

MIAMI-DADE COUNTY
HISTORIC PRESERVATION AD-VALOREM TAX EXEMPTION

PART 1 – PRECONSTRUCTION APPLICATION

INSTRUCTIONS:

Type or print clearly in black ink. You may attach additional sheets if more space is needed.

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CITY OF CORAL GABLES
HISTORICAL RESOURCES
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I. PROPERTY IDENTIFICATION AND LOCATION

Historic/Site Name: 414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

Property Address: 414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

Folio Number: 03-4108-001-0940

Legal Description: Lots 8 & 9, Block 6, Coral Gables, Section "B", according to the Plat thereof, as recorded in Plat Book 5, at Page 111 of the Public Records of Miami-Dade County, Florida

Please check all that apply:

- Designated as a local historic landmark or site
- Designated as a contributing structure within a local historic district
- Individually listed in the National Register of Historic Places
- Is a contributing structure in a National Register District

Name of District ALHAMBRA CIRCLE HISTORIC DISTRICT

Please attach the designation report and resolution as proof the property is designated.

II. OWNER INFORMATION:

Name(s) of Owner(s): KATHERINE GILHULY

Mailing Address: 414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

Phone: 305-439-8100 2nd Phone: _____

Email: KateGilhuly@gmail.com

If the property has multiple owners, please attach a list of all owners and their mailing addresses.

III. CURRENT PHYSICAL DESCRIPTION OF PROPERTY:

A. General Information

Date of Construction: 1924-25 Architect (if known): Team of Frank Wyatt Woods and John Tracey – good example of Mediterranean Revival style architecture

Alterations: Please provide the date and description of any physical alterations to the property. [Example: *Original casement windows were replaced with jalousie windows around 1974.*]

All the original casement windows of the residence were replaced with jalousie windows and an “utility” structure (with an undetermined use) was added to the East elevation of the residence in the 1950’s or 1960’s.

Additions: Please provide date and description of any additions which may have been made. [Example: *A rear bedroom and bath were added to the house in 1981.*]

Two small additions/protrusions to the rear (South Elevation) of the residence were constructed in 1951 consisting of an orange tile bathroom and a bedroom extension with a jalousie window/wall.

An auxiliary garage structure was substantially altered in 1953. Another garage space was added to the existing auxiliary structure.

B. Exterior Description

Roof Type: GABLE-END & FLAT Roof Material: BARREL TILE & ASPHALT SHINGLE
Example: *hip, gable, flat, etc* Example: *barrel tile, asphalt shingle, etc*

Number of Stories: 1 Detached Garage? (Y/N) Y

Basic Floor Plan: SQUARE
Example: *square, “L” shaped, “U” shaped, rectangular, irregular, etc*

Main Window Type(s): JALOUSIE
Example: *casement, fixed, single hung sash, jalousie, awning, etc*

Siding Material(s): STUCCO
Example: *stucco, wood frame, brick*

Briefly describe any distinguishing **Exterior Architectural Features:**
[Example: *the placement of the windows, chimneys, porches, columns, etc*]

- TALL ARCHED WINDOW HIGHLIGHTS LIVING ROOM WITH VAULTED PECKY CEILING,
- A DECORATIVE WING WALL CASCADES DOWN TO A BUILT-IN PLANTER BOX,
- LINTEL DETAILING AT THE FRONT DOOR ENTRY AND
- PREDOMINATE CHIMNEY
- ACCENT WINDOW SILLS

C. Interior

Please list any distinguishing **Interior Architectural Features** found in the home that are original to the house, by room: *[Example: The dining room retains the original decorative crown molding and tile floor. The living room retains the original limestone fireplace.]*

- FRONT ENTRY OPENS TO VAULTED PECKY CYPRESS CEILING,
- LIVING ROOM FEATURES VAULTED PECKY CYPRESS CEILING AND CURVED BUILT-IN FIREPLACE MANTEL,
- ROOMS ARE JOINED BY ARCHED OPENINGS AND
- ORIGINAL OAK WOOD FLOORING THROUGH OUT RESIDENCE WITH EXCEPTION OF PLAIN AND PRETTY CUBAN TILE AT THE FRONT ENTRANCE AND FIREPLACE HEARTH.

D. Auxiliary Structures

Please describe the present appearance of any auxiliary structures on the property, such as garages, cabanas, outbuildings, perimeter walls, etc.

ANOTHER CBS CONSTRUCTED GARAGE WAS ADDED TO THE EXISTING STRUCTURE WHICH MAKES IT DIFFICULT TO DISTINGUISH BETWEEN THE TWO. THE GARAGE STRUCTURE IS IN DISREPAIR. 1950-60'S JALOUSIE WINDOWS AND WINDOWS REPLACED IN THE 1990'S CRUMBLING.

IV. DESCRIPTION OF PROPOSED IMPROVEMENTS

All improvements to historic properties will be evaluated for their consistency with the Secretary of Interior Standards for Rehabilitation. The application must include labeled photographs of both the interior and exterior of the property which clearly show the property and its characteristics.

What was the original use of the building? SINGLE FAMILY RESIDENCE

What will the building be used for after improvements? SAME

What is the estimated start date of construction? AUGUST 2016

What is the estimated completion date? MAY 2017

What is the estimated cost of restoration/rehabilitation? \$800,000

Briefly describe your project, including any proposed additions, upgrades and restorations.

RESTORING THE EXISTING DILAPIDATED HISTORIC RESIDENCE AND CORRECTING ALTERATIONS MADE IN THE 1950-60'S. THE PROPOSED WORK WITHIN THE HISTORIC PORTION CONSISTS PRIMARILY OF INTERIOR RECONFIGURATION AND THE INSTALLATION OF IMPACT-RESISTANT WINDOWS AND DOORS. THE ADDITIONS WILL RETAIN THE EXISTING HISTORIC RESIDENCE. CONSTRUCTION WILL INCLUDE ONE AND TWO-STORY ADDITIONS, COVERED TERRACES, AND BOTH INTERIOR AND EXTERIOR ALTERATIONS. SITE WORK AND IMPROVEMENTS TO THE PROPERTY CONSIST OF A POOL AND POOL DECK, BRICK PAVER CIRCULAR DRIVEWAY.

A. EXTERIOR ARCHITECTURAL FEATURES

The following represents an itemization of work to be accomplished. List each principal architectural feature affected and describe the impact that restoration/rehabilitation will have on it. Label which elevation(s) contains that feature, and include a corresponding photograph for each. Please attach additional sheets if necessary.

FEATURE 1: OVERVIEW OF FRONT

Elevation: NORTH - FRONT

Photo Number: 1

Plan Number:

Describe Work and Impact on Existing Feature:

Remove "popcorn" paint application, repair structure, restore stucco.

FEATURE 2: FRONT DOOR AND LINTEL

Elevation: NORTH - FRONT

Photo Number: 2

Plan Number:

Describe Work and Impact on Existing Feature:

Lintel detailing will be restored and similar detail repeated in the addition. Impact-resistant door with lites will be installed in keeping with historic architecture.

FEATURE 3: ARCH WINDOW

Elevation: NORTH - FRONT

Photo Number: 3

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore accent window sills. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 4: DECORATIVE "WING WALL" CASCADING DOWN TO BUILT-IN PLANTER BOX

Elevation: NORTH - FRONT

Photo Number: 4

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Planter will be planted to draw focus to architecture feature.

FEATURE 5: SIDE WINDOW INTO LIVING ROOM

Elevation: EAST - SIDE

Photo Number: 5

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 6: BEDROOM WINDOW – OVERVIEW

Elevation: EAST - SIDE

Photo Number: 6

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture. This series of photos is representative of all the windows in this residence.

FEATURE 6: BEDROOM WINDOW – DETAIL

Elevation: EAST - SIDE

Photo Number: 7

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture. This photo illustrates condition of accent window sills.

FEATURE 6: BEDROOM WINDOW – DETAIL

Elevation: EAST - SIDE

Photo Number: 8

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 7: BATHROOM WINDOW

Elevation: EAST - SIDE

Photo Number: 9

Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 8: "UTILITY" STRUCTURE – FOR AN UNIDENTIFIED USE

Elevation: EAST - SIDE

Photo Number: 10

Plan Number:

Describe Work and Impact on Existing Feature:

Remove structure added to original residence. Repair and restore stucco.

FEATURE 9: OVERVIEW

Elevation: WEST – SIDE FACING ASPHALT DRIVEWAY

Photo Number: 11

Plan Number:

Describe Work and Impact on Existing Feature:

All jalousie windows and asphalt driveway will be replaced with the addition.

FEATURE 10: GARAGE

Elevation: SOUTH

Photo Number: 12

Plan Number:

Describe Work and Impact on Existing Feature:

Existing garage will be demolished and replaced with pool and landscaping

FEATURE 10: GARAGE - WINDOW

Elevation: SOUTH

Photo Number: 13

Plan Number:

Describe Work and Impact on Existing Feature:

Existing garage will be demolished and replaced with pool and landscaping

FEATURE 11: OVERVIEW WITH TWO ADDITIONS

Elevation: SOUTH - REAR

Photo Number: 14

Plan Number:

Describe Work and Impact on Existing Feature:

The two small additions/protrusions added in the 1951 will be removed.

FEATURE 11: SOUTH - BATHROOM

Elevation: SOUTH - REAR

Photo Number: 15 & 16

Plan Number:

Describe Work and Impact on Existing Feature:

Inside this addition/protrusion is an orange bathroom. This will be removed.

FEATURE 11: SOUTH – JALOUISE BEDROOM EXTENSION

Elevation: SOUTH - REAR

Photo Number: 17 & 18

Plan Number:

Describe Work and Impact on Existing Feature:

Inside this addition/protrusion is a jalousie bedroom extension. This will be removed and a Master Bedroom suite will be added.

B. INTERIOR ARCHITECTURAL FEATURES

FEATURE 1: ORIGINAL PECKY CYPRESS CEILING

Room: FRONT ENTRY

Photo Number: 19

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original.

FEATURE 1: ORIGINAL PECKY CYPRESS CEILING

Room: LIVING ROOM

Photo Number: 20

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original – new additions will feature same ceilings.

FEATURE 2: OAK HARDWOOD FLOORS

Room: ALL ROOMS OF RESIDENCE WITH EXCEPTION OF FOYER AND BATHS.

Photo Number: 21

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original – new additions will feature same flooring.

FEATURE 3: BUILT-IN FIREPLACE MANTEL & STUCCO WALLS

Room: LIVING ROOM

Photo Number: 22

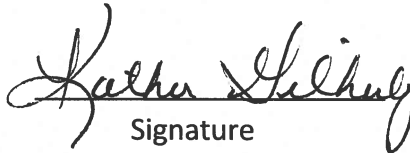
Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair stucco and paint.

OWNER ATTESTATION: I hereby attest that the information provided in this application is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the appropriate official in which the property is located, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the municipality and Miami-Dade County in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Katherine Gilhuly
Print Name


Signature

7-20-16
Date

**[Please attach the photographic documentation on subsequent pages.
Submit a copy of all photographs on a CD as well, if possible.]**



Feature: 1
Elevation: North Front
Photo: 1



Feature: 2
Elevation:
North Front
Photo: 2

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Feature 3 Arch Window
Elevation: North-Front
Photo: 3

Feature 4: "Wing" Wall
Elevation: North-Front
Photo: 4

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Feature 5: Side Window
Elevation: East - Side
Photo: 5

Feature 6: Window Overview
Elevation: East - Side
Photo: 6

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Feature 5. Bedroom Window Detail
Elevation: East-Side
Photo: 7

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Feature 6: Bedroom Window
Elevation: East-Side
Photo: 8

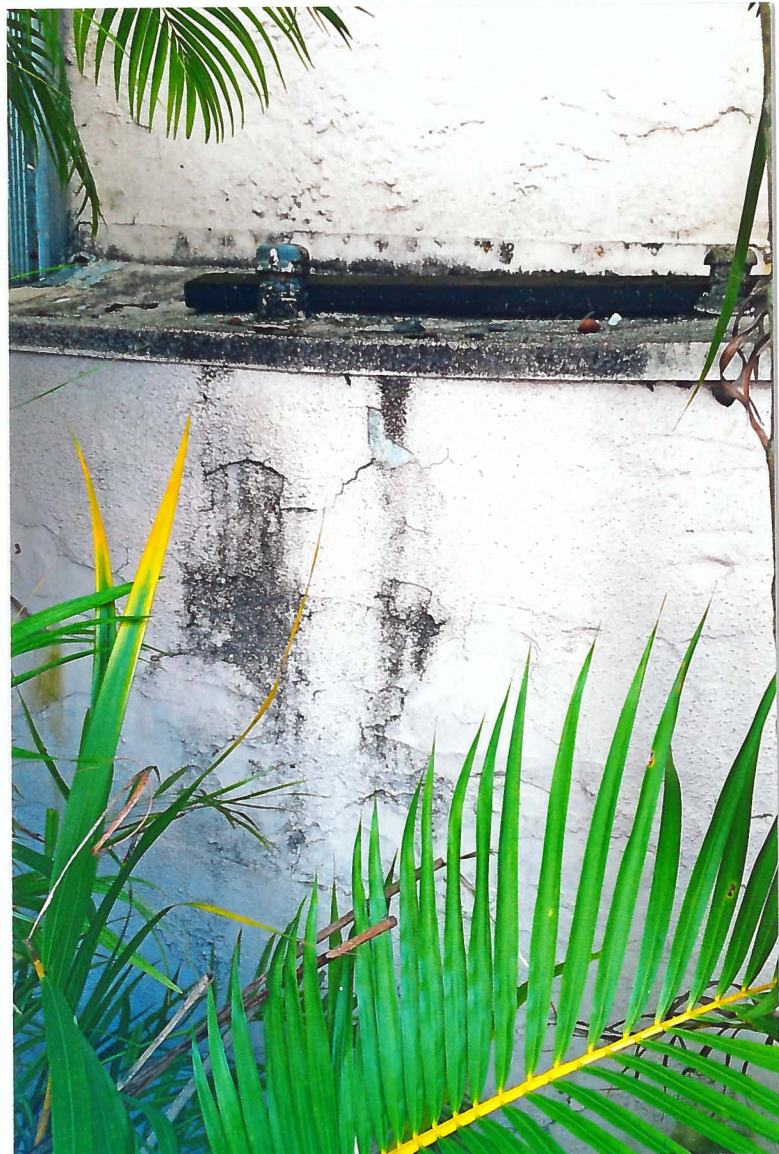




Feature 1: Bathroom Window
Elevation: East - Side
Photo: 9

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Feature 8: Utility Structure
Elevation: East - Side
Photo: 10





Feature 9: Overview
Elevation: West - Side
Photo: 11

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Feature 10: Garage
Elevation: South
Photo: 12

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Feature 10: Garage Window
Elevation: South
Photo: 13





Feature 11: Overview
Two Additions

Elevation: South

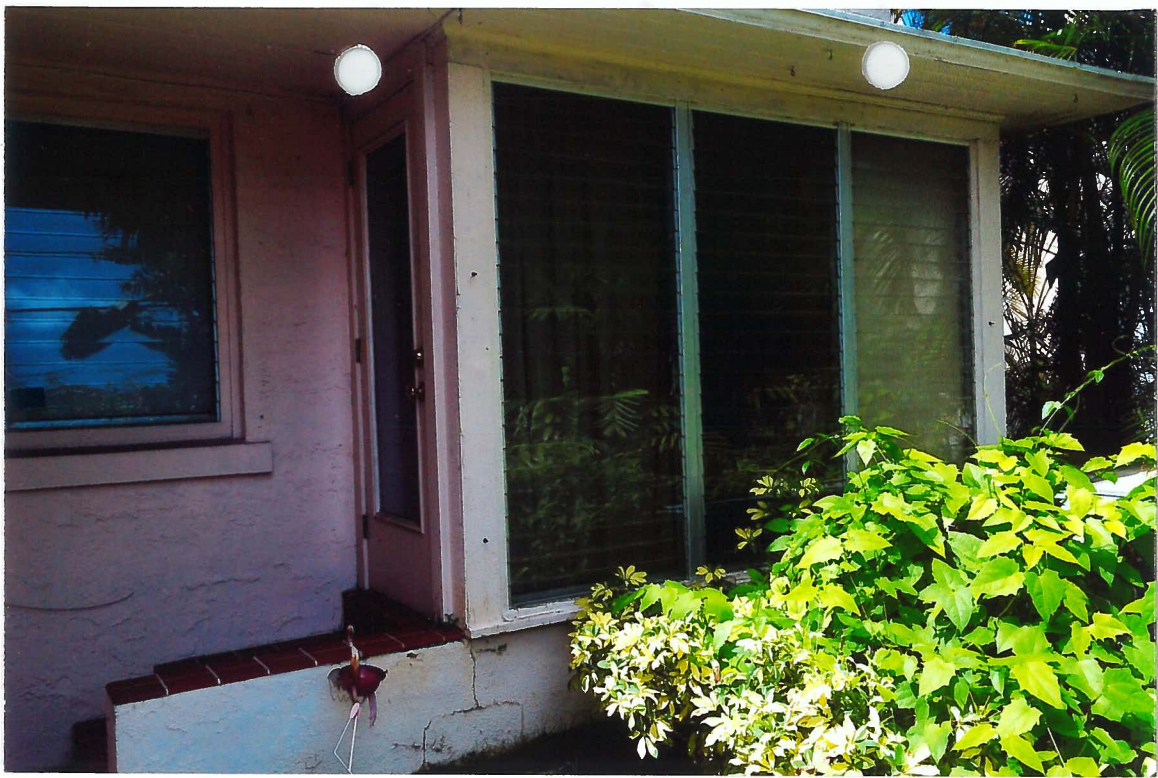
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Feature 11: South - Bathroom
Elevation: South - Rear
Photo 15 & 16





Feature 11: South - Salouise Bedroom Extension
Elevation: South - Rear
Photo: 17 & 18

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Feature 2: Oak Hardwood Floors

Room: All

Photo: 21

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Feature 3: Fireplace / Mantel

Room: Living Room

Photo: 22





Feature 1: Pecky Cypress
Room: Front Entry
Photo: 19

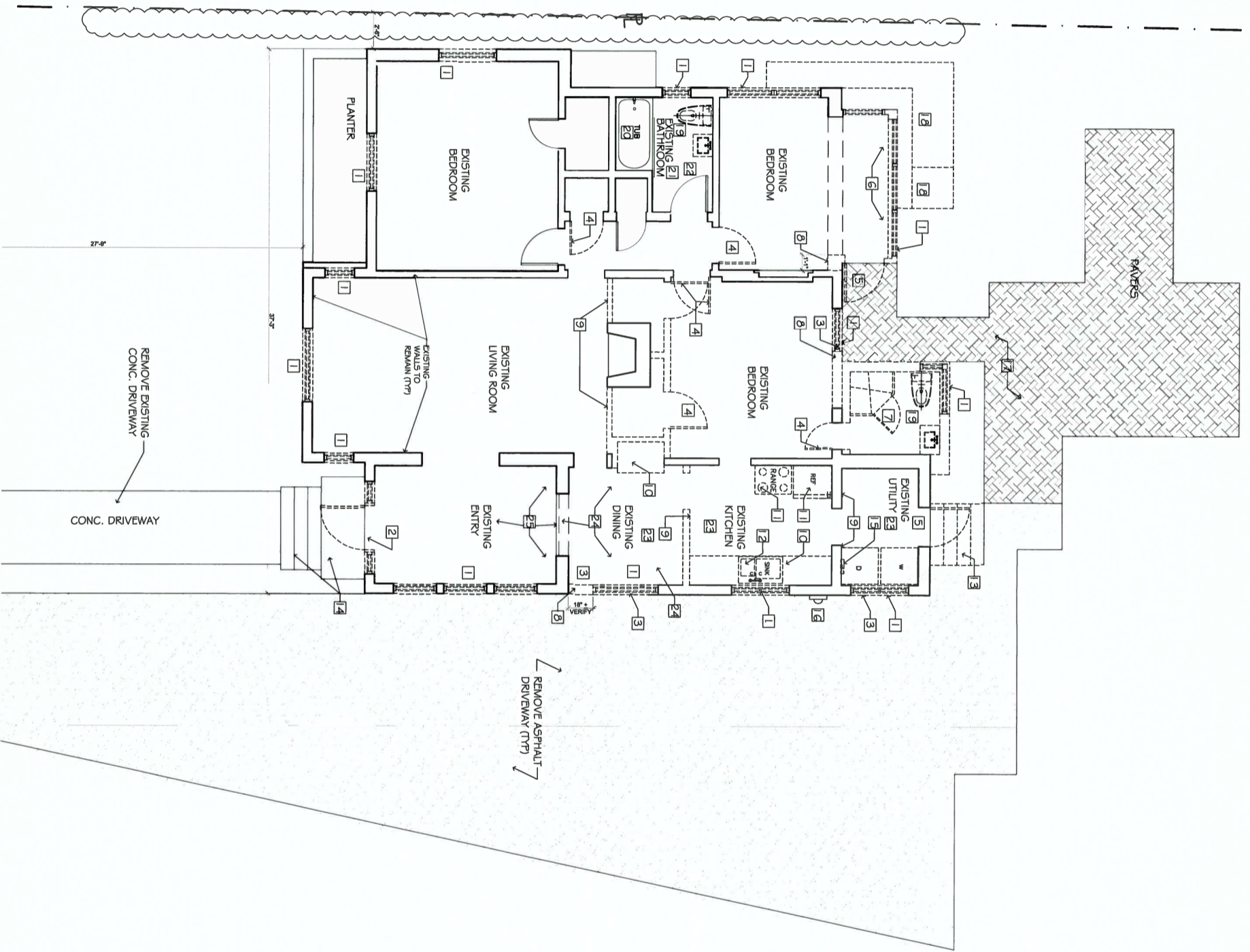
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Feature 1: Pecky Cypress
Ceilings

Room: Living Room

Photo: 20



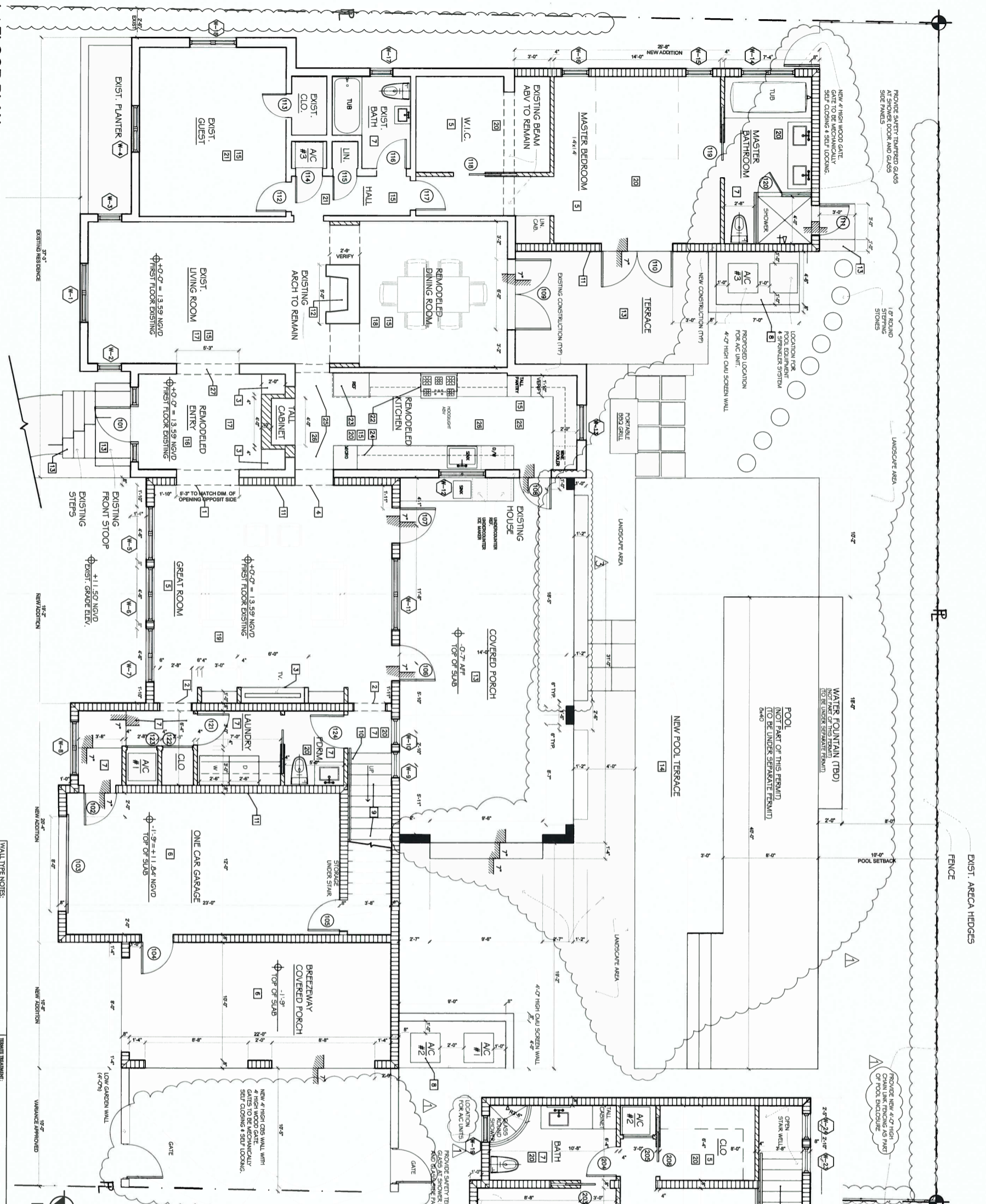


DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES:**
- 1 REMOVE EXISTING WINDOWS
 - 2 REMOVE EXISTING ENTRY DOOR & SIDELITS
 - 3 REMOVE EXISTING BLOCK UNDER EXIST WINDOW AS REQUIRED (NON STRUCTURAL)
 - 4 REMOVE EXISTING INTERIOR DOOR, FRAME, & CASINGS
 - 5 REMOVE EXISTING EXTERIOR DOOR, FRAME, & CASINGS
 - 6 REMOVE EXISTING ALCOVE STRUCTURE THIS AREA (ROOF, WALLS, FLOOR, FOOTER) THIS ALCOVE WAS NOT PART OF THE EXISTING STRUCTURE & IS INDEPENDANT OF THE EXISTING STRUCTURE
 - 7 REMOVE EXISTING BATHROOM, STRUCTURE THIS AREA (ROOF, WALLS, FLOOR, FOOTER) THIS BATHROOM WAS NOT PART OF THE EXISTING STRUCTURE & IS INDEPENDANT OF THE EXISTING STRUCTURE
 - 8 REMOVE EXISTING EXTERIOR WALL STRUCTURE (SEE STRUCTURAL DRAWINGS)
 - 9 REMOVE EXISTING NON BEARING INTERIOR PARTITION
 - 10 REMOVE EXISTING CABINERY
 - 11 REMOVE ALL EXISTING APPLIANCES
 - 12 REMOVE EXISTING KITCHEN SINK/FALUCET & CAP PLUMBING
 - 13 REMOVE EXISTING CONCRETE STEPS
 - 14 EXISTING LANDING AND STEPS TO REMAIN
 - 15 REMOVE EXISTING ELECTRICAL PANEL/ JI BOX. (SEE ELECTRICAL DWGS)
 - 16 REMOVE EXISTING ELECTRICAL SERVICE (SEE ELEC PLAN FOR NEW LOCATION)
 - 17 REMOVE EXISTING BRICK PAVERS THIS AREA
 - 18 REMOVE EXISTING A/C PACKAGE UNIT & ASSOCIATED DUCTWORK
 - 19 REMOVE EXISTING TOILET & SINK/FALUCET
 - 20 EXISTING TUB TO REMAIN
 - 21 EXISTING WALL TILE TO REMAIN
 - 22 REMOVE EXISTING FLOOR TILE ONLY @ BATHROOM
 - 23 REMOVE EXISTING WOOD LATH & PLASTER CEILING THIS AREA
 - 24 REMOVE EXISTING FLOOR TILE @ DIST. DINING
 - 25 EXISTING FLOOR TILE TO REMAIN

CONSULTANT	
CONSULTANT	
<p>RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com</p>	
<p>GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA</p>	
<p>PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE</p>	
DATE	DESCRIPTION
01.13.2015	DESIGN DEVELOPMENT
07.20.2015	DESIGN DEVELOPMENT
07.31.2015	DESIGN DEV (B.O.A.)
03-01-16	PERMIT
SHEET TITLE	
DEMOLITION PLAN	
A-2	



1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEVEL TWO COMPLIANCE
Note: All work being performed will be completed according to the requirements of the 2014 Florida Building Code Alteration Level 2 Compliance. Attention work area is less than 50% of the floor area of the existing structure.

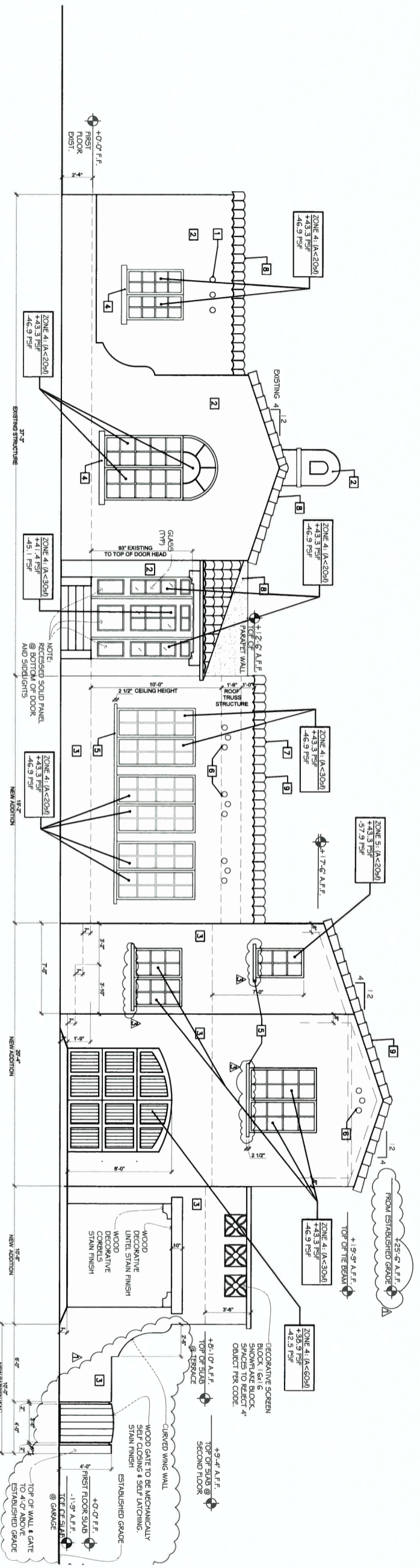
WALL TYPE NOTES:
1. 1/2" GYPSUM BOARD ON 2x4 HORIZONTAL WOODEN STUDS WITH 5/8" FIBERGLASS INSULATION.
2. 5/8" GYPSUM BOARD ON 2x4 HORIZONTAL WOODEN STUDS WITH 5/8" FIBERGLASS INSULATION.
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27. 5/8" GYPSUM BOARD ON 2x4 HORIZONTAL WOODEN STUDS WITH 5/8" FIBERGLASS INSULATION.

GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE.
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27. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE.

A-3 CONSTRUCTION NOTES:
1. MATCH EXISTING HEADERS HEIGHT, NO CHANGING THE OPENING HEADERS AT 7'-2" A.F.F. (NO CHANGING).
2. BUILT IN CABINETS (TBD).
3. MATCH EXISTING ARCH OPENING OPPOSITE (NO CHANGING).
4. NEW HARDWOOD FLOORING, MATCH EXISTING RESIDENCE.
5. CONCRETE SLAB.
6. STONE TILE FLOORING.
7. A/C CONDENSER LINE MOUNTED TO SLAB, TOP BEYOND SLAB TO BE 13.97' NGVD.
8. PROVIDE ALUMINUM GUARD RAIL SYSTEM, NON-CIRCULAR HANDRAIL TO BE MAX OF 2 1/4" IN CROSS SECTION AREA, GRASPABLE ALUMINUM GUARD RAIL HEIGHT TO BE 42" TO FACE. GUARD RAIL SHOULD BE SECURED IN STRENGTH & ATTACHMENT FOR APPROVAL FOR ALL GUARD RAIL SYSTEMS.
9. F-CMUI CONSTRUCTION, SEE STRUCTURAL DRAWINGS.
10. EXISTING REFERENCE TO REMAIN, CLEAN AND PROVIDE NEW GAS CONNECTION & GAS LINES (SEE MEP DRAWINGS).
11. TELEPHONE FLOORING @ PORCH/TERRACE/STEPS (REPLACE EXIST. W/ NEW).
12. STONE FLOORING @ POOL TERRACE.
13. EXISTING HARDWOOD FLOORING, PATCH/REPAIR AS REQUIRED.
14. EXISTING STONE FLOORING - RESTORE/REPAIR AS REQUIRED.
15. REPAIR EXISTING PLASTER WALLS AS REQUIRED, MATCH EXISTING HEAVY TEXTURE.
16. REPAIR EXISTING PLASTER WALLS AS REQUIRED, PROVIDE HEAVY TEXTURE FINISH TO MATCH EXISTING ROOM.
17. PROVIDE HEAVY TEXTURE FINISH TO MATCH EXISTING ROOM.
18. PROVIDE LIGHT TEXTURE PLASTER FINISH TO WALLS.
19. PROVIDE PATCHES FOR OPENINGS/CHANGES AS REQUIRED.
20. PATCH AND REPAIR EXISTING WALLS/CEILING AS REQUIRED.
21. 3/4" ELEC. CONDUIT W/ 3/4" OVER BELLOW, SPEC BY OWNER.
22. 3/4" WIDE COUNTERSINK PER SPEC BY OWNER.
23. UPPER CABINETS TO CEILING.
24. RUN DOWN EXIST. CEILING, 2" VENT DUCT DIA W/ ARCHITECT.
25. PROVIDE NEW GYM BOARD CLO @ REPAIR AREA, W/ LIGHT TEXTURE FINISH TO MATCH EXISTING ROOM.
26. REMOVE EXIST. CEMENT & PATCH & REPAIR WALLS & PROVIDE HEAVY TEXTURE FINISH TO MATCH EXISTING.
27. REMOVE EXIST. CEMENT & PATCH & REPAIR WALLS & PROVIDE HEAVY TEXTURE FINISH TO MATCH EXISTING.

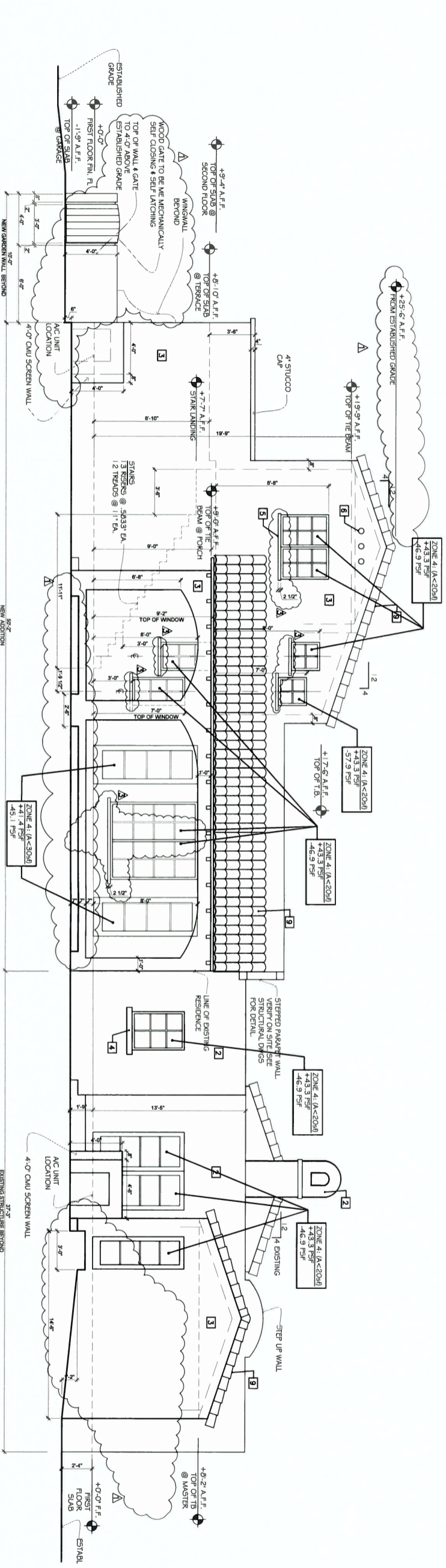
<p>PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE</p>		<p>CONSULTANT</p>	
<p>DATE DESCRIPTION</p>		<p>CONSULTANT</p>	
01.13.2015	DESIGN DEVELOPMENT	<p>RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #A0003099, AR11077 r.fowler@gmail.com</p>	
04.23.2015	DESIGN DEVELOPMENT	<p>CONSULTANT</p>	
07.17.2015	DESIGN DEVELOPMENT	<p>CONSULTANT</p>	
07.19.2015	DESIGN DEVELOPMENT	<p>CONSULTANT</p>	
07.20.2015	DESIGN DEVELOPMENT	<p>CONSULTANT</p>	
07.31.2015	DESIGN (B.O.A.)	<p>CONSULTANT</p>	
09.20.2015	DESIGN DEV (B.O.A.)	<p>CONSULTANT</p>	
12.07.2015	ZONING COMMENTS	<p>CONSULTANT</p>	
01.07.2016	PERMITTING	<p>CONSULTANT</p>	
03.01.2016	PERMIT	<p>CONSULTANT</p>	

SHEET TITLE
PROPOSED FLOOR PLAN
A-3



FRONT ELEVATION
NORTH

SCALE: 1/4" = 1'-0"



REAR ELEVATION
NORTH

SCALE: 1/4" = 1'-0"

CONSULTANT

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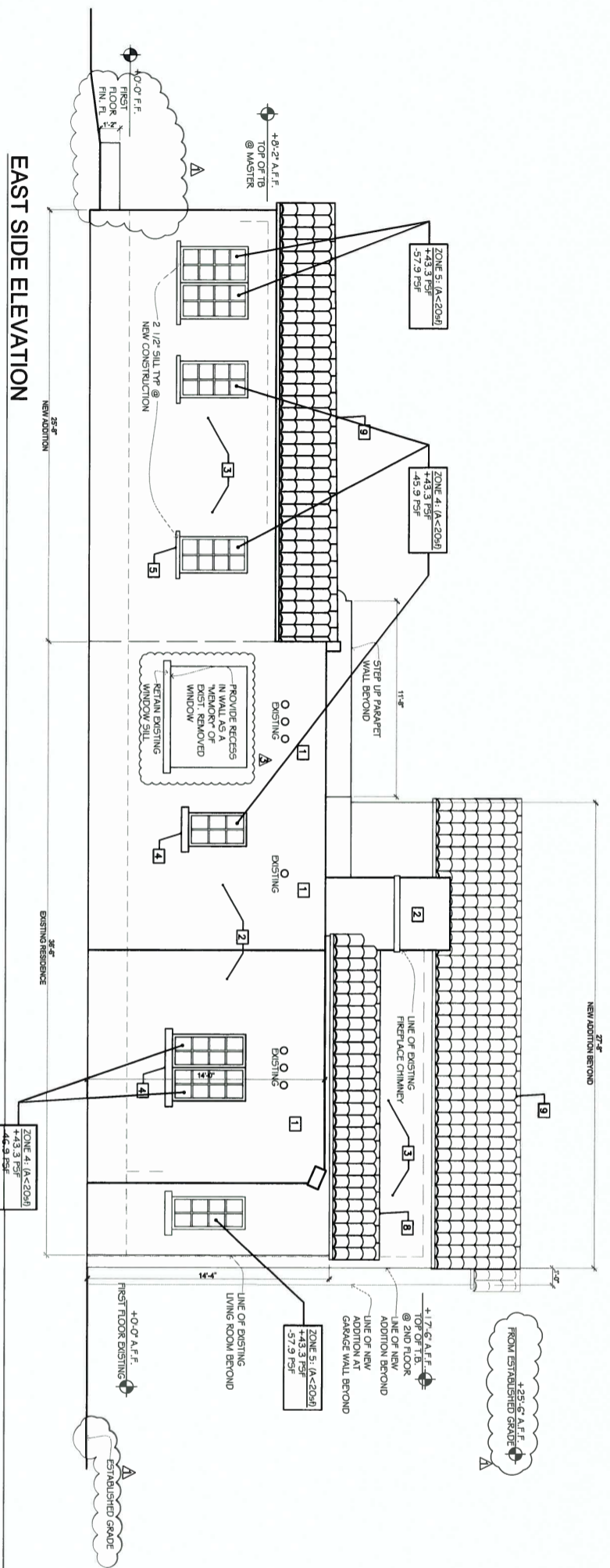
GILHULY RESIDENCE
414 ALHAMBRA CIRCLE
MIAMI, FLORIDA

PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE

DATE	DESCRIPTION
01.13.2015	DESIGN DEVELOPMENT
04.12.2015	DESIGN DEVELOPMENT
07.18.2015	DESIGN DEVELOPMENT
07.18.2015	DESIGN DEVELOPMENT
07.20.2015	DESIGN DEVELOPMENT
07.31.2015	DESIGN DEV. (B.O.A)
08.20.2015	DESIGN DEV. (B.O.A)
12.07.2015	ZONING COMMENTS
01.07.2016	APPLICANT'S DESIGN CONDITION
02.04.2016	PERMIT

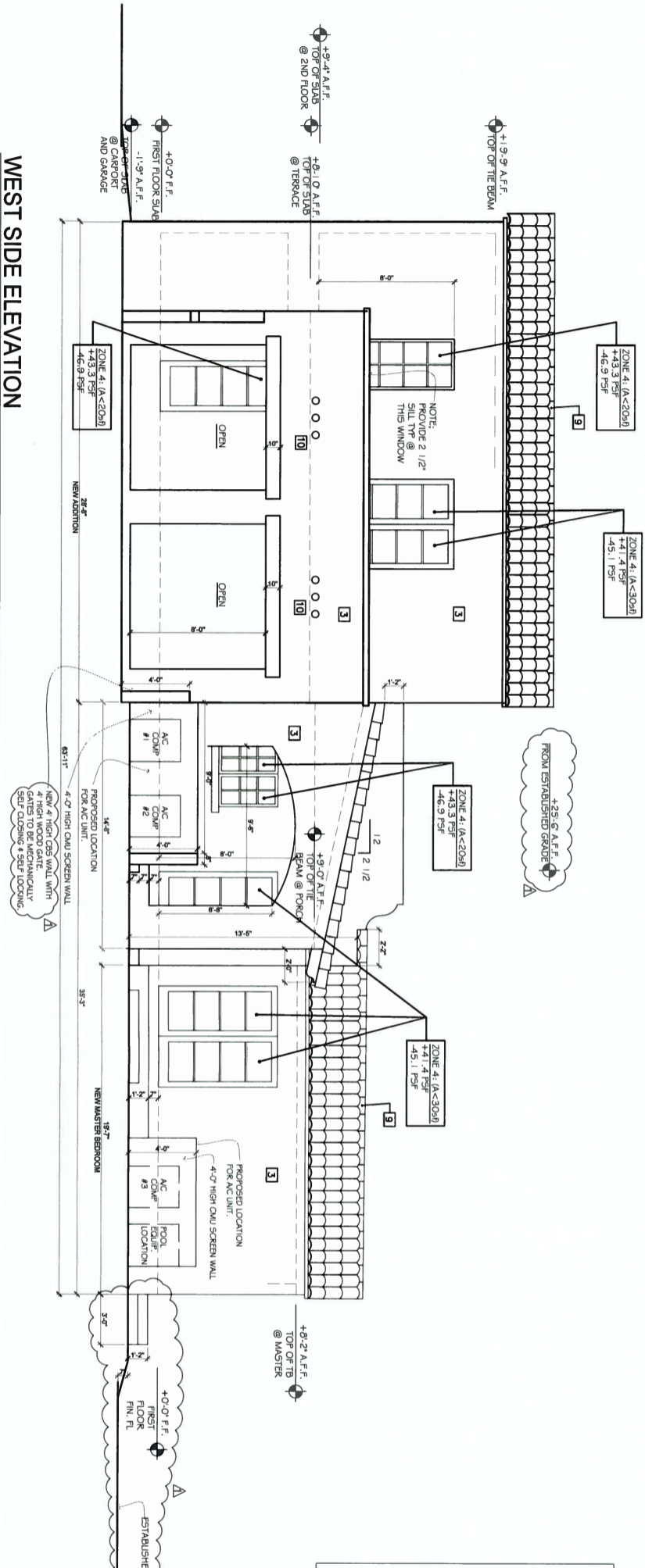
SHEET TITLE
PROPOSED
ELEVATION

A-4



EAST SIDE ELEVATION


SCALE: 1/4" = 1'-0"

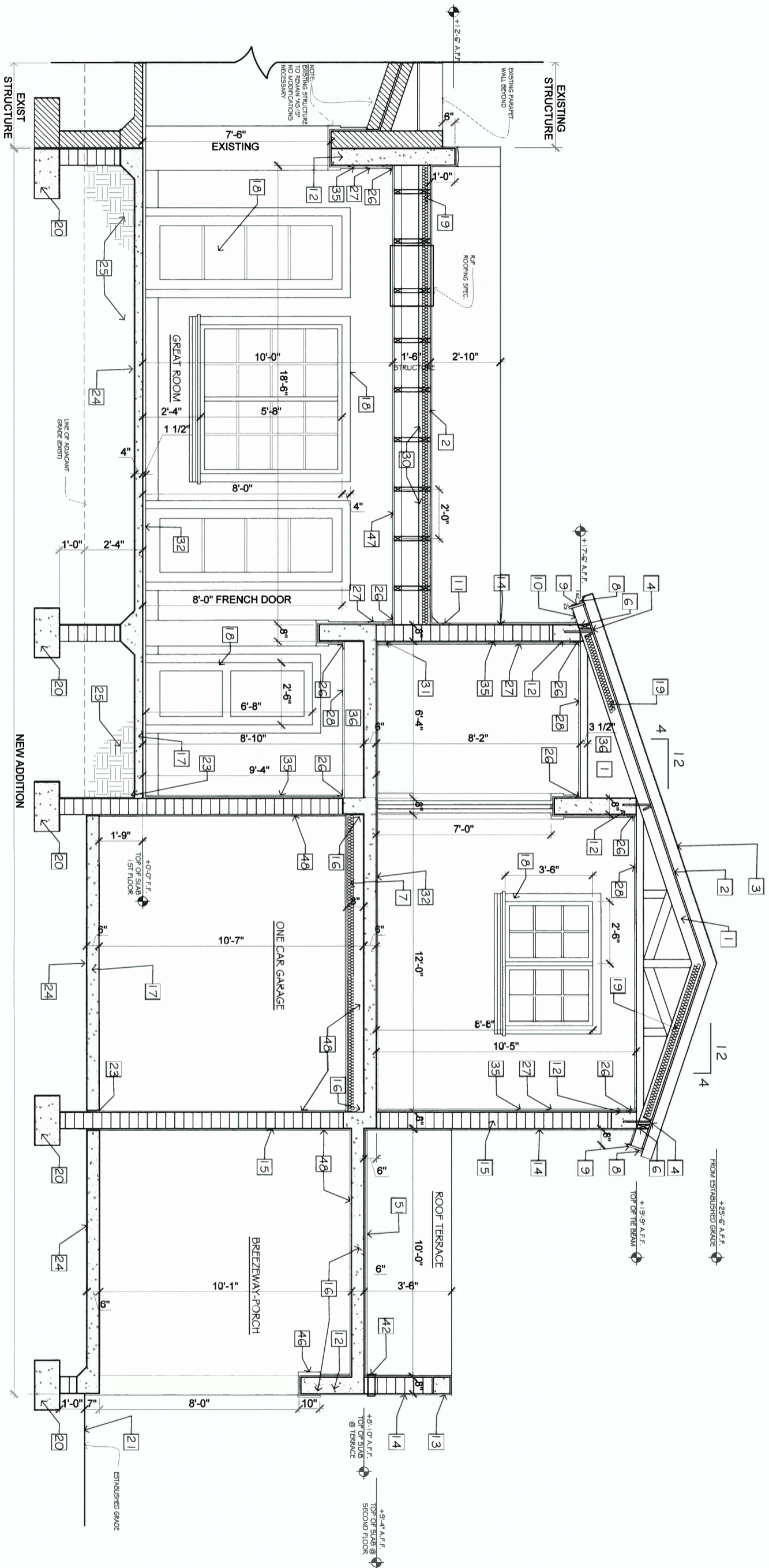


WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- 1 EXISTING ROUND VENT TO REMAIN
 - 2 RESTORE EXISTING STUCCO @ EXISTING RESIDENCE TYPICAL ALL WALLS
 - 3 PROVIDE NEW STUCCO W/LIGHT TEXTURED FINISH @ NEW ADDITION AREAS. "TEXTURE TO BE DIFFERENT FROM EXISTING HISTORIC STRUCTURE."
 - 4 EXISTING S' STUCCO SILLS TO REMAIN AS IS. PATCH/REPAIR AS NEEDED
 - 5 NEW 2 1/2" STUCCO SILLS @ NEW ADDITION AREAS
 - 6 NEW ROUND CLAY VENTS "DECORATIVE"
 - 7 PROVIDE BARREL TILE @ TOP OF PARAPET WALL
 - 8 EXIST. 2 PIECE CLAY BARREL TILE ROOFING
 - 9 NEW 2 PIECE CLAY BARREL TILE ROOFING TO MATCH EXISTING. PROVIDE FLORIDA BLDG CODE PRODUCT APPROVAL.
 - 10 NEW ROUND CLAY SCUPPERS

CONSULTANT	<p>RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030</p> <p>Telephone: 305.245.6044 License #AA0003098, AR11077 r.fowler@gmail.com</p>	CONSULTANT	
CONSULTANT		CONSULTANT	<p>GILHULLY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA</p>
CONSULTANT	<p>PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE</p>	CONSULTANT	<p>DATE DESCRIPTION</p> <p>01.13.2015 DESIGN DEVELOPMENT</p> <p>04.12.2015 DESIGN DEVELOPMENT</p> <p>07.16.2015 DESIGN DEVELOPMENT</p> <p>07.20.2015 DESIGN DEVELOPMENT</p> <p>07.21.2015 DESIGN DEV (B.O.A.)</p> <p>09.20.2015 DESIGN DEV (B.O.A.)</p> <p>12.07.2015 CERTIFICATE OF APPROPRIATENESS PERMIT</p> <p>03.01.2016 PERMIT</p>
CONSULTANT	<p>SHEET TITLE</p> <p>PROPOSED ELEVATION</p>	CONSULTANT	<p>A-5</p>



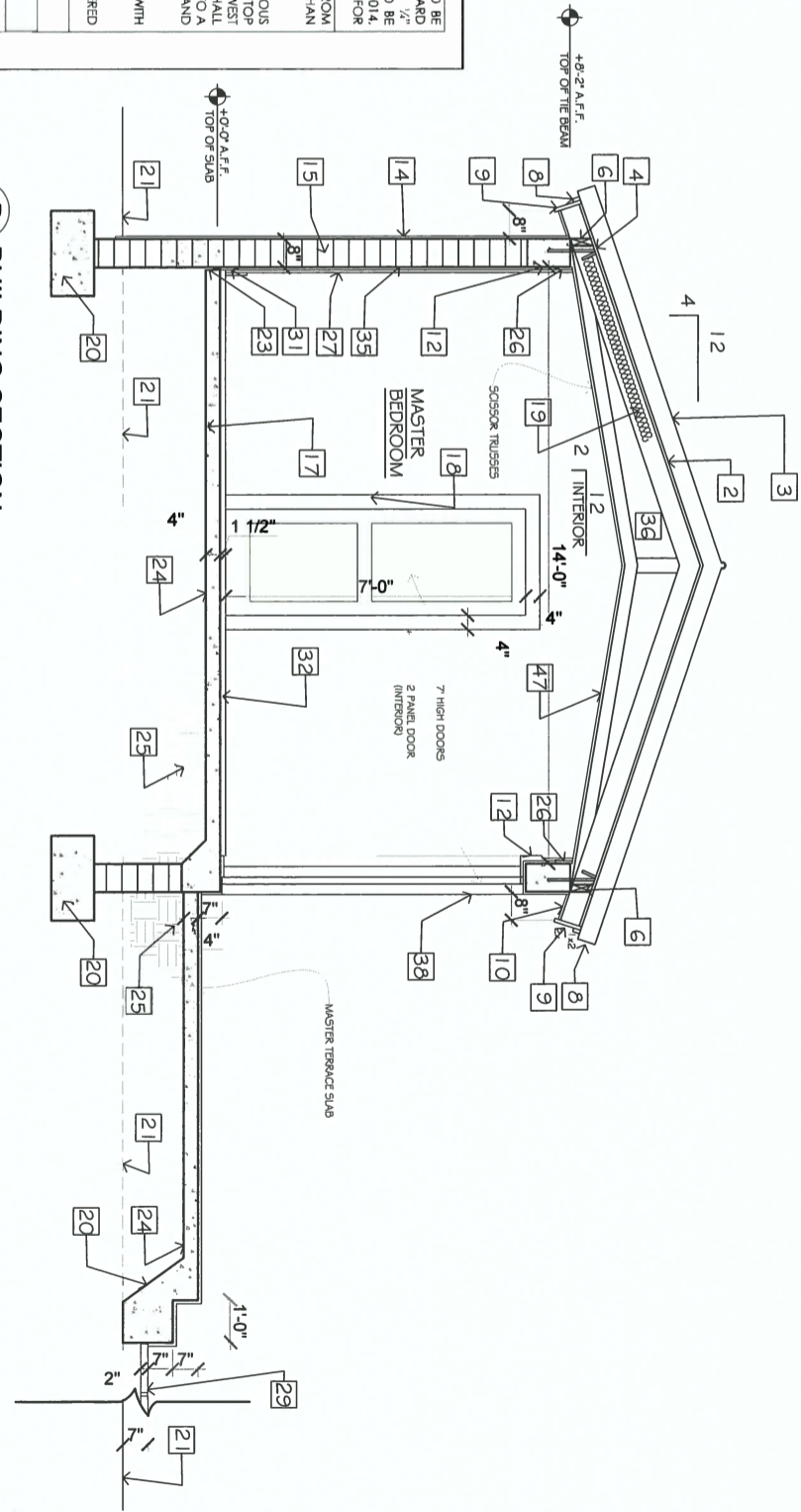
B BUILDING SECTION
A-6

SCALE: 1/2" = 1'-0"

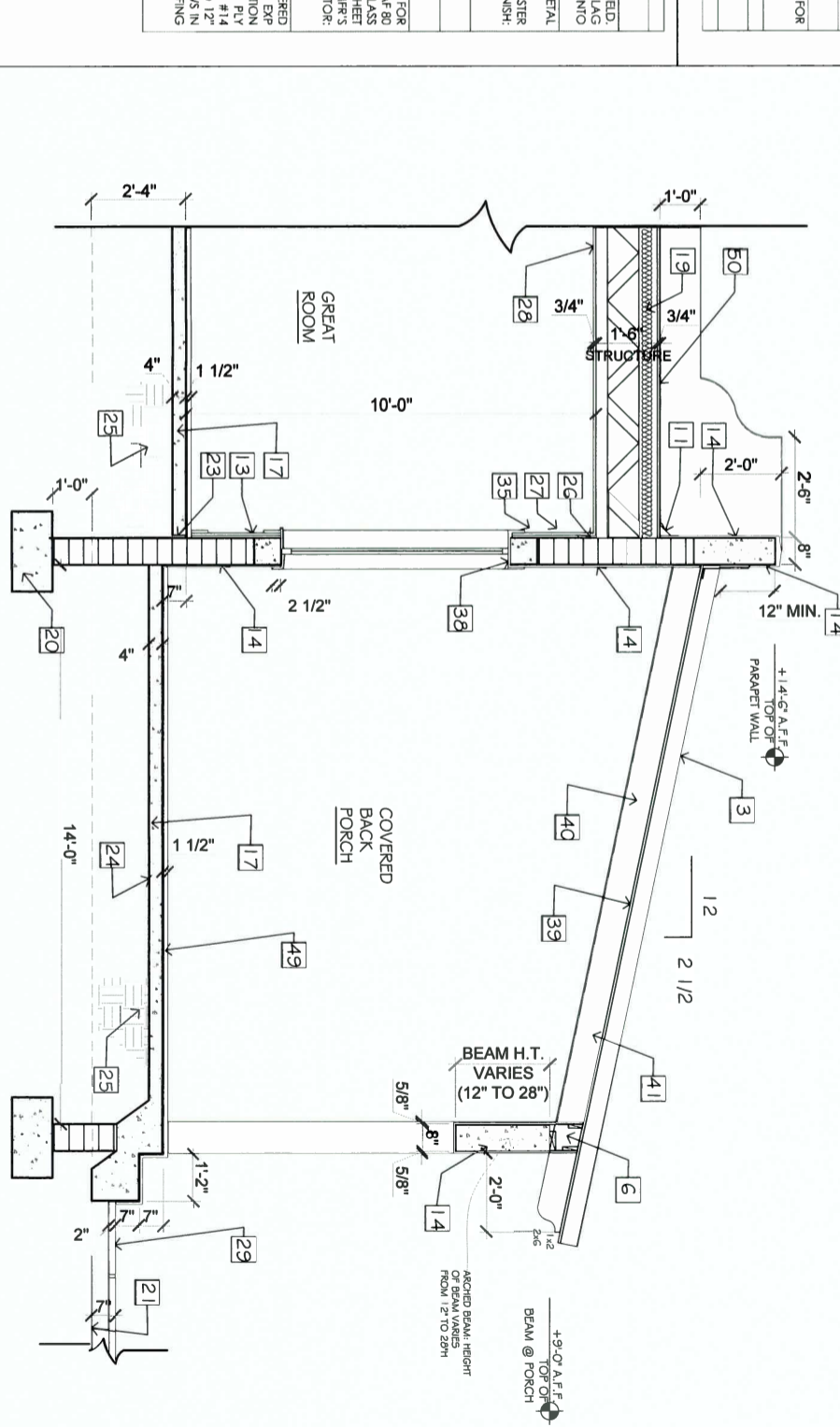
CONSULTANT		RAYMOND JOHN FOWLER ARCHITECT, INC.		815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030		Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com	
CONSULTANT		GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA		PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE		DATE DESCRIPTION	
CONSULTANT		07.05.2016 DESIGN DEVELOPMENT		03.01.2016 PERMIT		SHEET TITLE	
CONSULTANT		PROPOSED SECTIONS		A-6			

1	PREFABRICATED TRUSSES @ 24" OC, TOP CHORD: 2x4, BOTTOM CHORD: 2x4. SEE STRUCTURAL DRAWINGS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
2	3/4" PLYWOOD ROOF DECKING. SEE STRUCTURAL DRAWINGS FOR ATTACHMENT.
3	TWO PIECE CLAY BARREL TILE ROOFING TO MATCH EXISTING HISTORIC RESIDENCE ROOFING. MFR CERAMICA VERBA, MIAMI DADE COUNTY NOTICE OF ACCEPTANCE #: 13-0228-01, EXPIRATION DATE: 3/13/18. PROVIDE UNDERLAYMENT: USE ONE PLY 30 AND ONE PLY BOAL TILE SEAL SET ADHERED TO THE UNDERLAYMENT. INSTALLATION ACCORDING TO MANUFACTURER'S PRODUCT LITERATURE. (USE ROOFING CONTRACTOR; RODMAN ROOFING FOR THIS PROJECT)
4	HURRICANE STRAP & SEAL. SEE STRUCTURAL DRAWINGS.
5	2 1/2" STUCCO SILL @ EXTERIOR WINDOWS AT NEW ADDITION.
6	2x PT BLOCKING.
7	R-19 BATTEN INSULATION.
8	GALVANIZED METAL DRIP EDGE FASTENED TO CONTINUOUS 1x2 PT MEMBER. DRIP EDGE SHALL BE INSTALLED OVER BASE PLY SHEET, FASTENED 6" OC WITH 12 GA CORROSION RESISTANT ROOF NAILS OR FASTENERS. ALL JOINTS SHALL BE LAPPED A MINIMUM OF 2". INSTALLED ACCORDING TO IRC 2007 EDITION.
9	2x4 CONTINUOUS FASCIA, WOOD TYPE. SPECIFICATION BY ARCHITECT. WOOD FINISH. SPECIFICATION BY ARCHITECT.
10	1x6 1x8 V-JT CYPRESS DECKING @ OVERHANG ONLY. WOOD FINISH. SPECIFICATION BY ARCHITECT.
11	PROVIDE 2x6 GA GALVANIZED METAL FLASHING & COUNTER FLASHING.
12	POURED CONCRETE IN THE BEAM. SEE STRUCTURAL DRAWINGS.
13	POURED 8x8 CONCRETE SILL. SEE STRUCTURAL DRAWINGS.
14	STUCCO FINISH. PROVIDE LIGHT TEXTURE FINISH. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.
15	8" CMU. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT.

33	PROVIDE ALUMINUM GUARD RAIL SYSTEM. NON-CIRCULAR HANDRAIL TO BE MAXIMUM OF 2 1/2" IN CROSS SECTION AREA. GRASSABLE ALUMINUM GUARD RAIL HEIGHT TO BE 42" ABOVE TERRACE FINISH FLOOR. PROVIDE 1 1/2" X 1 1/2" ALUMINUM PICKETS SPACED TO REFLECT A 4" OBJECT. GUARDS SHOULD BE ADEQUATE IN STRENGTH & ATTACHMENT IN ACCORDANCE WITH IRC 2014, SECTION 1607.7. PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL FOR ALL GUARD RAIL SYSTEMS.
34	HANDRAIL HEIGHT AT STAIRS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE FINISH FLOOR TO THE TOP OF THE HANDRAIL, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".
35	HAND RAIL CONTINUITY: HAND RAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP NOSING, EDGE OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST TERMINATING IN NEMEL POSTS OR SAFETY TERMINALS. HAND RAIL ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAILS.
36	HAND RAIL GRIP SIZE: PROVIDE NON CIRCULAR METAL HAND RAIL WITH MAXIMUM CROSS SECTIONAL AREA OF 2 1/2".
37	PROVIDE PICKETS SPACED TO REFLECT A 4" OBJECT. PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL FOR ALL HAND RAIL SYSTEMS.
38	R-4.5 SPRAY FOAM INSULATION @ ALL CMU WALLS TYPICAL.
39	SPACE FOR M.E.P.
40	PROVIDE 1x4 PT WINDOW BUICKS TYPICAL @ ALL WINDOWS.
41	PROVIDE 1x4 PT DOOR BUICKS TYPICAL @ ALL EXTERIOR DOORS.
42	1x6 1x8 V-JT CYPRESS DECKING @ BACK PORCH.
43	3x10 EXPOSED RAFTER FRAMING @ 24" OC. SEE STRUCTURAL DRAWINGS.
44	EXPOSED RAFTER TO BEAM CONNECTION: SEE STRUCTURAL DRAWINGS FOR CONNECTION DETAILS.
45	CLAY ROUND OVERHEAD SCUPPERS.
46	3" THICK CAST STONE CAP @ COLUMNS.
47	STRUCTURAL RIDGE BEAM. SEE STRUCTURAL DRAWINGS.
48	CAST STONE TRIM @ TOP OF CORAL STONE SPECS BY ARCHITECT.
49	DECORATIVE TIMBER LINER: 4" x 4" x 10' H. VERRY EXACT MIGHT IN FIELD. REMOVE FELT BETWEEN WOOD & CONCRETE BLOCK. FLASHING 3" X 1x6 BOYS EXTERIOR 2x4 STAGGERED. COUNTERSINK BOLT & FLUG EMBED MIN 3" INTO CONC.
50	1x6 1x8 V-JT CYPRESS CEILING DECKING ATTACHED TO WOOD/METAL FRAMING MEMBERS @ 16" OC. USE PECKY CYPRESS AT GREAT ROOM AND STANDARD CYPRESS AT MASTER BEDROOM. SEE REFLECT/LIGHTING PLAN FOR WOOD DIRECTION. FINISH: SPECIFICATION BY ARCHITECT.
51	STUCCO FINISH AT INTERIOR OF GARAGE / BREEZEWAY.
52	STONE FLOORING @ TERRACE/WALKWAYS. SPECIFICATION BY OWNER.
53	ROOFING AT FLAT DECK: GAF CONVENTIONAL BUILT-UP ROOF SYSTEMS FOR WOOD DECKS. NOA # 13-02213. EXPI DATE: 11/4/18. PROVIDE ONE PLY GAF 80 TYPE BASE SHEET UNDERLAYMENT AND TWO PLYS GAF PLY V FIBERGLASS WORTED IN HOT ASPHALT AND ONE PLY GAF MINERAL SURFACED CAP SHEET AND SPRAYED POLYURETHANE INSULATION. PROVIDE PRODUCT LITERATURE. ROOF SLOPE: 1/12 MIN. (USE ROOFING CONTRACTOR; RODMAN ROOFING FOR THIS PROJECT)
54	ROOFING AT FLAT DECK / ROOF TERRACE: PROVIDE POLYGLASS SELF-ADHERED ROOF SYSTEM, NOA#: 13-051408. PAGE 25 OF 27 FOR CONCRETE DECKS. EXP DATE: 10/11/17. SPECS: PROVIDE 1" POLYISOCYANURATE INSULATION MECHANICALLY FASTENED, ONE PLY ELASTOFLEX SAP FR-4695F. FASTENERS: OMG #14 OR 15 ROOF GRIP FASTENERS AND FLAT BOTTOM METAL PLATES. SPACED 12" OC IN A 4" LAP AND 12" OC IN TWO EQUAL SPACED STAGGERED ROWS IN THE CENTER OF THE SHEET. ROOF SLOPE: 1/12 MIN. (USE ROOFING CONTRACTOR; RODMAN ROOFING FOR THIS PROJECT)



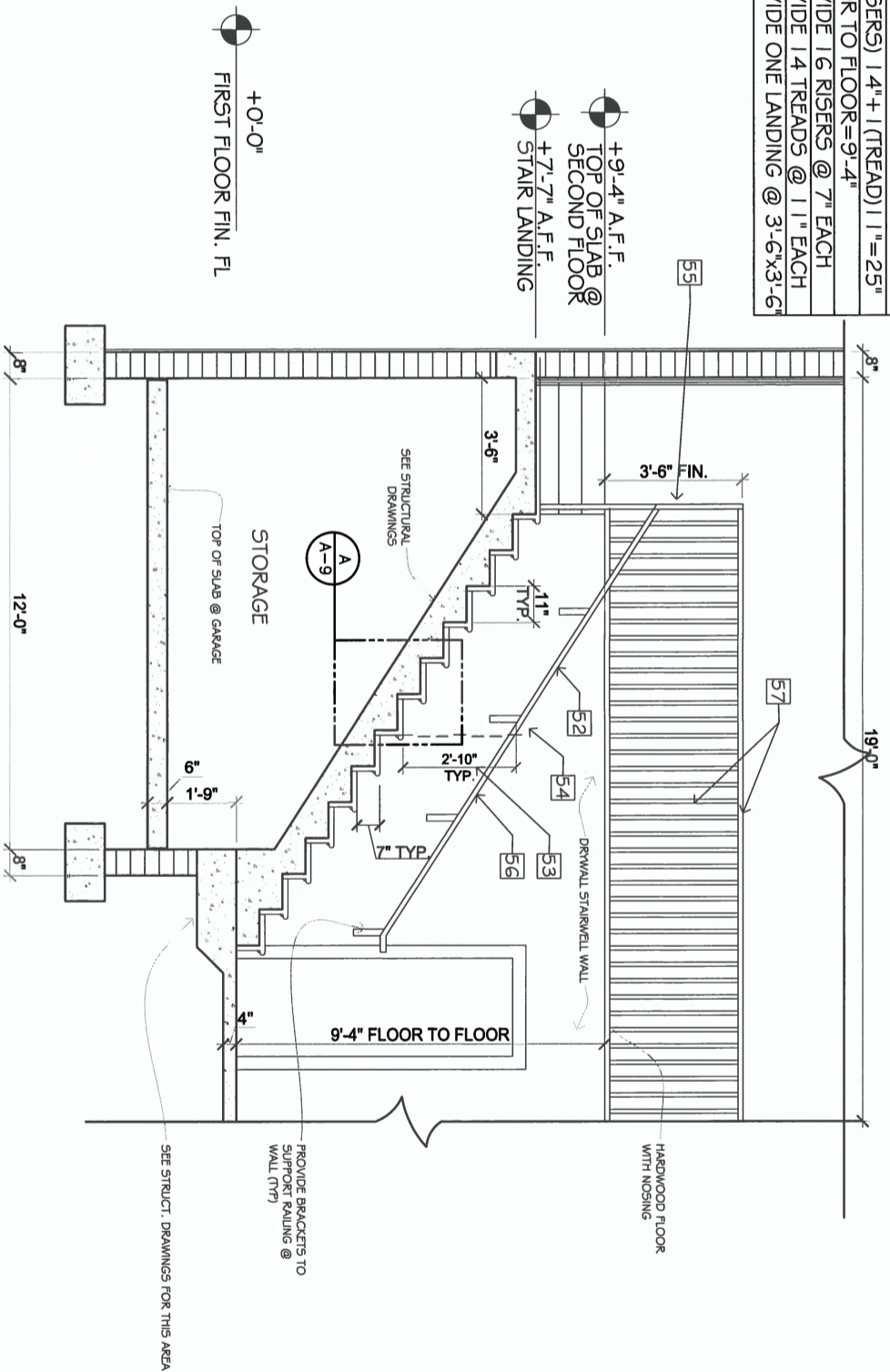
B BUILDING SECTION
SCALE: 1/2" = 1'-0"



C BUILDING SECTION
SCALE: 1/2" = 1'-0"

CONSULTANT	
RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA00030999, AR11077 r.fowler@gmail.com	
PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA	
DATE	01.05.2016
DESIGNATION	DESIGN DEVELOPMENT
DATE	03.01.2016
DESIGNATION	PERMIT
SHEET TITLE PROPOSED SECTIONS	
A-7	

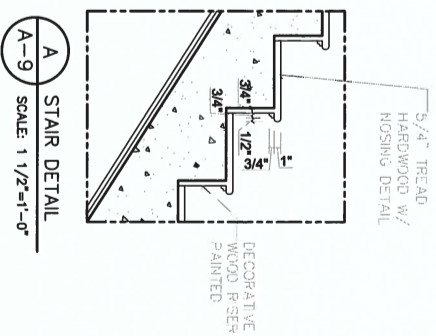
STAIR CALCULATIONS:
 -2 (RISERS) 14" + (TREAD) 11" = 25"
 -FLOOR TO FLOOR = 9'-4"
 -PROVIDE 16 RISERS @ 7" EACH
 -PROVIDE 14 TREADS @ 11" EACH
 -PROVIDE ONE LANDING @ 3'-6"x3'-6"



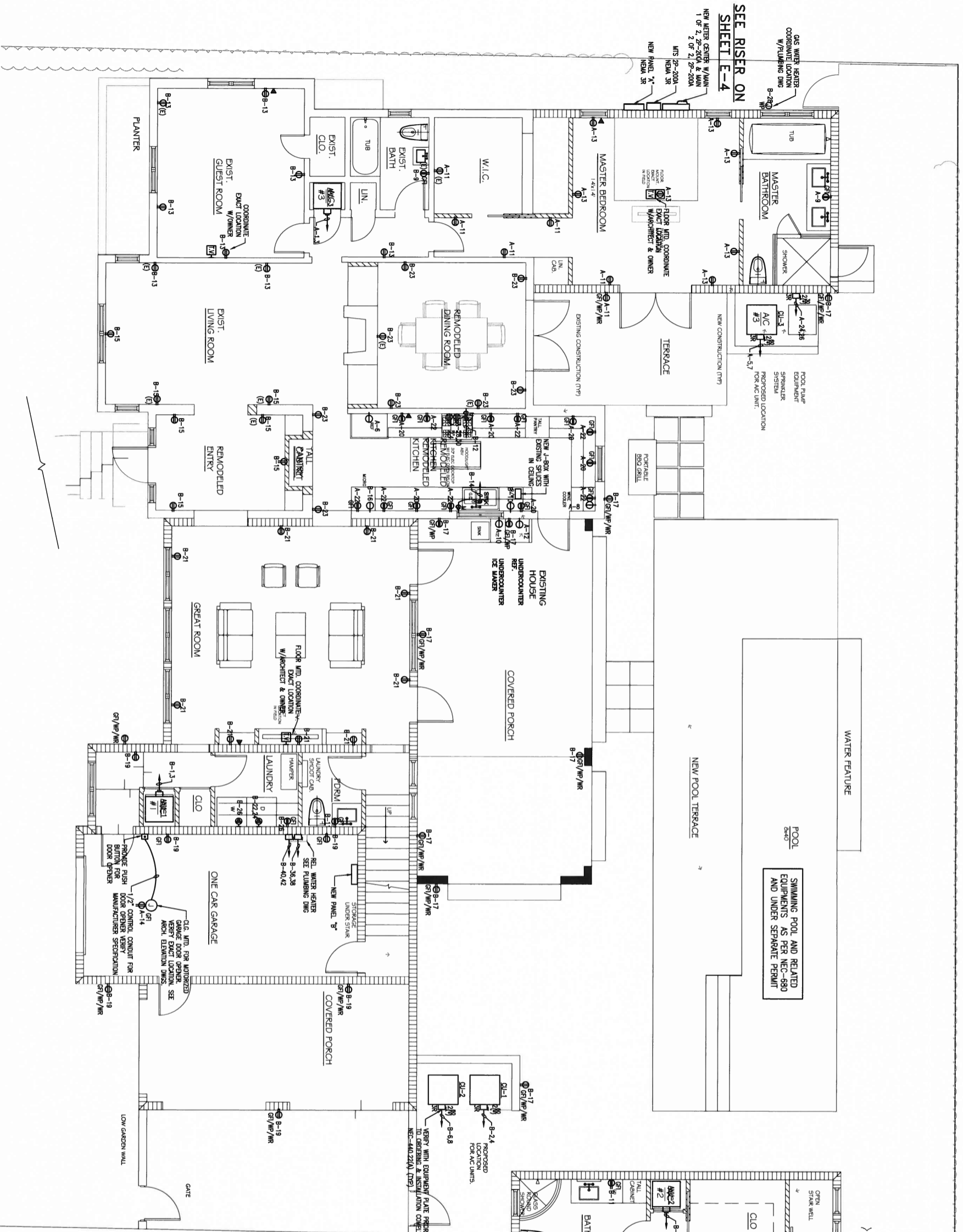
A-9 BUILDING SECTION

SCALE: 1/2" = 1'-0"

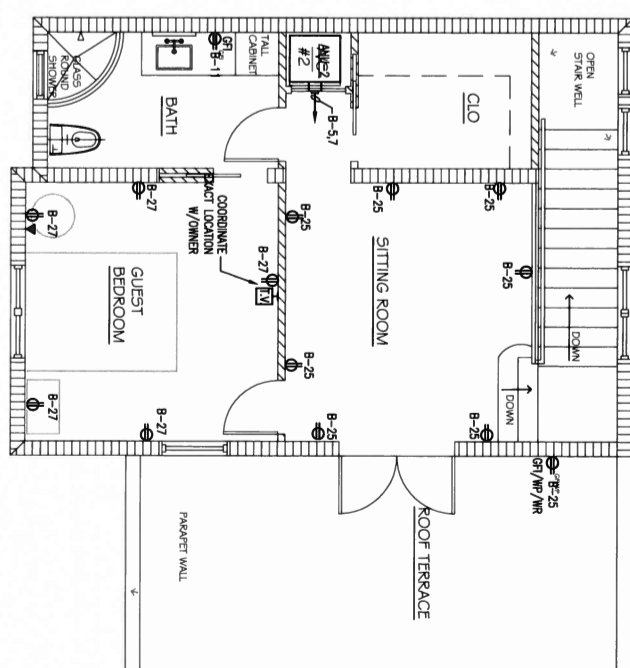
- 52 HANDRAILS: PROVIDE HARDWOOD HANDRAIL ON ONE SIDE OF STAIR ONLY. HANDRAILS SHALL BE ADEQUATE IN STRENGTH & ATTACHMENT IN ACCORDANCE WITH SECTION 1.607.7.
- 53 HANDRAIL HEIGHT: MEASURED ABV STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE SHALL BE UNIFORM NOT LESS THAN 34" & NOT MORE THAN 38".
- 54 HANDRAIL GRASPABILITY: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25 INCHES & NOT GREATER THAN 2" OR SHALL PROVIDE EQUIVALENT GRASPABILITY. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" & NOT GREATER THAN 6.75 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES.
- 55 PROVIDE NEWEL POST @ STAIR LANDING
- 56 HANDRAIL CLEARANCE: CLEAR SPACE BETWEEN A HANDRAIL & A WALL OR OTHER SURFACE SHALL BE A MINIMUM OF 1.5 INCHES. A HANDRAIL & A WALL OR OTHER SURFACE ADJACANT TO THE HANDRAIL SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
- 57 PROVIDE GUARDRAIL/HANDRAIL: GUARDRAIL SHALL COMPLY WITH NOTE # 52 & NOTE # 54. GUARDRAIL HEIGHT TO BE 42" AFF. PROVIDE 1 1/4" X 1 1/4" WOOD BALUSTERS SPACED TO REFLECT A 4 INCH OBJECT.



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CONSULTANT		
CONSULTANT		
PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE		GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA
DATE	DESCRIPTION	
04.18.2016	PERMIT	
06.11.2016	BLDG DEPT COMMENTS	
SHEET TITLE		PROPOSED SECTIONS
		A-9



1st FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"



2ND FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"

ADDITIONAL NOTES

1. ALL 120V, SINGLE-PHASE, 15 AND 20A RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, COMMON SPACES, UNFINISHED BASEMENTS, KITCHENS, NET BAR SPACES & BATHHOUSES SHALL BE PROTECTED BY GROUND-FULT INTERRUPTER PROTECTION AS PER NEC-210.8.
2. ALL OUTLET RECEPTACLES IN NET LOCATIONS PROVIDED THE GFI SHALL BE INSTALLED IN NET LOCATIONS COMPONENT EXACT LOCATION WITH MECHANICAL EQUIPMENT OF THE EQUIPMENT COMPONENT EXACT LOCATION WITH MECHANICAL EQUIPMENT WITH OWNER AND ARCHITECT.
3. PROVIDE UNDER-COUNTER RECEPTACLES TO COMPLY NEC-408.12 IN ALL AREA UNITS. UNDER-COUNTER RECEPTACLES SHALL BE INSTALLED ABOVE SIFTE.
4. PROVIDE UNDER-COUNTER RECEPTACLES TO COMPLY NEC-408.12 IN ALL AREA UNITS. UNDER-COUNTER RECEPTACLES SHALL BE INSTALLED ABOVE SIFTE.
5. PROVIDE DEDICATED EQUIPMENT SPACE COMPLY NEC-110.26
6. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
7. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
8. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
9. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
10. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
11. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
12. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
13. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.
14. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY AN INDEPENDENT SWITCH.

KITCHEN NOTES

1. ALL WIRING DEVICES SHOWN SHALL CONFORM WITH THE WIRE PLANS OF EQUIPMENT SUPPLIED BY VENDORS OF THE UNIT.
2. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CORDS AND PLUGS BEHIND EQUIPMENT AND/OR REFRIGERATORS.
3. FOR EXACT LOCATION OF ALL KITCHEN EQUIPMENT (COUNTERTOP, REFRIGERATOR, WASHING MACHINE, DISHWASHER ETC.), SEE ARCHITECTURAL DRAWINGS.
4. PRIOR TO ROUTING-IN OF ELECTRICAL DEVICES COORDINATE EXACT LOCATION AND WIRING DETAILS WITH ARCHITECTURAL DRAWINGS.
5. COORDINATE WITH ARCHITECT (TA) RECEPTACLES LOCATION.
6. ALL RECEPTACLE OUTLET FOR COUNTERTOP SPACES SHALL BE INSTALLED ACCORD (NEC-210.52(C)(1)) THROUGH (C)(9).

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<p>PROJECT DESCRIPTION: RENOVATIONS & ADDITIONS TO EXISTING RESIDENCE</p>		<p>GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA</p>		<p>RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030</p> <p>Telephone: 305.245.6044 License # AA0003098 r.fowler@gmail.com</p>	
DATE	DESCRIPTION	DATE	DESCRIPTION	DATE	DESCRIPTION
03/01/2018	BIDG. PERMIT				
<p>SHEET TITLE</p> <p>FIRST AND SECOND FLOORS POWER PLANS</p>					
<p>E-2</p>					

CONSULTANT

CONSULTANT

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GILHULY RESIDENCE
 414 ALHAMBRA CIRCLE
 MIAMI, FLORIDA

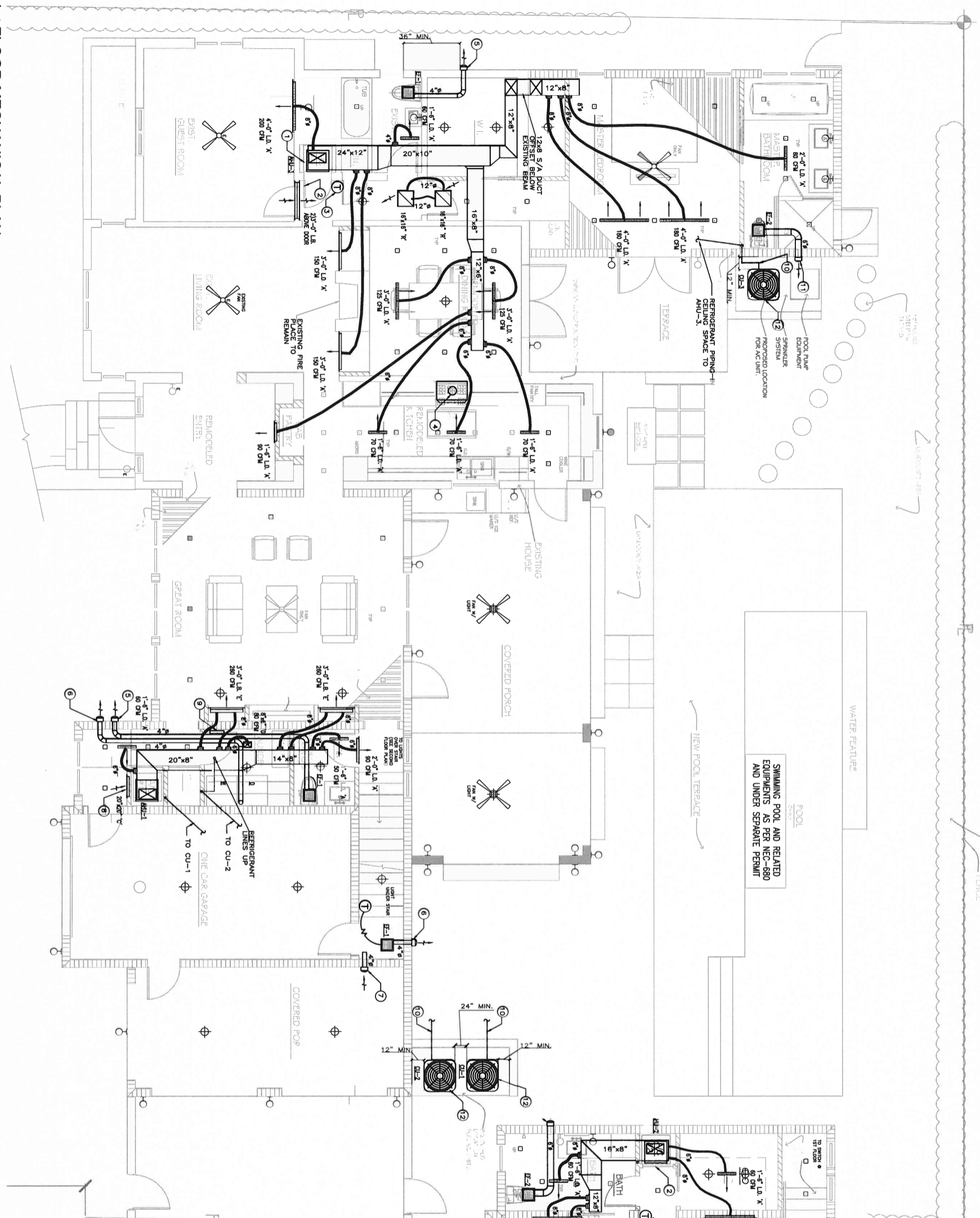
PROJECT DESCRIPTION:
 RENOVATION &
 ADDITIONS TO
 EXISTING RESIDENCE

DATE	DESCRIPTION
03/01/2018	BLOC PERMIT

SHEET TITLE

FIRST AND SECOND
 FLOORS
 MECHANICAL
 PLANS

M-1



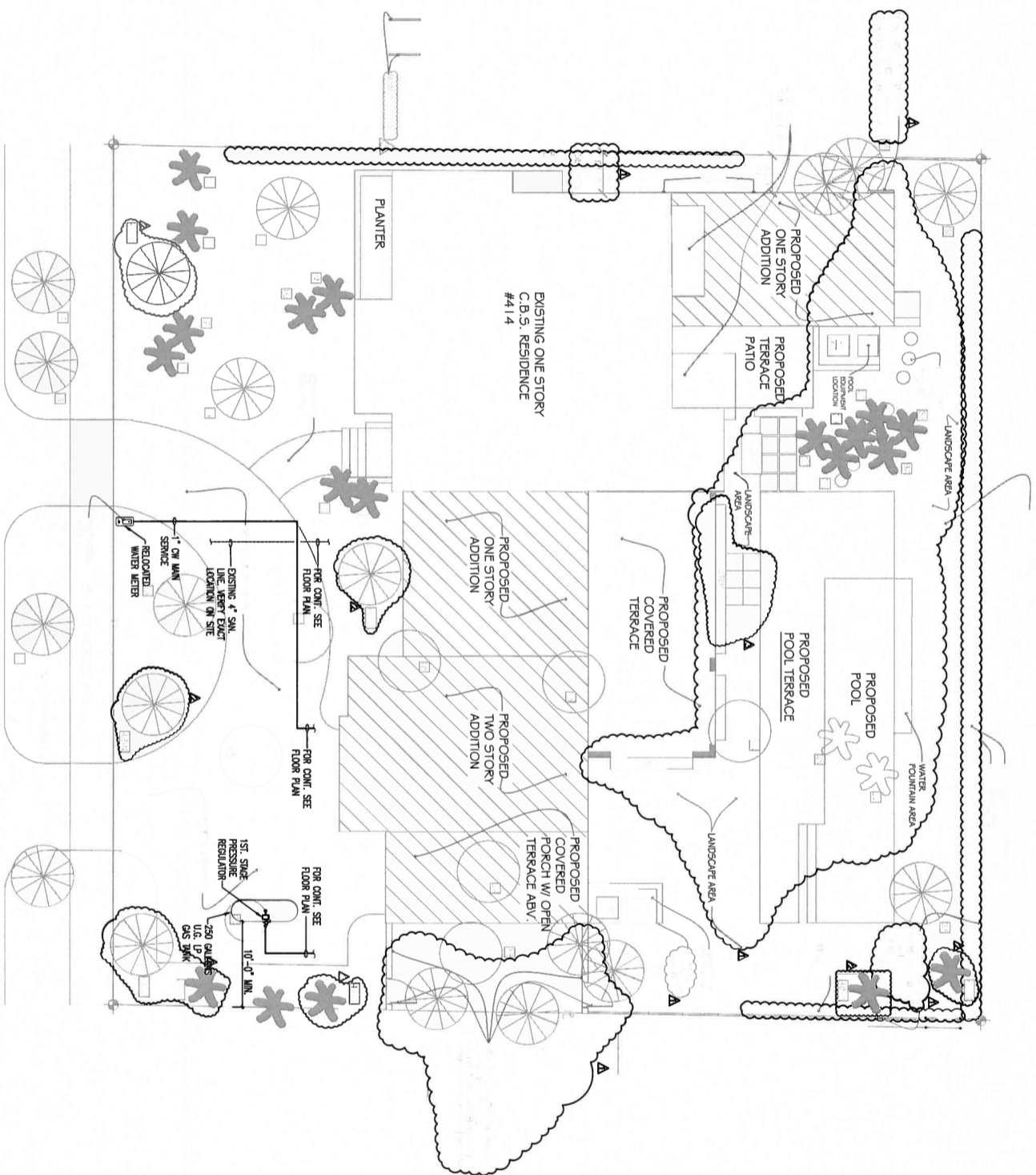
2ND FLOOR MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

- KEY NOTES - HVAC:**
- 1) FULL SIZE DISCHARGE PLENUM.
 - 2) FULLY LOUVERED DOOR.
 - 3) PROGRAMMABLE THERMOSTAT.
 - 4) 10% RANGE HOOD EXHAUST DUCTWORK UP TO ROOF CAP WITH DAMPER, HOOD FAN EXHAUST LESS THAN 400 CFM) COLLAR CONNECTION PRIOR CONSTRUCTION.
 - 5) 4" TOILET EXHAUST DUCT TO WALL CAP WITH BIRDSCREEN.
 - 6) PROVIDE CORROSION RESISTANT INSECT SCREEN.
 - 7) 4" X 4" WALL CAP WITH BIRDSCREEN & CORROSION RESISTANT INSECT SCREEN IN/VAE MIN.
 - 8) 20" X 20" R.A. DUCT CONNECTED TO AHU-1 R/A INLET PLENUM.
 - 9) 100 SQ. IN. MIN. FREE AREA TRANSFER GRILLE ON DOOR FOR DRYER MAKE UP AIR USE.
 - 10) REFRIGERANT PIPING UNDERGROUND IN PVC SCHEDULE 40" ENCLOSURE.
 - 11) 6" TOILET EXHAUST DUCT TO WALL CAP WITH BIRDSCREEN.
 - 12) PROVIDE CORROSION RESISTANT INSECT SCREEN.
 - 13) CONDENSING UNIT ON 4" HIGH CONCRETE PAD, BOTTOM OF
- ALL BATHROOMS INTERIOR DOORS 1" MIN. UNDERCUT DOOR TYPE.
 REFER TO PLUMBING DRAWINGS FOR CONDENSATE PIPING LAYOUT
 AND TERMINATION INFORMATION AND DETAILS.

1ST FLOOR MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"



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 10251 SUNSET DRIVE, SUITE 103
 MIAMI, FLORIDA 33173
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ALHAMBRA CIRCLE
18'-0" ASPHALT

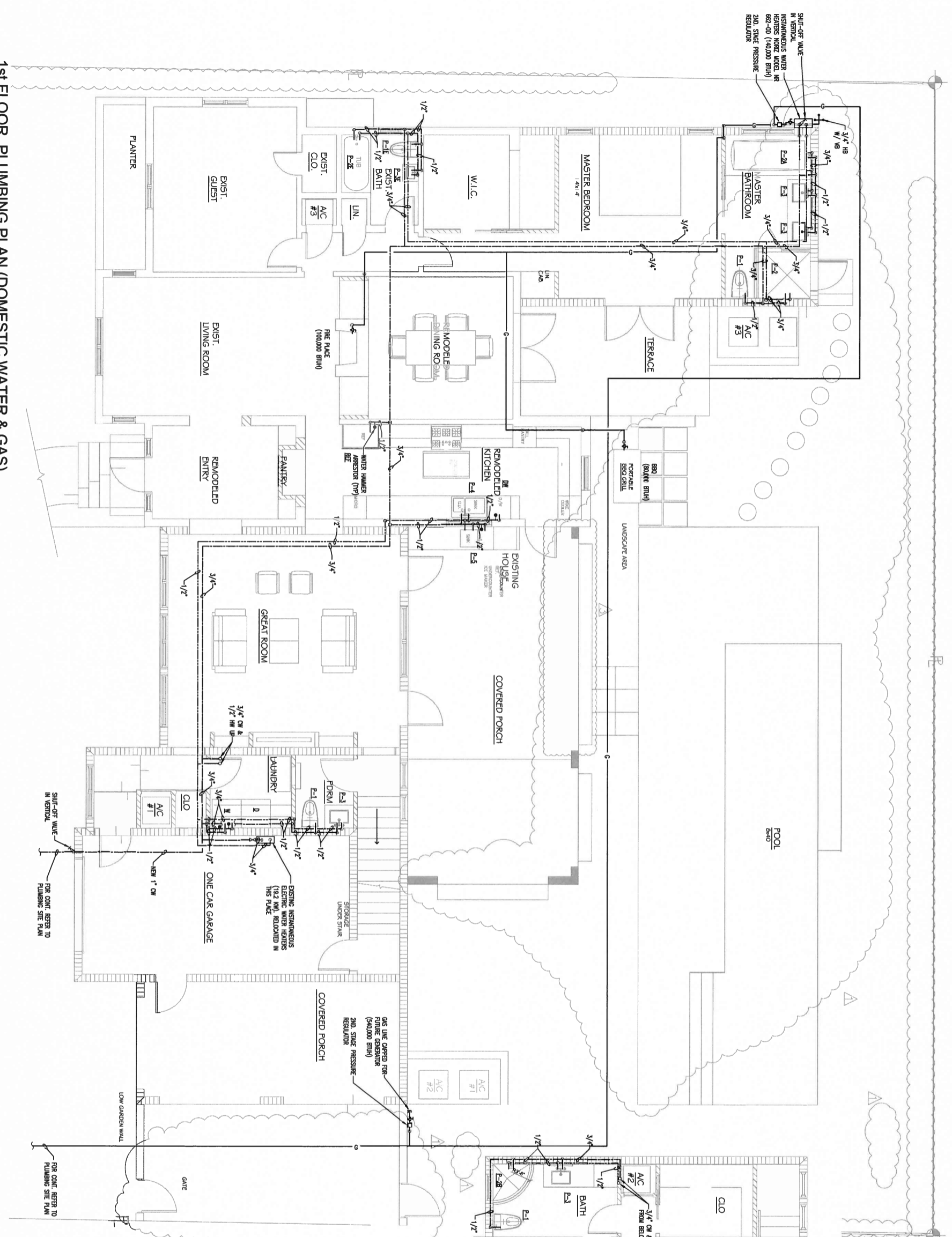
PLUMBING SITE PLAN

SCALE: 1/8" = 1'-0"



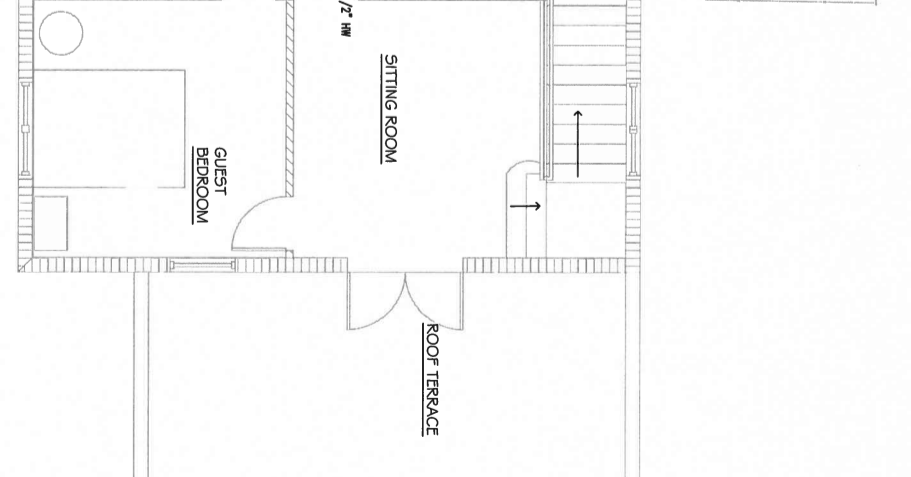
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CONSULTANT		
PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE		GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA
DATE	DESCRIPTION	
03.01.2016	BLDG. PERMIT	
SHEET TITLE		
PLUMBING SITE PLAN		
P-1		



1st FLOOR PLUMBING PLAN (DOMESTIC WATER & GAS)

SCALE: 1/4" = 1'-0"



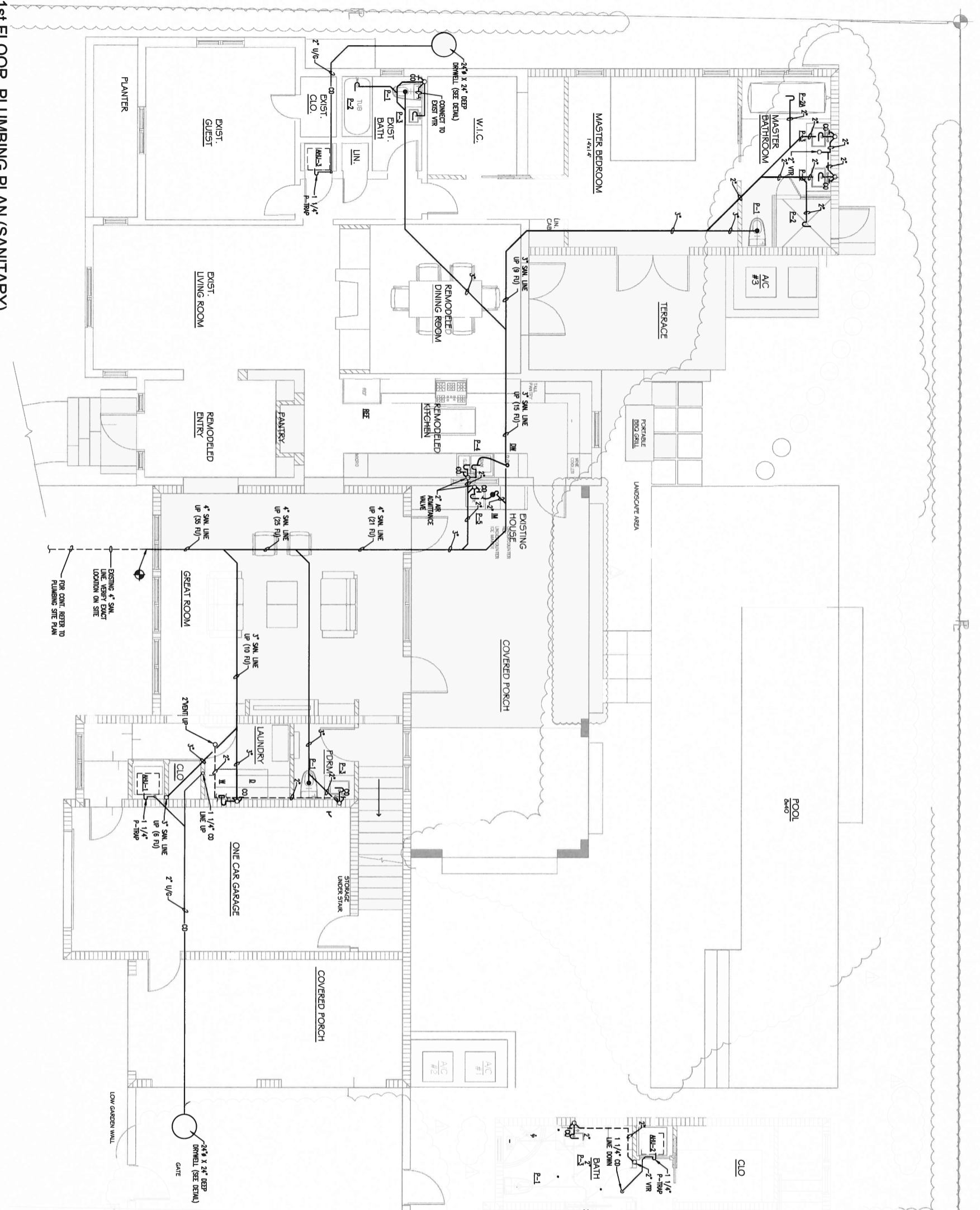
2ND FLOOR PLUMBING PLAN

SCALE: 1/4" = 1'-0"



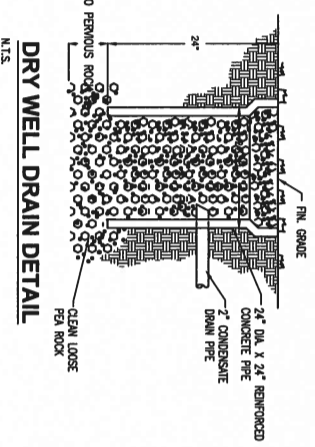
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PROJECT DESCRIPTION:		GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA
DATE:	DESCRIPTION:	
02.01.2016	BLDG. PERMIT	
FIRST AND SECOND FLOORS PLUMBING PLANS		
SHEET TITLE		
P-2A		



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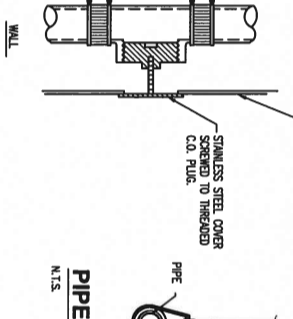
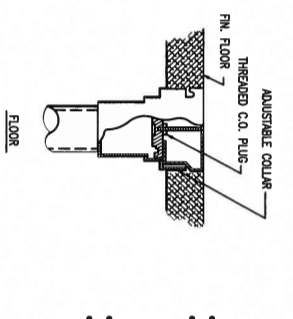
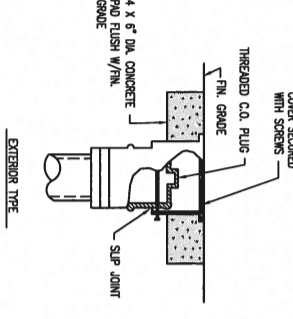
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RENOVATIONS & ADDITIONS TO EXISTING RESIDENCE	
DATE	03/01/2016
DESCRIPTION	BLDG. PERMIT
SHEET TITLE	
FIRST AND SECOND FLOORS PLUMBING PLANS	
P-2	



HANGER SPACING

PIPE MATERIAL	MAXIMUM HORIZONTAL SPACING	MAXIMUM VERTICAL SPACING
CAST IRON	5' (A)	15'
COPPER PIPE	12'	10'
COPPER TUBING 1/4\"/>		
COPPER TUBING 1/2\"/>		
PVC PIPE	4'	10' (B)
STEEL PIPE	12'	15'

A - SPACING SHALL BE 10' IF 10' LENGTHS ARE INSTALLED
B - AND SHORTER GUIDE FOR 2\"/>



TYPICAL CLEANOUT DETAIL
N.T.S.

PIPE HANGER
N.T.S.

PLUMBING LEGEND

SYMBOL	DESCRIPTION
—	COLD WATER LINE (CW)
—	HOT WATER RECI. (HW)
—	CONDENSATE DRAIN LINE
—	HOT WATER LINE (HW)
—	SHOWER WASTE LINE (SW)
—	SHOWER LINE (V)
—	CHECK VALVE
—	FLOOR CLEAN OUT
—	WALL CLEAN OUT
—	DATE W/ATE
—	HOSE BIBB
—	VALVE IN BOX
—	DATE W/ATE IN VERTICAL TRAP
—	WATER HAMMER ABOVE
—	WATER HAMMER BELOW
—	CELL. G.A.
—	FL.
—	FLOOR
—	FRONT UNIT UNDERGROUND
—	VENT THRU ROOF
—	VACUUM BREAKER
—	TRAP PRIMER CONNECTION (NEW TO EXISTING)

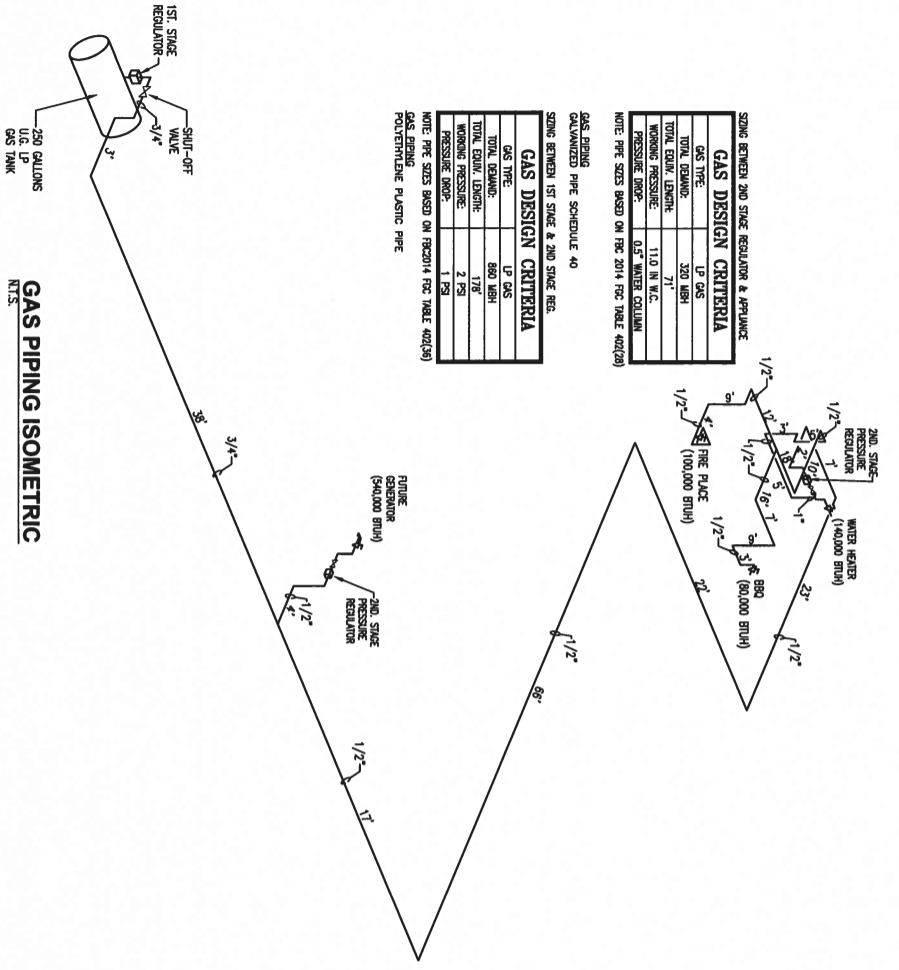
NOTE:
SYMBOLS INDICATED MAY NOT BE USED ON DRAWINGS

GAS DESIGN CRITERIA

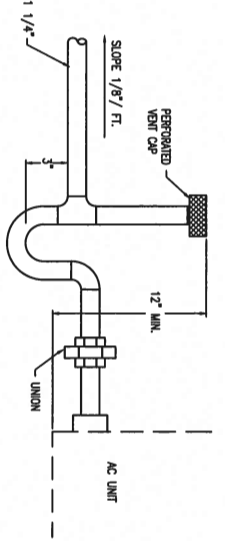
GAS TYPE	LP GAS
TOTAL GAS LOAD	527 BTU
TOTAL GAS LOAD	11.0 M.W.C.
WORKING PRESSURE	0.5\"/>
PIPE SIZES BASED ON PG 3114 PG. TABLE 402.2(8)	

GAS DESIGN CRITERIA

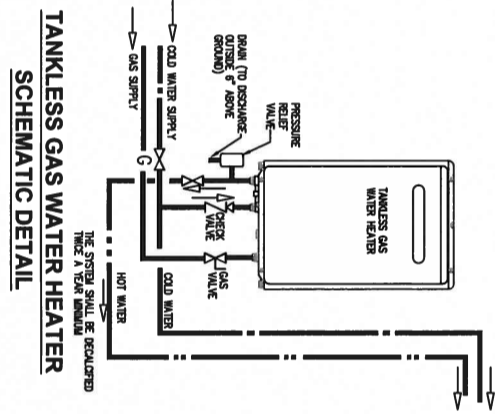
GAS TYPE	LP GAS
TOTAL GAS LOAD	880 MBH
TOTAL GAS LOAD	2 TYP
WORKING PRESSURE	2 PS
PIPE SIZES BASED ON PG 3114 PG. TABLE 402.2(8)	



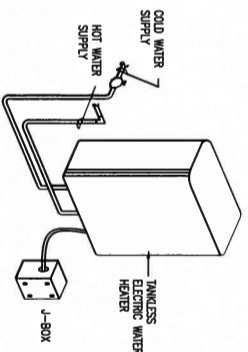
GAS PIPING ISOMETRIC
N.T.S.



CONDENSATE TRAP DETAIL
N.T.S.



TANKLESS GAS WATER HEATER SCHEMATIC DETAIL



ELEC. WATER HEATER DETAIL
N.T.S.

PLUMBING FIXTURE CONNECTION SCHEDULE

W/ATE	DESCRIPTION	WASTE	C.W.	H.W.	REMARKS/SPEC'S
P-1	WATER CLOSET	3"	1/2"	---	FLOOR MOUNTED, FLUSH TANK
P-1E	EXIST. WATER CLOSET	3"	1/2"	---	FLOOR MOUNTED, FLUSH TANK
P-2	SHOWER	2"	3/4"	3/4"	ANTISQUALL PRESSURE BALANCING VALVE
P-2A	TUB	2"	3/4"	3/4"	ANTISQUALL PRESSURE BALANCING VALVE
P-2B	SHOWER	2"	1/2"	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
P-2E	EXIST. TUB	2"	1/2"	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
P-3	LAUNDRY	1-1/2"	1/2"	1/2"	COUNTER TOP
P-4	EXIST. LAUNDRY	1-1/2"	1/2"	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
P-5	KITCHEN SINK	1-1/2"	1/2"	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
DW	CONCRETE PORCH SINK	1-1/2"	1/2"	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
W	DISHWASHER	1-1/2"	---	1/2"	ANTISQUALL PRESSURE BALANCING VALVE
W	WASHER	2"	1/2"	1/2"	PROVIDE RECESSED SUPPLY DRAIN BOX
W	ICE MAKER	---	1/2"	---	PROVIDE SHUTOFF VALVE
REF	REFRIGERATOR	---	1/2"	---	PROVIDE SHUTOFF VALVE

- GENERAL NOTES:
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, STATE AND LOCAL ORDINANCES.
 - BUILDING DRAWINGS SHALL BE SLOPED AT 1/8" PER FT. UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, STATE AND LOCAL ORDINANCES.
 - PROVIDE CLEAN OUTS EVERY 75 FT. AND AT BASE OF EVERY WHISTLESTACK.
 - ALL CLEAN-OUTS TO BE FLUSH MAINTAINED.
 - MATERIALS SHALL BE ALL NEW AND AS FOLLOWS:
 - CONDENSATE WASTE AND VENT PIPING INCLUDING:
 - PVC DRAINAGE WASTE AND VENT (DWV) CONFORMING TO STANDARD 301 ABOVE GROUND AND CAST IRON DWV ABOVE GROUND AND CAST IRON DWV A-2 WITH NON-FRIBER ASBESTOS UNDERGROUND. INSTALL PLASTIC (PVC) PIPES ONLY WHEN APPROVED BY LOCAL AUTHORITIES AND NOT TO BE USED IN AIR RETURN FLEXIBLE.
 - WATER PIPING: COPPER TYPE "K" ASTM B-88 ABOVE GROUND AND COPPER TYPE "K" ASTM B-88 UNDERGROUND.
 - CONDENSATE DRAIN PIPING: COPPER TYPE "K" ASTM B-88 INSIDE THE BUILDING AND PVC SCHEDULE 40 ABOVE ROOF AND UNDERGROUND. PROVIDE 3/4" RADIANT PIPE INSULATION TO ALL CONDENSATE DRAIN PIPING.
 - WATER PIPING: BLACK STEEL SCHEDULE 40 ASTM-A53.
 - FLOOR CLEAN OUTS: JOISM SERIES 50750 OR EQUAL.
 - WALL CLEAN OUTS: JOISM SERIES 50750 WITH ACCESS COVER OR EQUAL.
 - W/ATES: 125 PSI 1/2" SCOTT, STOCKHAM OR EQUAL.
 - HOSE BIBBS: CHICAGO 837 OR EQUAL WITH VACUUM BREAKER.
 - PERFORM THE FOLLOWING TESTS:
 - WATER PIPING SHALL BE SUBJECT TO HYDROSTATIC PRESSURE TEST OF 150 PSIG FOR A PERIOD OF TIME SUFFICIENT TO EXAMINE ENTIRE SYSTEM BUT NOT LESS THAN ONE HOUR.
 - DRAINAGE SYSTEM BEFORE INSTALLATION OF ANY DRAINS. THE END OF THE SYSTEM SHALL BE CAPPED & ALL LINES FILLED WITH WATER TO HIGHEST POINT. SYSTEM SHALL BE STAND UNTIL INSPECTION IS MADE AND WATER LEVELS RETURN TO NORMAL.
 - CORRECT ALL DEFECTS DISCLOSED BY ABOVE TESTS.
 - COMPLETE SYSTEM FUTURE & EQUIPMENT SHALL BE GIVEN AN IN SERVICE TEST AFTER COMPLETION OF THE INSTALLATION.
 - STERILIZE ALL WATER LINES WITH A SOLUTION OF (2) POUNDS OF CHLORINATED LIME TO EACH 100 GALLONS OF WATER (50 PPM OF AVAILABLE CHLORINE). RETURN TO NORMAL WATER WITHIN 24 HOURS AND FLUSH THOROUGHLY WITH PROVIDE WATER BEFORE FILING IN SERVICE.
 - PLUMBING CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, STATE AND LOCAL ORDINANCES AND SHALL BE SUBJECT TO THE FOLLOWING:
 - CONTRACTOR SHALL FIELD VERIFY EXIST LOCATION OF EXISTING UTILITIES AND POINTS OF CONNECTION BEFORE COMMENCING ANY WORK.
 - PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
 - SHUT OFF PIPING TO BE DONE FOR APPROVAL OF ALL EQUIPMENT, MATERIALS AND UTILITIES FROM INSTALLATION.
 - DRYER PIPING AS REQUIRED TO CLEAR BUILDING STRUCTURE, DUCTWORK, ETC. AS SHOWN ON DRAWINGS AND AS REQUIRED BY FIELD CONDITIONS.
 - PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN AND TRAP. SEE SEE A/C PLANS FOR LOCATION OF UNITS AND DRAINS.
 - PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
 - COORDINATE WORK WITH OTHER TRADES.
 - FURNISH AND INSTALL FIXTURES AS SPECIFIED IN SCHEDULE THIS DRAWING.
 - EACH BATHROOM GROUP SHALL BE PROVIDED WITH AIR CHANGERS OR SHOCK ABSORBER.
 - PROVIDE SHUTOFF VALVE FOR EACH FIXTURE, JUST BEFORE CONNECTING TO FIXTURE.
 - WHENEVER POSSIBLE, UNITS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO SHUTTER BOTH TYPES OF PIPES.
 - PIPE INSULATION:
 - ALL CONDENSATE LINES SHALL BE INSULATED WITH 3/4" ORE EQUIVALENT FLEXIBLE INSULATION WITH A MAXIMUM OF 25/50 FLMW SPEED AND DEVELOPED RESPECTIVELY.
 - ALL HOT WATER LINES & 1/2" RECIRCULATING HOT WATER LINES SHALL BE INSULATED WITH 1" FIBER REINFORCED ASBESTOS INSULATION WITH A MAXIMUM OF 25/50 FLMW SPEED AND DEVELOPED RESPECTIVELY.

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CONSULTANT	GILHULY RESIDENCE 4114 ALHAMBRA CIRCLE MIAMI, FLORIDA
PROJECT DESCRIPTION: REVISIONS & ADDITIONS TO EXISTING RESIDENCE	DATE: _____ DESCRIPTION: _____ DATE: _____ DESCRIPTION: _____
SHEET TITLE	PLUMBING NOTES, LEGEND, DETAILS AND ISOMETRIC
P-3	

ASD WIND LOAD SLOPED ROOF PRESSURES				
Kd=0.85				
ROOF ZONE	PRESSURE (PSF)			
	< 19 sf	20 sf to 49 sf	50 sf to 79 sf	80 sf to 100 sf
S1	-39.6	-38.5	-37.0	-35.0
S2	-68.9	-63.4	-56.1	-50.6
S3	-101.9	-93.3	-86.5	-82.1
2 OVERHANG	-80.6	-80.6	-80.6	-80.6
3 OVERHANG	-135.7	-122.5	-104.8	-98.1

- NOTES:
- FOR Kd = 1.0, MULTIPLY VALUES BY 1.18.
 - NET UPLIFT VALUES ONLY TO PSF OF DEAD LOAD SHALL BE DEDUCTED FROM THEM.
 - FOR ULTIMATE VALUES, MULTIPLY VALUES IN TABLE BY 1.67.

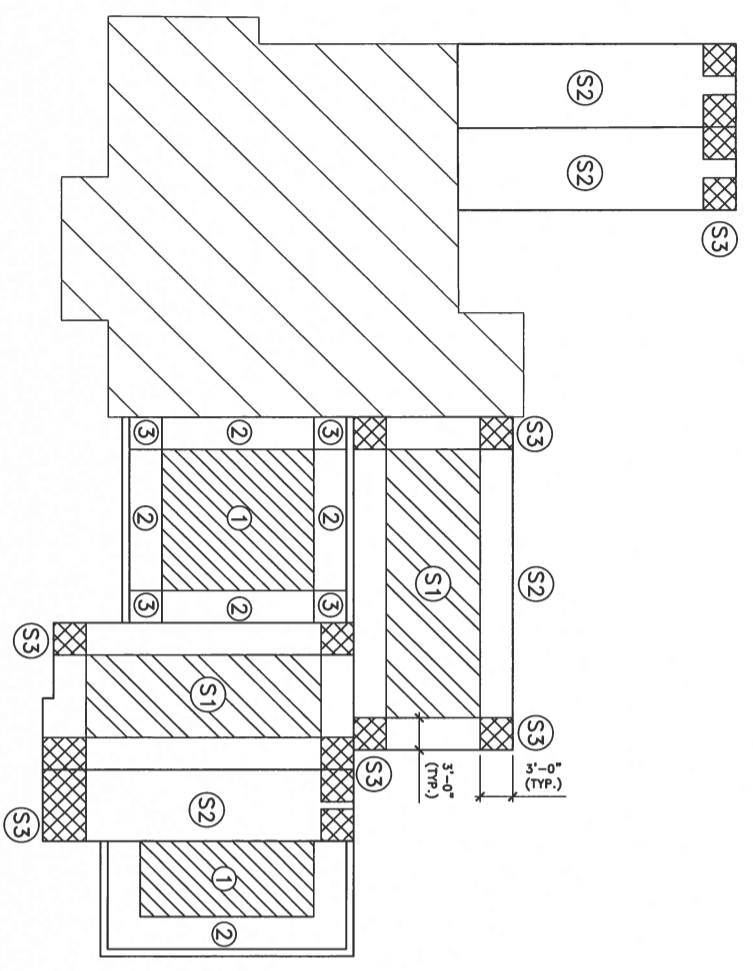
ASD WIND LOAD FLAT ROOF PRESSURES				
Kd=0.85				
ROOF ZONE	PRESSURE (PSF)			
	< 19 sf	20 sf to 49 sf	50 sf to 79 sf	80 sf to 100 sf
1	-42.5	-41.5	-40.0	-39.3
2	-71.4	-63.8	-53.7	-48.7
3	-107.5	-89.0	-64.6	-51.9

- NOTES:
- FOR Kd = 1.0, MULTIPLY VALUES BY 1.18.
 - THE FIGURES SHOWN REPRESENT GROSS VALUES. TO OBTAIN NET UPLIFT VALUES ONLY TO PSF OF DEAD LOAD SHALL BE DEDUCTED FROM THEM.
 - FOR ULTIMATE VALUES, MULTIPLY VALUES IN TABLE BY 1.67.

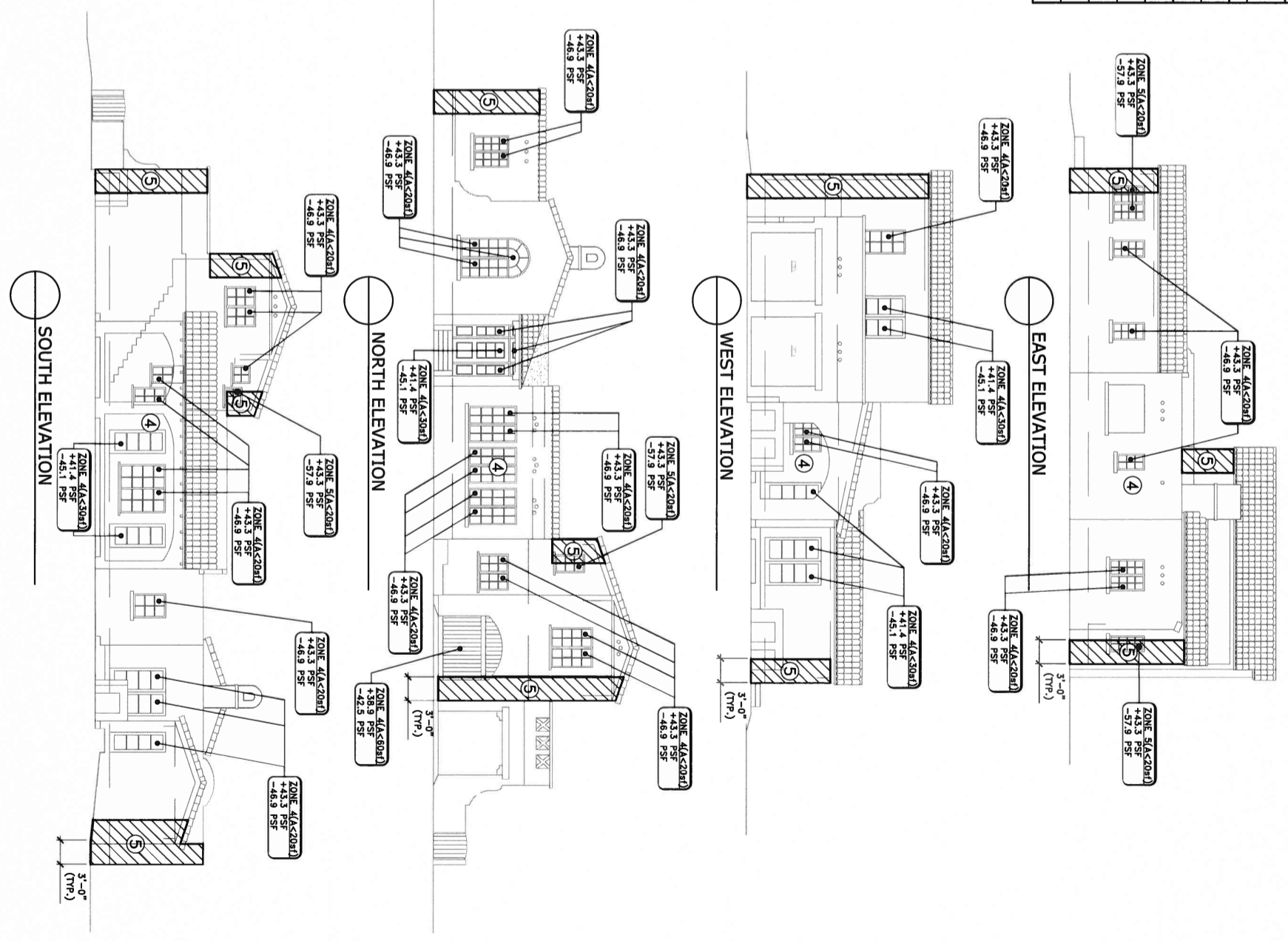
ASD WIND LOAD WALL PRESSURES				
Kd = 0.85				
TRIBUTARY AREA	ZONE 4 (PSF)		ZONE 5 (PSF)	
	(+)	(-)	(+)	(-)
WINDOW	+43.3	-46.9	+43.3	-57.9
DOOR	+41.4	-45.1	+41.4	-53.9
0 sf to 19 sf	+43.3	-46.9	+43.3	-57.9
20 sf. to 29 sf	+41.4	-45.1	+41.4	-53.9
30 sf. to 49 sf	+40.3	-44.0	+40.3	-51.7
50 sf to 99 sf	+38.9	-42.5	+38.9	-48.8
100 sf to 199 sf	+36.7	-40.3	+36.7	-45.1

- NOTES:
- REFER TO DIAGRAM FOR LOCATION OF ZONE 4 AND 5.
 - FOR Kd = 1.0, MULTIPLY VALUES BY 1.18.
 - FOR Kd = 1.0, MULTIPLY VALUES BY 1.18.
 - FOR ULTIMATE VALUES, MULTIPLY VALUES IN TABLE BY 1.67.

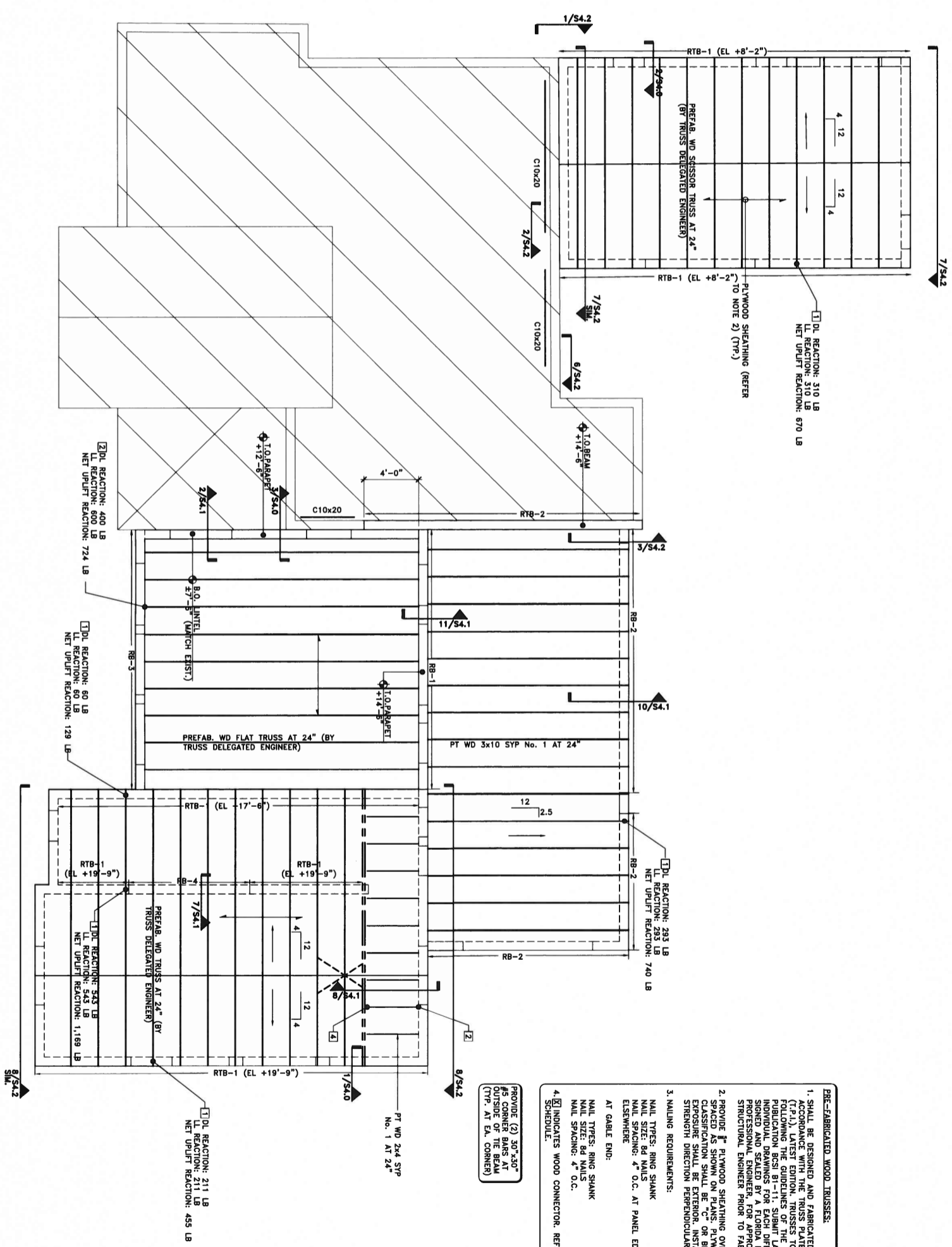
WALL PRESSURES SHOWN ON ELEVATIONS ARE ALLOWABLE VALUES.



ROOF WIND PRESSURE PLAN



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<p>GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA</p>	<p>PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE</p>
<p>DATE: 03.01.16</p>	<p>DESCRIPTION: BLDG. PERMIT</p>
<p>SHEET TITLE ROOF AND WALL WIND PRESSURES</p>	
<p>S1.1</p>	



- PRE-FABRICATED WOOD TRUSSES:**
1. SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE (T.P.I.), LATEST EDITION. TRUSSES TO BE ERECTED FOLLOWING THE GUIDELINES OF THE WTGA & T.P.I. PUBLICATION RESI 81-11. SUBMIT LAYOUT PLAN AND TRUSS MANUFACTURER'S DRAWINGS TO THE REGISTERED PROFESSIONAL ENGINEER FOR APPROVAL BY STRUCTURAL ENGINEER PRIOR TO FABRICATION.
 2. PROVIDE #8 PLYWOOD SHEATHING OVER ALL TRUSSES EXCEPT AS SHOWN. WOOD CLASSIFICATION SHALL BE "C" OR BETTER AND THE EXPOSURE SHALL BE EXTERIOR. INSTALL PANELS STRENGTH DIRECTION PERPENDICULAR TO TRUSSES.
 3. NAILING REQUIREMENTS:
 NAIL TYPES: RING SHANK
 NAIL SIZE: 8d NAILS
 NAIL SPACING: 4" O.C. AT PANEL EDGES; 6" ELSEWHERE
 AT GABLE END:
 NAIL TYPES: RING SHANK
 NAIL SIZE: 8d NAILS
 NAIL SPACING: 4" O.C.
 4. INDICATES WOOD CONNECTOR. REFER TO SCHEDULE.

PROVIDE (2) 30"x30" #5 CORNER BARS AT #5 OUTSIDE OF THE BEAM (TYP. AT EA. CORNER)

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



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	<p>RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA0003098, AR11077 r.fowler@gmail.com</p>
<p>PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE</p>	
DATE: 03.01.16	DESCRIPTION: BLDG. PERMIT
SHEET TITLE: ROOF FRAMING PLAN	
S2.1	



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GILHULY RESIDENCE
414 ALHAMBRA CIRCLE
MIAMI, FLORIDA

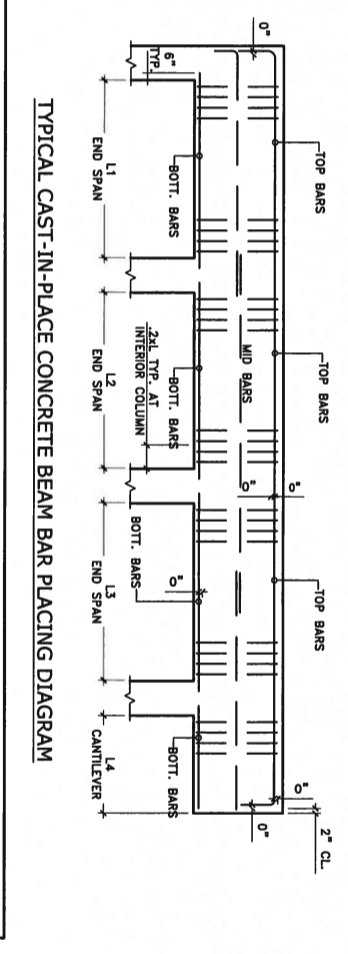
PROJECT DESCRIPTION:
RENOVATION & ADDITIONS TO EXISTING RESIDENCE
DATE: 03.01.16
DESIGNER:
BLDG. PERMIT:

BEAM SCHEDULE NOTES

BAR SIZE	#5	#6	#7	#8	#9
BAR LENGTH	3'-0"	3'-0"	3'-6"	4'-0"	4'-6"

- PLACE FIRST STIRRUP 2" FROM FACE OF SUPPORT. SPACE BALANCE OF TIES AS SCHEDULED. SPACES DESIGNATES NUMBER OF SPACES, NOT QUANTITY OF TIES. IN PRECAST SOFFIT BEAMS, SPECIFIED SHEAR OCCURS AT DISTANCE "D" FROM FACE OF SUPPORT. PLACE FIRST TIE 2" FROM END OF SOFFIT. NEXT 4 TIES AT 8" O.C. (MAX.) AND BALANCE SPACED AT D/2 (MAX.)
- FOR 30" AND DEEPER BEAMS, PROVIDE THE FOLLOWING INTERMEDIATE HORIZONTAL REINFORCING, OR TOP OF PRECAST SOFFIT. PROVIDE 36 BAR DIAMETER LAP AT SUPPORTS AND HOOK DISCONTINUOUS ENDS.

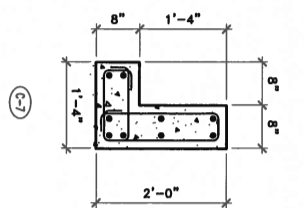
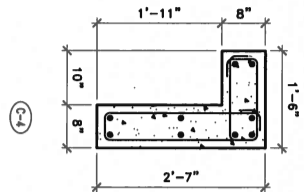
INTERMEDIATE HORIZONTAL REINFORCING	
BEAM DEPTH	30"<D<36" 36"<D<60" 60"<D<72" 72" AND GREATER
REINFORCING	#5 #6 #7 #8 #9



TYPICAL CAST-IN-PLACE CONCRETE BEAM BAR PLACING DIAGRAM

CONCRETE COLUMN SCHEDULE

MARK	SIZE	REINFORCING		REMARKS
		DOWELS	TIES	
(C-1)	8x8	2#5	2#5	
(C-2)	8x12	4#5	4#5	#3 AT 12"
(C-3)	8x16	6#5	6#5	#3 AT 12"
(C-4)	8x11	4#5	4#5	#3 AT 12"
(C-5)	8x22	6#5	6#5	#3 AT 12"
(C-6)	8x30	8#5	8#5	#3 AT 12"
(C-7)	8x25	8#5	8#5	#3 AT 12"
(C-8)	8x29	8#5	8#5	#3 AT 12"
(C-9)	8x15	6#5	6#5	#3 AT 12"
(C-10)	8x8	4#5	4#5	#3 AT 8"
(C-11)	8x16	4#5	4#5	#3 AT 8"
(C-12)	8x12	4#5	4#5	#3 AT 8"
(C-13)	8x*	9#5	9#5	#3 AT 8"
(C-14)	8x18	4#6	4#6	#3 AT 8"



BEAM SCHEDULE

MARK	ELEV. TOP OF BEAM	SIZE "b x d"	REINFORCING			STIRRUPS	REMARKS	
			BOT. CONT.	TOP CONT.	MID CONT.			
RTB-1	VARIES	8x12	2#5	2#5	-	#3	AT 12"	*REFER TO PLAN
RTB-2	+14'-6"	8x*	2#5	2#5	SEE NOTE	#3	AT 16"	*COORD. DEPTH W/ ARCH. DWGS. 33" MAX.
2TB-1	+9'-4"	8x12	2#5	2#5	-	#3	AT 12"	
2TB-2	+8'-4"	8x16	2#5	2#5	-	#3	AT 12"	
2TB-3	+11'-2"	8x24	2#7	2#7	SEE NOTE	#3	AT 3"	
RB-1	+13'-2"	8x62	2#6	2#6	SEE NOTE	#3	AT 16"	
RB-2	+9'-0"	8x*	2#5	2#5	-	#3	AT 5"	*ARCH BEAM. DEPTH VARIES FROM 12" TO 28"
RB-3	+12'-8"	8x54	2#6	2#6	SEE NOTE	#3	AT 16"	
RB-4	+19'-9"	8x39	2#5	2#5	SEE NOTE	#3	AT 16"	
2B-1	+9'-4"	8x28	2#5	2#5	-	#3	AT 12"	
2B-2	+8'-10"	8x31	2#5	2#5	SEE NOTE	#3	AT 12"	
2B-3	+9'-4"	8x*	2#5	2#5	SEE NOTE	#3	AT 16"	*ARCH BEAM. DEPTH VARIES FROM 13" TO 48". VERIFY DEPTH W/ ARCH. DWGS.

WOOD CONNECTOR SCHEDULE

MARK	DESCRIPTION	NO. #/FL. #	CONNECTOR ALLOWABLE LOAD VALUES (LBS)				NAIL SIZE & QUANTITY
			UP/LFT (LB.)	DOWN (LB.)	LATERAL LOAD PARALLEL (LB.)	LATERAL LOAD PERP. (LB.)	
1	WF12	11473.9	1,420	---	340	795	(7) 10d x 1 1/2" NAILS INTO TRUSS
2	HOA10	10448.8	1,165	---	695	780	(4) 1 1/4" x 3 1/2" SDS SCREWS (OR EQUIV.) INTO TRUSS
3	HOA10	11473.8	850	---	1,005	1,105	(4) 1 1/4" x 3 1/2" SDS SCREWS (OR EQUIV.) INTO CONC. (2) 10d NAILS INTO TRUSS GIRDER
4	LUS24	10855.31	370	---	---	---	(2) 10d x 1 1/2" NAILS INTO TRUSS GIRDER

*CONNECTORS SPECIFIED ARE BY SIMPSON STRONG-TIE U.S.A.

WALL FOOTING SCHEDULE

MARK	SIZE WxLxD	REINFORCING				REMARKS
		CONTINUOUS	TRANSVERSE	BOTTOM	TOP	
WF-16	16"xCONT"x12"	2#5	---	---	---	
WF-24	24"xCONT"x12"	3#5	---	4#4 AT 24"	---	
WF-18	18"xCONT"x12"	2#5	---	---	---	MONOLITHIC FOOTING

ISOLATED FOOTING SCHEDULE

MARK	SIZE WxLxD	REINFORCING				REMARKS
		BOTTOM	S.W.	TOP	S.W.	
FA.0	4'-0"x4'-0"x12"	5#5	---	---	---	
FS.0	5'-0"x5'-0"x12"	6#5	---	---	---	

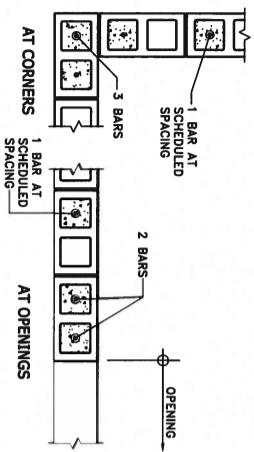
MASONRY WALL SCHEDULE

MARK	THICKNESS	f'm	VERTICAL REINFORCING IN GROUDED CELL	HORIZONTAL REINFORCING	REMARKS
(M-1)	8"	1,500	#5 AT 32"	No. 9 LADDER TYPE @ 16" O.C.	HOOK VERTICAL REINFORCING INTO CONCRETE THE BEAM

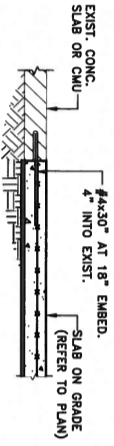
SHEET TITLE

SCHEDULES

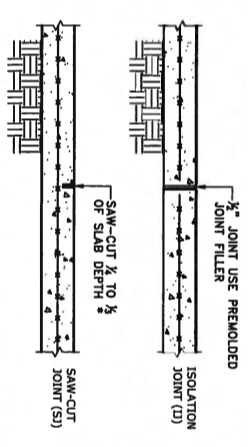
S3.0



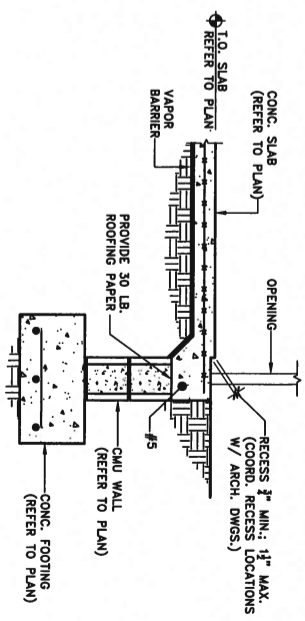
12 TYPICAL MASONRY WALL REINF.
N.T.S.



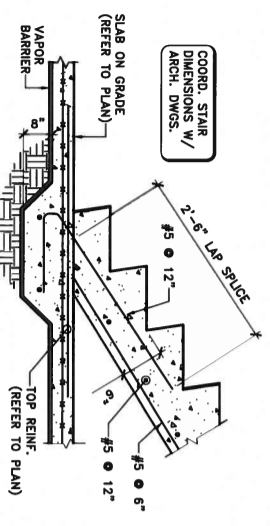
11 SLAB AT EXISTING
SCALE: 3/4" = 1'-0"



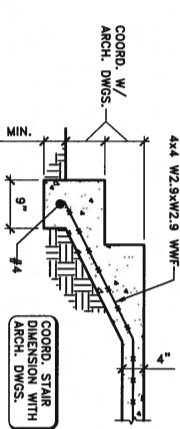
10 CONTROL JOINTS
N.T.S.



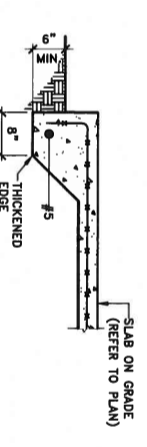
9 TYPICAL WALL SECTION AT OPENING
SCALE: 3/4" = 1'-0"



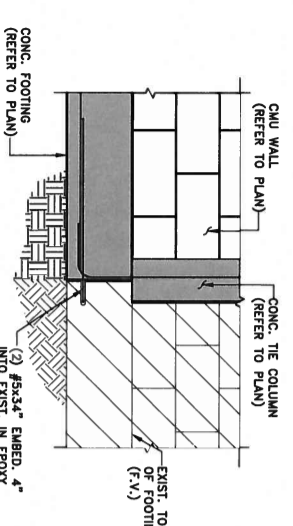
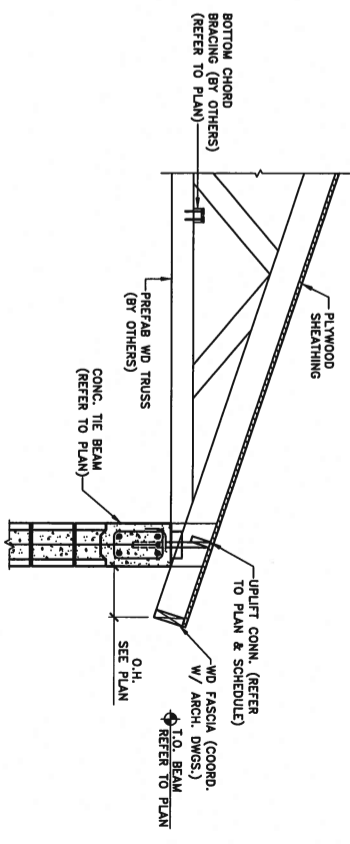
8 STAIR SECTION
SCALE: 3/4" = 1'-0"



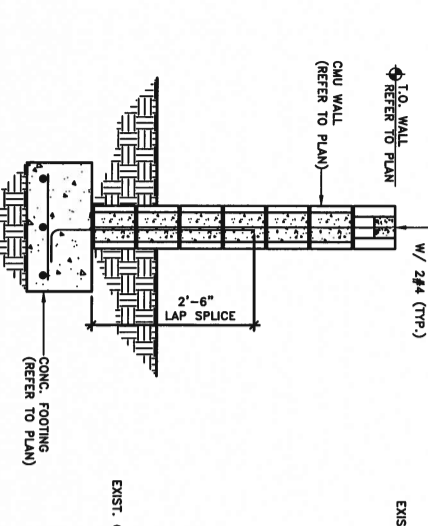
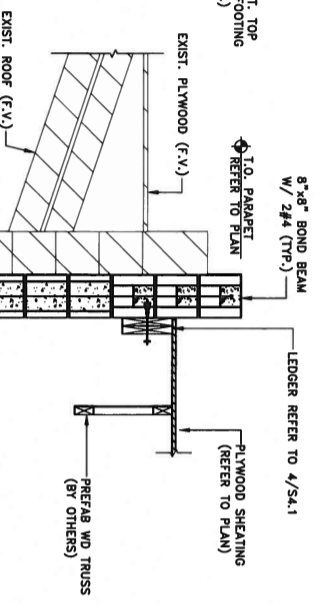
7 STAIR SECTION
SCALE: 3/4" = 1'-0"



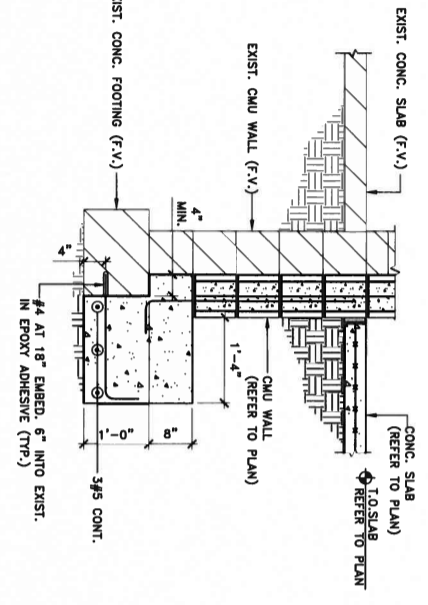
6 T.E. SECTION
SCALE: 3/4" = 1'-0"



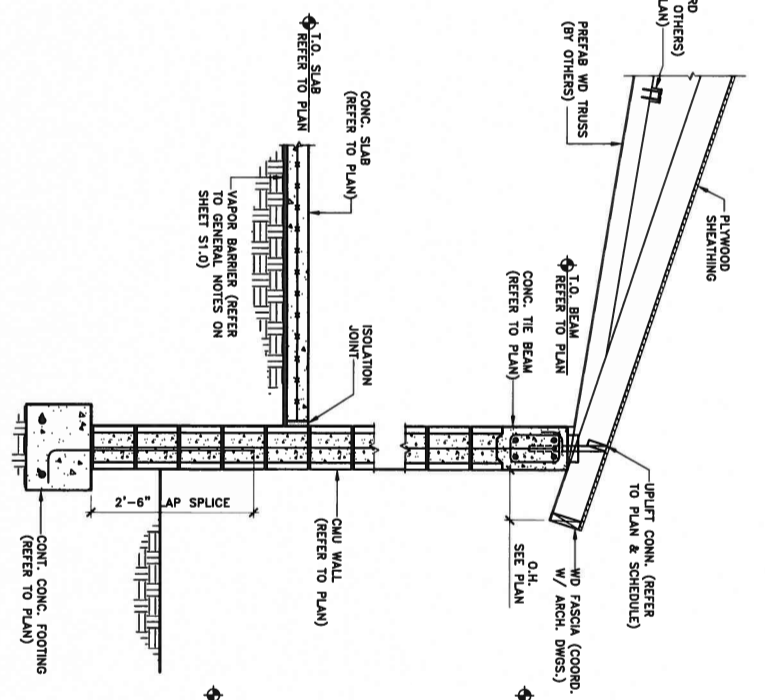
5 FOOTING AT EXISTING
SCALE: 3/4" = 1'-0"



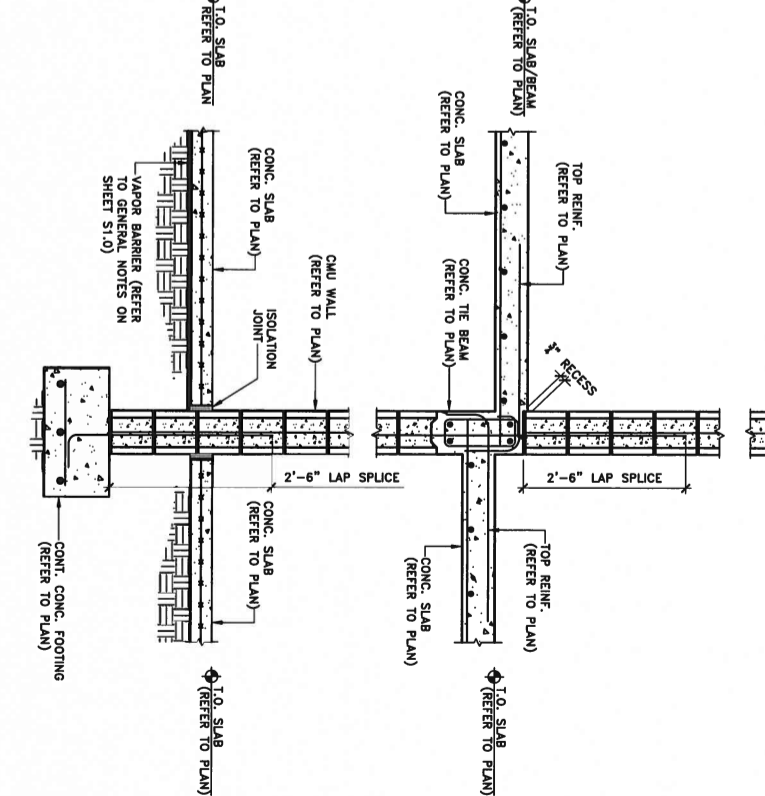
4 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



3 TYPICAL WALL SECTION
AT EXISTING
SCALE: 3/4" = 1'-0"



2 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

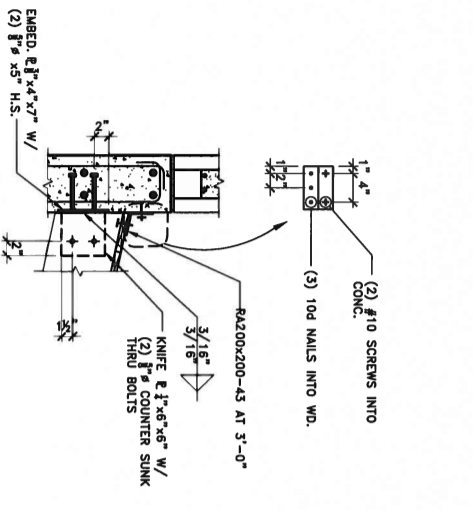


1 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

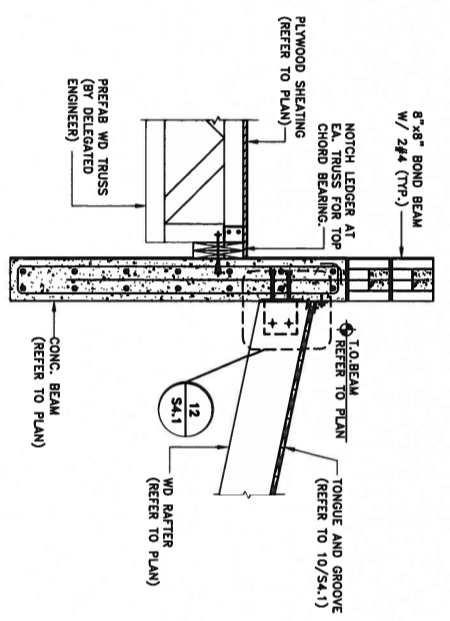
* PROVIDE SEALANT WHERE SAW CUT AS SOON AS POSSIBLE AFTER CONCRETE HARDENS. SAW CUTTING MUST BE COMPLETE WITHIN 8 HRS. AFTER POURING.

RECESS 3" MIN.; 1/2" MAX. RECESS LOCATIONS W/ ARCH. DWGS.

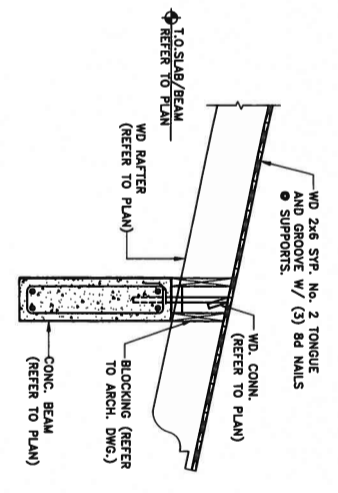
UNITED Engineering & Inc. STRUCTURAL ENGINEERS 9700 S. Doha Highway, Suite 880 Miami, Florida 33156 Tel.: 786.347.2500 Fax: 786.347.2500 Certificate of Authorization No. 28295 Unltd Project No.: 1810-01	
Raymond John Fowler ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA0003089, AR11077 r.fowler@gmail.com	
Gilhuly Residence 414 ALHAMBRA CIRCLE MIAMI, FLORIDA	
PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE	
DATE	DESCRIPTION
03.01.16	BLDG. PERMIT
SECTIONS	
SHEET TITLE	
S4.0	



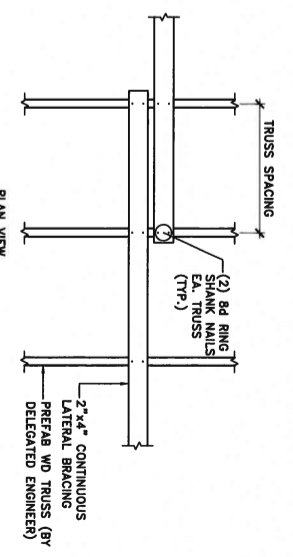
12 RAFTER/BEAM CONN.
SCALE: 1" = 1'-0"



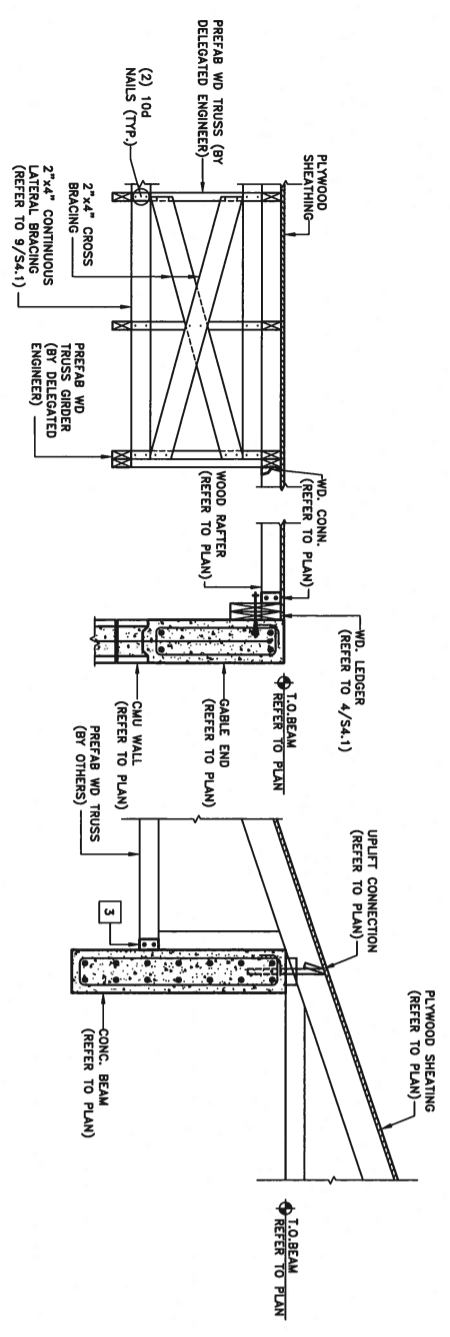
11 FLAT TRUSS/BEAM CONN.
SCALE: 3/4" = 1'-0"



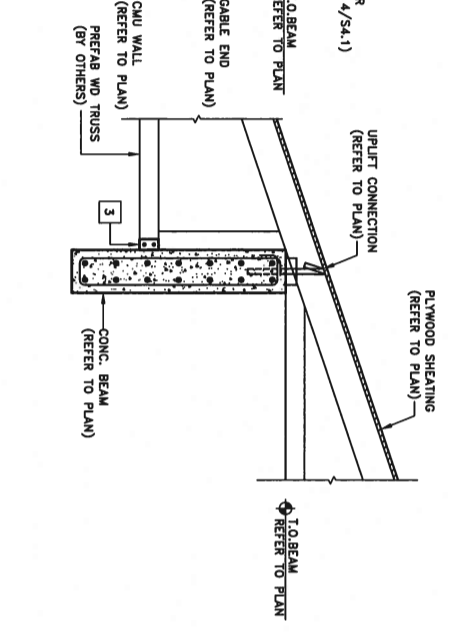
10 RAFTER/ARCH BEAM DETAIL
SCALE: 3/4" = 1'-0"



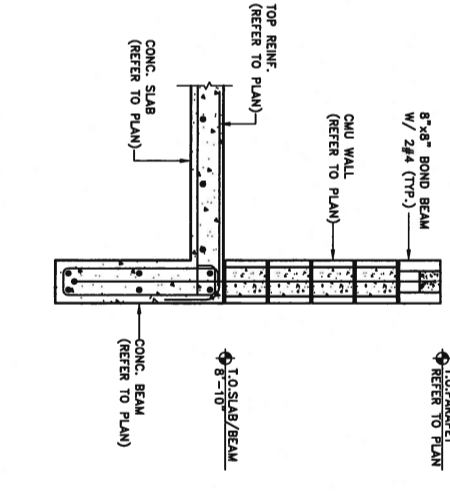
9 BOTTOM CHORD BRACING DETAIL
SCALE: 3/4" = 1'-0"



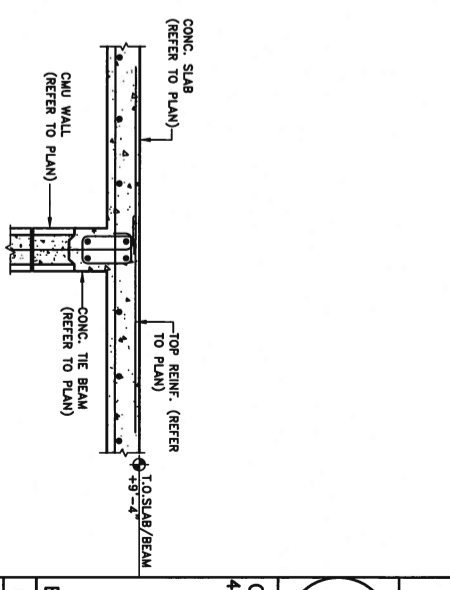
8 CROSS BRACING SECTION
SCALE: 3/4" = 1'-0"



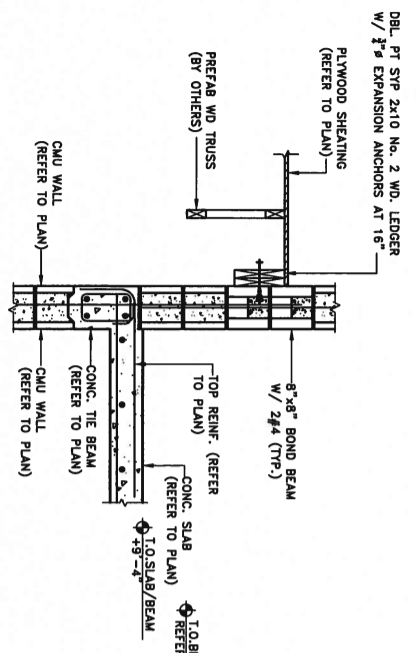
7 INTERIOR WALL SECTION
AT ROOF
SCALE: 3/4" = 1'-0"



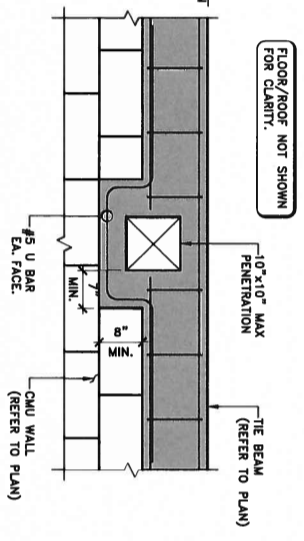
6 BALCONY PARAPET
SCALE: 3/4" = 1'-0"



5 INTERIOR WALL SECTION
AT SECOND FLOOR
SCALE: 3/4" = 1'-0"



4 LEDGER/WALL CONN.
SCALE: 3/4" = 1'-0"

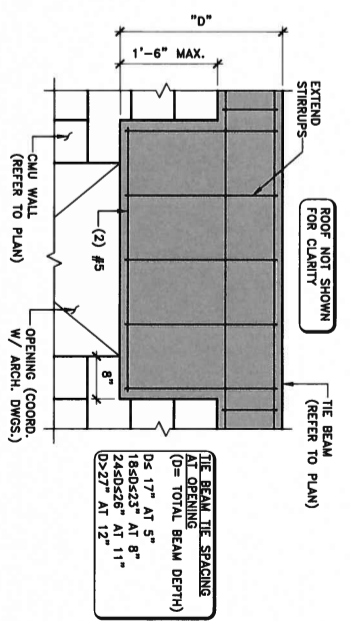


3 TYPICAL MECH. PENETRATION
AT THE BEAM
SCALE: 3/4" = 1'-0"

2 LINTEL DETAIL AND SCHEDULE N.T.S.

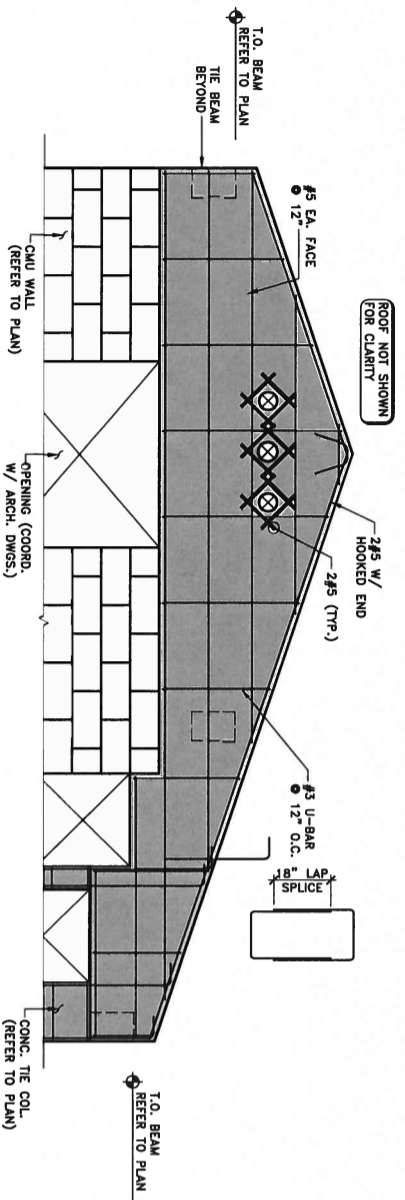
LINTEL SCHEDULE					
MAX. SPAN	MIN. SIZE	TOP REINF.	MID. REINF.	BOTT. REINF.	TES
6'-0"	8"x8"	-	-	2#5	-

- MINIMUM BEARING 8" EACH END.
 - EXTEND BARS 6" BEYOND FACE OF SUPPORT.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
 - CONTRACTOR MAY SUBSTITUTE C.I.P. LINTEL W/ PRECAST LINTEL SHOP DRAWINGS MUST BE SUBMITTED FOR PRECAST LINTELS.

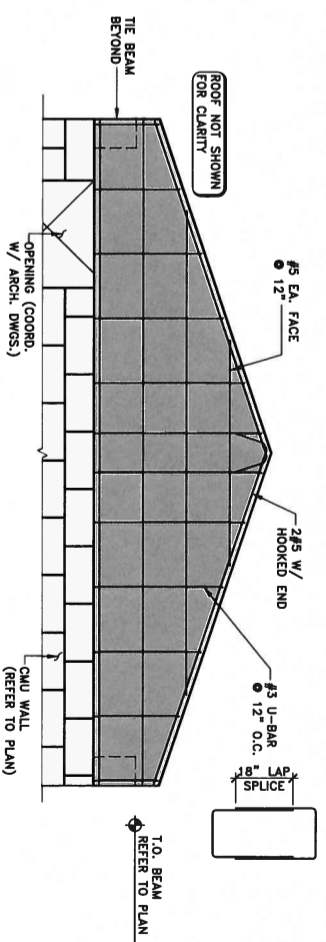


1 TIE BEAM AT OPENING
SCALE: 3/4" = 1'-0"

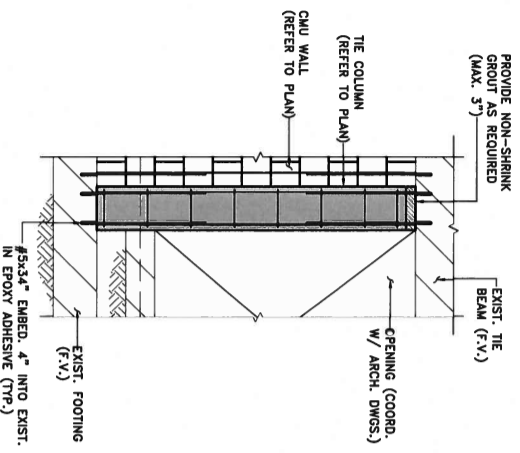
		RAYMOND JOHN FOWLER ARCHITECT, INC. 615 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33036 Telephone: 305.245.6044 License #AA0003098, AR11077 r.fowler@gmail.com	
UNITED ENGINEERING & INC. STRUCTURAL ENGINEERS 9700 S. Dixie Highway, Suite 880 Miami, Florida 33156 Tel.: 786.347.2320 Fax: 786.347.2320 Equal Opportunity Employer Certificate of Subcontractor No. 28391 UNITED Project No.: 1810-01		Gilhuly Residence 414 Alhambra Circle Miami, Florida	
PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE		DATE: 03.01.16 BLDG. PERMIT:	
SHEET TITLE SECTIONS		S4.1	



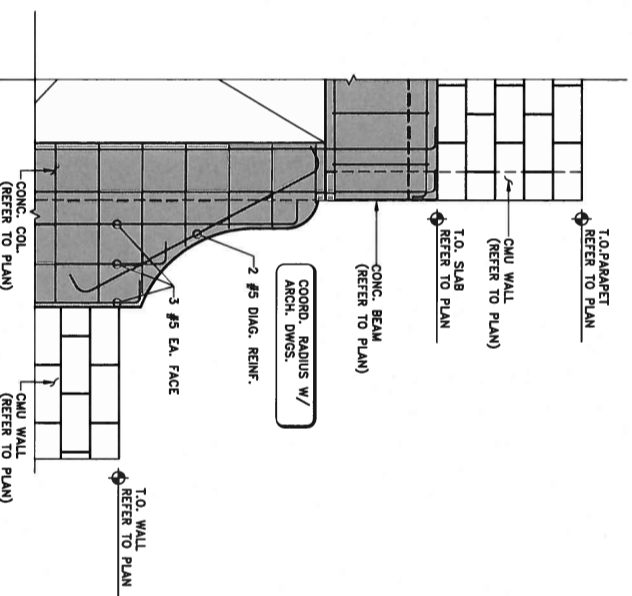
8 GABLE WALL ELEVATION
AT SITTING ROOM
SCALE: 1/2" = 1'-0"



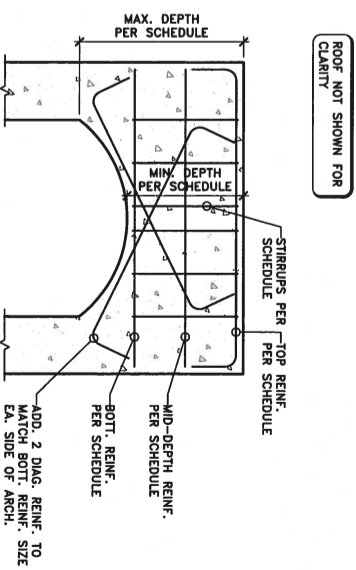
7 GABLE WALL ELEVATION
AT MASTER BEDROOM
SCALE: 1/2" = 1'-0"



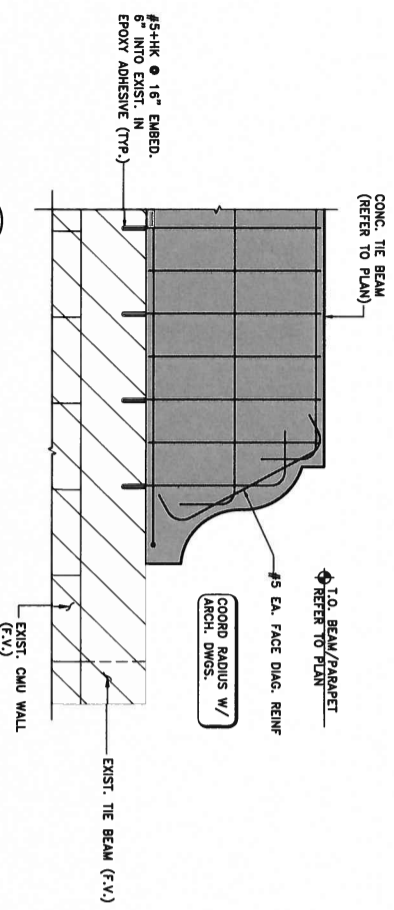
6 OPENING ENLARGEMENT ELEVATION
TIE COLUMN
SCALE: 1/2" = 1'-0"



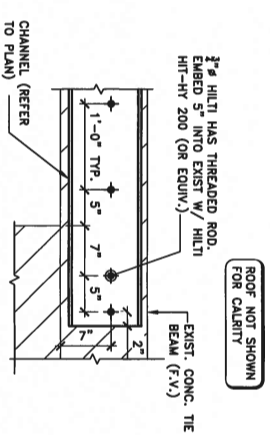
5 RAFTER/ARCH BEAM DETAIL
SCALE: 1/2" = 1'-0"



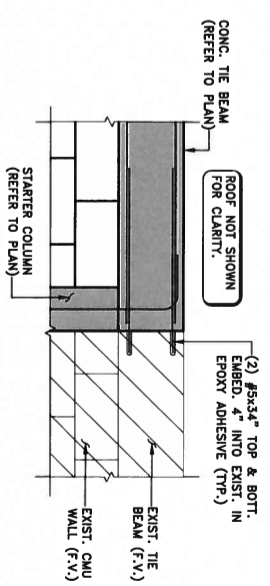
4 TYPICAL ARCH BEAM DETAIL
NTS



3 STEP PARAPET ELEVATION
AT SITTING ROOM
SCALE: 3/4" = 1'-0"



2 CHANNEL/EXIST CONN.
SCALE: 1" = 1'-0"



1 TIE BEAM AT EXISTING
SCALE: 3/4" = 1'-0"

UNITED
Engineers & Inc.
STRUCTURAL ENGINEERS
9700 S. Dale Highway, Suite 880
Miami, Florida 33156
Tel.: 786.347.2320
Fax: 786.347.2320
Certificate of Authorization No. 28393
UNITED Project No.: 1810-01

John J. Korman, P.E., SE, LEED AP
FLORIDA LICENSE NO. 62205

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GILHULY RESIDENCE
414 ALHAMBRA CIRCLE
MIAMI, FLORIDA

PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE

DATE	DESCRIPTION
03.01.16	BLDG. PERMIT

SHEET TITLE
SECTIONS

S4.2

