


New 2-Story Residence to: Vargas Family

1211 Anastasia Avenue, Coral Gables, FL 33134

Project Team

 LOCUS ARCHITECTURE <small>INCORPORATED</small>	ARCHITECTURE
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Alyssa and Benjamin Vargas	OWNER
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PRELIMINARY BOA SUBMITTAL: 05-17-2021
PERMIT SUBMITTAL:

GRAPHIC SCALE

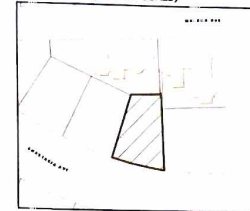


(IN FEET)
1 INCH = 30 FT.

MAP OF BOUNDARY SURVEY

LOCATION MAP

SECTION 18, TOWNSHIP 54 SOUTH, RANGE 41 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)



LR No. 7833

PROFESSIONAL SURVEYORS AND MAPPERS
143 S.W. 87th AVENUE, SUITE 201
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4013
WWW.LANDMARKSURVEYING.COM
EMAIL: REQUEST@LANDMARKSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	AC	CONDENSING UNIT
B.B.	B.B.	BASES OF BEARINGS
ASPH.	ASPH.	ASPHALT
P	P	PROPERTY LINE
B.M.	B.M.	BENCH MARK
C.B.S.	C.B.S.	CONCRETE BLOCK STRUCTURE
CONC.	CONC.	CONCRETE
LP	LP	LIGHT POLE
CB	CB	CATCH BASIN
CE	CE	CENTERLINE
W.M.L.	W.M.L.	WORKMANSHIP LINE
EASEMENT	EASEMENT	EASEMENT
D.E.	D.E.	DRAINAGE EASEMENT
D.H.	D.H.	DRILL HOLE
M	M	MEASURE
R	R	RECORD
W.P.	W.P.	WOOD POWER POLE
U.E.	U.E.	UTILITY EASEMENT
P.B.	P.B.	PLAT BOOK
PG.	PG.	PAGE
P.C.P.	P.C.P.	PERMANENT CONTROL POINT
P.O.B.	P.O.B.	POINT OF BEGINNING
TYP.	TYP.	TYPICAL
M.H.W.	M.H.W.	MEAN HIGH WATER LINE
W.F.	W.F.	WOOD FENCE
C.L.W.F.	C.L.W.F.	CHAIN LINK FENCE
I.F.	I.F.	IRON FENCE
F.N.P.	F.N.P.	FOUND NAIL AND DISC
ASPH.	ASPH.	ASPHALT PAVEMENT
ELEV.	ELEV.	ELEVATIONS
BRICK	BRICK	BRICK
CONC.	CONC.	CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED.

MAP OF BOUNDARY SURVEY	FLOOD ZONE:		X
	ELEVATION:		N/A
	COMMUNITY:		120639
	PANEL:		12086C0457
	DATE OF FIRM:		09-11-2019
	SUFFIX:		L
	ORIGINAL FIELD WORK SURVEY DATE		12-14-2020
	BENCH MARK:		N/A
	ELEVATION:		N/A
	DATE		DRAWN BY
12-11-2020		J.FEE	1"=30'
REVISION / UPDATE OF SURVEY			
DATE		DESCRIPTION	
N/A		N/A	
JOB No.			
2012.0149			

LEGAL DESCRIPTION:

LOT 9, BLOCK 11, OF "CORAL GABLES COUNTRY",
ACCORDING TO THE PLAT THEREOF AS RECORDED
IN PLAT BOOK 8, AT PAGE 108, OF THE PUBLIC
RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 03-4118-003-1600

VACANT LOT

NO PHYSICAL ADDRESS

AREA OF PROPERTY: 10,157 SQUARE FEET AND/OR
0.233 ACRES MORE OR LESS.

CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE
EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE
CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED
PARTIES.

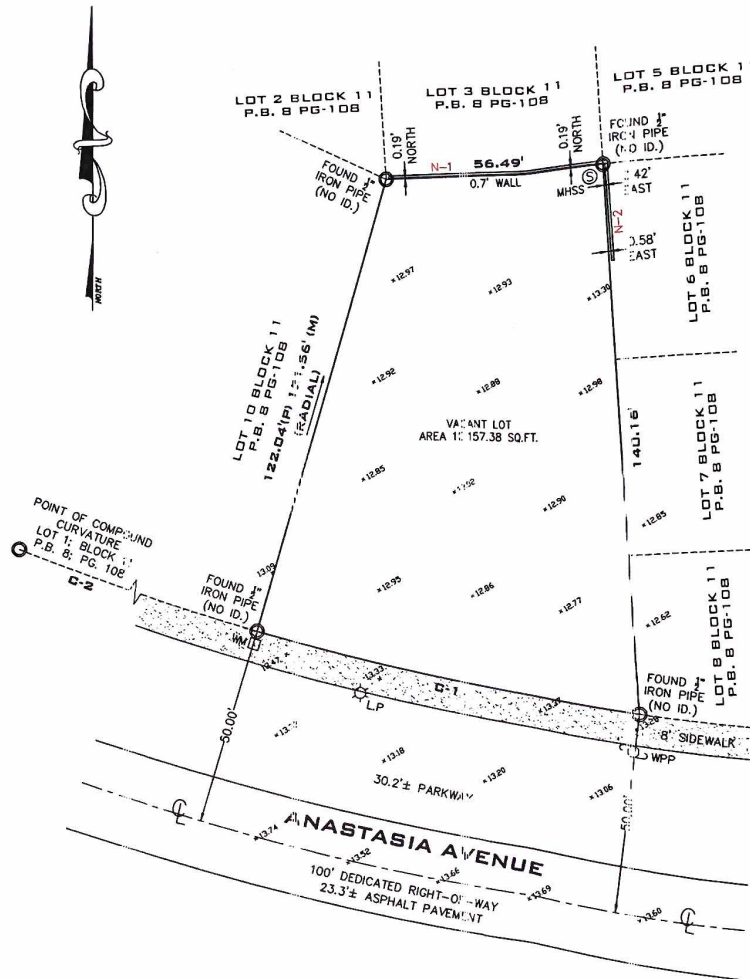
- ALYSSA VARGAS
- MILA JOPATA, P.A.
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SURVEYOR'S NOTES:

- 1) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 2) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS OR FREEDOM OF ENCUMBRANCES ABSTRACT NOT REVIEWED.
- 3) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.5FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6) TYPE OF SURVEY: BOUNDARY SURVEY
- 7) ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9) CONTACT: THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11) ENCUMBRANCES NOT SHOWN ON THE PLAT:
- 12) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13) ONLY VISIBLE AND ABOVE GROUND ENCUMBRANCES LOCATED.
- 14) WALL THICKS ARE TO THE FACE OF THE WALL.
- 15) FENCE OWNERSHIP NOT DETERMINED.
- 16) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "CORAL GABLES COUNTRY" RECORDED IN PLAT BOOK 8, AT PAGE 108.
- 20) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET OR SMALLER.

NOTES:

- N-1 = A PORTION OF THE CBS WALL ALONG THE NORTH BOUNDARY LINE, FALL OUTSIDE THE PROPERTY LINE.
- N-2 = A PORTION OF THE CBS WALL ALONG THE EAST BOUNDARY LINE, FALL OUTSIDE THE PROPERTY LINE.



C-1 (P)	C-1 (M)
CURVE DATA:	CURVE DATA:
A=08°24'40"	A=08°44'51"
L=100.00'	L=100.23'
R=656.47	R=656.47
C-2	
CURVE DATA:	
A=28°55'20"	
L=331.38'	
R=554.47	

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 402, F.S. STATUTE.

SIGNED: *[Signature]* FOR THE FIRM
ARTURO MENDIGUETA, P.S.M. STATE OF FLORIDA, P.S.M. No. 5644-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPING, ADDITIONAL OR ADDITIONAL TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.



Across the Street from 1221 Anastasia:
Biltmore Hotel Entrance



Across the Street from 1211 Anastasia:
Biltmore Hotel Parking Lot



Across the Street from 3150 Columbus Blvd:
Biltmore Hotel Parking Lot Entrance



Adjacent Lot to West Side: 1221 Anastasia Ave



View of front: 1211 Anastasia Ave



Adjacent Lot East side: 3150 Columbus Blvd

BOA Preliminary Submittal: Context Photo's

Property: 1211 Anastasia Ave
Coral Gables, FL 33134

May 17, 2021



F. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

G. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

H. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH ALL ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

I. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

J. E, ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 6TH ED (2017) AND ALL AUTHORITIES HAVING JURISDICTION.

K. FIAA DOCUMENT A-105 (2017) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

L. G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

M. H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.

N. I. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

O. J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.

P. K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

Q. L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

R. M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

S. N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.

T. O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIs AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.

U. P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

V. Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "ROOM CLEAN".

W. R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

X. S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

Y. T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

Z. U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

AA. V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.

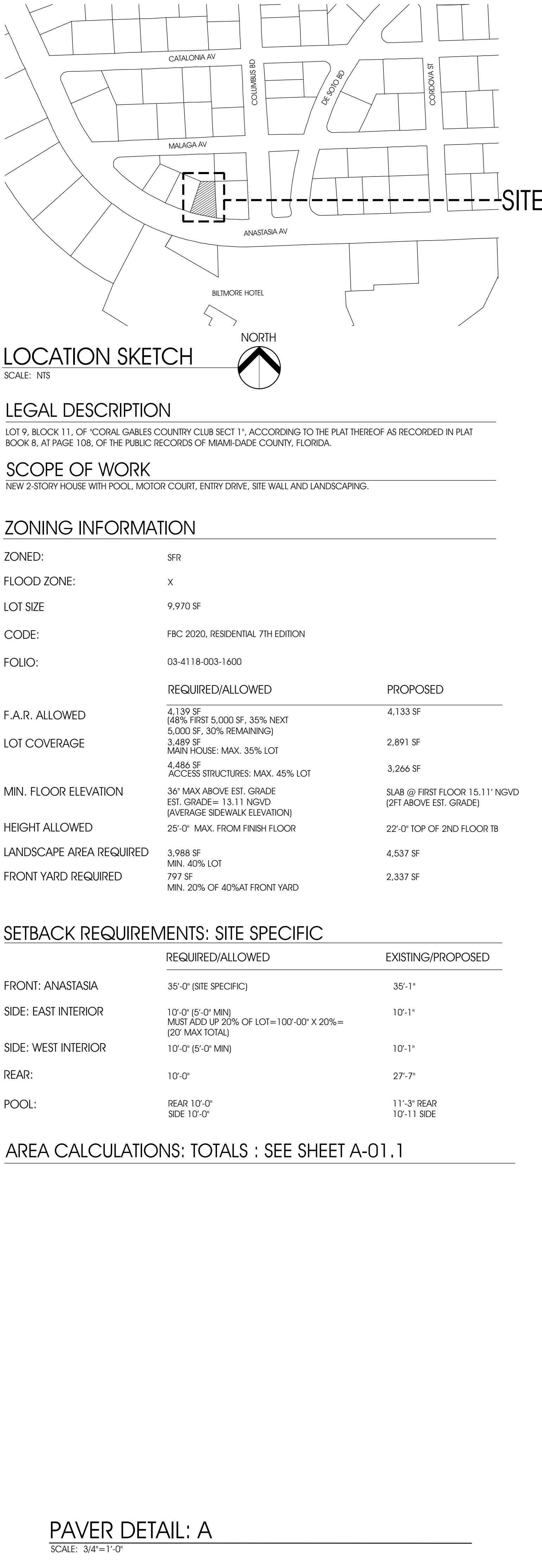
AB. W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.

SYMBOLS KEY

BUILDING SECTION		ELEVATION	
WALL SECTION		INTERIOR ELEVATION	
DETAIL		DOOR ID	
DETAIL @ SECTION		PARTITION TYPE	
		REVISION	
		EQUIPMENT ID	
		GLAZING ID	

NOTES

- ALL RAINWATER MUST BE RETAINED ON PROPERTY.
- LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER 18A. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30" AND 8'.
- NEW 6 INCHES REINFORCED CORAL GABLES BEIGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH AREA.
- FILL SHALL NOT BE BROUGHT UNTO SITE.
- SOIL TERMITIC CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC... SHALL BE TREATED WITH FUMIGAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
- THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE



NOTES

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ARCHITECTURE
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NO.	REVISION/SUBMISSION	DATE
	GC REVIEW	04-12-2021
	PRELIMINARY BOA	05-18-2021
	PERMIT SUBMITTAL	

PROJECT

**NEW 2-STORY RESIDENCE TO:
VARGAS FAMILY**

1211 Anastasia Avenue
Coral Gables, FL 33134

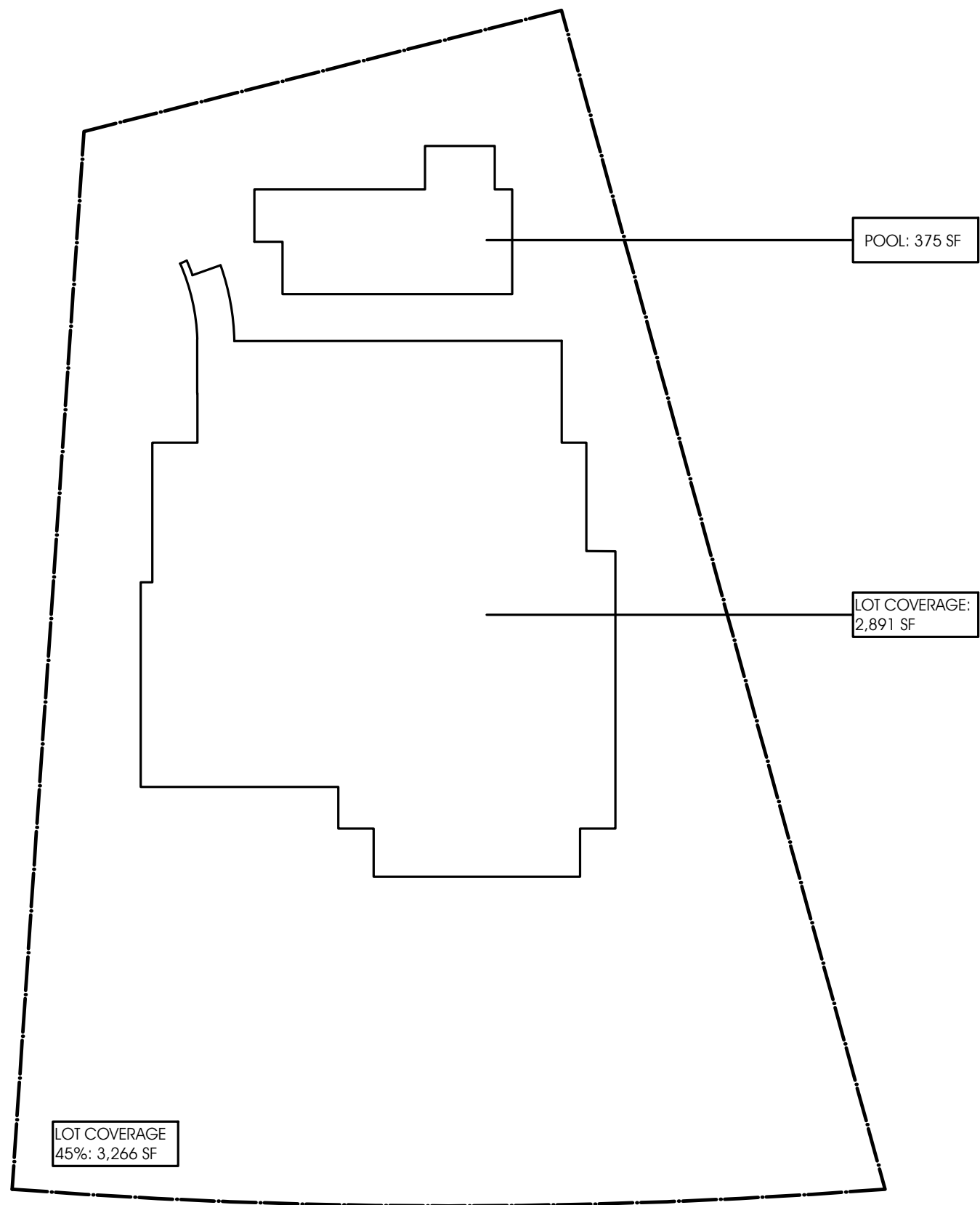
DRAWING

Proposed Site Plan and Zoning Information

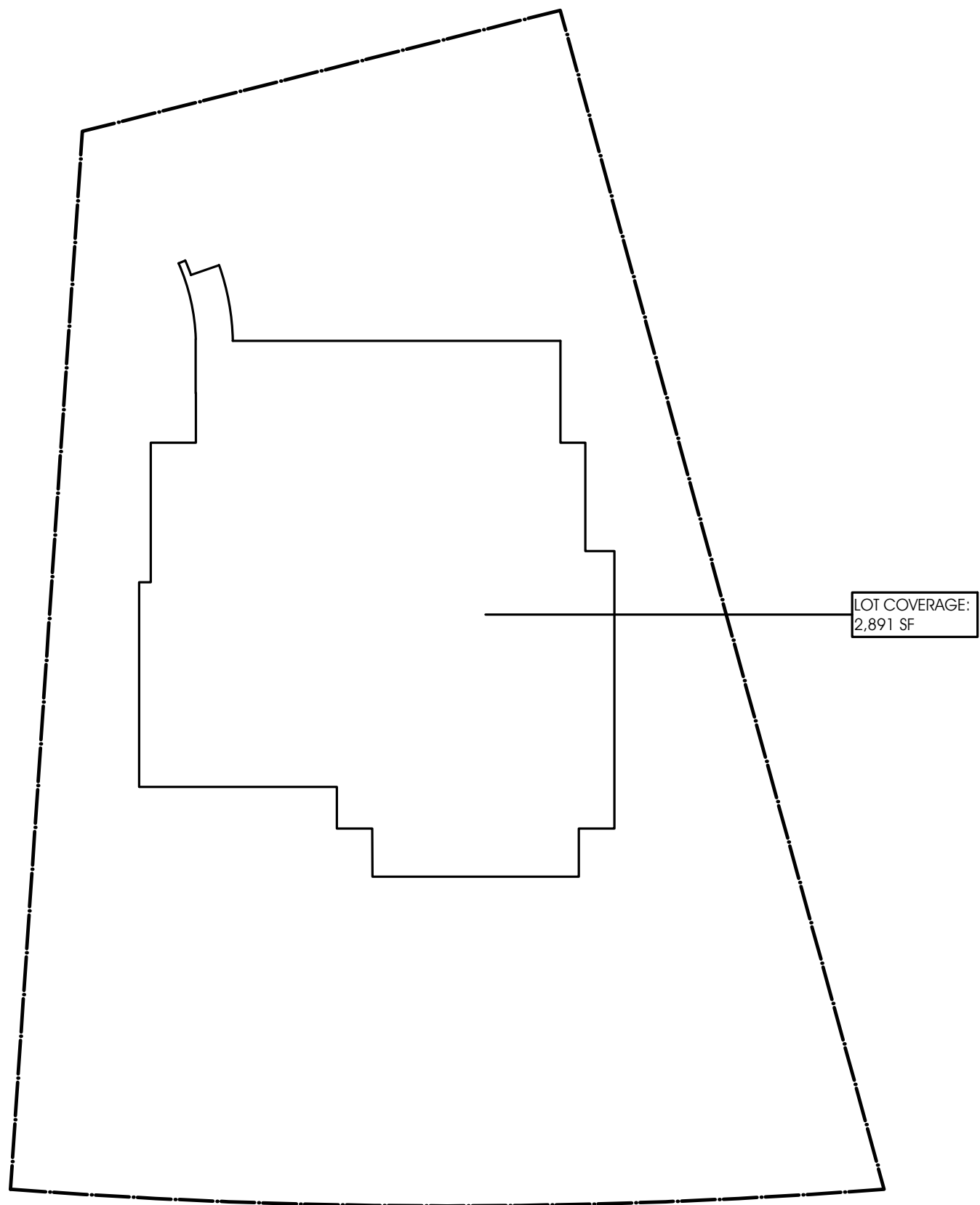
<p>SEAL</p> <p>Nelson de Leon AR 13937</p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">SCALE</td> <td style="padding: 2px;">3/32" = 1'-0"</td> </tr> <tr> <td style="padding: 2px;">DRAWN</td> <td style="padding: 2px;">BM</td> </tr> <tr> <td style="padding: 2px;">REVIEWED</td> <td style="padding: 2px;">NDL</td> </tr> <tr> <td style="padding: 2px;">PROJ. NO.</td> <td style="padding: 2px;">300</td> </tr> </table>	SCALE	3/32" = 1'-0"	DRAWN	BM	REVIEWED	NDL	PROJ. NO.	300
SCALE	3/32" = 1'-0"								
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REVIEWED	NDL								
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SHEET NO.

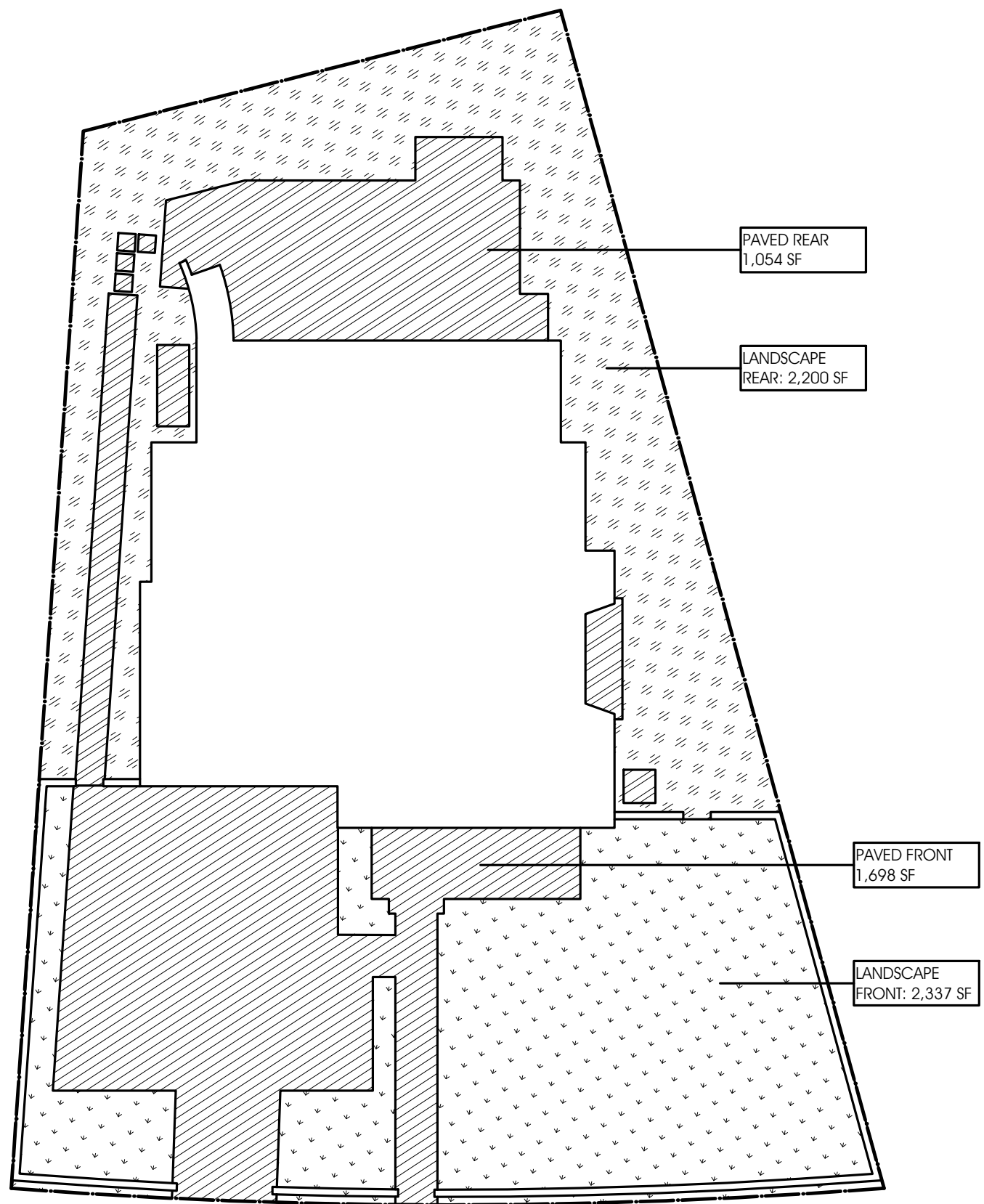
A-01.0



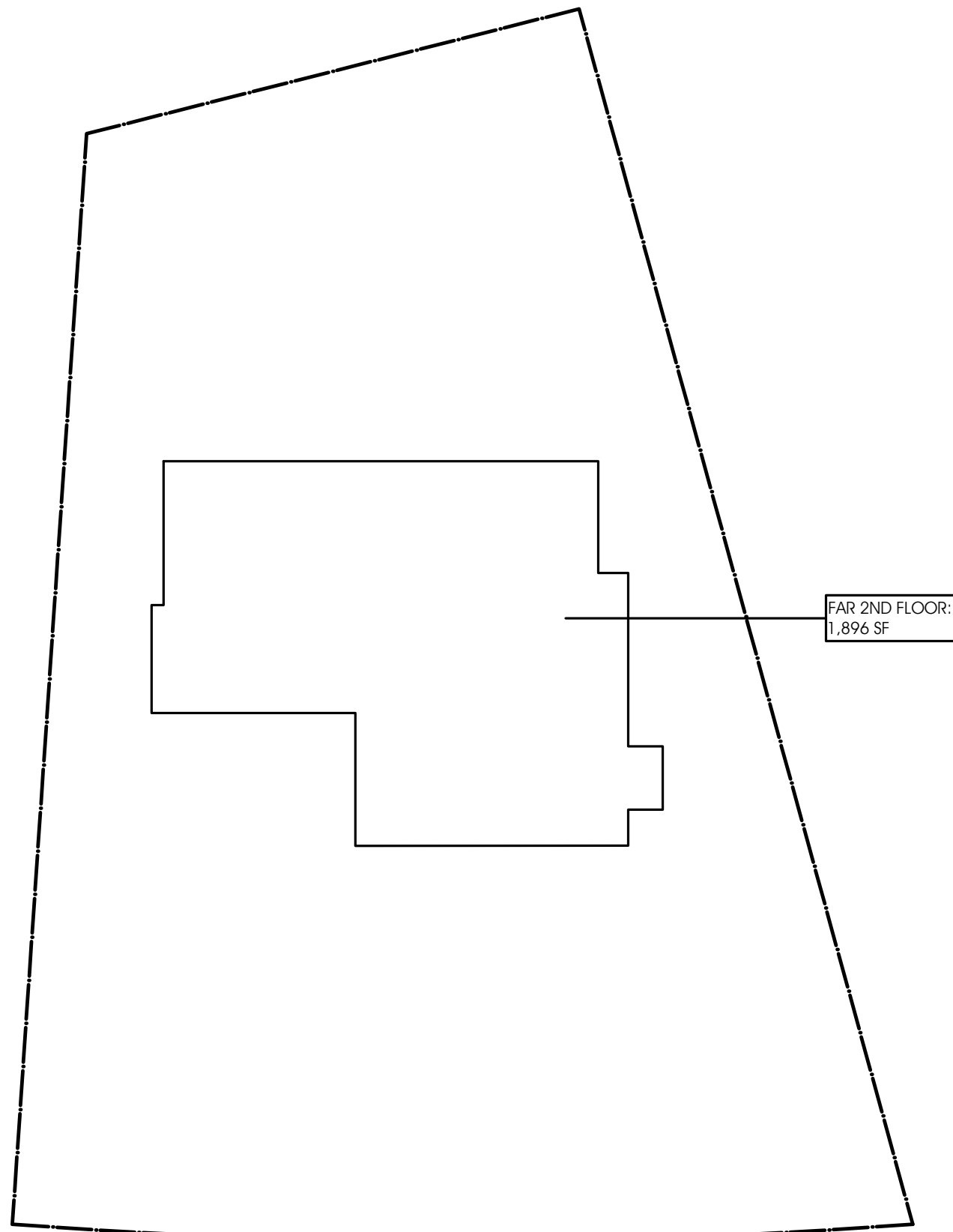
LOT COVERAGE 45%



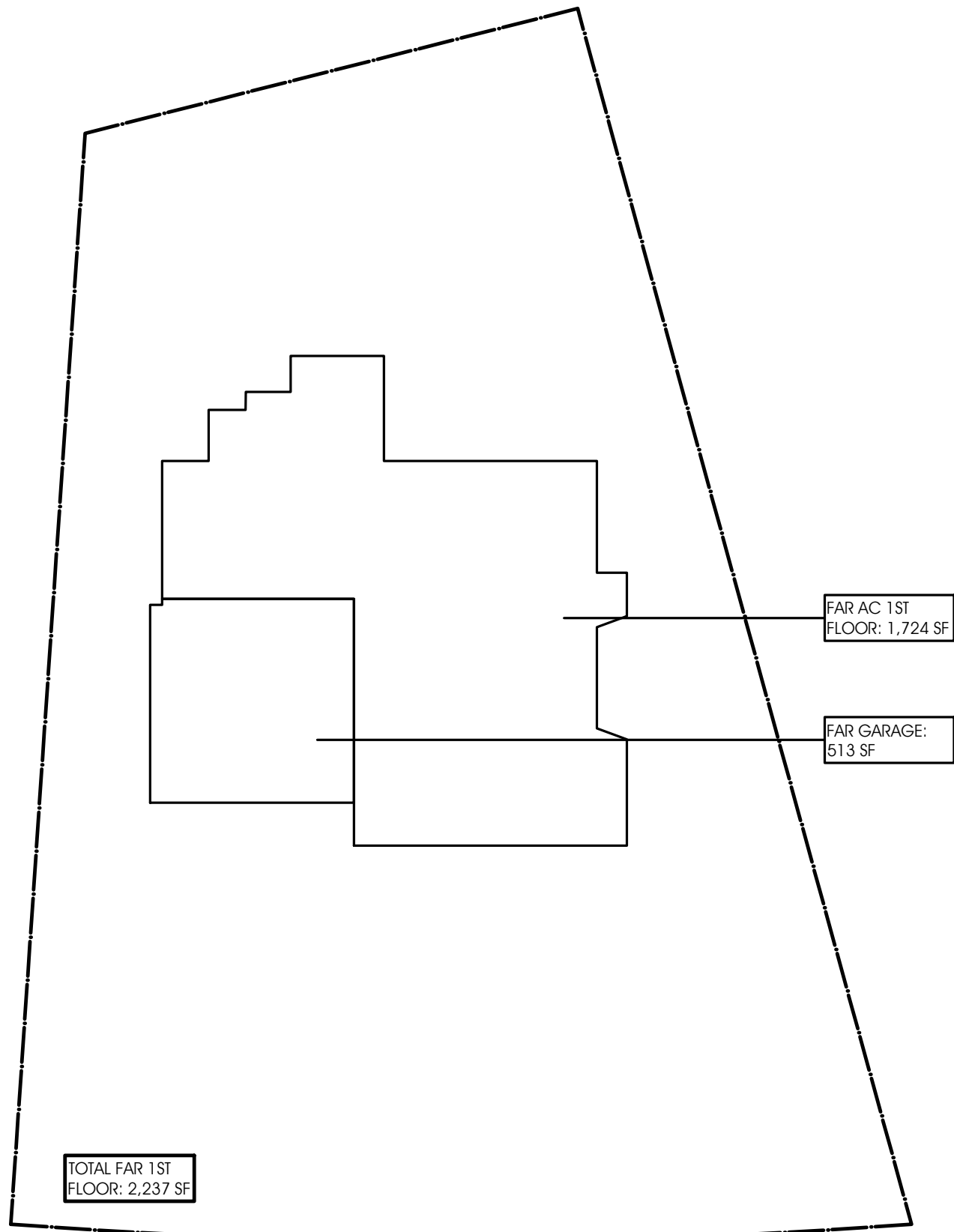
LOT COVERAGE 35%



LANDSCAPE AND PAVED AREAS



SECOND FLOOR FAR



FIRST FLOOR FAR

AREA CALCULATIONS: TOTALS

FAR CALCULATIONS		PROPOSED
1ST FLOOR A/C		1,724 SF
GARAGE		513 SF
2ND FLOOR A/C		1,896 SF
TOTALS		4,133 SF
LOT COVERAGE CALCS: 35%		PROPOSED
1ST FLOOR COVERED		2,891 SF
TOTALS		2,891 SF
LOT COVERAGE CALCS: 45%		PROPOSED
1ST FLOOR COVERED		2,891 SF
POOL		375 SF
TOTALS		3,266 SF
LANDSCAPE AREAS		PROPOSED
LANDSCAPE: BACKYARD		2,200 SF
LANDSCAPE: FRONT YARD		2,337 SF
TOTALS		4,537 SF
PAVED AREAS		PROPOSED
BACK YARD		1,054 SF
FRONT YARD		1,698 SF
TOTALS		2,752 SF

NOTES



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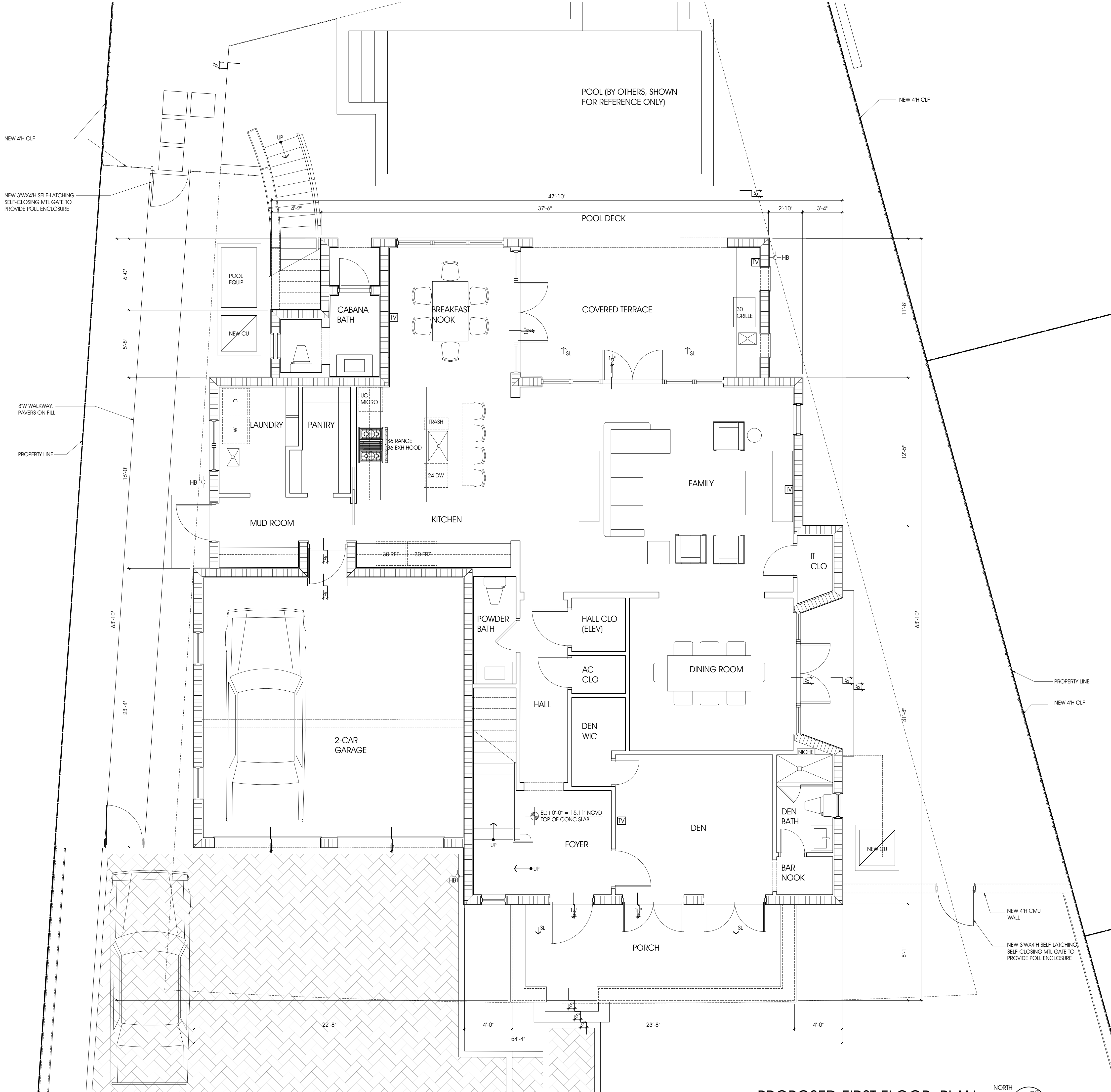
Area Diagrams
and Calculations

SEAL	SCALE N.T.S.
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	
PROJ. NO. 300	

SHEET NO.

A-01.1

- NOTES:
1. CONTRACTOR TO PAINT ALL INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
 2. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P.T. WOOD BLOCKING AT ALL CABINETY AND BATHROOM ACCESSORIES.
 3. FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8', AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440.0.7
 4. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
 5. AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
 6. COORD. FLOORING, APPLIANCES, CABINETY, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS AND INTERIOR DESIGN DRAWINGS, TYP.
 7. NEW POOL EQUIPMENT/LOCATION IS BY OTHERS (SEPARATE PERMIT), SHOWN FOR REFERENCE ONLY.



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

NOTES



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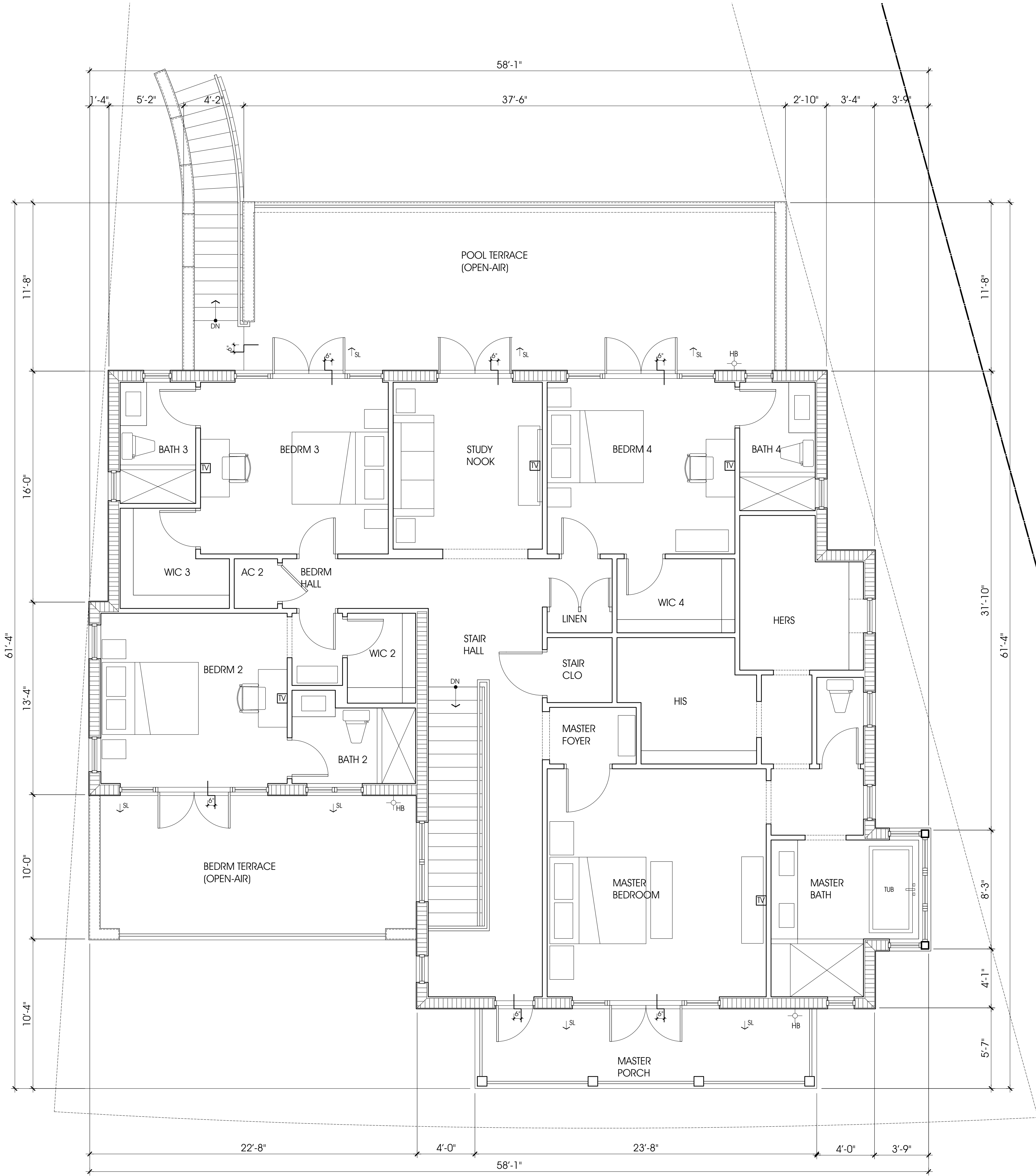
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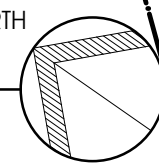
Proposed First
Floor Plan

SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 300
SHEET NO.	

A-02.0



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES



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NEW 2-STORY RESIDENCE TO:
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Coral Gables, FL 33134

DRAWING

Proposed Second
Floor Plan

SEAL

DRAWN

REVIEWED

PROJ. NO.

SHEET NO.

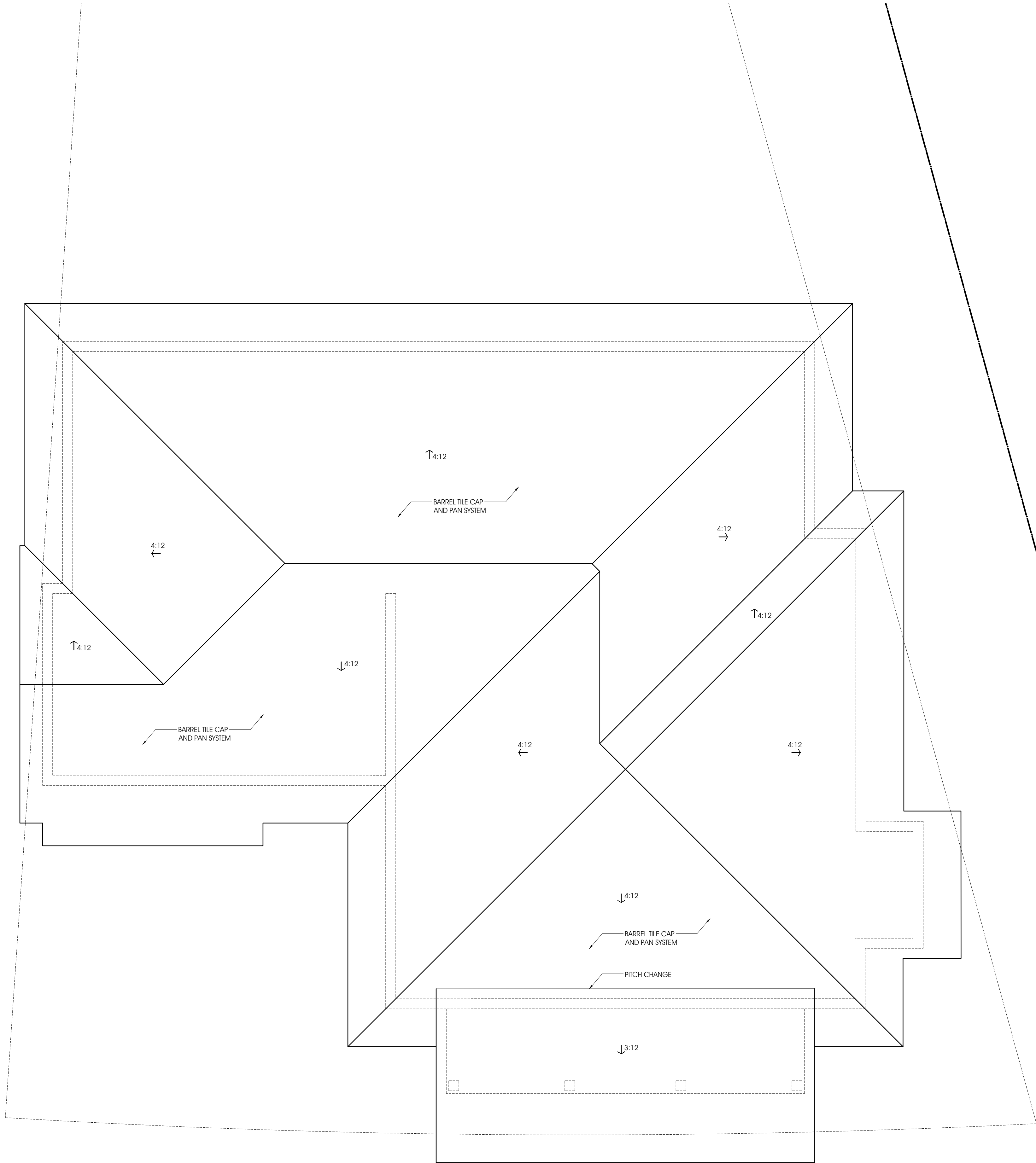
SCALE
1/4" = 1'-0"
BM
NDL
300

A-02.1

ATTIC VENTILATION : FBC 2020 SECTION 1 203 - CLOSED SYSTEM

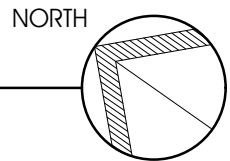
PROVIDED: PER FBC 2020 RESIDENTIAL SECTION 806.5 (UNVENTED ATTIC ASSEMBLIES), "ICYNENE" SPRAY FOAM INSULATION TO UNDERSIDE OF ROOF DECKING, CLOSED CELL (R VALUE=30)

*APPLY LIQUID WATERPROOFING SYSTEM TO ALL FLAT SURFACES & BALCONIES (COORD. WITH ARCHITECT FOR SPECIFICATIONS)

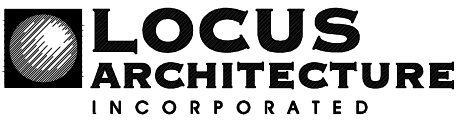


PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



NOTES



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Coral Gables, Florida 33146
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Fax: (305) 740-0520
License No. AA0002733

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	GC REVIEW	04-12-2021
	PRELIMINARY BOA	05-18-2021
	PERMIT SUBMITTAL	

PROJECT

NEW 2-STORY RESIDENCE TO:
VARGAS FAMILY

1211 Anastasia Avenue
Coral Gables, FL 33134

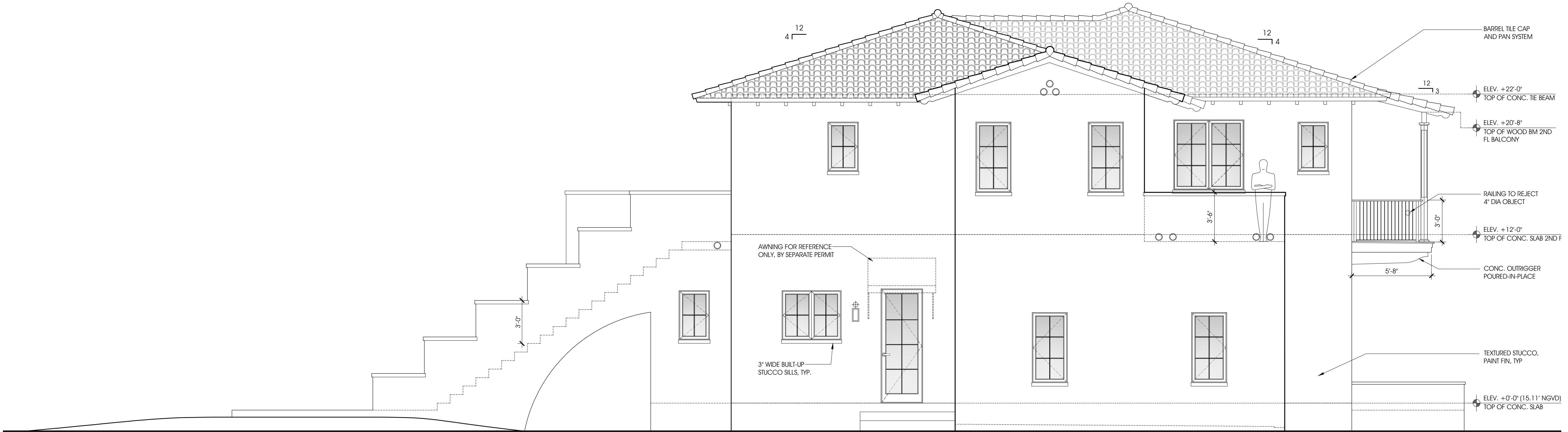
DRAWING

Proposed Roof Plan

SEAL	SCALE 1/4"= 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 300

SHEET NO.

A-04.0



WEST EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



SOUTH EXTERIOR ELEVATION: ANASTASIA

SCALE: 1/4"=1'-0"



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	G/C REVIEW	04-12-2021
	PRELIMINARY BOA	
	PERMIT SUBMITTAL	

PROJECT

NEW 2-STORY RESIDENCE TO:
VARGAS FAMILY

1211 Anastasia Avenue
Coral Gables, FL 33134

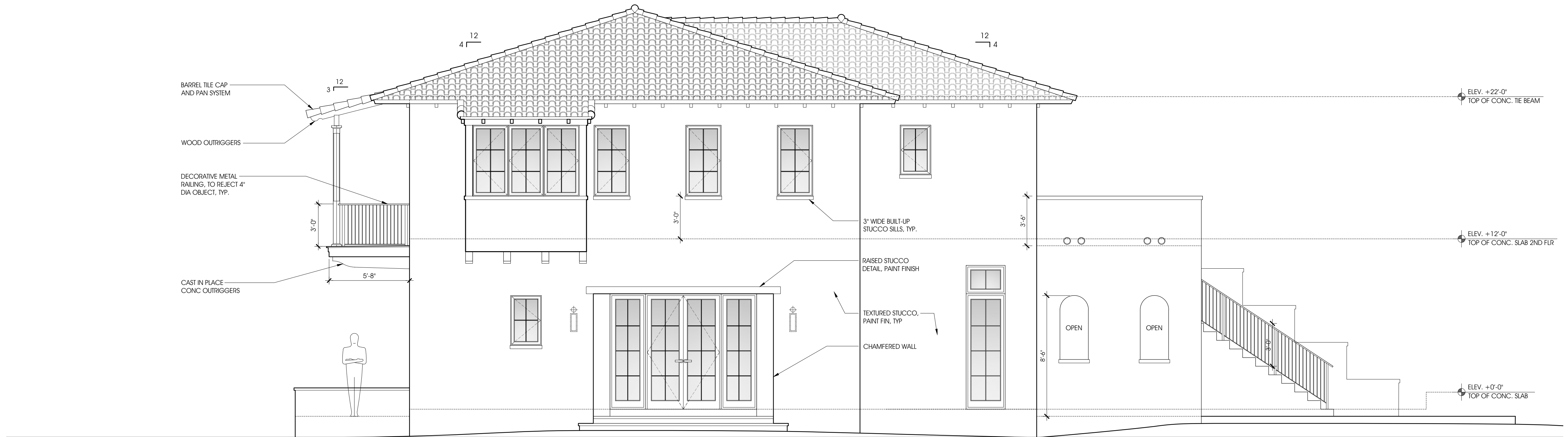
DRAWING

South and West
Exterior Elevations

SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 300

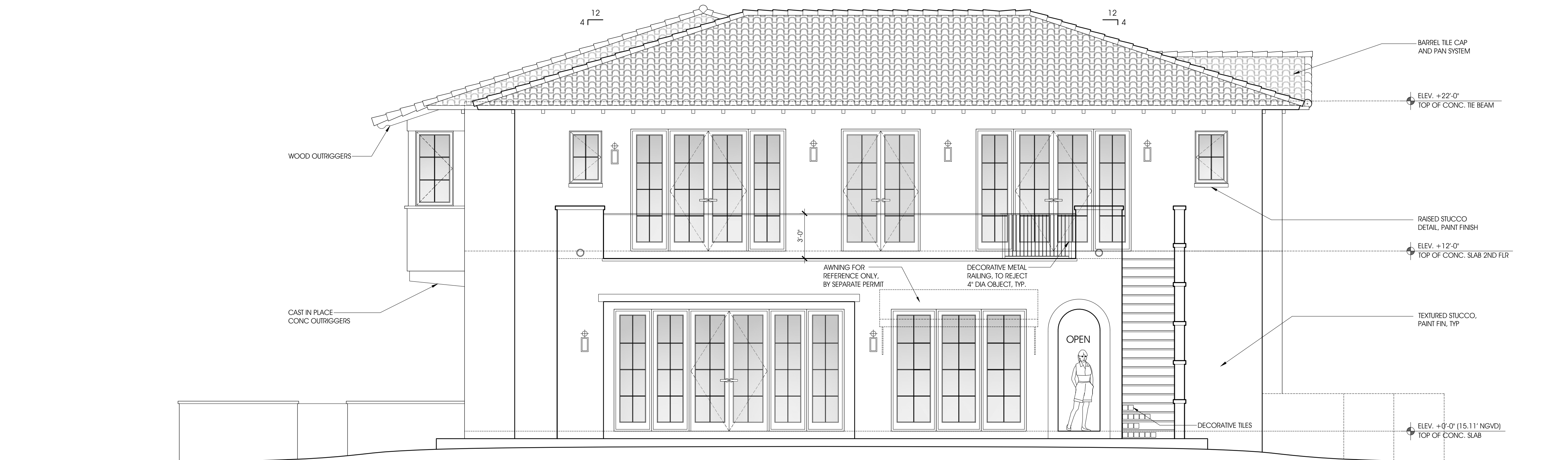
SHEET NO.

A-05.0



EAST EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



NORTH EXTERIOR ELEVATION: REAR

SCALE: 1/4"=1'-0"

NOTES



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	G/C REVIEW	04-12-2021
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	PERMIT SUBMITTAL	

PROJECT

NEW 2-STORY RESIDENCE TO:
VARGAS FAMILY

1211 Anastasia Avenue
Coral Gables, FL 33134

DRAWING

North and East
Exterior Elevations

SEAL

SCALE

1/4" = 1'-0"

DRAWN

BM

REVIEWED

NDL

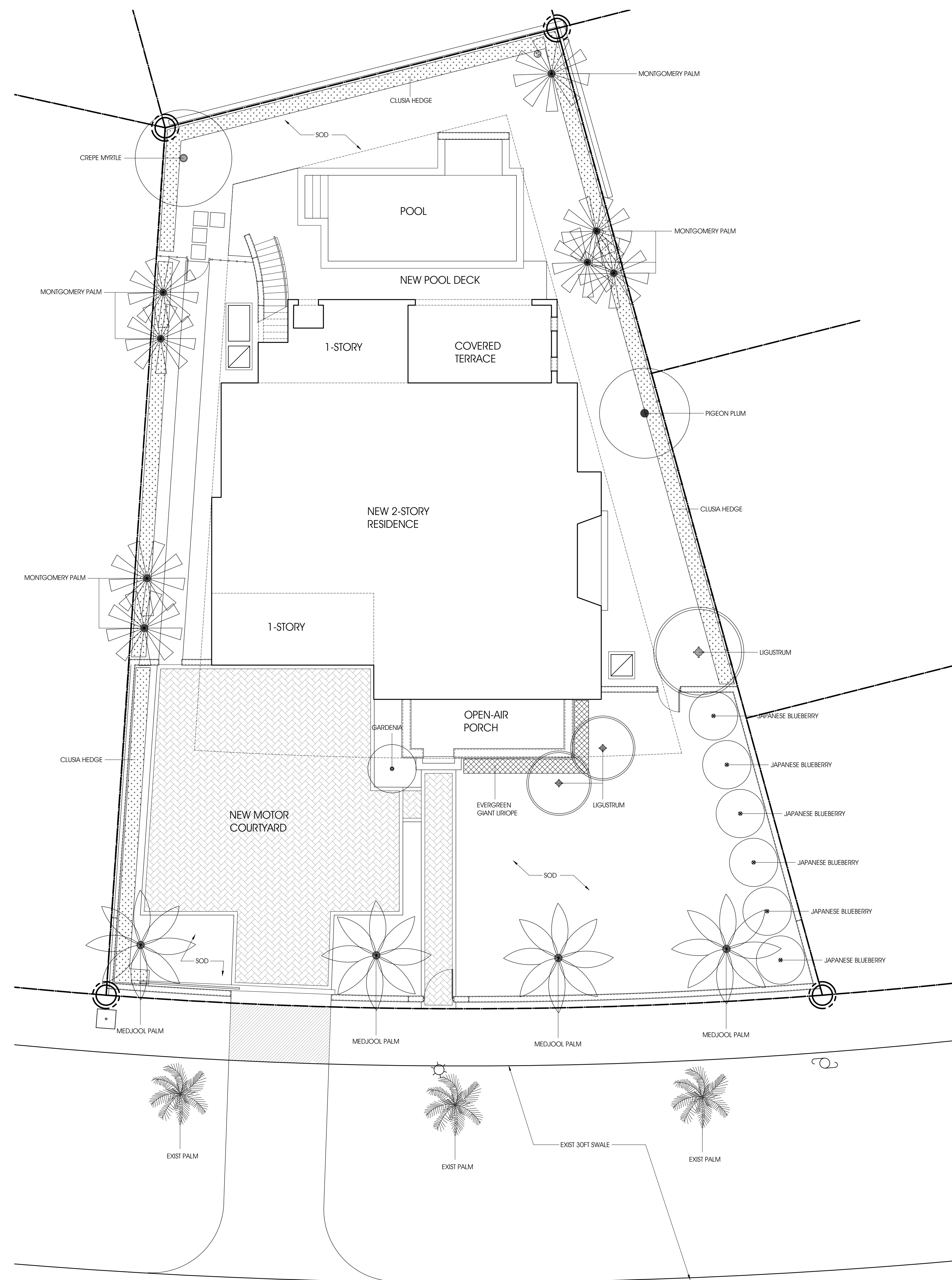
PROJ. NO.

300

SHEET NO.

Nelson de Leon
AR 13937

A-05.1




NOTE: THERE ARE NO EXISTING TREES ON SITE

LANDSCAPE PLAN

SCALE: 1/4" = 1'-0"

NORTH

NOTES

**LOCUS**
ARCHITECTURE
INCORPORATED

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	PRELIMINARY BOA	05-18-2021
	PERMIT SUBMITTAL	

PROJECT

NEW 2-STORY RESIDENCE TO:
VARGAS FAMILY

1211 Anastasia Avenue
Coral Gables, FL 33134

DRAWING

Landscape Plan

SEAL	SCALE 1/8" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 300

SHEET NO.

LA-01.0



BOA Preliminary Submittal: Renderings

Property: 1211 Anastasia Ave
Coral Gables, FL 33134

June 30, 2021