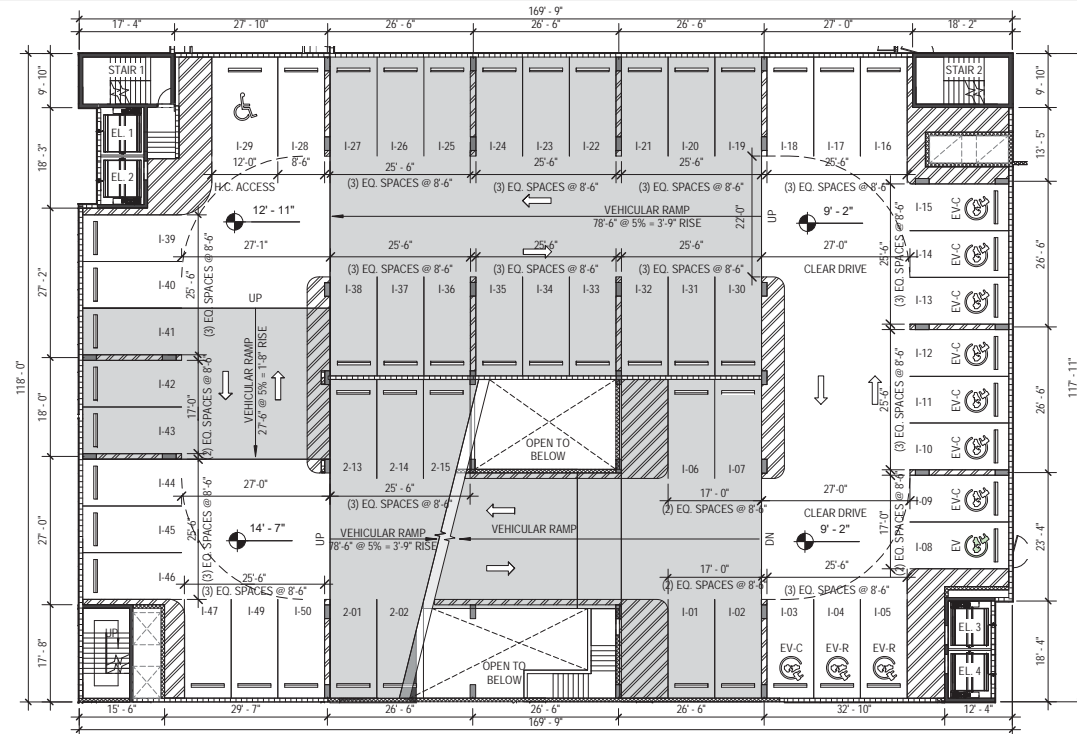
OWNER:  
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Boca Raton, FL 33487

**2ND LEVEL FLOOR PLAN**



**2nd FLOOR PLAN**

SCALE: 1/16" = 1'-0"



**INTERMEDIATE LEVEL PARKING FLOOR PLAN**

SCALE: 1/16" = 1'-0"

ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

PHASE:

**BOA SUBMITTAL**



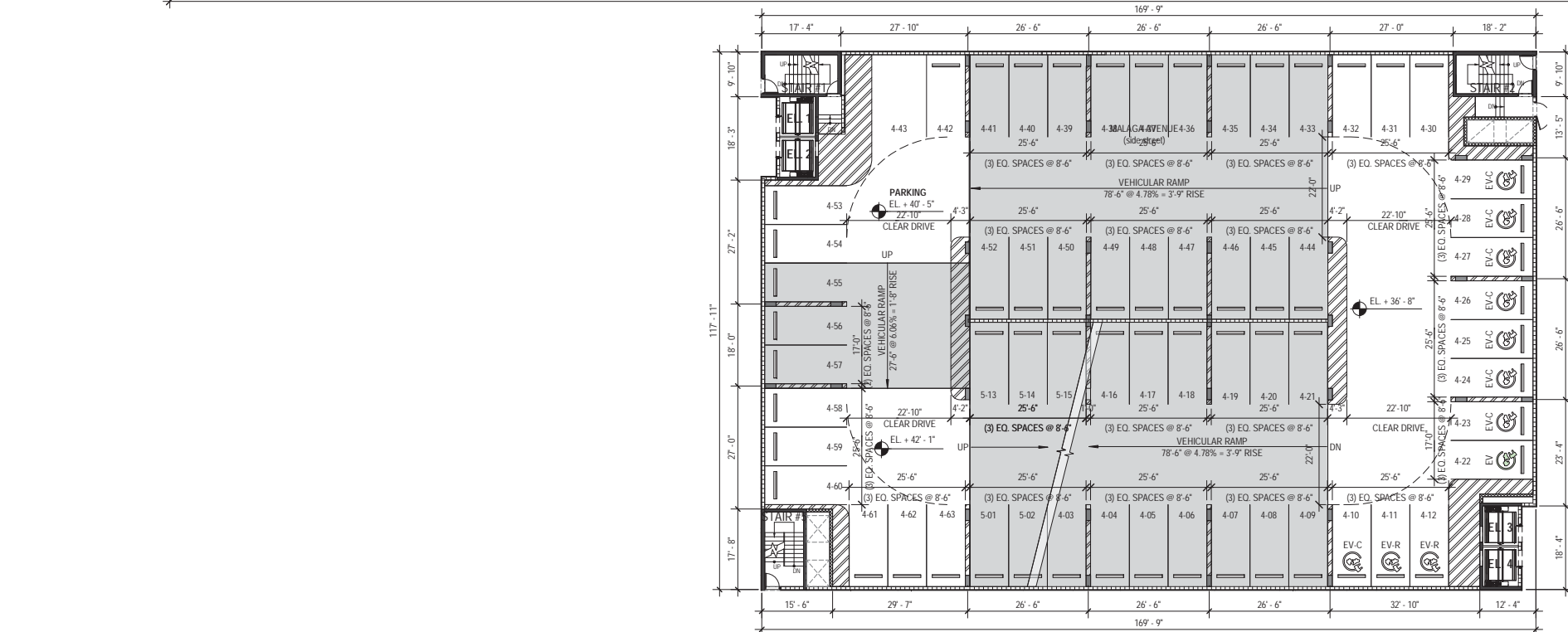
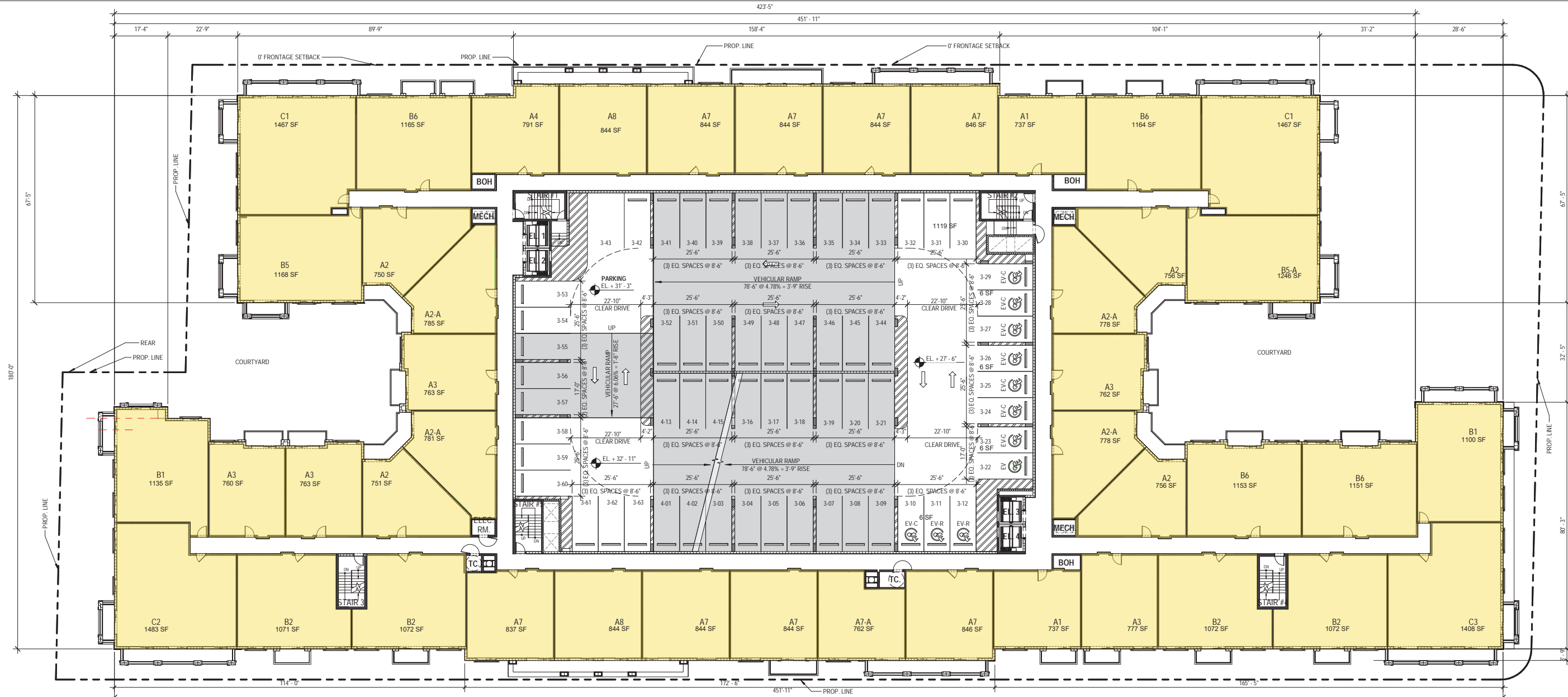
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PRINTED: 11/24/2021

SHEET NUMBER:

**A-2.01**





ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

**3rd-4th FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**4th LEVEL PARKING**  
SCALE: 1/16" = 1'-0"



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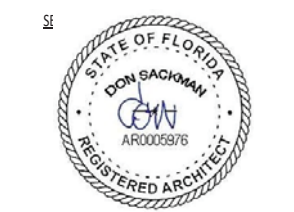


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**TYP. 3RD-4TH LEVEL FLOOR PLAN**

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**A-2.02**





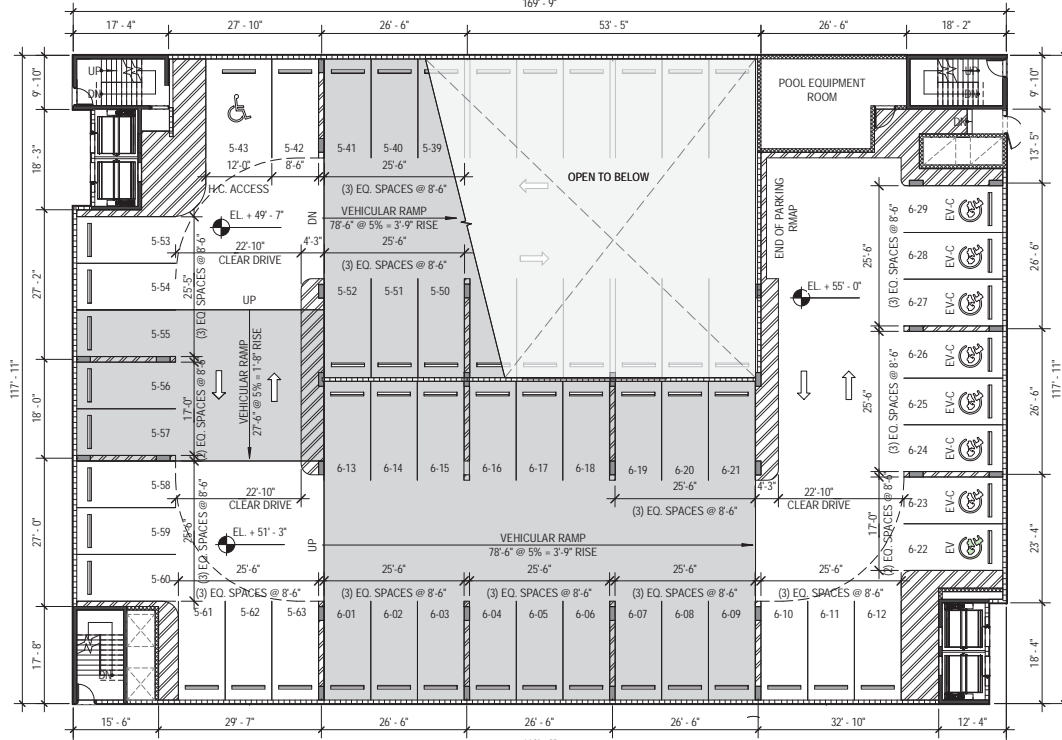
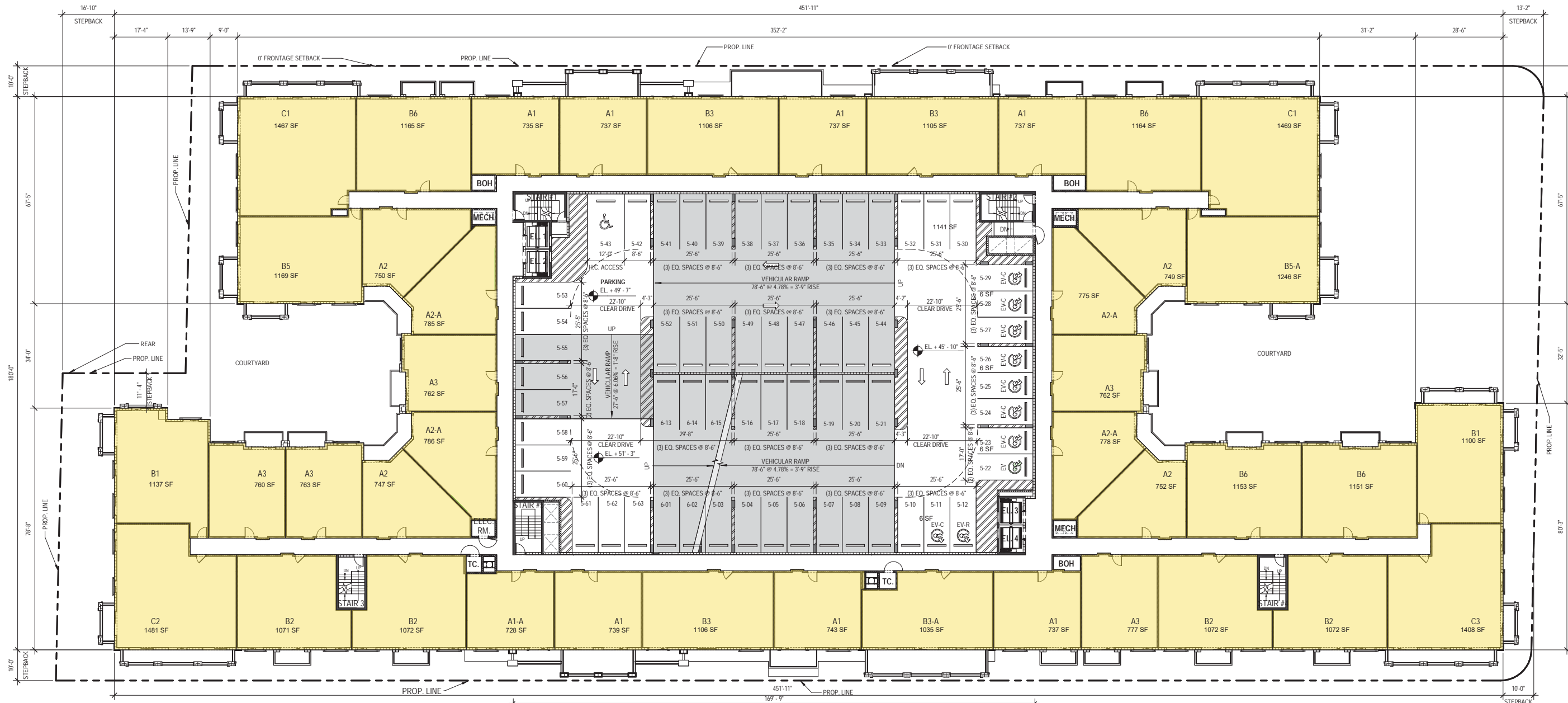
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PROJECT:  
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CORAL GABLES, FLORIDA 33146



OWNER:  
**TCR**  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

TYP. 5TH-6TH LEVEL FLOOR PLAN



**5th-6th FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**6TH LEVEL PARKING**  
SCALE: 1/16" = 1'-0"

ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

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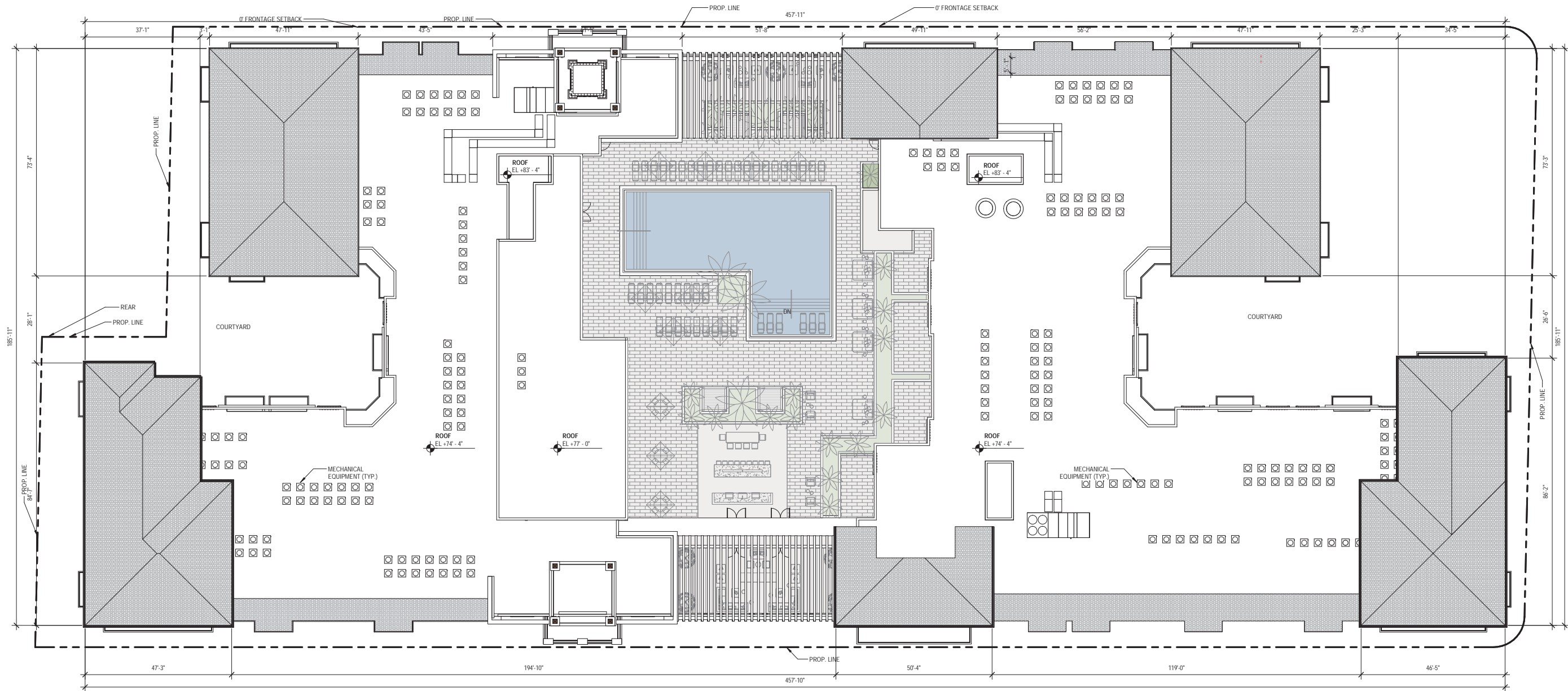


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**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
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**ROOF PLAN**

**Roof Level**

SCALE: 1/16" = 1'-0"



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**A-2.05**





**PARTIAL SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**PARTIAL SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**OVERALL SOUTH ELEVATION**

SCALE: 1" = 20'-0"

**ELEVATION LEGEND**

1. PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2. PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3. PAINTED ALUMINUM DECORATIVE GRILL
4. DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5. PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6. ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/DOOR, MIN. 4" RECESS
7. PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8. LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9. PRECAST KEY STONE WITH LIMESTONE FINISH
10. PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11. CONCRETE BALCONY SLAB
12. PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13. ROOF LEVEL OVERHANG SOFFIT
14. DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15. ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16. PARKING GARAGE ENTRANCE
17. IMPACT RESISTANT METAL DOOR
18. STAIR/ ELEVATOR BULKHEAD
19. EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20. RESIDENTIAL UNIT ENTRY STOOP
21. STANDING SEAM COPPER CUPOLA
22. DECORATIVE TRELIS SYSTEM
23. 3/4" REVEAL (TYP.)
24. PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25. PRECAST CONCRETE BRACKET, SMOOTH FINISH
26. 8" RECESSED C.M.U. WALL ARCHES
27. SPANISH "S" TILE ROOF
28. 4' ROOF EAVE OVERHANG
29. PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30. MECHANICAL LOUVERS



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**

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330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**



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Boca Raton, FL 33487

**SOUTH ELEVATION**

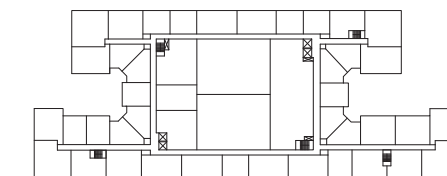
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**KEY PLAN**  
N.T.S.

SHEET NUMBER:

**A-3.00**





PAINTED ALUMINUM DECORATIVE GRILL



EXTERIOR LIGHTING FEATURE



ALUMINUM TRELLIS



SPANISH "S" TILE ROOF



DECORATIVE ALUMINUM OUTLOOKERS



OVERALL SOUTH ELEVATION  
SCALE: 1" = 20'-0"

ALUMINUM RAILING



LIGHT TEXTURE/SMOOTH PAINTED STUCCO FINISH



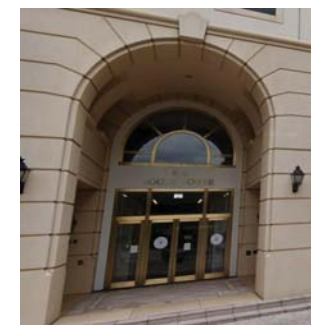
ALUMINUM/GLASS CANOPY



ALUMINUM STOREFRONT



PRECAST LIMESTONE VENEER



PRECAST LIMESTONE CORNICE



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OWNER:  
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TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
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SOUTH ELEVATION MATERIALS

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**PARTIAL NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**PARTIAL NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**NORTH ELEVATION**

**ELEVATION LEGEND**

1. PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2. PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3. PAINTED ALUMINUM DECORATIVE GRILL
4. DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5. PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6. ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/DOOR, MIN. 4" RECESS
7. PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8. LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9. PRECAST KEY STONE WITH LIMESTONE FINISH
10. PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11. CONCRETE BALCONY SLAB
12. PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13. ROOF LEVEL OVERHANG SOFFIT
14. DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15. ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16. PARKING GARAGE ENTRANCE
17. IMPACT RESISTANT METAL DOOR
18. STAIR/ ELEVATOR BULKHEAD
19. EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20. RESIDENTIAL UNIT ENTRY STOOP
21. STANDING SEAM COPPER CUPOLA
22. DECORATIVE TRELIS SYSTEM
23. 3/4" REVEAL (TYP.)
24. PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25. PRECAST CONCRETE BRACKET, SMOOTH FINISH
26. 8" RECESSED C.M.U. WALL ARCHES
27. SPANISH "S" TILE ROOF
28. 4' ROOF EAVE OVERHANG
29. PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30. MECHANICAL LOUVERS



**CORWIL ARCHITECTS**  
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LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



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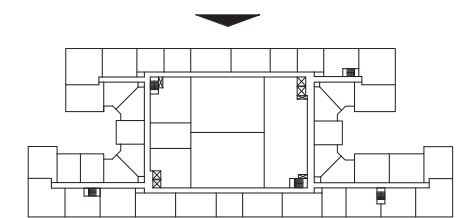


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**KEY PLAN**  
N.T.S.





PAINTED ALUMINUM DECORATIVE GRILL



SPANISH "S" TILE ROOF



ALUMINUM TRELLIS



EXTERIOR LIGHTING FEATURE



DECORATIVE ALUMINUM OUTLOOKERS



OVERALL NORTH ELEVATION

SCALE: 1" = 20'-0"

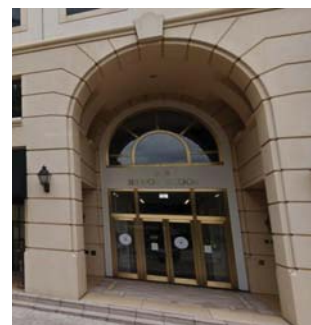
ALUMINUM RAILING



LIGHT TEXTURE/SMOOTH PAINTED STUCCO FINISH



PRECAST LIMESTONE VENEER



ALUMINUM STOREFRONT



ALUMINUM/GLASS CANOPY



PRECAST LIMESTONE CORNICE



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NORTH ELEVATION MATERIALS

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**EAST & WEST ELEVATIONS**



**WEST ELEVATION**

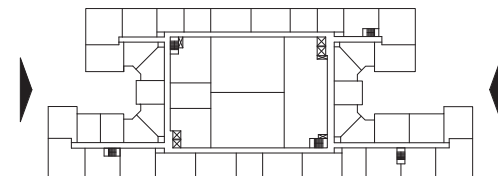
SCALE: 1/16" = 1'-0"



**EAST ELEVATION**

SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1.	PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2.	PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3.	PAINTED ALUMINUM DECORATIVE GRILL
4.	DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5.	PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6.	ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/ DOOR, MIN. 4" RECESS
7.	PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8.	LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9.	PRECAST KEY STONE WITH LIMESTONE FINISH
10.	PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11.	CONCRETE BALCONY SLAB
12.	PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13.	ROOF LEVEL OVERHANG SOFFIT
14.	DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15.	ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16.	PARKING GARAGE ENTRANCE
17.	IMPACT RESISTANT METAL DOOR
18.	STAIR/ ELEVATOR BULKHEAD
19.	EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20.	RESIDENTIAL UNIT ENTRY STOOP
21.	STANDING SEAM COPPER CUPOLA
22.	DECORATIVE TRELIS SYSTEM
23.	3/4" REVEAL (TYP.)
24.	PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25.	PRECAST CONCRETE BRACKET, SMOOTH FINISH
26.	8" RECESSED C.M.U. WALL ARCHES
27.	SPANISH "S" TILE ROOF
28.	4' ROOF EAVE OVERHANG
29.	PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30.	MECHANICAL LOUVERS



**KEY PLAN**  
 N.T.S.

PHASE:

**BOA SUBMITTAL**



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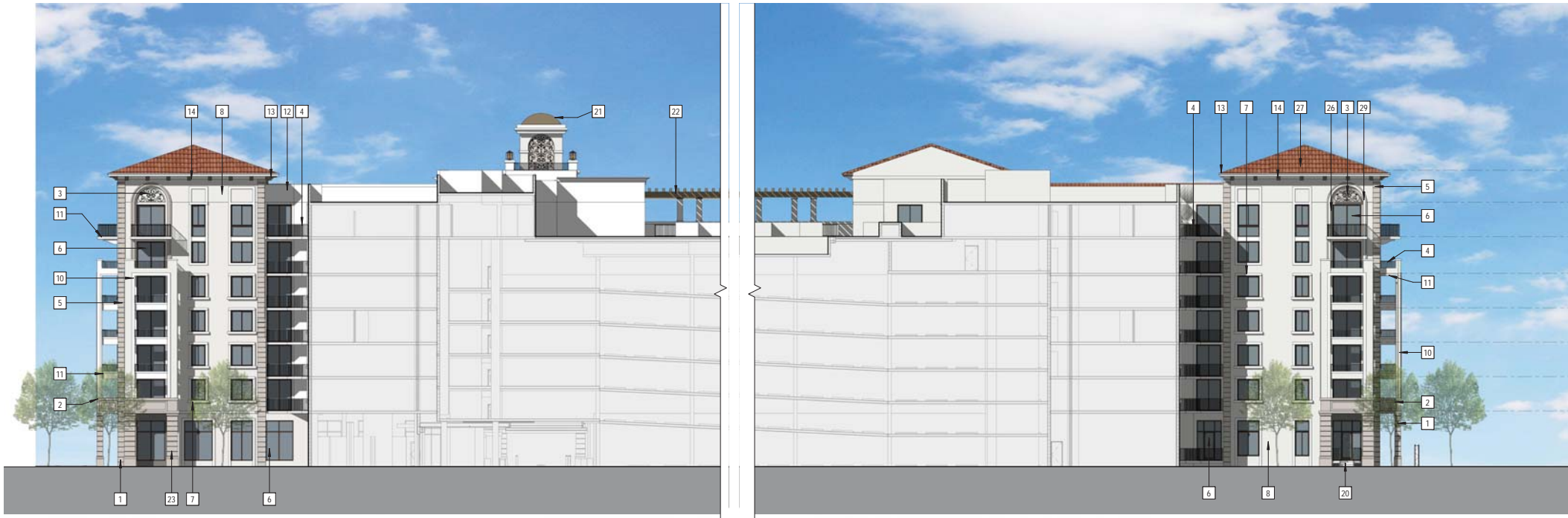
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COURTYARD ELEVATIONS

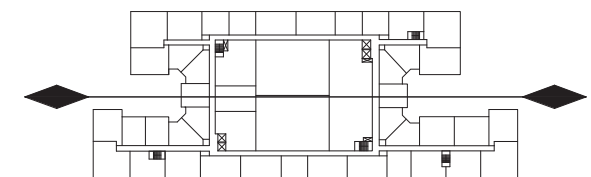


**SOUTH COURTYARD ELEVATION**  
SCALE: 1/16" = 1'-0"



**NORTH COURTYARD ELEVATION**  
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1.	PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2.	PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3.	PAINTED ALUMINUM DECORATIVE GRILL
4.	DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
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6.	ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/ DOOR, MIN. 4" RECESS
7.	PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8.	LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9.	PRECAST KEY STONE WITH LIMESTONE FINISH
10.	PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11.	CONCRETE BALCONY SLAB
12.	PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13.	ROOF LEVEL OVERHANG SOFFIT
14.	DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15.	ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16.	PARKING GARAGE ENTRANCE
17.	IMPACT RESISTANT METAL DOOR
18.	STAIR/ ELEVATOR BULKHEAD
19.	EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20.	RESIDENTIAL UNIT ENTRY STOOP
21.	STANDING SEAM COPPER CUPOLA
22.	DECORATIVE TRELLIS SYSTEM
23.	3/4" REVEAL (TYP.)
24.	PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25.	PRECAST CONCRETE BRACKET, SMOOTH FINISH
26.	8" RECESSED C.M.U. WALL ARCHES
27.	SPANISH "S" TILE ROOF
28.	4' ROOF EAVE OVERHANG
29.	PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30.	MECHANICAL LOUVERS



**KEY PLAN**  
N.T.S.

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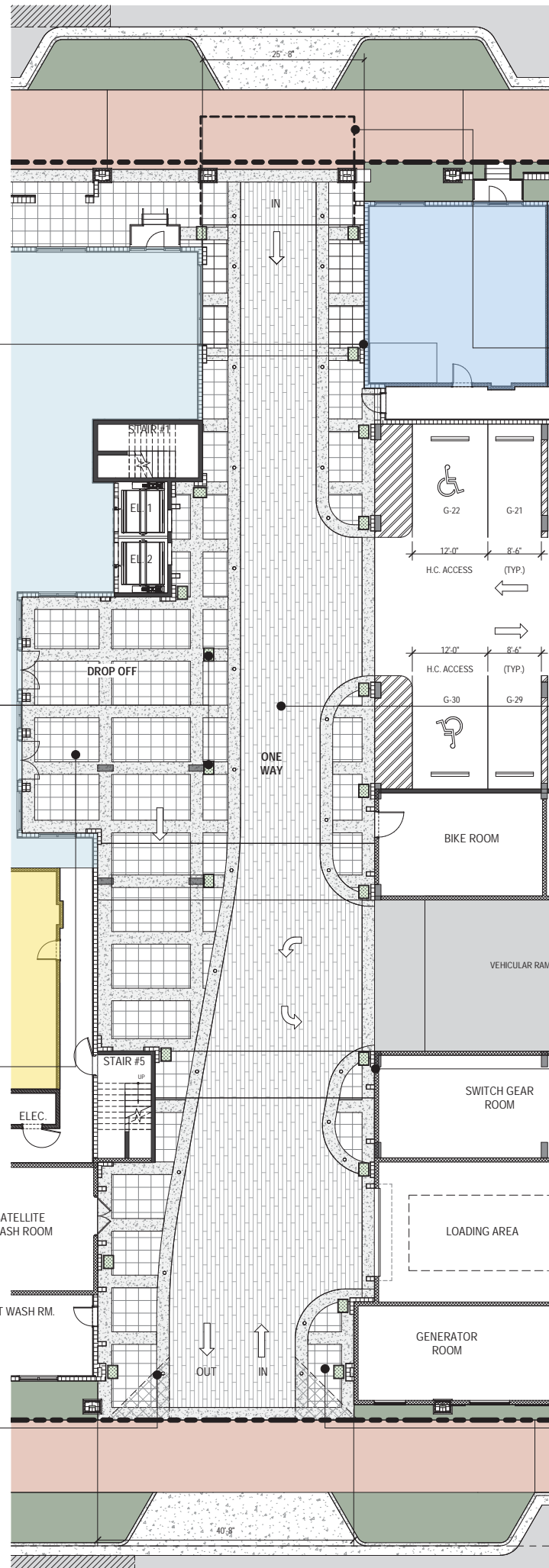
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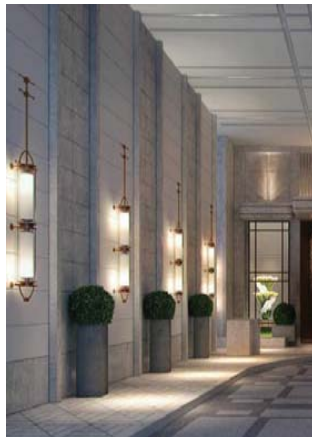




SIGN WALL



ENTRY CANOPY



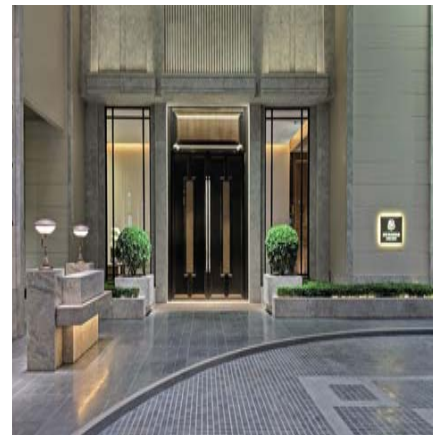
PRE-CAST PLANTERS



VERTICAL LANDSCAPE



DRIVE PAVER PATTERNS



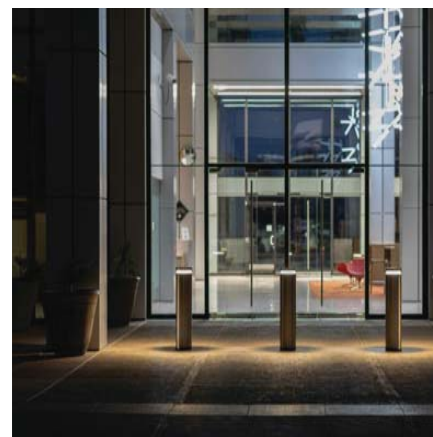
ENTRY FEATURES



WALL CLADDINGS



VEHICULAR BOLLARDS



CEILING TYPES



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**DRIVEWAY FLOOR PLAN &  
REFERENCE IMAGES**

PHASE:

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**A-3.04**

**DRIVEWAY FLOOR PLAN**

SCALE: 3/32" = 1'-0"





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ENLARGED PARTIAL ELEVATIONS  
AND DETAILS

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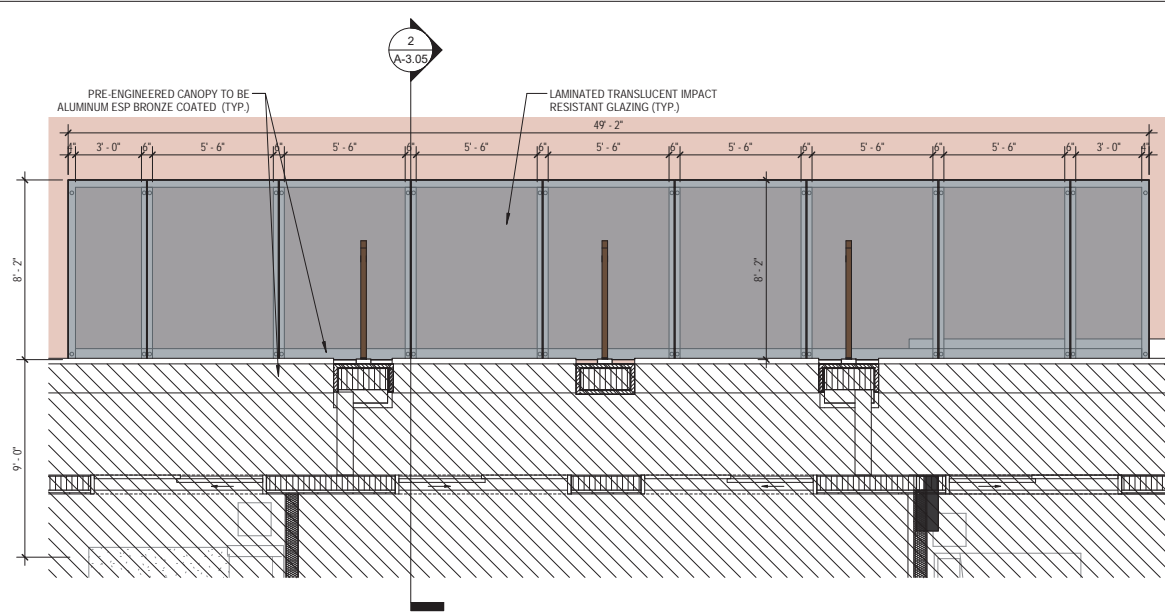


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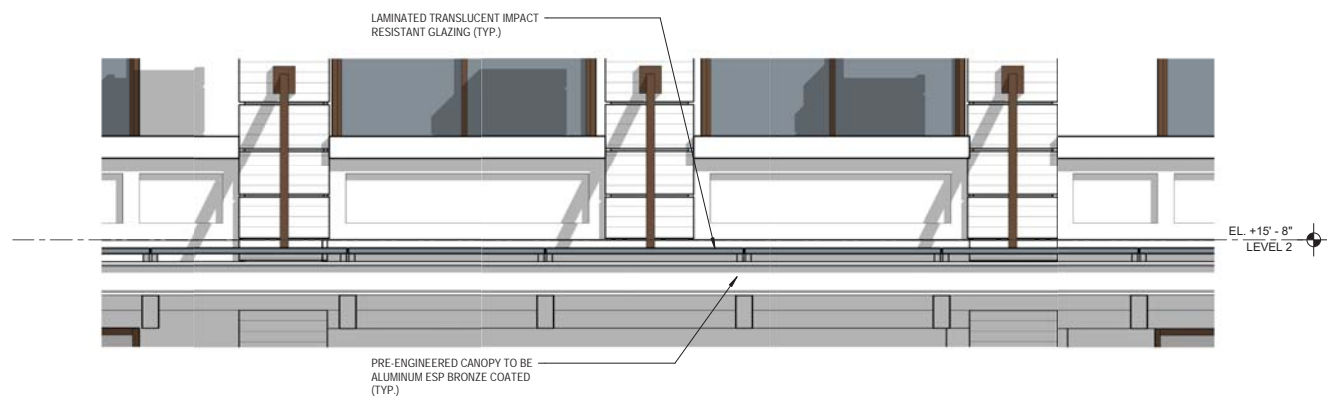
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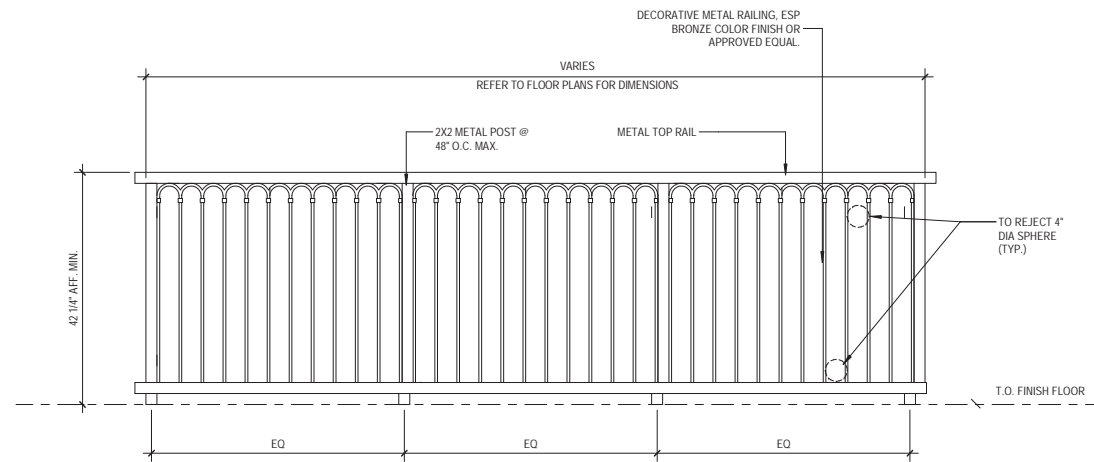
**A ENLARGED CANOPY FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



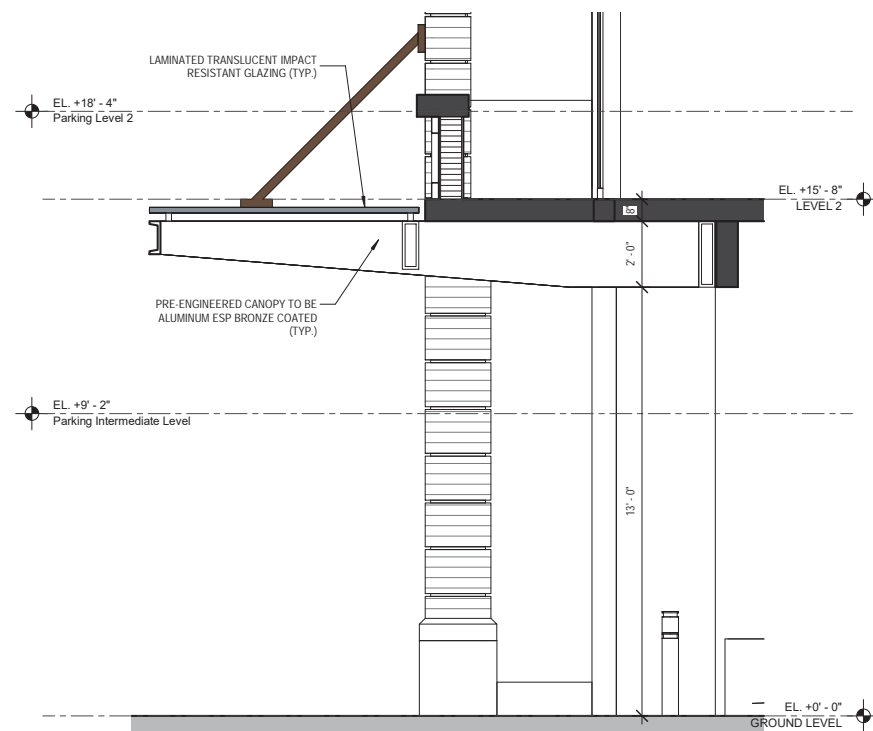
**3 TYP. PRE-CAST STONE ELEVATION DETAIL**  
SCALE: 1/4" = 1'-0"



**1 CANOPY ENLARGED ELEVATION**  
SCALE: 3/8" = 1'-0"



**4 TYP. DECORATIVE BALCONY RAILING**  
SCALE: 3/4" = 1'-0"



**2 CANOPY SECTION**  
SCALE: 3/8" = 1'-0"





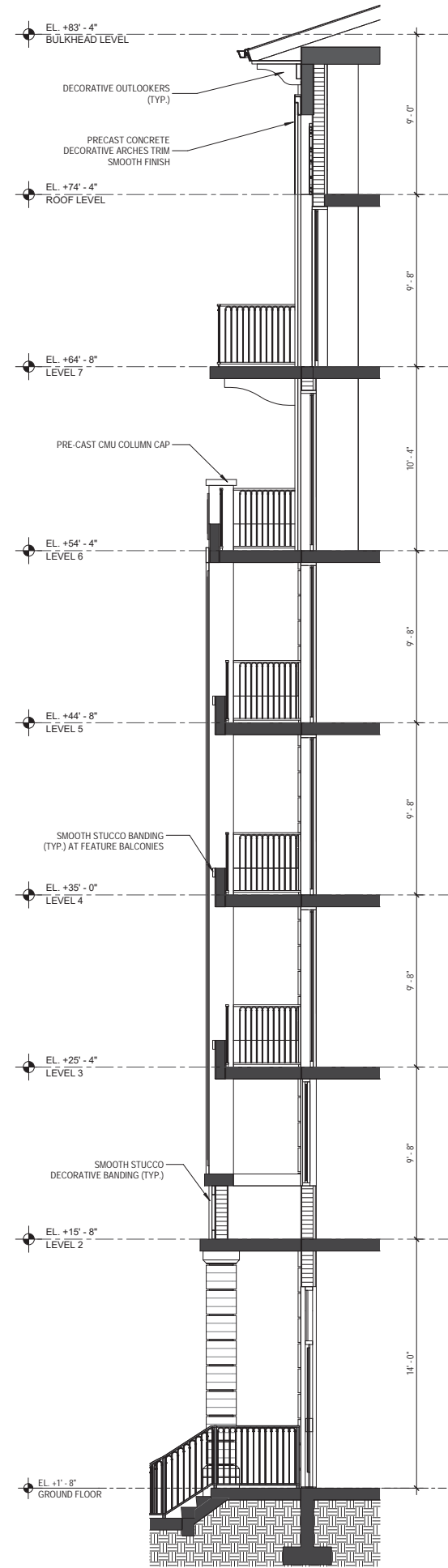
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**ENLARGED BALCONY SECTION  
 AND 3D VIEW**



**TYPICAL SECTION**  
 SCALE: 1/4" = 1'-0"



- CMU WALL WITH SMOOTH STUCCO FINISH
- PRE-CAST CONCRETE DECORATIVE BRACKET, SMOOTH FINISH
- SMOOTH STUCCO BANDING
- CMU COLUMN WITH SMOOTH STUCCO FINISH
- PRE-CAST VENEER LIME STONE COLOR: SMOOTH FINISH ON CONCRETE/C.M.U. WALL

**PARTIAL BALCONY 3D VIEW**

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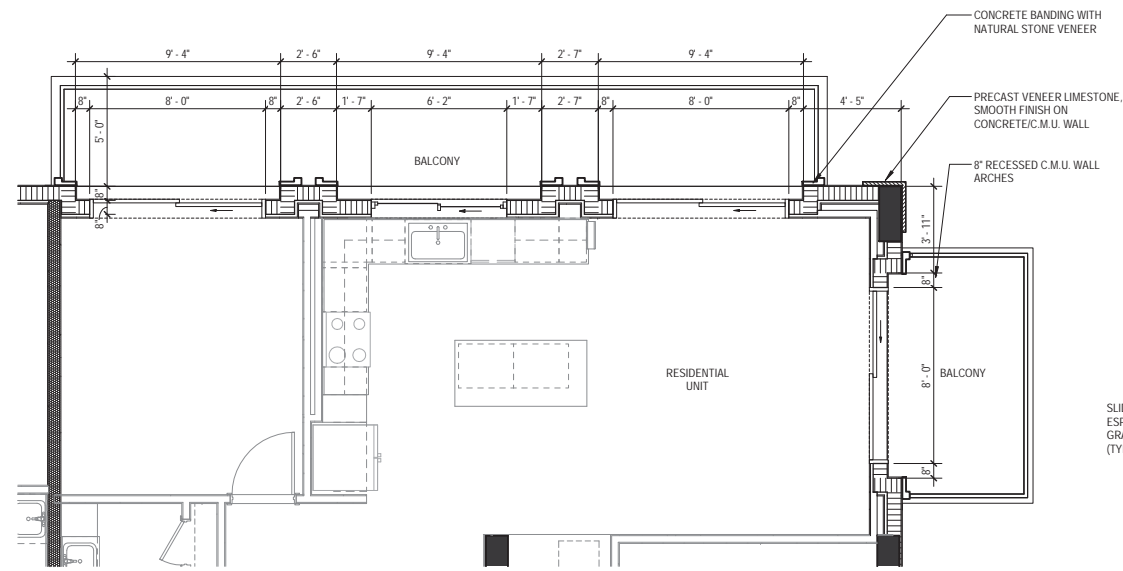
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**ENLARGED 7TH LEVEL BALCONY**



**PARTIAL 7TH LEVEL - BALCONY FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY ELEVATION**  
 SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY 3D VIEW**

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**ENLARGED GROUND AND 7TH LEVEL BALCONY**

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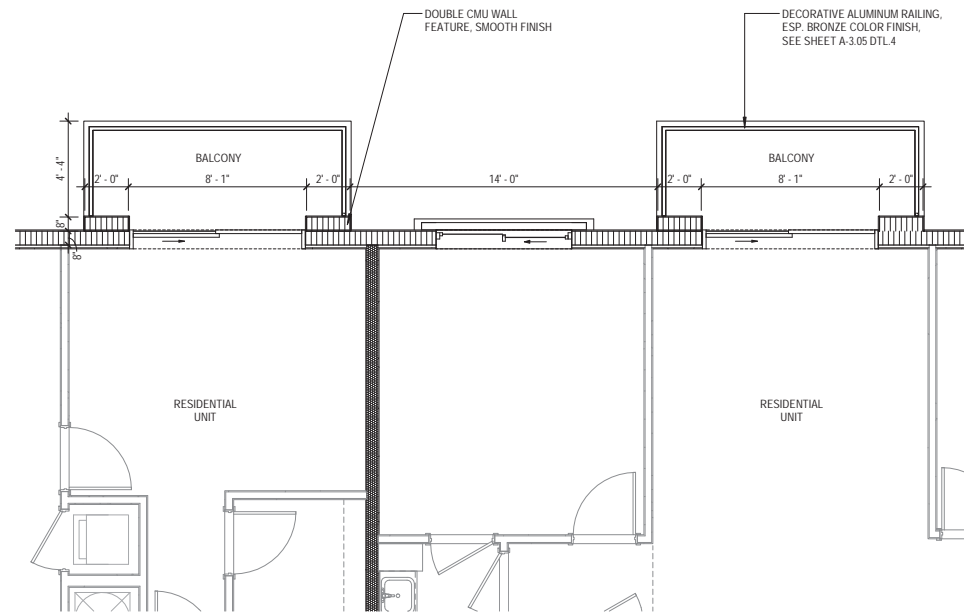


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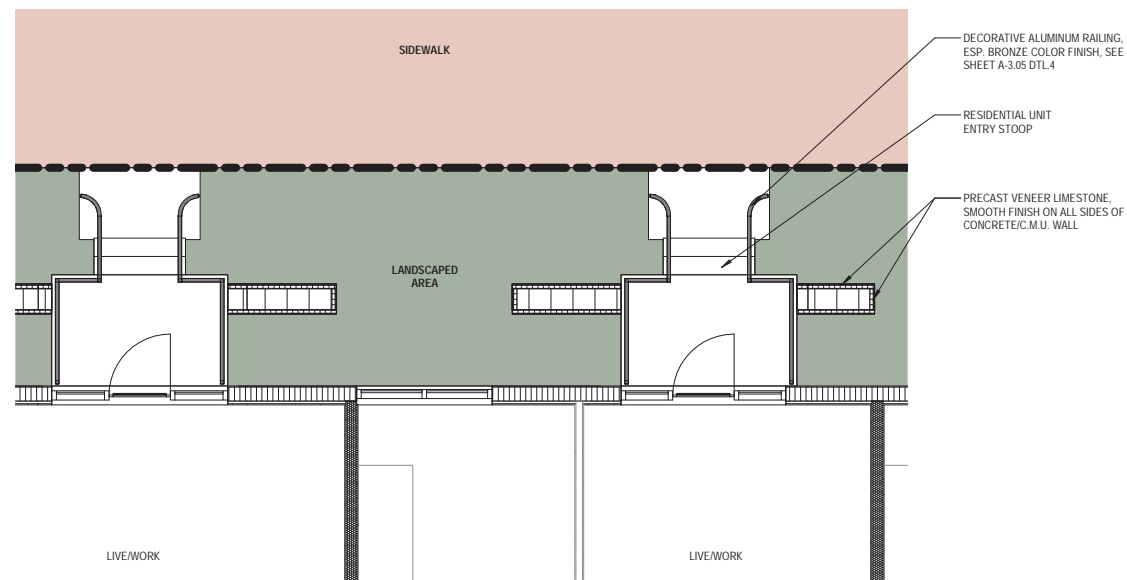
**A-3.06B**



**PARTIAL 7TH LEVEL - BALCONY ENLARGEMENT**  
 SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY ELEVATION**  
 SCALE: 1/4" = 1'-0"



**PARTIAL GROUND - BALCONY FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL STOOP ELEVATION**  
 SCALE: 1/4" = 1'-0"





**CORWILARCHITECTS**  
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LIC. NO. AA-C002151 T.305.448.7383

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ENLARGED NORTH MAIN ENTRY  
VIEW

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**A-3.06C**

STANDING SEAM  
COPPER CUPOLA

PRECAST LIMESTONE  
CORNICE, SMOOTH FINISH

PAINTED ALUMINUM  
DECORATIVE GRILL

EXTERIOR GRADE LIGHT FIXTURE, TO  
BE SELECTED BY OWNER

DECORATIVE ALUMINUM RAILING,  
ESP. BRONZE COLOR FINISH, SEE  
SHEET A-3.05 DTL.4

STANDING SEAM COPPER CUPOLA

PRECAST LIMESTONE CORNICE, SMOOTH FINISH

PAINTED ALUMINUM DECORATIVE GRILL

EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER

DECORATIVE ALUMINUM RAILING,  
ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4

**NORTH MAIN ENTRY - OPTION 1**

**NORTH MAIN ENTRY - OPTION 2**





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ENLARGED SOUTH MAIN ENTRY  
VIEW

**SOUTH MAIN ENTRY VIEW**

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VIEW ONE  
DRIVEWAY ENTRANCE



VIEW THREE  
MAIN ENTRANCE



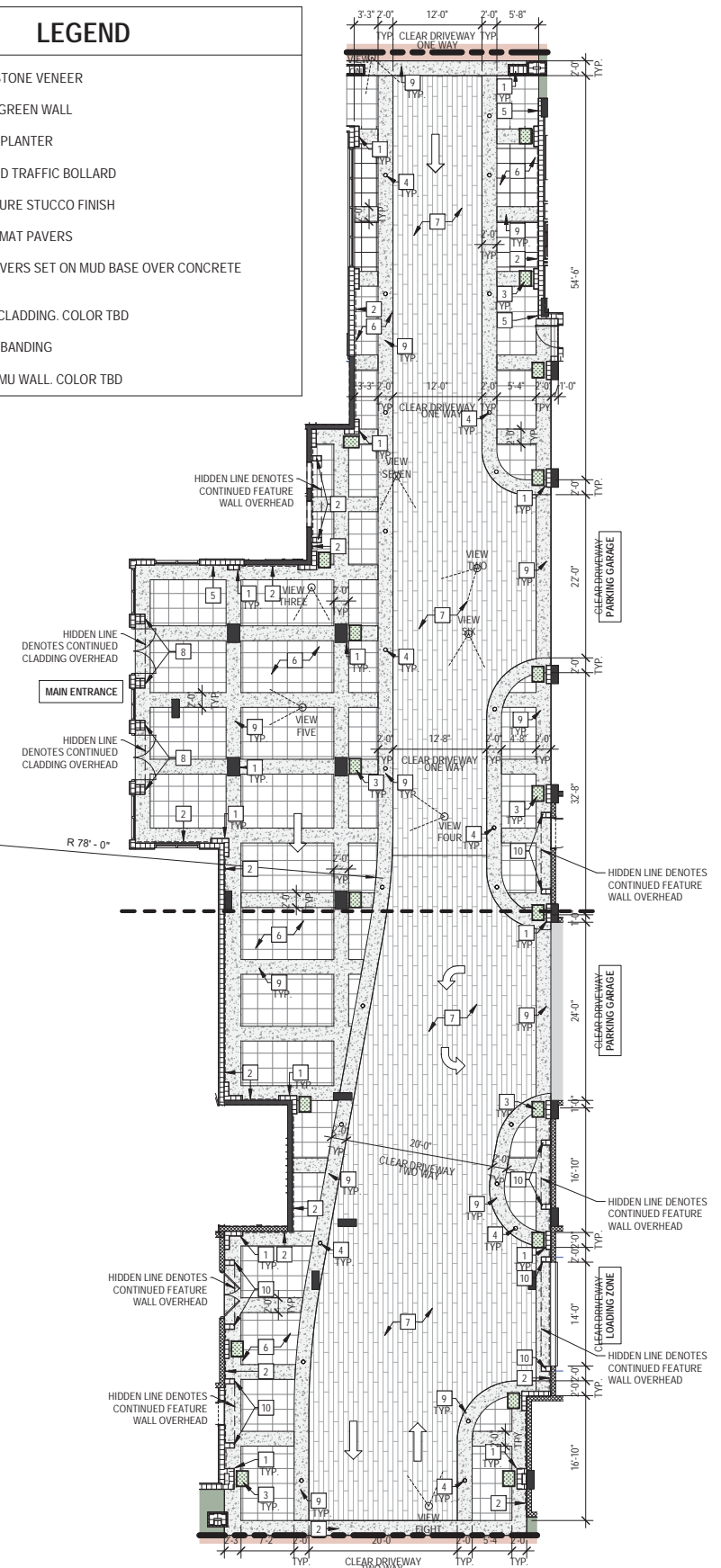
VIEW FIVE  
MAIN ENTRANCE



VIEW SEVEN  
DRIVEWAY

**LEGEND**

1. CAST LIMESTONE VENEER
2. ARTIFICIAL GREEN WALL
3. CONCRETE PLANTER
4. ILLUMINATED TRAFFIC BOLLARD
5. LIGHT TEXTURE STUCCO FINISH
6. LARGE FORMAT PAVERS
7. TRAFFIC PAVERS SET ON MUD BASE OVER CONCRETE SLAB
8. ALUMINUM CLADDING. COLOR TBD
9. CONCRETE BANDING
10. FEATURE CMU WALL. COLOR TBD



**ENLARGED DRIVEWAY PLAN**

SCALE: 3/32" = 1'-0"



VIEW TWO  
MAIN ENTRANCE



VIEW FOUR  
MAIN ENTRANCE



VIEW SIX  
DRIVEWAY



VIEW EIGHT  
DRIVEWAY SOUTH



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**ENLARGED DRIVEWAY PLAN**

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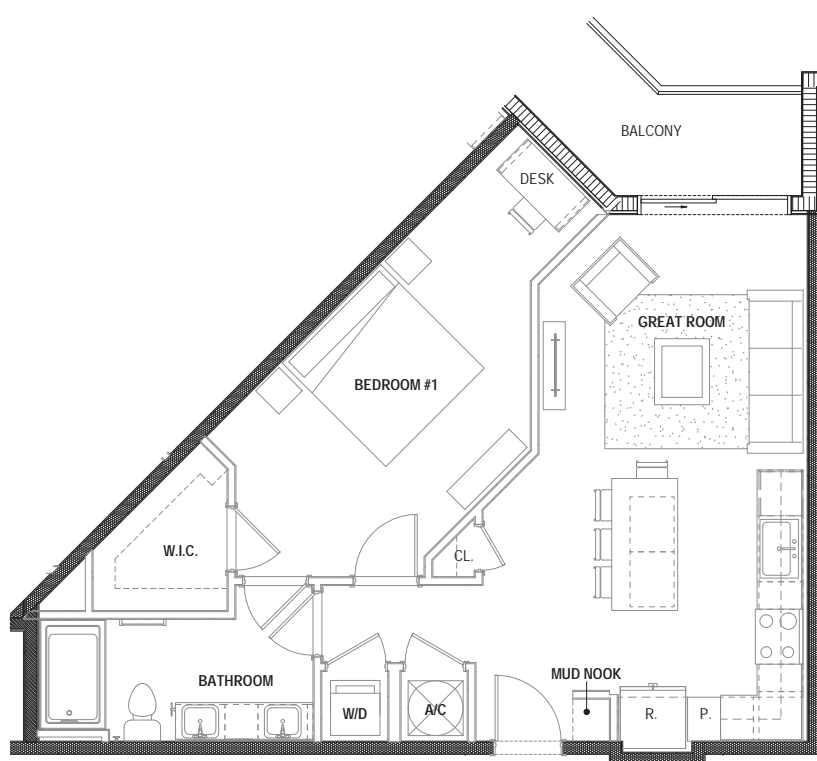


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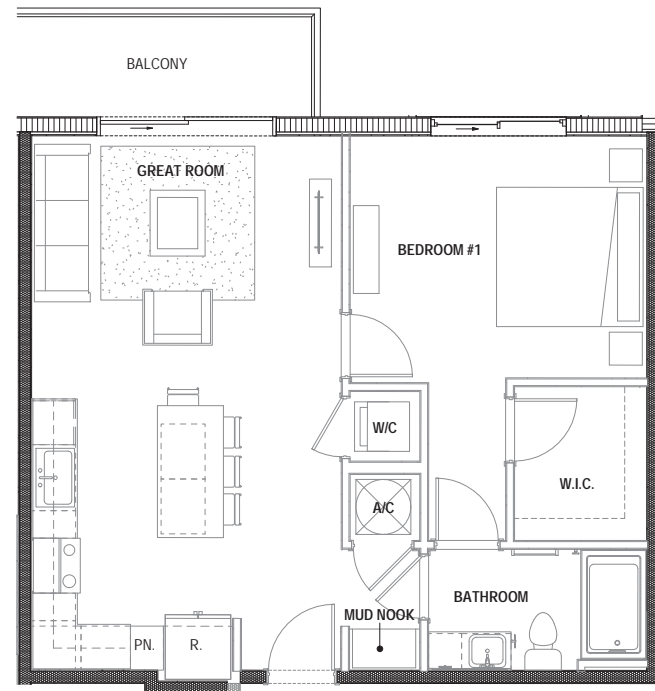


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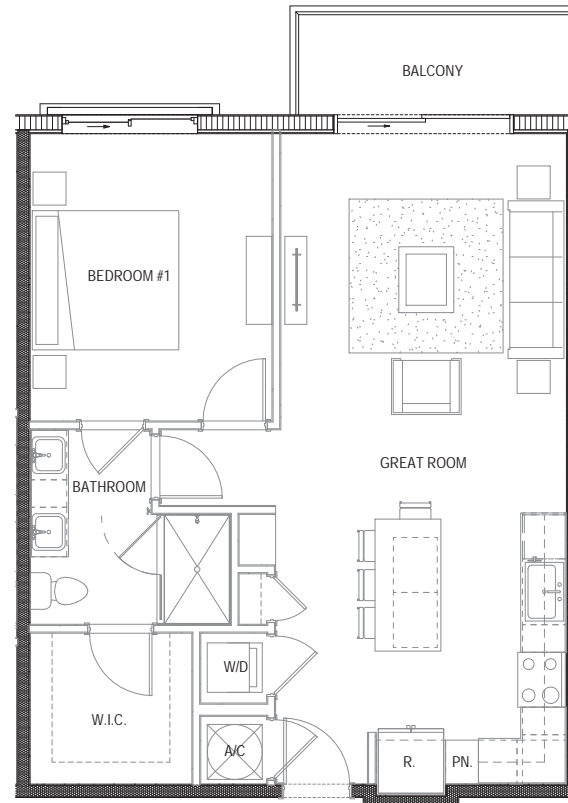
**UNIT A1/A1-A**

SCALE: 1/4" = 1'-0"



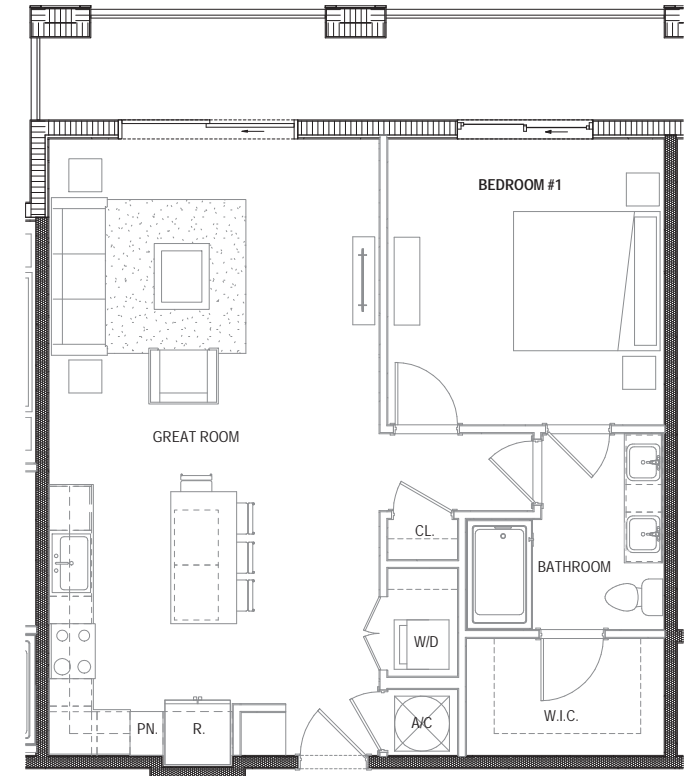
**UNIT A2/A2-A**

SCALE: 1/4" = 1'-0"



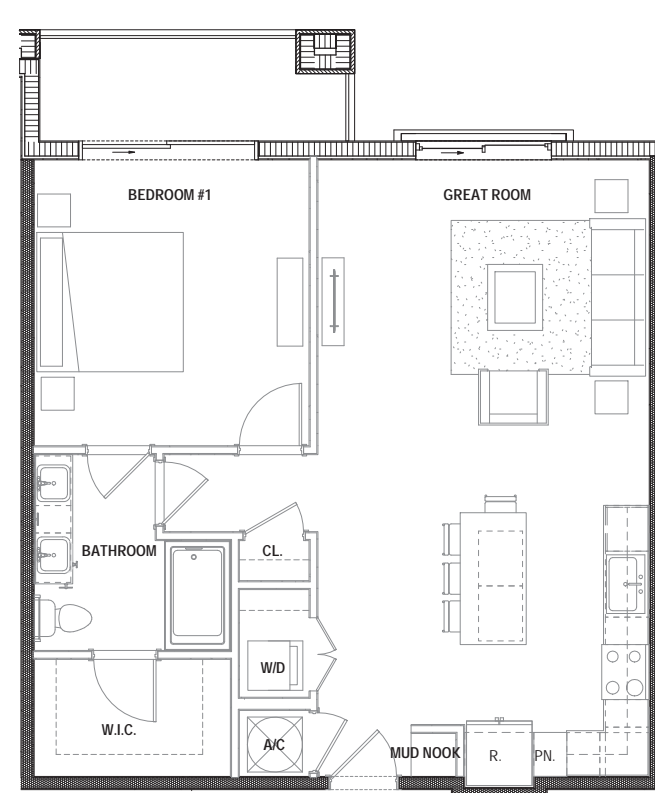
**UNIT A3/A3-A**

SCALE: 1/4" = 1'-0"



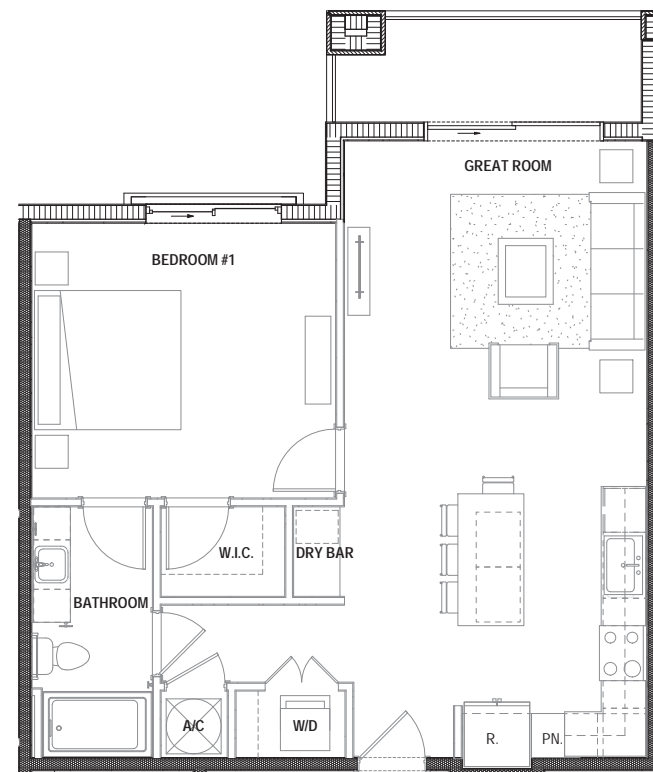
**UNIT A4**

SCALE: 1/4" = 1'-0"



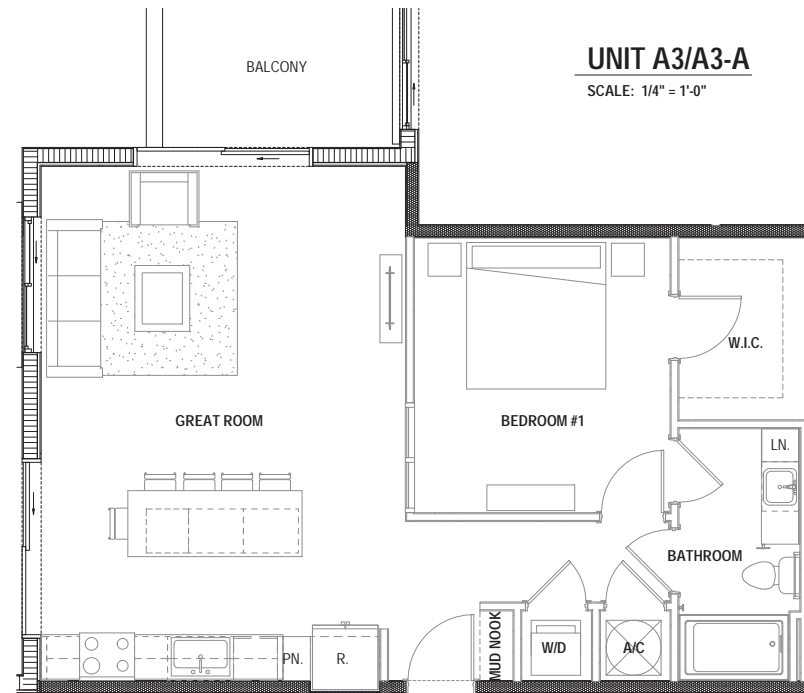
**UNIT A5**

SCALE: 1/4" = 1'-0"



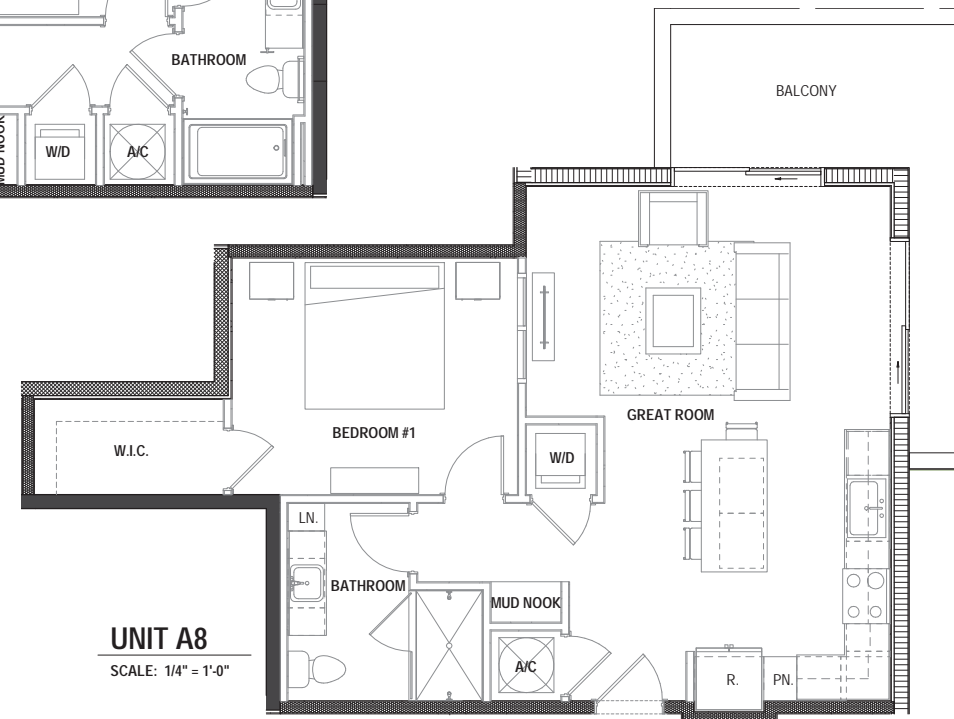
**UNIT A6**

SCALE: 1/4" = 1'-0"



**UNIT A7**

SCALE: 1/4" = 1'-0"



**UNIT A8**

SCALE: 1/4" = 1'-0"

**1 BEDROOM UNIT PLANS**

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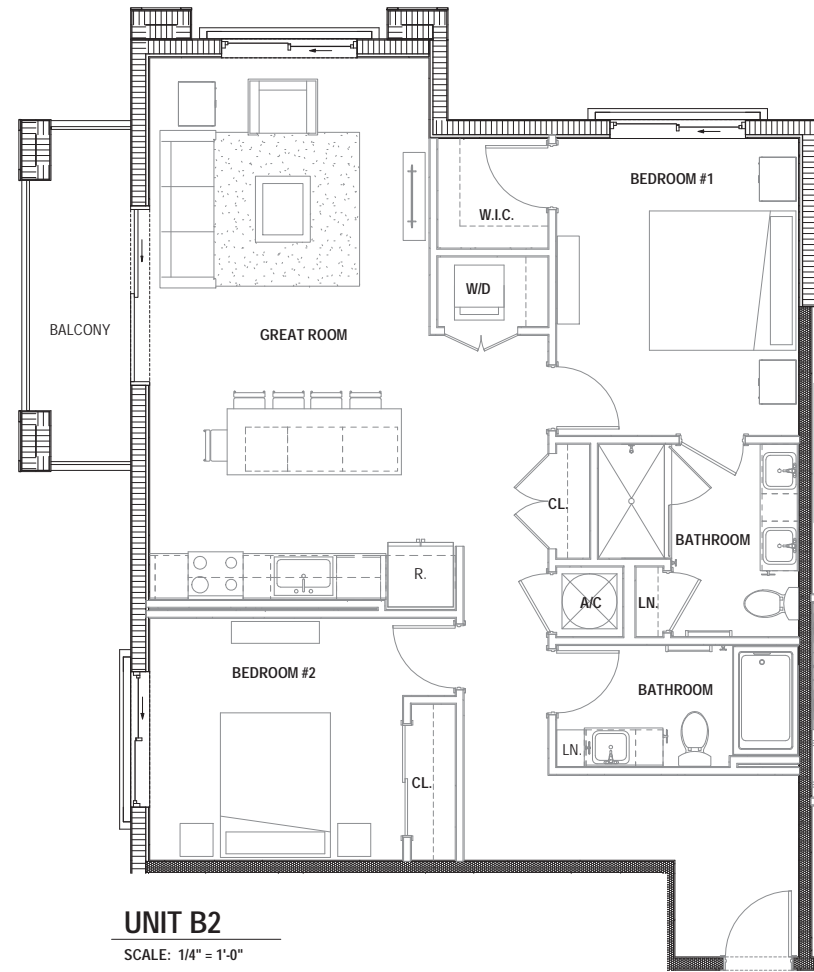
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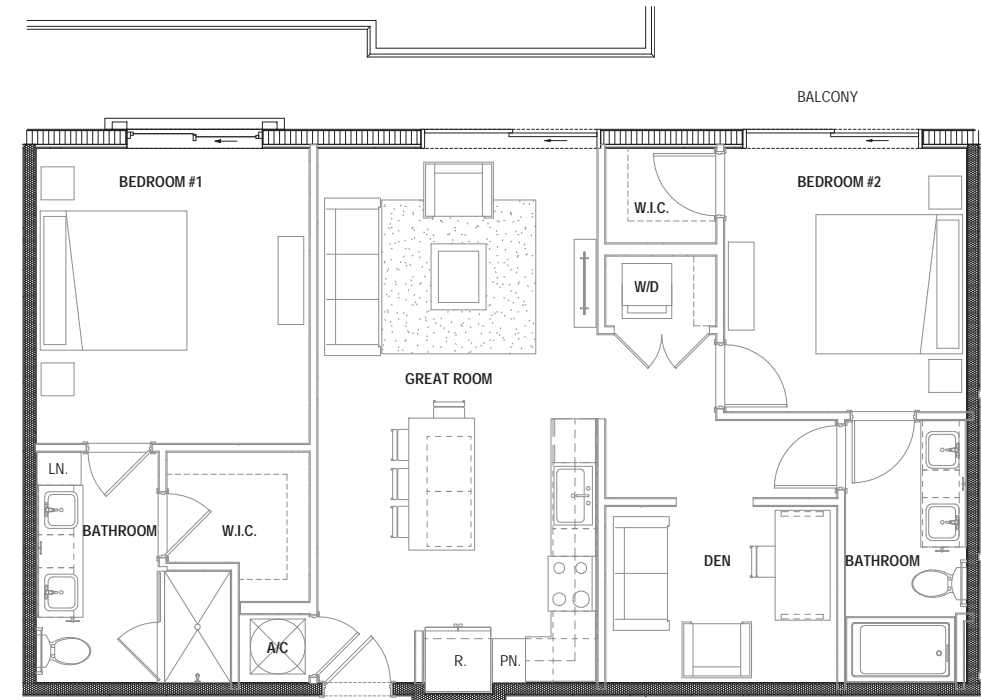
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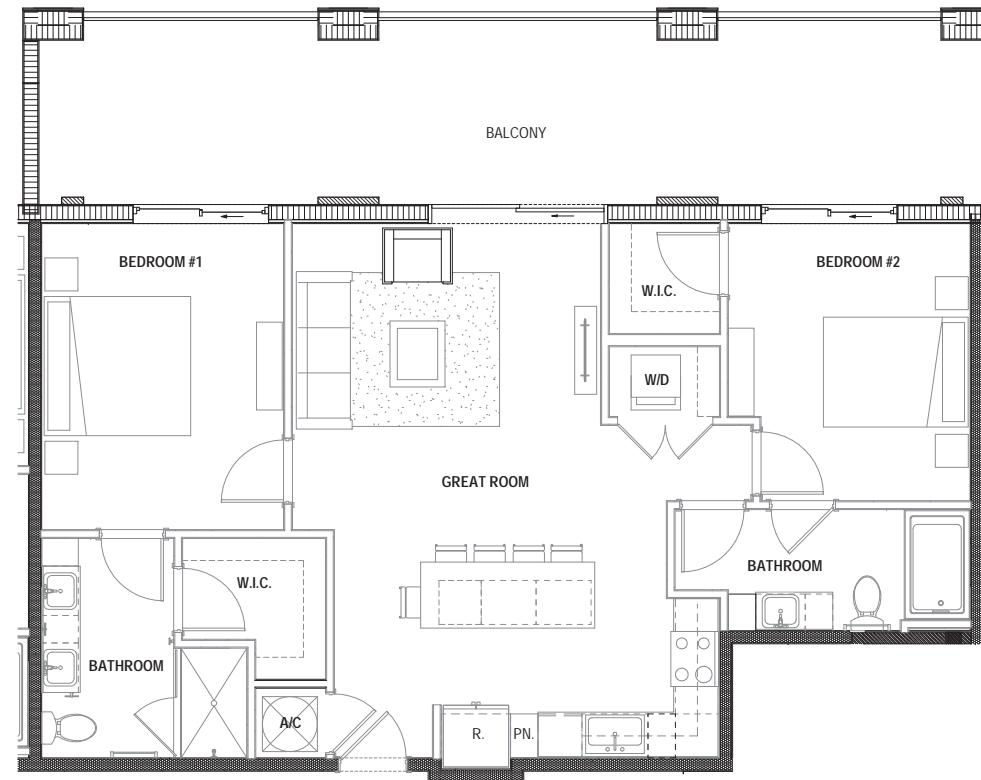
**UNIT B1**  
SCALE: 1/4" = 1'-0"



**UNIT B2**  
SCALE: 1/4" = 1'-0"



**UNIT B3**  
SCALE: 1/4" = 1'-0"



**UNIT B3-A**  
SCALE: 1/4" = 1'-0"

2 BEDROOM UNIT PLANS

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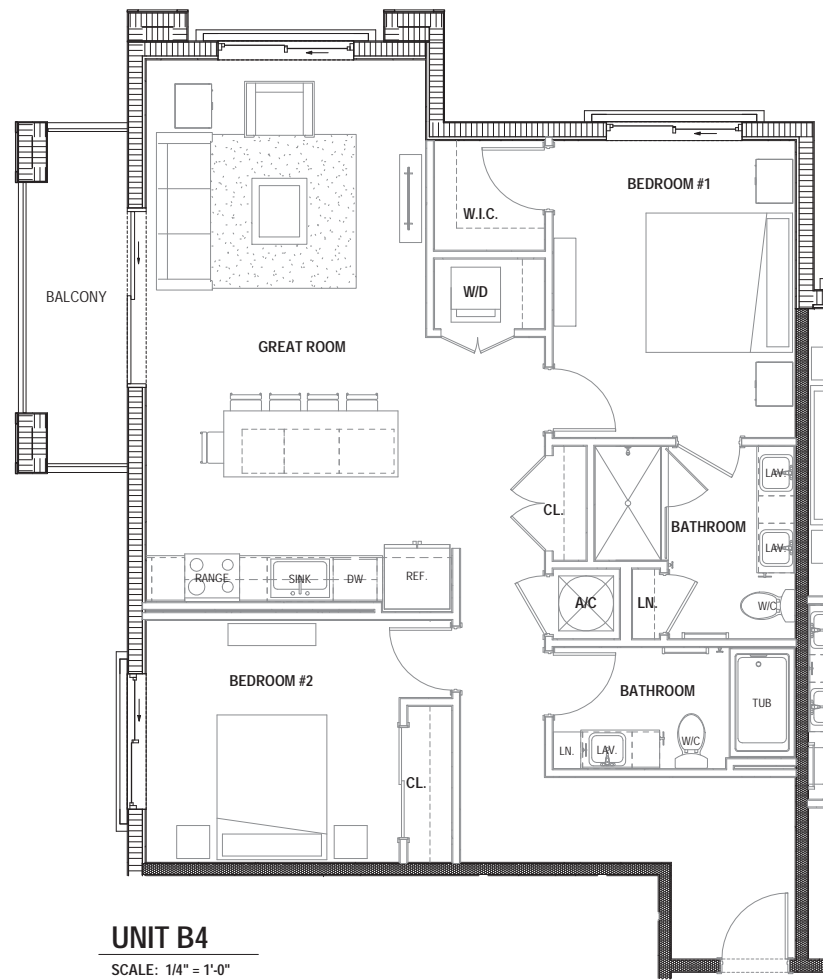


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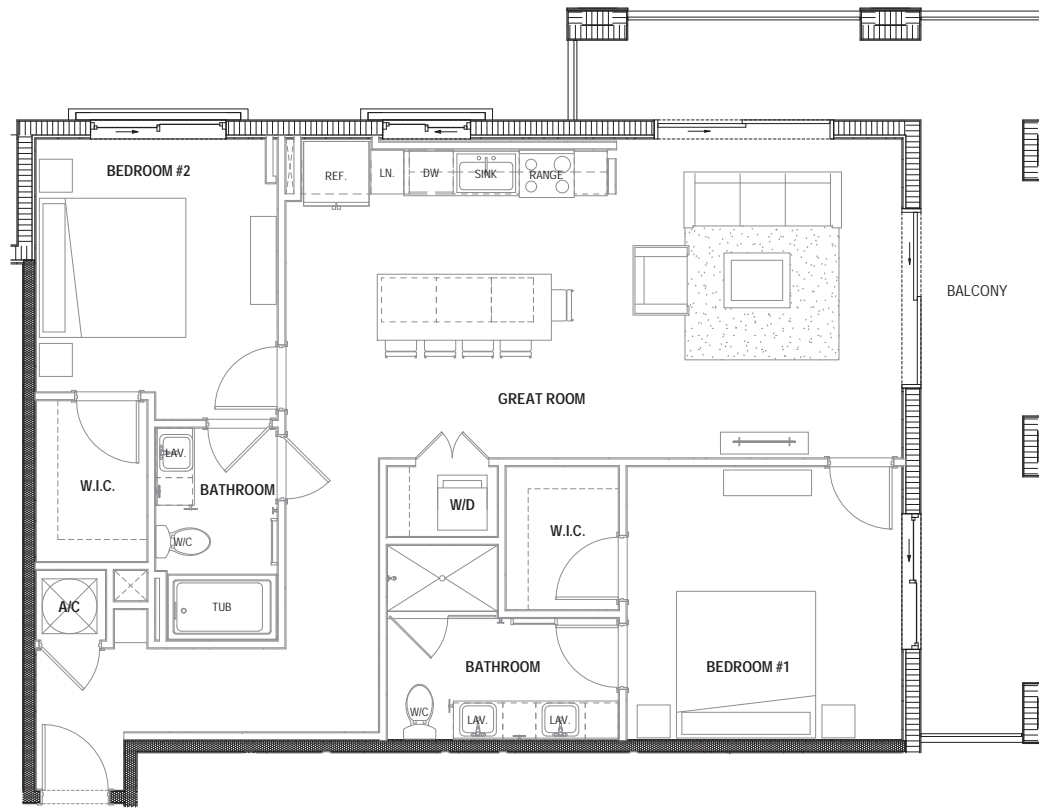
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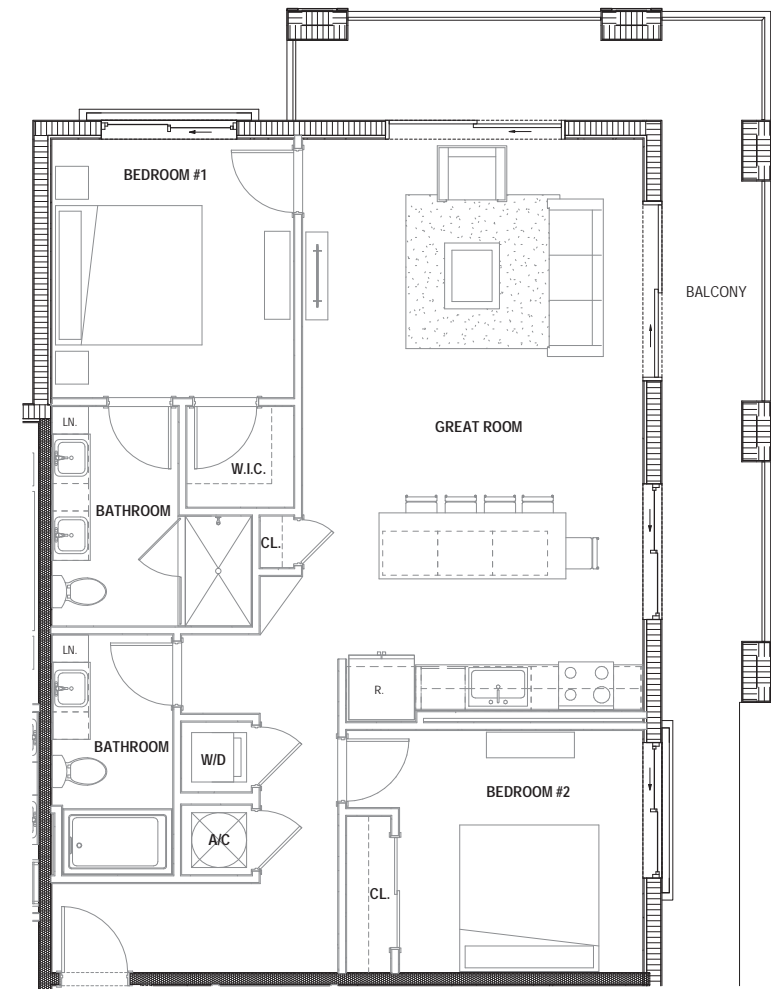
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**UNIT B4**  
 SCALE: 1/4" = 1'-0"



**UNIT B5/B5A**  
 SCALE: 1/4" = 1'-0"



**UNIT B6**  
 SCALE: 1/4" = 1'-0"

**2 BEDROOM UNIT PLANS**

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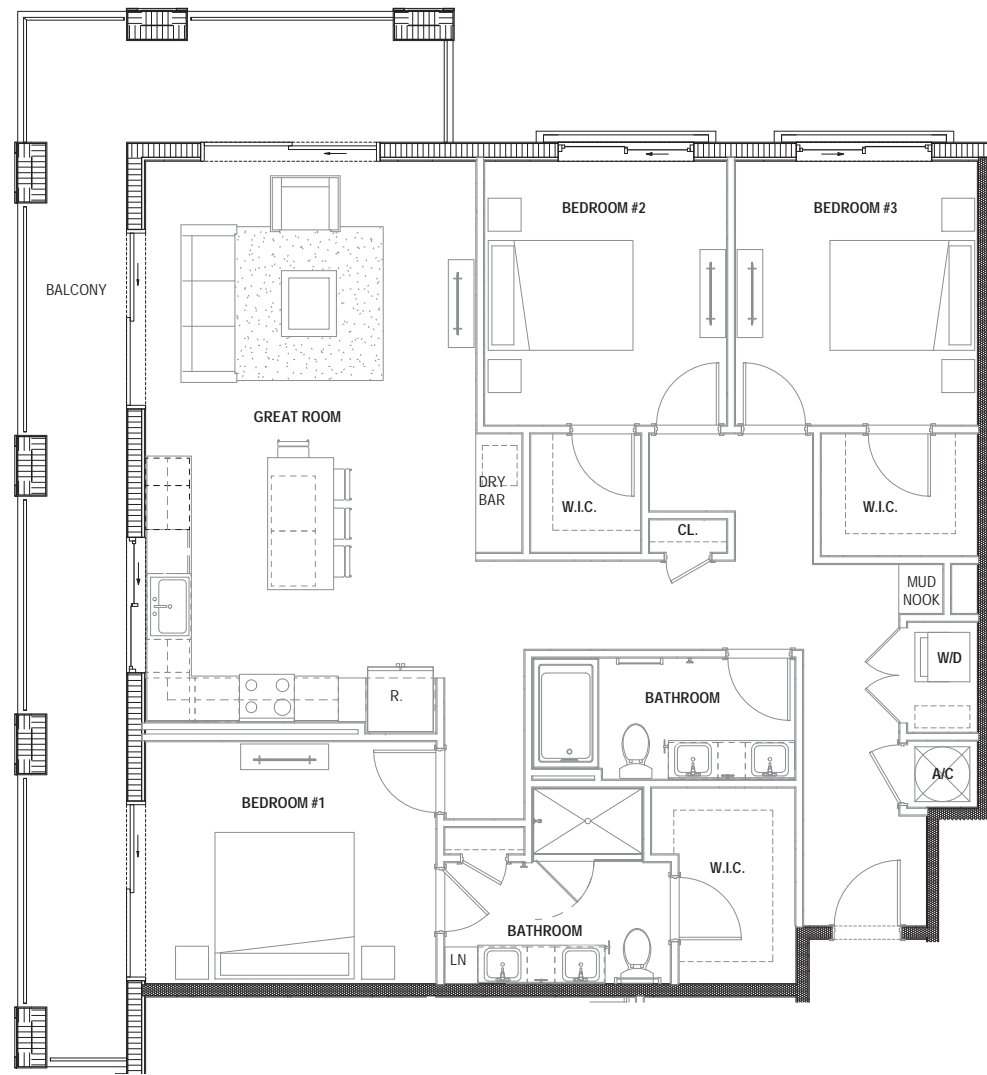
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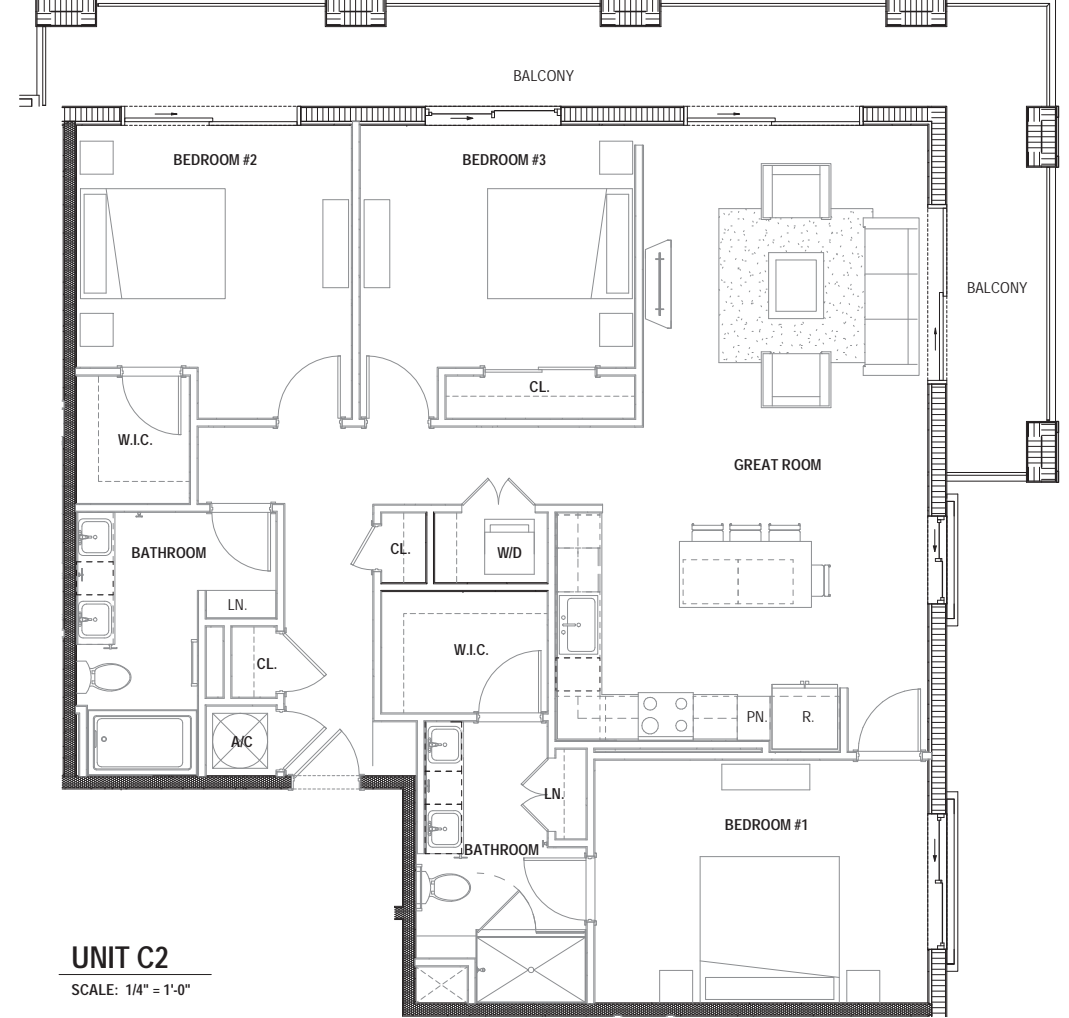
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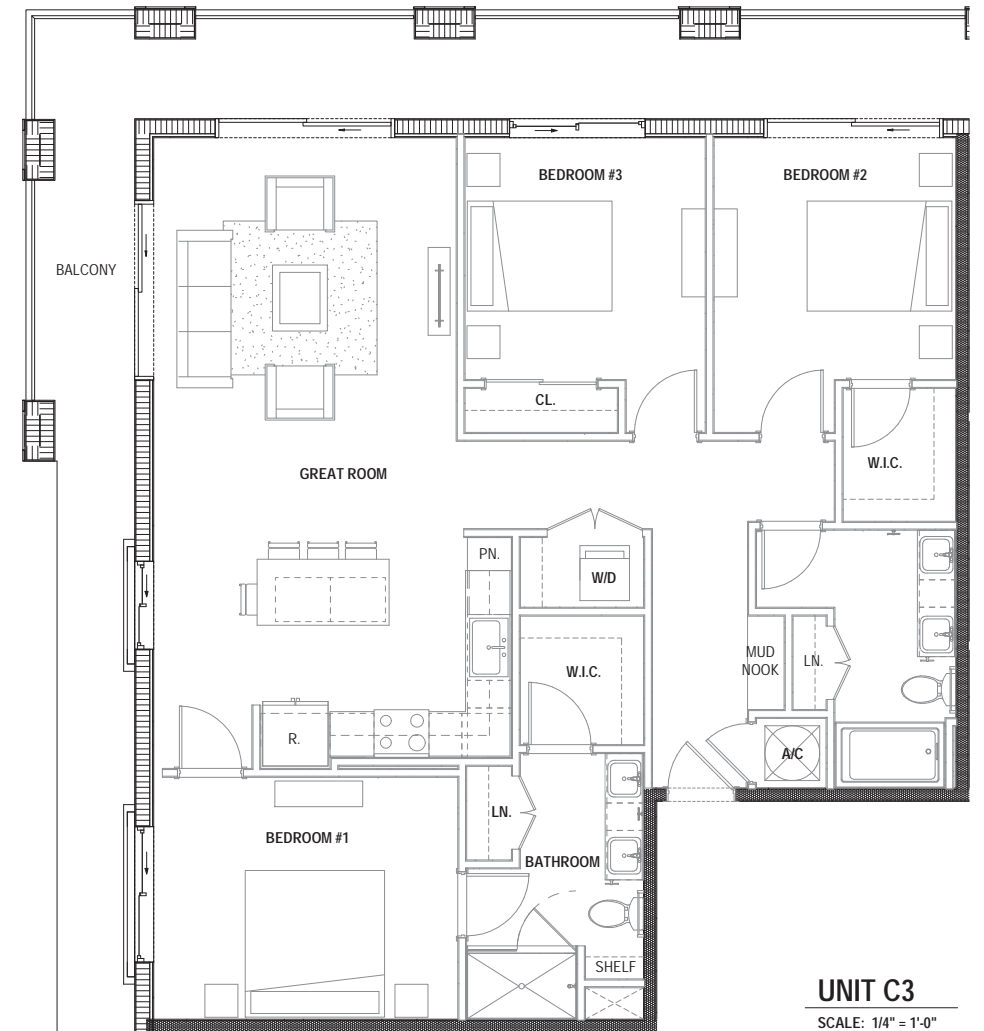




**UNIT C1**  
SCALE: 1/4" = 1'-0"



**UNIT C2**  
SCALE: 1/4" = 1'-0"



**UNIT C3**  
SCALE: 1/4" = 1'-0"



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**3 BEDROOM UNIT PLANS**

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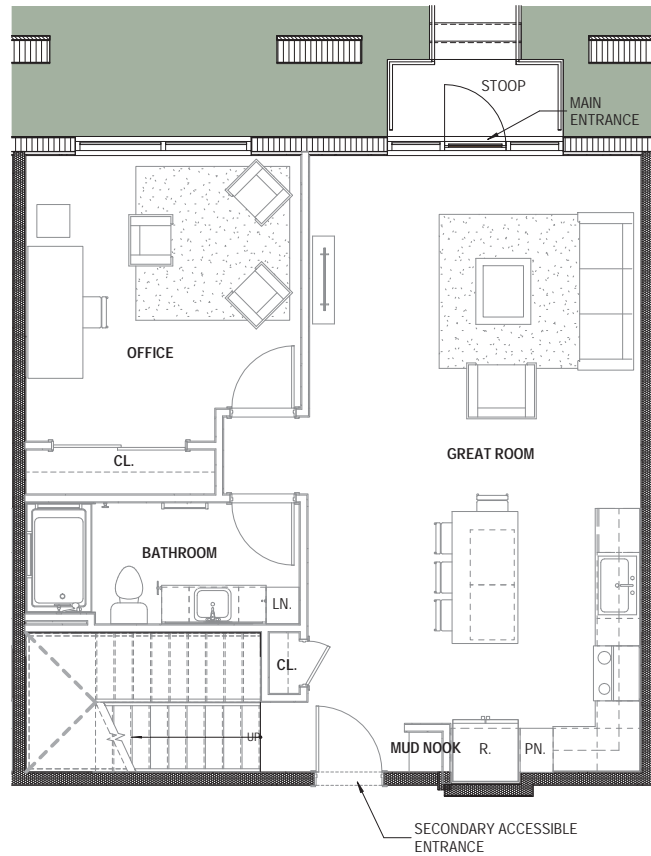
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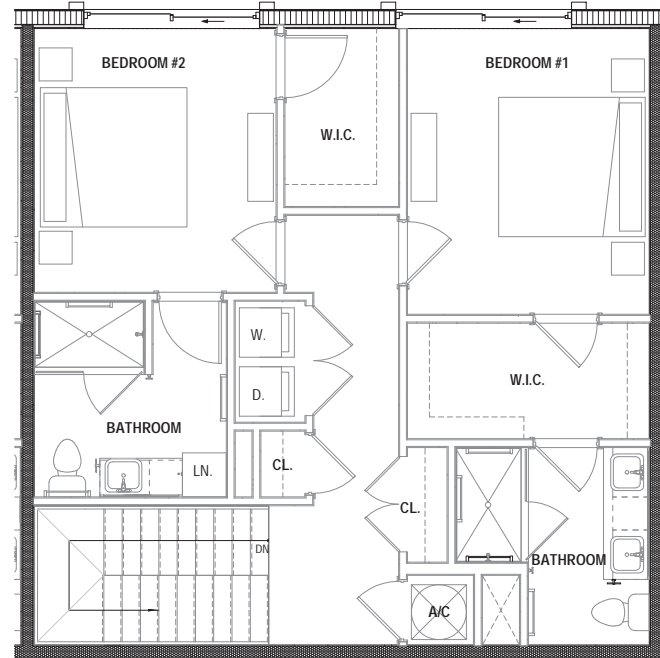
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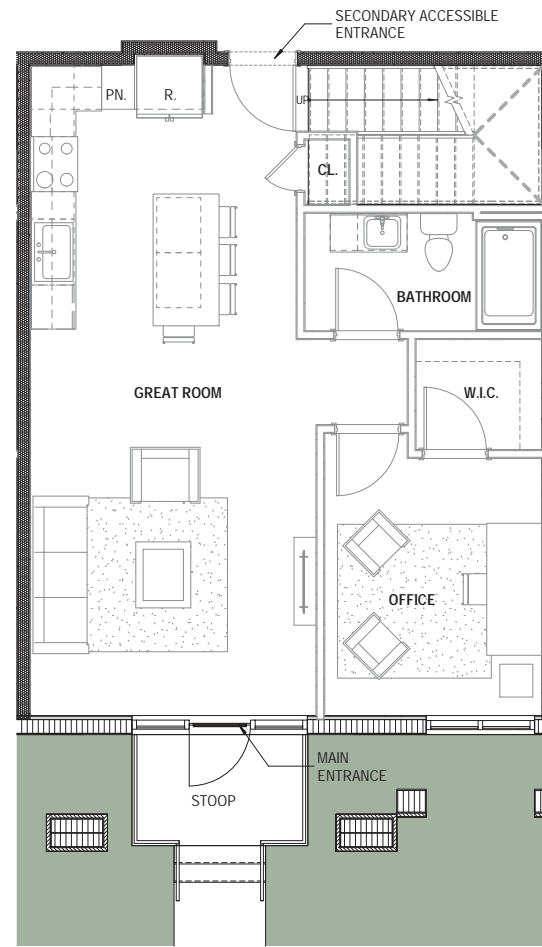
**LIVE/WORK 1- LEVEL 1**

SCALE: 1/4" = 1'-0"



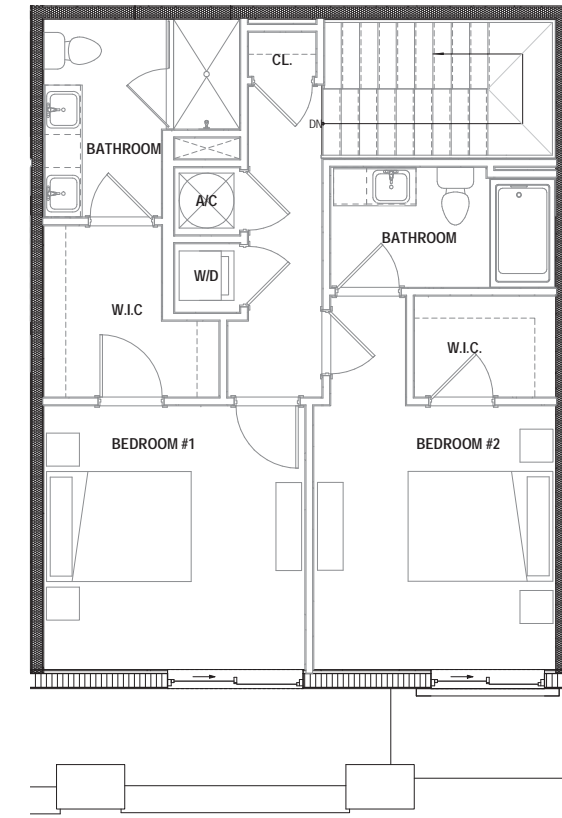
**LIVE WORK - LEVEL 2**

SCALE: 1/4" = 1'-0"



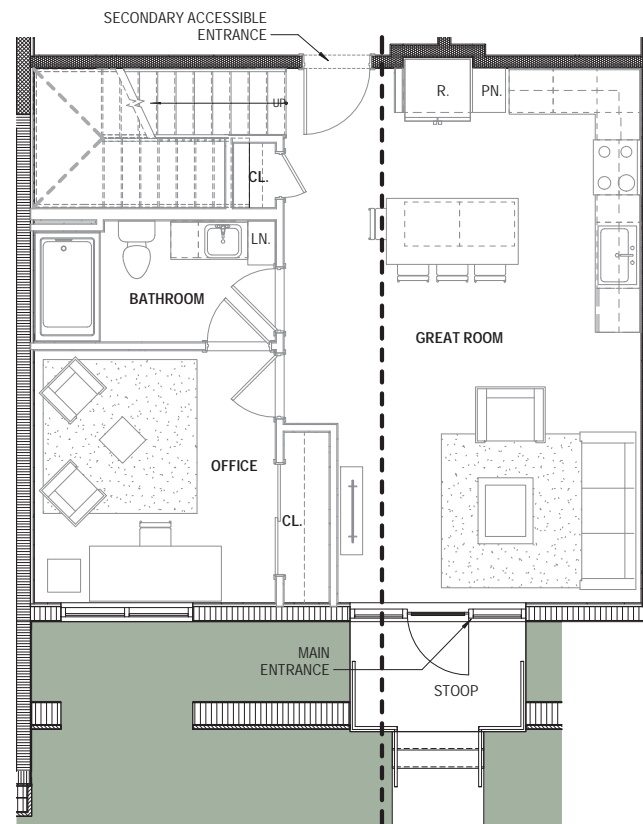
**LIVE/WORK 2- LEVEL 1**

SCALE: 1/4" = 1'-0"



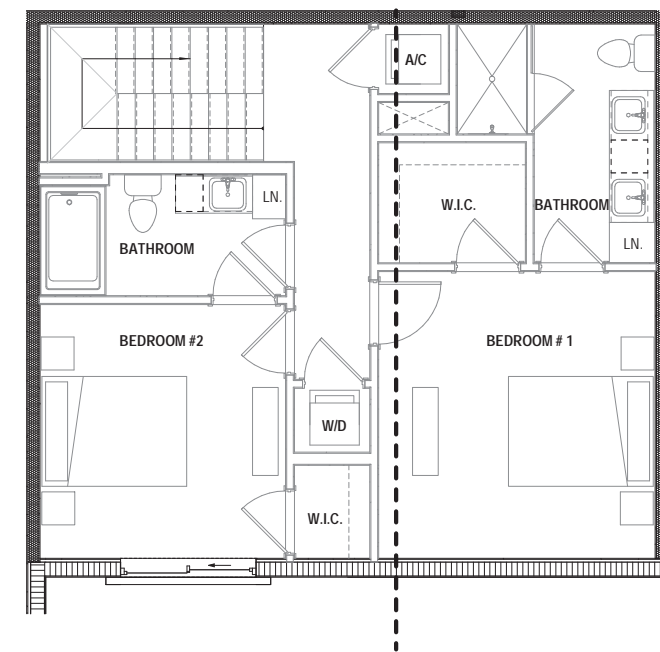
**LIVE/WORK 2- LEVEL 2**

SCALE: 1/4" = 1'-0"



**LIVE/WORK 3 - LEVEL 1**

SCALE: 1/4" = 1'-0"



**LIVE/WORK 3 - LEVEL 2**

SCALE: 1/4" = 1'-0"



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**LIVE/WORK UNIT PLANS**

PHASE:

**BOA SUBMITTAL**

SE



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