



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/17/2015

Property Information	
Folio:	03-4117-025-0001
Property Address:	
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	0



Assessment Information			
Year	2015	2014	2013
Land Value	\$0	\$0	\$0
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$0	\$0	\$0
Assessed Value	\$0	\$0	\$0

Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Benefits Information				
Benefit	Type	2015	2014	2013
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description
BILTMORE II CONDO CORAL GABLES BILTMORE SEC PB 20-28 ALL BLK 8 F/A/U 034117 08 1550

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version

CITY'S
EXHIBIT 1

600 Biltmore Way





The City of Coral Gables

Deadline EXTENSION
6 months
Dec 9, 2015

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

June 2, 2015

BILTMORE II CONDO ASSOCIATION
600 BILTMORE WAY
CORAL GABLES, FL 33134-7197

****FINAL NOTICE****

VIA CERTIFIED MAIL

91 7108 2133 3932 7095 9677

Re: Building Recertification
600 BILTMORE WAY
Folio # 03-4117-025-0001

Dear Property Owner:

In a certified letter dated 3/1/2013, this Department notified you the property referenced above requires a 40-year building recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to furnish this Department a report prepared by a licensed architect or engineer within 90-days specifying the building meets the requirements for building recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised that as of 6/1/2015 the report will be overdue and this building will be deemed to be in NON-COMPLIANCE. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

Failure to contact us before 7/6/2015, will result in our forwarding this building information to the Miami-Dade County Unsafe Structures Board for further determination.

Please govern yourself accordingly.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT

2

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BILTMORE II CONDO ASSOCIATION
600 BILTMORE WAY
CORAL GABLES, FL 33134-7197

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
[Handwritten Signature] Addressee

B. Received by (Printed Name) Agent
H. KILAUSSO C. Date of Delivery Addressee
6-6-15

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type
 Certified Mail® Priority Mail Express™
 Registered Return Receipt for Merchandise
 Insured Mail Collect on Delivery

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
(Transfer from service label)

91 7108 2133 3932 7095 960

BILTMORE II CONDOMINIUM BUILDING

FORTY-YEAR INSPECTION



**Biltmore II Condominium Building
600 Biltmore Way
Coral Gables, FL 33134**

Project No. 06-269-L

Prepared by:

**Pistorino & Alam Consulting Engineers, Inc.
7171 SW 62nd Avenue, 4th Floor
Miami, FL 33143
Phone: (305) 669-2700
Fax: (305) 669-2165**

May 28th, 2013

CITY'S

EXHIBIT

3

Biltmore II Condominium Building
Forty-Year Inspection Report



INSPECTION REPORT

May 28th, 2013

1.0 – General

The Biltmore II is a forty-year-old condominium complex located on Coral Gables. The residential tower consists of thirteen-stories. The swimming pool is located on the South side of the property. On-site parking is provided on two levels of parking area on the East and West sides of the property on grade, and parking on the entire footprint on the basement.

The building's Condominium Association has been pro-active in maintaining the property. The Association retained the firm of *Pistorino & Alam Consulting Engineers, Inc.* to survey the condition of the property in preparation for the forty-year re-certification. The building has not yet received notice from Dade County for the re-certification. The report herein addresses Structural and Electrical components only. This report is divided into two sections, first section addressed the Structural building components followed by the Electrical section.

2.0 – Structural Framing Systems

Structure has been designed as a skeleton frame. The building is a reinforced concrete flat post-tension slab structure supported on concrete columns. The exterior walls are non-load-bearing, eight-inch concrete block infill masonry, finished with painted stucco. The lateral system consists of reinforced concrete shear walls. The foundation is pile-supported.

The Skylight Roof is framed with steel bar joists on steel beams on concrete columns. The roof deck is a 3 inch light weight concrete topping on 28 gauge metal deck as per existing drawings provided to P&A for reference.

3.0 – Drawings

Structural and Electrical drawings were available for reference, provided by the Condominium Management.

4.0 – Evaluation Criteria

The purpose of this study is to determine the condition of the property's structures for re-certification and provide recommendations for any necessary repairs. Field visits to observe existing conditions were initiated in October 2012 and were performed by the following P&A representatives:

Pedro A. Martinez, Project Manager
Carlos A. Tijerino, Staff Engineer
Vincent Sancho, PE - Electrical Engineer



During the inspection, concrete was sounded for delamination, indication of corrosion and other signs of deterioration. No destructive testing was conducted. All common areas were inspected. The structure was inspected at the interior of the Mechanical and Electrical rooms, penthouses and stair cores. Six Units – 219, 407, 416, 619, 1203 and PH – were inspected for balcony inspections.

5.0 – Field Observations- Structural Components

The following observations were made during our field visits. Please refer to the Appendix for photographic documentation:

1. The building structure is generally in good condition.
2. The interior walls of balconies are in good condition overall. Minor cracking was observed on interior balcony wall and building wall (photo #1, photo #2 and photo #3) location.
3. The balcony slabs are in fair condition. Spalled concrete with corroded reinforcing steel was noted on the balcony ceilings of Units 219 and 416 (photo #4 and photo #5).
4. Minor stucco cracking at balcony railing connection to block wall of Unit 407 (photo #6).
5. We observed stucco cracking along balcony's edge of Unit 407 (photo #7) and connection between block wall and building column of Unit 219 (photo #8).
6. The roof edges of the Generator Room (photo #9) and East Elevator Machine Room (photo #10) at Roof Area have fine horizontal cracks which exhibit signs of water infiltration.
7. The interior block wall at the east side of the Elevator Machine Room at the Roof Area was observed with step cracking (photo #11).
8. The roof edge of the Penthouse exterior wall (photo #12) was noted with fine horizontal cracks which exhibit signs of water infiltration.
9. The interior block wall at the West Elevator Machine Room is not mortared properly at patched area (photo #13).
10. Hair Line cracking across column drop panel next to Parking Space No. 267 (photo #14 and photo #15).
11. Unsealed wall pipe penetration at fire rated separation (2hr Fire rate assembly) (photo #16).
12. Hair line cracking on slab and beam was noted next to Parking Space No. 210 (photo #17 and photo #18).
13. Hair line cracking across column drop panel between Parking Space No. 248 & 249 (photo #19).
14. Hair Line cracking at column drop panel corner between Parking Space No. 245 & 246 (photo #20).

15. Trench drain drop ceiling opening over flows at opening between Parking Spaces No. 314 & 327 (photo #21 and photo #22).
16. Surface cracking and water intrusion was noted at underside of ramp on front of Parking Space No. 61 (photo #23).
17. Trench drain drop ceiling opening over flows at opening between Parking Space No. 52 & 61 (photo #24 and photo #25).
18. The East end of the Parking Garage wall exhibits hair line cracking next to Parking Space No. 51 (photo #26).
19. Unsealed wall pipe penetration at fire rated separation (2hr Fire rate assembly) above Fire Pump Room door (photo #27).
20. Hair Line Cracking on Overhang at West side (photo #28).
21. Hair Line Cracking and staining on balcony edge at Third level on north side (photo #29).
22. Blistering and underside cracking was observed at Overhang (photo #30).
23. Cracking at bottom of balcony wall was noted (photo #31).
24. Crack along tiled pedestrian ramp east of main entrance was observed (photo #32).
25. Delaminated stucco and cracking at bottom of fourth floor balcony wall on east (photo #33).
26. Surface cracks on building shear wall next to window shutter next to east stairs tower (photo #34).
27. Spider web cracking on exterior face at first balcony on East side (photo #35).
28. Ceiling panel separation at edge of South overhang (photo #36).
29. Stucco cracking on East side of building corner at Pool Deck Area (photo #37).

6.0 – Recommendations

Overall, the building structure is in good condition. There are some repairs required to obtain the forty-year structural recertification. These repairs are necessary to prevent a structural failure or life safety hazard before the next recertification in ten years:

Balcony Edges

Although the edges of the balcony slabs are typically in fair condition, some units exhibit cracking and concrete spalling at the slab edge and at the underside of slab above. This is an indication of moisture intrusion into the concrete, with subsequent corrosion of the reinforcing steel. If left unabated, the concrete at the edges of balconies will eventually spall off, creating a falling debris and life safety hazard for residents and pedestrians below. It's recommended that balcony edges be repaired where there are signs of cracking and concrete spalling. In addition, we also recommend that all balconies be surveyed to document similar conditions.

Balcony Block Walls

The walls of the balcony slabs are typically in good condition, the inspected residential units' exhibit cracking at balconies. This is an indication of moisture intrusion into the block wall, with subsequent delamination of stucco. If left unabated, the stucco at the balcony block wall will eventually spall off, creating a falling debris and life safety hazard for residents and pedestrians below. We recommend the balcony walls be repaired where there are sign of cracking and

delamination. In addition, we also recommend that all balcony block walls be surveyed to document similar conditions.

7.0 – Sufficiency

Please note that this report is limited to the evaluation of the selected areas described herein. Adequacy of the original design or in-place construction is beyond the Scope of our Work. This report should not be used as a repair Document, as substantial additional details and information must be furnished to the Contractor to perform adequate repairs.

Nothing in this report shall be construed directly or indirectly as a guarantee of any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the items reported herein, based upon careful evaluation of the observed conditions, to the extent reasonably possible.

Submitted by:
PISTORINO & ALAM CONSULTING ENGINEERS, INC.



Ashar S. Anwaar
Structural Engineer



For: Carlos Tijerino
Staff Engineer

01 09 16

APPENDIX

PHOTOGRAPHS

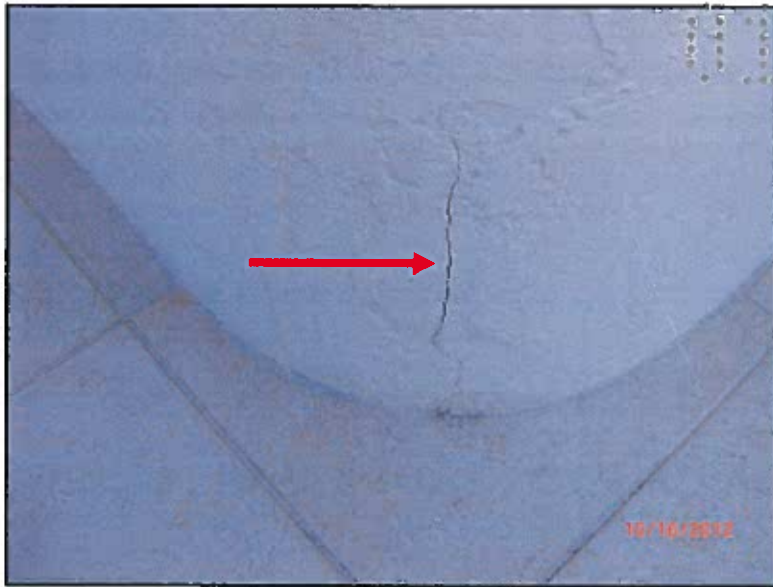


PHOTO # 1: Vertical cracking on building wall located at balcony Unit #219



PHOTO # 2: Horizontal cracking/delaminated stucco at balcony wall Unit #219



PHOTO # 3: Horizontal cracking on balcony block wall concrete cap at Unit #219



PHOTO # 4: Concrete spalling/exposed steel rebar at balcony ceiling at Unit #219

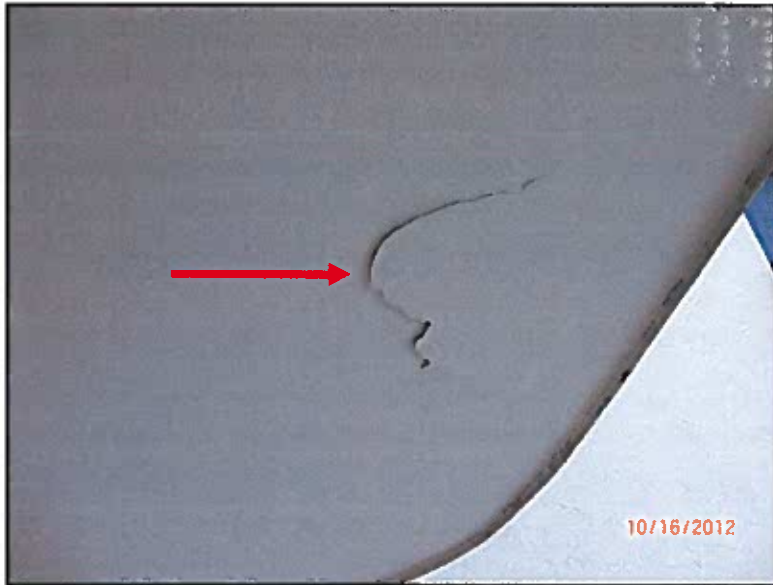


PHOTO # 5: Concrete spalling at balcony ceiling at Unit #416



PHOTO # 6: Cracking stucco at balcony railing connection at Unit #407

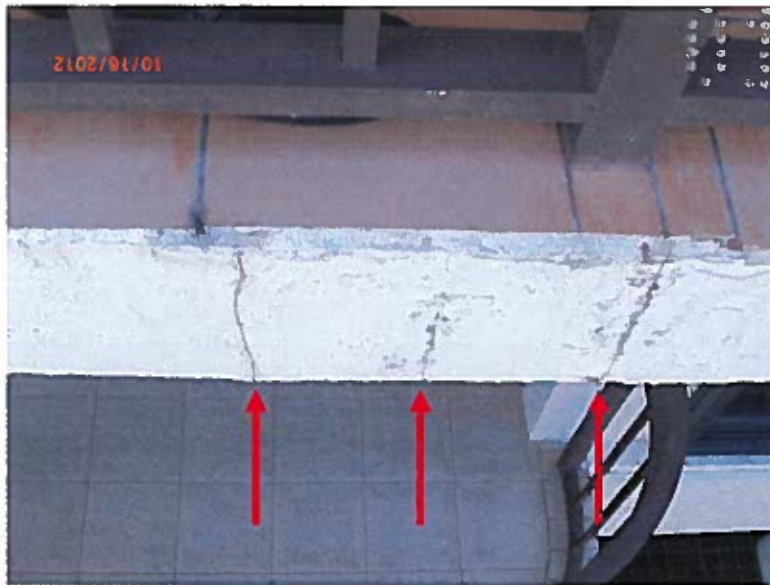


PHOTO # 7: Cracking/delaminated stucco on balcony slab edge at Unit #407



PHOTO # 8: Cracking at connection between balcony wall and bldg. column at Unit #219

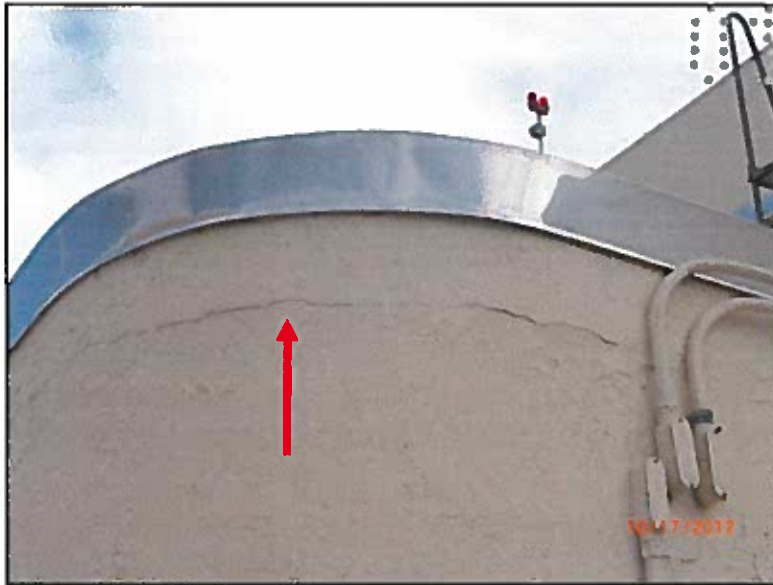


PHOTO # 9: Delaminated/cracking stucco at exterior of Generator Room at roof area



PHOTO # 10: Delaminated/cracking stucco at exterior of east Elevator Machine Room at Roof Area



PHOTO # 11: Step cracking at corners of east side Elevator Machine Room

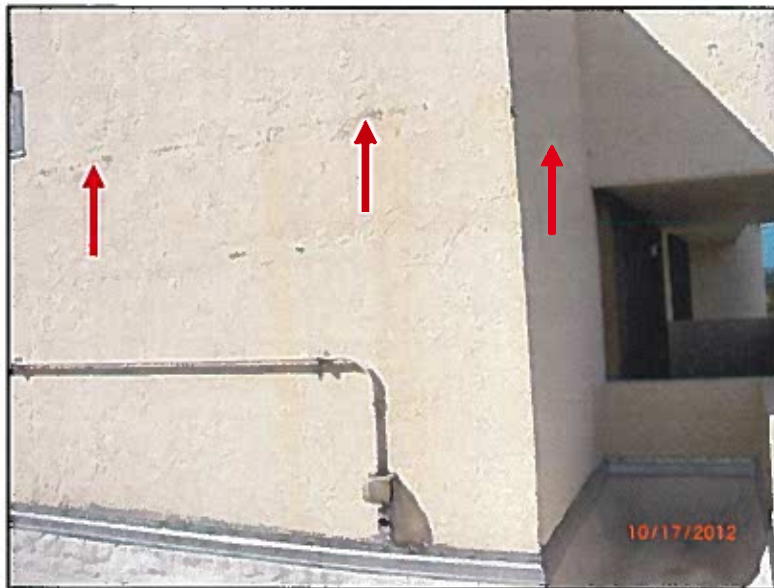


PHOTO # 12: Horizontal cracking at PH exterior wall



PHOTO # 13: Cracks on block wall at inside of West Elevator Machine Room



PHOTO # 14: slab cracking at column drop panel next to Parking Space No. 267

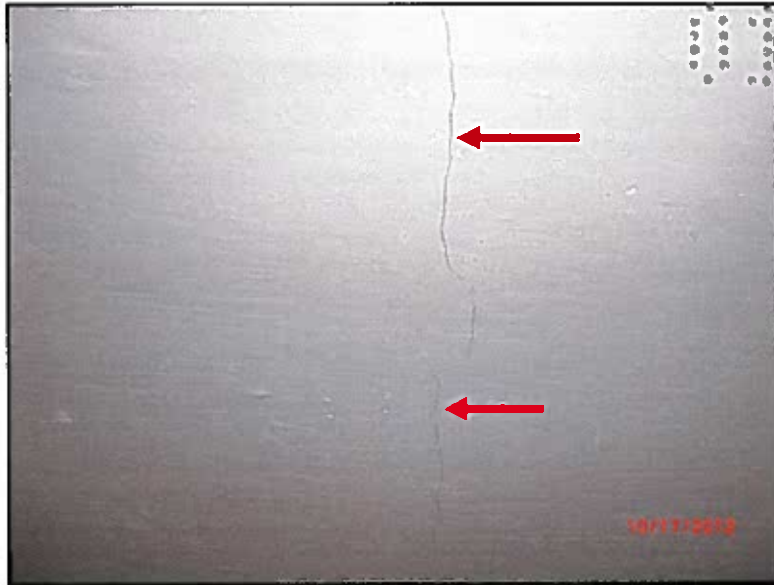


PHOTO # 15: slab cracking at column drop panel next to Parking Space No. 267



**PHOTO # 16: Unsealed wall, pipe penetration at Fire rated assembly (2hr fire rated assembly)
Paint Storage Room**



PHOTO # 17: slab cracking and beam cracks next to Parking Space 210

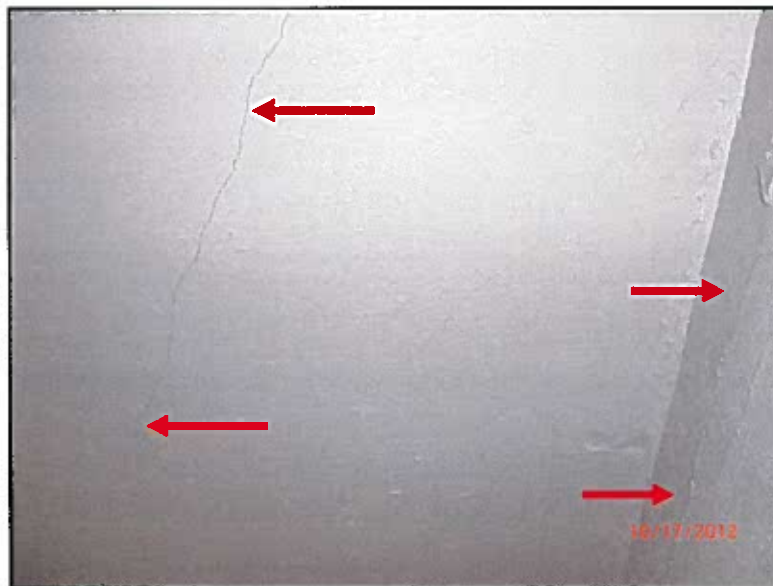


PHOTO # 18: slab cracking at column drop panel next to Parking Space 210



PHOTO # 19: slab cracking at column drop panel between Parking Spaces 248 & 249

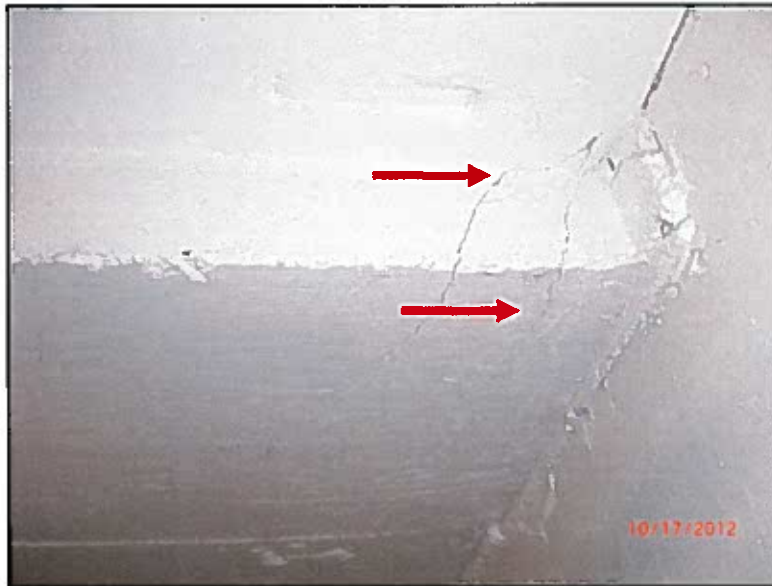


PHOTO # 20: slab cracking at column drop panel between Parking Spaces 245 & 246

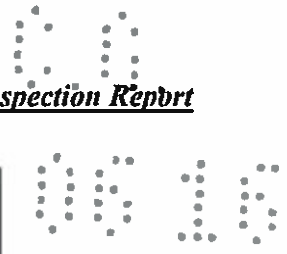


PHOTO # 21: trench drain drop ceiling between Parking Spaces 314 & 327



PHOTO # 22: trench drain drop ceiling opening between Parking Spaces 314 & 327



PHOTO # 23: cracking and water intrusion at underside of ramp in front of Parking Space 61



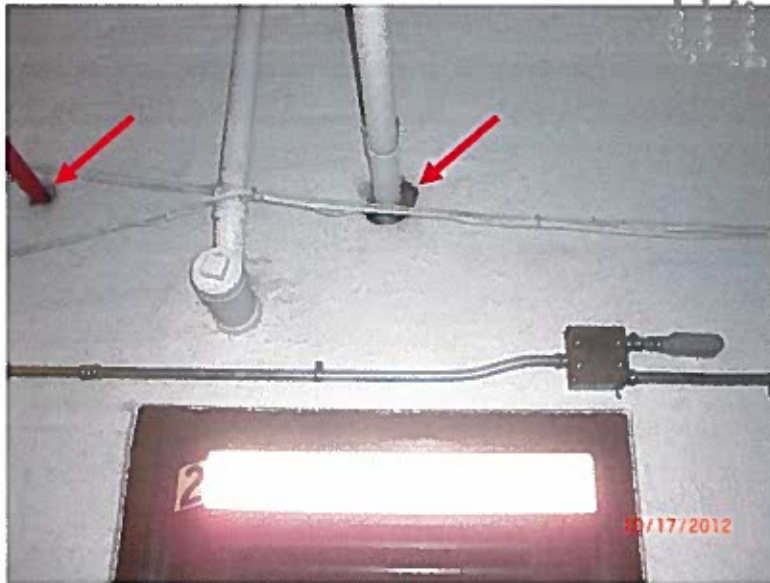
PHOTO # 24: trench drain drop ceiling between Parking Spaces 52 & 61



PHOTO # 25: trench drain drop ceiling between Parking Spaces 52 & 61



PHOTO # 26: cracking on wall next to Parking Space 51



**PHOTO # 27: Unsealed wall, pipe penetration at Fire rated assembly (2hr fire rated assembly)
Paint Storage Room**



PHOTO # 28: cracking on overhang at West side



PHOTO # 29: cracking and staining on balcony edge

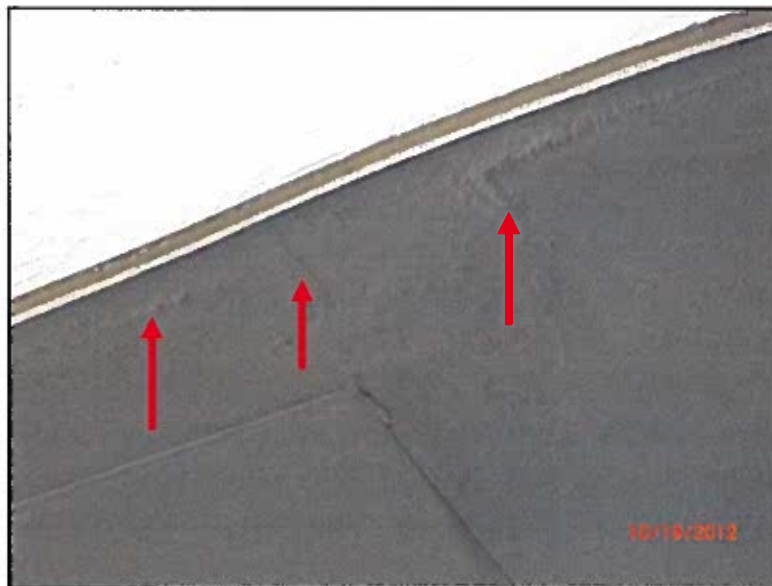


PHOTO # 30: cracking & blistering at underside of overhang edge

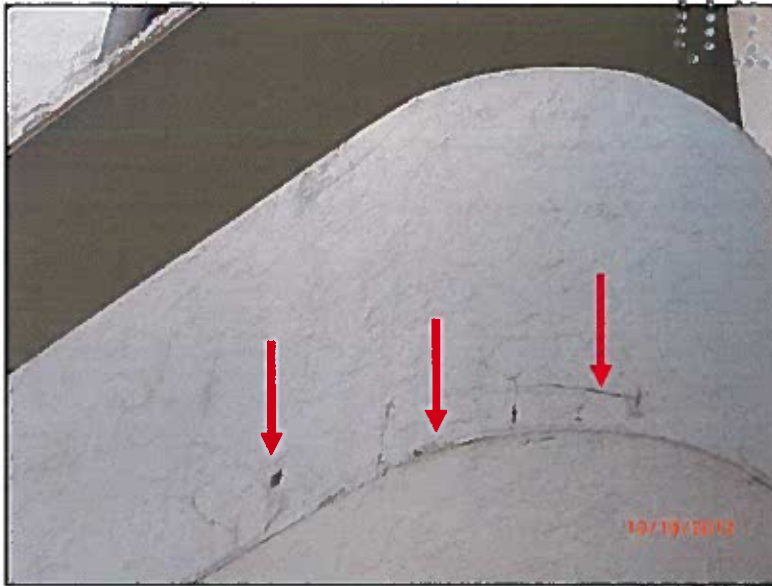


PHOTO # 31: stucco cracking at bottom of third floor balcony wall on East side

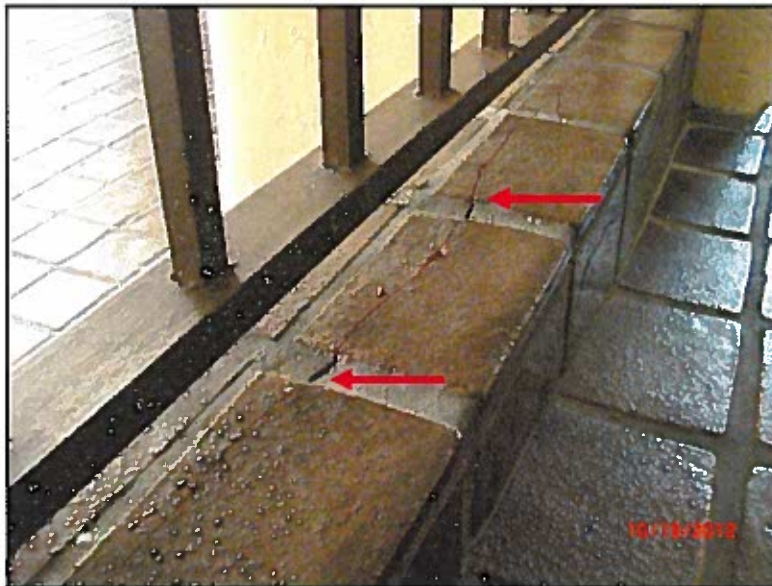


PHOTO # 32: crack along tiled ramp east of main entrance

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05 16

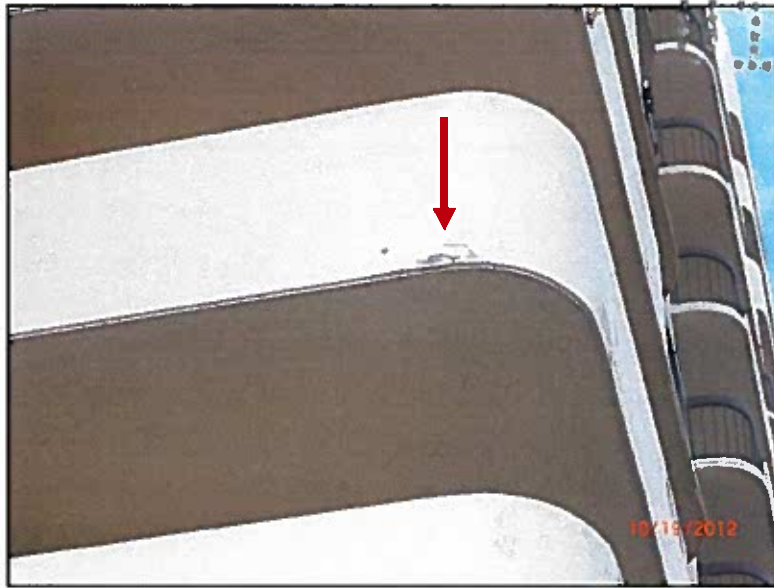


PHOTO # 33: cracking and staining at bottom of fourth floor balcony wall on east



PHOTO # 34: stucco cracking on building wall next to east stairs tower

00
00 16

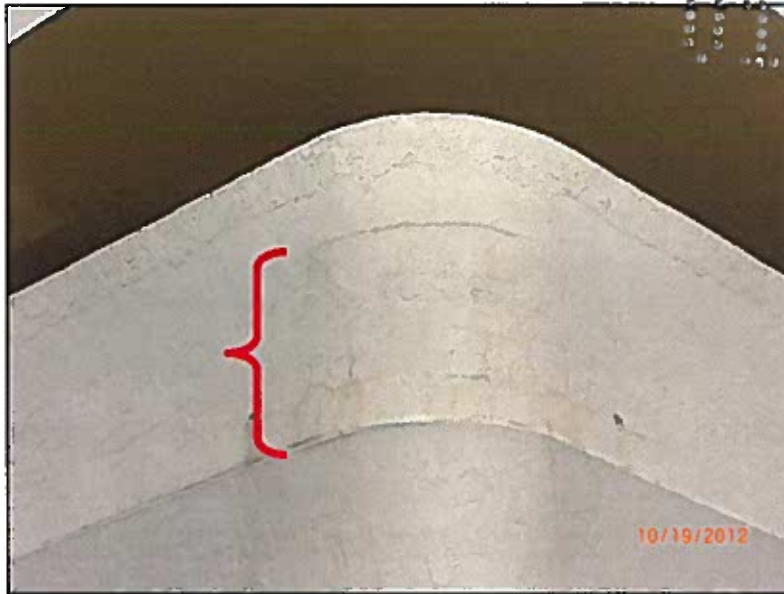


PHOTO # 35: spider web cracking on exterior face at second floor balcony on East side

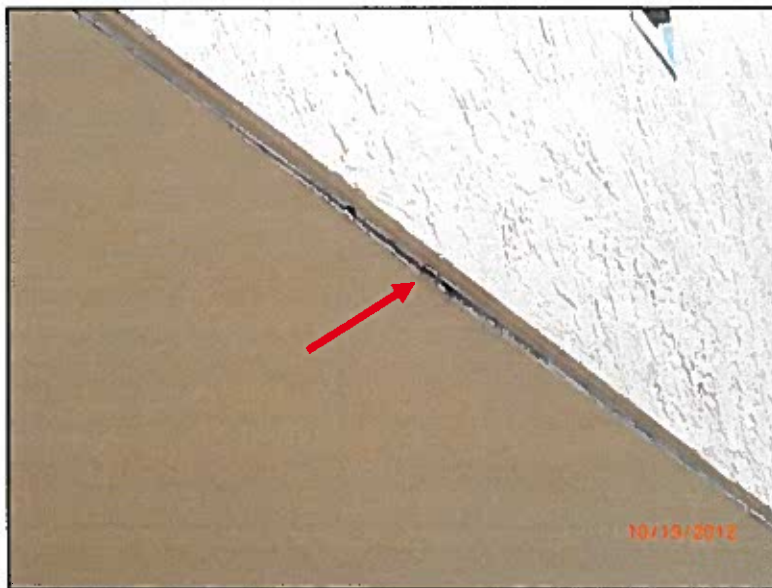


PHOTO # 36: ceiling separation at edge of South overhang

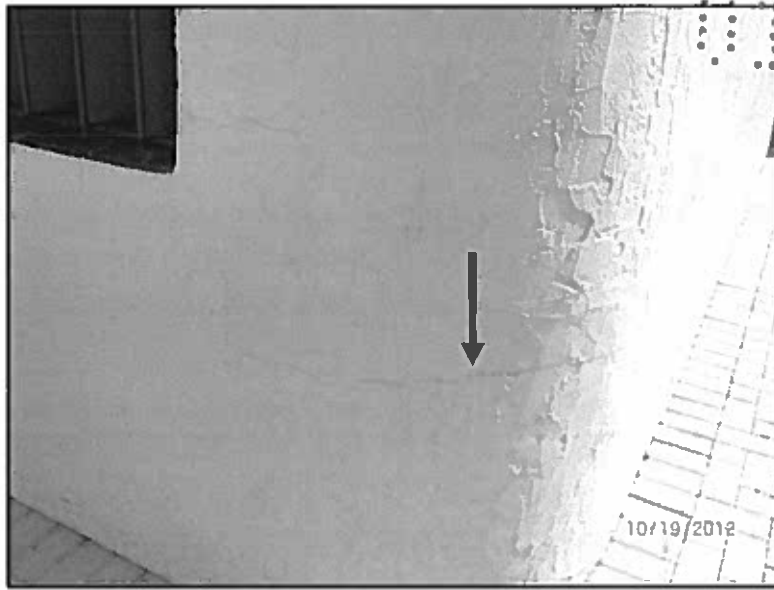


PHOTO # 37: stucco cracking on East side of building corner at pool deck area



Delivering Excellence Every Day



MIAMI-DADE COUNTY BOARD OF RULES AND APPEALS

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 10/16/2012

INSPECTION MADE BY: Vincent Sancho, P.E.

SIGNATURE: [Signature]

INSPECTION COMPLETED

Date: 05/14/2013

PRINT NAME: Vincent Sancho

TITLE: Professional Electrical Engineer

ADDRESS: 7171 SW 62nd Avenue

Miami, Fl. 33143

1. DESCRIPTION OF STRUCTURE

a. Name on Title: Biltmore II Condominium

b. Street Address: 600 Biltmore Way, Coral Gables, Fl. 33134

c. Legal Description:

d. Owner's Name:

e. Owner's Mailing Address:

f. Folio Number of Property on which Building is Located:

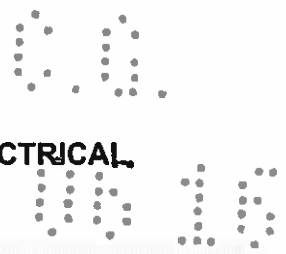
g. Building Code Occupancy Classification: Residential R-2

h. Present Use: Residential

i. General Description, Type of Construction, Size, Number of Stories, and Special Features

Additional Comments:

13 story high rise building with an enclosed garage, exterior parking and 232 units.



GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES.

2. ELECTRIC SERVICE

1. Size: Amperage () Fuses () Breakers ()

2. Phase: Three Phase () Single Phase ()

3. Condition: Good () Fair () Needs Repair ()

Comments: Refer to Exhibit A, #2

3. METER AND ELECTRIC ROOM

1. Clearances: Good (**X**) Fair () Requires Correction ()

Comments:

4. GUTTERS

Location: Good() Requires Repair ()

Location: Good() Requires Repair ()

Taps/Fill: Good() Requires Repair ()

Comments: Refer to Exhibit A ,#4



5. ELECTRICAL PANELS

1. Panel #() Location :

Good () Needs Repair ()

2. Panel #() Location:

Good () Needs Repair ()

3. Panel #() Location:

Good () Needs Repair ()

4. Panel #() Location:

Good () Needs Repair ()

5. Panel #() Location:

Good () Needs Repair ()

Comments: Refer to Exhibit A, #5

6. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Refer to Exhibit A, #6

7. GROUNDING SERVICE:

Good ()

Repairs Required

()

Comments: Refer to Exhibit A, #7

8. GROUNDING OF EQUIPMENT:

Good ()

Repairs Required

()

Comments: Refer to Exhibit A, #8

9. SERVICE CONDUITS/RACEWAYS:

Good ()

Repairs Required

()

Comments: Refer to Exhibit A, #9

10. SERVICE CONDUCTOR AND CABLES:

Good ()

Repairs Required

()

Comments: Refer to Exhibit A, #10

11. TYPES OF WIRING METHODS:

Refer to Exhibit A, #11

Conduit Raceways:	Good	()	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	(NA)	Repairs Required	(NA)
BX Cable:	Good	()	Repairs Required	()

12. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments: Refer to Exhibit A, #12

13. EMERGENCY LIGHTING:

Good (X) Repairs Required ()

Comments: Refer to Exhibit A, #13

14. BUILDING EGRESS ILLUMINATION:

Good (X) Repairs Required ()

Comments: Refer to Exhibit A, #14

15. FIRE ALARM SYSTEM:

Good (X)

Repairs Required

()

Comments: The Fire Alarm System is currently being replaced and appears to be in good condition.

16. SMOKE DETECTORS / ALARMS:

Good (X)

Repairs Required

()

Comments: Common areas smoke detectors are being replaced and residential unit smoke alarms are tested on an annual basis and repaired as required by the fire department.

17. EXIT LIGHTS:

Good (X)

Repairs Required

()

Comments: Refer to Exhibit A, #13

18. EMERGENCY GENERATOR:

Good (X)

Repairs Required

()

Comments: Refer to Exhibit A, #18

19. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Good

()

Illumination

()

Comments: Refer to Exhibit A, #23

20. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Good

()

Illumination

()

Comments: Refer to Exhibit A, #13 & #14

21. SWIMMING POOL WIRING:

Good

()

Repairs Required

()

Comments: Refer to Exhibit A, #21

22. WIRING TO MECHANICAL EQUIPMENT:

Good

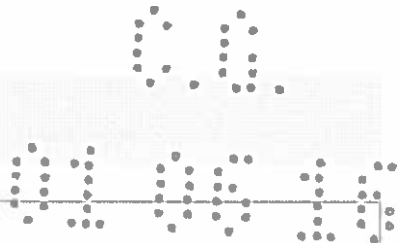
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Repairs Required

()

Comments: Refer to Exhibit A, #6, #8 & #23

23. ADDITIONAL COMMENTS:



Refer to Exhibit A, #23

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

2. ELECTRIC SERVICE

The electrical power distribution for the Building originates in the FPL Transformer Vault Room located at the basement level and adjacent to the Main Electrical Room:

- Main #1 of 4, 800 amp breaker, 480 volts, 3 phase, located in the Main Electrical Room.
- Main #2 of 4, 400 amp switch, 480 volts, 3 phase, located in the Main Electrical Room.
- Main #3 of 4 (emergency main), 400 amp switch, 480 volts, 3 phase, located in the Main Electrical Room.
- Main #4 of 4, 400 amp switch, 480 volts, 3 phase, located in the Main Electrical Room.

Observation: The exterior condition of the switchgear appears to be in good condition except for minor corrosion. The internal components could not be verified for this report due to potential arc-flash hazards.

Location: Main Electrical Room

Criteria: NFPA 70, NFPA 70B

Recommendation: A thermal scan and a visual inspection of the condition of the internal components (breakers, bus, lugs, raceways, conductors, feeders, grounding, bonding etc) for all switchgear shall be performed by a qualified/licensed electrician and the report provided for evaluation and repair recommendations. Corrosion shall be repaired (if possible, otherwise equipment replaced) as required per equipment manufacturer's recommendations. During the visual inspection, standard maintenance shall be performed as recommended by the equipment manufacturer and by NFPA 70B standards.

Observation: The provided Electrical Riser Drawing does not accurately reflect the existing condition (as-built).

Location: Main Electrical Room and Throughout

Criteria: NEC 110.22

Recommendation: Provide an Electrical Riser Drawing that reflects the as-built condition. This drawing shall be submitted for review prior to being submitted to the building department and Association.

3. METER AND ELECTRIC ROOMS

Observation: The exterior condition of the meter centers appear to be in good condition. The internal components of the meter centers could not be verified for this report due to potential arc-flash hazards.

Location: Meter Center Rooms

Criteria: NFPA 70, NFPA 70B

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

Recommendation: A thermal scan and a visual inspection of the condition of the internal components (breakers, bus, conductors, feeders, grounding, bonding etc) for all meter centers shall be performed by a qualified/licensed electrician and the report provided for evaluation and repair recommendations. Corrosion shall be repaired (if possible, otherwise equipment replaced) as required per equipment manufacturer's recommendations. During the visual inspection, standard maintenance shall be performed as recommended by the equipment manufacturer and by NFPA 70B standards.

4. GUTTERS

Observation: The exterior of the gutters appear to be in good condition. The internal components of the gutters could not be verified for this report due to potential arc-flash hazards.

Location: Electrical Rooms

Criteria: NFPA 70, NFPA 70B

Recommendation: A thermal scan and a visual inspection of the condition of the internal components (breakers, bus, conductors, feeders, grounding, bonding, fill, etc) for all gutters shall be performed by a qualified/licensed electrician and the report provided for evaluation and repair recommendations. Corrosion shall be repaired (if possible, otherwise equipment replaced) as required per equipment manufacturer's recommendations. During the visual inspection, standard maintenance shall be performed as recommended by the equipment manufacturer and by NFPA 70B standards.

5. ELECTRIC PANELS & 6. BRANCH CIRCUITS

Observation: The panel circuit directory is missing, or incomplete. The breakers are not numbered and/or the panel is not labeled with name, voltage, current rating and the number of phases for which it is designed.

Location: Generator Room (100 amp panel is not labeled), Roof (225 amp panel not labeled, Main Electrical Room (main 1-incomplete directory, panel DP-breaker not labeled), 6th Floor East Meter Room (panels missing voltage and current ratings), Pool Equipment Room

Criteria: NEC 110.22, 408.4, 408.13

Recommendation: Provide the required circuit directory, corresponding breaker numbers and panel labels as per the referenced criteria for all panels. Panel circuits shall be verified/traced in order to provide a complete/accurate directory as per referenced criteria.

Observation: There are exposed live internal parts due to missing breaker space covers. These covers are required to prevent accidental contact with live parts. This is a life safety issue and should be addressed immediately.

Location: Main Electrical Room (main 1), Pool Equipment Room Panel

Criteria: NEC 110.27(A)

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EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

Recommendation: Provide protection against accidental contact with live parts as per the referenced criteria.

Observation: The exterior condition of the common area distribution panels appears to be in good condition except for minor corrosion (Generator Room -EM panel 2, 100 amp panel), Roof (225 amp panel-internal/external), Main Electrical Room (main 1-minor external). The internal components could not be verified for this report due to potential arc-flash hazards.

Location: Throughout Common Areas

Criteria: NFPA 70, NFPA 70B

Recommendation: A thermal scan and a visual inspection of the condition of the internal components (breakers, bus, conductors, feeders, grounding, bonding etc) for all common area distribution panels shall be performed by a qualified/licensed electrician and the report provided for evaluation and repair recommendations. Corrosion shall be repaired (if possible, otherwise equipment replaced) as required per equipment manufacturer's recommendations. During the visual inspection, standard maintenance shall be performed as recommended by the equipment manufacturer and by NPFA 70B standards.

7. GROUNDING SERVICE:

Observation: The condition of the complete grounding system (including the main bonding jumpers) could not be verified for this report due to potential arc-flash hazards.

Location: Main Electrical Room

Criteria: NEC 250, NFPA 70B

Recommendation: The grounding system (including the main bonding jumpers) for the services shall be tested and visually inspected by a qualified/licensed electrician and a report provided for evaluation. During the visual inspection, standard maintenance shall be performed as recommended by the equipment manufacturer and by NPFA 70B standards.

8. GROUNDING OF EQUIPMENT:

Observation: The grounding/bonding of all of the equipment could not be verified for this report due to potential arc-flash hazards. The grounding conductor for the generator was not properly terminated.

Location: Throughout the Building

Criteria: NEC 250

Recommendation: The grounding system for all equipment shall be tested and visually inspected by a qualified/licensed electrician and a report provided for evaluation. Properly terminate the generator's grounding conductor.

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

9. SERVICE CONDUIT/RACEWAYS & 10. SERVICE CONDUCTOR AND CABLES:

Refer to Item # 2

11. TYPES OF WIRING METHODS:

Observation: There are various types of wiring methods throughout the buildings. Some of the metallic conduits are corroded and some conduits are not properly supported. The majority of conduits appear to be in good condition.

Location: Refer to Section 23

Criteria: NEC 110.11, 300.6, 314.40(A)

Recommendation: Repair (if possible per manufacturer's recommendations) or replace the corroded/damaged conduits and conductors with equipment suitable for the environment in which they are to be installed as per the referenced criteria.

12. FEEDER CONDUCTORS:

Observation: The condition of the feeder conductors could not be verified for this report due to potential arc-flash hazards.

Location: Throughout

Criteria: NEC 110.3

Recommendation: Refer to sections 2, 3 & 5.

13. EMERGENCY LIGHTING

Observation: There are areas that require additional emergency illumination luminaires (with battery backup). The existing fixtures are in good working condition.

Location: Generator Room, Elevator Machine Rooms (and outside at stairs), Main Electrical Room, Domestic and Fire Pump Room, All Stairs (all levels-existing luminaires are on emergency circuits from the same panel-the opening of one breaker would cause the stairs to go dark)

Criteria: NFPA 101 Sections 7.8 & 7.9

Recommendation: This item is not required for the 40 Year Electrical Re-certification. However, it is required by the latest code and it is a life safety issue. It is recommended to provide the required emergency illumination as per the referenced criteria. The addition of emergency battery backup power luminaires may solve the issue for the stairs.

Observation: Written records of the required visual inspections and tests of the Emergency Lighting Equipment were not available for review.

Location: Emergency Lighting System throughout building

Criteria: NFPA 101 Section 7.9.3 & 7.10

Pistorino & Alam Consulting Engineers, Inc.

Page 4

04

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Re-certification Inspection

Recommendation: This item is not required for the 40 Year Electrical Re-certification. However, it is required by the latest code and it is a life safety issue. It is recommended that the required emergency lighting systems (including exit signs) be tested in accordance with the referenced criteria and the report provided for evaluation. The report should include an illumination study of the emergency lighting levels throughout the emergency paths of egress throughout the building including the parking garage.

14. BUILDING EGRESS ILLUMINATION

Observation: There are walking surfaces with means of egress illumination below the required minimum level of 1 ft-candle. The existing fixtures are in good working condition.

Location: All stairs at all levels, egress pathways between the corridor and the stairs at the East and West Smoke Towers, Garage (entire south wall area), Roof (west smoke tower stair exit door), Outdoor parking areas and pathways to them (this is a security, not a means of egress issue), Corridors (many areas throughout), Lobby (many areas such as in front of the Biltmore Hotel picture, in front of the billiard room door, at steps to elevated floor area), Pool Deck – since the pool is open at night, the illumination levels near the pool are below the required 3 ft-candle

Criteria: NFPA 101 Section 7.8, FBC 424.1.4.2.1, Miami Dade County Ordinance Section 8C-3.

Recommendation: This item is not required for the 40 Year Electrical Re-certification. However, it is required by the latest code and it is a life safety and security issue. It is recommended to provide the required means of egress and security illumination for these areas as per the referenced criteria.

18. EMERGENCY GENERATOR:

Observation: Written records of visual inspections and tests of the Emergency Power System were made available for review. The generator appears to be in good condition.

Location: Main Electrical/Generator Room

Criteria: NFPA 101 Section 7.9.2.4, NFPA 110, and NEC 110.3, 700.4

Recommendation: The Emergency Power System shall be continued to be tested and maintained as per the referenced criteria.

21. SWIMMING POOL WIRING:

Observation: The bonding of the pool equipment could not be verified.

Location: Pool

Criteria: NEC 680.26

Recommendation: The bonding system for the pool equipment shall be tested and a report provided for evaluation.

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

23. ADDITIONAL COMMENTS

COMMON AREAS

Observation: There are electrical conduit penetrations through fire-resistant-rated walls, partitions, floors, and ceilings that are not firestopped.

Location: Main Electrical Room, Domestic/Fire Pump Room, Telephone Room, Shop 1

Criteria: NEC 300.21

Recommendation: Provide the required firestopping sealant for the penetrations as per NEC 300.21 and NFPA 101.

Observation: There is corroded/damaged electrical equipment.

Location: Generator Room (exhaust fan conduit), Roof (timers, conduits and supports under RTU, residential condensing unit disconnects)

Criteria: NEC 110.11, 300.6, 314.40(A)

Recommendation: Repair (if possible per manufacturer's recommendations) or replace the corroded equipment with equipment suitable for the environment in which they are to be installed as per the referenced criteria.

Observation: There is electrical equipment missing covers and improperly terminated wires which could cause accidental contact with live parts. This is a life safety issue and should be addressed immediately.

Location: Roof (receptacle near east RTU missing cover), Main Electrical Room (junction box missing cover), Shop 1 (contactor missing cover, improperly terminated wiring with exposed live parts on a wall with wood backing), Domestic/Fire Pump Room (junction box missing cover), Garage (junction box missing cover near trash room), Main Entrance (unterminated wiring near outdoor entrance ramp)

Criteria: NEC 110.27(A), 314.25

Recommendation: Provide protection against accidental contact with live parts as per the referenced criteria.

Observation: There are conduits, receptacles and wiring which are not securely fastened in place. There are Liquidtight Flexible Nonmetallic Conduits (LFNC) not properly supported.

Location: Roof (conduits near RTUs not securely fastened, LFNC greater than 6 ft. in length are not supported within 12 in. on each side of every fitting at the condensing units, conduit near west exhaust fan has a fitting which came loose with exposed wiring), Elevator 3 & 4 Room (exhaust fan room conduit not securely fastened), Main Electrical Room (receptacle not securely fastened), Garage (conduits at east & west walls not properly supported), Shop 1 (wiring at a wall with wood backing)

Criteria: NEC 300.11, 356.30

Recommendation: Securely fasten and support the conduits and receptacle as per the referenced criteria.

EXHIBIT A

Biltmore II Condominium

40 Year Electrical Recertification Inspection

Observation: There are disconnecting devices (switches, timers, starters and panels) not marked to indicate their purpose.

Location: Roof (timers), Generator Room (timer), Main Electrical Room (timers), Shop 1 (timers, disconnect and a panel), Garage (timer near east gate/stair door & west stair door); Pool Pump Room (timers, contactors)

Criteria: NEC 110.22

Recommendation: Provide marking which identifies the purpose of each disconnecting device that is legible and of sufficient durability to withstand the environment involved as per the referenced criteria.

Observation: There are receptacles (125 volt, single phase, 15 or 20 ampere) without the required GFCI protection or missing GFCI receptacles within 25 ft. of heating, air-conditioning, and refrigeration equipment.

Location: Roof (missing receptacle with 25 ft of 15/16 series condensing units and upper roof condensing units), Lobby (bathroom near security has receptacle without GFCI protection), Main Electrical Room; Shop 1; Storage Rooms, Garage near sump pump ; Pool Pump Room; Outdoors near main entrance (receptacles without GFCI protection), Ground level covered parking (missing receptacle with 25 ft of condensing units)

Criteria: NEC 210.8, 210.63

Recommendation: Provide the required GFCI protection for the receptacles as per the referenced criteria.

Observation: The branch circuit cables for the landscape uplight fixtures were not buried.

Location: Pool deck planters

Criteria: NEC 300.5 (table 300.5)

Recommendation: The conduits for the landscape fixtures shall be buried as per the referenced criteria.

UNITS

The following units were inspected: 219, 407, 416, 619, 1203

Observation: The garbage disposal conduits are corroded.

Location: Most units inspected

Criteria: NEC 110.11, 300.6, 314.40(A)

Recommendation: Repair (if possible per manufacturer's recommendations) or replace the corroded equipment with equipment suitable for the environment in which they are to be installed as per the referenced criteria. All units shall be inspected and repaired accordingly.

Note:

Please note that this report is limited to the visual evaluation of the selected areas described herein. Adequacy of the original design or in-place construction is beyond the Scope of our Work. This report should not be used as a repair Document, as substantial

EXHIBIT A

Biltmore II Condominium **40 Year Electrical Recertification Inspection**

additional details and information must be furnished to the Contractor to perform adequate repairs.

Nothing in this report shall be construed directly or indirectly as a guarantee of any portion of the electrical system. To the best of our knowledge and ability, this report represents an accurate appraisal of the items reported herein, based upon careful evaluation of the observed conditions, to the extent reasonably possible.

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City of Coral Gables
Development Services

OFFICE SET



RC-15-12-5612

600 BILTMORE WAY # COMMON AREAS

Folio #: 03-4117-025-0001

Permit Description: CONSTRUCTION
REGULATION BOARD CASE #15-4614 AND
UNSAFE STRUCTURE BOARD FEE

EL _____
ME _____
PL _____

Section	Approved	
	By	Date
<input checked="" type="checkbox"/> BUILDING	<i>M/L</i>	<i>1/8/16</i>
<input type="checkbox"/> CONCURRENCY		
<input checked="" type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FEMA		
<input type="checkbox"/> FIRE		
<input type="checkbox"/> HANDICAP		
<input type="checkbox"/> HISTORICAL		
<input type="checkbox"/> MECHANICAL		
<input type="checkbox"/> PLUMBING		
<input type="checkbox"/> PUBLIC WORKS		
<input type="checkbox"/> STRUCTURAL		
<input type="checkbox"/> ZONING		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/> OWNER BUILDER		

R

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans.
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

RC-15-12-5612



Permit #: RC-15-12-5612 Permit type: rc010 - BUILDING RE CERTIFICATION Address: 600 BILTMORE WAY
 Master permit #: Routing queue: rc012 - STRUCTURE CERTIFICATION COMMON AREAS
 CORAL GABLES, FL 33134-7541

Group # - Name	Action Code	Action Description	Completion Date	Completion Code	Completed By	Comments
1 - BOARDS - GENERATE F	calc fees	CALCULATE FEES	12/18/2015	comp	bgarcia	
2 - CASHIER	collect	COLLECT FEES	1/7/2016	waived	vgoizueta	RECERTIFICATION REPORT REVIEW FEES PAID ON RC13051886
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW	1/8/2016	apvd	mlopez	
3 - PLAN REVIEW	collect	COLLECT FEES				
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW				
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW	1/8/2016	reject	gmoreno	
4 - RE CERTIFIED LETTER	letter	GENERATE LETTER				

CITY'S
EXHIBIT

4

BEFORE THE CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,

Case # 15-4614

Petitioner,

vs.

BILTMORE II CONDOMINIUM
ASSOCIATION, INC.
a Florida not for profit corporation

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date: December 29, 2015

To:

Condominium Association
Biltmore II Condominium
Association, Inc.
c/o David H. Rogel
Registered Agent
Becker & Poliakoff, P.A.
121 Alhambra Plaza, 10th Floor
Coral Gables, FL 33134

Return receipt number:

91 7108 2133 3932 7181 7341

Re: The twelve-story residential condominium buildings consisting of 232 units ("Structure"), built in 1973 (40-year recertification required), and located at **600 Biltmore Way**, Coral Gables, FL 33134-7541, legally described as all of Block 8, of PLAT CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as

recorded in Plat Book 20, Page 28, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4117-025-0001 (“Property”).

The City of Coral Gables (“City”) Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code as follows:

On March 1, 2013, the City sent the Property Owner a 90-day Notice of Required Inspection for the Property’s requesting an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code (“Report”).

On June 2, 2015, the City sent the Property Owner the City sent the Property Owner notices that the Report was past due.

To date, the Owner has not a) submitted the Report; b) completed the required repairs and c) submitted a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements (“Compliance Report”)(collectively referred to as “Required Action”).

Therefore, this matter is set for hearing before the City’s Construction Regulation Board (“Board”) in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on January 11, 2016, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and recover the costs incurred against the Property and the Owner of record.

If the Property Owner or other interested party does not take all Required Action or appeal the decision of the Building Official, the Construction Regulation Board may enter an order of

demolition and assess all costs of the proceedings and demolition and other Required Action for which the City shall have a lien against the Property and the Property Owner.

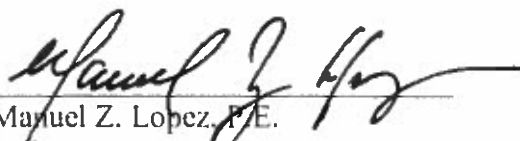
Please contact Virginia Goizueta, Building Services Coordinator, tel.: (305) 460-5250, email: vgoizueta@coralgables.com, or Manuel Z. Lopez, P.E., Building Official, tel.: (305) 460-5242, email: mlopez@coralgables.com. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on December 29, 2015, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, by first class mail, via e-mail at any e-mail address indicated above, and by hand-delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4614

Title of Document Posted: Construction Regulation Board Case

I, JORGE PINO, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 600 Biltmore Way, ON 12/29/15
AT 1:50 PM.

J. PINO
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 29 day of December, in
the year 20 15, by Jorge A Pino who is personally known to
me.

My Commission Expires:



[Signature]
Notary Public



12/29/2015 13:49

BUILDING PERMIT

CITY OF LOS ANGELES

BUILDING PERMIT

City of Los Angeles

BUILDING PERMIT

BEFORE THE CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES

Case # 15-4614

600 Baltimore Way

CITY OF CORAL GABLES

Permit #

600 BALTIMORE WAY
CONDOMINIUM
ASSOCIATION
CORAL GABLES, FL 33134

NOTICE OF UNSAFE STRUCTURE ISOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING

Date: December 23, 2015

To:
Condominium Association
Baltimore II Condominium
Association, Inc.
c/o David H. Regal
Regulatory Agent
Becker & Pollock, P.A.
121 Alhambra Plaza, 16th Floor
Coral Gables, FL 33134

Returns receipt number:

91 7108 2133 3432 7161 7341

Re: The twelve-story residential condominium buildings consisting of 232 units
(“Structure”), built in 1973 (40-year recertification required), and located at 600
Baltimore Way, Coral Gables, FL 33134-7541, legally described as all of Block 5 of
PLAT CORAL GABLES BILTMORE SECTION, according to the Plat thereof as

15-4614

Page 1 of 3

600

BILTMORE

12/29/2015 13:48

BEFORE THE CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES

CITY OF CORAL GABLES.

Case # 15-4614

Petitioner.

vs.

BILTMORE II CONDOMINIUM
ASSOCIATION, INC.
a Florida not for profit corporation

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date: January 22, 2016

To:

Condominium Association
Biltmore II Condominium
Association, Inc.
c/o David H. Rogel
Registered Agent
Becker & Poliakoff, P.A.
121 Alhambra Plaza, 10th Floor
Coral Gables, FL 33134

Return receipt number:

91 7108 2133 3932 6905 4161

Re: The twelve-story residential condominium buildings consisting of 232 units ("Structure"), built in 1973 (40-year recertification required), and located at **600 Biltmore Way**, Coral Gables, FL 33134-7541, legally described as all of Block 8, of PLAT CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as recorded in Plat Book 20, Page 28, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4117-025-0001 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code as follows:

On March 1, 2013, the City sent the Property Owner a 90-day Notice of Required Inspection requesting an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report").

On June 2, 2015, the City sent the Property Owner the City sent the Property Owner notices that the Report was past due.

The Report, submitted to the City on January 6, 2016, stated that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe. The Report noted that the following items required repair or modification: **Electrical:** 1) electrical service; 2) gutters; 3) electrical panels; 4) branch circuits; 5) grounding service; 6) grounding of equipment; 7) service conduits/raceways; 8) service conductor and cables; 9) types of wiring methods; 10) feeder conductors; 11) emergency lighting; 12) building egress illumination; 13) wiring in parking garage areas; 14) garage areas and egress illumination; 15) swimming pool wiring; 16) wiring to mechanical equipment; 17) electrical conduits are not firestopped; 18) corroded/damaged electrical equipment; 19) electrical equipment missing covers and improperly terminated wires; 20) conduits, receptacles and wiring not securely fastened; 21) disconnecting devices not marked; 22) receptacles without required protection or missing; 23) branch circuit cables for the landscape fixtures not buried; and 24) garbage disposal conduits are corroded.

To date, the Owner has not a) completed the required repairs and b) submitted a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report")(collectively referred to as "Required Action").

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on February 8, 2016, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys

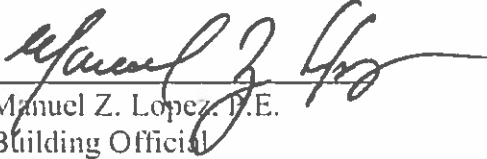
Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and recover the costs incurred against the Property and the Owner of record.

If the Property Owner or other interested party does not take all Required Action or appeal the decision of the Building Official, the Construction Regulation Board may enter an order of demolition and assess all costs of the proceedings and demolition and other Required Action for which the City shall have a lien against the Property and the Property Owner.

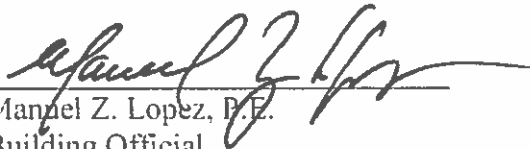
Please contact Virginia Goizueta, Building Services Coordinator, tel.: (305) 460-5250, email: vgoizueta@coralgables.com, or Manuel Z. Lopez, P.E., Building Official, tel.: (305) 460-5242, email: mlopez@coralgables.com. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on January 22, 2016, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, by first class mail, via e-mail at any e-mail address indicated above, and by hand-delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4614

Title of Document Posted: Construction Regulation Board Case

I, DENNIS POIN, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 600 Biltmore Way ON 1-22-16
AT 9:00 am.

DENNIS POIN
Employee's Printed Name

Dennis Poin
Employee's Signature

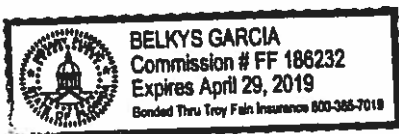
STATE OF FLORIDA)

ss.

COUNTY OF MIAMI-DADE)

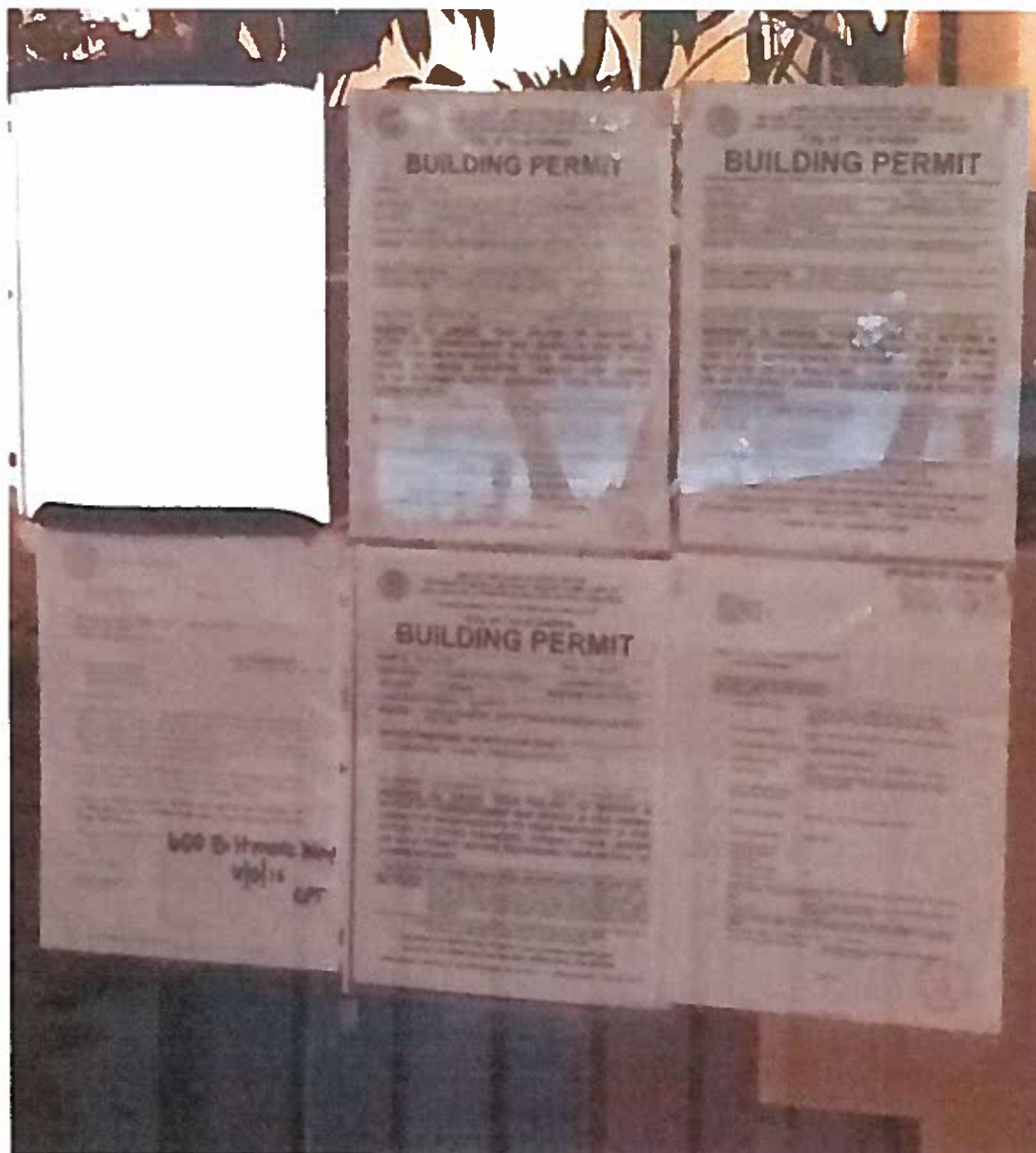
Sworn to (or affirmed) and subscribed before me this 22nd day of January, in
the year 2016, by Dennis Poin who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

600 Biltmore Way



After recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

CFN: 20160102557 BOOK 29967 PAGE 3044
DATE:02/18/2016 04:03:58 PM
HARVEY RUVIN, CLERK OF COURT, MIA-DADE CTY

**CITY OF CORAL GABLES
CONSTRUCTION REGULATION BOARD**

CITY OF CORAL GABLES,

Case # 15-4614

Petitioner,

vs.

BILTMORE II CONDOMINIUM
ASSOCIATION, INC.
a Florida not for profit corporation

Respondent.

ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on February 8, 2016, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served the Notice on the owner, Biltmore II Condominium Association, Inc. ("Owner"), and any lienholders of record of the twelve-story residential condominium buildings consisting of 232 units ("Structure"), built in 1973 (40-year recertification required), and located at **600 Biltmore Way**, Coral Gables, FL 33134-7541, legally described as all of Block 8, of PLAT CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as recorded in Plat Book 20, Page 28, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4117-025-0001 ("Property").

2. The Notice alleges that the Structure is unsafe because an inspection report pursuant to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"), and furnished by or on behalf of the Owner on January 6, 2016, revealed that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe.

3. The Report revealed that the following items required repair or modification: **Electrical:** 1) electrical service; 2) gutters; 3) electrical panels; 4) branch circuits; 5) grounding

service; 6) grounding of equipment; 7) service conduits/raceways; 8) service conductor and cables; 9) types of wiring methods; 10) feeder conductors; 11) emergency lighting; 12) building egress illumination; 13) wiring in parking garage areas; 14) garage areas and egress illumination; 15) swimming pool wiring; 16) wiring to mechanical equipment; 17) electrical conduits are not firestopped; 18) corroded/damaged electrical equipment; 19) electrical equipment missing covers and improperly terminated wires; 20) conduits, receptacles and wiring not securely fastened; 21) disconnecting devices not marked; 22) receptacles without required protection or missing; 23) branch circuit cables for the landscape fixtures not buried; and 24) garbage disposal conduits are corroded.

4. On December 29, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report").

5. To date, the Owner has not completed the required repairs and has not submitted a Compliance Report ("Required Action").

Conclusions of Law

6. The Structure is presumed and is hereby declared unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

It is, therefore, ORDERED:

7. *Required Action.* The Owner shall take the Required Action as follows: a) the Owner shall pass final inspection on all required permits to meet the minimum requirements as noted in the Report and shall submit a Compliance Report within 30 days from the date of this Order. Otherwise, the Owner shall provide a status report at the March 14, 2016 hearing, including a written agreement from a licensed architect or engineer to provide a Compliance Report by a specific deadline.

8. *Request for compliance inspection.* It is the responsibility of the Owner to contact the Building Official to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order and to notify the City of any compliance action taken.

9. *Payment of costs, fines, and demolition by City.* The Owner shall pay, within 7 days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure. In addition, the Owner shall pay a fine of \$250 for each day the violation continues past the date set for compliance, for which the City shall have a lien against the Owner and the Property. The Board may also enter an order of demolition and assess all costs of the proceedings and demolition and other required action for which the City shall have a lien against the Owner and the Property. **Until the Structure is recertified in compliance the terms of this Order, the City shall not issue any further**

development approvals for the Property, including, but not limited to, building permits, unless the development approval is required to comply with the terms of this Order.

10. *Requests for extension of time.* The Building Official, in his sole discretion, may extend any of the above deadlines for good cause beyond the control of the Owner and that the Owner acted in good faith and exercised due diligence in the efforts to take all Required Action, to apply for any required permits, and to request an extension of any deadlines, as applicable.

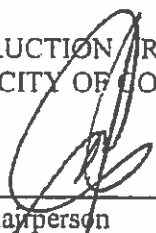
11. *Lien for costs and notice to subsequent purchasers.* The City shall have a special assessment lien for its administrative costs and the costs of corrective action, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

12. *City's remedies are cumulative.* This Order notwithstanding, the City may enforce its code by any other lawful means.

13. **NOTICE:** If the Respondent does not comply with the terms of this Order, the City may issue a Notice of Non-Compliance ("Notice"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this Order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. Failure to request an administrative hearing within seven (7) days after service of the Notice shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 16 day of February, 2016.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES



Board Chairperson

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY DAYS OF THE FILING OF THIS ORDER.

Certificate of Filing and Service

I HEREBY CERTIFY that the original of this Order was filed with the Secretary of the Board, on this 16 day of February, 2016 and that, on the same date, a true and correct copy of the foregoing was served by certified mail, return receipt requested, and by first class mail (and via e-mail at any e-mail address indicated below) on:

Condominium Association

Biltmore II Condominium
Association, Inc.
c/o David H. Rogel
Registered Agent
Becker & Poliakoff, P.A.
121 Alhambra Plaza, 10th Floor
Coral Gables, FL 33134

Return receipt number:

91 7108 2133 3932 6926 2146



Belkys Garcia
Secretary to the Board

BEFORE THE CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,

Case # 15-4614

Petitioner,

vs.

BILTMORE II CONDOMINIUM
ASSOCIATION, INC.,
a Florida not for profit corporation.

Respondent.

**NOTICE OF HEARING ON NON-COMPLIANCE
WITH UNSAFE STRUCTURES ORDER**

Date: February 24, 2016

To:

Condominium Association
Biltmore II Condominium
Association, Inc.
c/o David H. Rogel
Registered Agent
Becker & Poliakoff, P.A.
121 Alhambra Plaza, 10th Floor
Coral Gables, FL 33134

Return receipt number:

91 7108 2133 3932 7179 1610

Re: The twelve-story residential condominium buildings consisting of 232 units ("Structure"), built in 1973 (40-year recertification required), and located at **600 Biltmore Way**, Coral Gables, FL 33134-7541, legally described as all of Block 8, of PLAT CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as recorded in Plat Book 20, Page 28, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4117-025-0001 ("Property").

You are directed to appear for a hearing before the before the City's Construction Regulation Board ("Board") in the Commission Chambers. City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on March 14, 2016, at 2:00 p.m.

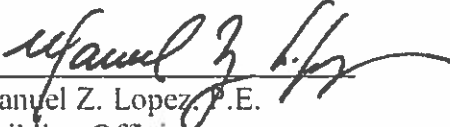
The hearing will be held regarding the Notice of Non-Compliance with Unsafe Structures Order and Right to Request Hearing. **The hearing shall be strictly limited to determining whether and when you took the Required Action or demolished the Structure and paid the administrative costs as required by the Order and the amount of the fine to be imposed based upon the length of time the violation(s) have continued to exist.**

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If you do not prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$150, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

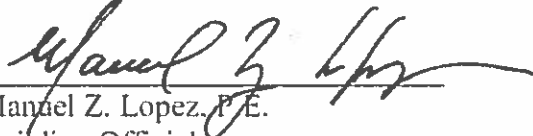
If you comply with the Board's prior order before the hearing, please contact Virginia Goizueta, Building Services Coordinator, tel.: (305) 460-5250, email: vgoizueta@coralgables.com, or Manuel Z. Lopez, P.E., Building Official, tel.: (305) 460-5242, email: mlopez@coralgables.com. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on February 24, 2016, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, by first class mail and by hand-delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Dona M. Spain, ADA Coordinator, at (305) 460-5095, TTY/TDD (305) 460-5010, with requests for auxiliary aids or services at least three business days before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4614

Title of Document Posted: Construction Regulation Board Case

I, DENNIS POIN, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 600 BILTMORE WAY, ON 2-24-16
AT 9:00.

DENNIS POIN
Employee's Printed Name

Dennis Poin
Employee's Signature

STATE OF FLORIDA)
SS.
COUNTY OF MIAMI-DADE)

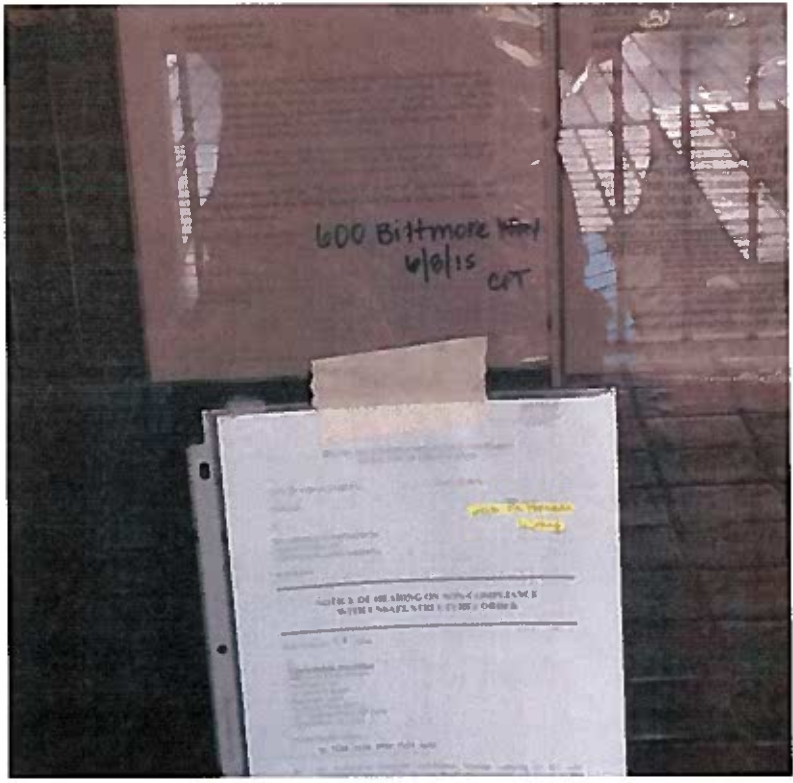
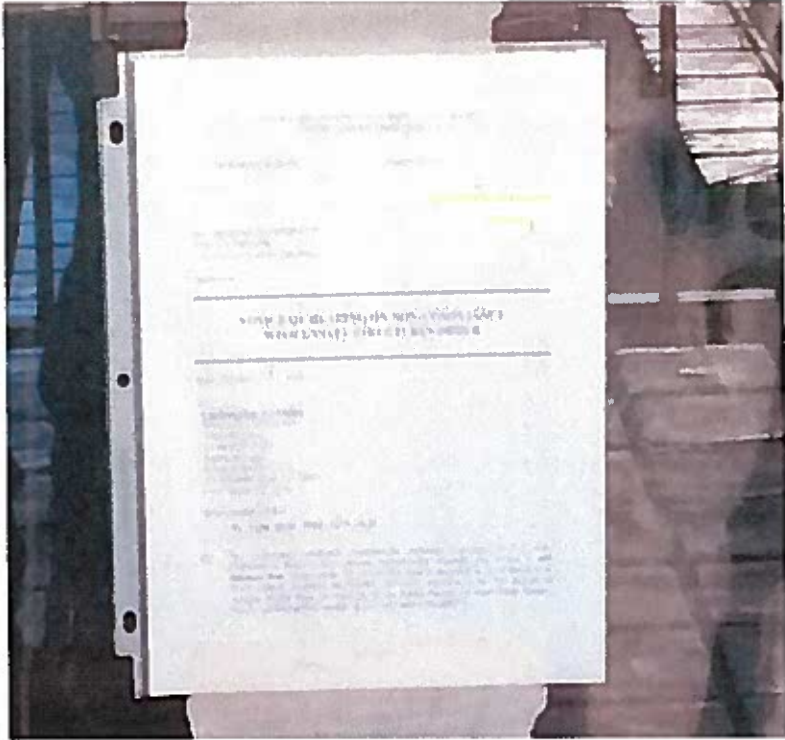
Sworn to (or affirmed) and subscribed before me this 24th day of February, in
the year 2016, by Dennis Poin who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

600 Biltmore Way





Detail by Entity Name

Florida Not For Profit Corporation

BILTMORE II CONDOMINIUM ASSOCIATION, INC.

Filing Information

Document Number 737310
FEI/EIN Number 59-1700590
Date Filed 11/16/1976
State FL
Status ACTIVE

Principal Address

600 BILTMORE WAY
CORAL GABLES, FL 33134

Mailing Address

600 BILTMORE WAY
CORAL GABLES, FL 33134

Registered Agent Name & Address

ROGEL, DAVID H
BECKER & POLIAKOFF, P.A.
121 ALHAMBRA PLAZA, 10TH FL
CORAL GABLES, FL 33134

Name Changed: 09/11/2006

Address Changed: 09/11/2006

Officer/Director Detail

Name & Address

Title President

VIDE PEREZ, MAYRA
600 BILTMORE WAY
CORAL GABLES, FL 33134

Title SEC

ANDING, VOLKER

CITY'S

EXHIBIT

6.

600 BILTMORE WAY
MIAMI, FL 33134

Title TREA

KOMRAD, EUGENE
600 BILTMORE WAY
CORAL GABLES, FL 33134

Title D

MCKINLEY, TERRY
600 BILTMORE WAY
CORAL GABLES, FL 33134

Title VP

SHWEDEL, GINNY
600 BILTMORE WAY
CORAL GABLES, FL 33134

Title DIRECTOR

KOHLER, INGRID
600 BILTMORE WAY
CORAL GABLES, FL 33134

Annual Reports

Report Year	Filed Date
2014	03/03/2014
2014	10/28/2014
2015	03/24/2015

Document Images

<u>03/24/2015 -- ANNUAL REPORT</u>	View image in PDF format
<u>10/28/2014 -- AMENDED ANNUAL REPORT</u>	View image in PDF format
<u>03/03/2014 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/25/2013 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/09/2012 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/09/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>02/16/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>06/22/2009 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/10/2008 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/06/2007 -- ANNUAL REPORT</u>	View image in PDF format
<u>09/11/2006 -- Reg. Agent Change</u>	View image in PDF format

[01/17/2006 -- ANNUAL REPORT](#)
[03/07/2005 -- ANNUAL REPORT](#)
[07/09/2004 -- ANNUAL REPORT](#)
[04/25/2003 -- ANNUAL REPORT](#)
[05/15/2002 -- ANNUAL REPORT](#)
[05/11/2001 -- ANNUAL REPORT](#)
[05/08/2000 -- ANNUAL REPORT](#)
[04/30/1999 -- ANNUAL REPORT](#)
[05/05/1998 -- ANNUAL REPORT](#)
[05/08/1997 -- ANNUAL REPORT](#)
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FOLIO: 03-4117-025-2240
SUB-DIVISION: BILTMORE II CONDO
OWNER: HOWARD & BETTY ROXBOROUGH (TRUST)
PROP. ADDR: 600 BILTMORE WAY UNIT. PH104
CORAL GABLES



FOLIO: 03-4117-025-2250
SUB-DIVISION: BILTMORE II CONDO
OWNER: FINANCIERA EMPERADOR S A
PROP. ADDR: 3RD FLOOR SCOTIABANK BUILDING
600 BILTMORE WAY UNIT. PH105
CORAL GABLES



FOLIO: 03-4117-025-2260
SUB-DIVISION: BILTMORE II CONDO
OWNER: HOLLY DAVIDSON WINER
PROP. ADDR: 600 BILTMORE WAY UNIT. PH106
CORAL GABLES


FOLIO: 03-4117-025-2270
SUB-DIVISION: BILTMORE II CONDO
OWNER: ROBERT PETZINGER
CRISTINA MORAN
PROP. ADDR: 600 BILTMORE WAY UNIT. PH107
CORAL GABLES


FOLIO: 03-4117-025-2280
SUB-DIVISION: BILTMORE II CONDO
OWNER: ALINE JIDY TRS
PROP. ADDR: 600 BILTMORE WAY UNIT. PH108
CORAL GABLES


FOLIO: 03-4117-025-2290
SUB-DIVISION: BILTMORE II CONDO
OWNER: EUGENE KOMRAD & W AUDREY
PROP. ADDR: 600 BILTMORE WAY UNIT. PH109
CORAL GABLES


FOLIO: 03-4117-025-2300
SUB-DIVISION: BILTMORE II CONDO
OWNER: GEORGIA H THEISS TR
GEORGIA H & GEORGE B THEISS (BEN)
PROP. ADDR: 600 BILTMORE WAY UNIT. PH110
CORAL GABLES


FOLIO: 03-4117-025-2310
SUB-DIVISION: BILTMORE II CONDO
OWNER: MARIE FRANCE FOSSEY BEITZ TRS
MARIE FRANCE FOSSEY BEITZ (BEN)
PROP. ADDR: 600 BILTMORE WAY UNIT. PH111
CORAL GABLES