

MAP OF BOUNDARY SURVEY

LOCATION MAP

SECTION 20, TOWNSHIP 54 SOUTH, RANGE 41 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633

PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "20"
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-LANDMARKSURVEYING@HOTMAIL.COM

ABBREVIATIONS AND LEGEND:

A/C	= DENOTES AIR CONDITIONING UNIT
APPR.	= DENOTES APPROXIMATE
ASPH.	= DENOTES ASPHALT
B.M.	= DENOTES BENCH MARK
C.B.S.	= DENOTES CONCRETE BLOCK STUCCO
CONC.	= DENOTES CONCRETE
L.P.	= DENOTES LIGHT POLE
CB	= DENOTES CATCH BASIN
C	= DENOTES CENTERLINE
M	= DENOTES MONUMENT LINE
L.M.E.	= DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	= DENOTES DRAINAGE EASEMENT
D.H.	= DENOTES DRILL HOLE
(M)	= DENOTES MEASURE
(R)	= DENOTES RECORD
WPP	= DENOTES WOOD POWER POLE
U.E.	= DENOTES UTILITY EASEMENT
P.B.	= DENOTES PLAT BOOK
PG.	= DENOTES PAGE
P.C.P.	= DENOTES PERMANENT CONTROL POINT
P.O.B.	= DENOTES POINT OF BEGINNING
TYP.	= DENOTES TYPICAL
M.H.W.	= DENOTES MEAN HIGH WATER LINE
--	= DENOTES WOOD FENCE
-x-	= DENOTES CHAIN LINK FENCE
-x-	= DENOTES IRON FENCE
o	= DENOTES FOUND IRON PIPE (NO ID.)
Δ	= DENOTES FOUND NAIL AND DISC
ASPH.	= DENOTES ASPHALT PAVEMENT
BRICK	= DENOTES BRICK
CONC.	= DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED .

LEGAL DESCRIPTION:

LOTS 12 AND 13, BLOCK 32, OF "CORAL GABLES RIVIERA SECTION PART ONE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, AT PAGE 31, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 03-4120-022-3560
530 ALMINAR AVENUE,
CORAL GABLES, FL 33146

AREA OF PROPERTY: 10,000 SQUARE FEET AND/OR
0.230 ACRES MORE OR LESS.

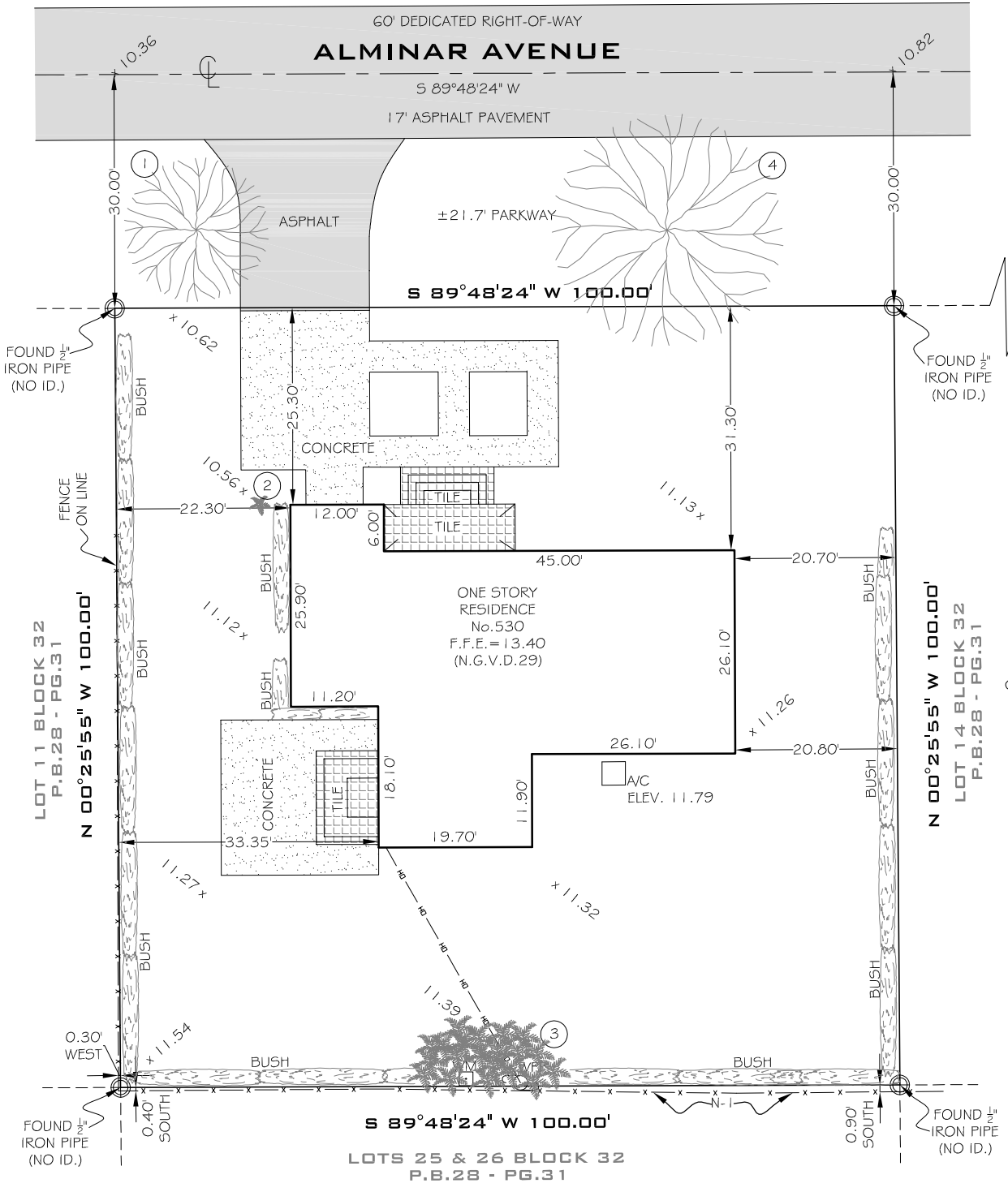
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

- NICOLE M. LUKACS, RAOUL E. HERNANDEZ AND OLFA HERNANDEZ
- CALIBER HOME LOANS, INC., ISAOAVATIMA
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY/ATFS
- LAW OFFICE OF ALEXIS GONZALEZ, P.A.

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51 FAC), IS "RESIDENTIAL".THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BEARINGS REFERENCED TO LINE NOTED AS B.R.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATE USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "CORAL GABLES RIVIERA SECTION PART ONE" RECORDED IN PLAT BOOK 28, AT PAGE 31.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET OR SMALLER.



NO.	COMMON NAME	DESCRIPTION (FEET)		
		DIAMETER	HIGH	CANOPY
1	OAK	1.5	20	20
2	PALM	0.3	10	3
3	(20)PALM	04	10	5
4	OAK	3.0	20	30

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

SIGNED _____ FOR THE FIRM
ARTURO MENDIGUTIA, P.S.M. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IN A DIGITAL FORMAT NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

NOTES:
N-1 = A PORTION OF THE CHAIN LINK FENCE ALONG THE SOUTH BOUNDARY LINE,
FALLS OUTSIDE THE PROPERTY LINE

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	X	
ELEVATION:	N/A	
COMMUNITY:	120639	
PANEL:	12086C0457	
DATE OF FIRM:	09-11-2009	
SUFFIX:	L	
ORIGINAL FIELD WORK SURVEY DATE	01-09-2018	
BENCH MARK:	N/A	
ELEVATION:	N/A	
DATE	DRAWN BY	SCALE
01-10-2018	E.SS	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DRAWN BY	DESCRIPTION
07-20-2020	E.SS	UPDATE
JOB No.		
2007-0251		



-STREET VIEW OF 530 ALMINAR-



-EAST ELEVATION OF 530 ALMINAR-



-REAR EAST CORNER OF 530 ALMINAR -



-REAR OF 530 ALMINAR -



-REAR WEST CORNER OF 530 ALMINAR -



-WEST ELEVATION OF 530 ALMINAR -



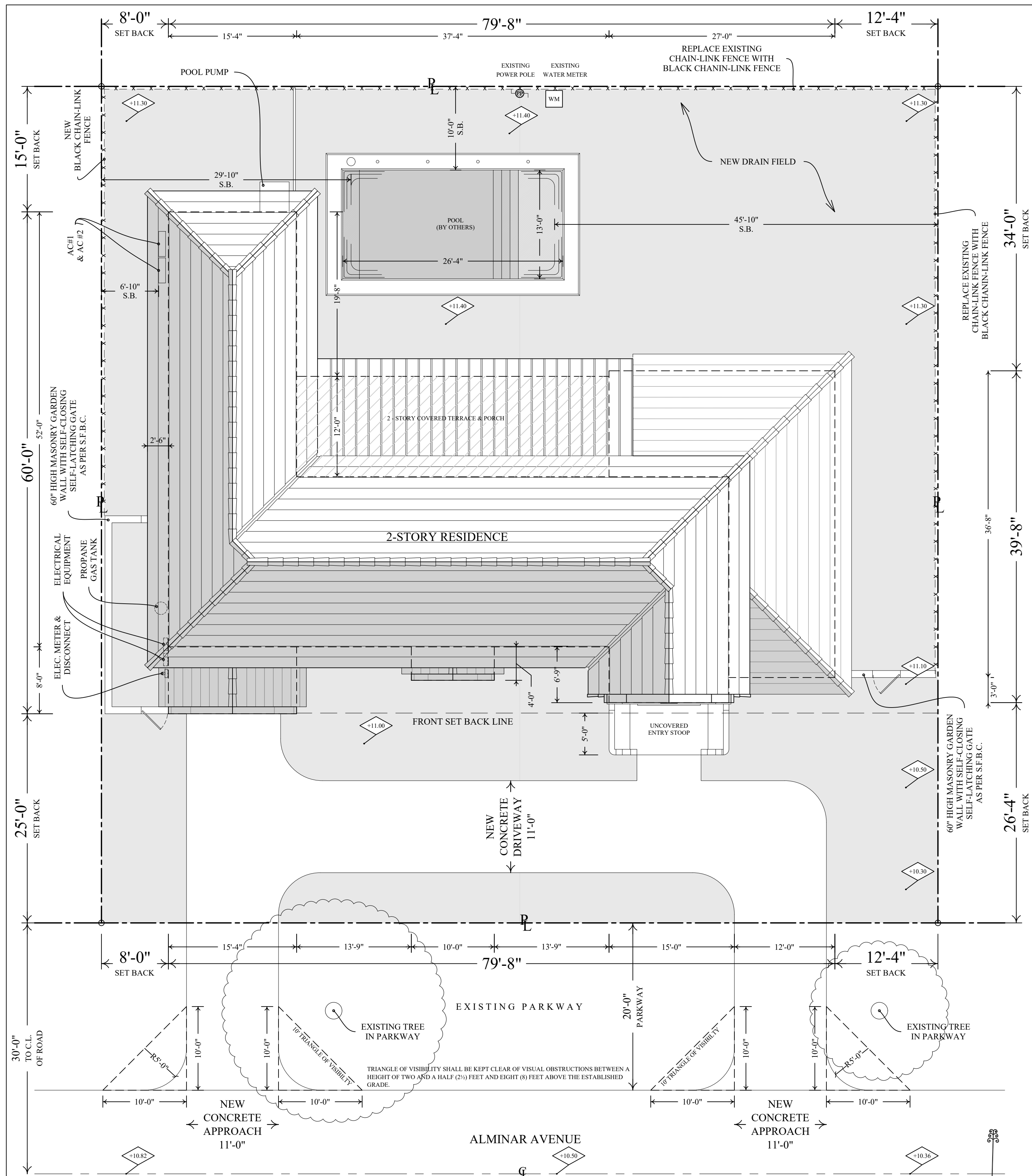
-STREET VIEW OF 530 ALMINAR AVENUE-



-STREET VIEW OF RIGHT-SIDE NEIGHBOR-



-STREET VIEW OF LEFT-SIDE NEIGHBOR-



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

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ARCHITECTURE

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GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES. ALL PERMITS UTILITY AND METER CONNECTIONS FEES SHALL BE OBTAINED AND PAID FOR BY DE CONTRACTOR.
- ALL WORKS, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INTERLIE IN STRICT ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORKS FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BUILDING AND FAMILIARIZING HIM/HERSELF WITH EXISTING CONDITIONS FACILITIES AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES ON AND OFF SITE, ACCESS ROADS AND OTHER SUPPORTS.
- CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, GAS WATER OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
- CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORKS OR SHOP FABRICATIONS.
- CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BUILDING OF ANY DISCREPANCY BETWEEN ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS. BID SHALL BE BASED ON THE MOST STRINGENT REQUIREMENT.
- CONTRACTOR IS TO OBTAIN WRITTEN APPROVAL FORM OWNER AND ARCHITECT TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL DSHA REGULATIONS FOR THE CONSTRUCTIONS AREAS SHALL BE STRICTLY FOLLOWED.
- DISCREPANCIES:
A. IN DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY.
B. THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECTS INTERPRETATION SHALL BE FINAL.
C. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING.
*DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL, FOR ADDITIONAL REQUIREMENTS.
- ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS SHALL MEET CODE REQUIREMENTS, PRESSURE TREATED WOOD SHALL

- BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH THE ELEMENTS EXTERIOR. PROVIDE SEPARATION AS NOTED BETWEEN WOOD AND CONCRETE.
- 2-HOUR U.L. APPROVED FIRE RESISTIVE "TIE" GLASS FIBER SATING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASSI: E-119.
 - CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOPS DRAWINGS OR AS SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED AND REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL, AND SO NOTED.
 - IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
 - CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTAINANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. THE OMISSIONS OF ANY OF ALL ACCESS PANELS DOES NOT BELIEVES THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
 - BEFORE INSTALLATION THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURE.
 - ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLORS OF ADJACENT SURFACES, COORDINATE COLORS WITH THE ARCHITECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE (REFER TO NOTE #9) CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERTY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONTS, FLOORS, CARPETS, WALLS, DOORS, ETC. 22. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SETS OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHED INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE REORDERED BY BY CONTRACTOR AS CONSTRUCTION PROGRESSES.
 - BUILDINGS AND STRUCTURES HEREIN PROVIDED FOR UNDER DIVISION 3.45.6 AND 7 MEET THE REQUIREMENTS FOR IMPACT RESISTIBILITY, AS REQUIRED BY SECTION 211.6 OF THE FLORIDA BUILDING CODE, AND ARE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CONDITION II, TABLE 9 OF THE ASCE 7-98.
 - CONTRACTOR TO SUBMIT PRODUCT APPROVAL TO THE BUILDING DEPARTMENT FOR ALL WINDOWS, DOORS, HURRICANE SHUTTERS AND ALL COMPONENTS REQUIRING PRODUCT APPROVAL PRIOR TO THE SUBMITTAL OF

- SHOP DRAWINGS.
- ANY DAMAGE TO EXISTING STRUCTURE IN THE CONSTRUCTION OF NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR EXPENSE.
 - CONTRACTOR SHALL PROVIDE PROPER SAFE GUARD IN COMPLIANCE WITH CODES DURING ALL PHASES OF CONSTRUCTION.
 - CONTRACTOR TO INSTALL BARRIERS AS NECESSARY AND REQUIRED AROUND PERIMETER OF CONSTRUCTION UNITS TO PROTECT THE PUBLIC AND OR ADJACENT PROPERTY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BUILDING AND FAMILIARIZING HIM/HERSELF WITH EXISTING CONDITIONS FACILITIES AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES ON AND OFF SITE, ACCESS ROADS AND OTHER SUPPORTS.
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QUALITY CONTROL / QUALITY ASSURANCE

ALL WORK SHALL BE PERFORMED IN THE BEST AND MOST PROFESSIONAL MANNER BY MECHANICS SKILLED IN THE RESPECTIVE TRADES. THE GC SHALL KEEP CONSTRUCTION SITE CLEAN AND SECURE AT ALL TIMES. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND ALL AREAS SHALL BE LEFT IN BROOM CLEAN CONDITION AT ALL TIMES FINISHING WORK SHALL BE FREE OF DEFECTS. THE ARCHITECT RESERVES THE RIGHT TO REJECT MATERIAL AND WORKMANSHIP NOT CONSIDERED TO BE UP TO THE HIGH STANDARDS OF THE TRADES INVOLVED AT NO EXTRA COST TO THE OWNER. AT COMPLETION OF THE WORK, ALL RUBBISH SHALL BE REMOVED. ALL WORK AREAS AND SURFACES SHALL BE INSPECTED FOR IMPROPER TIONS AND READINESS TO RECEIVE FURTHER RESTORATION AND REPLACEMENT WORK. REMEDIAL WORK TO REPAIR SHALL BE MADE. ALL FLOORS AND SURFACES SHALL BE BROOM CLEANED.

COVERING OF WORK:

DO NOT COVER, OR OTHERWISE HIDE FROM VIEW, DUCTS, PIPING, FITTINGS, OR ANY OTHER WORK BEFORE SUCH WORK HAS BEEN EXAMINED OR APPROVED BY THE ARCHITECT OR OTHER AUTHORITY HAVING JURISDICTION REMOVE DISCOVERED DEFECTIVE WORK AND REPLACE OR CORRECT AT NO ADDITIONAL COST TO THE OWNER.

ADDITIONAL ZONING INFORMATION

ZONING DISTRICT: SFR
ADDRESS: 530 ALMINAR AVENUE
CORAL GABLES, FL
03-4120-022-3560

FOLIO NUMBER:
LEGAL DESCRIPTION:
LOTS 12 AND 13, BLOCK 32, OF 'CORAL GABLES RIVIERA SECTION PART ONE', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, AT PAGE 31, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SET BACKS:	REQUIRED	PROVIDED
FRONT:	25'-0"	25'-0"
INTERIOR SIDE (EAST):	10'-0"	8'-0"
INTERIOR SIDE (WEST):	10'-0"	13'-8"
REAR:	10'-0"	15'-0"

LOT AREA:	10,000 S.F.
WIDTH:	100'-0"
DEPTH:	100'-0"

HEIGHT: 2 STORIES MAX	25'-0" MAX
2 STORIES	24'-2"

GROUND AREA COVERAGE:

MAIN BUILDING:	3,500 S.F. MAX (35%)
	3,027 S.F.
POOL:	1,000 S.F. MAX (10%)
	425 S.F.
TOTAL:	4,500 S.F. MAX (45%)
	3,452 S.F.

GREEN SPACE:	4,000 S.F. MIN (40%)
	5,272 S.F.

MAXIMUM GROSS FLOOR AREA ALLOWABLE CALCULATION:

FIRST 5,000 S.F. OF LOT AREA AT 48%	= 2,400 S.F.
SECOND 5,000 S.F. OF LOT AREA AT 35%	= 1,750 S.F.
MAXIMUM G.F.A.	= 4,150 S.F.

GROSS FLOOR AREA PROVIDED	= 4,091 S.F.
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PROJECT DESCRIPTION

A NEW CONSTRUCTION FOR A RESIDENCE LOCATED AT
5 3 0 A L M I N A R A V E N U E .

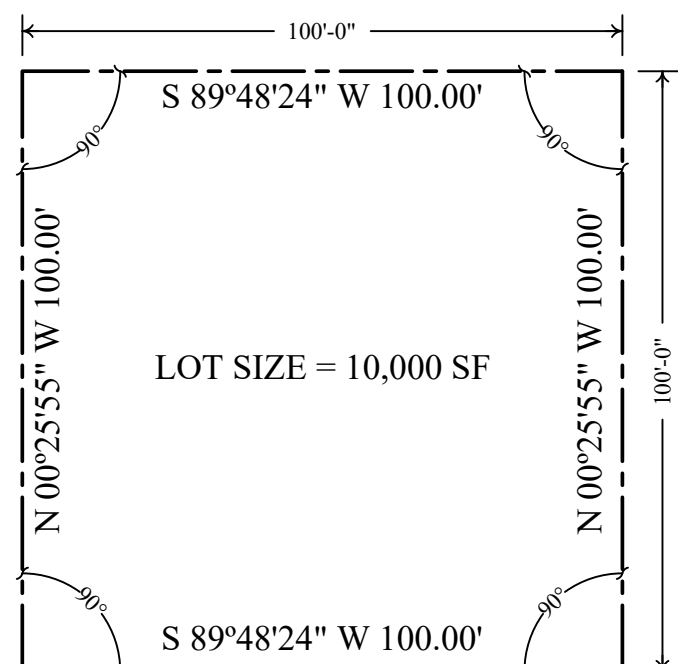
THE INTENT OF THE NEW PROJECT IS TO HARKEN BACK TO ORIGINAL GABLES HOMES EMBRACING THE BEAUTIFUL MEDITERRANEAN RESIDENCES THAT DOT THE COAST OF EUROPE.

THE FIRST STORY OF THE HOUSE WILL SERVE FOR BOTH CASUAL AND FORMAL SOCIAL EVENTS. LOCATED ON THE GROUND FLOOR ARE THE KITCHEN, DINING ROOM, FAMILY ROOM, AS WELL AS A FORMAL DINING HALL. ALONG WITH THE ENTERTAINMENT SPACES COME THE SERVICE ORIENTED ROOMS SUCH AS THE LAUNDRY AND BUTLER'S PANTRY.

THE SECOND STORY OF THE RESIDENCE WILL HOUSE THE DORMITORIES AND MORE PRIVATE AREAS OF THE RESIDENCE. THESE SPACES INCLUDE A PRIVATE STUDY FOR THE CHILDREN AS WELL AS A PRIVATE PORCH OFF OF THE SHARED HALL. AT THE END OF THE HALL IS THE ENTRANCE TO THE MASTER SUITE.

THE ARCHITECTURAL STYLE OF THE PROJECT WILL BE A "MODERN MEDITERRANEAN" AESTHETIC WITH A POOL AND LUSH GARDEN WRAPPING AROUND THE PROPERTY.

ZONING DATA



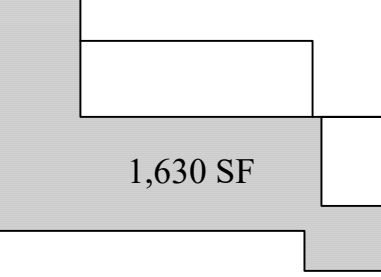
SITE LOCATION



FIRST FLOOR



SECOND FLOOR



F.A.R.	
5,000 X 48%	= 2,400 SF
5,000 X 35%	= 1,750 SF
MAXIMUM ALLOWED	= 4,150 SF

FIRST FLOOR	= 2,500 SF
SECOND FLOOR	= 1,630 SF
PROPOSED	= 4,130 SF

40 % MINIMUM
LANDSCAPE
REQUIREMENT

10,000 X 40% = 4,000
MINIMUM REQUIRED

GREEN AREA
PROVIDED

4,390 SF
557 SF
315 SF
5,262 SF PROVIDED

20 % MINIMUM
LANDSCAPE
REQUIREMENT

5,262 X 20% = 1,052
MINIMUM REQUIRED

20% GREEN AREA
PROVIDED

620 SF
557 SF
315 SF
254 SF
1,746 SF PROVIDED

35% GROUND
COVERAGE

10,000 X 35% = 3,500
MAX

FIRST FLOOR	= 2,500
TERRACE	= 435
ENTRY STOOP	= 102
TOTAL	= 3,037

3,500 SF MAX ALLOWED
3,037 SF PROVIDED

45% AUXILIARY AND /
OR ACCESSORY

10,000 X 45% = 4,500
MAX

FIRST FLOOR	= 2,500
TERRACE	= 435
ENTRY STOOP	= 102
POOL	= 425
TOTAL	= 3,462

4,500 SF MAX ALLOWED
3,462 SF PROVIDED

REVISIONS

MARK	DATE	DESCRIPTION
Δ	06/17/2021	PRELIMINARY ZONING COMMENTS

LUKACS RESIDENCE

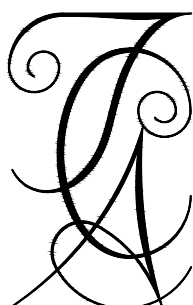
New Construction

530 ALMINAR AVENUE, CORAL GABLES, FLORIDA

TRELLES CABARROCAS ARCHITECTS

Jorge Trelles - Architect - AR 95316

169 East Flagler Street Suite 1619, Miami, Florida | (305) 373-1960



G-001
GENERAL
NOTES

July 27, 2021



01 500 ALMINAR AVENUE



02 510 ALMINAR AVENUE



03 520 ALMINAR AVENUE



04 530 ALMINAR AVENUE



05 536 ALMINAR AVENUE



06 544 ALMINAR AVENUE



07 552 ALMINAR AVENUE



08 600 ALMINAR AVENUE



09 606 ALMINAR AVENUE



10 614 ALMINAR AVENUE



11 501 ALMINAR AVENUE



12 515 ALMINAR AVENUE



13 517 ALMINAR AVENUE



14 521 ALMINAR AVENUE



15 529 ALMINAR AVENUE



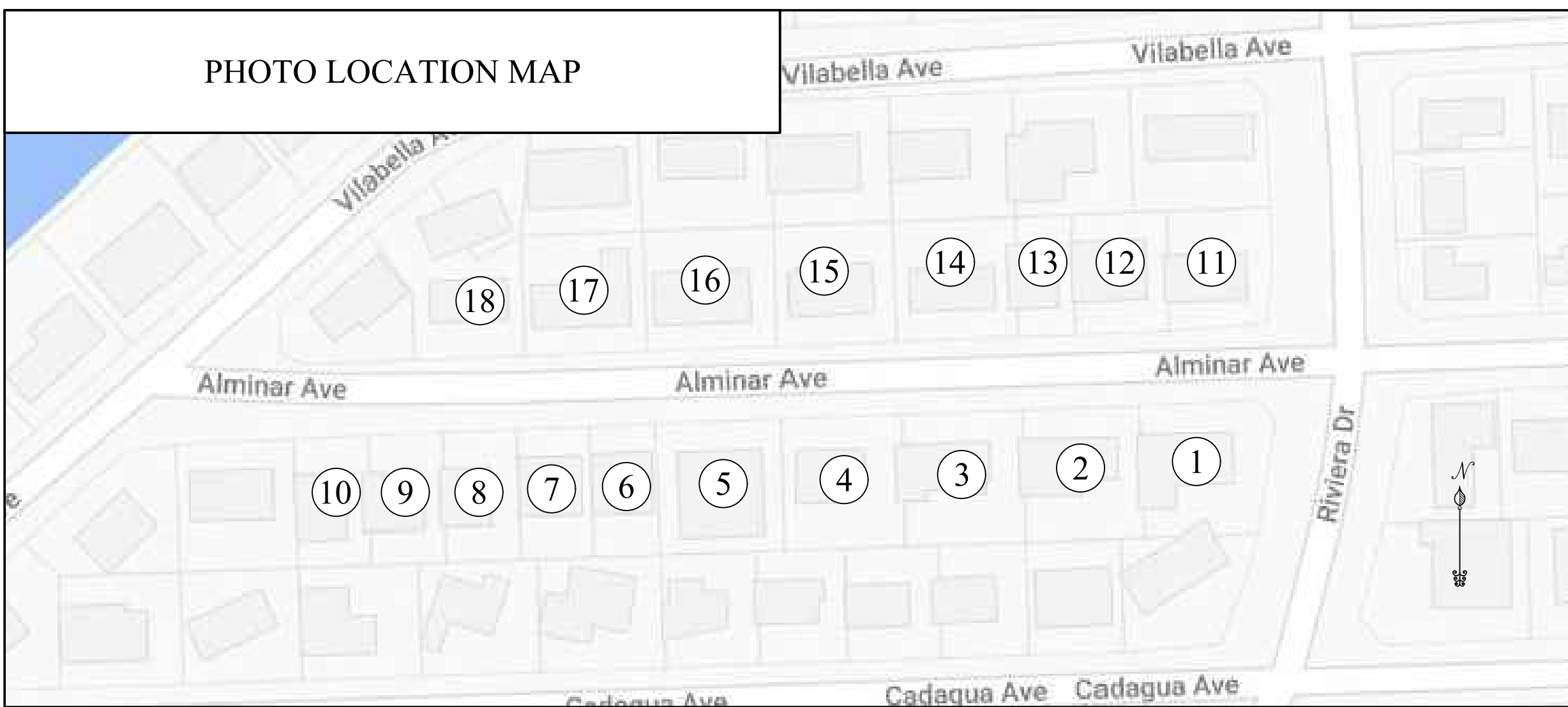
16 535 ALMINAR AVENUE



17 545 ALMINAR AVENUE



18 601 ALMINAR AVENUE



REVISIONS

MARK	DATE	DESCRIPTION

LUKACS RESIDENCE

New Construction

530 ALMINAR AVENUE, CORAL GABLES, FLORIDA

TRELLES CABARROCAS ARCHITECTS

Jorge Trelles - Architect - AR 95316

169 East Flagler Street Suite 1619, Miami, Florida | (305) 373-1960

G-002

CONTEXT

PHOTOS

July 27, 2021

EXTERIOR DOOR LEGEND				
SYM	QTY	DISRIPTION	MASONRY OPENING (M.O.)	
			WIDTH	HEIGHT
1	1	INSWINGING SOLID MAHOGANY ARCHIED DOOR, 1ST FLOOR	4'-0"	10'-0"
2	1	ALUMINUM FRENCH DOOR, 1 LEAF, 1ST FLOOR	3'-0"	9'-0"
3	1	ALUMINUM FRENCH DOOR, 1 LEAF, 1ST FLOOR	3'-0"	10'-0"
4	3	ALMINUM SLIDING FRENCH DOORS, 2-TRACK, 1 LEAF, OO, 1ST FLOOR	9'-4"	10'-0"
5	4	STEEL FRENCH DOORS, 2 LEAVES, 1ST FLOOR	6'-0"	10'-0"
6	3	STEEL FRENCH DOORS, 2 LEAVES, 2ND FLOOR	6'-0"	9'-0"
7	1	STEEL ARCHIED FRENCH DOOR, 1 LEAF, 2ND FLOOR	5'-0"	9'-0"
8	1	AUTOMATED ALUMINUM GARAGE DOOR, 1ST FLOOR	9'-0"	9'-0"

WINDOW LEGEND				
SYM	QTY	DISRIPTION	ROUGH OPENING (R.O.)	
			WIDTH	HEIGHT
1	19	CASEMENT, 1 PANE	3'-0"	5'-6"
2	1	CASEMENT, 1 PANE	6'-0"	7'-0"
3	2	CASEMENT, FIXED MIDDLE, 3 PANES	4'-10"	7'-0"
4	2	CASEMENT, 2 PANES	6'-0"	7'-0"
5	2	CASEMENT, 2 PANES	6'-0"	5'-6"
6	5	CASEMENT, 2 PANES	6'-0"	5'-0"

WALL LEGEND

- NEW 8" OR 12" MASONRY WALLS
- NEW METAL PARTITION

APPLICABLE CODE NOTE:

APPLICABLE CODES: FLORIDA BUILDING CODE 2020, 7th EDITION & LIFE SAFETY COMPLY WITH FLORIDA FIRE PREVENTION CODE 2020 EDITION & NFPA 101 2018 EDITION, NEC 2018

TERMITE PROTECTION NOTE:

AS PER F.B.C. R301.1 AND R4409.13.5, THE BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE "FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES" A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT, CONTAINING THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

INTERIOR WALL AND CEILING FINISH FOR TYPE B OCCUPANCY (NON-SPRINKLER SYSTEM):

ROOMS AND ENCLOSED SPACES: FINISH LEVEL 5

LEVEL 5 FINISH: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIRED WITH A JOINT KNIFE LEAVING A THIN CONSISTENT COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO (2) SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE (1) SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE (3) SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE SHALL BE APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES.

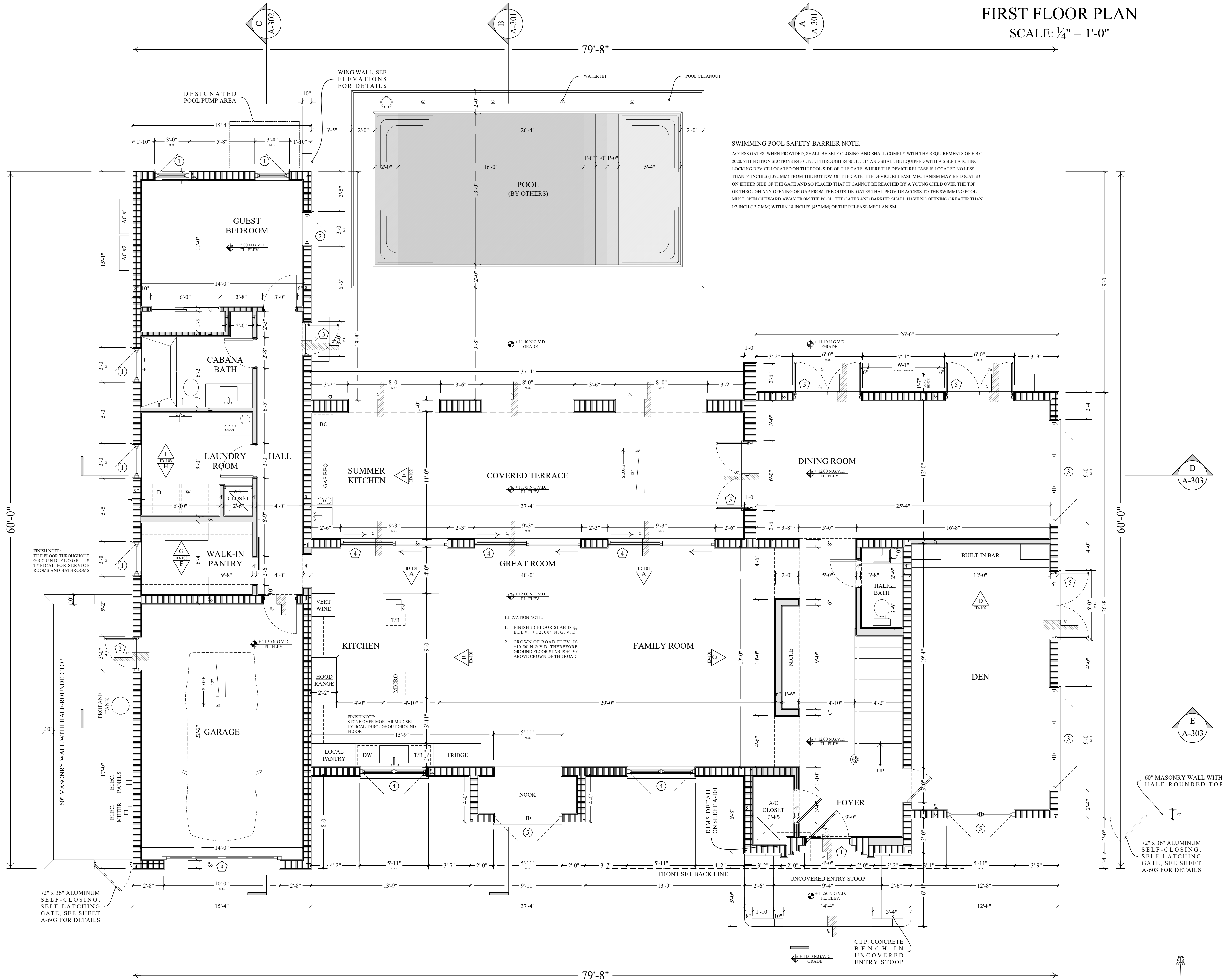
DRAINAGE NOTE:

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY.

GARAGE NOTES:

GARAGE CEILING (1 H) 1x3 FURRING 16" O.C., ONE LAYER 5/8" TYPE X GYPSUM LATH, 50 CEMENT-COATED OR RING-SHANKED NAILS 6" O.C., PAPER TAPE EMBEDDED IN CEMENTIOUS COMPOUND OVER JOINTS, EXPOSED NAIL HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS OR MINERAL WOOL BATS, OR BLOWN-IN FIBERGLASS, MINERAL WOOL OR CELLULOSE INSULATION HAVING A MINIMUM INSULATING VALUE OF R-11.

DANGER SIGN (INSIDE GARAGE DOOR) PROVIDE PERMANENT "DANGER" SIGN TO READ "DANGER: DO NOT OPERATE ENGINES WITH DOOR CLOSED. CARBON-MONOXIDE EMISSION IS LETHAL." (LETTERS MUST BE NO LESS THAN 1-1/2" IN SIZE)



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SWIMMING POOL SAFETY BARRIER NOTE:

ACCESS GATES, WHEN PROVIDED, SHALL BE SELF-CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF F.B.C. 2020, 7TH EDITION SECTIONS R4501.17.1.1 THROUGH R4501.17.1.14 AND SHALL BE EQUIPPED WITH A SELF-LATCHING LOCKING DEVICE LOCATED ON THE POOL SIDE OF THE GATE WHERE THE DEVICE RELEASE IS LOCATED NO LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE. THE DEVICE RELEASE MECHANISM MAY BE LOCATED ON EITHER SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP FROM THE OUTSIDE. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN OUTWARD AWAY FROM THE POOL. THE GATES AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.

REVISIONS

MARK	DATE	DESCRIPTION
Δ	06/17/2021	PRELIMINARY ZONING COMMENTS

LUKACS RESIDENCE

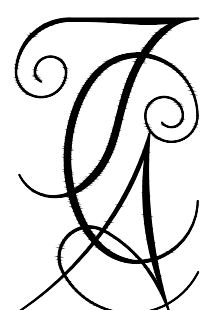
New Construction

530 ALMINAR AVENUE, CORAL GABLES, FLORIDA

TRELLES CABARROCAS ARCHITECTS

Jorge Trelles - Architect - AR 95316

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A-101
FIRST
FLOOR PLAN

July 27, 2021

EXTERIOR DOOR LEGEND				
SYM	QTY	DISRIPTION	MASONRY OPENING (M.O.)	
			WIDTH	HEIGHT
①	1	INSWING SOLID MAHOGANY ARCHED DOOR, 1ST FLOOR	4'-0"	10'-0"
②	2	ALUMINUM FRENCH DOOR, 1 LEAF, 1ST FLOOR	3'-0"	9'-0"
③	2	ALUMINUM FRENCH DOOR, 1 LEAF, 1ST FLOOR	3'-0"	10'-0"
④	3	ALMINUM SLIDING FRENCH DOORS, 2-TRACK, 1 LEAF, OO, 1ST FLOOR	9'-4"	10'-0"
⑤	4	STEEL FRENCH DOORS, 2 LEAVES, 1ST FLOOR	6'-0"	10'-0"
⑥	3	STEEL FRENCH DOORS, 2 LEAVES, 2ND FLOOR	6'-0"	9'-0"
⑦	1	STEEL ARCHED FRENCH DOOR, 1 LEAF, 2ND FLOOR	5'-0"	9'-0"
⑧	1	AUTOMATED ALUMINUM GARAGE DOOR, 1ST FLOOR	9'-0"	9'-0"

WINDOW LEGEND				
SYM	QTY	DISRIPTION	ROUGH OPENING (R.O.)	
			WIDTH	HEIGHT
①	19	CASEMENT, 1 PANE	3'-0"	5'-6"
②	1	CASEMENT, 1 PANE	6'-0"	7'-0"
③	1	CASEMENT, FIXED MIDDLE, 3 PANES	4'-10"	7'-0"
④	3	CASEMENT, 2 PANES	3'-6"	7'-0"
⑤	1	CASEMENT, 2 PANES	3'-11"	5'-6"
⑥	5	CASEMENT, 2 PANES	3'-6"	5'-6"

WALL LEGEND

-  - NEW 8" OR 12" MASONRY WALLS
-  - NEW METAL PARTITION

APPLICABLE CODE NOTE:

APPLICABLE CODES: FLORIDA BUILDING CODE 2020, 7th EDITION & LIFE SAFETY
COMPLY WITH FLORIDA FIRE PREVENTION CODE 2020 EDITION & NFPA 101 2018
EDITION, NEC 2018

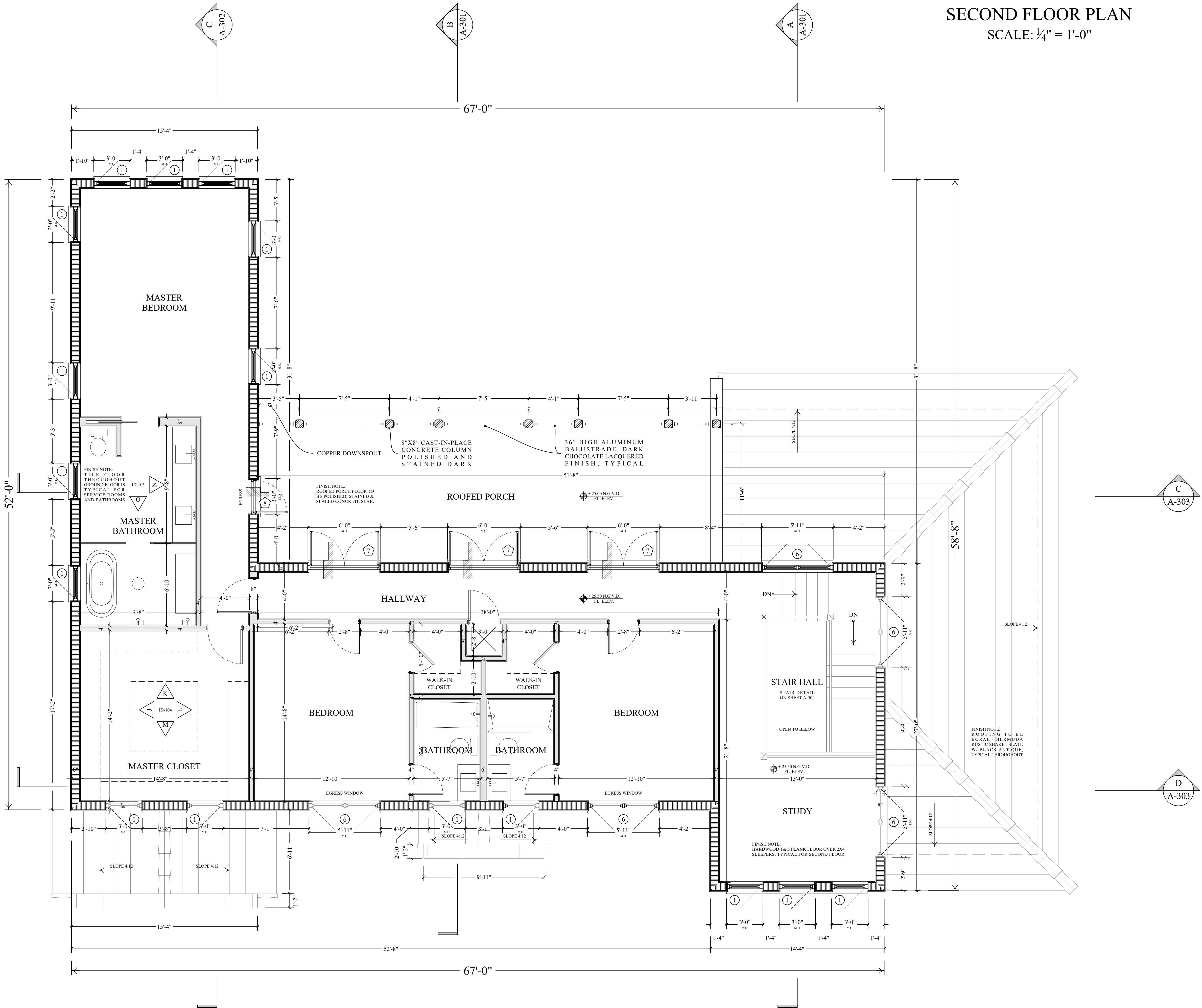
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SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND
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INTERIOR WALL AND CEILING FINISH FOR TYPE B
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ROOMS AND ENCLOSED SPACES: FINISH LEVEL 5

LEVEL 5 FINISH: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN
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WITH THREE (3) SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT
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BE APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF
TOOL MARKS AND RIDGES.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

MARK	DATE	DESCRIPTION	

LUKACS RESIDENCE

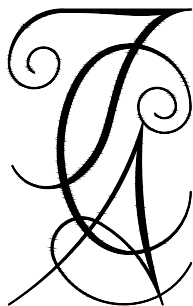
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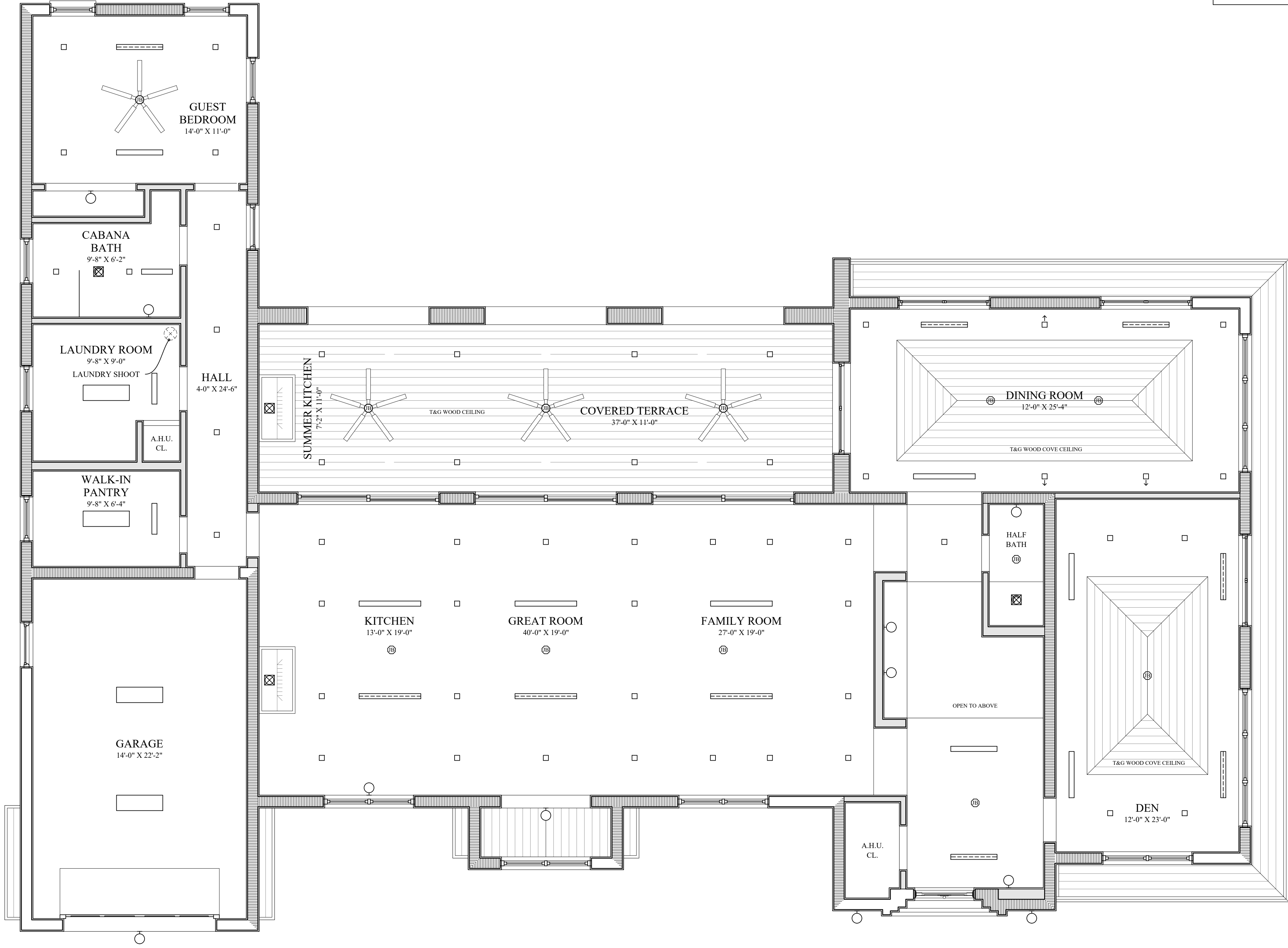
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A-102
SECOND
FLOOR PLAN

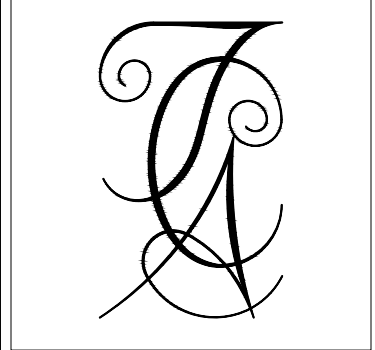
July 27, 2021



REFLECTED CEILING LEGEND	
	CEILING MOUNTED SUPPLY AIR LINEAR DIFFUSER
	CEILING MOUNTED RETURN AIR LINEAR DIFFUSER
	CEILING MOUNTED EXHAUST FAN
	CEILING MOUNTED HOOD EXHAUST
	CEILING MOUNTED SURFACE LIGHT
	CEILING MOUNTED JUNCTION BOX (J-BOX)
	CEILING MOUNTED RECESSED LIGHT
	CEILING MOUNTED SPEAKER
	CEILING MOUNTED AREA LIGHT
	WALL MOUNTED LIGHT

REVISIONS	
MARK	DATE

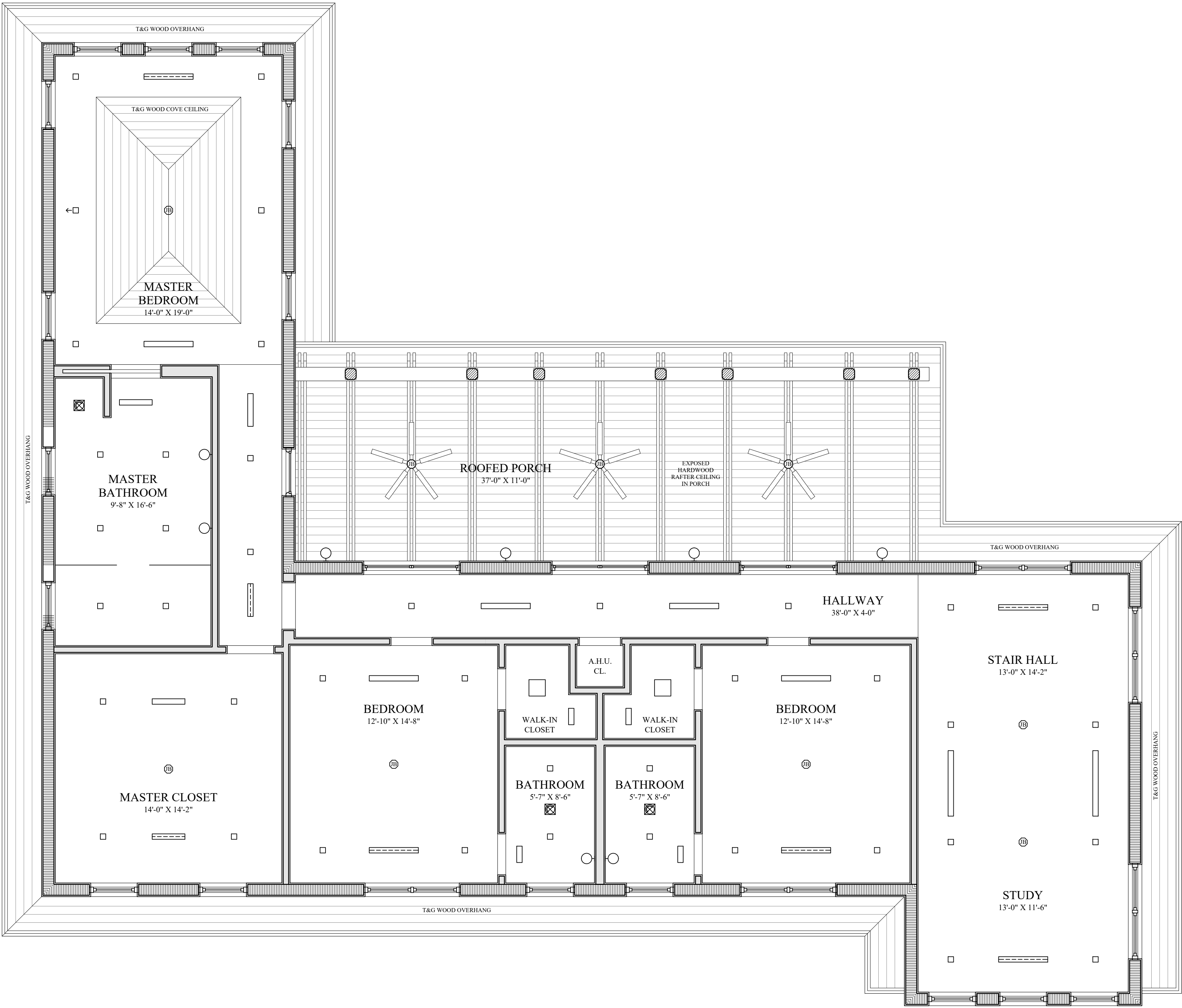
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A-103
CEILING
PLAN

July 27, 2021

FIRST FLOOR
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



REFLECTED CEILING LEGEND	
	CEILING MOUNTED SUPPLY AIR LINEAR DIFFUSER
	CEILING MOUNTED RETURN AIR LINEAR DIFFUSER
	CEILING MOUNTED EXHAUST FAN
	CEILING MOUNTED HOOD EXHAUST
	CEILING MOUNTED SURFACE LIGHT
	CEILING MOUNTED JUNCTION BOX (J-BOX)
	CEILING MOUNTED RECESSED LIGHT
	CEILING MOUNTED AREA LIGHT
	WALL MOUNTED LIGHT

REVISONS	
MARK	DATE

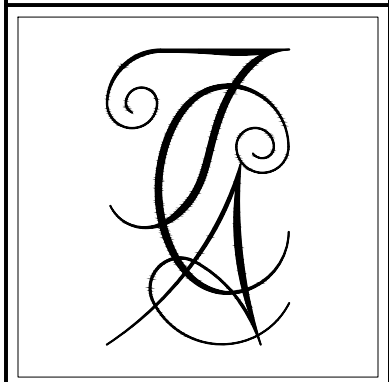
LUKACS RESIDENCE

New Construction

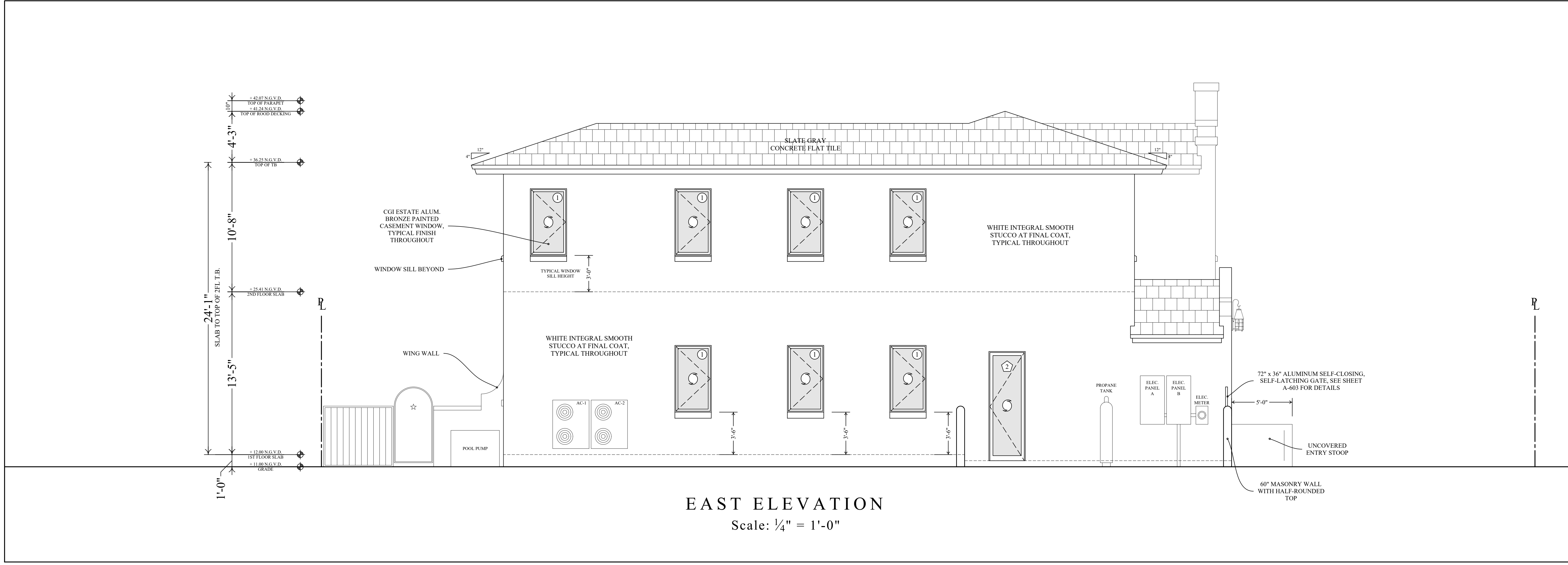
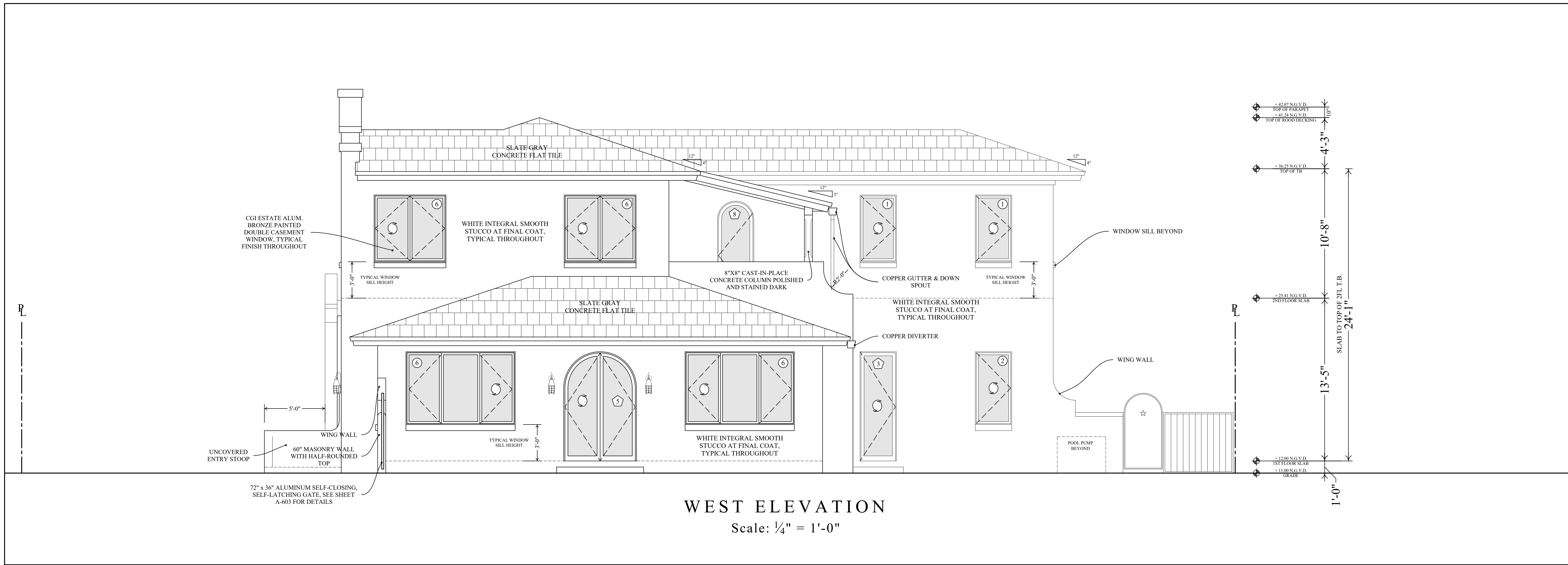
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SECOND FLOOR
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
MARK	DATE

LUKACS RESIDENCE

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530 ALMINAR AVENUE, CORAL GABLES, FLORIDA

TRELLES CABARROCAS ARCHITECTS

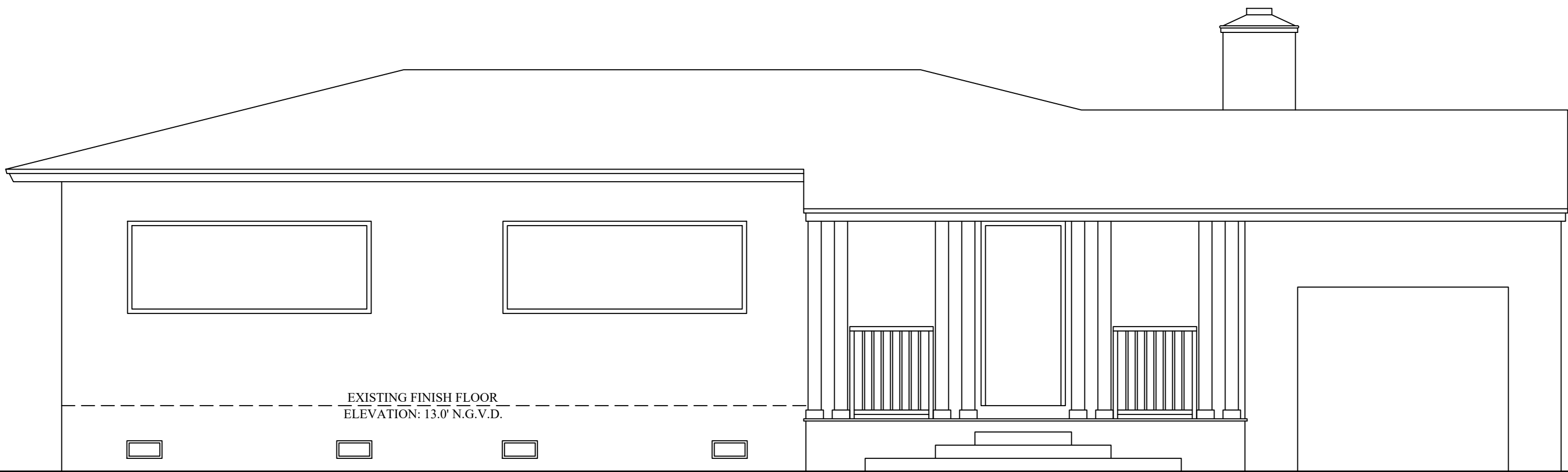
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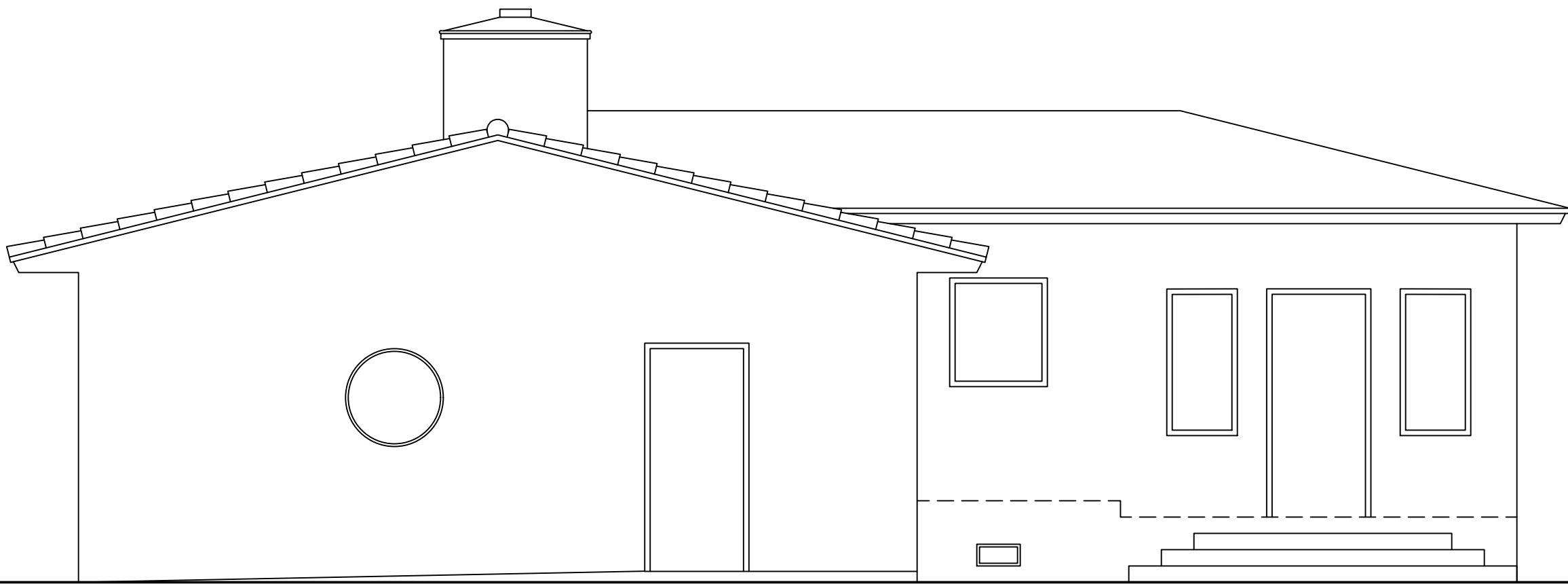
A-202

PROPOSED ELEVATIONS

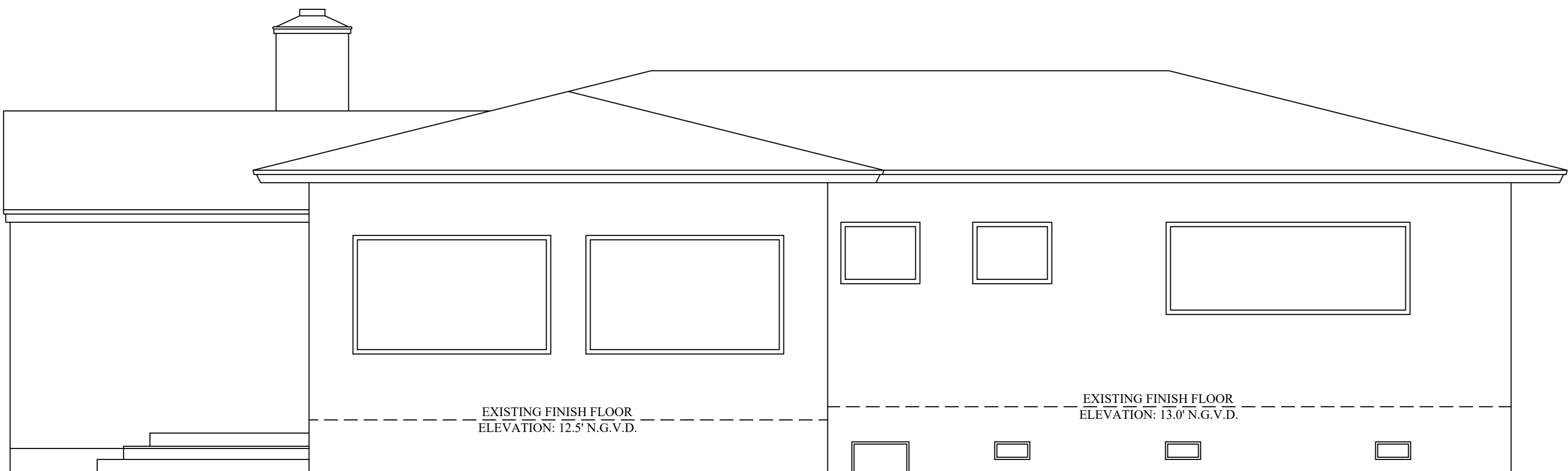
July 27, 2021



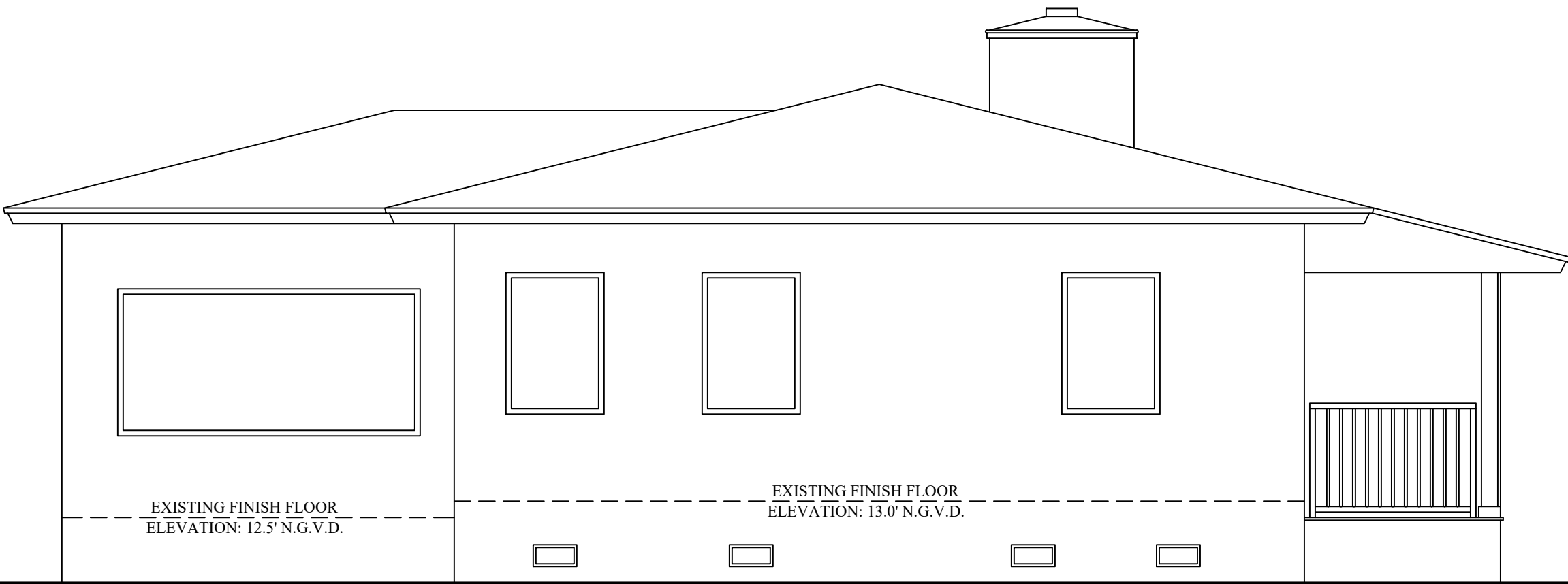
FRONT ELEVATION
Scale: 1/4" = 1'-0"



SIDE ELEVATION
Scale: 1/4" = 1'-0"



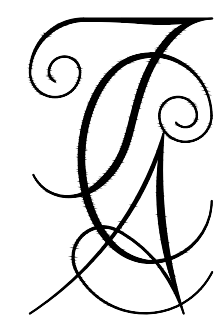
REAR ELEVATION
Scale: 1/4" = 1'-0"



SIDE ELEVATION
Scale: 1/4" = 1'-0"

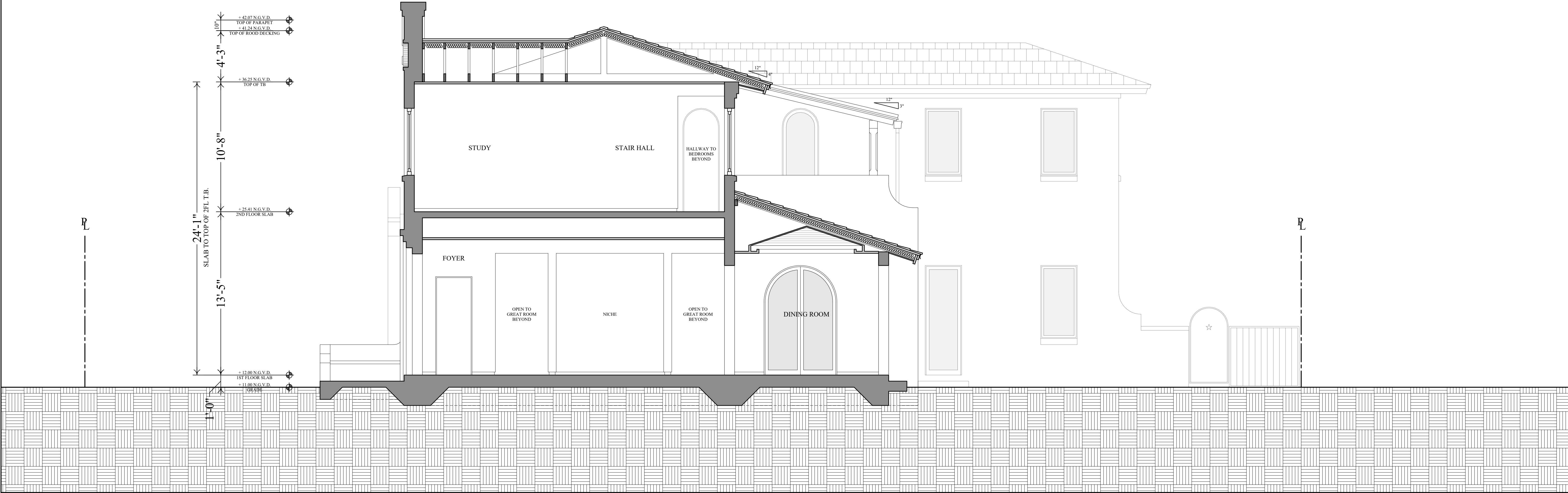
REVISIONS			
MARK	DATE	DESCRIPTION	

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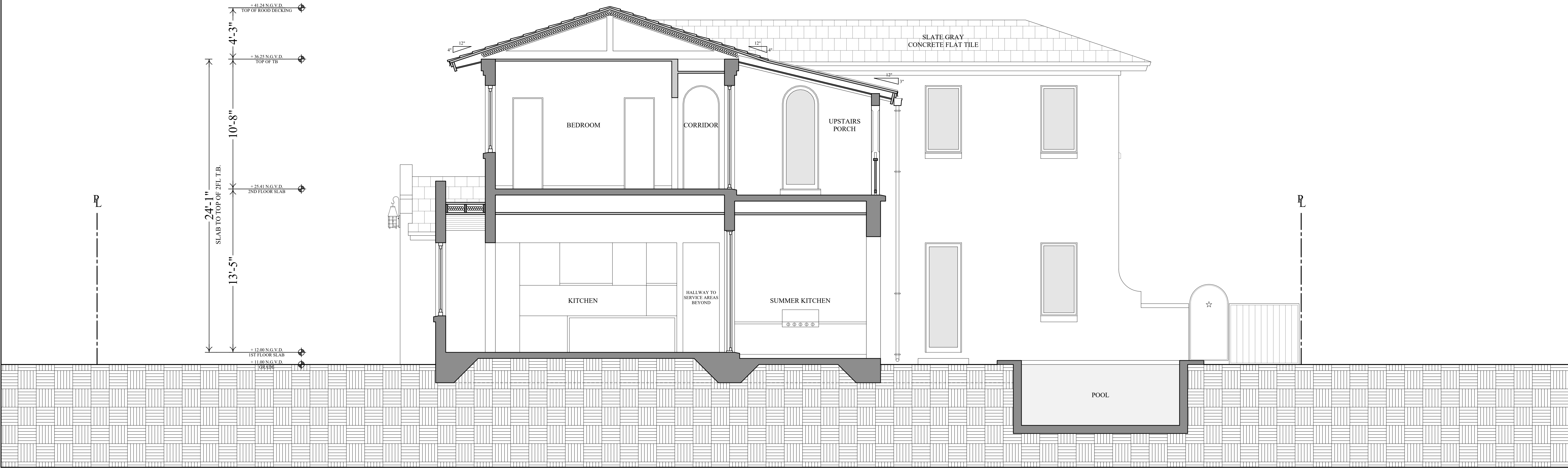


A-203
EXISTING
ELEVATIONS

SECTION A
Scale: 1/4" = 1'-0"

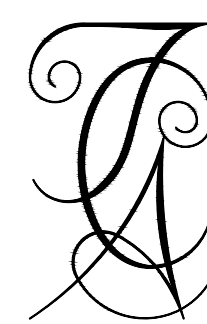


SECTION B
Scale: 1/4" = 1'-0"



REVISIONS	
MARK	DATE

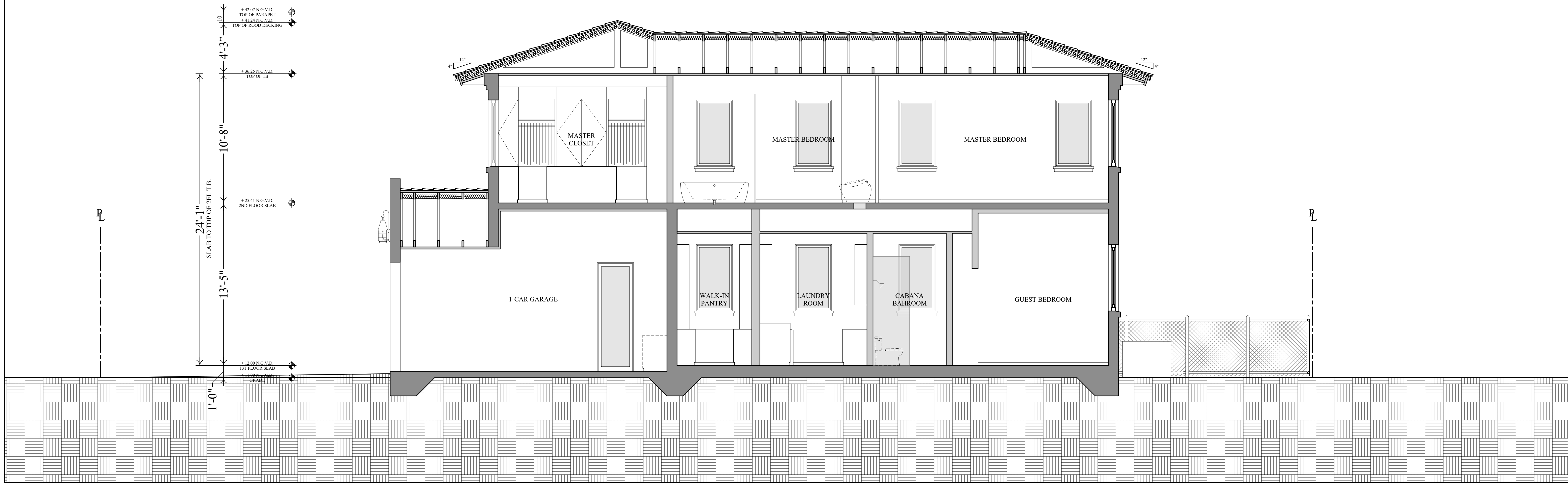
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A-301
SECTIONS

July 27, 2021

SECTION C
Scale: 1/4" = 1'-0"



LUKACS RESIDENCE

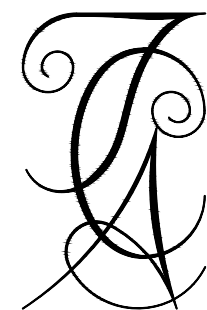
New Construction
530 ALMINAR AVENUE, CORAL GABLES, FLORIDA

TRELLES CABARROCAS ARCHITECTS

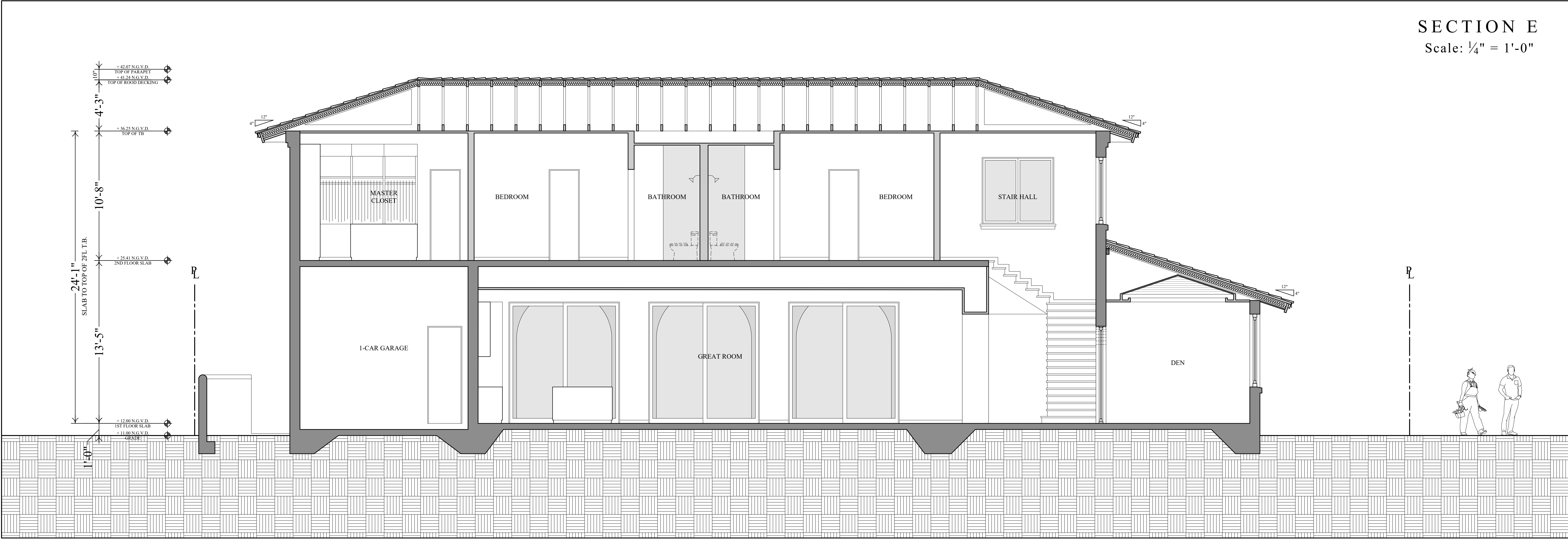
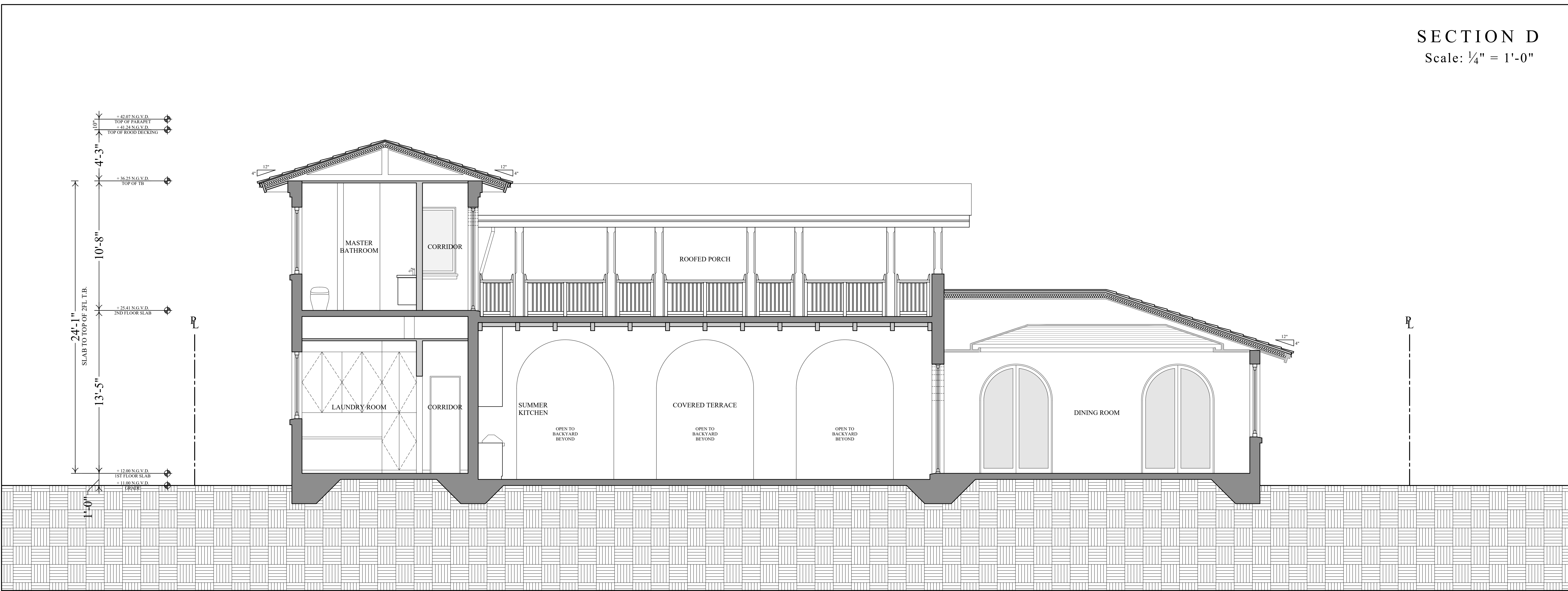
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REVISIONS

MARK	DATE	DESCRIPTION



A-302
SECTIONS



REVISIONS	
MARK	DATE

LUKACS RESIDENCE
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TRELLES CABARROCAS ARCHITECTS
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A-303
SECTIONS

July 27, 2021