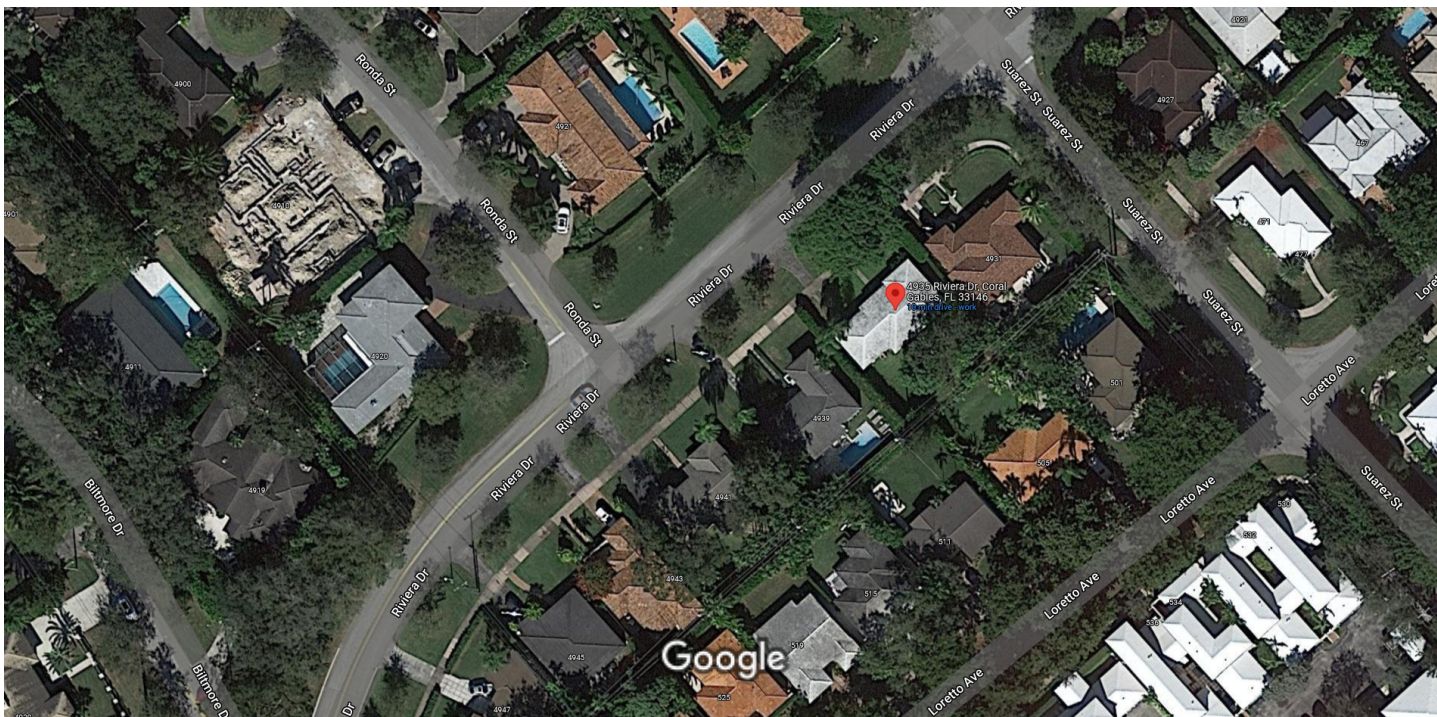


Google Maps 4935 Riviera Dr



Map data ©2021, Map data ©2021 10 m



4935 Riviera Dr

Coral Gables, FL 33146

Building



Directions



Save

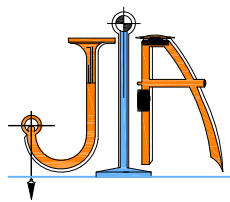


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Professional Land Surveyors & Mappers

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777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

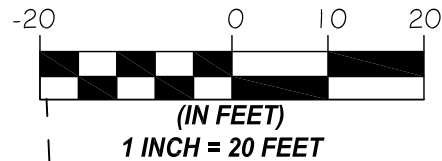
4851 TAMiami TRAIL NORTH
SUITE # 200
NAPLES, FL 34103
PH: (239) 540-2660
FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

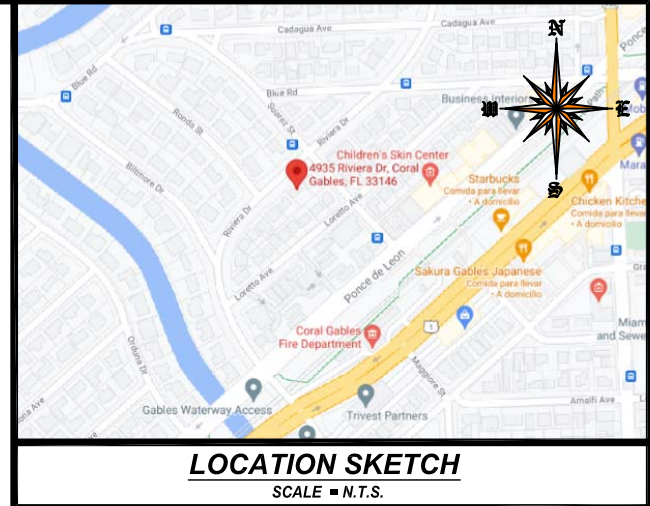
4935 Riviera Drive, Coral Gables, Florida 33146

GRAPHIC SCALE



ABBREVIATIONS AND MEANINGS

A = ARC
A/C = AIR CONDITIONER PAD.
A.E. = ANCHOR EASEMENT.
AR = ALUMINUM ROOF.
AS = ALUMINUM SHED.
ASPH. = ASPHALT.
B.C. = BLOCK CORNER.
B.C.R. = BROWARD COUNTY RECORDS
BLDG. = BUILDING.
B.M. = BENCH MARK.
B.O.B. = BASIS OF BEARINGS.
B.S.L. = BUILDING SETBACK LINE
C = CALCULATED
C.B. = CATCH BASIN.
C.B.S. = CONCRETE BLOCK STRUCTURE.
CBW = CONCRETE BLOCK WALL.
CH = CHORD.
CH.B. = CHORD BEARING.
CL = CLEAR
C.L.F. = CHAIN LINK FENCE.
C.M.E. = CANAL MAINTENANCE EASEMENTS.
CONC. = CONCRETE.
C.P. = CONC. PORCH.
C.S. = CONCRETE SLAB.
C.U.P. = CONC. UTILITY POLE
C.W. = CONCRETE WALK.
D.E. = DRAINAGE EASEMENT.
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
DRIVE = DRIVEWAY
E = DEGREES.
E = EAST.
EB = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD.
ELEV. = ELEVATION.
ENC. = ENCROACHMENT.
F.H. = FIRE HYDRANT.
F.I.P. = FOUND IRON PIPE.
F.I.R. = FOUND IRON ROD.
F.F.E. = FINISHED FLOOR ELEVATION.
F.N.D. = FOUND NAIL & DISK.
FR = FRAME.
FT = FEET.
FNIP. = FEDERAL NATIONAL INSURANCE
F.N. = FOUND NAIL.
H. = HIGH (HEIGHT)
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
I.N.E. = INGRESS AND EGRESS EASEMENT.
L.B. = Certificate of Authorization L.B.#7806
L.P. = LIGHT POLE.
L.F.E. = LOWEST FLOOR ELEVATION.
L.M.E. = LAKE MAINTENANCE EASEMENT.
M = MINUTES.
M. = MEASURED DISTANCE.
MB = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENTS
MON. = MONUMENT LINE.
MH = MANHOLE.
ML = MONUMENT LINE.
N.A.P. = NOT A PART OF.
NGVD = NATIONAL GEODETIC VERTICAL DATUM.
N. = NORTH.
N.T.S. = NOT TO SCALE.
#NO. = NUMBER.
O.S. = OFFSET.
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.V.M.T. = PAVEMENT.
PL = PLANTER.
PL = PROPERTY LINE.
P.C.C. = POINT OF COMPOUND CURVE.
P.C. = POINT OF CURVE.
PT. = POINT OF TANGENCY.
P.O.C. = POINT OF COMMENCEMENT.
P.O.B. = POINT OF BEGINNING.
P.R.C. = POINT OF REVERSE CURVE
P.B. = PLAT BOOK.
PG. = PAGE.
P.W.Y. = PARKWAY.
PRM. = PERMANENT REFERENCE MONUMENT.
P.L.S. = PROFESSIONAL LAND SURVEYOR.
R. = RECORDED DISTANCE.
RR = RAIL ROAD.
RES. = RESIDENCE.
PROP. COR. = PROPERTY CORNER
RW = RIGHT-OF-WAY.
R.F. = RADIUS POINT.
RGE = RANGE.
SEC. = SECTION.
STY. = STORY.
SWK. = SIDEWALK.
S.I.P. = SET IRON PIPE L.B.#7806.
S.P. = SCREENED PORCH
S = SOUTH.
" = SECONDS
T = TANGENT
TB = TELEPHONE BOOTH
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP = TOWNSHIP.
UTIL. = UTILITY.
U.P. = UTILITY POLE.
W.M. = WATER METER.
W.F. = WOOD FENCE.
W.R. = WOOD ROOF.
W.S. = WOOD SHED.
W = WEST.
C = CENTER LINE.
C = CENTRAL ANGLE.
X = ANGLE.



LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "X"
BASE FLOOD ELEVATION: N/A
COMMUNITY: 120639
PANEL: 0457
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF CORAL GABLE COUNTY BENCH MARK #180; ELEVATION IS 11.36 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  **05/31/2021**
CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6770 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

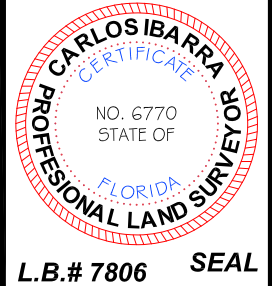
REVISED ON: _____
REVISED ON: _____

DRAWN BY: F.S.

FIELD DATE: 05/31/2021

SURVEY NO: 21-001984-1

SHEET: 1 OF 1



CERTIFICATION:

BUYER
TITLE AGENCY
UNDERWRITER
LENDER,
ITS SUCCESSORS AND OR ASSIGNS, AS THEIR
INTEREST MAY APPEAR

LEGAL DESCRIPTION:

LOT 9 AND THE WEST 25 FEET OF LOT 10, BLOCK 38, REVISED PLAT CORAL GABLES RIVERA SECTION PART 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 18, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

TREE TABLE				
No.	NAME	DIAMETER (Ft.)	HEIGHT (Ft.)	CANOPY (Ft.)
1	PALM	1.00	25.00	5.00
2	PALM	1.00	25.00	5.00
3	FICUS	6.00	50.00	50.00
4	OAK	1.50	25.00	15.00
5	OAK	2.50	35.00	35.00

ENCROACHMENT NOTES:

A. NORTHWESTER SIDE OF THE SUBJECT
PROPERTY, ASPHALT RETURN IS ENCROACHING
INTO THE RIGHT OF WAY OF SW RIVIERA DRIVE.

LEGEND

	= OVERHEAD UTILITY LINES
	= CONCRETE BLOCK WALL
	= CHAIN LINK FENCE
	= IRON FENCE
	= WOOD FENCE
	= BUILDING SETBACK LINE
	= UTILITY EASEMENT
	= LIMITED ACCESS R/W
	= NON-VEHICULAR ACCESS R/W
	= EXISTING ELEVATIONS

Acebal Huembes Fontana Design Studio, LLC

ARCHITECTURE - PLANNING

4935 Riviera Drive Coral Gables, Fl. 33146



7344 SW 48th STREET Suite 201 / MIAMI, FLORIDA 33155
(Phone) 305-661-8181 (Fax) 305-661-8710 (Email) AHFDesignStudio@ATT.NET

Acebal Huembes Fontana Design Studio, LLC

ARCHITECTURE - PLANNING

4935 Riviera Drive Coral Gables, Fl. 33146



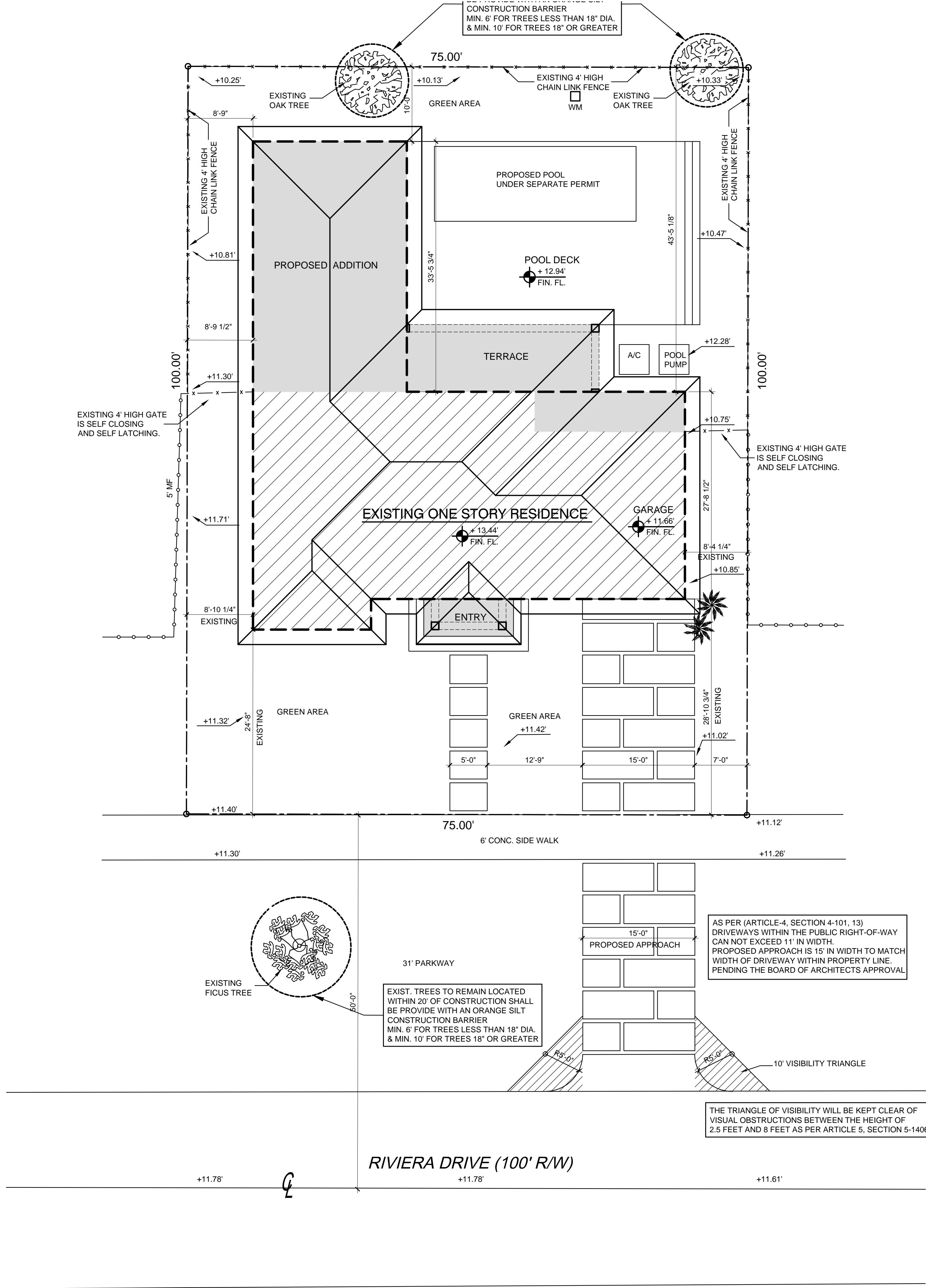
7344 SW 48th STREET Suite 201 / MIAMI, FLORIDA 33155
(Phone) 305-661-8181 (Fax) 305-661-8710 (Email) AHFDesignStudio@ATT.NET

PLATT RESIDENCE

4935 Riviera Drive
Coral Gables, Florida 33146

AHF Design Studio LLC.

ARCHITECTURE - PLANNING - INTERIOR DESIGN
7344 SW 48 Street Suite No.201 Miami, FL. 33155 786 371 6050



PROPERTY ADDRESS: 4935 RIVIERA DR. CORAL GABLES, FL. 33146			
SUMMARY: EXISTING (3) BEDROOM (1) BATH 1,612 SQ. FT. SINGLE FAMILY UNIT			
FOLIO NUMBER: 03-4120-023-1010			
LEGAL DESCRIPTION: LOT 9 & W1/2 OF LOT 10, BLK 38, CORAL GABLES RIVIERA SEC 2 REV. 20 54 41 P.B. 28-18			
SCOPE OF WORK: ALL EXISTING AREAS TO BE REMODELED. EXISTING UNDER ROOF WILL BE REDESIGNED TO ACCOMMODATE (2) FULL BATHROOMS AND A POWDER ROOM. NEW ADDITION OF LIVABLE SPACE WILL ACCOMMODATE A MASTER SUITE.			
APPLICABLE CODES: -ALL DISCIPLINES: FLORIDA BUILDING CODE 7th EDITION - (2021) -NATIONAL ELECTRICAL CODE - NFPA 70 2011 EDITION. -FLORIDA FIRE PREVENTION CODE - FPPG 5th EDITION. -CITY OF CORAL GABLES BUILDING AND ZONING REGULATIONS			
ZONING CLASSIFICATION: SINGLE-FAMILY RESIDENCE (SFR)			
AREA COMPUTATION FOR: SFR - SINGLE FAMILY RESIDENTIAL			
SETBACKS (PRINCIPAL STRUCTURE)			
FRONT	REQUIRED 25'-0"	EXISTING 24'-8"	PROVIDED N/A
REAR	10'-0"	43'-5"	10'-0"
SIDE	5'-0"	8'-9" & 8'-4"	N/A
(POOL SETBACK)			
FRONT	REQUIRED 25'-0"	PROVIDED 79'-0"	
REAR	5'-0"	10'-8"	
SIDE	15'-0"	15'-0"	
LOT COVERAGE			
LOT SIZE			7,500 SQ. FT.
MAXIMUM BUILDING COVERAGE ALLOWED (35%)			2,625 SQ. FT.
EXISTING BUILDING COVERAGE UNDER ROOF:			
LIVABLE			1,287 SQ. FT.
GARAGE			273 SQ. FT.
FRONT PORCH			52 SQ. FT.
TOTAL EXISTING BUILDING COVERAGE UNDER ROOF (21.5%)			1,612 SQ. FT.
PROPOSED ADDITION UNDER ROOF:			+ 1,012 SQ. FT.
PROPOSED TOTAL BUILDING COVERAGE UNDER ROOF (35%)			2,624 SQ. FT.
MAXIMUM LOT COVERAGE ALLOWED (45%)			3,375 SQ. FT.
LOT COVERAGE PROVIDED (UNDER ROOF & POOL)			2,894 SQ. FT.
F.A.R.:			
5,000 @ 48% =			2,400 SQ. FT.
2,500 @ 35% =			875 SQ. FT.
BASE F.A.R. ALLOWED			3,275 SQ. FT.
EXISTING TOTAL F.A.R. AREA			1,560 SQ. FT.
NEW LIVABLE AREA			796 SQ. FT.
PROPOSED TOTAL F.A.R. AREA			2,356 SQ. FT.
GREEN AREA CALCULATIONS			
MINIMUM GREEN AREA ALLOWED (40%)			3,000 SQ. FT.
GREEN AREA PROVIDED (44%)			3,262 SQ. FT.
MINIMUM GREEN AREA ALLOWED AT FRONT YARD (20%) OF 3,000 SQ. FT. =			600 SQ. FT.
GREEN AREA PROVIDED AT FRONT YARD (46%)			1,364 SQ. FT.

EXISTING AREA TO BE REMODELED	1,287 SQ. FT.
PROPOSED ADDITION UNDER ROOF	1,066 SQ. FT.

NOTE:
REFER TO SHEET A-1.2 FOR AREAS BREAKDOWN

RAINWATER WILL BE RETAINED
WITHIN PRIVATE PROPERTY

REVISIONS :				
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PROJECT FOR:
PLATT RESIDENCE
4935 RIVIERA DR. CORAL GABLES, FL. 33146

Acebal Huembes Fontana

Design Studio LLC.

Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

NO. AR17697

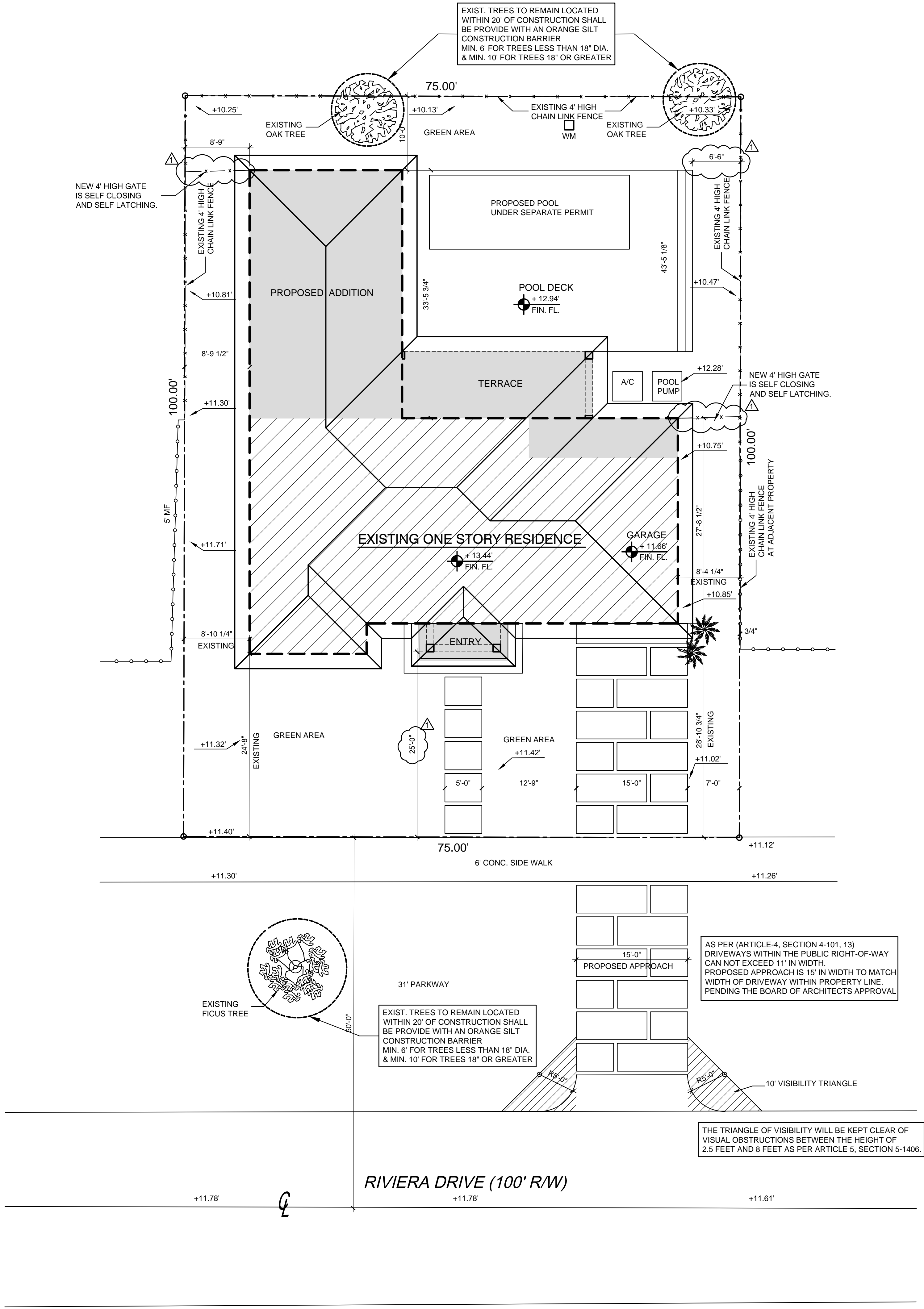
MIAMI, FLORIDA 33155

7344 SW 48th STREET

DATE :
09-14-21

SCALE :

DRAWING NO :
A-1



PROPERTY ADDRESS: 4935 RIVIERA DR. CORAL GABLES, FL. 33146	
SUMMARY: EXISTING (3) BEDROOM (1) BATH 1,612 SQ. FT. SINGLE FAMILY UNIT	
FOLIO NUMBER: 03-4120-023-1010	
LEGAL DESCRIPTION: LOT 9 & W1/2 OF LOT 10, BLK 38, CORAL GABLES RIVIERA SEC 2 REV. 20 54 41 P.B. 28-18	
SCOPE OF WORK: ALL EXISTING AREAS TO BE REMODELED. EXISTING UNDER ROOF WILL BE REDESIGNED TO ACCOMMODATE (2) FULL BATHROOMS AND A POWDER ROOM. NEW ADDITION OF LIVABLE SPACE WILL ACCOMMODATE A MASTER SUITE.	
APPLICABLE CODES: -ALL DISCIPLINES: FLORIDA BUILDING CODE 7th EDITION - (2021) -NATIONAL ELECTRICAL CODE - NFPA 70 2011 EDITION. -FLORIDA FIRE PREVENTION CODE - FFPC 5th EDITION. -CITY OF CORAL GABLES BUILDING AND ZONING REGULATIONS	
ZONING CLASSIFICATION: SINGLE-FAMILY RESIDENCE (SFR)	
AREA COMPUTATION FOR: SFR - SINGLE FAMILY RESIDENTIAL	
SETBACKS (PRINCIPAL STRUCTURE)	
	REQUIRED EXISTING PROVIDED
FRONT	25'-0" 24'-8" 25'-0"
REAR	10'-0" 43'-5" 10'-0"
SIDE	5'-0" 8'-9" & 8'-4" N/A
(POOL SETBACK)	
	REQUIRED PROVIDED
FRONT	25'-0" 79'-0"
REAR	5'-0" 10'-8"
SIDE	15'-0" 15'-0"
LOT COVERAGE	
LOT SIZE	7,500 SQ. FT.
MAXIMUM BUILDING COVERAGE ALLOWED (35%)	2,625 SQ. FT.
EXISTING BUILDING COVERAGE UNDER ROOF:	
LIVABLE	1,287 SQ. FT.
GARAGE/LAUNDRY	258 SQ. FT.
TOTAL EXISTING BUILDING COVERAGE UNDER ROOF (21.5%)	1,545 SQ. FT.
PROPOSED ADDITION UNDER ROOF:	+ 1,070 SQ. FT.
PROPOSED TOTAL BUILDING COVERAGE UNDER ROOF (35%)	2,625 SQ. FT.
MAXIMUM LOT COVERAGE ALLOWED (45%)	3,375 SQ. FT.
LOT COVERAGE PROVIDED (UNDER ROOF & POOL)	2,949 SQ. FT.
F.A.R.:	
5,000 @ 48% =	2,400 SQ. FT.
2,500 @ 35% =	875 SQ. FT.
BASE F.A.R. ALLOWED	3,275 SQ. FT.
EXISTING TOTAL F.A.R. AREA	1,560 SQ. FT.
NEW LIVABLE AREA	832 SQ. FT.
PROPOSED TOTAL F.A.R. AREA	2,392 SQ. FT.
GREEN AREA CALCULATIONS	
MINIMUM GREEN AREA ALLOWED (40%)	3,000 SQ. FT.
GREEN AREA PROVIDED (44%)	3,262 SQ. FT.
MINIMUM GREEN AREA ALLOWED AT FRONT YARD (20% OF 3,000 SQ. FT.) =	600 SQ. FT.
GREEN AREA PROVIDED AT FRONT YARD (46%)	1,364 SQ. FT.

EXISTING AREA TO BE REMODELED	1,545 SQ. FT.
PROPOSED ADDITION UNDER ROOF	1,070 SQ. FT.

NOTE:
REFER TO SHEET A-1.2 FOR AREAS BREAKDOWN

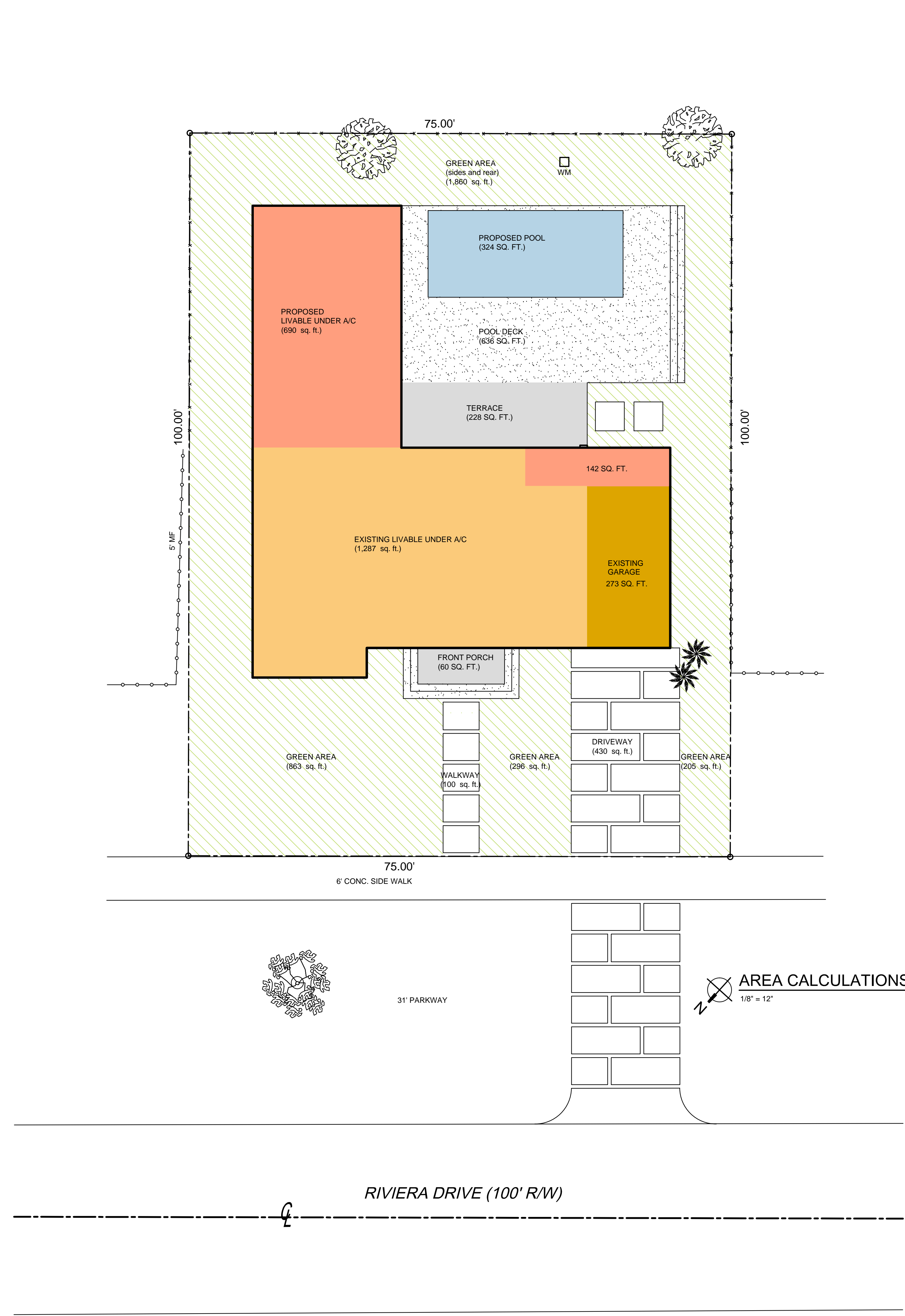
RAINWATER WILL BE RETAINED WITHIN PRIVATE PROPERTY

REVISIONS:
1 10-15-21 ZONING COMMENTS

PROJECT FOR:
PLATT RESIDENCE
4935 RIVIERA DR. CORAL GABLES, FL. 33146

Acebal Huembes Fontana
Design Studio LLC.
7944 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155
Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

DATE: 09-14-21
SCALE:
DRAWING NO: A-1



AREAS BREAKDOWN

EXISTING AREA UNDER A/C	1,287 SQ. FT.
EXISTING GARAGE	273 SQ. FT.
PROPOSED AREA UNDER A/C	796 SQ. FT.
UNDER ROOF: ENTRY PORCH - BACK TERRACE	268 SQ. FT.
POOL DECK, & FRONT STEPS	728 SQ. FT.
CONCRETE PADS	32 SQ. FT.
GREEN AREA	3,262 SQ. FT.
CONCRETE DRIVEWAY AND WALKWAY	530 SQ. FT.
POOL	324 SQ. FT.
7,500 SQ. FT.	

REVISIONS :

PROJECT FOR:

PLATT RESIDENCE

4935 RIVIERA DR. CORAL GABLES, FL. 33146

Acebal Huembes Fontana

Design Studio LLC.

7344 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155

Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

NO. AR17697

CONSULTANT :

ADIT

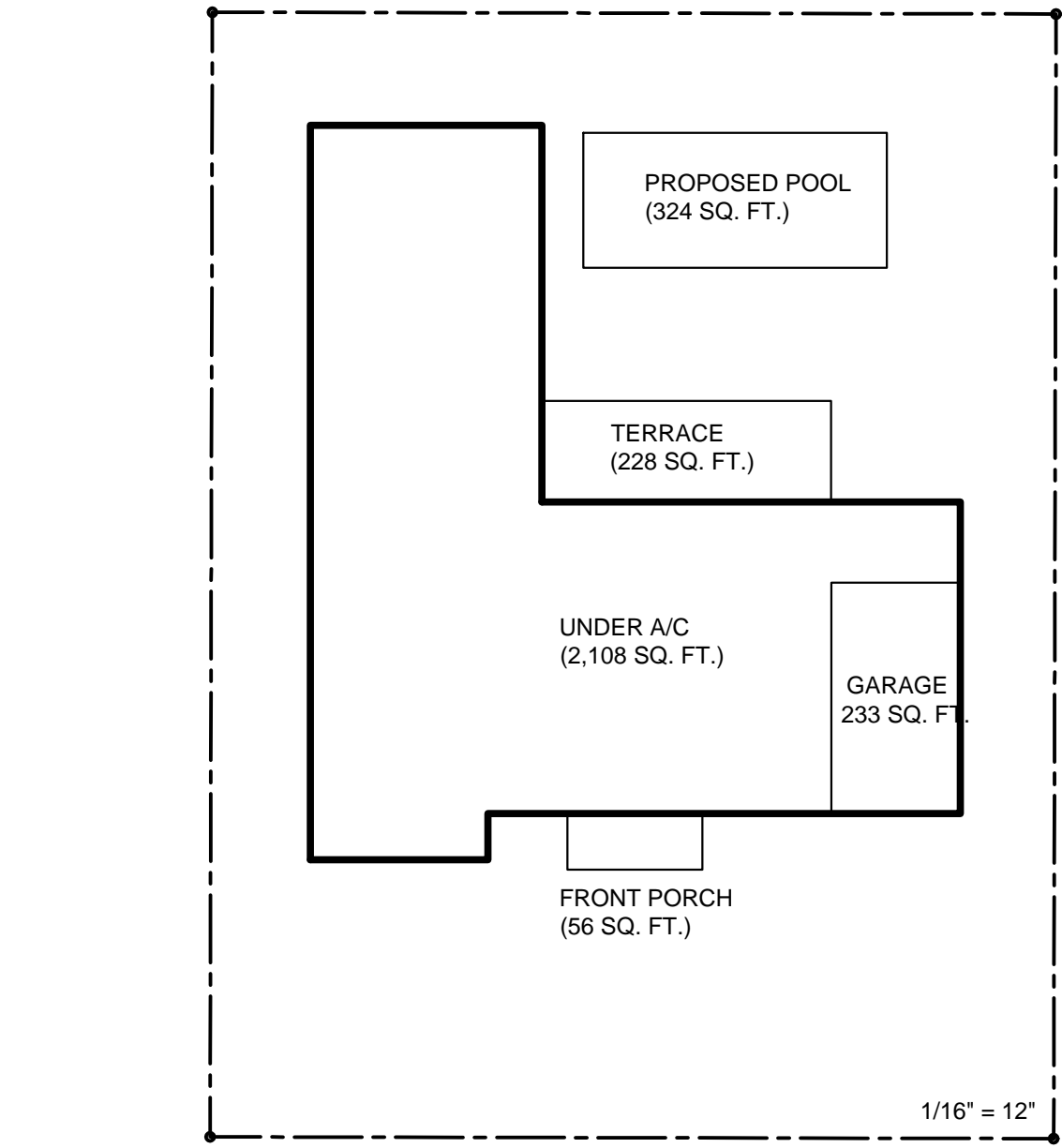
ACEBAL HUEMBES FONTANA

DESIGN STUDIO LLC.

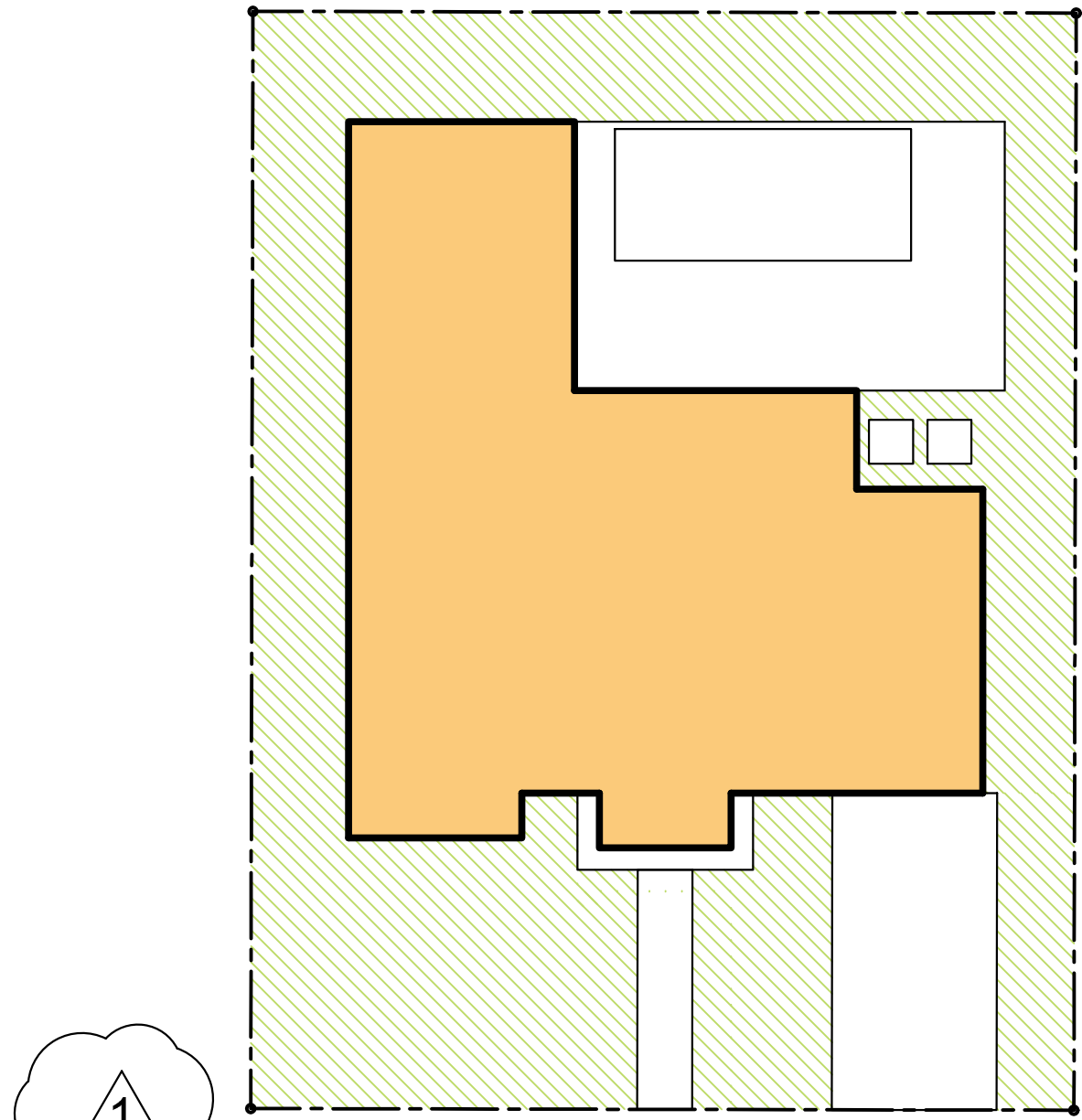
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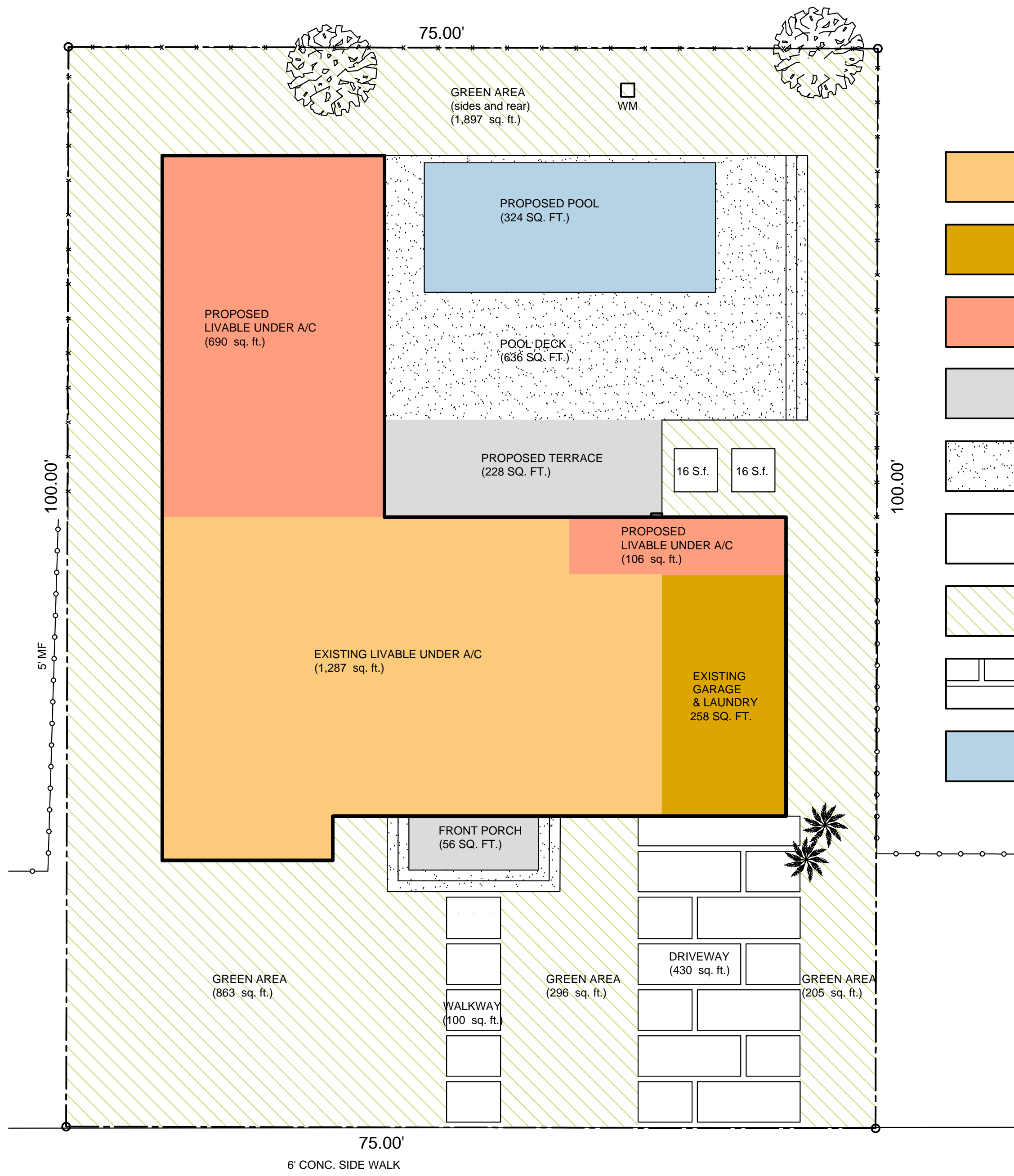
DRAWING NO : A-1.2



BLDG. COVERAGE PROVIDED	2,625 SQ. FT.	35%
LOT COVERAGE PROVIDED UNDER ROOF & POOL	2,949 SQ. FT.	39%



BLDG. COVERAGE UNDER ROOF	2,625 SQ. FT.	35%
IMPERVIOUS AREAS	1,614 SQ. FT.	21.5%
GREEN AREAS	3,261 SQ. FT.	43.5%



AREAS BREAKDOWN

EXISTING AREA UNDER A/C	1,287 SQ. FT.
EXISTING GARAGE/LAUNDRY	258 SQ. FT.
PROPOSED AREA UNDER A/C	796 SQ. FT.
UNDER ROOF: ENTRY PORCH - BACK TERRACE	284 SQ. FT.
POOL DECK, & FRONT STEPS	728 SQ. FT.
CONCRETE PADS	.32 SQ. FT.
GREEN AREA	3,261 SQ. FT.
CONCRETE DRIVEWAY AND WALKWAY	530 SQ. FT.
POOL	324 SQ. FT.
	7,500 SQ. FT.

AREA CALCULATIONS SITE PLAN

REVISIONS:
1 10-15-21 ZONING COMMENTS

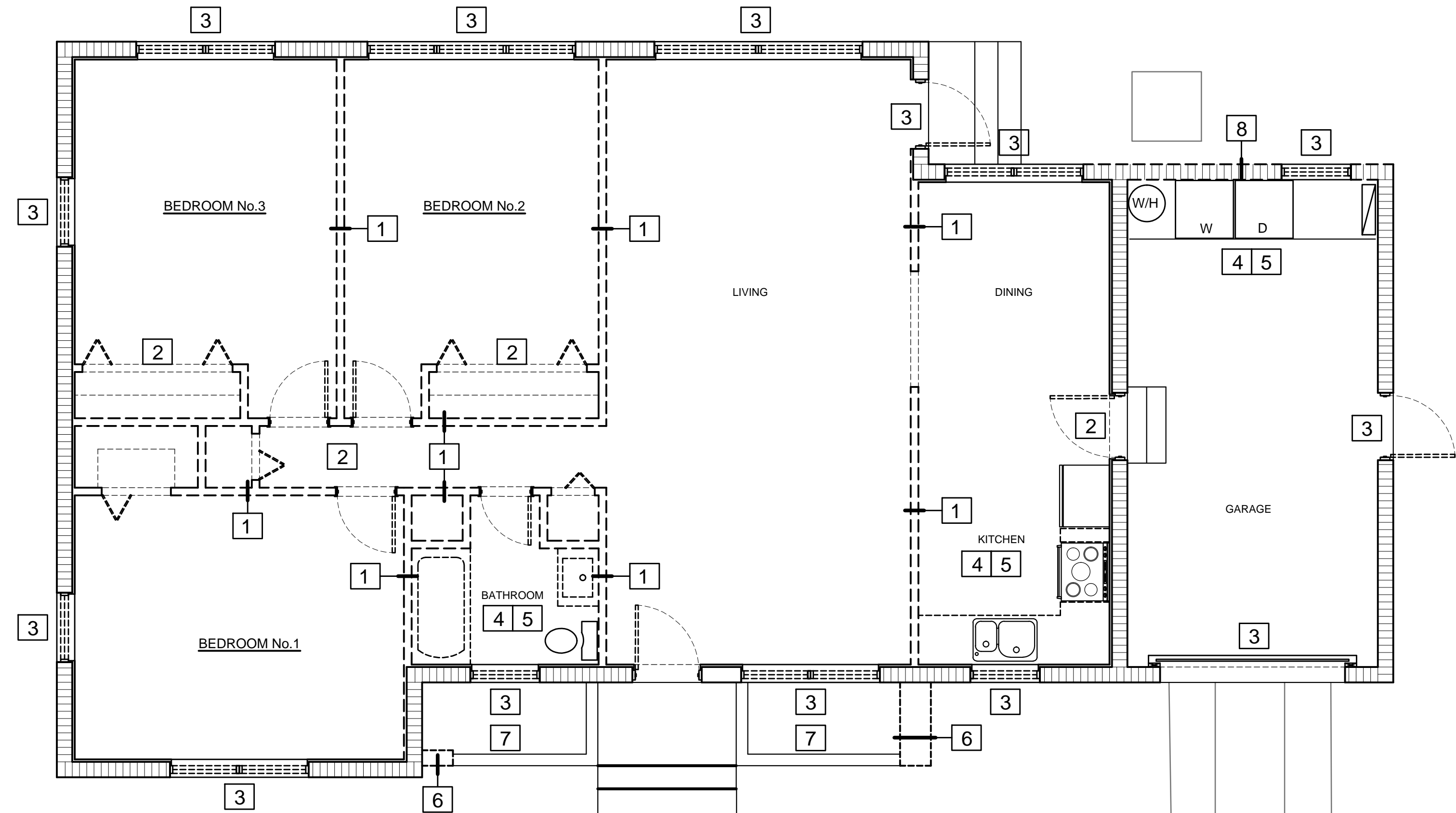
PROJECT FOR:
PLATT RESIDENCE
4935 RIVIERA DR. CORAL GABLES, FL. 33146

Acebal Huembes Fontana
Design Studio LLC.
7944 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155
Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

CONSULTANT:



DATE:	09-14-21	SCALE:	
DRAWING NO:	A-1.2		



EXISTING FLOOR PLAN
1/4"=12"

DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS PER DEMOLITION SCHEDULE TO CLEAR THE AREA FOR NEW CONSTRUCTION
2. GENERAL CONTRACTOR TO PROVIDE PERMITS AND NOTICES AUTHORIZING DEMOLITION
3. WHERE PLUMBING FIXTURES ARE REMOVED, CONTRACTOR TO CAP PLUMBING LINES AS INDICATED IN THE DEMOLITION SCHEDULE
4. GENERAL CONTRACTOR TO PROVIDE PERMIT FOR DEMOLITION TRANSPORT AND THE PROPER DISPOSAL OF ALL ITEMS CALLED TO BE "REMOVED" IN THE DEMOLITION SCHEDULE
5. GENERAL CONTRACTOR TO PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER AND NOISE TO PROTECT ADJACENT AREAS
6. GENERAL CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH ALL TRADES
7. DURING AND AFTER DEMOLITION PHASE, GENERAL CONTRACTOR SHALL PROTECT ALL AREAS NOT AFFECTED BY REMODELING
8. ELECTRICAL CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ANY MODIFICATIONS TO EXISTING SYSTEM

DEMOLITION SCHEDULE

- 1 - INTERIOR NON-BEARING PARTITIONS TO BE REMOVED (ALL ELEC. WIRING TO BE DISCONNECTED FROM SOURCE)
- 2 - ALL INTERIOR DOORS TO BE REMOVED AND DISCARDED
- 3 - ALL EXTERIOR DOORS AND WINDOWS TO BE REMOVED AND DISCARDED
- 4 - REMOVE AND DISCARD ALL CABINETRY
- 5 - REMOVE AND DISREGARD ALL PLUMBING FIXTURES (CONTRACTOR TO CAP ALL PLUMBING LINES AS REQUIRED)
- 6 - NON-BEARING CONC. WALL TO BE REMOVED
- 7 - PLANTER TO BE REMOVED
- 8 - EXTERIOR MASONRY WALL TO BE REMOVED

REVISIONS :

PROJECT FOR:

PLATT RESIDENCE
4935 RIVIERA DR. CORAL GABLES, FL. 33146

Acebal Huembes Fontana
Design Studio LLC. NO. AR17697

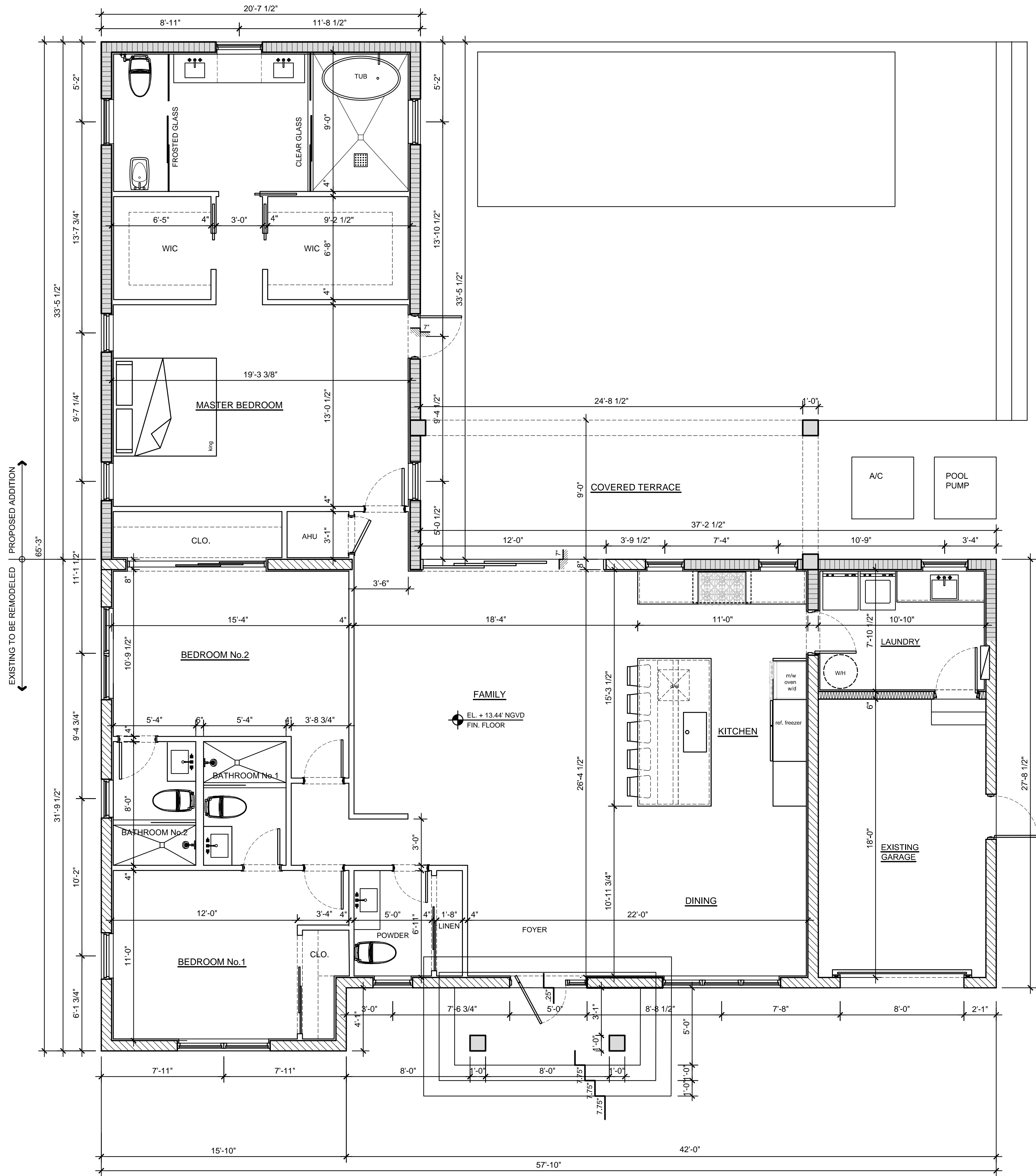
7944 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155
Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

CONSULTANT :

ACEBAL
HUEMBES
FONTANA
DESIGN STUDIO LLC.

DATE : 09-14-21 SCALE :

DRAWING NO :
A-2



PROPOSED FLOOR PLAN

1/4"=12"

WALL LEGEND	
	EXISTING MASONRY WALL
	NEW FIRE RATED WALL TO REPLACE EXISTING
	PROPOSED PARTITION WALL
	PROPOSED MASONRY WALL

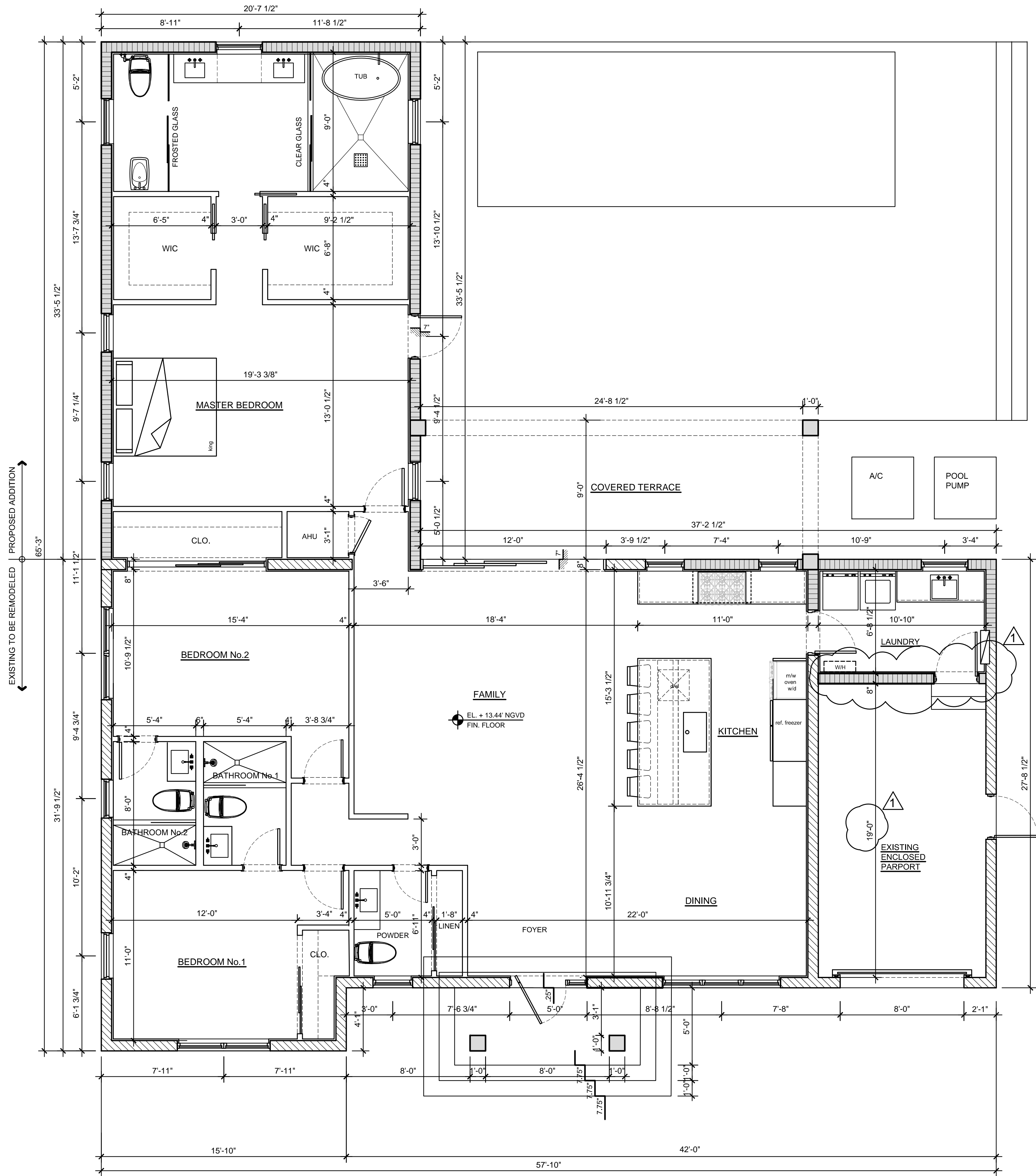
REVISIONS :			

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Acebal Huembes Fontana	
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NO. AR17697	
CONSULTANT :	

	ACEBAL HUEMBES FONTANA
--	------------------------------

DATE :	SCALE :
09-14-21	
DRAWING NO :	
A-3	



PROPOSED FLOOR PLAN

1/4"=12"

- WALL LEGEND
- EXISTING MASONRY WALL
 - PROPOSED PARTITION WALL
 - PROPOSED MASONRY WALL

REVISIONS :
1 10-15-21 ZONING COMMENTS

PROJECT FOR:
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4935 RIVIERA DR. CORAL GABLES, FL. 33146

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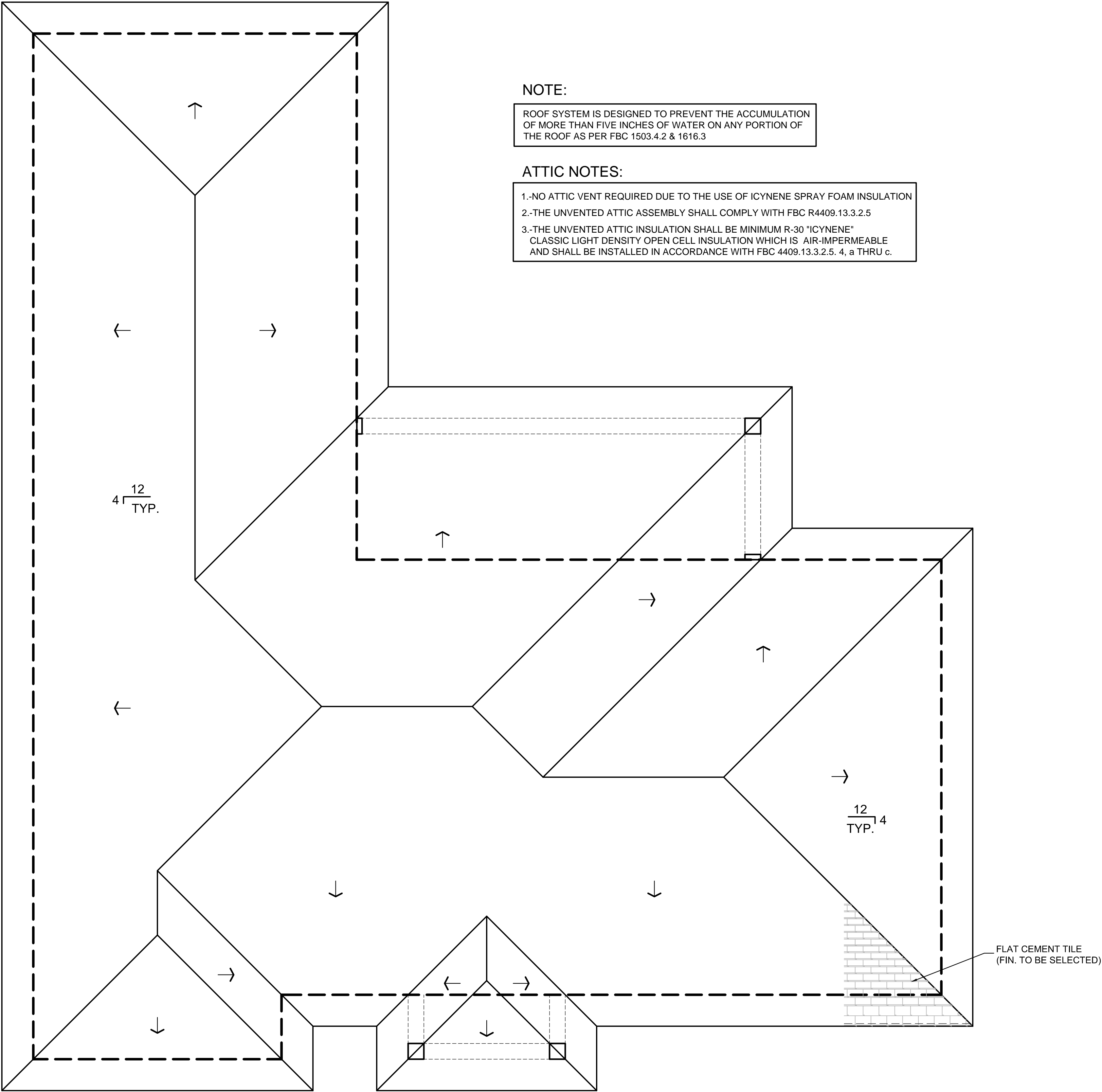
NO. AR17697
MIAMI, FLORIDA 33155
- Suite 201 - 7944 SW 48th Street -
Fax: 305 661 8710

CONSULTANT :

AHF
DESIGN STUDIO LLC.

ACEBAL
HUEMBES
FONTANA

DATE : 09-14-21	SCALE :
DRAWING NO : A-3	



NOTE:
ROOF SYSTEM IS DESIGNED TO PREVENT THE ACCUMULATION OF MORE THAN FIVE INCHES OF WATER ON ANY PORTION OF THE ROOF AS PER FBC 1503.4.2 & 1616.3

- ATTIC NOTES:
- 1.-NO ATTIC VENT REQUIRED DUE TO THE USE OF ICYNENE SPRAY FOAM INSULATION
 - 2.-THE UNVENTED ATTIC ASSEMBLY SHALL COMPLY WITH FBC R4409.13.3.2.5
 - 3.-THE UNVENTED ATTIC INSULATION SHALL BE MINIMUM R-30 "ICYNENE" CLASSIC LIGHT DENSITY OPEN CELL INSULATION WHICH IS AIR-IMPERMEABLE AND SHALL BE INSTALLED IN ACCORDANCE WITH FBC 4409.13.3.2.5. 4, a THRU c.

PROPOSED ROOF PLAN
1/4"=12"

REVISIONS :	

PROJECT FOR:

PLATT RESIDENCE

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Acebal Huembes Fontana

Design Studio LLC.

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Office: 786 371 6050 - Fax: 305 661 8710 - E-Mail: hsfaa@msn.com

NO. AR17697

CONSULTANT :

ADDF

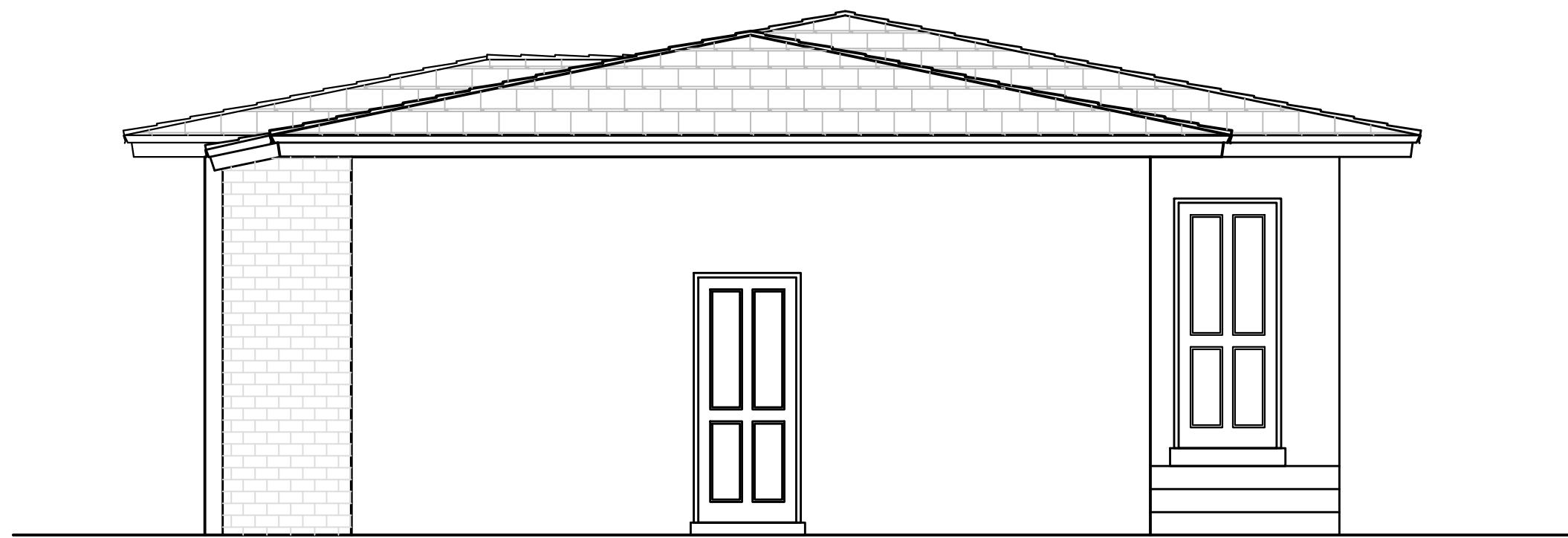
ACEBAL HUEMBES FONTANA

DESIGN STUDIO LLC.

DATE :
09-14-21

SCALE :

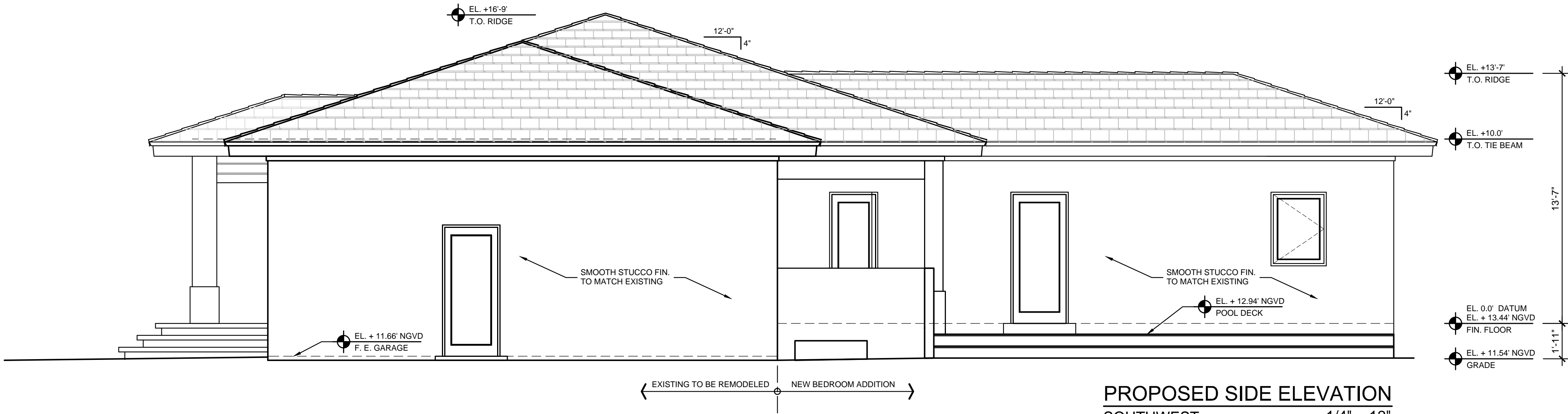
DRAWING NO :
A-4



EXISTING SIDE ELEVATION

SOUTHWEST

1/4" = 12"



EXISTING FRONT ELEVATION

NORTHWEST

1/4" = 12"



REVISIONS :

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NO. AR17697

CONSULTANT :

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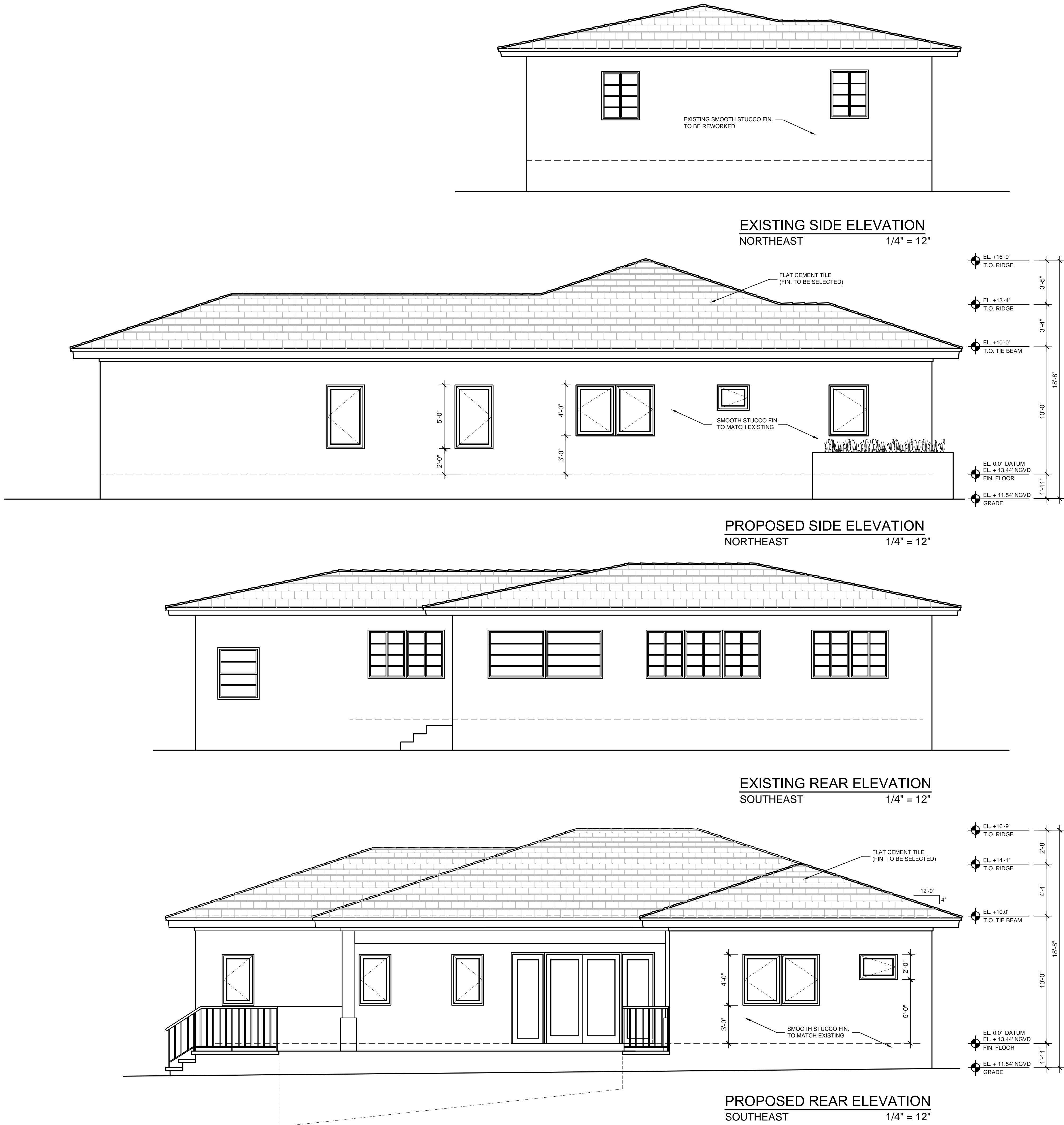
DATE :

09-14-21

SCALE :

DRAWING NO :

A-5



REVISIONS :

PROJECT FOR:

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NO. AR17697

CONSULTANT :



DATE :

09-14-21

SCALE :

DRAWING NO. :

A-6