

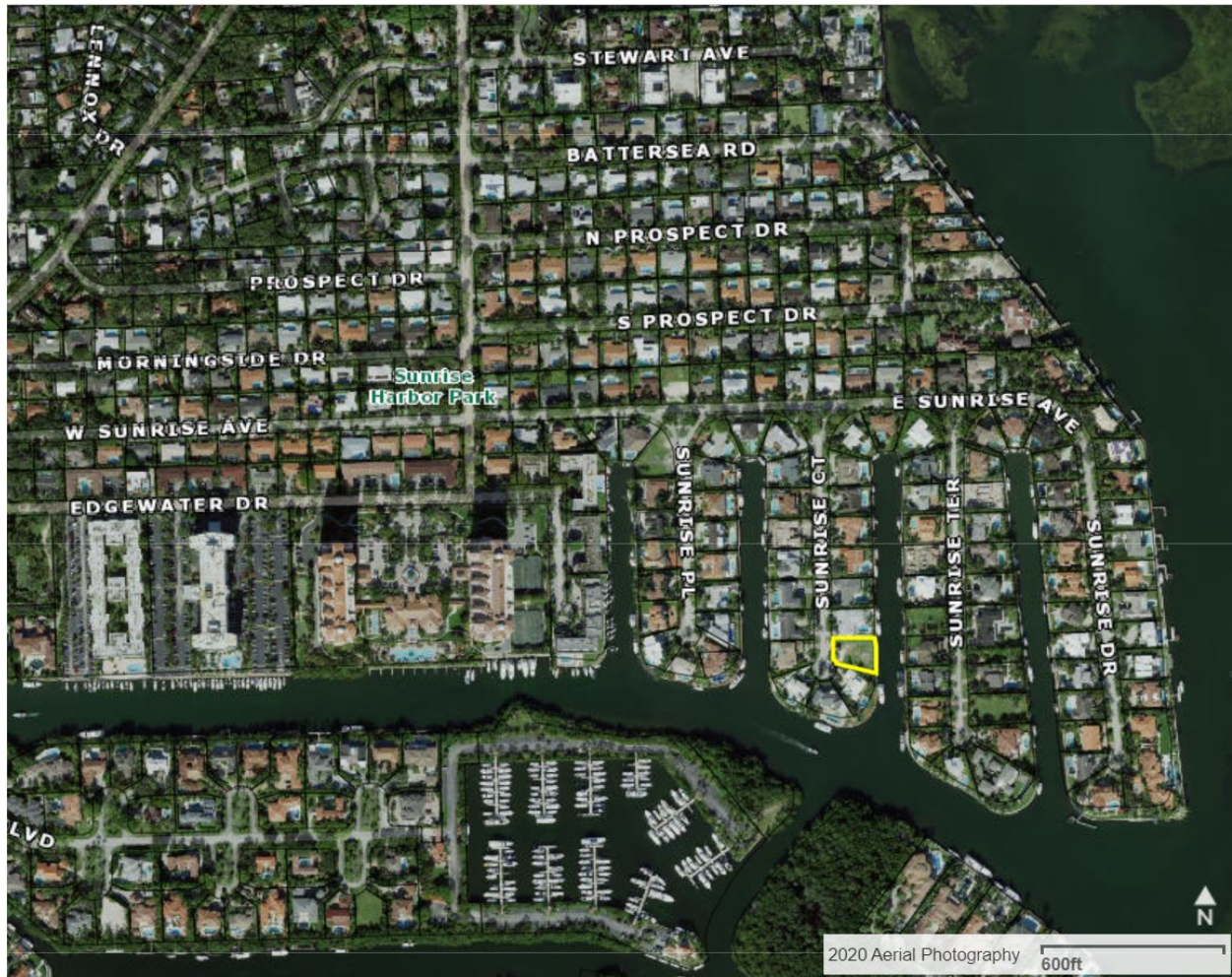
# CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

## Shaner Residence

6935 Sunrise Court, Coral Gables, 33133

### Location Map:



**CMA Design Studio, Inc.**  
ARCHITECTURE   PLANNING   INTERIOR DESIGN



**6935 SUNRISE COURT - PARTIAL FRONT (EAST)**



**6935 SUNRISE COURT – PARTIAL FRONT (EAST)**



**6935 SUNRISE COURT - REAR SEAWALL (NORTH )**



**6935 SUNRISE COURT – FROM REAR (NORTH WEST)**



**6935 SUNRISE COURT – SEAWALL (SOUTH)**



**6935 SUNRISE COURT – REAR (SOUTH WEST)**

# CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN



**1. 6925 SUNRISE CT. (NORTH OF PROPERTY)**



**2. 6938 SUNRISE CT. (SOUTH OF PROPERTY)**



**3. 6922 SUNRISE CT. (NORTH WEST OF PROPERTY)**



**4. 6934 SUNRISE CT. (WEST OF PROPERTY)**



**5. 6941 SUNRISE CT. (SOUTH OF PROPERTY)**



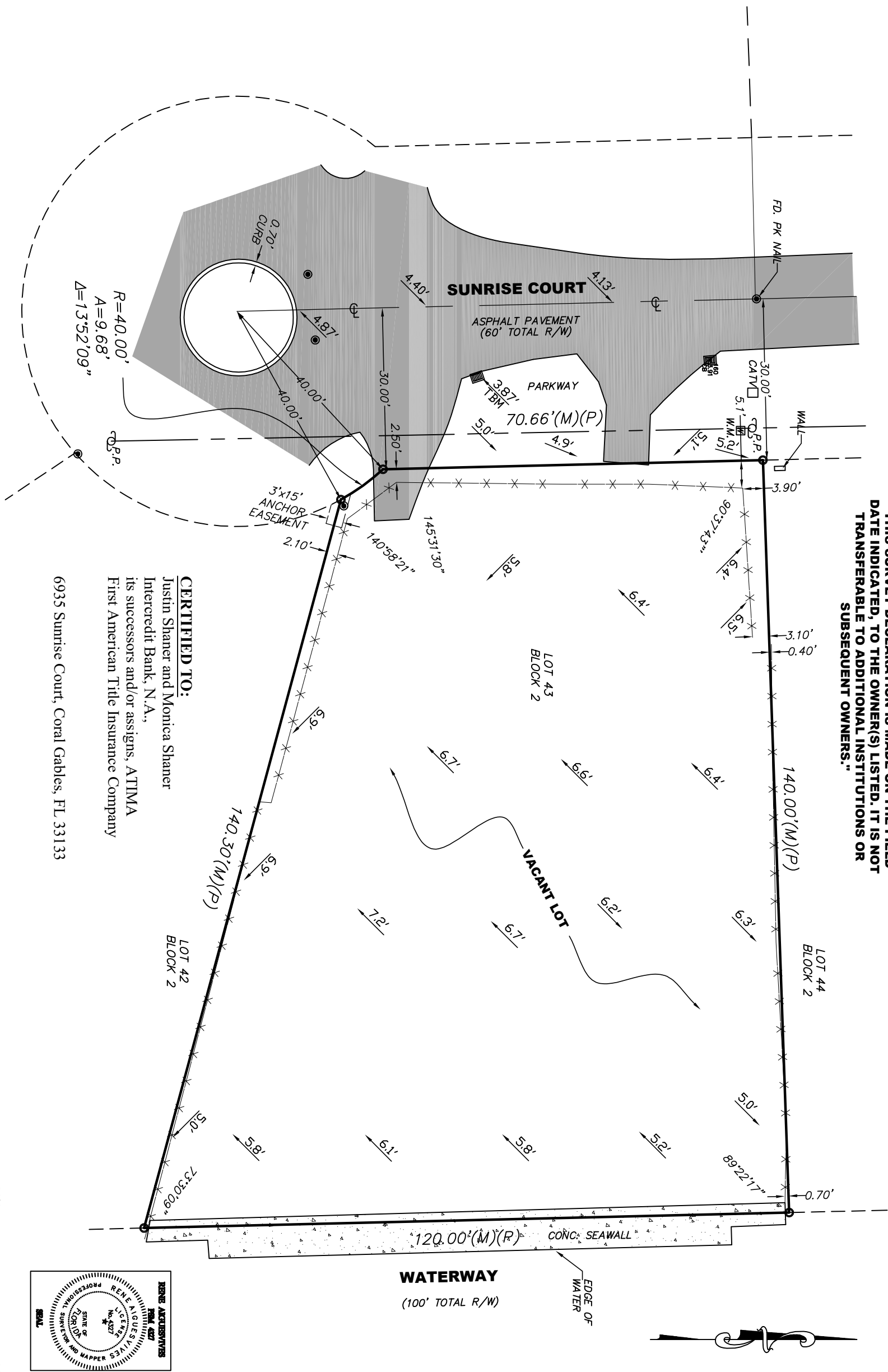
**6. 6946 SUNRISE CT. (SOUTH EAST OF PROPERTY)**



**SUNRISE COURT - NEIGHBORHOOD CONTEXT MAP**

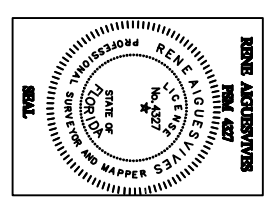


**"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."**



**CERTIFIED TO:**  
 Justin Shaner and Monica Shaner  
 Intercredit Bank, N.A.,  
 its successors and/or assigns, ATIMA  
 First American Title Insurance Company  
 6935 Sunrise Court, Coral Gables, FL 33133

Bearing, if any, shown based on N/A (reference) N/A



This property described as:  
 Lot 43, Block 2,  
 REVISED PLAT OF  
 SUNRISE HARBOUR,  
 according to the Plat thereof  
 as recorded in Plat Book 65, Page 22,  
 of the Public Records of Miami-Dade County, Florida.

Elevations shown refer to N.G.V.D. 1929.  
 BM # 512 (CORAL GABLES)  
 Elevation = 6.10 ft (N.G.V.D.)

REVISIONS:			
FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:
AE	120639	0478	L
F.I.R.M DATE	F.I.R.M. INDEX	BASE ELEV.	Not valid unless original raised seal of Florida licensed Surveyor and Mapper.
09/11/09	09/11/09	+11 FT N.G.V.D.	

TOPOGRAPHIC SURVEY.  
 I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

RENE AGUIRESVIVES 12/05/19  
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327, State of Florida.

**Alvarez, Aguiresvives and Associates, Inc.**  
 Surveyors, Mappers and Land Planners  
 9789 Sunset Drive, Miami, FL 33173  
 Phone 305.220.2424 Fax 305.552.8181  
 L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 12/04/19  
 Scale: 1"=20'  
 Drawn by: P.A.  
 Drwg. No. 19-21665

- NOTE:
- All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.
  - The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
  - Code restrictions and title search not reflected in this survey
  - Underground utilities, improvements, footings and encroachments, if any not located.
  - The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
  - Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.
- A = Arc  
 ASPH = Asphalt  
 BM = Bench Mark  
 BRG = Bearing  
 CATV = Catch basin  
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 OBS = Concrete Block Structure  
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 Enc. = Encroachment  
 F.F. = Finish Floor  
 F.H. = Fire Hydrant  
 F.I.R. = Found Iron Rebar  
 F.I.R.P. = Found Iron Rebar  
 F.L.P. = Found from Pipe  
 F.D. = Found  
 L.P. = Light Pole  
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 P.R.M. = Permanent Reference Monument  
 P.R.C. = Point of Reverse Curvature  
 PT = Point of Tangency  
 R = Radius  
 RR = Railroad  
 PSM = Professional Surveyor Mapper  
 RW = Right-of-Way  
 SWK = Sidewalk  
 Sec. = Section  
 (TYP) = Typical  
 T = Tangent  
 U.E. = Utility Easement  
 W.F. = Wood Fence  
 W.M. = Water Meter  
 W.V. = Water Valve  
 XXX = Denotes Spot Elevations Taken

- All roads shown hereon are public unless otherwise noted.
- No identification cap found on property corners unless otherwise noted.
- Distance along boundary are record and measured unless otherwise noted.
- The graphic portions of this document are intended to be displayed at the graphic/name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
- Accuracy: The expected use of land as classified in the minimum technical standards (5J17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

# SHANER RESIDENCE

6935 SUNRISE COURT  
CORAL GABLES, FLORIDA 33133

100% DESIGN DEVELOPMENT  
B.O.A. PRELIMINARY SET  
FEBRUARY 2021

**CMA Design Studio, Inc.**

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 • T: 305.448.4200 • F: 305.448.4215

OWNER'S SIGNATURE, 100% D.D.

DATE

OWNER'S SIGNATURE AT 100% DESIGN DEVELOPMENT  
ACKNOWLEDGES THAT OWNER IS SATISFIED AND  
APPROVES THE DESIGN OF THE PROJECT AND THAT  
CMA DESIGN STUDIO SHALL PROCEED WITH THE  
CONSTRUCTION DOCUMENTS PHASE.

\*IF OWNER SHOULD DECIDE TO MAKE ANY  
ADDITIONAL DESIGN CHANGES DURING THE  
CONSTRUCTION DOCUMENT PHASE, WILL BE  
CONSIDERED ADDITIONAL SERVICES AND BILLED  
ACCORDINGLY.

# INDEX OF DRAWINGS

## ARCHITECTURAL DRAWINGS

COVER  
INDEX  
INDEX II  
R1.0 EXTERIOR RENDERING  
R2.0 EXTERIOR RENDERING  
R3.0 EXTERIOR RENDERING  
R4.0 EXTERIOR RENDERING  
R5.0 EXTERIOR RENDERING  
R6.0 EXTERIOR RENDERING  
R7.0 EXTERIOR RENDERING  
R8.0 EXTERIOR RENDERING  
G1.0 SURVEY  
G1.1 ZONING PLANS  
A1.0 SITE PLAN  
A2.0 FIRST FLOOR PLAN  
A2.1 SECOND FLOOR PLAN  
A3.0 FIRST FLOOR RCP  
A3.1 SECOND FLOOR RCP  
A4.0 ROOF PLAN  
A5.0 FRONT & REAR ELEVATIONS  
A5.1 SIDE ELEVATIONS  
A6.0 BUILDING SECTIONS  
A6.1 BUILDING SECTIONS  
A7.0 WALL SECTION  
A7.1 WALL SECTION  
A7.2 WALL SECTION  
A10.0 DOOR & WINDOW SCHEDULES

## LANDSCAPE DRAWINGS

LCVR COVER  
L001 GENERAL SITE NOTES  
L100 TREE DISPOSITION NOTES  
L101 TREE DISPOSITION PLAN & SCHEDULE  
L300 MATERIALS PLAN  
L700 PLANTING SCHEDULE & NOTES  
L701 TREE & PALM PLANTING PLAN  
L703 SECOND LEVEL PLANTING PLAN



1 EXTERIOR RENDERING

RT.0/RT.0

N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AR99039  
 AA26000730

SHEET NO.:  
**R1.0**



1 EXTERIOR RENDERING

R2.0/R2.0

N.T.S

DATE		NO.	
JOB NO.	2005	CM. AM	09-08-20
DRAWN BY	CM. AM	CHECKED	CM. RR
DATE	09-08-20		
<p><b>CMA Design Studio, Inc.</b>          ARCHITECTURE PLANNING INTERIOR DESIGN          232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215</p>			
<p><b>SHANER RESIDENCE</b>          6935 Sunrise Court          Coral Gables, Florida 33133          TITLE: EXTERIOR RENDERING</p>			
SEAL			
<p>Lynsie Christine Conn          FL Architect          AP99039          AA26000730</p>			
SHEET NO.:			
R2.0			



1 EXTERIOR RENDERING

R3.0/R3.0

N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AR99039  
 AA26000730

SHEET NO.:  
**R3.0**



1 EXTERIOR RENDERING

R4.0/R4.0

N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AP99039  
 AA26000730

SHEET NO.:  
**R4.0**



1 EXTERIOR RENDERING  
R5.0/RS.0 N.T.S

JOB NO.	2005	NO.	DATE
DRAWN BY	CM, AM		
DATE	09-08-20		
CHECKED	CM, RR		

**CMA Design Studio, Inc.**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
6935 Sunrise Court  
Coral Gables, Florida 33133  
TITLE: EXTERIOR RENDERING

SEAL  
Lynsie Christine Conn  
FL Architect  
AP99099  
AA26600730

SHEET NO.:  
**R5.0**





1 EXTERIOR RENDERING

R6.0

N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

**CMA Design Studio, Inc.**  
 INTERIOR DESIGN  
 ARCHITECTURE PLANNING  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AP99039  
 AA26000730

SHEET NO.:  
**R6.0**



1 EXTERIOR RENDERING  
 R7.0/R7.0 N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AR99039  
 AA26000730

SHEET NO.:  
**R7.0**



1 EXTERIOR RENDERING

R8.0/R8.0

N.T.S

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

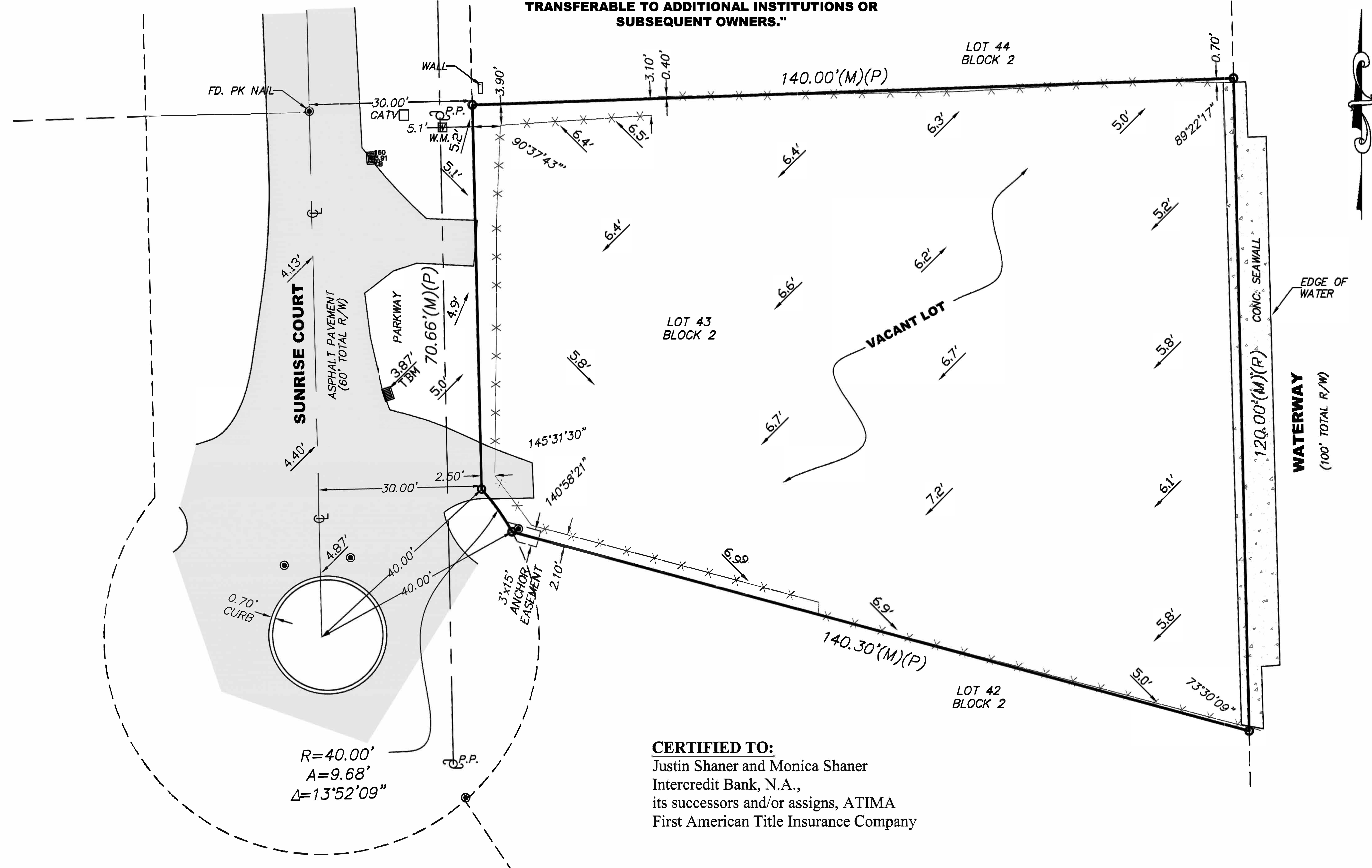
**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: EXTERIOR RENDERING

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AR99039  
 AA26000730

SHEET NO.:  
**R8.0**

**"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."**



$R=40.00'$   
 $A=9.68'$   
 $\Delta=13^{\circ}52'09''$

**CERTIFIED TO:**  
 Justin Shaner and Monica Shaner  
 Intercredit Bank, N.A.,  
 its successors and/or assigns, ATIMA  
 First American Title Insurance Company

6935 Sunrise Court, Coral Gables, FL 33133

Bearing, if any, shown based on N/A (reference) N/A

This property described as:  
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 BM # 512 (CORAL GABLES)  
 Elevation = 6.10 ft (N.G.V.D.)

REVISIONS:			
FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:
AE	120639	0478	L
F.I.R.M.DATE	F.I.R.M.INDEX	BASE ELEV.	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
09/11/09	09/11/09	+ 11 FT N.G.V.D.	

TOPOGRAPHIC SURVEY.  
 I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

*René Aiguesvives*  
 RENE AIGUESVIVES 12/05/19  
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.  
 Surveyors, Mappers and Land Planners  
 9789 Sunset Drive, Miami, FL 33173  
 Phone 305.220.2424 Fax 305.552.8181  
 L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
12/04/19	1"= 20'	P.A.	19-24517

- NOTE:**
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  - W.F. = Wood Fence
  - W.M. = Water Meter
  - W.V. = Water Valve
  - X, X = Denotes Spot Elevations Taken

DATE	
NO.	
JOB NO.	BOOS
DRAWN BY	CH, AM
DATE	08-15-20
CHECKED	CH, RR

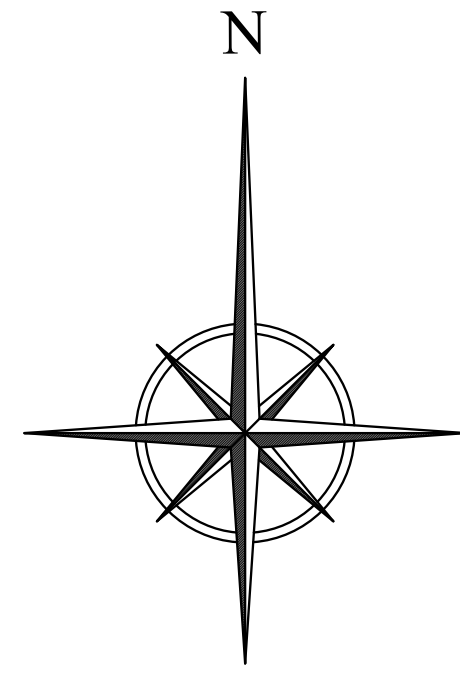
**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 232 Andalusia Avenue, Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133

TITLE: SURVEY

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AS29039  
 AA2600730

SHEET NO.:  
 G1.0



**PROPERTY ADDRESS**

6935 SUNRISE CT.  
CORAL GABLES, FL 33156

**LEGAL DESCRIPTION**

SUNRISE HARBOUR REV PL PB 65-22  
LOT 43 BLK 2  
LOT SIZE 13,600 SQ.FT

**FOLIO NUMBER**

03-4129-041-0630

**FEMA FIRM ZONE**

"AE"- BASE FLOOD ELEVATION 11'-0" + 1'-0"

**ZONING LEGEND**

NET SITE AREA (LOT SIZE): 13,770 SQ.FT.  
SFR - SINGLE FAMILY - GENERAL

**SETBACKS:**

FRONT SETBACK: 25'-0"  
REAR SETBACK: 35'-0"  
SIDE SETBACK (NORTH): 10'-0"  
SIDE SETBACK (SOUTH): 10'-0"

MAX. HT. ABOVE ESTABLISHED GRADE B.F. +1'  
(TOP FLOOR TOP OF TIE BEAM)

**REQUIRED**

25'-0"  
35'-0"  
10'-0"  
10'-0"

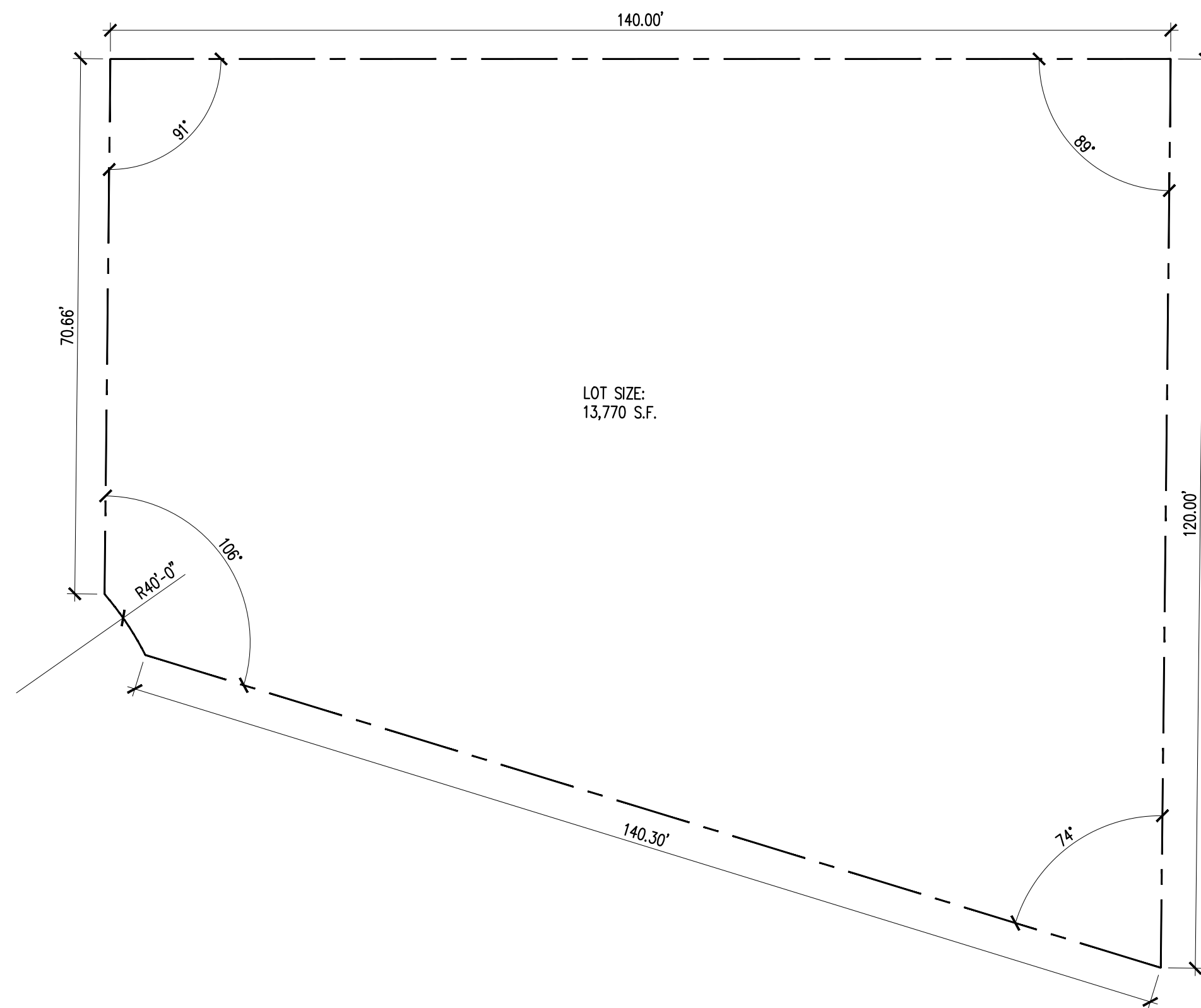
**PROVIDED**

25'-0"  
35'-0"  
10'-0"  
10'-0"

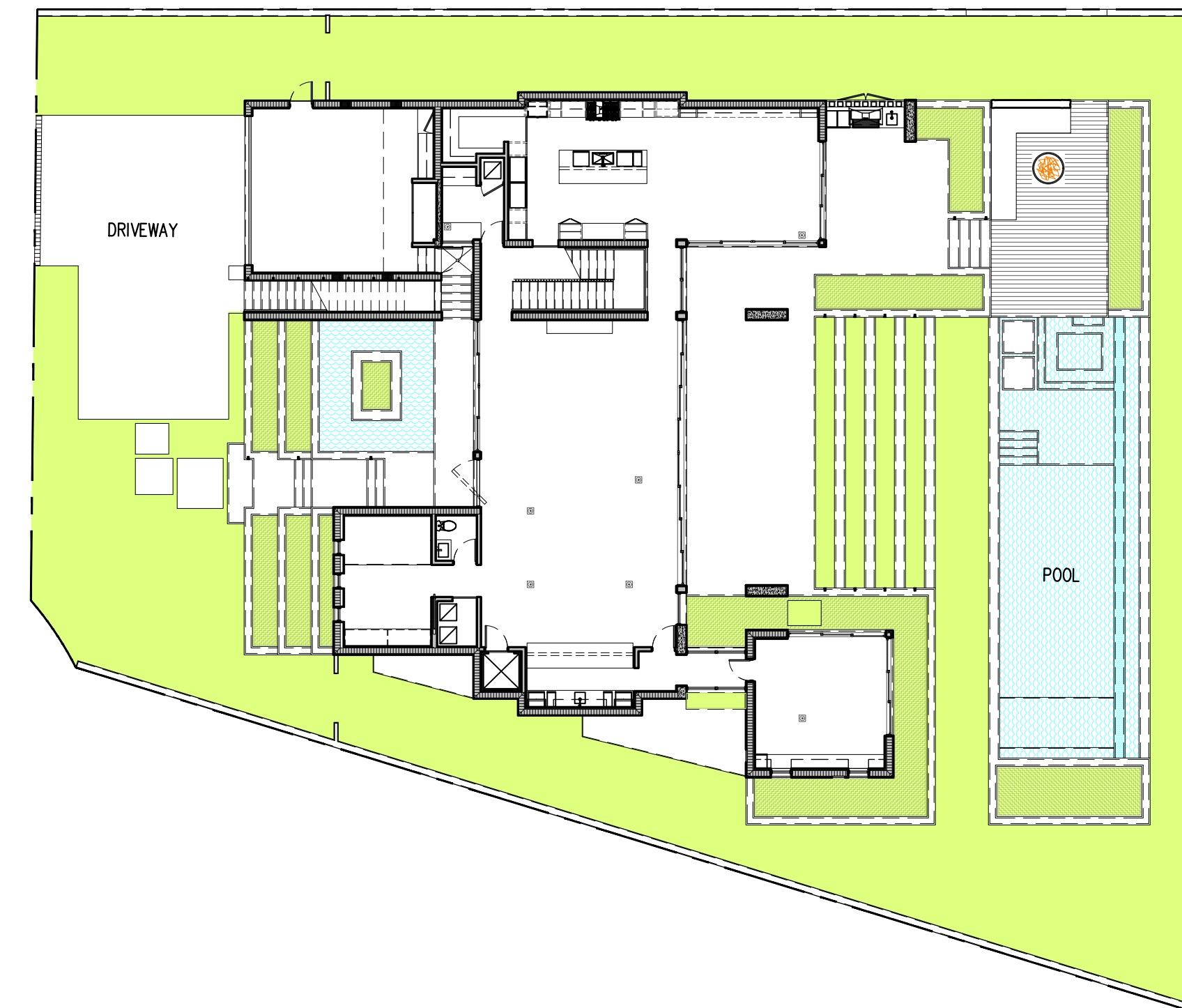
F.A.R. PERMITTED (LOT SIZE 13,770) :  
48% FOR FIRST 5,000 S.F. : 2,400 S.F.  
35% FOR SECOND 5,000 S.F. : 1,750 S.F.  
30% FOR BALANCE OF AREA (3,770 S.F.): 1,131 S.F.  
TOTAL PERMITTED: 5,281 S.F.  
TOTAL PROVIDED: 5,273 S.F.  
\* F.A.R. INCLUDES GARAGES AT 100%

LOT COVERAGE PERMITTED: (35%) : 4,819 S.F.  
LOT COVERAGE PERMITTED: (45%) POOL, WATER GAR. : 6,196 S.F.  
LANDSCAPE OPEN SPACE: (PROVIDE MIN.40%) : 5,508 SF  
FRONT YARD LANDSCAPING (PROV. MIN.20% OF 2,031 S.F.):

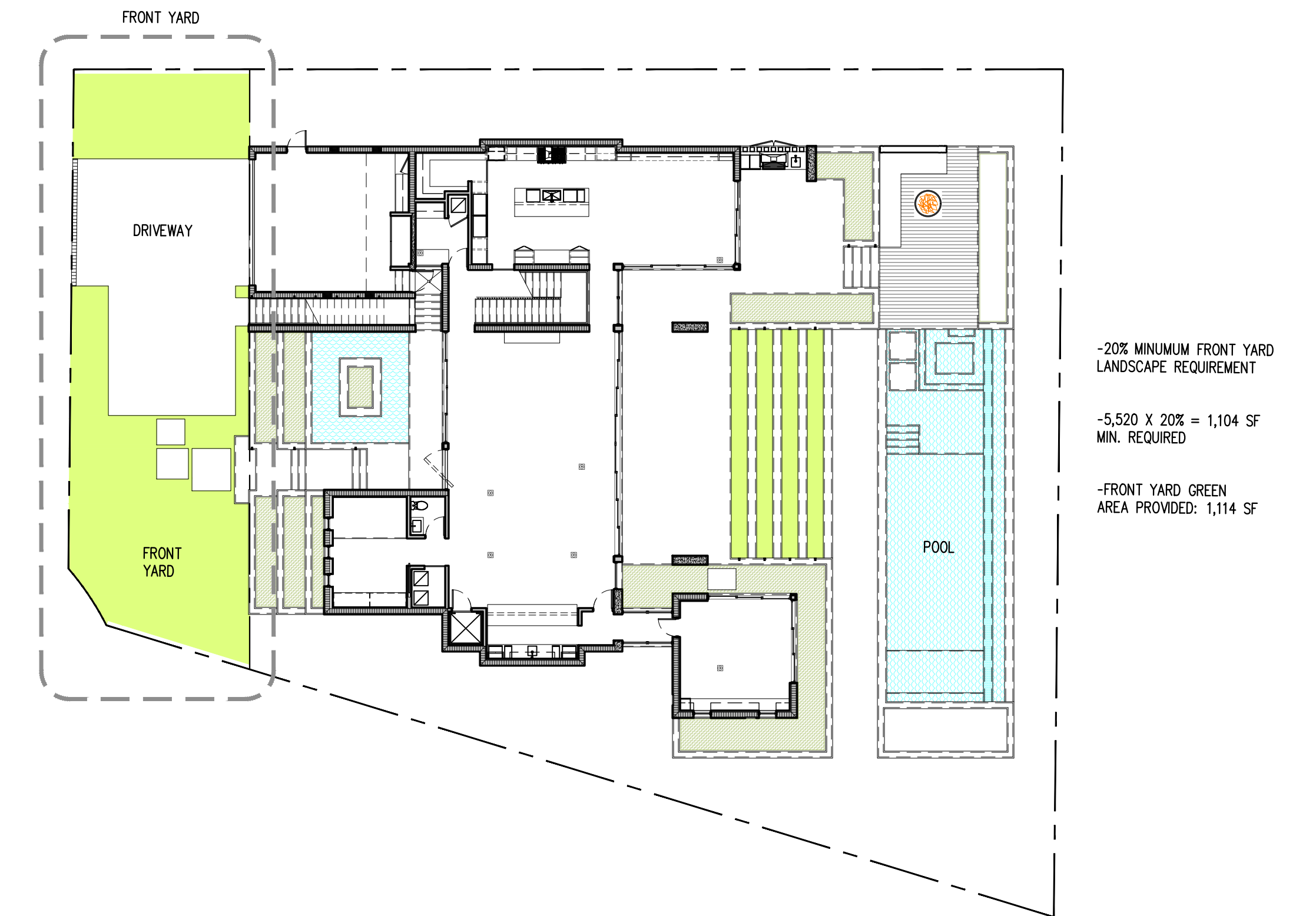
PROV: 4,315 S.F.  
PROV: 5,356 S.F.  
PROV: 5,520 S.F.  
PROV: 1,114 S.F.



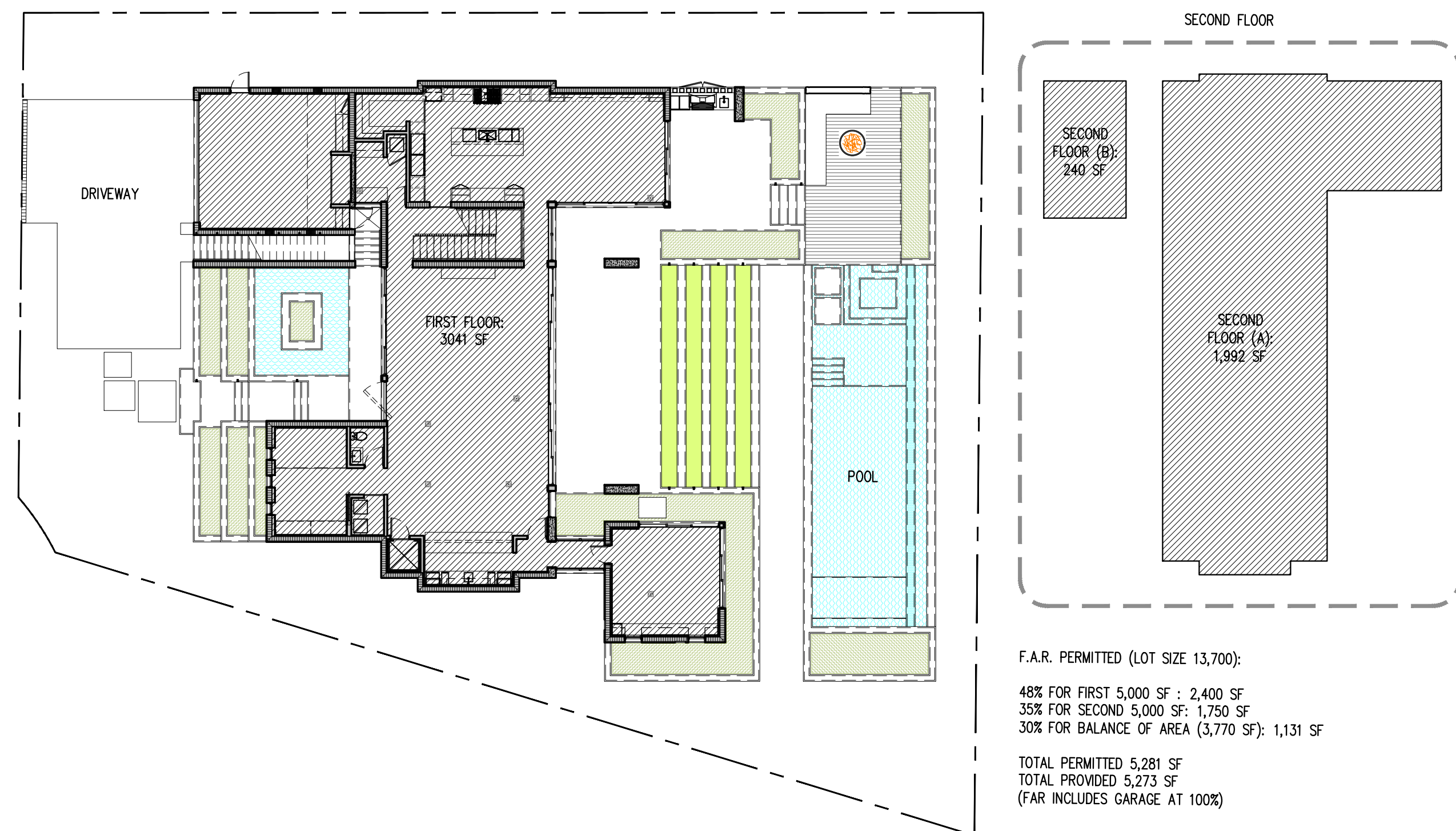
**1 SITE PLAN**  
AT 0/61.1 1/16" = 1'-0"



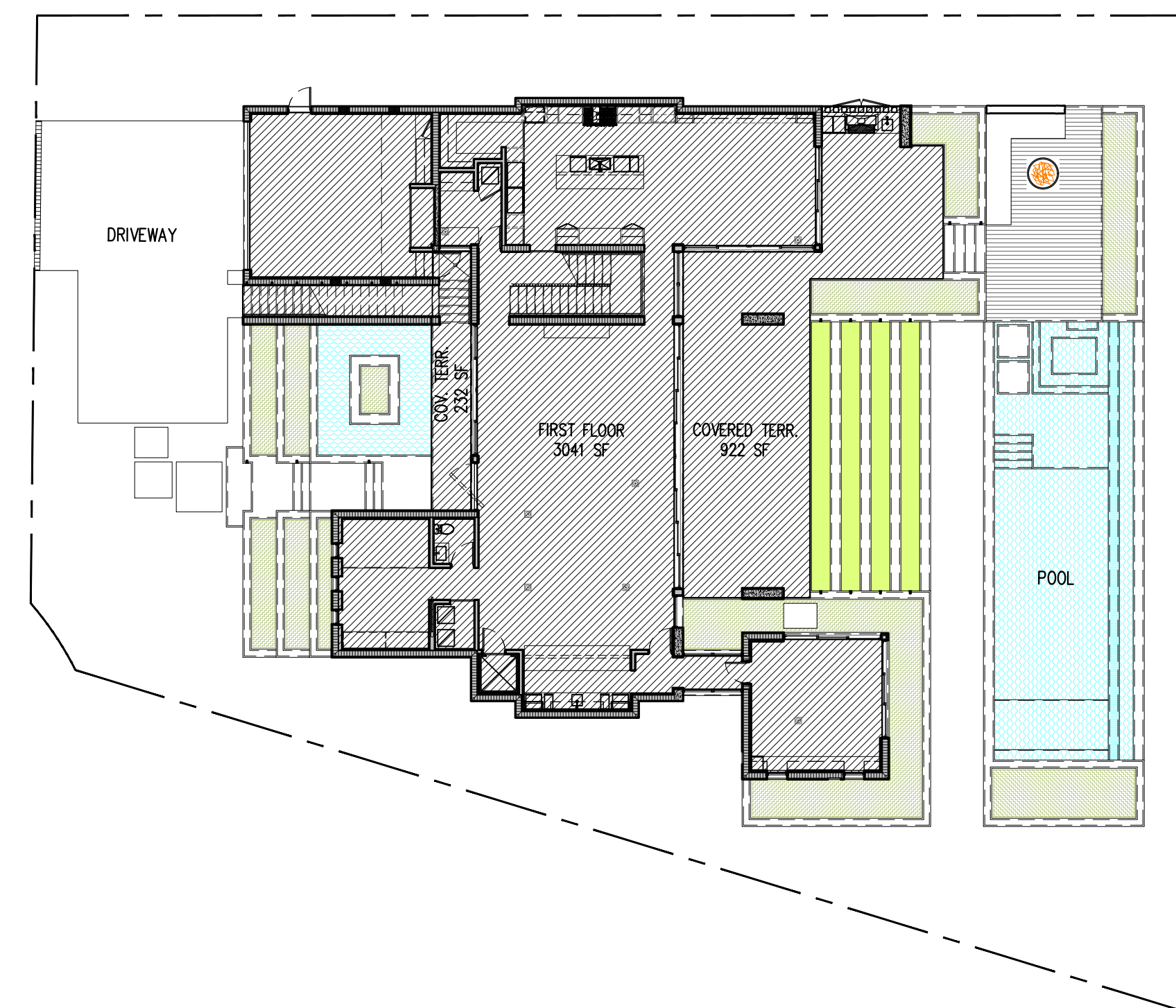
**2 40% LANDSCAPE MINIMUM**  
AT 0/61.1 1/16" = 1'-0"



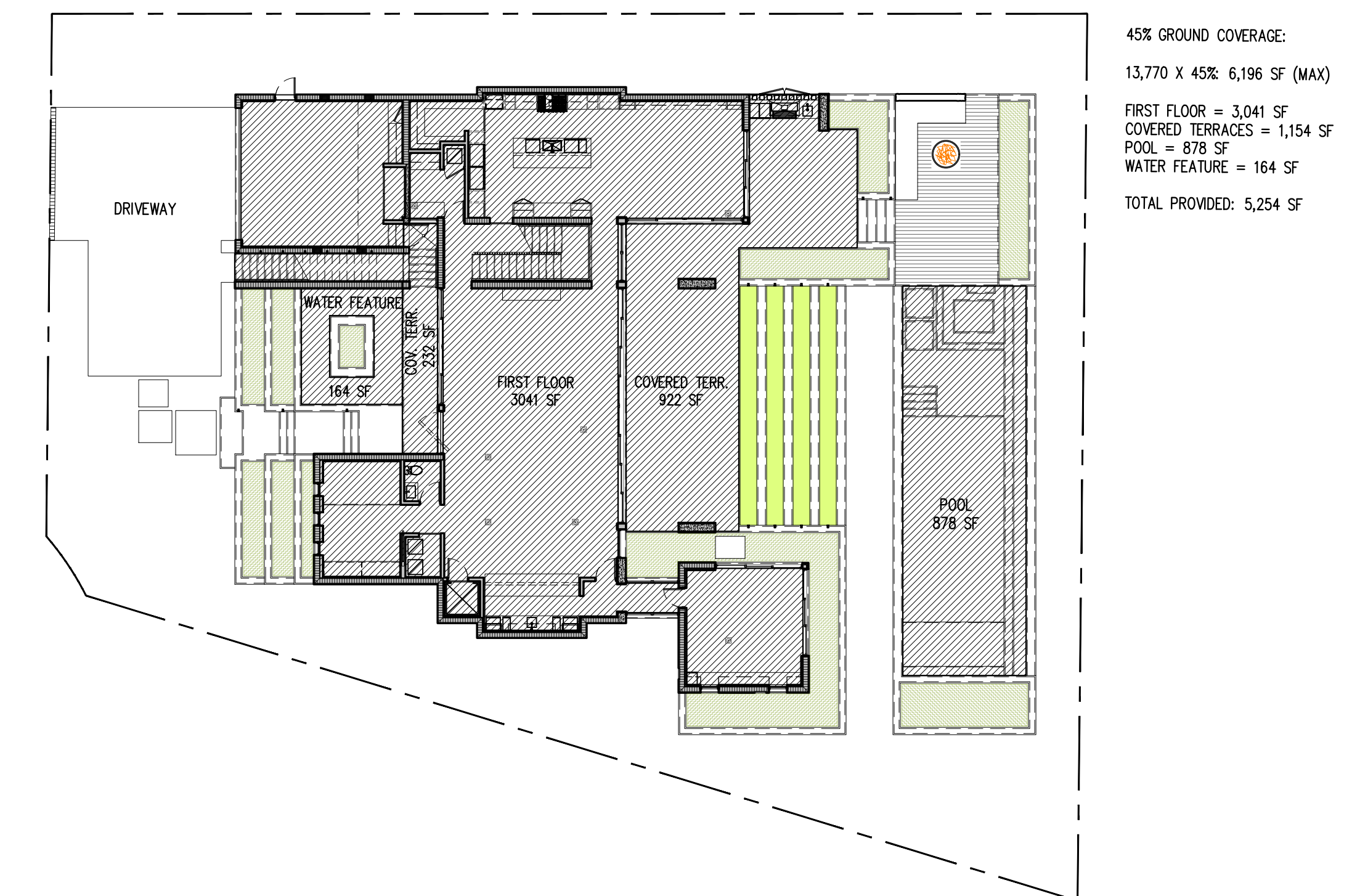
**3 20% FRONT LANDSCAPE MIN.**  
AT 0/61.1 1/16" = 1'-0"



**4 F.A.R.**  
AT 0/61.1 1/16" = 1'-0"



**5 35% GROUND COVERAGE**  
AT 0/61.1 1/16" = 1'-0"



**6 45% GROUND COVERAGE**  
AT 0/61.1 1/16" = 1'-0"

NO.	DATE

JOB NO.	2005	NO.	
DRAWN BY	CM, AM	DATE	09-15-21
CHECKED	CM, BR		

**CMA Design Studio, Inc.**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
6935 Sunrise Court  
Coral Gables, Florida 33133  
TITLE: ZONING PLANS

SEAL  
Lynsic Christine Com  
FL Architect  
AR990059  
A.A.20000730

SHEET NO.:  
**G1.1**

**PROPERTY ADDRESS**

6935 SUNRISE CT,  
CORAL GABLES, FL 33156

**LEGAL DESCRIPTION**

SUNRISE HARBOUR REV PL PB 65-22  
LOT 43 BLK 2  
LOT SIZE 13,600 SQ.FT

**FOLIO NUMBER**

03-4129-041-0630

**FEMA FIRM ZONE**

"AE"- BASE FLOOD ELEVATION 11'-0"

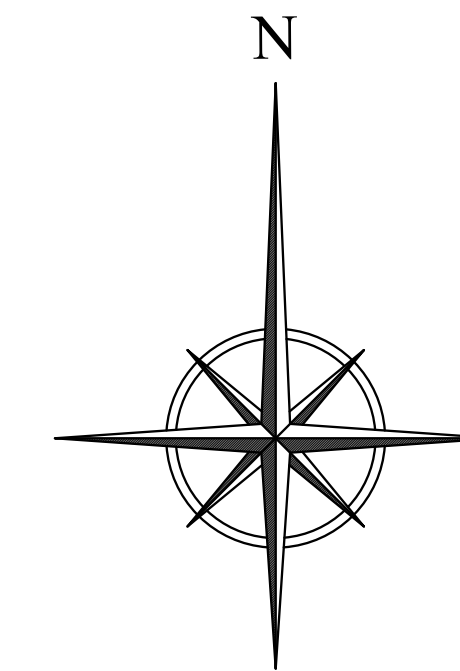
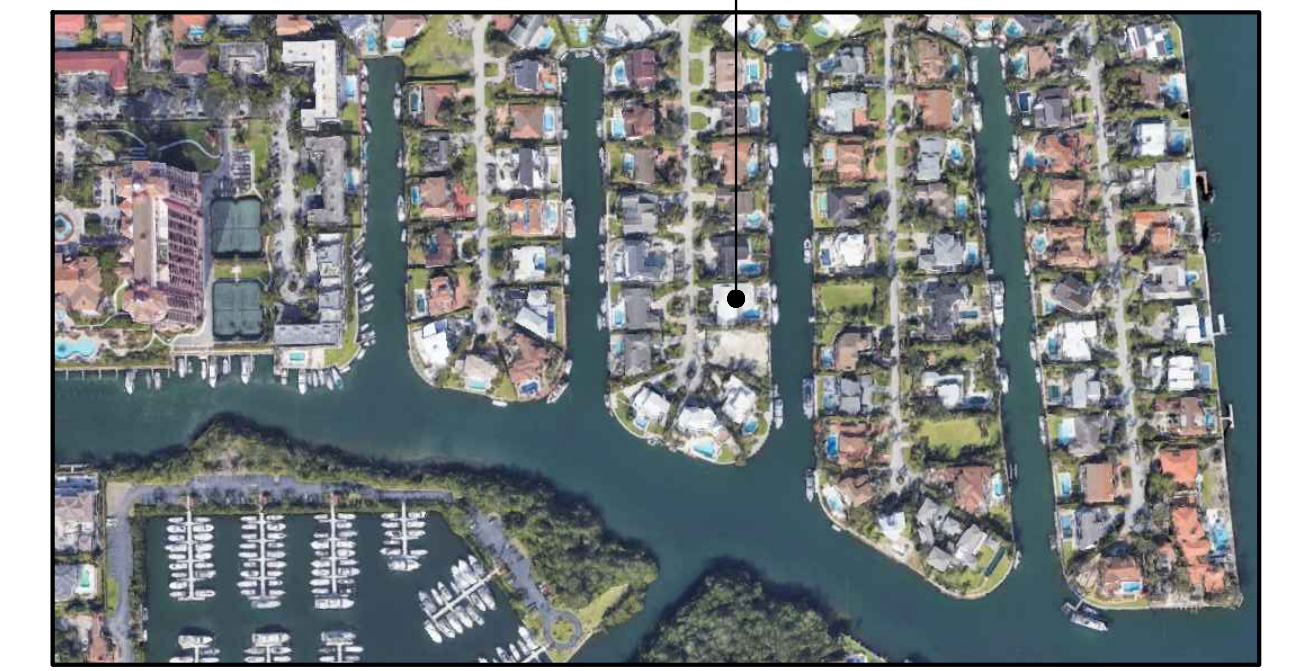
**AREAS PROVIDED**

AREAS PROVIDED	PROVIDED
<b>FIRST FLOOR</b>	
A/C AREA	2,854 S. F.
GARAGE	498 S. F.
NON A/C AREA	1,202 S. F.
<b>SECOND FLOOR</b>	
A/C AREA	2,430 S. F.
NON A/C AREA	1,302 S. F.
<b>GARAGE:</b>	498 S. F.
<b>TOTAL A/C AREAS:</b>	5,284 S. F.
<b>TOTAL NON A/C AREAS:</b>	2,504 S. F.
<b>TOTAL AREAS:</b>	8,286 S. F.
<b>TOTAL ADJUSTED:</b>	6,536 S. F.

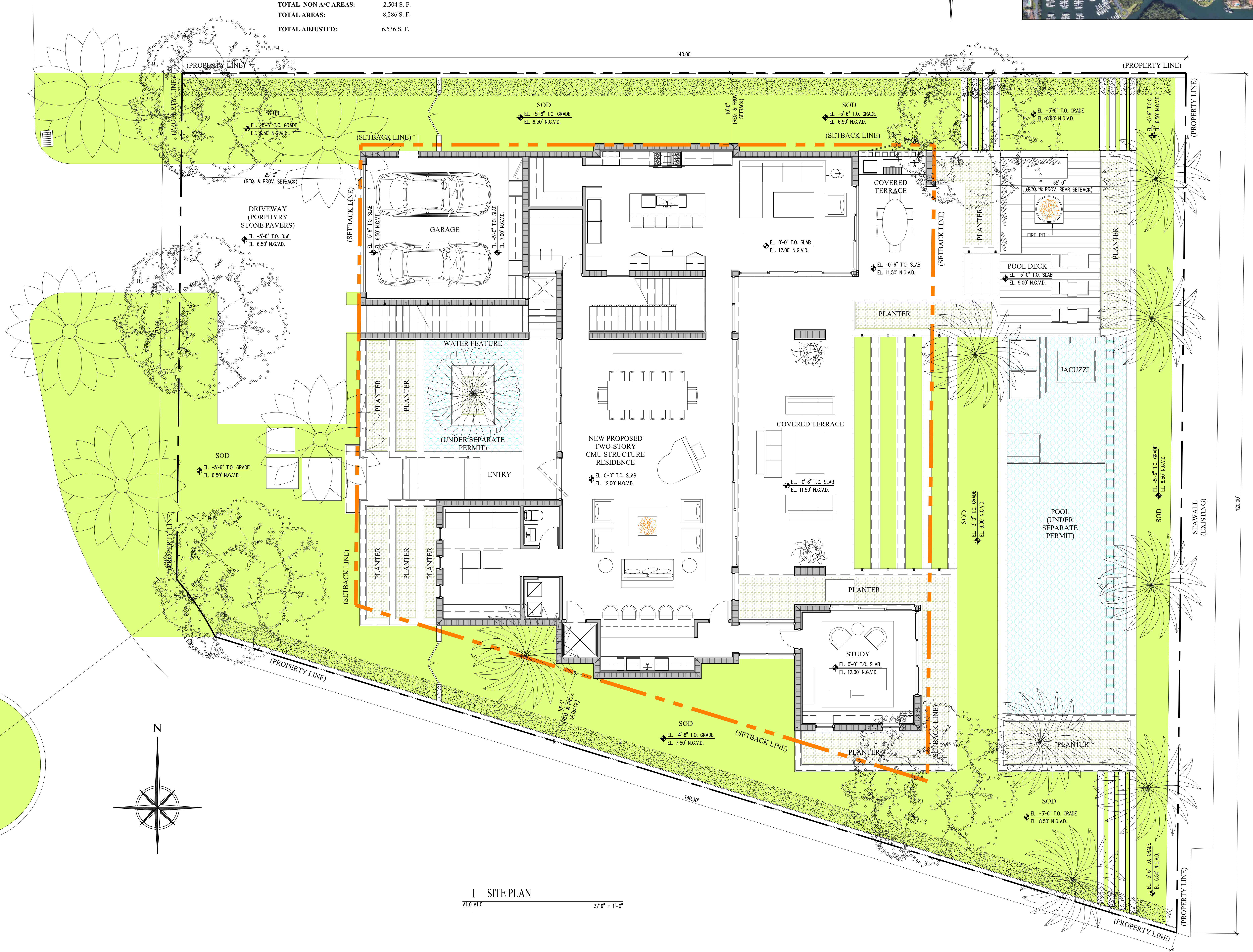
**ZONING LEGEND**

NET SITE AREA (LOT SIZE): 13,770 SQ.FT.	REQUIRED	PROVIDED
SFR - SINGLE FAMILY - GENERAL		
<b>SETBACKS:</b>		
FRONT SETBACK:	25'-0"	25'-0"
REAR SETBACK:	35'-0"	35'-0"
SIDE SETBACK (NORTH):	10'-0"	10'-0"
SIDE SETBACK (SOUTH):	10'-0"	10'-0"
<b>MAX. HT. ABOVE ESTABLISHED GRADE B.F. +1' (TOP FLOOR TOP OF THE BEAM)</b>	25'-0"	23'-6"

**PROJECT LOCATION**



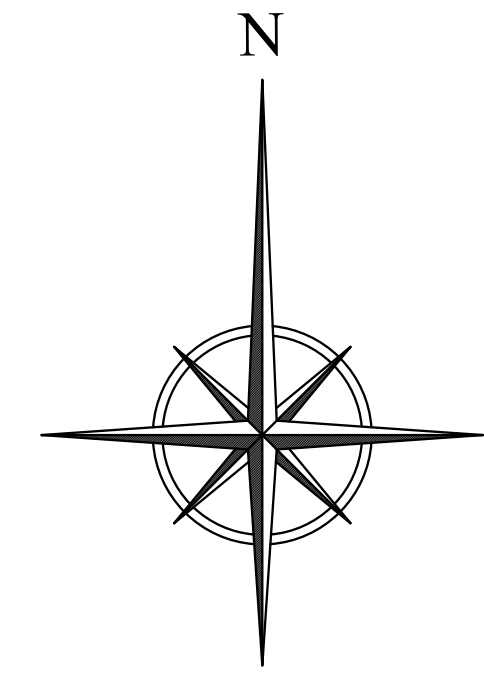
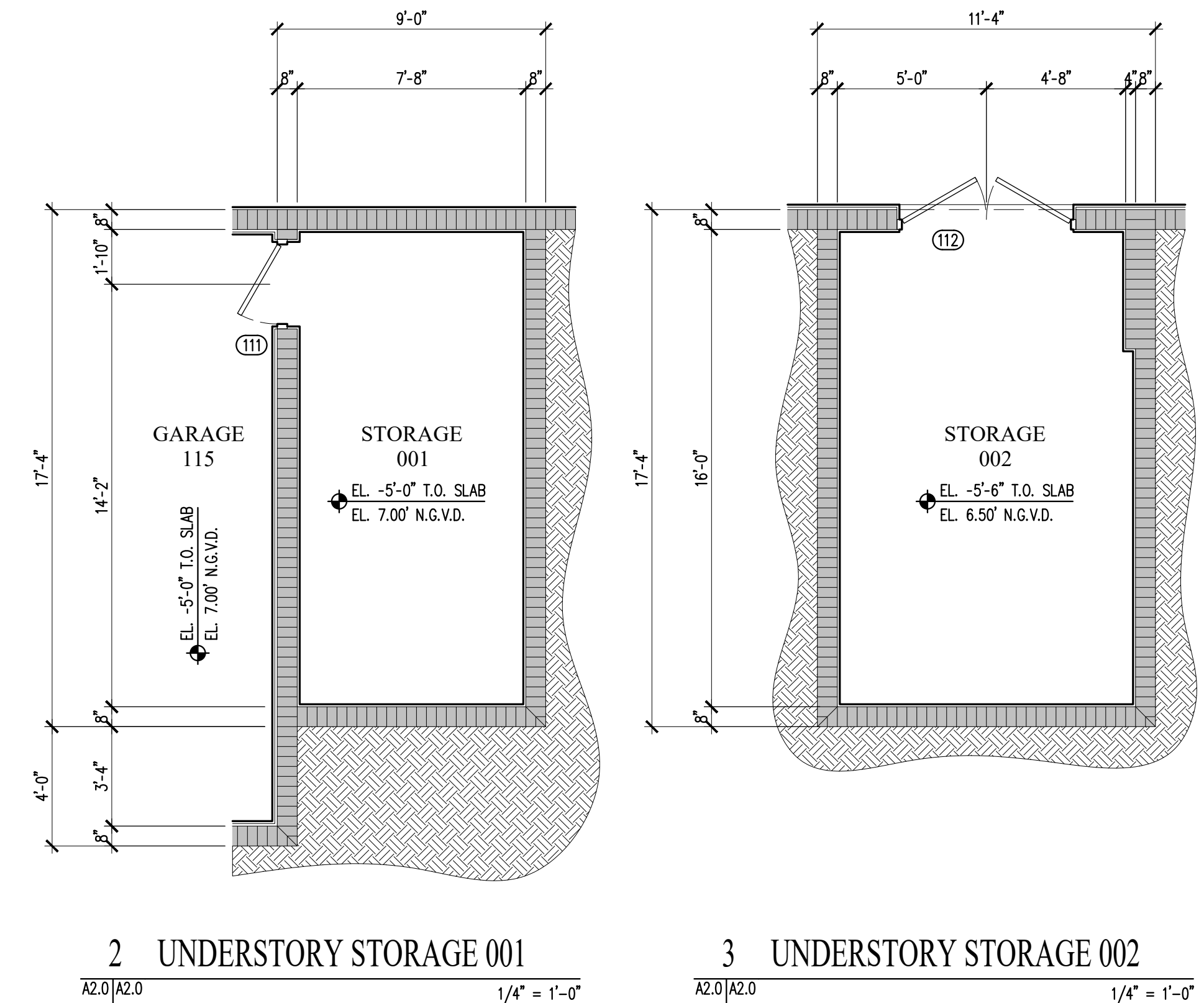
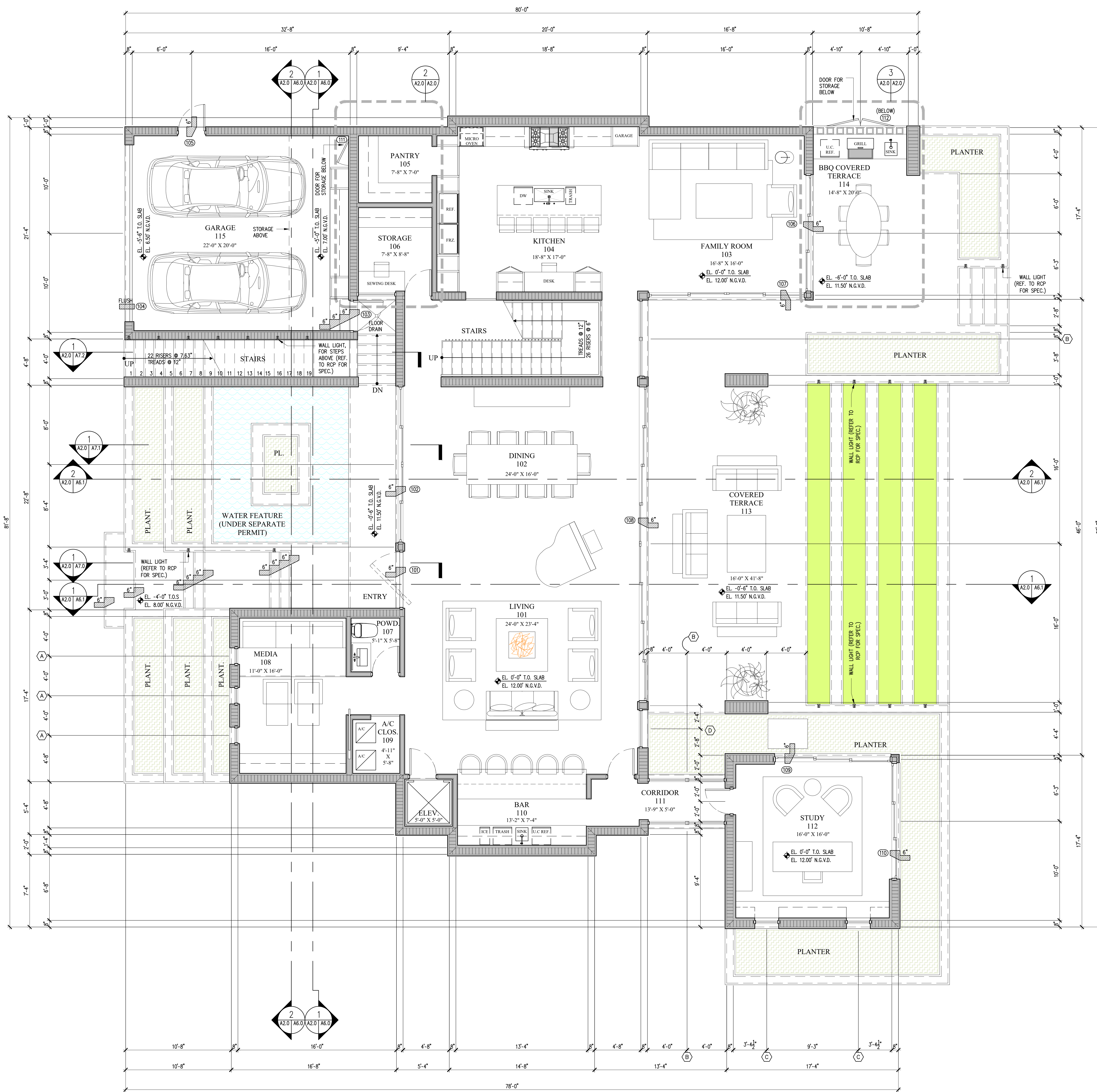
SUNRISE COURT



1 SITE PLAN  
AT:0/AT:0 3/16" = 1'-0"

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR
<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215	
<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: SITE PLAN	
SEAL	
Lynsne Christine Conn FL Architect AR99039 AA26600730	
SHEET NO.:	A1.0

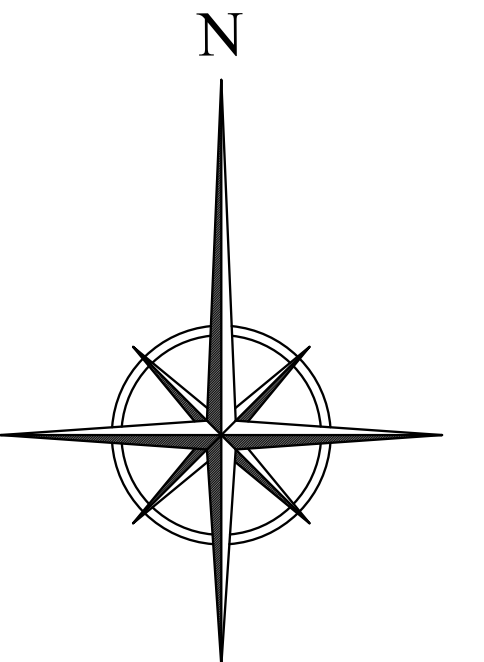
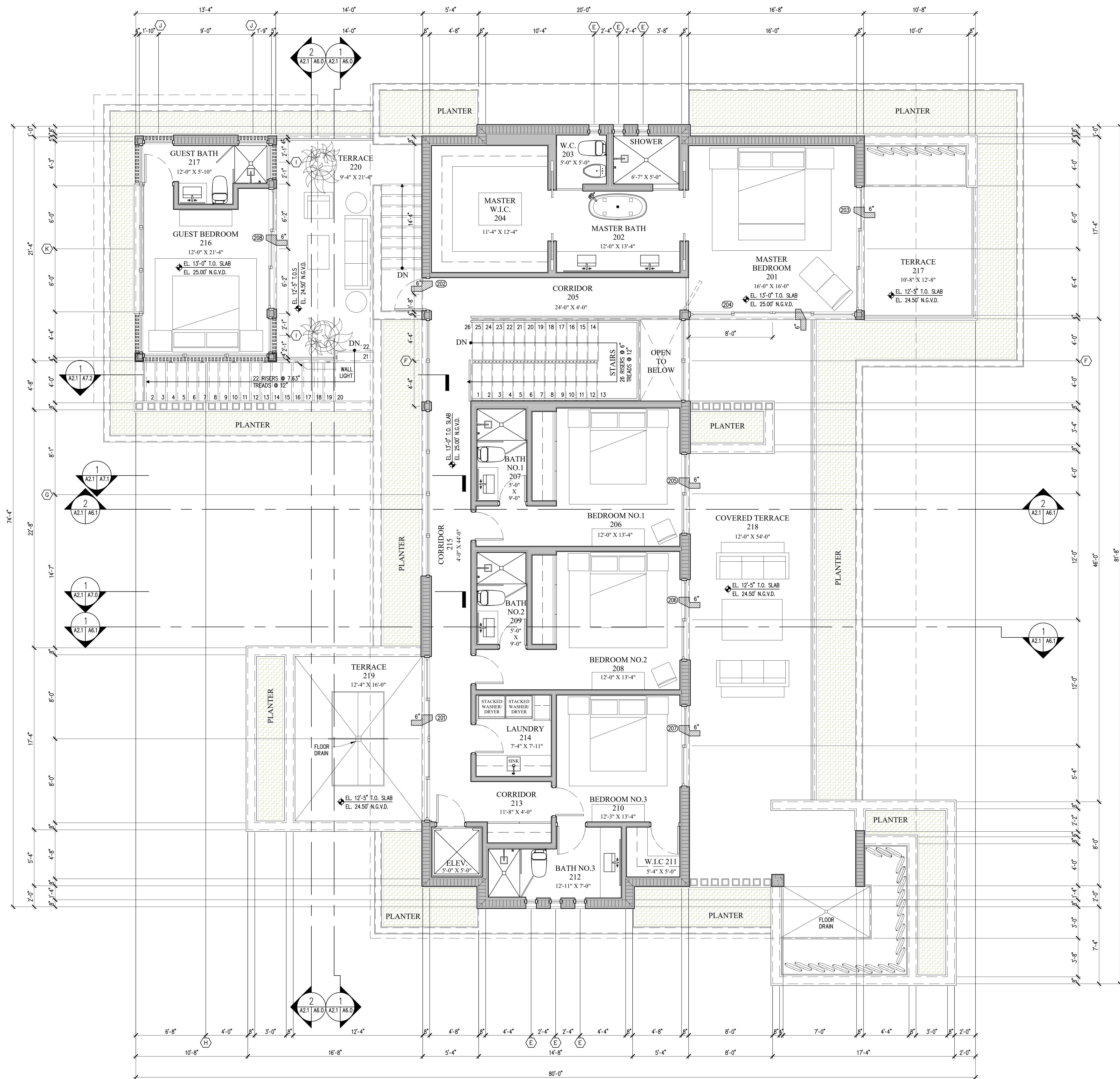
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1 FIRST FLOOR PLAN  
 1/4" = 1'-0"

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR
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<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: FIRST FLOOR PLAN	
SEAL	
Lynsie Christine Conn FL Architect AR99039 AA26000730	
SHEET NO.:	A2.0

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1 SECOND FLOOR PLAN  
 A2.1/A2.1 1/4" = 1'-0"

NO.	DATE

JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-08-20
CHECKED	CM, RR

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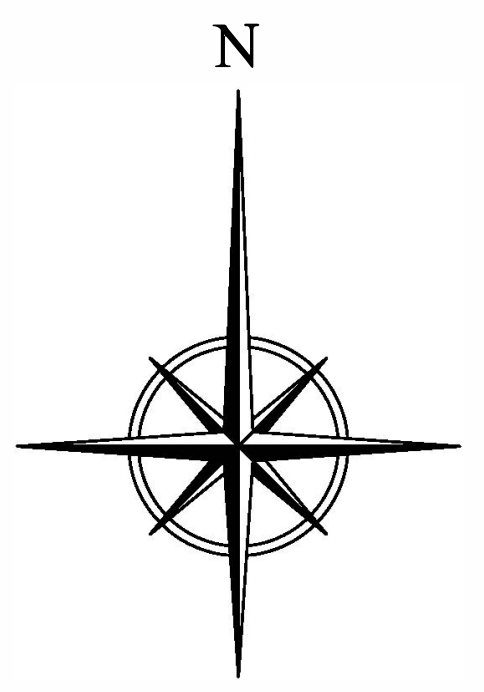
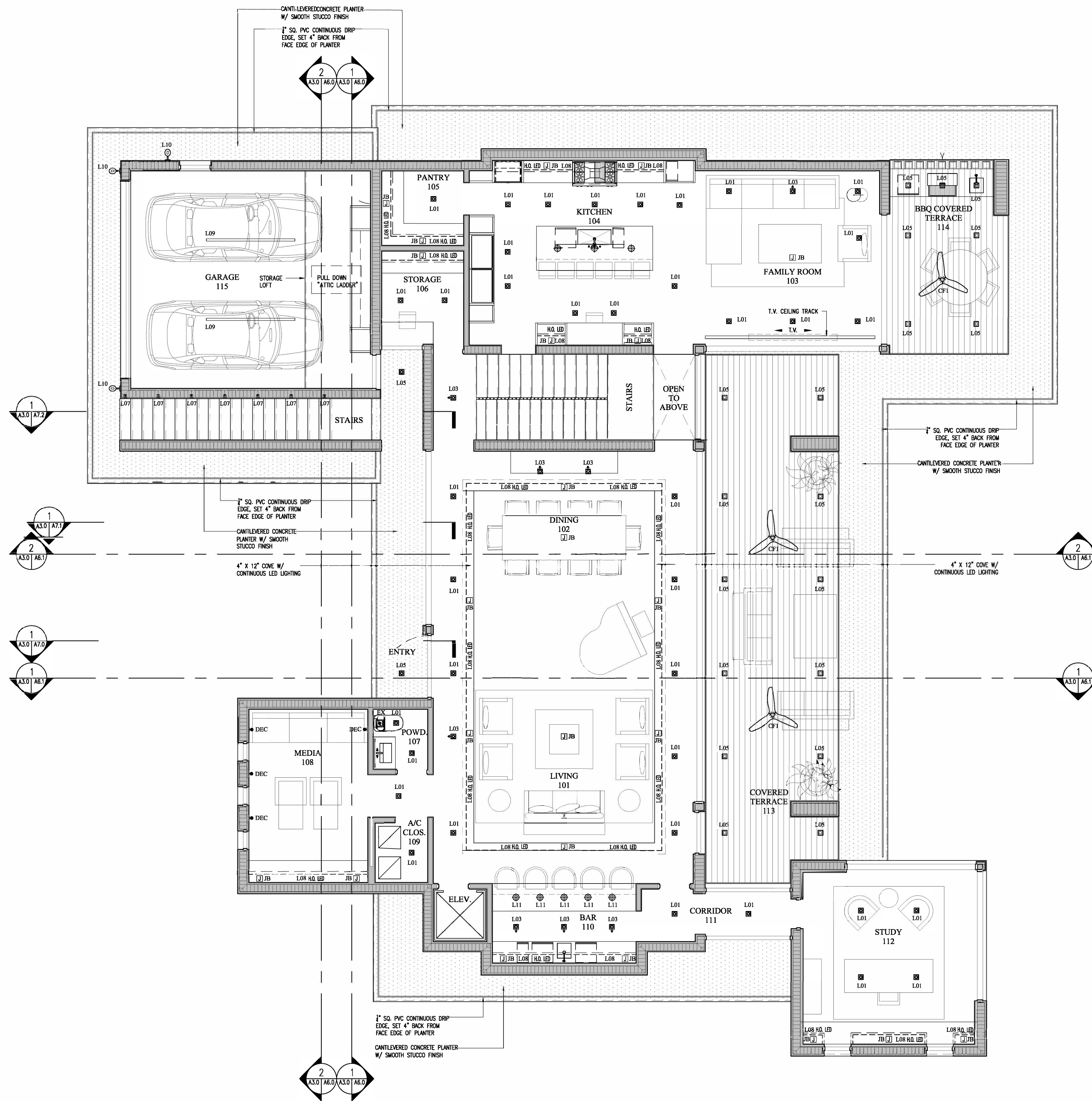
**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: SECOND FLOOR PLAN

SEAL  
 Lynsie Christine Conn  
 FL Architect  
 AR99039  
 AA26000730

SHEET NO.:  
**A2.1**

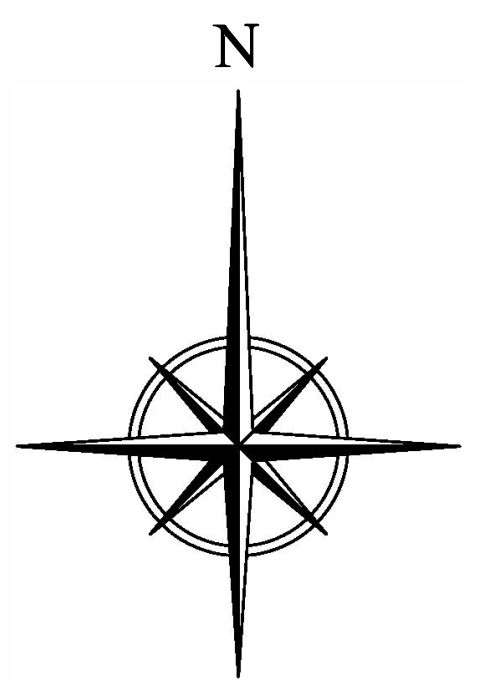
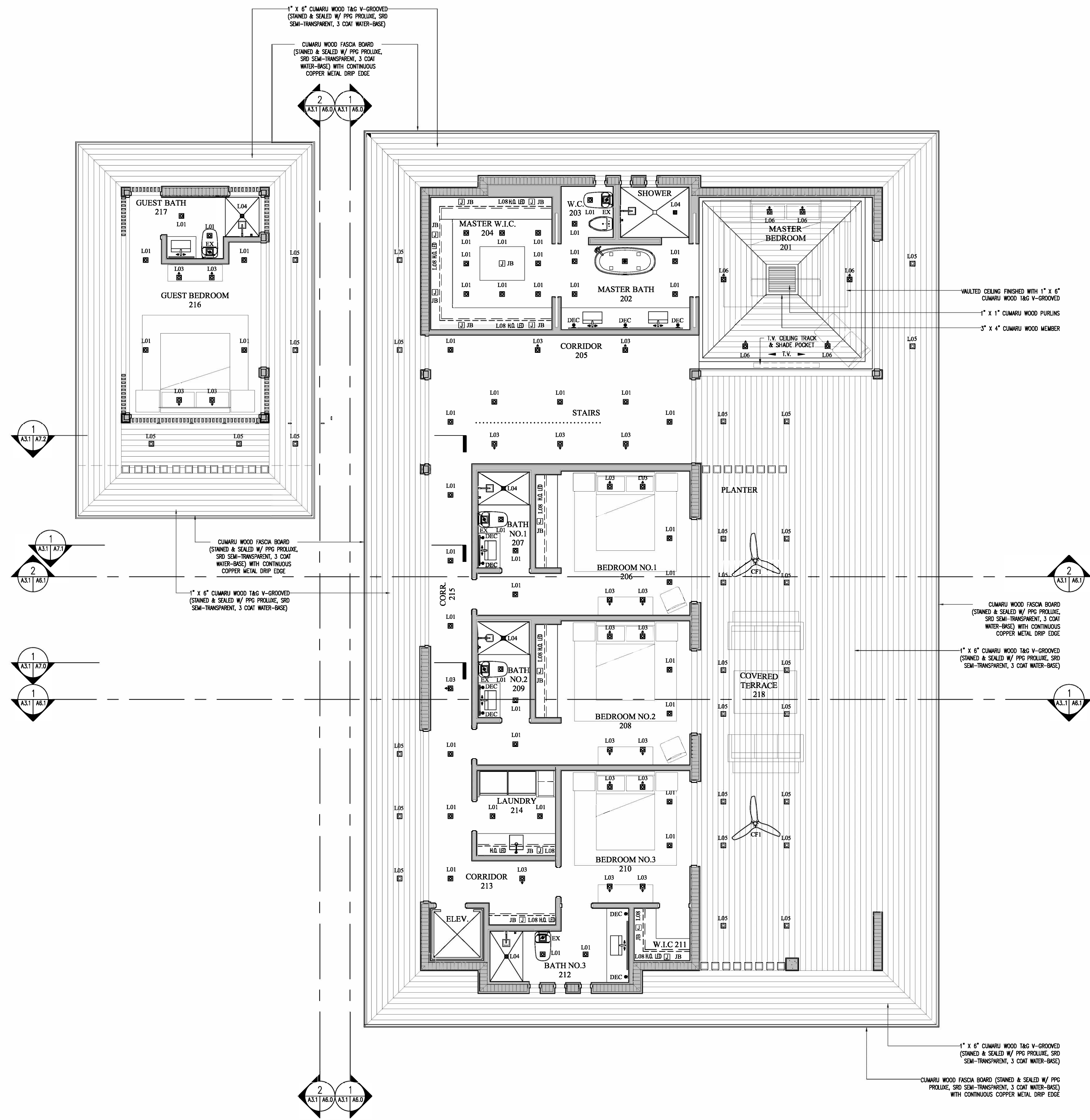
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1 FIRST FLOOR RCP  
 A2.0/A3.0 1/4" = 1'-0"

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, JM
DATE	09-28-20
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<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215	
<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: FIRST FLOOR RCP	
SEAL	
Lynise Christine Com FL Architect AR990059 AA-26007350	
SHEET NO.:	A3.0



1 SECOND FLOOR RCP

A2.1/A3.1 1/4" = 1'-0"

NO.	DATE

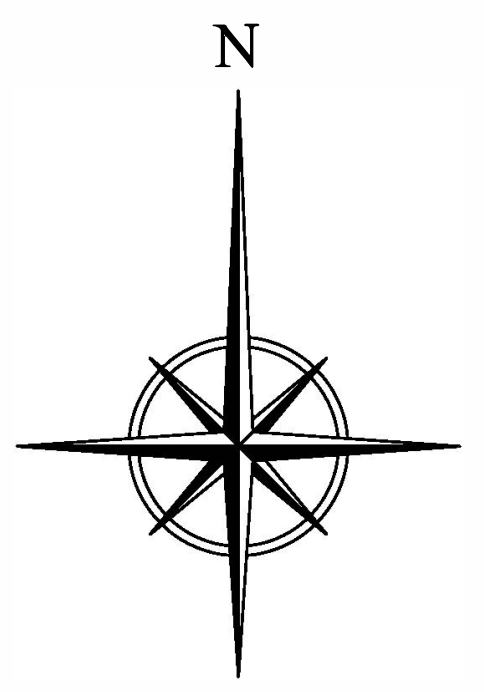
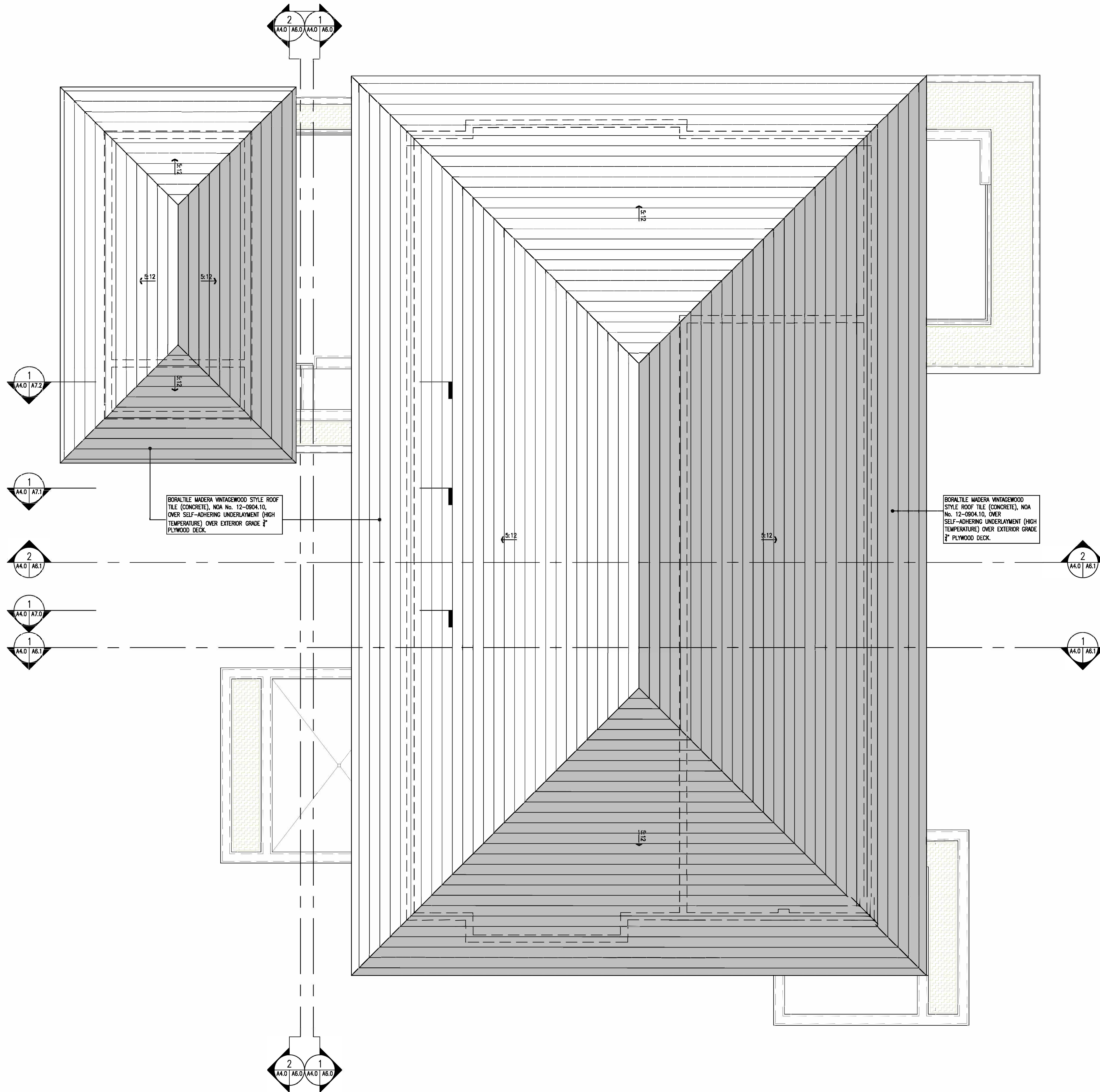
JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-28-20
CHECKED	CM, BR

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 ARCHITECTURE PLANNING  
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**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: SECOND FLOOR RCP

SEAL  
 Lynsic Christine Com  
 FL Architect  
 AR990059  
 AA-20000730

SHEET NO.:  
**A3.1**



BORAL TILE MADERA VINTAGEWOOD STYLE ROOF TILE (CONCRETE), MOA No. 12-0904.10, OVER SELF-ADHERING UNDERLAYMENT (HIGH TEMPERATURE) OVER EXTERIOR GRADE 1/2" PLYWOOD DECK.

BORAL TILE MADERA VINTAGEWOOD STYLE ROOF TILE (CONCRETE), MOA No. 12-0904.10, OVER SELF-ADHERING UNDERLAYMENT (HIGH TEMPERATURE) OVER EXTERIOR GRADE 1/2" PLYWOOD DECK.

1 ROOF PLAN  
 1/4" = 1'-0"

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, AM
CHECKED	CM, BR
DATE	09-28-20

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**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: ROOF PLAN

SEAL  
 Lynise Christine Conn  
 FL Architect  
 AR990059  
 AA-25000730

SHEET NO.:  
**A4.0**

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, AM
DATE	09-15-21
CHECKED	CM, BR

**CMA Design Studio, Inc.**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
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**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: FRONT & REAR ELEVATIONS

SEAL  
 Lynise Christine Com  
 FL Architect  
 AR990059  
 A-2-5000730

SHEET NO.:  
**A5.0**



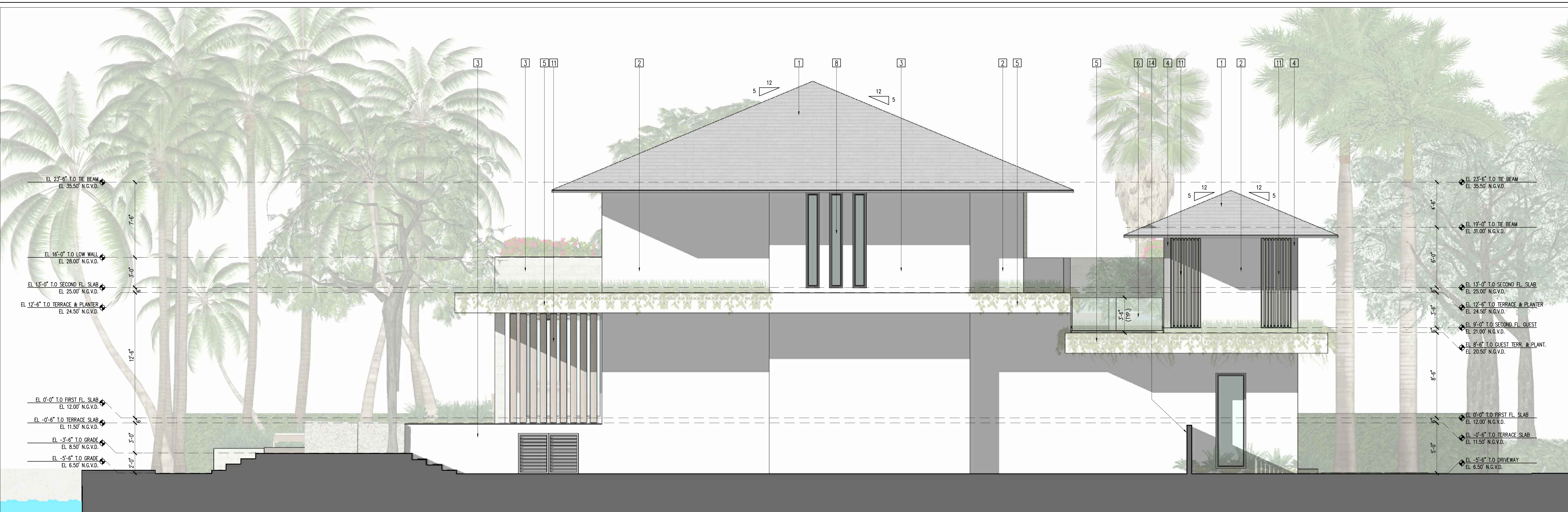
- |   |  |  |                       |
|---|--|--|-----------------------|
| 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF    | 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH                                   | 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING | 13 WATER FEATURE/POOL |
| 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT     | 6 42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3                             | 10 GARAGE DOOR W/ WOOD GRAIN FINISH                | 14 SITE WALL/ GATE    |
| 3 CORAL STONE CLADDING FINISH                       | 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING | 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH           |                       |
| 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH | 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING                      | 12 CUMARU WOOD CLADDING                            |                       |

**1 FRONT ELEVATION**  
 A2.0/A5.0  
 A2.11  
 A4.0  
 1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:  
 A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2.  
 B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.4.3(2).  
 C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2 & R4410.2.6.2.  
 D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



**2 REAR ELEVATION**  
 A2.0/A5.0  
 A2.11  
 A4.0  
 1/4" = 1'-0"



- 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF
- 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT
- 3 CORAL STONE CLADDING FINISH
- 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH
- 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH
- 6 42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3
- 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING
- 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING
- 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING
- 10 GARAGE DOOR W/ WOOD GRAIN FINISH
- 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH
- 12 CLUMARU WOOD CLADDING
- 13 WATER FEATURE/POOL
- 14 SITE WALL/ GATE

1 SIDE ELEVATION (NORTH)  
 A2.0/A5.1  
 R2.1  
 A4.0  
 1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:  
 A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2.  
 B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.4.3(2).  
 C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2 & R4410.2.6.2.  
 D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



2 SIDE ELEVATION (SOUTH)  
 A2.0/A5.1  
 R2.1  
 A4.0  
 1/4" = 1'-0"

JOB NO.	2005	DRAWN BY	CM, JAM	DATE	09-15-21
NO.		CHECKED	CM, BR		

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**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLE: SIDE ELEVATIONS

SEAL  
 Lynise Christine Com  
 FL Architect  
 AR99059  
 A.S.20090730

SHEET NO.:  
**A5.1**



- |   |  |  |                       |
|---|--|--|-----------------------|
| 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF    | 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH                                   | 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING | 13 WATER FEATURE/POOL |
| 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT     | 6 42\"/>   |  |                       |
| 3 CORAL STONE CLADDING FINISH                       | 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING | 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH           | 14 SITE WALL/ GATE    |
| 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH | 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING                      | 12 CUMARU WOOD CLADDING                            |                       |

**1 FRONT BUILDING SECTION**  
 A2.0/A6.0  
 A2.1  
 A4.0  
 1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:  
 A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2.  
 B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.4.3(2).  
 C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2 & R4410.2.6.2.  
 D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



**2 REAR BUILDING SECTION**  
 A2.0/A6.0  
 A2.1  
 A4.0  
 1/4" = 1'-0"

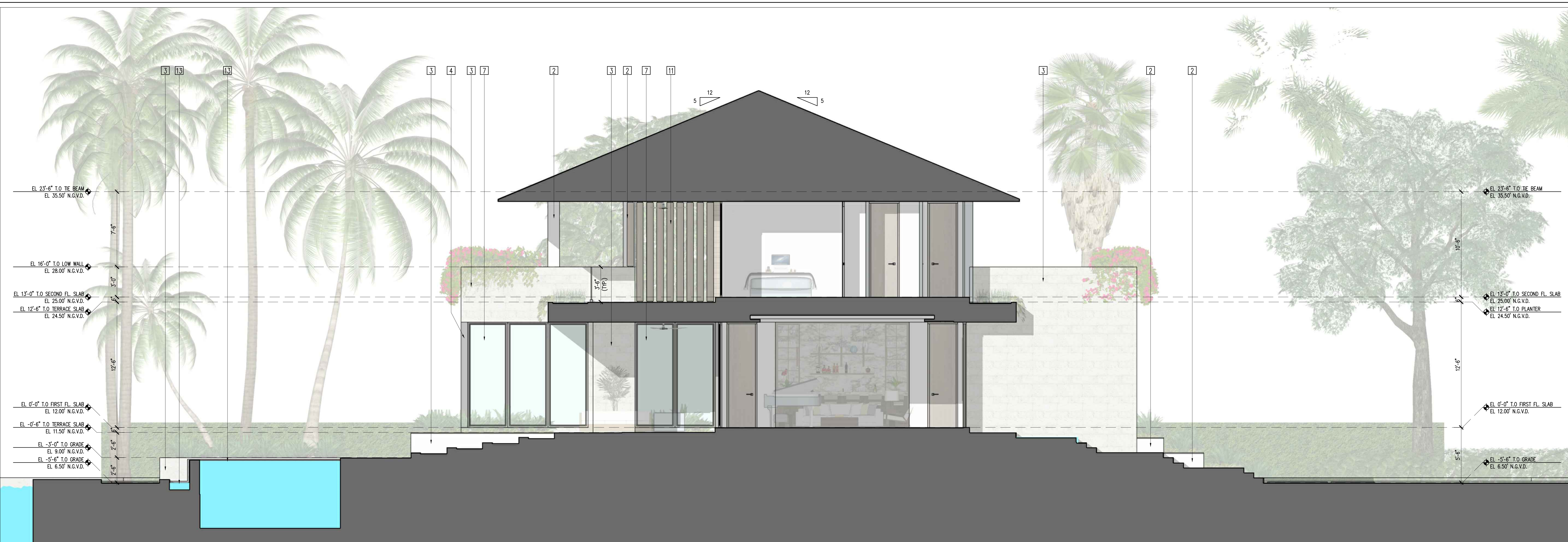
JOB NO.	2005	DRAWN BY	CM, JAM
DATE	09-15-21	CHECKED	CM, BR
NO.		DATE	

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**SHANER RESIDENCE**  
 6935 Sunrise Court  
 Coral Gables, Florida 33133  
 TITLES: FRONT & REAR SECTIONS

SEAL  
 Lynise Christine Com  
 FL Architect  
 AR999059  
 A.A.30000730

SHEET NO.:  
**A6.0**



- |   |  |  |                       |
|---|--|--|-----------------------|
| 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF    | 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH                                   | 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING | 13 WATER FEATURE/POOL |
| 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT     | 6 42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3                             | 10 GARAGE DOOR W/ WOOD GRAIN FINISH                | 14 SITE WALL/ GATE    |
| 3 CORAL STONE CLADDING FINISH                       | 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING | 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH           |                       |
| 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH | 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING                      | 12 CUMARU WOOD CLADDING                            |                       |

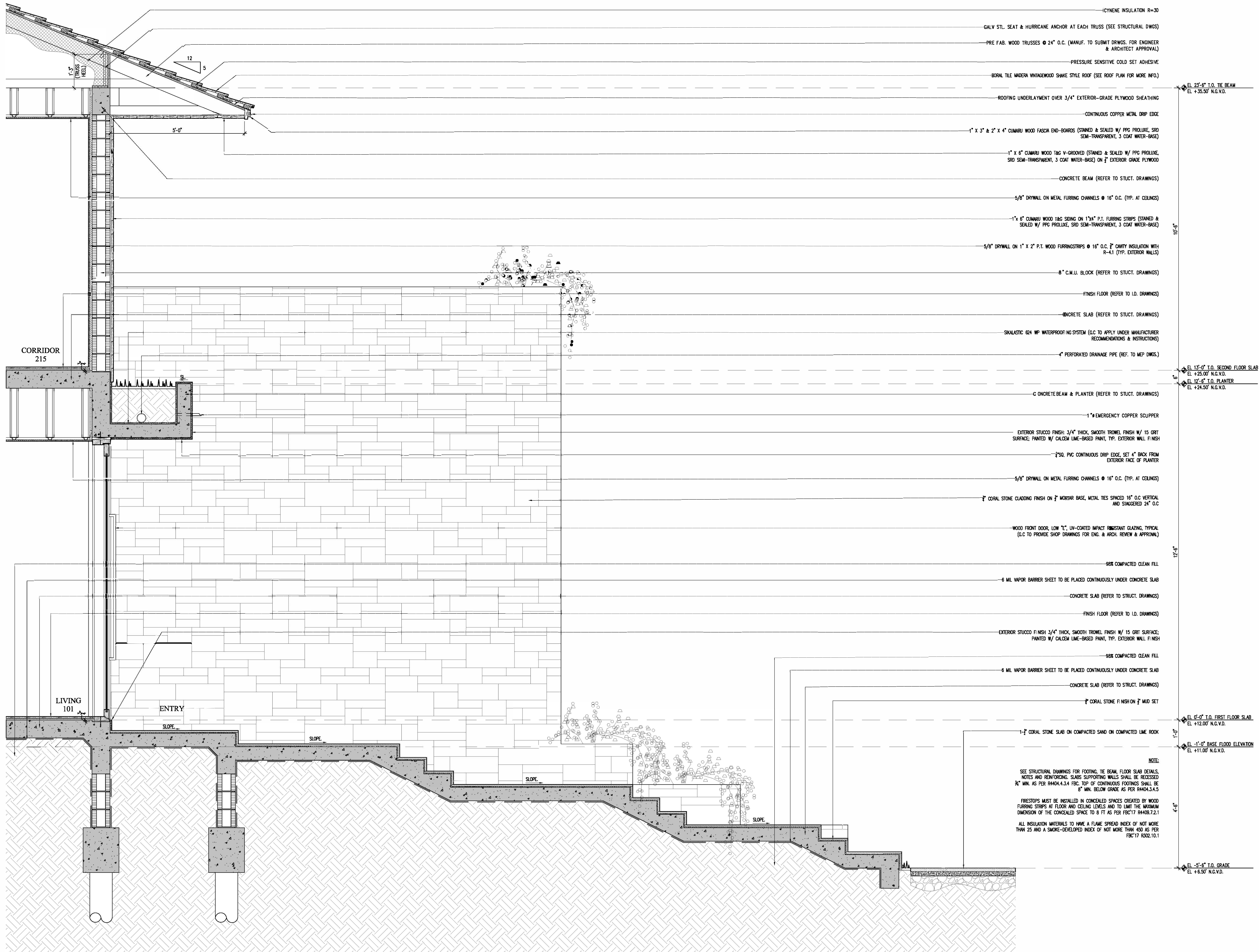
1 SIDE BUILDING SECTION  
 A2.0/A6.1  
 A2.1  
 A4.0 1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:  
 A--GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING--FBC R4410.2.3.1.3.2.  
 B--GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING--FBC R4410.2.4.3(2).  
 C--GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING--FBC R4410.2.3.1.3.2 & R4410.2.6.2.  
 D--GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING--FBC 4410.2.3.1.3.2.



2 SIDE BUILDING SECTION  
 A2.0/A6.1  
 A2.1  
 A4.0 1/4" = 1'-0"

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, JM
DATE	09-15-21
CHECKED	CM, BR
<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215	
<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: SIDE BUILDING SECTIONS	
SEAL	
Lynsic Christine Com FL Architect AR99059 A.S.0000730	
SHEET NO.:	A6.1



- POLYURETHANE INSULATION R=30
- GALV. STL. SEAT & HURRICANE ANCHOR AT EACH TRUSS (SEE STRUCTURAL DWGS)
- PRE-FAB. WOOD TRUSSES @ 24" O.C. (MANUF. TO SUBMIT DWGS. FOR ENGINEER & ARCHITECT APPROVAL)
- PRESSURE SENSITIVE COLD SET ADHESIVE
- BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF (SEE ROOF PLAN FOR MORE INFO.)
- ROOFING UNDERLAYMENT OVER 3/4" EXTERIOR-GRADE PLYWOOD SHEATHING
- CONTINUOUS COPPER METAL DRIP EDGE
- 1" X 3" & 2" X 4" CUMARU WOOD FASCIA END-BOARDS (STAINED & SEALED W/ PPG PROULUX, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE)
- 1" X 6" CUMARU WOOD TAG V-GROOVED (STAINED & SEALED W/ PPG PROULUX, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE) ON 1/2" EXTERIOR-GRADE PLYWOOD
- CONCRETE BEAM (REFER TO STRUCT. DRAWINGS)
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILING)
- 1" X 6" CUMARU WOOD TAG SIDING ON 1" X 4" P.T. FURRING STRIPS (STAINED & SEALED W/ PPG PROULUX, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE)
- 5/8" DRYWALL ON 1" X 2" P.T. WOOD FURRINGSTRIPS @ 16" O.C. 1/2" CMTY INSULATION WITH R-4.1 (TYP. EXTERIOR WALLS)
- 8" C.M.U. BLOCK (REFER TO STRUCT. DRAWINGS)
- FINISH FLOOR (REFER TO I.D. DRAWINGS)
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- SIKALASTIC 624 WP WATERPROOFING SYSTEM (G.C. TO APPLY UNDER MANUFACTURER RECOMMENDATIONS & INSTRUCTIONS)
- 4" PERFORATED DRAINAGE PIPE (REF. TO MEP DWGS.)
- CONCRETE BEAM & PLANTER (REFER TO STRUCT. DRAWINGS)
- 1" EMERGENCY COPPER SCUPPER
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE. PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- 1/2" PVC CONTINUOUS DRIP EDGE, SET 4" BACK FROM EXTERIOR FACE OF PLANTER
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILING)
- 1/2" CORAL STONE CLADDING FINISH ON 1/2" MORTAR BASE, METAL TIES SPACED 16" O.C. VERTICAL AND STAGGERED 24" O.C.
- WOOD FRONT DOOR, LOW E, UN-COATED IMPACT RESISTANT GLAZING, TYPICAL (G.C. TO PROVIDE SHOP DRAWINGS FOR ENG. & ARCH. REVIEW & APPROVAL)
- 98% COMPACTED CLEAN FILL
- 6 MIL VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- FINISH FLOOR (REFER TO I.D. DRAWINGS)
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE. PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- 98% COMPACTED CLEAN FILL
- 6 MIL VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- 1/2" CORAL STONE FINISH ON 1/2" MUD SET
- 1/2" CORAL STONE SLAB ON COMPACTED SAND ON COMPACTED LIME ROCK

EL. 23'-6" T.O. THE BEAM  
EL. +35.50' N.G.V.D.

10'-9"

EL. 13'-0" T.O. SECOND FLOOR SLAB  
EL. +25.00' N.G.V.D.

EL. 12'-6" T.O. PLANTER  
EL. +24.50' N.G.V.D.

17'-5"

EL. 0'-0" T.O. FIRST FLOOR SLAB  
EL. +12.00' N.G.V.D.

EL. -1'-0" BASE FLOOD ELEVATION  
EL. +11.00' N.G.V.D.

4'-5"

EL. -5'-6" T.O. GRADE  
EL. +6.50' N.G.V.D.

NOTE:  
SEE STRUCTURAL DRAWINGS FOR FOOTING, TIE BEAM, FLOOR SLAB DETAILS, NOTES AND REINFORCING. SLABS SUPPORTING WALLS SHALL BE RECESSED 3/8" MIN. AS PER R404.4.3.4. FBC. TOP OF CONTINUOUS FOOTINGS SHALL BE 8" MIN. BELOW GRADE AS PER R404.3.4.5  
FRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC'17 R409.7.2.1  
ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC'17 R302.10.1

1 WALL SECTION  
A2.01/17.0  
A2.1  
A4.0  
3/16" = 1'-0"

DATE	
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JOB NO.	2005
DRAWN BY	CM, JAM
DATE	09-28-20
CHECKED	CM, BR

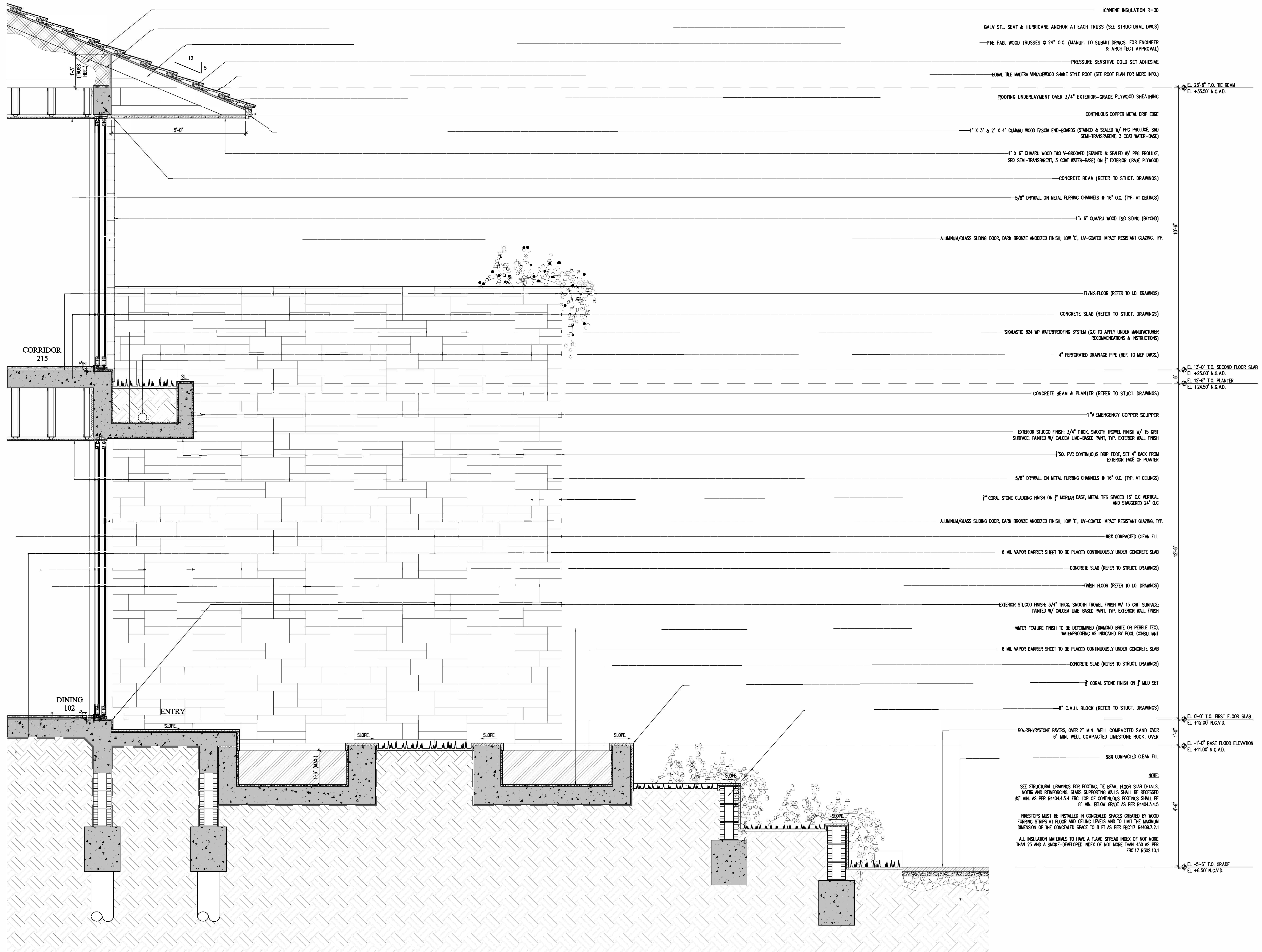
**CMA Design Studio, Inc.**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
232 Andalusia Avenue - Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215

**SHANER RESIDENCE**  
6935 Sunrise Court  
Coral Gables, Florida 33133  
TITLES WALL SECTION

SEAL  
Lynsic Christine Com  
FL Architect  
A899059  
A-25600730

SHEET NO.:  
A7.0





- POLYURETHANE INSULATION R=30
- GALV. STL. SEAT & HURRICANE ANCHOR AT EACH TRUSS (SEE STRUCTURAL DWGS)
- PRE-FAB. WOOD TRUSSES @ 24" O.C. (MANUF. TO SUBMIT DWGS. FOR ENGINEER & ARCHITECT APPROVAL)
- PRESSURE SENSITIVE COLD SET ADHESIVE
- BORA TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF (SEE ROOF PLAN FOR MORE INFO.)
- ROOFING UNDERLAYMENT OVER 3/4" EXTERIOR-GRADE PLYWOOD SHEATHING
- CONTINUOUS COPPER METAL DRIP EDGE
- 1" X 3" & 2" X 4" CUMARU WOOD FASCIA END-BOARDS (STAINED & SEALED W/ PPG PROLINE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE)
- 1" X 6" CUMARU WOOD TAG V-GROOVED (STAINED & SEALED W/ PPG PROLINE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE) ON 1/2" EXTERIOR GRADE PLYWOOD
- CONCRETE BEAM (REFER TO STRUCT. DRAWINGS)
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILING)
- 1" X 6" CUMARU WOOD TAG SIDING (BEYOND)
- ALUMINUM/GLASS SLIDING DOOR, DARK BRONZE ANODIZED FINISH; LOW 'E', UV-COATED IMPACT RESISTANT GLAZING, TYP.
- FINISH FLOOR (REFER TO I.D. DRAWINGS)
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- SIKALASTIC 624 WP WATERPROOFING SYSTEM (S.C. TO APPLY UNDER MANUFACTURER RECOMMENDATIONS & INSTRUCTIONS)
- 4" PERFORATED DRAINAGE PIPE (REF. TO MEP DWGS)
- EL 23'-6" T.O. THE BEAM  
EL +35.50' N.G.V.D.
- EL 13'-0" T.O. SECOND FLOOR SLAB  
EL +25.00' N.G.V.D.
- EL 12'-6" T.O. PLANTER  
EL +24.50' N.G.V.D.
- CONCRETE BEAM & PLANTER (REFER TO STRUCT. DRAWINGS)
- 1" EMERGENCY COPPER SCUPPER
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE; PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- 1/2" PVC CONTINUOUS DRIP EDGE, SET 4" BACK FROM EXTERIOR FACE OF PLANTER
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILING)
- 1/2" CORAL STONE CLADDING FINISH ON 1/2" MORTAR BASE, METAL TIES SPACED 16" O.C. VERTICAL AND STAGGERED 24" O.C.
- ALUMINUM/GLASS SLIDING DOOR, DARK BRONZE ANODIZED FINISH; LOW 'E', UV-COATED IMPACT RESISTANT GLAZING, TYP.
- 80% COMPACTED CLEAN FILL
- 6 ML VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- FINISH FLOOR (REFER TO I.D. DRAWINGS)
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE; PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- WATER FEATURE FINISH TO BE DETERMINED (DIAMOND BRITE OR PEBBLE TEC), WATERPROOFING AS INDICATED BY POOL CONSULTANT
- 6 ML VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- CORAL STONE FINISH ON 1/2" MUD SET
- 8" C.M.U. BLOCK (REFER TO STRUCT. DRAWINGS)
- EL 0'-0" T.O. FIRST FLOOR SLAB  
EL +12.00' N.G.V.D.
- EL -1'-0" BASE FLOOD ELEVATION  
EL +11.00' N.G.V.D.
- 80% COMPACTED CLEAN FILL
- 1/4" POLYURETHANE POWERS, OVER 2" MIN. WELL COMPACTED SAND OVER 6" MIN. WELL COMPACTED LIMESTONE ROCK, OVER
- EL -5'-6" T.O. GRADE  
EL +6.50' N.G.V.D.

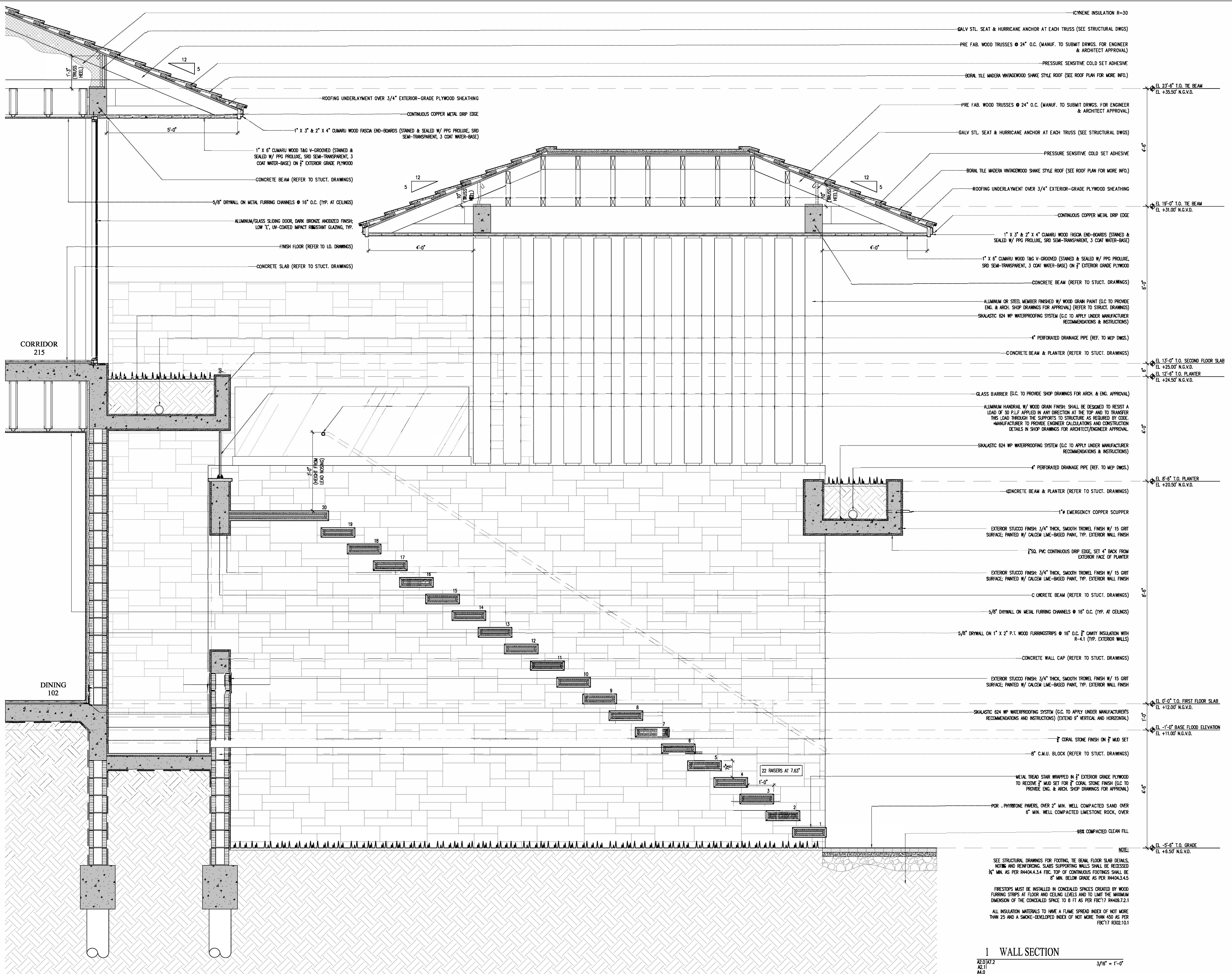
CORRIDOR 215

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ENTRY

1 WALL SECTION  
 3/16" = 1'-0"

DATE	
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<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305-448-4200 F: 305-448-4215	
<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLES WALL SECTION	
SEAL	
Lynsic Christine Com FL Architect A699059 A-25600730	
SHEET NO.:	A7.1



- ICYNENE INSULATION R=30
- GALV. STL. SEAT & HURRICANE ANCHOR AT EACH TRUSS (SEE STRUCTURAL DWGS)
- PRE FAB. WOOD TRUSSES @ 24" O.C. (MANUF. TO SUBMIT DRWGS. FOR ENGINEER & ARCHITECT APPROVAL)
- PRESSURE SENSITIVE COLD SET ADHESIVE
- BORAL TILE MODERA VINTAGEWOOD SHAKE STYLE ROOF (SEE ROOF PLAN FOR MORE INFO.)
- EL. 23'-6" T.O. THE BEAM
- EL. +35.50' N.G.V.D.
- ROOFING UNDERLAYMENT OVER 3/4" EXTERIOR-GRADE PLYWOOD SHEATHING
- CONTINUOUS COPPER METAL DRIP EDGE
- PRE FAB. WOOD TRUSSES @ 24" O.C. (MANUF. TO SUBMIT DRWGS. FOR ENGINEER & ARCHITECT APPROVAL)
- EL. 19'-0" T.O. THE BEAM
- EL. +31.00' N.G.V.D.
- GALV. STL. SEAT & HURRICANE ANCHOR AT EACH TRUSS (SEE STRUCTURAL DWGS)
- PRESSURE SENSITIVE COLD SET ADHESIVE
- BORAL TILE MODERA VINTAGEWOOD SHAKE STYLE ROOF (SEE ROOF PLAN FOR MORE INFO.)
- ROOFING UNDERLAYMENT OVER 3/4" EXTERIOR-GRADE PLYWOOD SHEATHING
- CONTINUOUS COPPER METAL DRIP EDGE
- 1" X 3" & 2" X 4" CUMARU WOOD FASCIA END-BOARDS (STAINED & SEALED W/ PPG PROLUXE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE)
- 1" X 6" CUMARU WOOD T&G V-GROOVED (STAINED & SEALED W/ PPG PROLUXE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE) ON 1/2" EXTERIOR GRADE PLYWOOD
- CONCRETE BEAM (REFER TO STRUCT. DRAWINGS)
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILINGS)
- ALUMINUM/GLASS SLIDING DOOR, DARK BRONZE ANODIZED FINISH, LOW 'E', UV-COATED IMPACT RESISTANT GLAZING, TYP.
- FINISH FLOOR (REFER TO I.D. DRAWINGS)
- CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)
- 4" PERFORATED DRAINAGE PIPE (REF. TO MEP DWGS.)
- CONCRETE BEAM & PLANTER (REFER TO STRUCT. DRAWINGS)
- EL. 13'-0" T.O. SECOND FLOOR SLAB
- EL. +28.00' N.G.V.D.
- EL. 12'-6" T.O. PLANTER
- EL. +24.50' N.G.V.D.
- GLASS BARRIER (G.C. TO PROVIDE SHOP DRAWINGS FOR ARCH. & ENG. APPROVAL)
- ALUMINUM HANDRAIL W/ WOOD GRAIN FINISH SHALL BE DESIGNED TO RESIST A LOAD OF 50 P.L.F. APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO STRUCTURE AS REQUIRED BY CODE. MANUFACTURER TO PROVIDE ENGINEER CALCULATIONS AND CONSTRUCTION DETAILS IN SHOP DRAWINGS FOR ARCHITECT/ENGINEER APPROVAL
- SKALASTIC 624 WP WATERPROOFING SYSTEM (G.C. TO APPLY UNDER MANUFACTURER RECOMMENDATIONS & INSTRUCTIONS)
- 4" PERFORATED DRAINAGE PIPE (REF. TO MEP DWGS.)
- CONCRETE BEAM & PLANTER (REFER TO STRUCT. DRAWINGS)
- EL. 8'-6" T.O. PLANTER
- EL. +20.50' N.G.V.D.
- 1" EMERGENCY COPPER SCUPPER
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE, PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- 1/2" PVC CONTINUOUS DRIP EDGE, SET 4" BACK FROM EXTERIOR FACE OF PLANTER
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE, PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- C CONCRETE BEAM (REFER TO STRUCT. DRAWINGS)
- EL. 36'-5"
- 5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILINGS)
- 5/8" DRYWALL ON 1" X 2" P.L. WOOD FURRINGSTRIPS @ 16" O.C. 1/2" CMYI INSULATION WITH R=4.1 (TYP. EXTERIOR WALLS)
- CONCRETE WALL CAP (REFER TO STRUCT. DRAWINGS)
- EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE, PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH
- EL. 0'-0" T.O. FIRST FLOOR SLAB
- EL. +12.00' N.G.V.D.
- SKALASTIC 624 WP WATERPROOFING SYSTEM (G.C. TO APPLY UNDER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS) (EXTEND 9" VERTICAL AND HORIZONTAL)
- EL. -1'-0" BASE FLOOD ELEVATION
- EL. +11.00' N.G.V.D.
- 1" CORAL STONE FINISH ON 1/2" MUD SET
- 8" C.M.U. BLOCK (REFER TO STRUCT. DRAWINGS)
- EL. 4'-5"
- METAL TREAD STAIR WRAPPED IN 1/2" EXTERIOR GRADE PLYWOOD TO RECEIVE 1" MUD SET FOR 1" CORAL STONE FINISH (G.C. TO PROVIDE ENG. & ARCH. SHOP DRAWINGS FOR APPROVAL)
- 22 RISERS AT 7.63"
- 1'-0"
- POR. HYBRIDONE PAVERS, OVER 2" MIN. WELL COMPACTED SAND OVER 6" MIN. WELL COMPACTED LIMESTONE ROCK, OVER
- 98% COMPACTED CLEAN FILL
- EL. -5'-6" T.O. GRADE
- EL. +6.50' N.G.V.D.

1 WALL SECTION  
 3/16" = 1'-0"

NOTE:  
 SEE STRUCTURAL DRAWINGS FOR FOOTING, THE BEAM, FLOOR SLAB DETAILS. NOTING AND REINFORCING SLABS SUPPORTING WALLS SHALL BE RECESSED 3/4" MIN. AS PER R4404.4.3.4 FBC. TOP OF CONTINUOUS FOOTINGS SHALL BE 8" MIN. BELOW GRADE AS PER R4404.3.4.5  
 FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC17 R4408.7.2.1  
 ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC17 R502.10.1

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 Coral Gables, Florida 33133

TITLES WALL SECTION

Lynsic Christine Conn  
 FL Architect  
 A6990959  
 A626600730

SHEET NO.:  
A7.2



**SCOPE OF WORK**

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR 6935 SUNRISE COURT TO BE PERMITTED BY CITY OF CORAL GABLES:

- TREE REMOVAL & RELOCATION
- INSTALLATION OF HARDSCAPE
- INSTALLATION OF TREE & PALM PLANTING
- INSTALLATION OF UNDERSTORY PLANTING
- INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM
- INSTALLATION OF LANDSCAPE LOW VOLTAGE LIGHTING

11.25.2020

**SHEET INDEX**

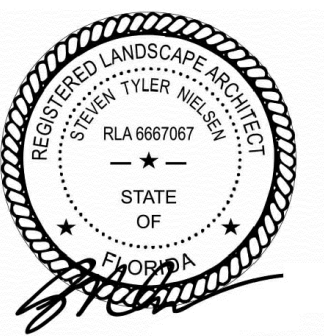
LANDSCAPE DRAWINGS	DRAWING NOTES
□ □ □ □ □ ■ LCVR COVER PAGE	
□ □ □ □ □ ■ L001 GENERAL SITE NOTES	
□ □ □ □ □ ■ L100 TREE DISPOSITION NOTES	
□ □ □ □ □ ■ L101 TREE DISPOSITION PLAN & SCHEDULE	
□ □ □ □ □ □ L200 DEMOLITION NOTES & PLAN	BY OTHERS
□ □ □ □ □ ■ L300 MATERIALS PLAN	
□ □ □ □ □ □ L400 GRADING PLAN	
□ □ □ □ □ □ L500 LAYOUT PLAN	
□ □ □ □ □ □ L600 DETAILS	
□ □ □ □ □ ■ L700 PLANTING SCHEDULE & NOTES	
□ □ □ □ □ ■ L701 TREE & PALM PLANTING PLAN	
□ □ □ □ □ □ L702 UNDERSTORY PLANTING PLAN	
□ □ □ □ □ ■ L703 PLANTING DETAILS	
□ □ □ □ □ □ L800 IRRIGATION NOTES & SCHEDULE	
□ □ □ □ □ □ L801 IRRIGATION PLAN	
□ □ □ □ □ □ L802 IRRIGATION DETAILS	
□ □ □ □ □ □ L900 LIGHTING PLAN, SCHEDULE & NOTES	

**LOCATION MAP**



**THE SHANER GARDEN**  
6935 SUNRISE COURT | CORAL GABLES, FLORIDA 33133

SEAL (S TYLER NIELSEN - LA6667067)



11.25.2020

**CLIENT**  
MR. & MRS. SHANER  
6935 SUNRISE COURT  
CORAL GABLES, FL 33133

**LANDSCAPE ARCHITECT**  
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**COVER PAGE**  
DATE 11.25.2020  
ISSUE COORDINATION

**LCVR**

## SITework GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.
12. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
13. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
14. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
15. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
16. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
17. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
18. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
19. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
20. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
21. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
22. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
23. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

## SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.

## GRADING NOTES

1. VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.
2. CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.
3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS TO VERIFY DRAIN LOCATIONS OVER STRUCTURE. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
7. ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT.
8. ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.
9. ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.
10. THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS "LAWN," UNLESS OTHERWISE NOTED.
11. ALL MANHOLES, VALVE BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITY RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.
12. SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MINIMUM, UNLESS OTHERWISE SPECIFIED.
13. GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY AND NON-FREEZING WEATHER CONDITIONS.
14. THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.
15. IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.
16. THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.
17. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
18. THE GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.
19. THE CONTRACTOR SHALL VERIFY ALL CONTROL POINTS, FINISH FLOOR ELEVATIONS & PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.
20. SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DISCREPANCIES.



SEAL (S TYLER NIELSEN - LA6667067)



11.25.2020

### SITE NOTES

DATE	ISSUE
11.25.2020	COORDINATION

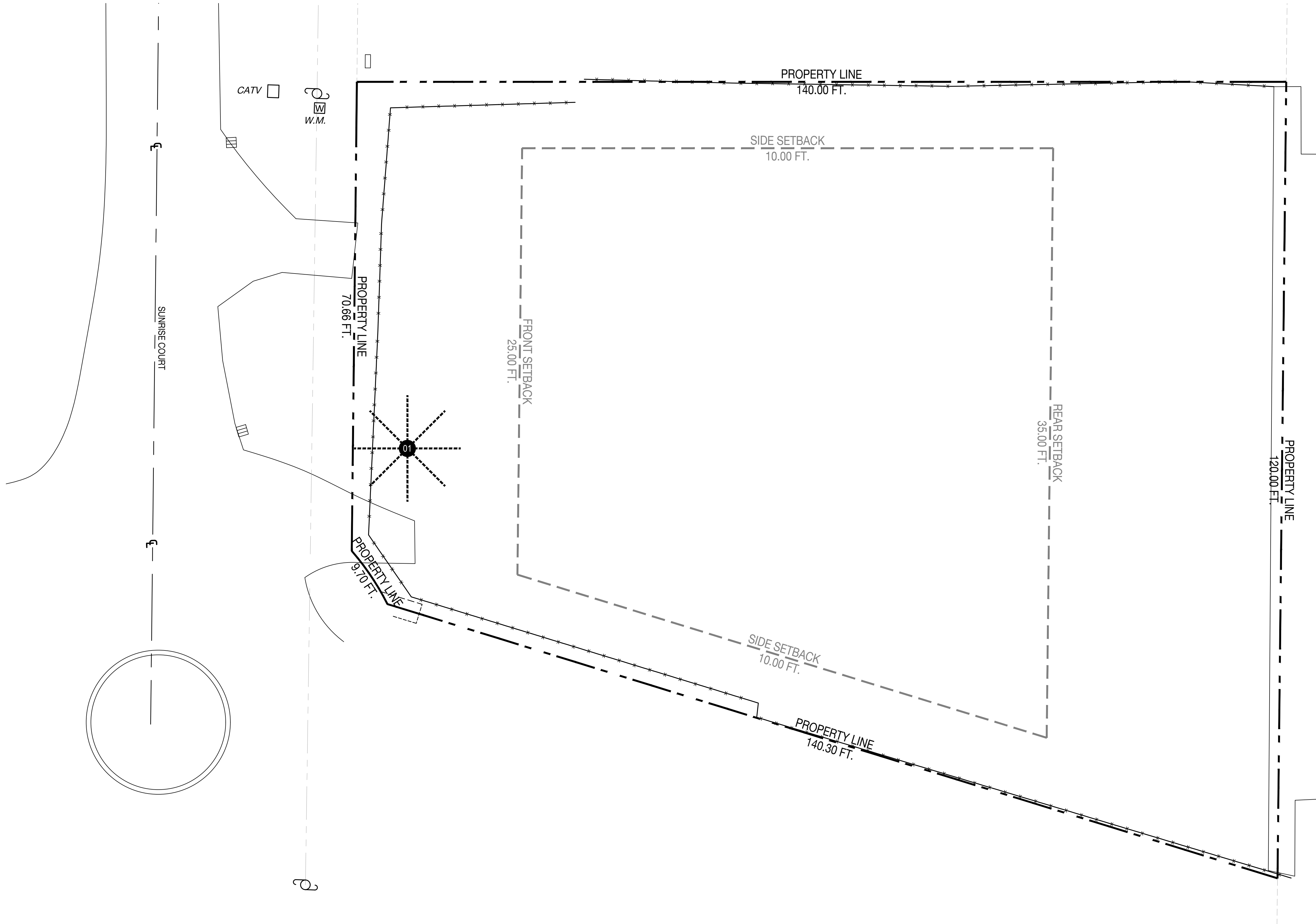
L001



**TREE DISPOSITION LEGEND**



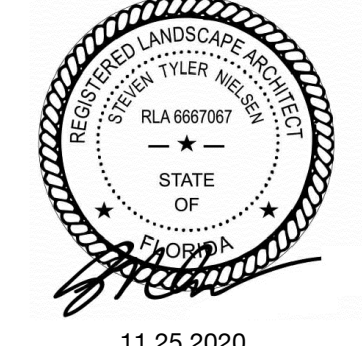
**THE SHANER GARDEN**  
6885 SUNRISE COURT | CORAL GABLES, FLORIDA 33133



**TREE DISPOSITION SCHEDULE**

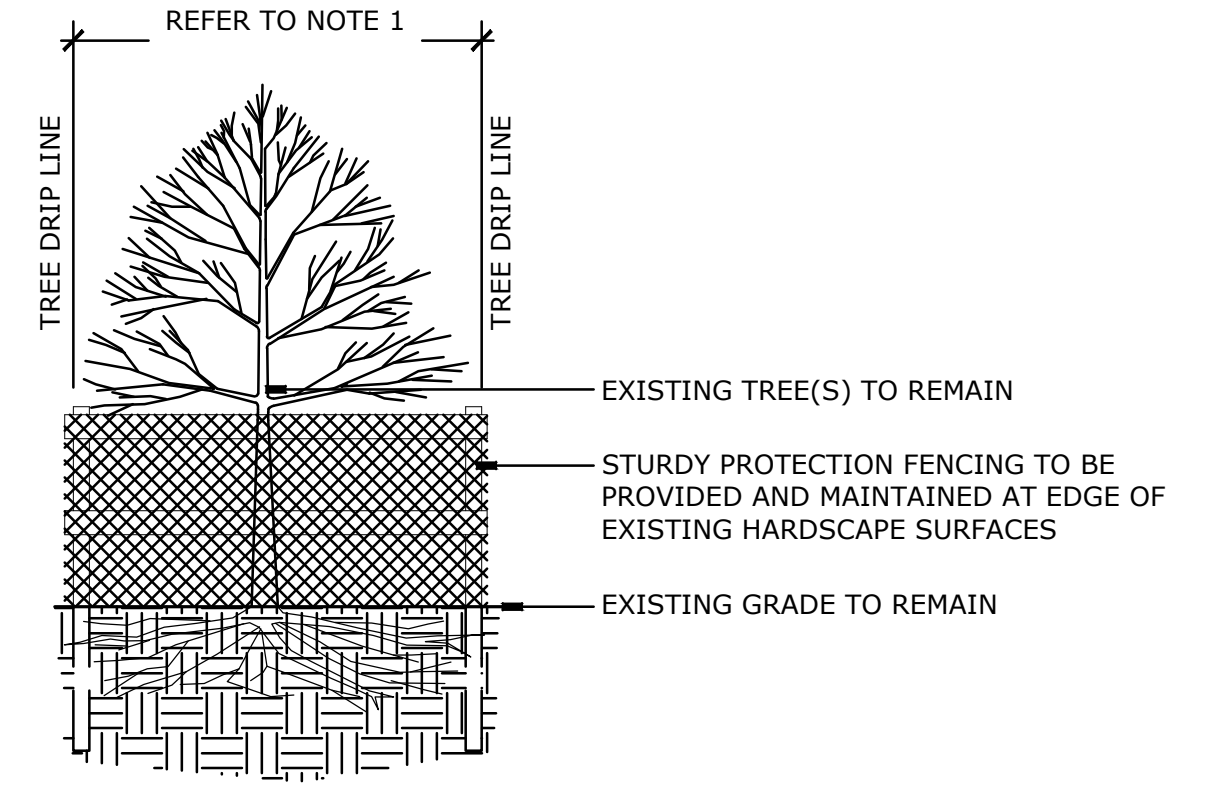
#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	CRZ	TPZ	CONDITION	NATIVE	NOTES	CANOPY AREA REMOVED
1	BISMARCKIA NOBILIS	BISMARCK PALM	18"	40'	20'	RELOCATE	6'	6'	GOOD	NO	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE	0

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**TREE DISPOSITION PLAN & SCHEDULE**

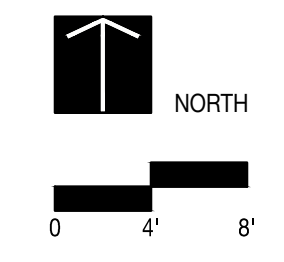
DATE	ISSUE
11.25.2020	COORDINATION



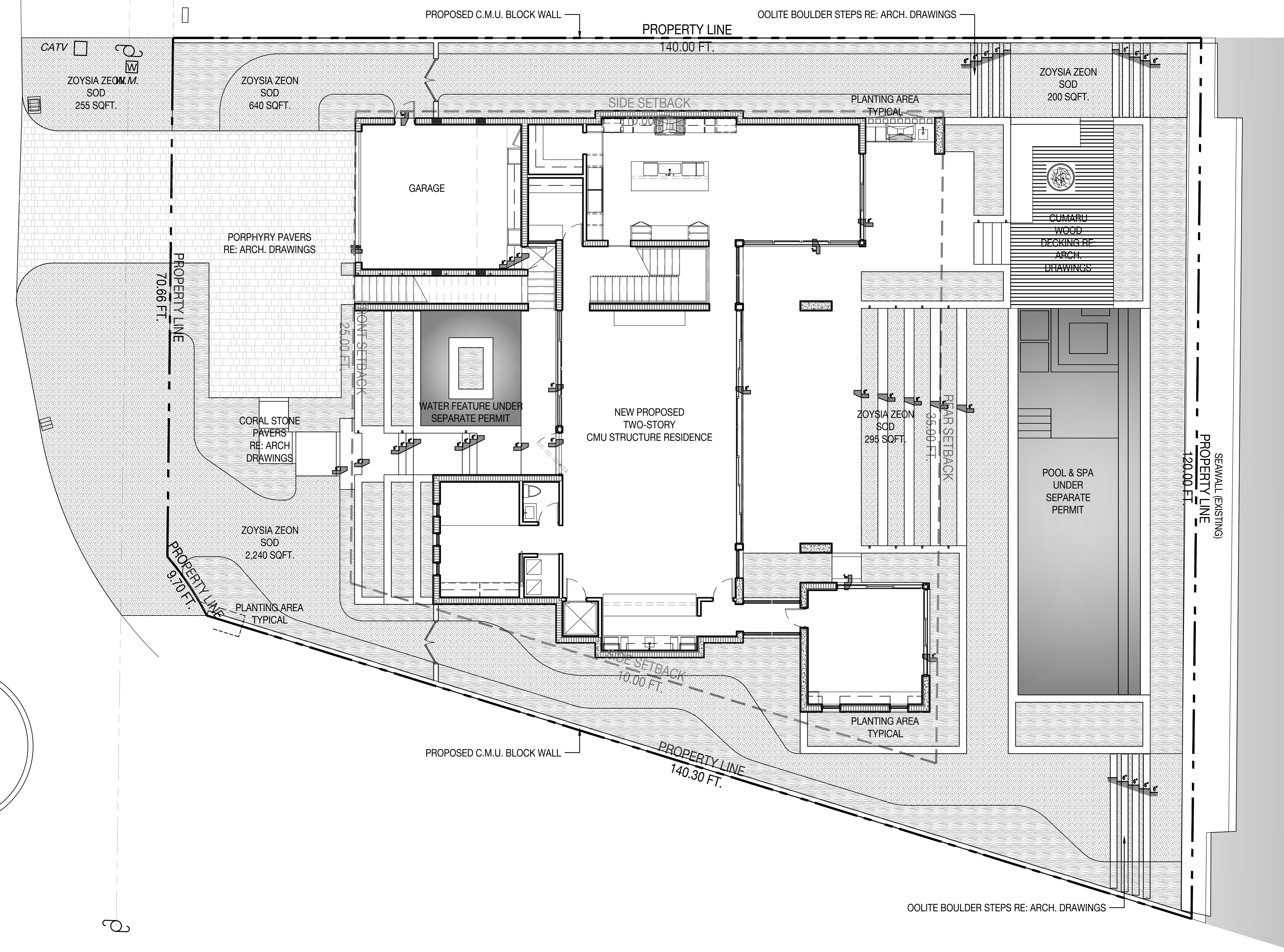
- NOTE:
1. DUE TO SITE CONSTRAINTS TREE PROTECTION FENCE MAY BE CONTINUOUS TO PROTECT MULTIPLE TREES. TREE PROTECTION FENCE TO BE INSTALLED AT EDGE OF EXISTING HARDSCAPE. WHERE SPACE ALLOWS TREE PROTECTION FENCE TO ALIGN WITH DRIPLINE OF TREE / PALM.
  2. MAINTAIN FENCE THROUGHOUT CONSTRUCTION.
  3. REFER TO LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES FOR ADDITIONAL REQUIREMENTS.

**1 TREE PROTECTION FENCE**

Scale: 1/4" = 1'- 0"



**L101**



**MATERIALS NOTES**

1. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
2. ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
3. THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
4. EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
7. ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
8. HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
10. SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



**ZOYSIA ZEON**

COLOR: GREEN ;  
FINISH: NA  
DIMENSIONS: NA  
SOURCE: NA

**MATERIALS LEGEND**

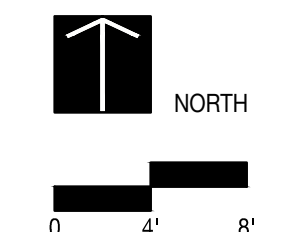
- PLANTING AREA TYPICAL
- ZOYSIA ZEON SOD
- PORPHYRY PAVERS RE: ARCH. DWGS.
- WATER

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11.25.2020

MATERIALS PLAN GROUND LEVEL	
DATE	ISSUE
11.25.2020	COORDINATION



**L300**



**PLANTING NOTES**

1. PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
2. THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
3. PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
4. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
5. ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
8. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
9. ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
10. SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
11. FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
12. MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
13. ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
14. EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
15. STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
16. MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
17. PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
18. ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
19. SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.

**PLANTING SCHEDULE**

ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
CDI	3	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	FG. 6 IN. DBH 18 FT. HT. OA. SINGLE LEADER STANDARD
PRA	12	PIMENTO RACEMOSA	BAY RUM	200 GAL. 4 IN. DBH 16 FT. HT. SINGLE LEADER STANDARD
CUV	2	COCCOLOBA UVIFERA	SEA GRAPE	MULTI TRUNK 20-24 FT. HT.
<b>PALMS</b>				
TR1	18	THRINAX RADIATA	FLORIDA THATCH PALM	TRIPLE 7 GAL. 3 FT. OA.
TR2	1	THRINAX RADIATA	FLORIDA THATCH PALM	FG. MULTI 7-9 TRUNK 12-15' OA.
SP1	6	SABAL PALMETTO	CABBAGE PALM	16 FT. GW W/ CHARACTER CURVE
SP2	6	SABAL PALMETTO	CABBAGE PALM	20 FT. GW W/ CHARACTER CURVE
SP3	6	SABAL PALMETTO	CABBAGE PALM	24 FT. GW W/ CHARACTER CURVE

**CORAL GABLES LANDSCAPE LEGEND**

ZONING DISTRICT:	SFR
NET LOT AREA (ACRES):	0.32 ACRES
NET LOT AREA (SQUARE FEET):	13,773 SQUARE FEET

DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
LANDSCAPED OPEN SPACE	40% MINIMUM	5,510 40%
FRONT YARD LANDSCAPE OPEN SPACE	MINIMUM 20% OF 40%	1,102 1,578 29%
<b>TREES</b>		
STREET TREES	1 TREE SHADE TREE / 35 LINEAR FEET	3 3
LARGE SHADE TREE (TOTAL)	1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	3 (1 NATIVE) 17 (5 NATIVES)
LARGE SHADE TREE (FRONT YARD)	AT LEAST 2 TREES	2 6
PALM & MEDIUM SHADE TREES	2 PALMS OR 1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	6 PALMS 37 PALMS
<b>SHRUBS &amp; LAWN</b>		
SHRUBS (TOTAL)	15 / 5,000 SQFT. (30% NATIVE MIN.)	NA (NA NATIVES) NA (NA NATIVES)
SHRUBS (FRONT YARD)	66% OF REQUIRED SHRUBS	NA NA
LAWN GRASS	60% OF LOT AREA MAXIMUM	8,264 MAX 2,625 (19%)
LAWN GRASS (R.O.W.)	ALL UNPAVED SURFACES	100% R.O.W. 100% R.O.W.

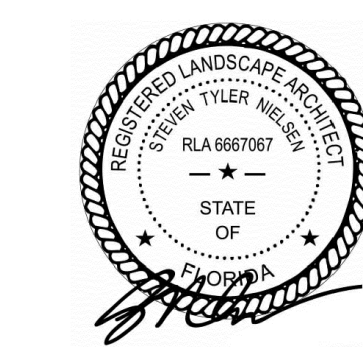
**PLANT REFERENCE IMAGERY**



PIGEON PLUM      BAY RUM      SEA GRAPE      FLORIDA THATCH PALM 1      FLORIDA THATCH PALM 2      CABBAGE PALM

THE SHANER GARDEN  
8885 SUNSHINE COURT | CORAL GABLES, FLORIDA 33133

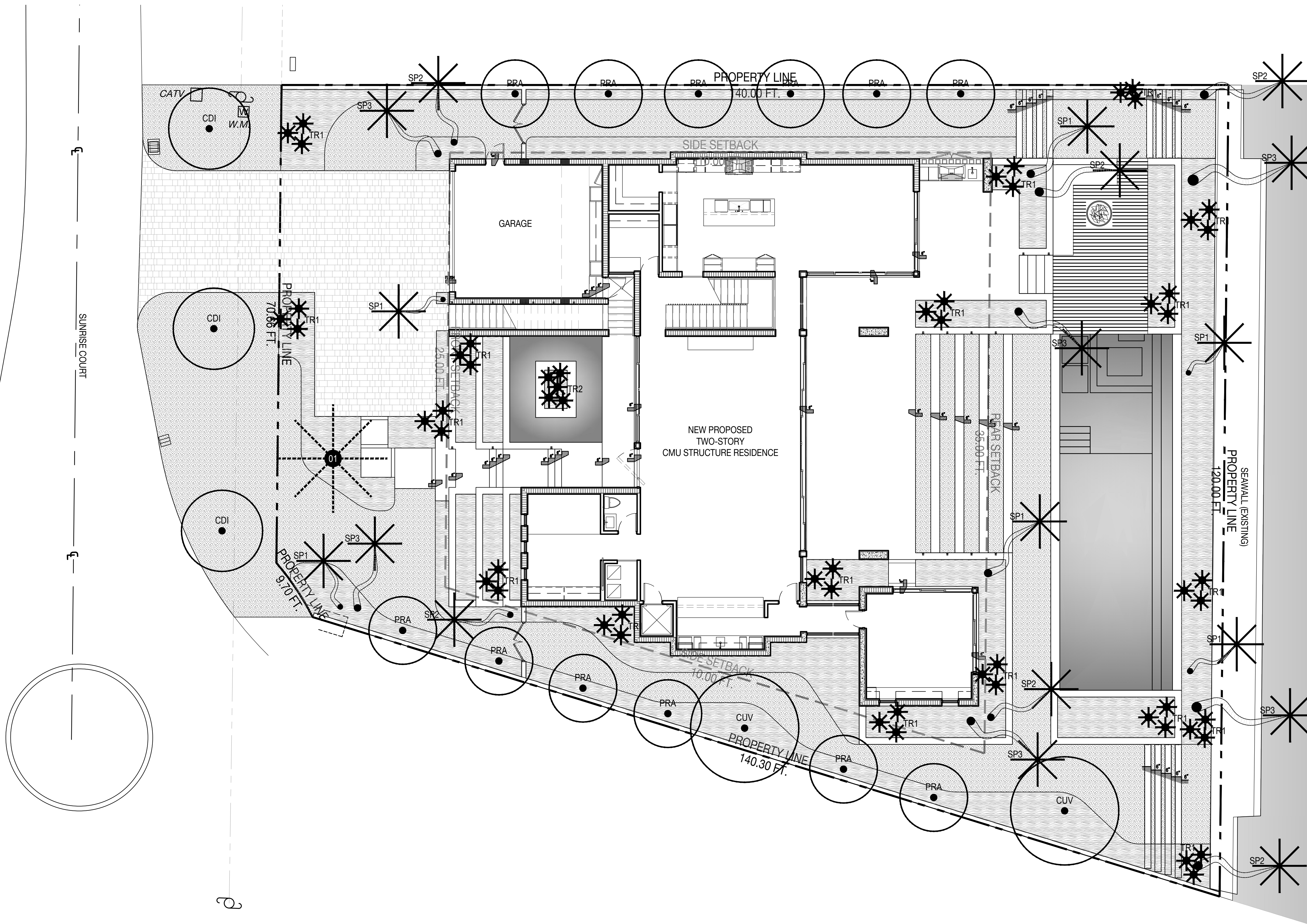
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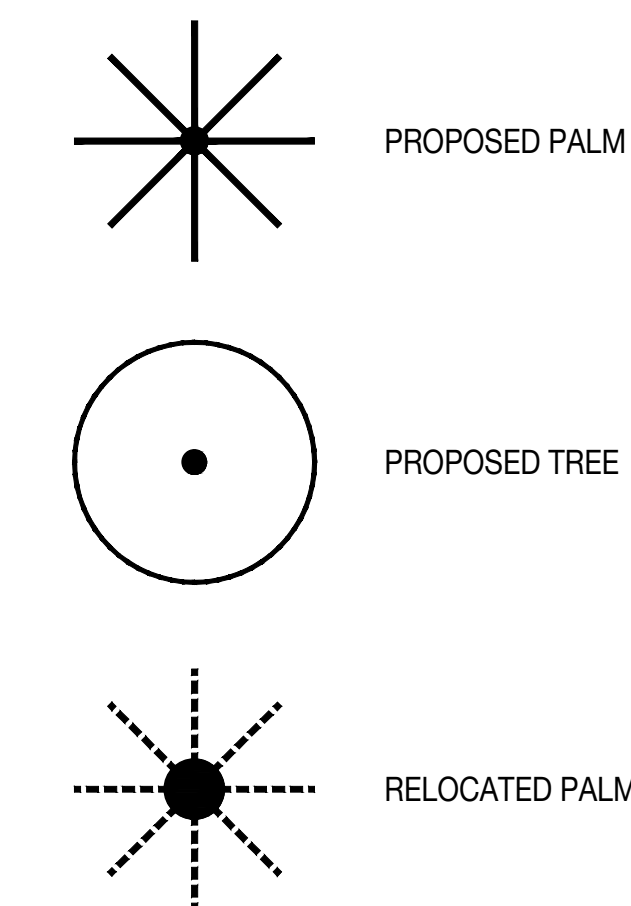
11.25.2020

PLANTING SCHEDULE & NOTES	
DATE	ISSUE
11.25.2020	COORDINATION

**L700**



**PLANTING LEGEND**



**THE SHANER GARDEN**  
6855 SUNSHINE COURT | CORAL GABLES, FLORIDA 33133

**PLANTING SCHEDULE**

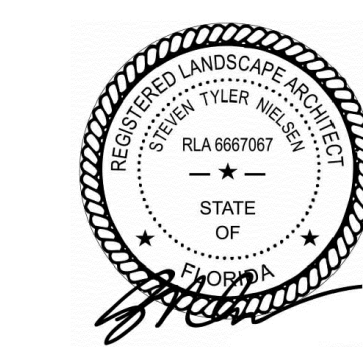
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**CORAL GABLES LANDSCAPE LEGEND**

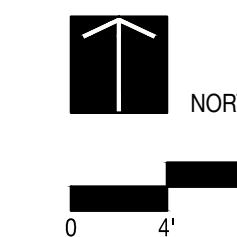
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SHRUBS (FRONT YARD)	66% OF REQUIRED SHRUBS	NA
LAWN GRASS	60% OF LOT AREA MAXIMUM	8,264 MAX 2,625 (19%)
LAWN GRASS (R.O.W.)	ALL UNPAVED SURFACES	100% R.O.W.

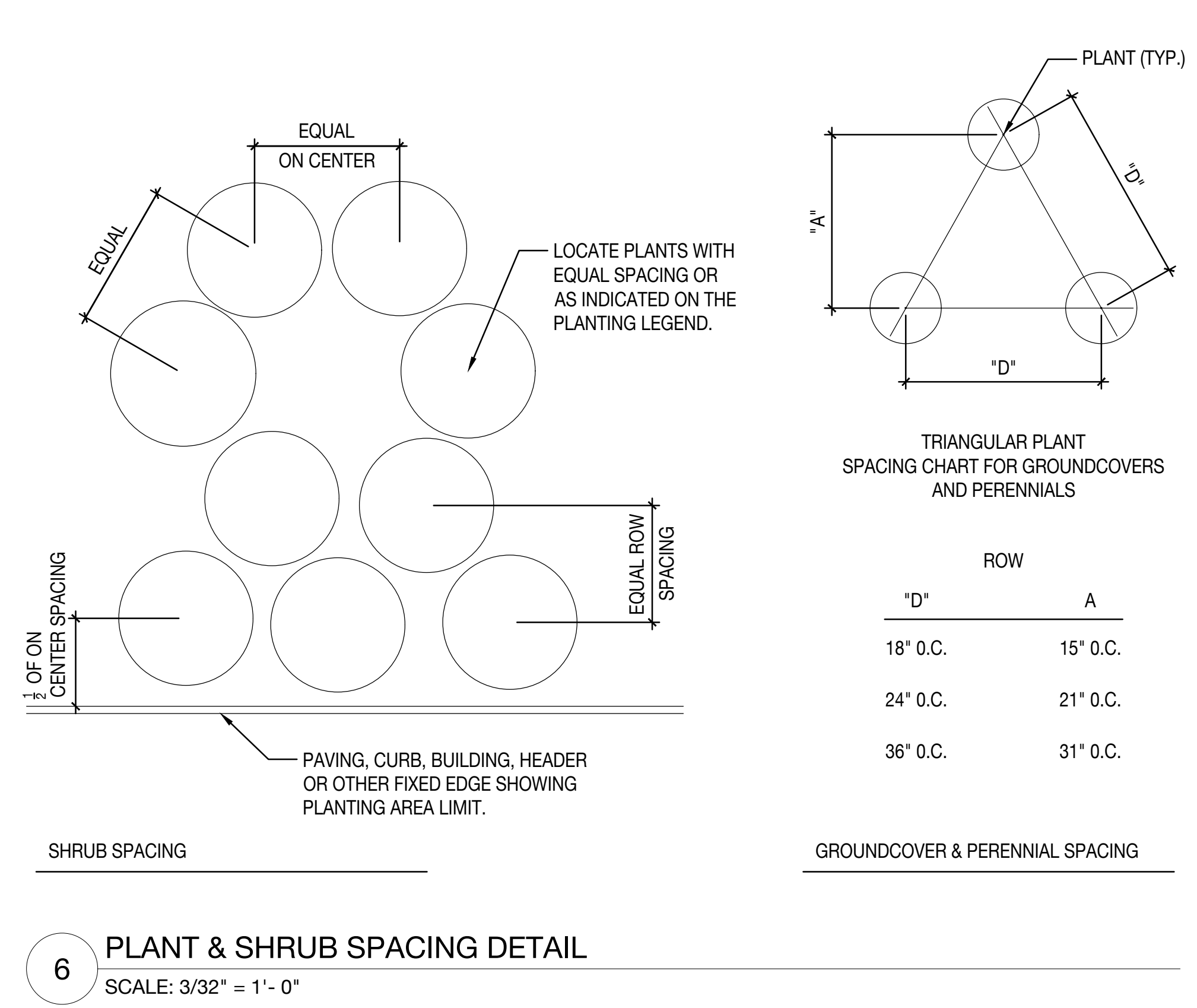
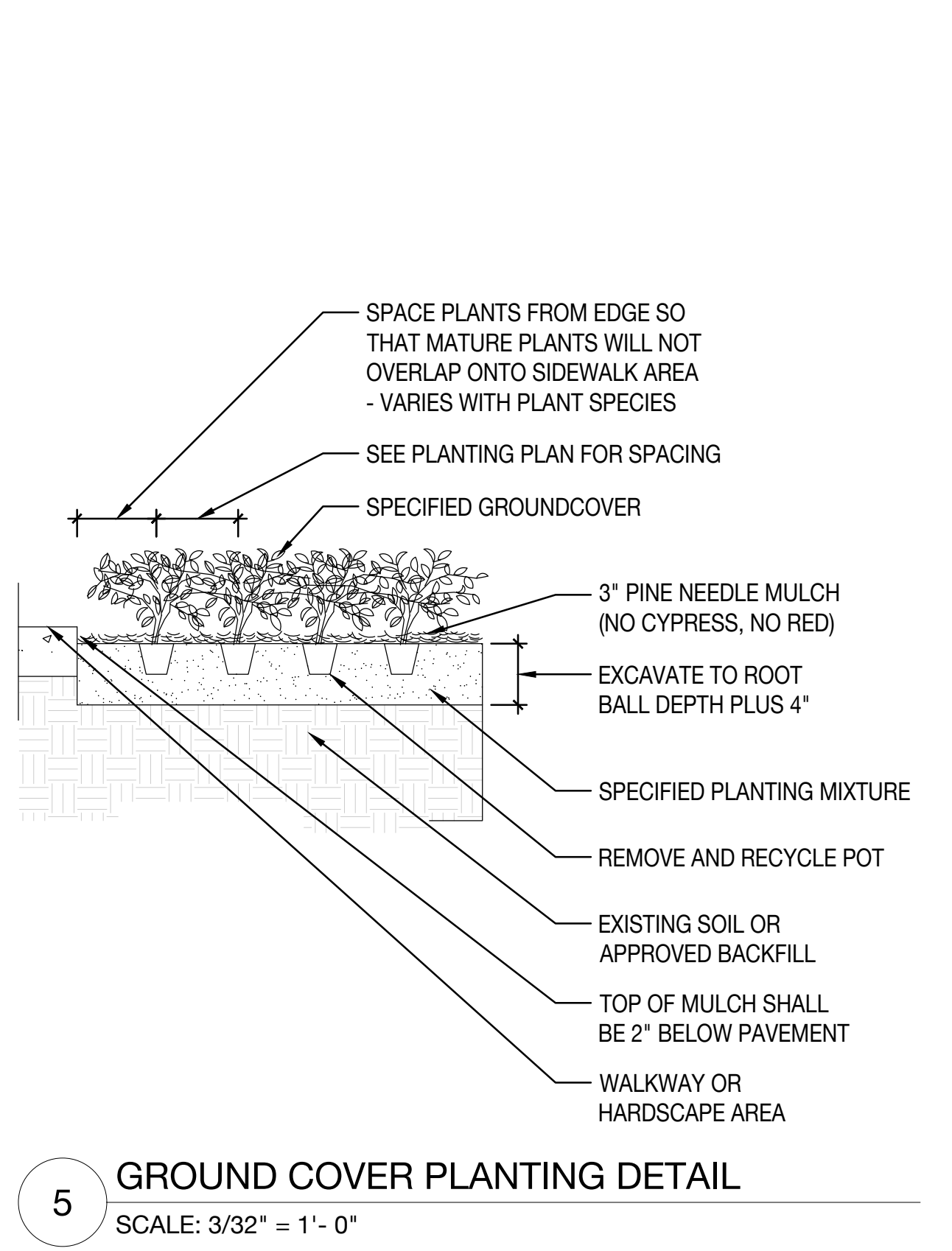
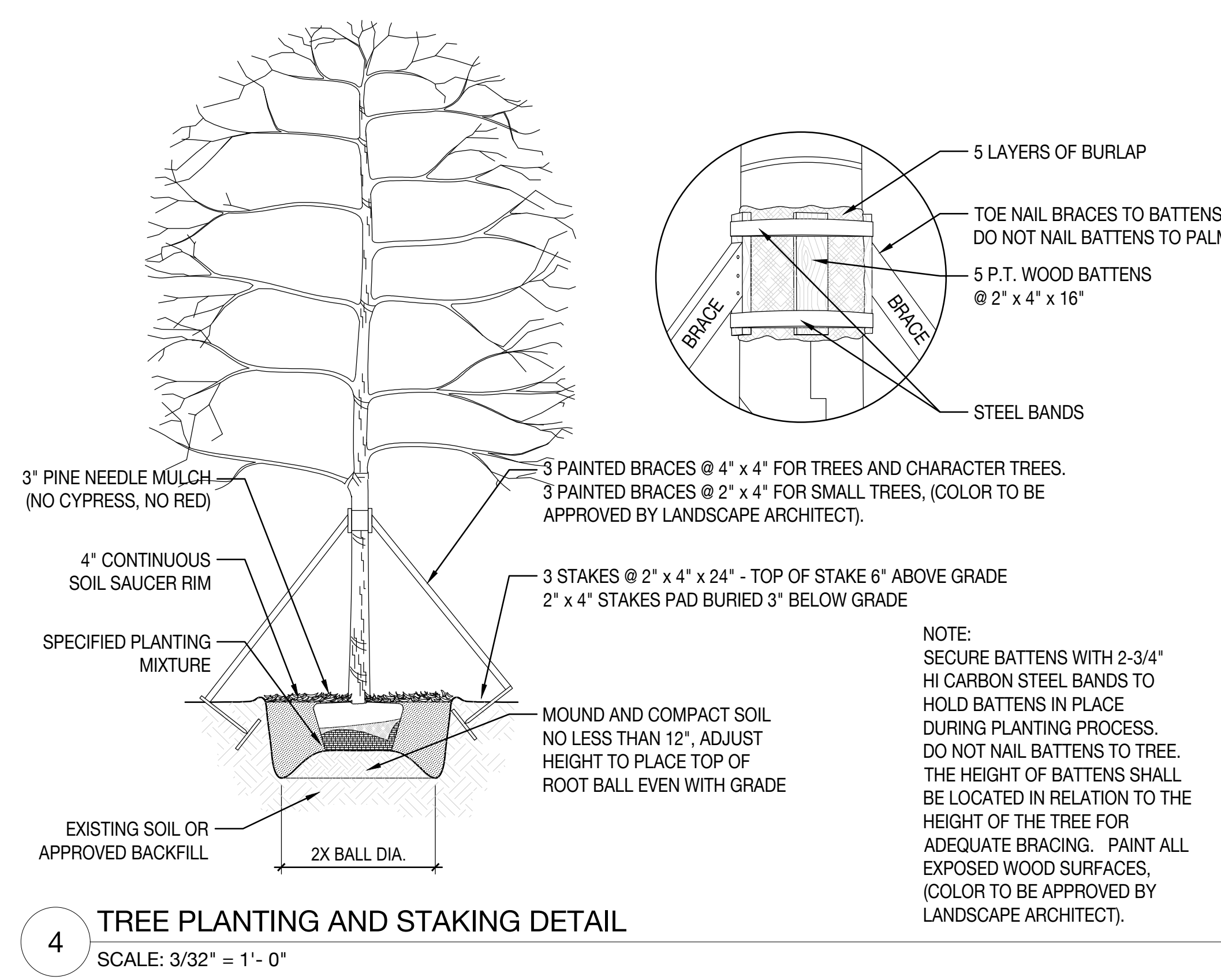
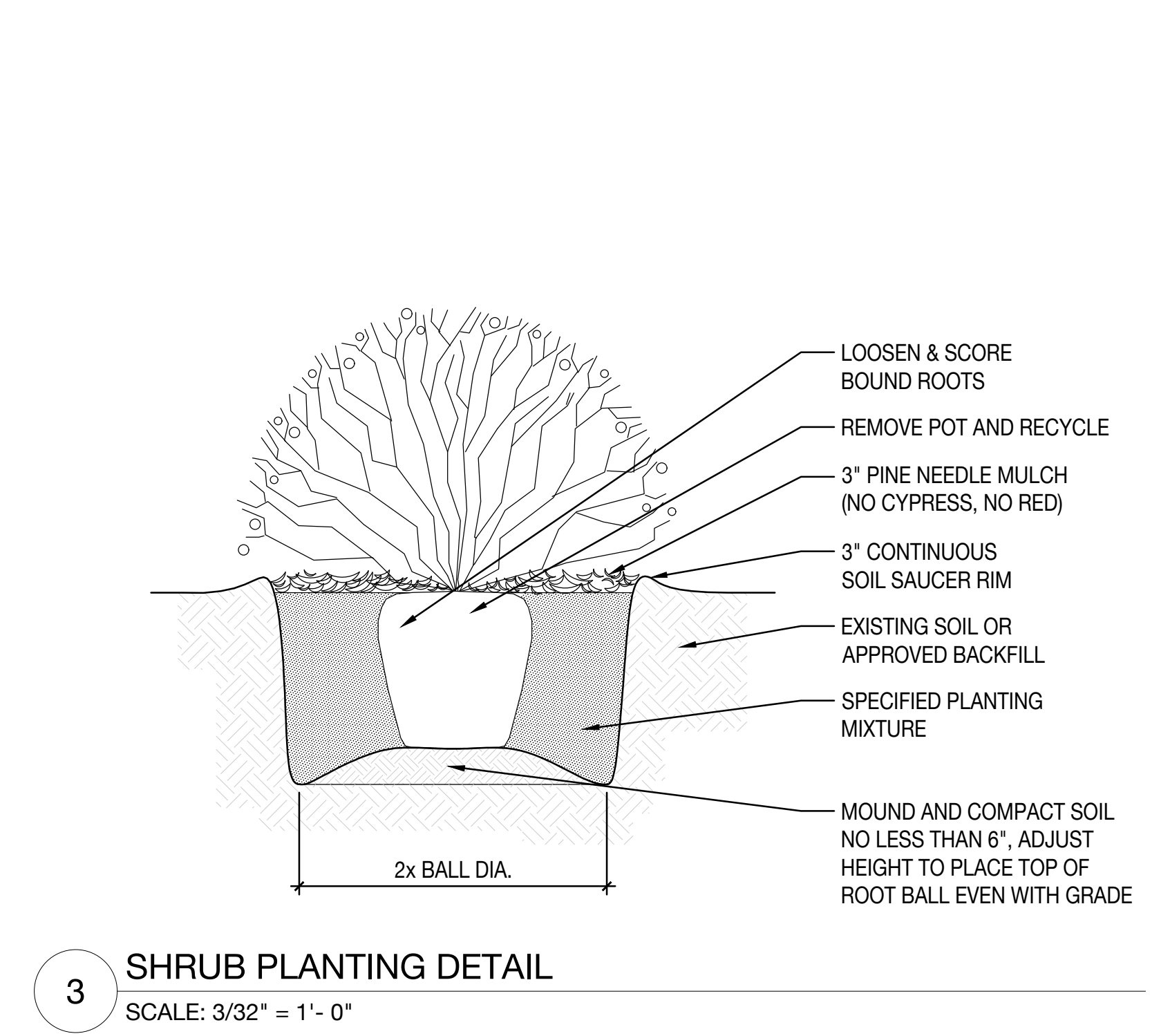
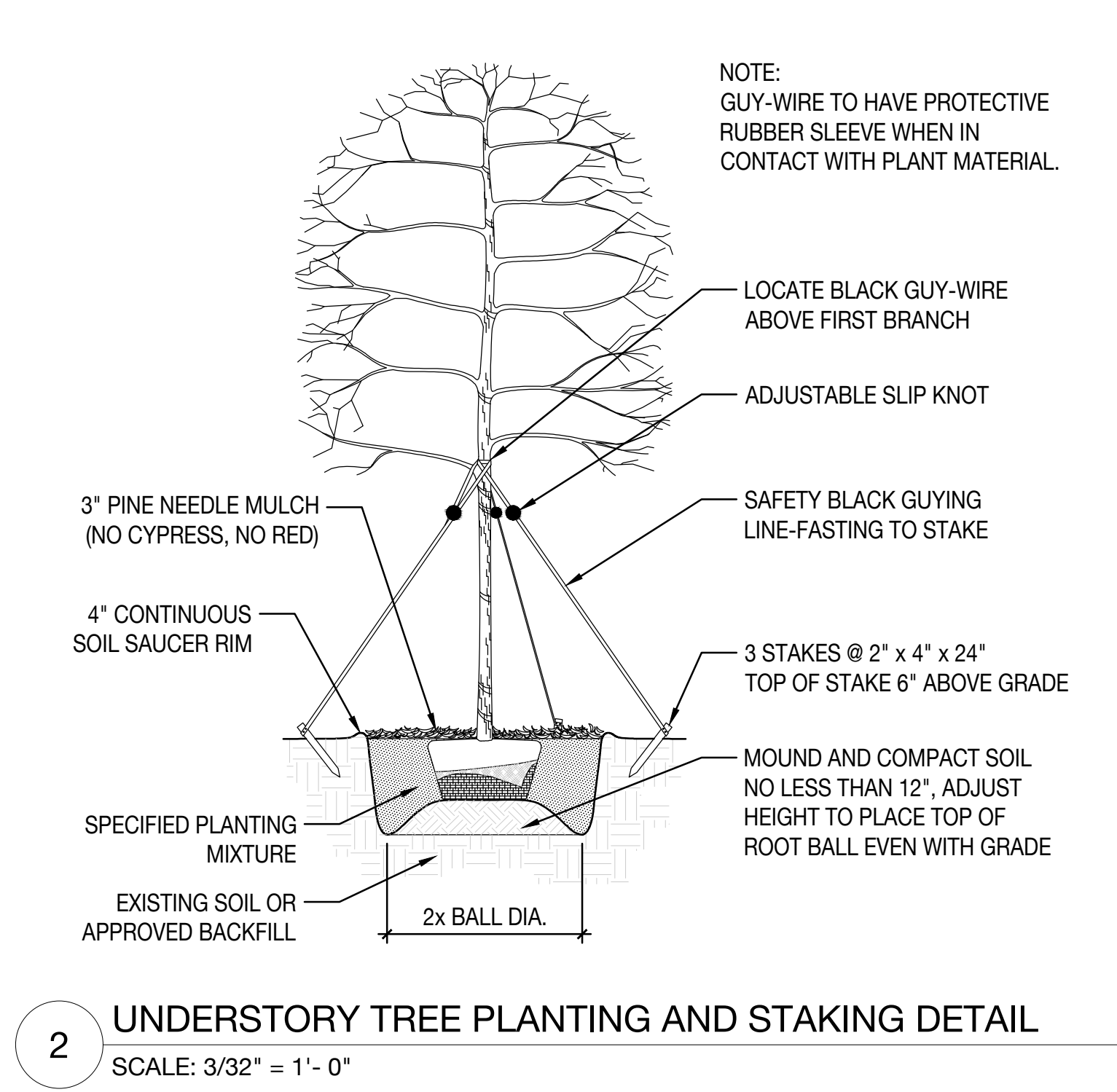
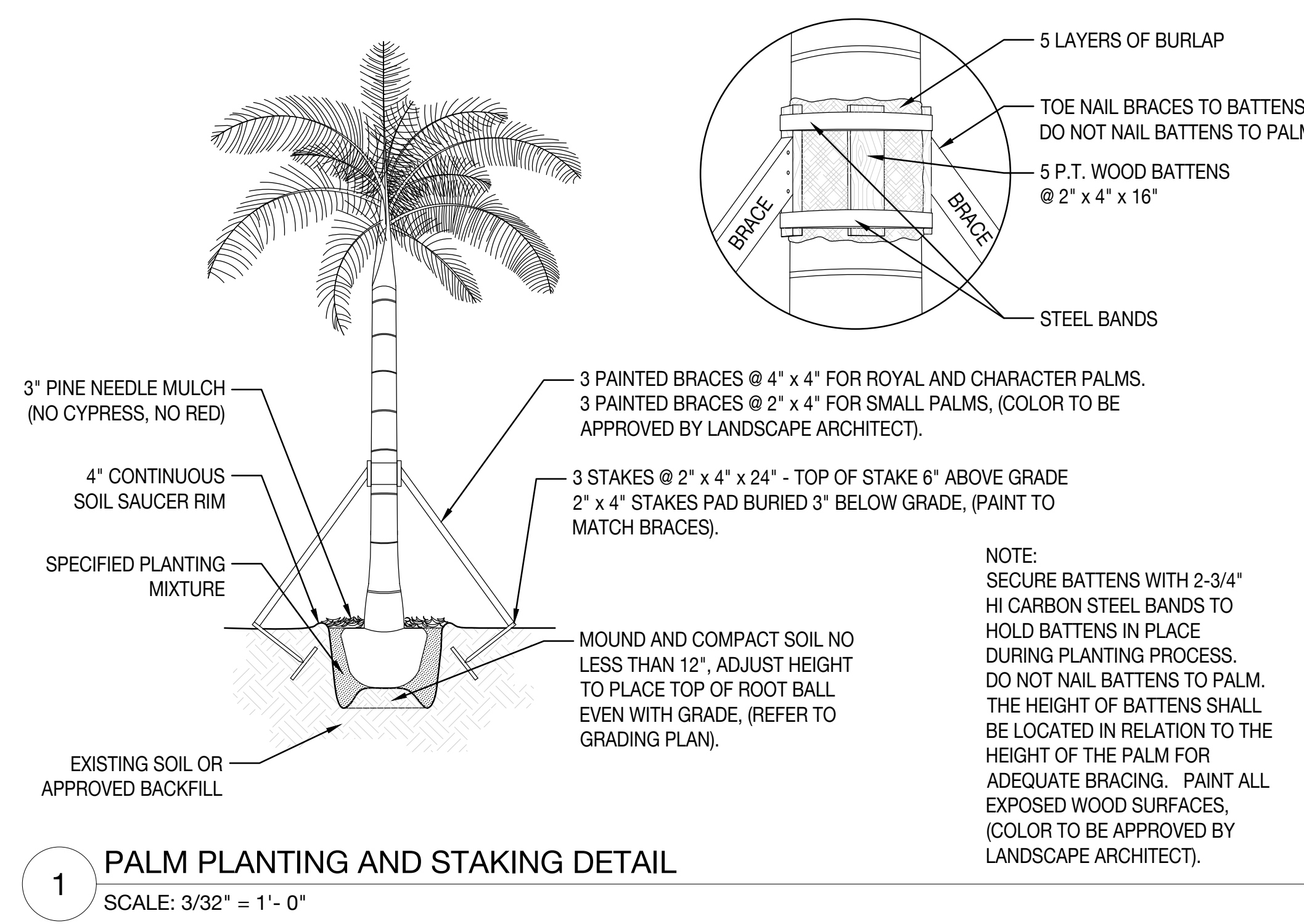
SEAL (S TYLER NIELSEN - LA6667067)



**TREE & PALM PLANTING PLAN**  
DATE: 11.25.2020 ISSUE: COORDINATION



**L701**



SEAL (S TYLER NIELSEN - LA6667067)



PLANTING DETAILS  
DATE 11.25.2020 ISSUE COORDINATION