

HISTORIC PRESERVATION AD-VALOREM TAX EXEMPTION

PART 2 – REQUEST FOR REVIEW OF COMPLETED WORK

INSTRUCTIONS:

Upon completion of the restoration, rehabilitation, or renovation, return this form **with photographs of the completed work (both exterior and interior views of the building)** to the City of Coral Gables Historical Resources Department.

Each photograph must be clearly labeled, and they should be the same views as the before photographs that were included in the Preconstruction Application.

If there are conditions included as part of the Final Recommendation from the local Historic Preservation Officer, the application will not be considered complete until all conditions have been met and acknowledged by the local Historic Preservation Officer.

I. Property identification and location:

Property Name: Coral Rock Residence Thematic Group

Folio Number: 03-4118-001-0050

Street Address: 814 Coral Way, Coral Gables, Florida 33134

CITY OF CORAL GABLES
HISTORICAL RESOURCES

2015 JUN 23 PM 4:12

II. Data on restoration, rehabilitation or renovation project:

Project start date: October, 2011

Project completion date: September 2014

Cost of entire project: \$2,610,000.00 + \$1,270,000.00 (original purchase of structure)

Estimated costs attributed to work on historic buildings: \$ 1,500,000.00

Name of architect: Jenifer Briley Phone: 305-857-9323

Name of Contractor: New Beach Construction Phone: 305-577-6402

Owner attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in the Preconstruction Application for this project which received approval on June 5, 2013.

I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and is consistent with the work described in the Preconstruction Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this application, I agree to allow access to the property by representatives of the City of Coral Gables Historical Resources Department, the County Historic Preservation Office, and the Office of the Property Appraiser, for the purpose of verification of information provided in this application. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the City of Coral Gables and Miami-Dade County granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this application is subject to criminal sanctions pursuant to the Laws of Florida.

LAURIE JEWELL _____  6/8/15
Print Name Signature Date

Complete the following, if signing for an organization.

Print Name Title Signature

Name of Organization _____

Taxpayer Identification Number _____

Mailing Address _____

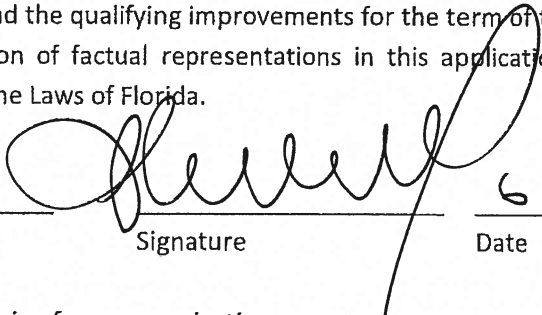
City _____ State _____ Zip Code _____

Daytime Telephone Number _____

Multiple owners must provide the same information as above. Use additional sheets if necessary.

**[Please attach the photographic documentation here, use additional pages if necessary.
Provide a copy of all photographs on CD, if possible.]**

I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and is consistent with the work described in the Preconstruction Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this application, I agree to allow access to the property by representatives of the City of Coral Gables Historical Resources Department, the County Historic Preservation Office, and the Office of the Property Appraiser, for the purpose of verification of information provided in this application. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the City of Coral Gables and Miami-Dade County granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this application is subject to criminal sanctions pursuant to the Laws of Florida.

OWEN MORREL  6-8-15
Print Name Signature Date

Complete the following, if signing for an organization.

Print Name Title Signature

Name of Organization _____

Taxpayer Identification Number _____

Mailing Address _____

City _____ State _____ Zip Code _____

Daytime Telephone Number _____

Multiple owners must provide the same information as above. Use additional sheets if necessary.

**[Please attach the photographic documentation here, use additional pages if necessary.
Provide a copy of all photographs on CD, if possible.]**

**REVIEW OF COMPLETED WORK
TO BE FILLED OUT BY THE
LOCAL HISTORIC PRESERVATION OFFICER**

Street Address of property 814 Coral Way
Folio number 03-4118-001-0050

The local Historic Preservation Officer has reviewed Part 2 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

Determines that improvements to the above referenced property are consistent with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore recommends approval of the requested historic preservation tax exemption.

Determines that improvements to the above referenced property are not consistent with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Please list any Review Comments here:

Additional Review Comments attached? Yes [] No

Signature: Dona M. Spain

Typed or printed name: Dona M. Spain

Title: Historic Preservation officer, city of Coral Gables

Date of Review: July 8, 2015

2015 JUN 23 PM 4:13

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES

Residence 2015
Owen Morrel and Laurie Jewell
814 Coral Way, Coral Gables, FL. 33134

Historic Preservation Ad-Valorem Tax Exemption
Part 2- Request For Review of Completed Work



1. Front (North) Facade of Existing Residence



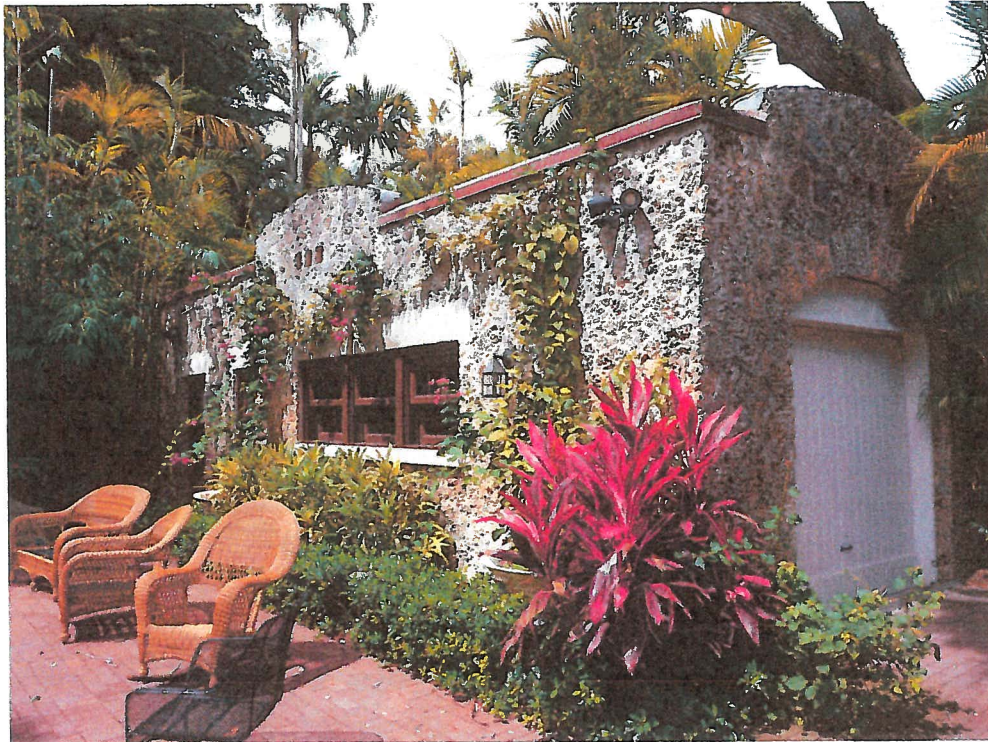
2. North Facade - Carport



3. East Facade of Existing Residence



4. East Facade Detail of Existing Windows



5. East Facade of Existing Garage



6. East facade of Existing Garage Detail



7. South Elevation of Existing Residence



8. Southeast corner of Existing Residence



9. Existing Southeast Corner



10. South Facade of Existing Building



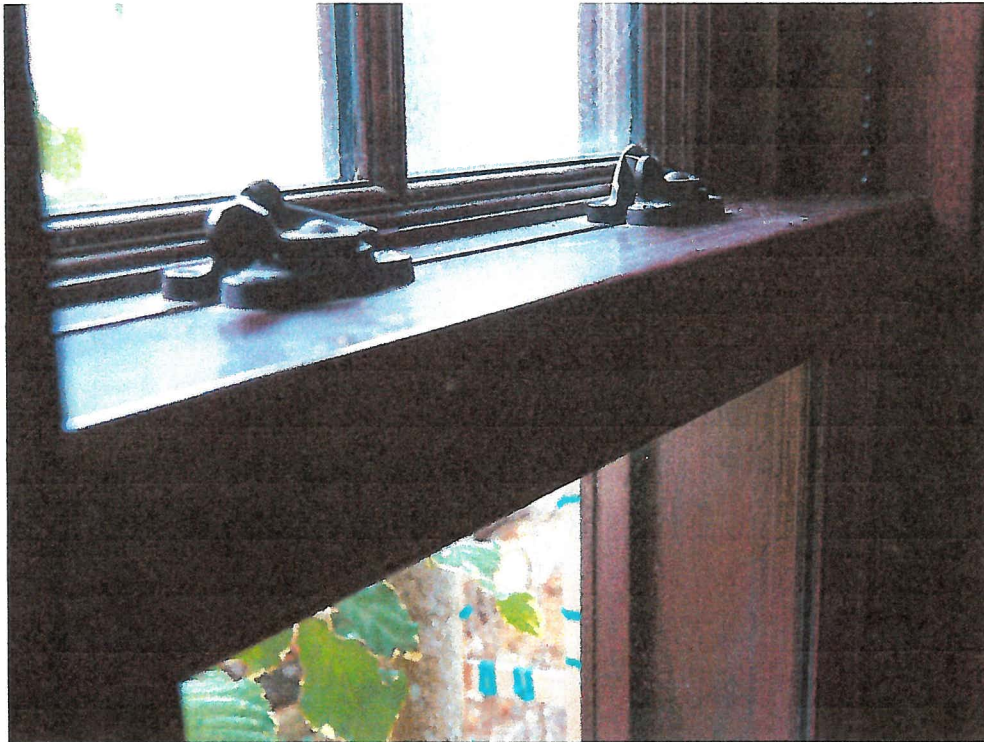
11. Exterior Carport at West



12. West Elevation Beyond Carport



13. West Elevation of Existing Garage



14. Detail of Garage Window



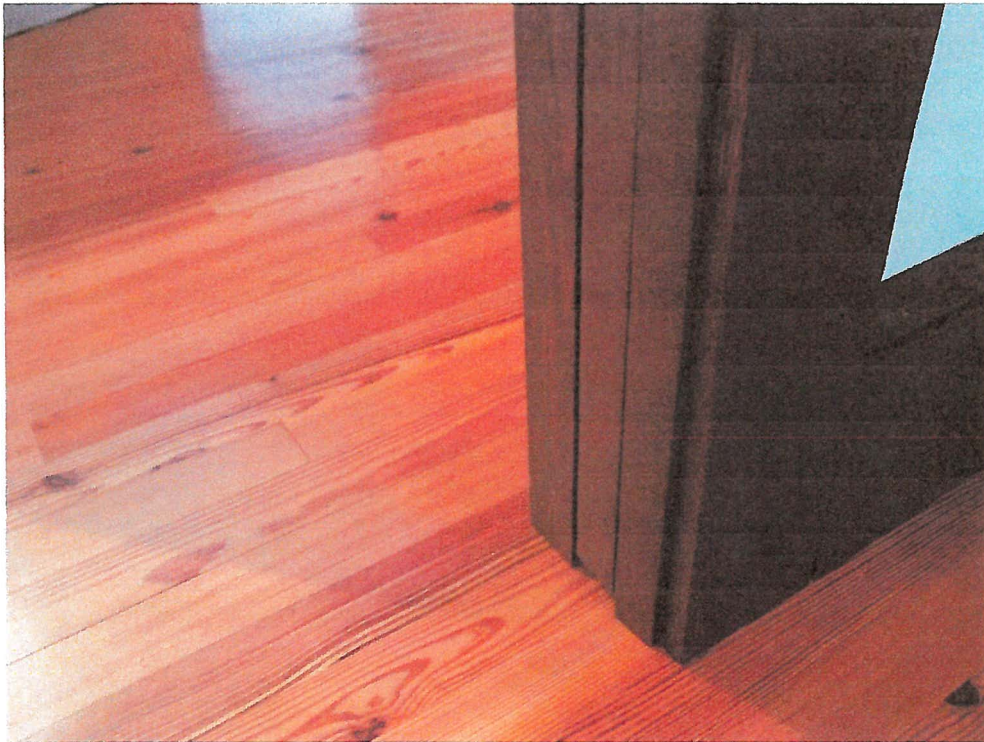
15. Living Room Looking East



16. Fireplace



17. Living Room Looking Northwest



18. Detail of Floor Partion between Living and Dining Rooms



19. Dining Room Looking West



20. Dining Room Looking Southwest



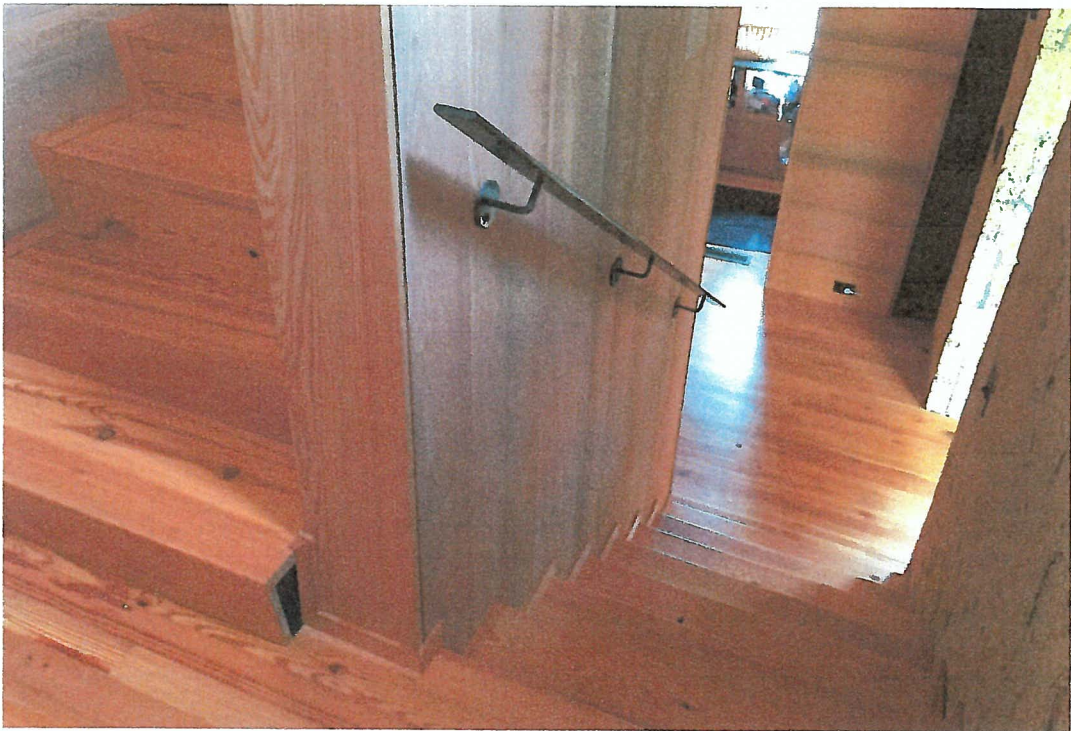
21. Dining Room Looking East



22. Northwest Florida Room Looking Northwest



63. Second floor living area



64. Stairs leading to second floor



65. Window and ceiling details of glass kitchen nook



66. Window and ceiling woodworking details og glass kitchen nook



67. Middle room, west view



68. Middle room, east view



69. Kitchen and glass nook



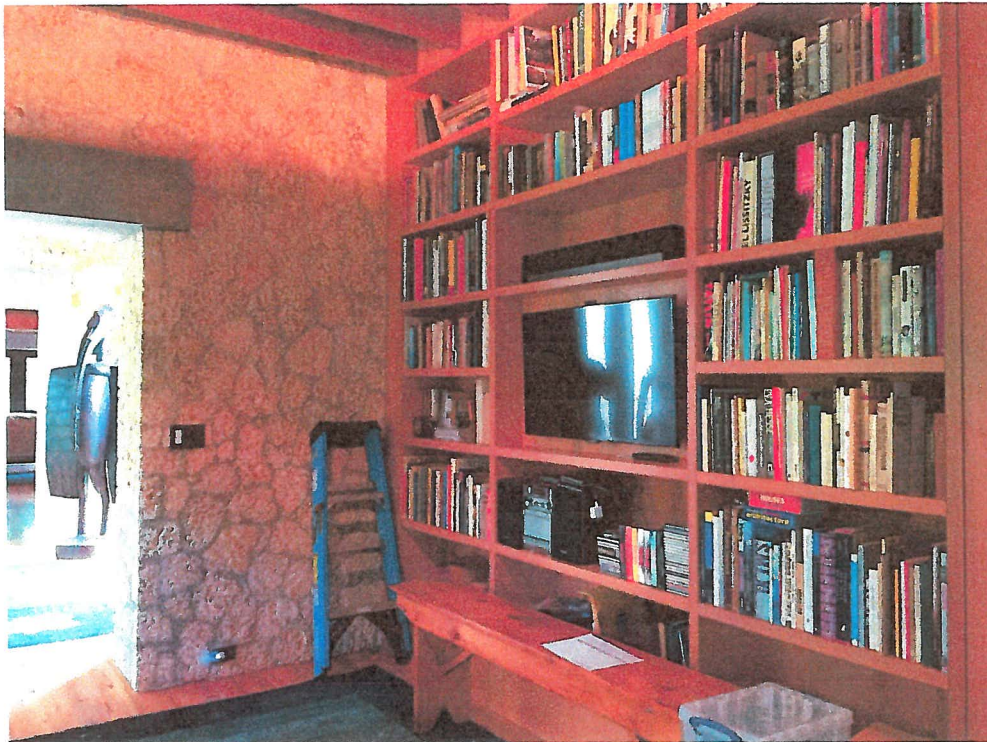
70. Front entrance landscaping, view from entry door



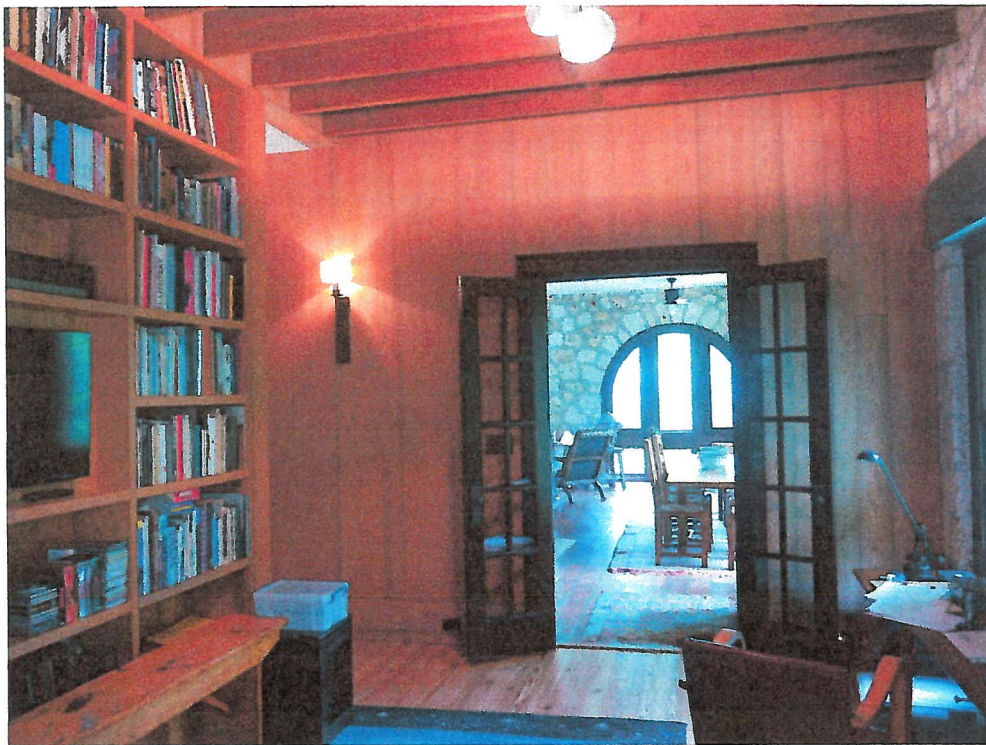
23. Northwest Florida Room Looking Northeast



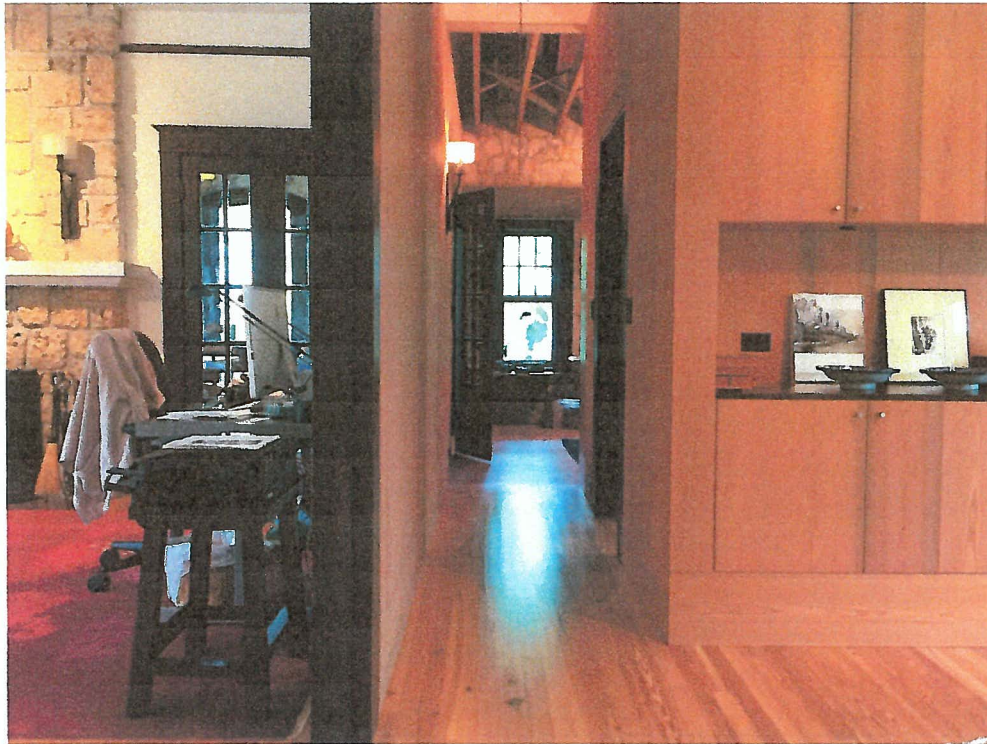
24. Northwest Florida Room (Looking Southeast)



25. Southeast Bedroom Looking South



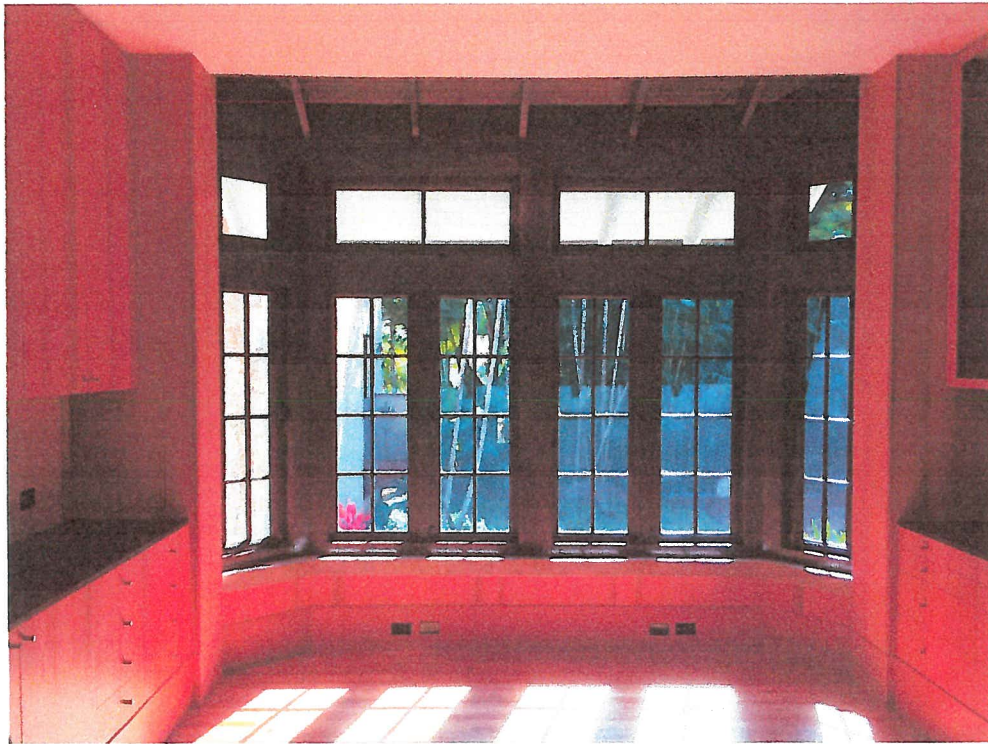
26. Southeast Bedroom Looking Northeast



27. Center Hallway



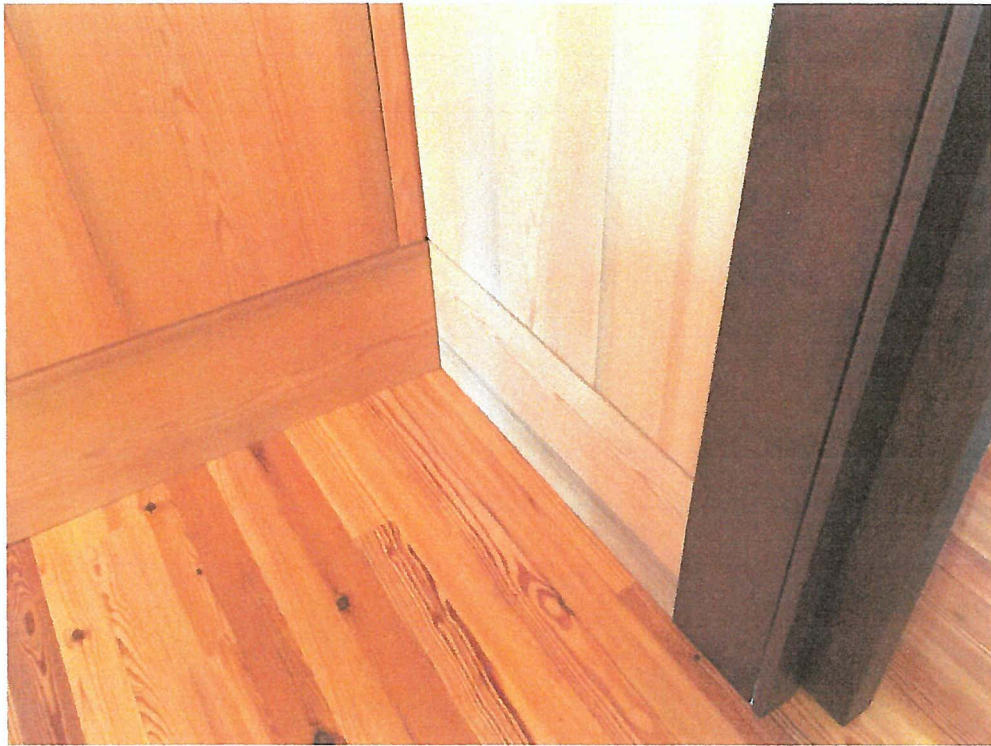
28. Bathroom off Hallway Looking South



29. Middle Room Looking South



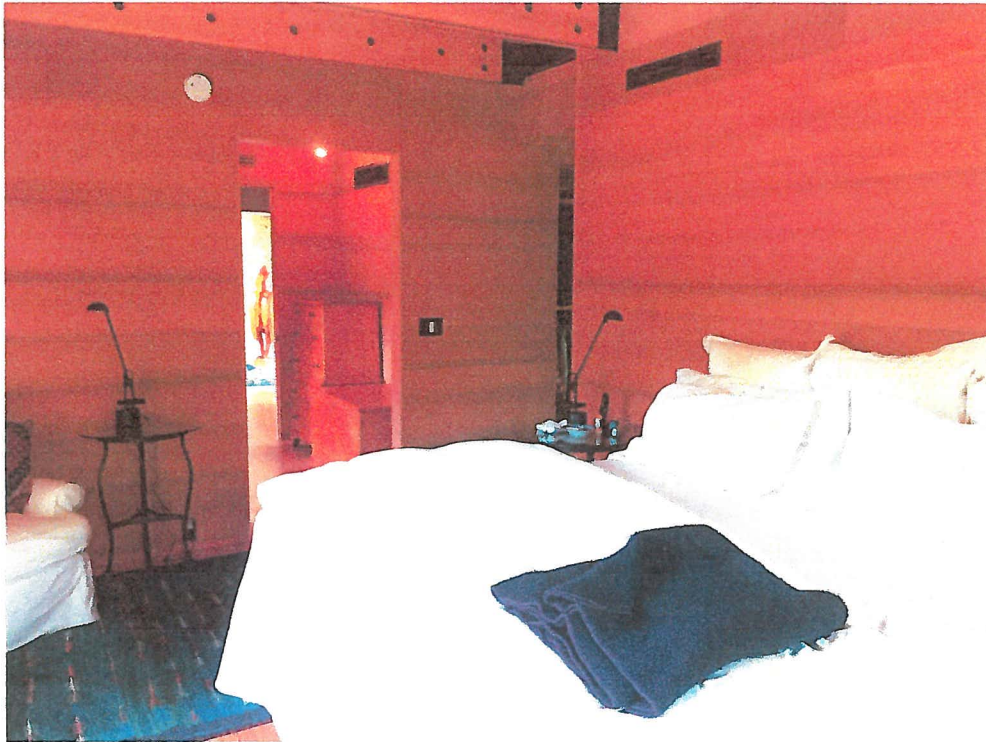
30. Middle Room Looking North



31. Base Detail



32. Southwest Bedroom Looking South



33. Southwest Bedroom Looking Northeast



34. Southwest Bathroom Looking Southwest



35. Kitchen looking North



36. Kitchen Looking Southwest



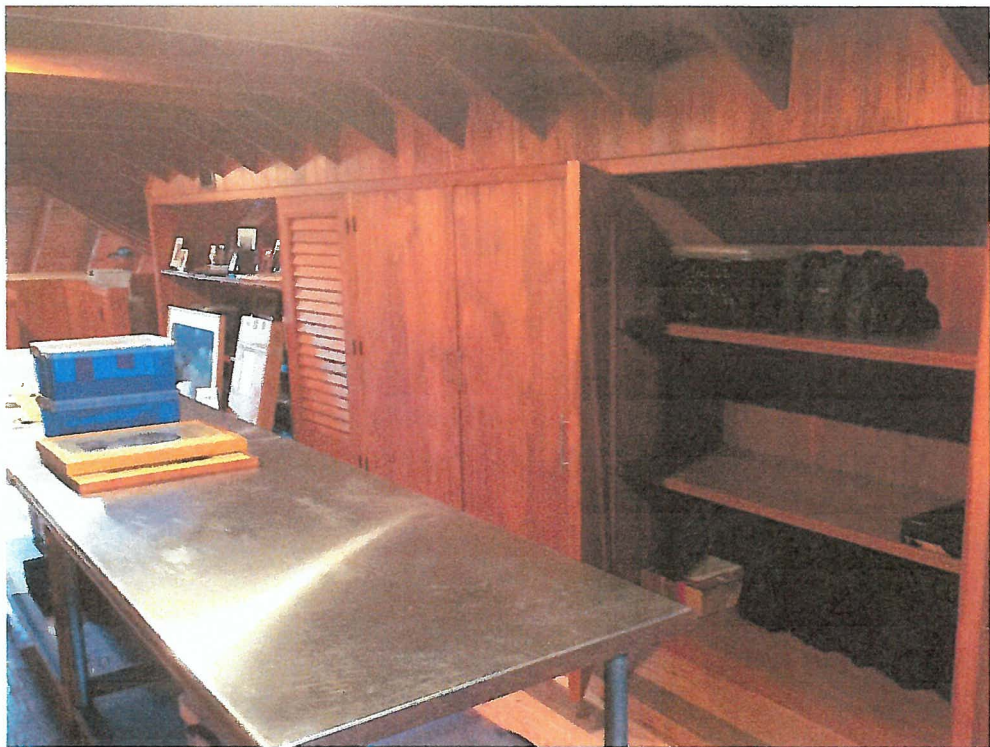
37. Kitchen Looking West



38. Attic Looking East



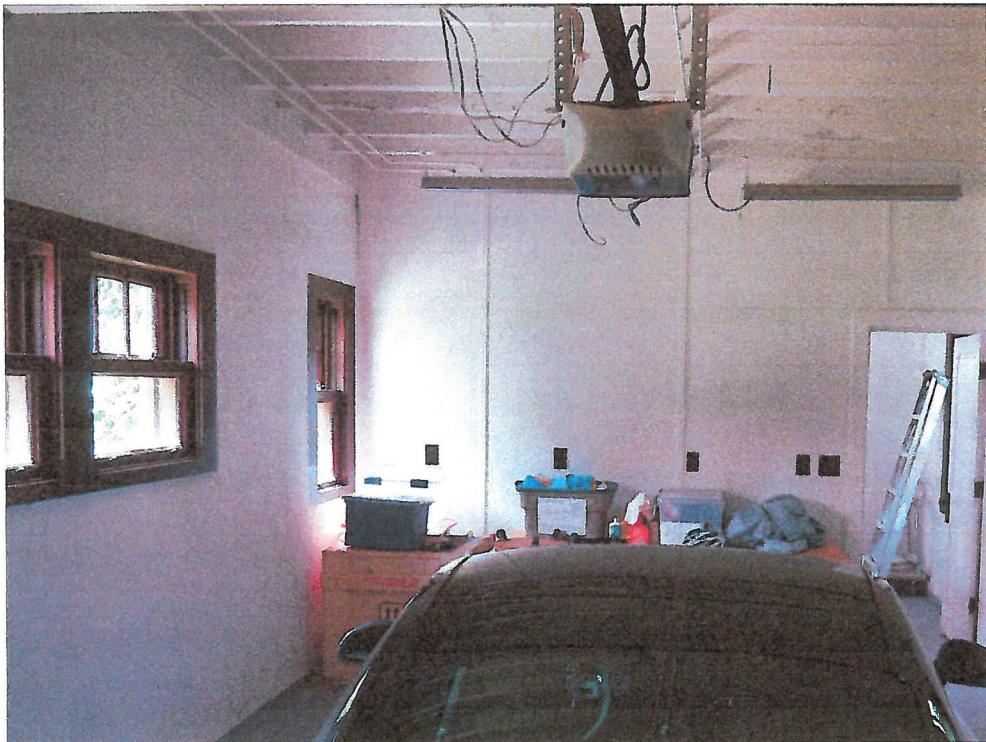
39. Attic Looking West



40. Attic Looking North



41. Existing Crawl Space



42. garage Interior Looking East



43. Room at Rear of Garage Looking Southwest



44. Room at rear of Garage Looking North



45. Landscape along Coral Way



46. Existing Front Sidewalk



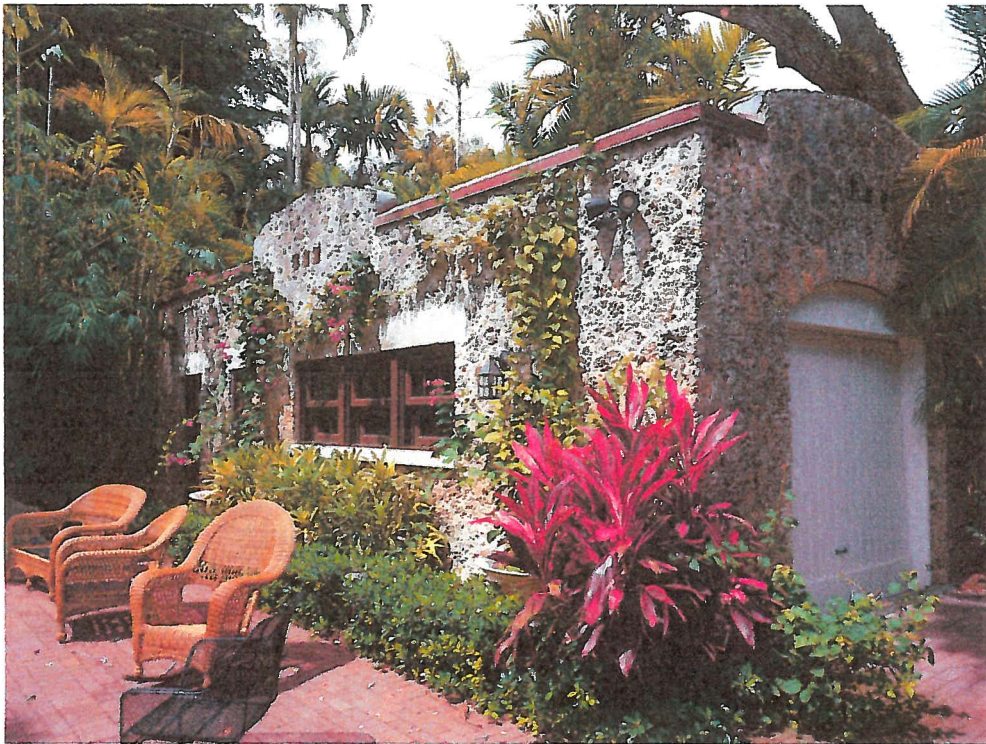
47. Rear Yard Looking East



48. Rear Yard Looking South



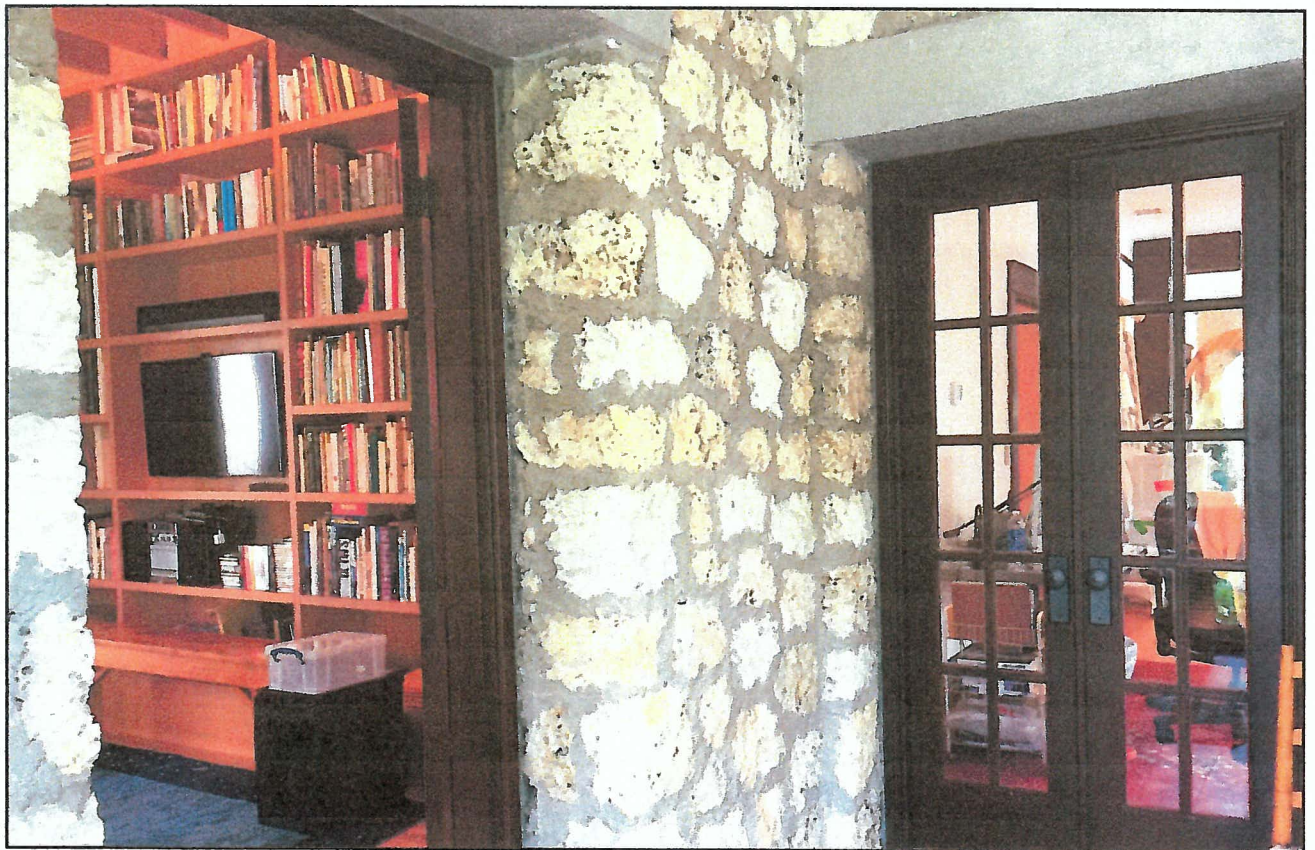
49. Fountain at Rear Yard



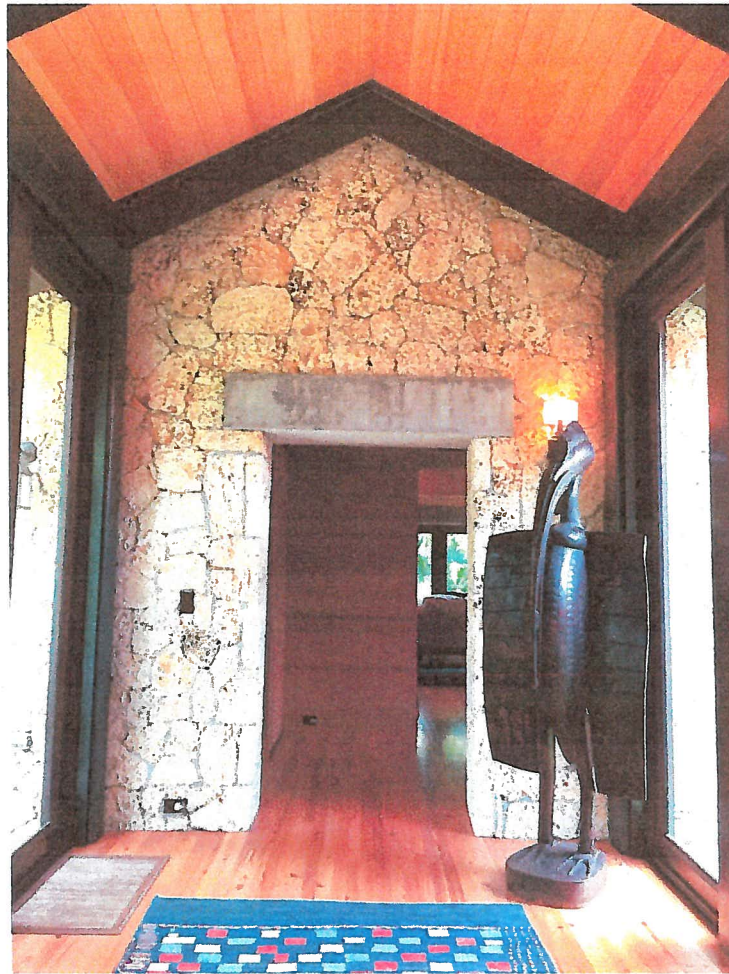
50. Rear Yard Looking Southwest



51. Library ceiling view



52. Library entry view



53. Glass hallway to bedroom



54. Glass hallway to bedroom



55. Glass hallway door to outside



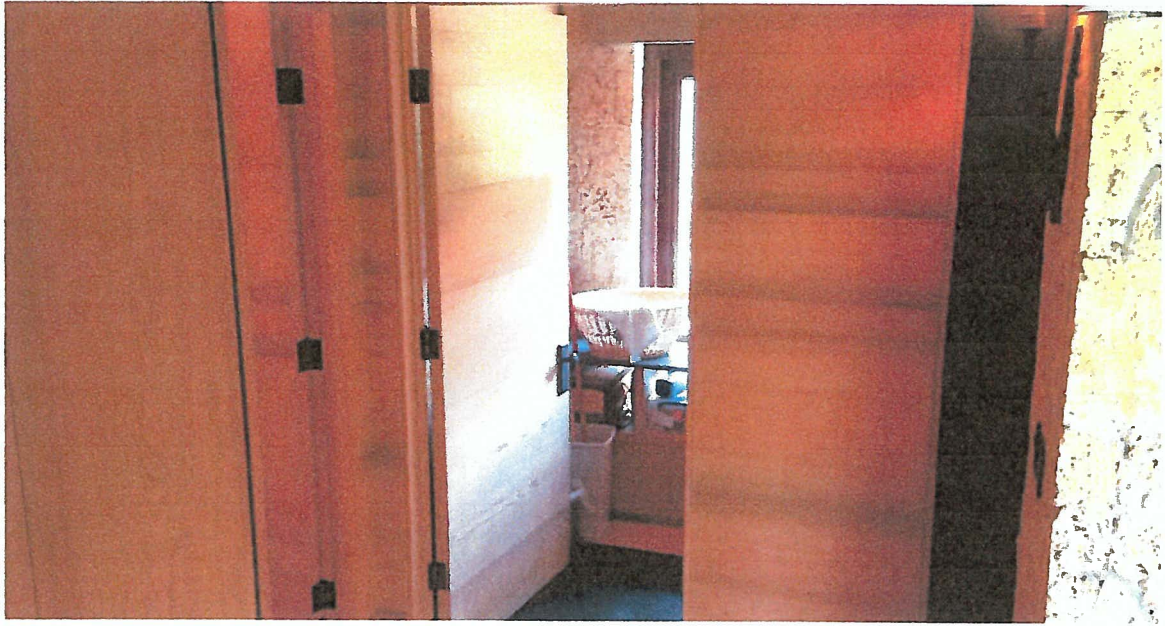
56. Entry to glass hallway from outside



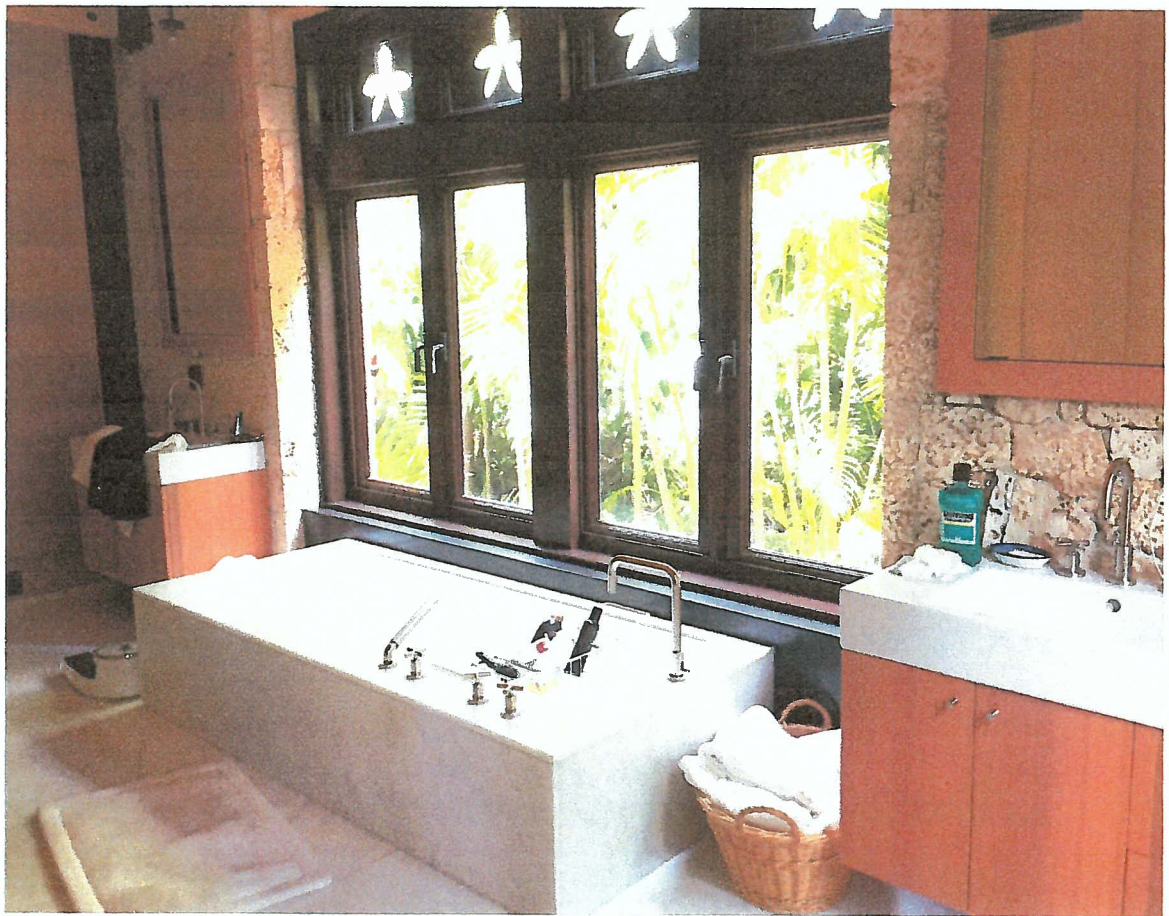
57. Glass kitchen nook (view from glass hallway)



58. Interior view to glass nook in kitchen



59. Laundry room



60. Bathroom



61. Bedroom balcony (view from rear yard)



62. Balcony view from masterbedroom

BOUNDARY SURVEY

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LEGAL DESCRIPTION: Lots 7 and 8, Block 1, CORAL GABLES SECTION A, according to the Plat thereof, as recorded in Plat Book 5 at Page 102, of the Public Records of Dade County, Florida, now known as Miami-Dade County, Florida.

SURVEY FOR: OWEN MORREL AND LAURIE JEWELL
814 CORAL WAY
CORAL GABLES, FLORIDA 33134

I HEREBY CERTIFY: That the SKETCH OF SURVEY of the above captioned property was completed under my supervision and/or direction, to the best of my knowledge and belief. This survey meets or exceeds the Minimum Technical Standards set forth by the Florida Board of Land Surveyors in Chapter 5J-17 Florida Administrative Code. Pursuant to Section 472.027, Florida Statutes.

DELTA MAPPING AND SURVEYING, INC.

DELTA MAPPING AND SURVEYING, INC.
13301 SW 132ND AVE., SUITE 117
MIAMI, FLORIDA 33186

WALDO F. PAEZ DATE SIGNED: 6-09-15
PROFESSIONAL SURVEYOR AND MAPPER
NO. 3284
STATE OF FLORIDA

CERTIFICATE OF AUTHORIZATION
L.B. NO. 7950
STATE OF FLORIDA

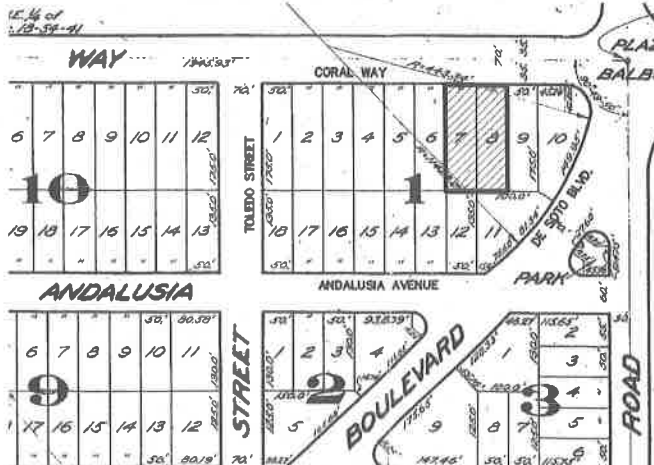
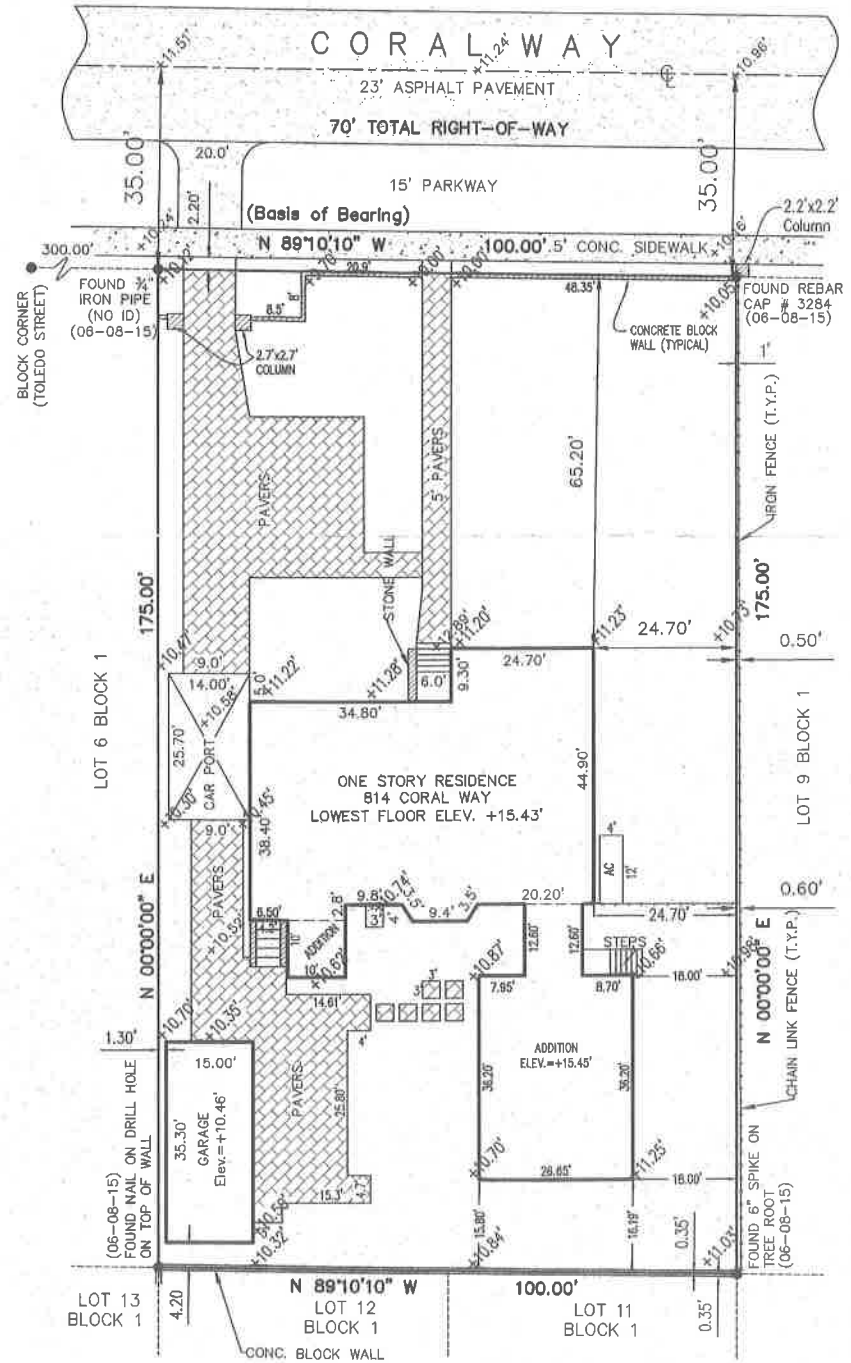
786-429-1024
FAX: 786-592-1152

- 1) FLOOD ZONE: X PANEL NO. 12086C0457 L
- 2) COMMUNITY NO. 120639 DATE OF MAP: 9-11-09
- 3) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- 4) EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY
- 5) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED
- 6) LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
- 7) OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- 8) TYPE OF SURVEY: BOUNDARY SURVEY
- 9) THE HEREIN CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE SHOWN LEGAL DESCRIPTION: PROVIDED BY CLIENT
- 10) SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID AND FOR REFERENCE ONLY, UNLESS SIGNED AND SEALED WITH THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 11) THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- 12) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 13) THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- 14) ACCURACY: THE EXPECTED USE OF LAND AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17), IS "SUBURBAN". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THE TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT
- 15) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- 16) NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- 17) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 18) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
0.0 DENOTES EXISTING ELEVATION
ELEVATION REFERS TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929
BENCHMARK: P-510 ELEVATION: +11.78'
LOCATOR INDEX: 4152 W

BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF N 89 10'10"W FOR THE SOUTH RIGHT OF WAY OF CORAL WAY

FIELD SURVEY DATE: 07-10-13 SCALE: 1" = 20' DRAWN BY: M.A.B.
DRAWING DATE: 07-11-13 FB: SKETCH DRAWING NO.: 15-0345
REVISED DATE: 06-09-15 (UP-DATE) NEW DRAWING NO.: 15-0345



LOCATION SKETCH
NOT TO SCALE

SEAL

Delta Mapping and Surveying, Inc

EST. 2012

13301 SW 132ND AVENUE, SUITE 117 MIAMI FL 33186
PHONE: (786) 429-1024 E-MAIL: DELTAMAPPING@GMAIL.COM

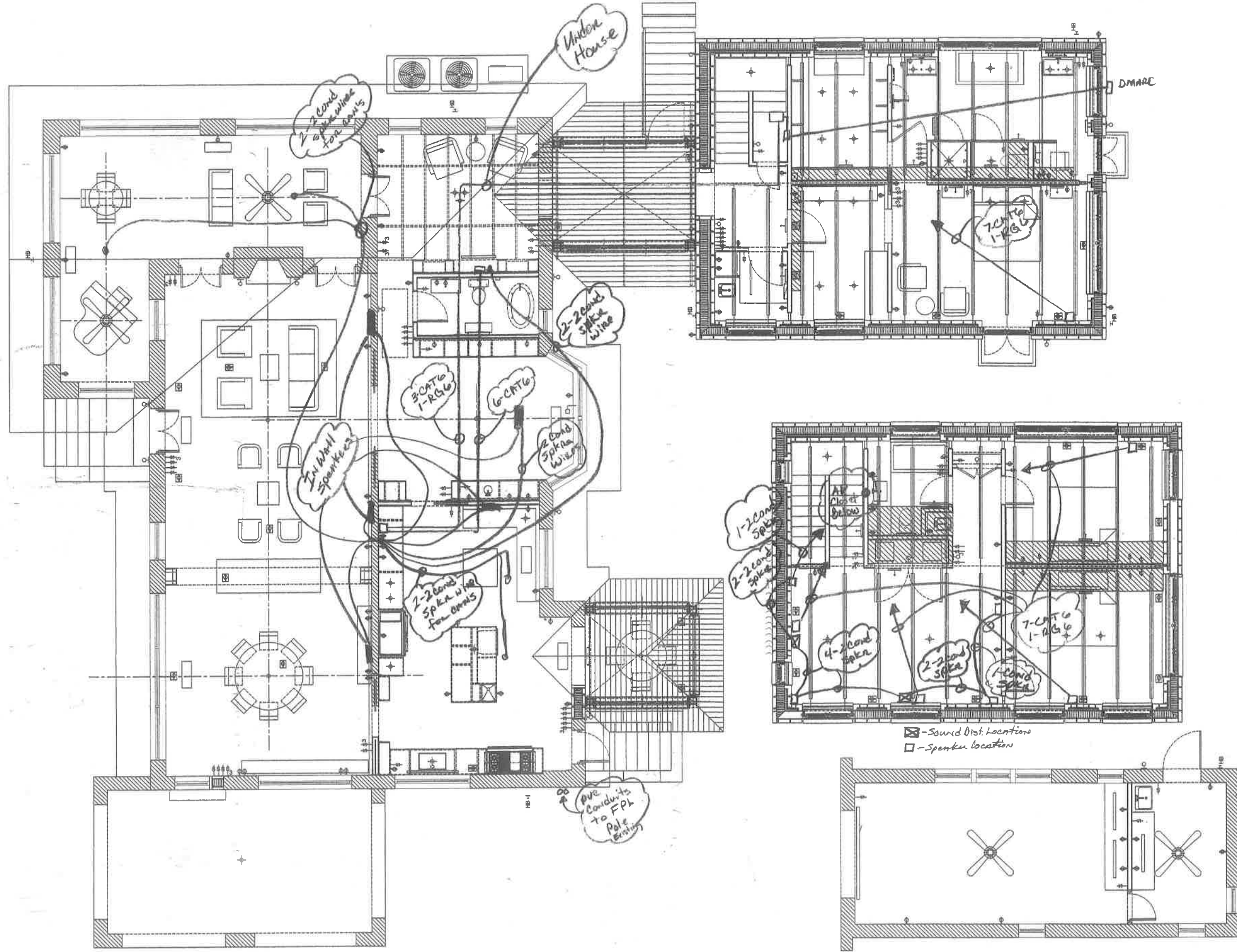
Surveyors,
Land Planners
& Mappers

BOUNDARY SURVEY

REVISIONS	REMARKS
DATE	
DATE:	06-09-2015
SCALE:	1" = 20'
DRAWN BY:	M.E.P.
DRAWING NO.:	15-0345

1 OF 1

814 - 1st Floor Speaker Locations



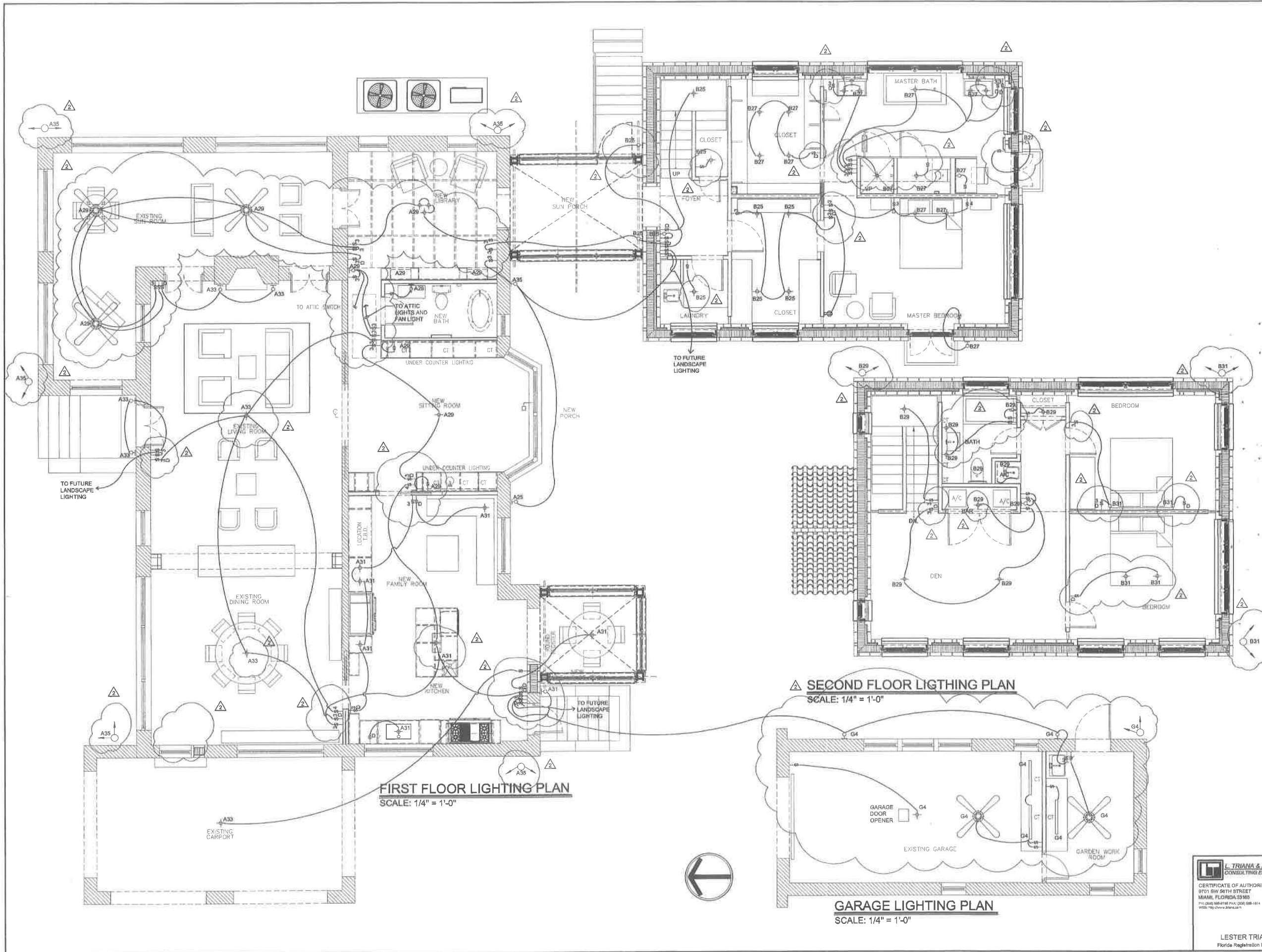
AS-BUILT DOCUMENT
SUBMITTED BY CPS
JUNE 2014

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave. Coconut Grove, FL 33133
tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

DATE	01/25/2013
DRAWN BY	MC
CHECKED BY	JB
REMARKS	
REVISIONS	
JOB NO.	2010-0001
SHEET NO.	E
1 of 1	

L:\projects\2011\Jennifer Briley & Associates\814 CORAL WAY\Revision 2 Received from MarkE-2.dwg, 10/20/2012 8:15:42 AM



FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

GARAGE LIGHTING PLAN
SCALE: 1/4" = 1'-0"



jenifer briley + associates
architecture · interior design · planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax 305.857.9343

**814 CORAL WAY
ADDITION**

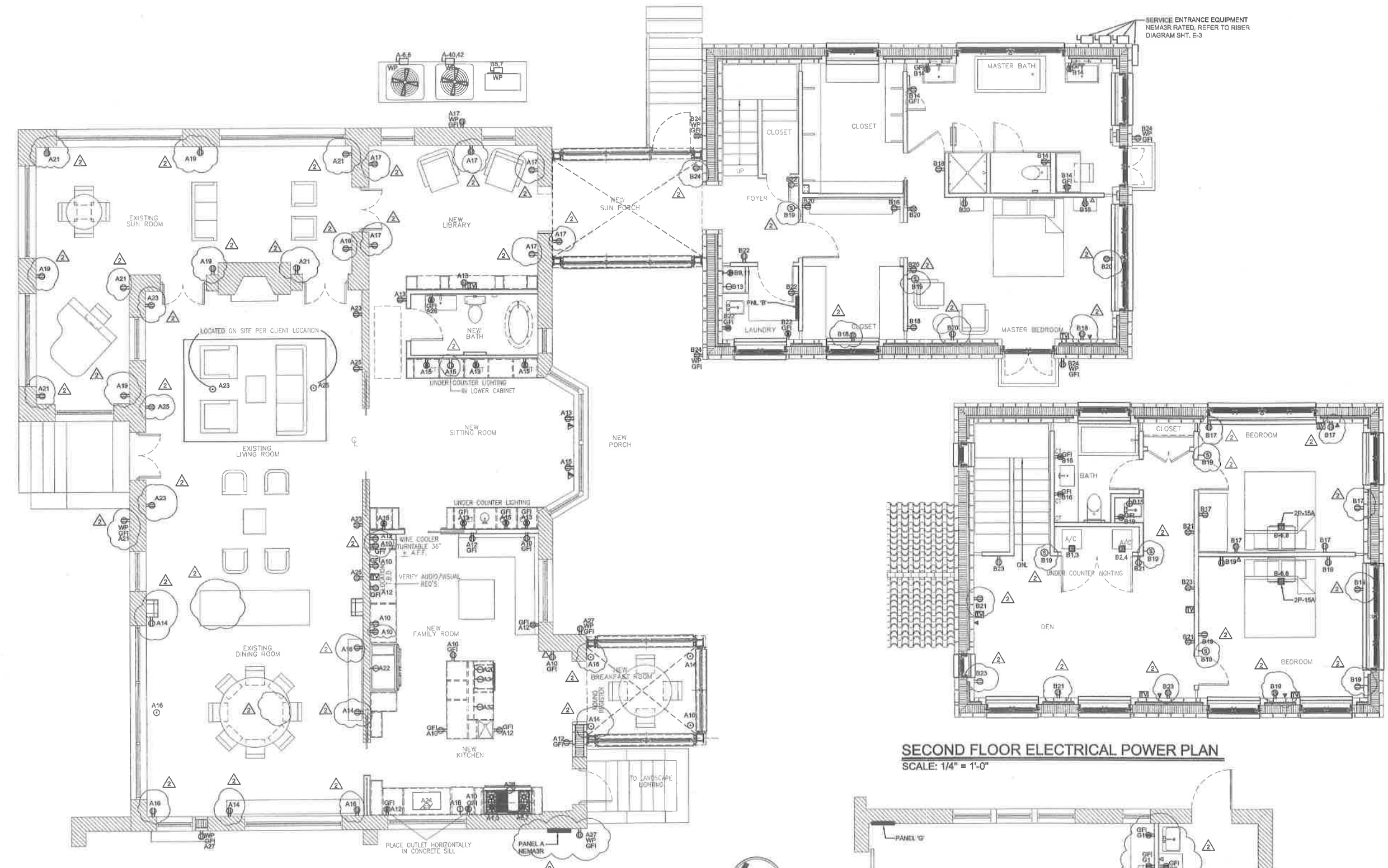
DATE	12/02/2010
DRAWN BY	MC
ORDERED BY	JB
REMARKS	
REVISIONS	
APPROVED BY	LESTER TRIANA, P.E.
DATE	12/02/2010

L. TRIANA & ASSOCIATES, INC.
CONSULTING ENGINEERS
CERTIFICATE OF AUTHORIZATION: 26544
6701 9W 56TH STREET
MIAMI, FLORIDA 33155
PH: 305-857-9323 FAX: 305-857-9343
WWW: www.triana.com

LESTER TRIANA, P.E.
Florida Registration No. PE068707

JOB NO.
2010-0001
SHEET NO.

E-2

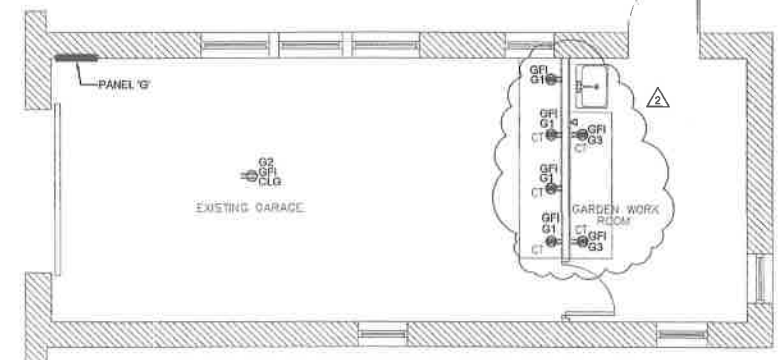


FIRST FLOOR ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"
 NOTE:
 ALL RECEPTACLES WITHIN DWELLING UNITS SHALL BE LISTED TAMPER RESISTANT AS PER NEC408.11.

SECOND FLOOR ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"



GARAGE ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

L. TRIANA & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 CERTIFICATE OF AUTHORIZATION: 28544
 6701 SW 95TH STREET
 MIAMI, FLORIDA 33155
 PH: (305) 665-0766 FAX: (305) 586-1814
 WWW: WWW.LTRIANA.COM

LESTER TRIANA, P.E.
 Florida Registration No. FE028767

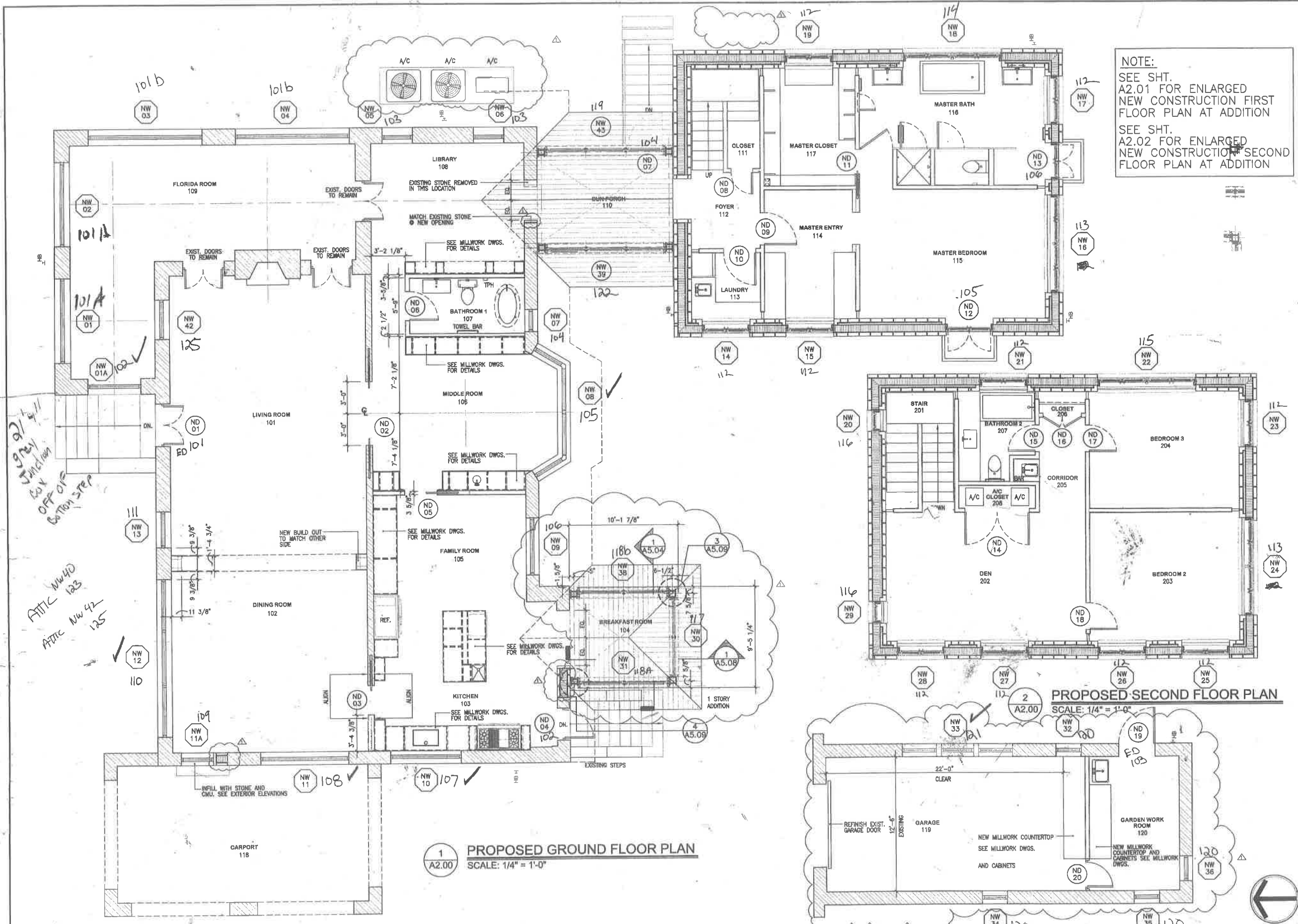
DATE	12/09/2010
DRAWN BY	JM
CHECKED BY	JM
REVISIONS	
1. 08.07.12. OWNER REQUEST	

JOB NO.
2010-0001

SHEET NO.
E-1

L:\Projects\2011\Jenifer Briley & Associates\814 CORAL WAY\Revision 2 Received from MarkIE - 1.dwg, 10/20/2012 9:15:27 AM

NOTE:
 SEE SHT. A2.01 FOR ENLARGED NEW CONSTRUCTION FIRST FLOOR PLAN AT ADDITION
 SEE SHT. A2.02 FOR ENLARGED NEW CONSTRUCTION SECOND FLOOR PLAN AT ADDITION



1 PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

3 PROPOSED GARAGE FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

grey
 Juice Tray
 Box

grey
 Juice Tray
 Box
 OFF OF
 Bottom Step

ATTC NW40
 123
 ATTC NW42
 125

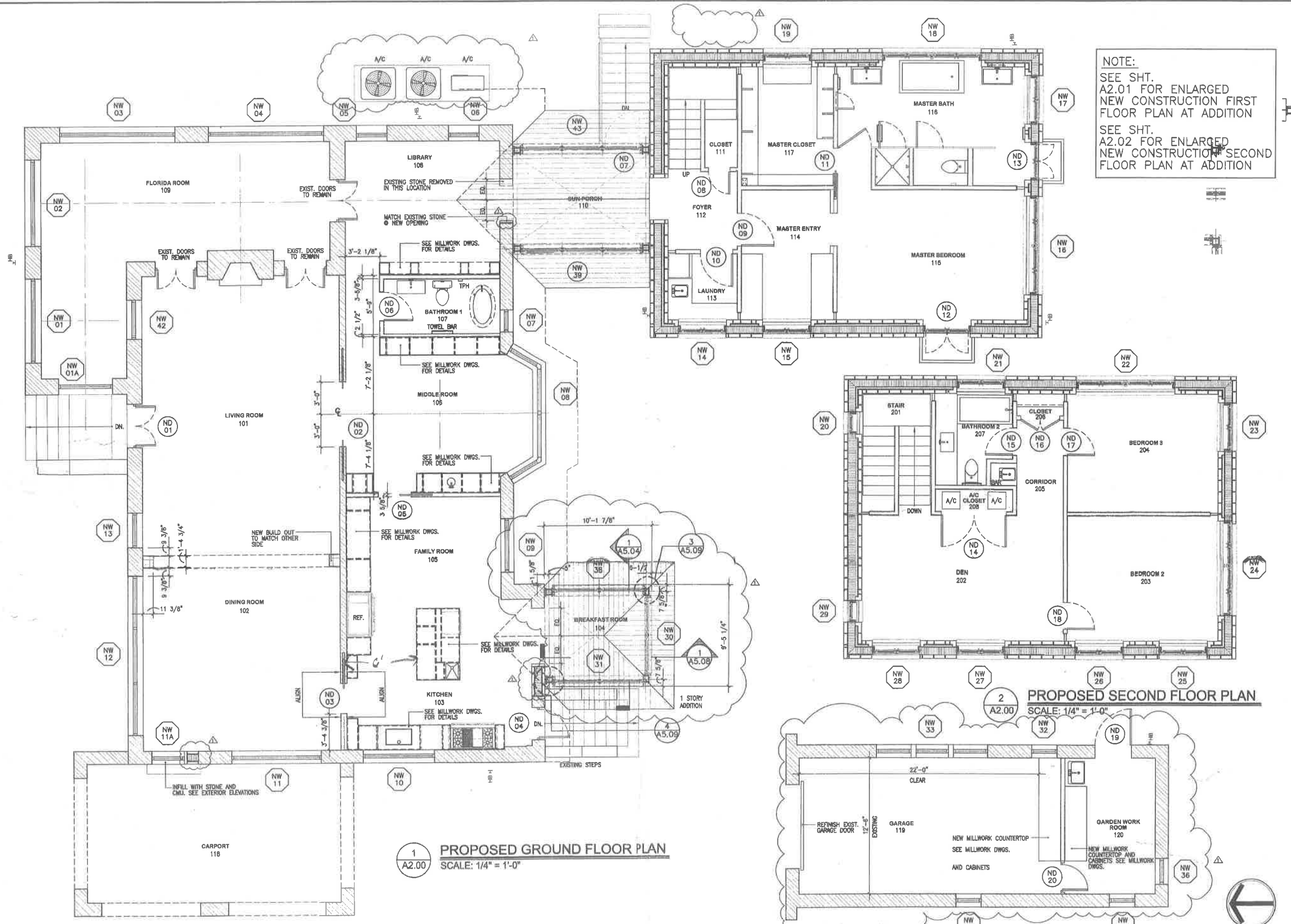
12/12/10
 MJB

STATE OF FLORIDA
 ARCHITECTURE NO. 012345

DATE: 01/25/2012
 DRAWN BY: MC
 CHECKED BY: JB
 REMARKS:
 REVISIONS:
 1. 01/25/12
 2. 01/25/12

JOB NO.
 2010-000

9827 NO.
 A2.0



NOTE:
 SEE SHT. A2.01 FOR ENLARGED NEW CONSTRUCTION FIRST FLOOR PLAN AT ADDITION
 SEE SHT. A2.02 FOR ENLARGED NEW CONSTRUCTION SECOND FLOOR PLAN AT ADDITION

1
 A2.00
PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2
 A2.00
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

3
 A2.00
PROPOSED GARAGE FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

jennifer briley + associates
 architecture · interior design · planning
 1829 Tiger Tail Ave., Coconut Grove, FL 33133
 Tel. 305.857.9923 Fax. 305.857.9943

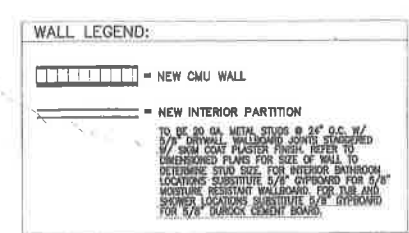
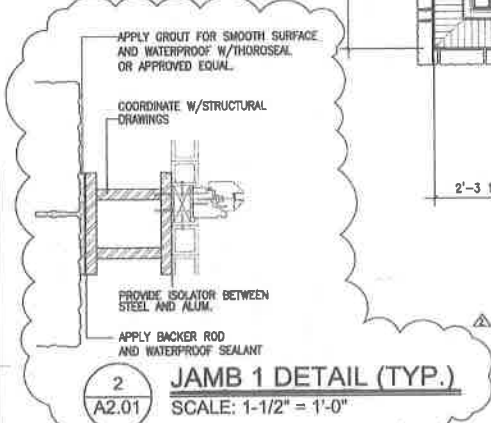
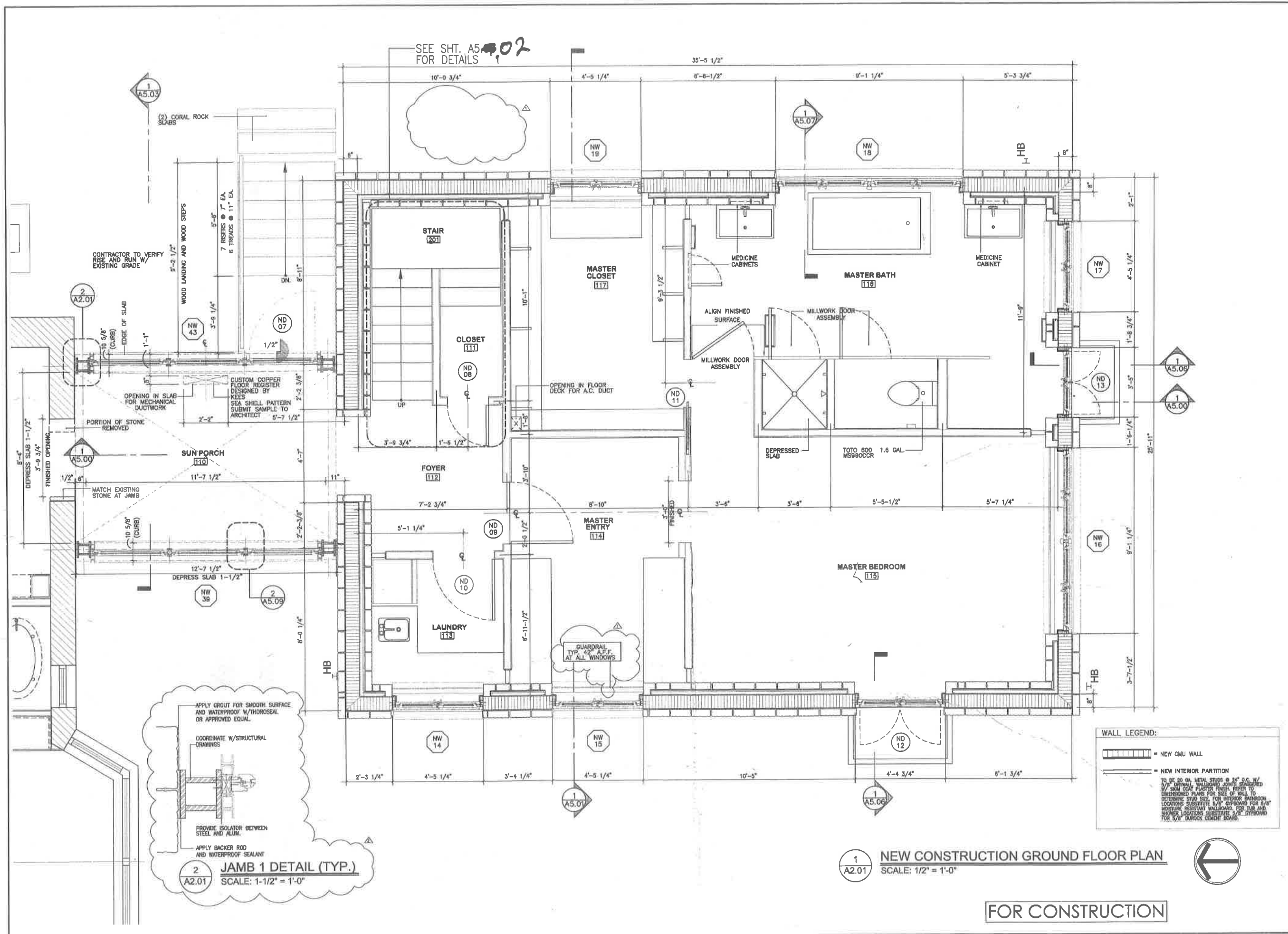
814 CORAL WAY
 ADDITION

OVERALL PROPOSED FLOOR PLANS

MJR
 M. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 01288
 DATE: 01/28/2012
 DRAWN BY: MC
 CHECKED BY: JB
 REMARKS:
 REVISIONS:
 1. 02/28/12
 2. 03/01/12

JOB NO.
 2010-0001
 SHEET NO.

A2.00



1 A2.01 NEW CONSTRUCTION GROUND FLOOR PLAN
 SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION

SEE SHT. A5.02 FOR DETAILS

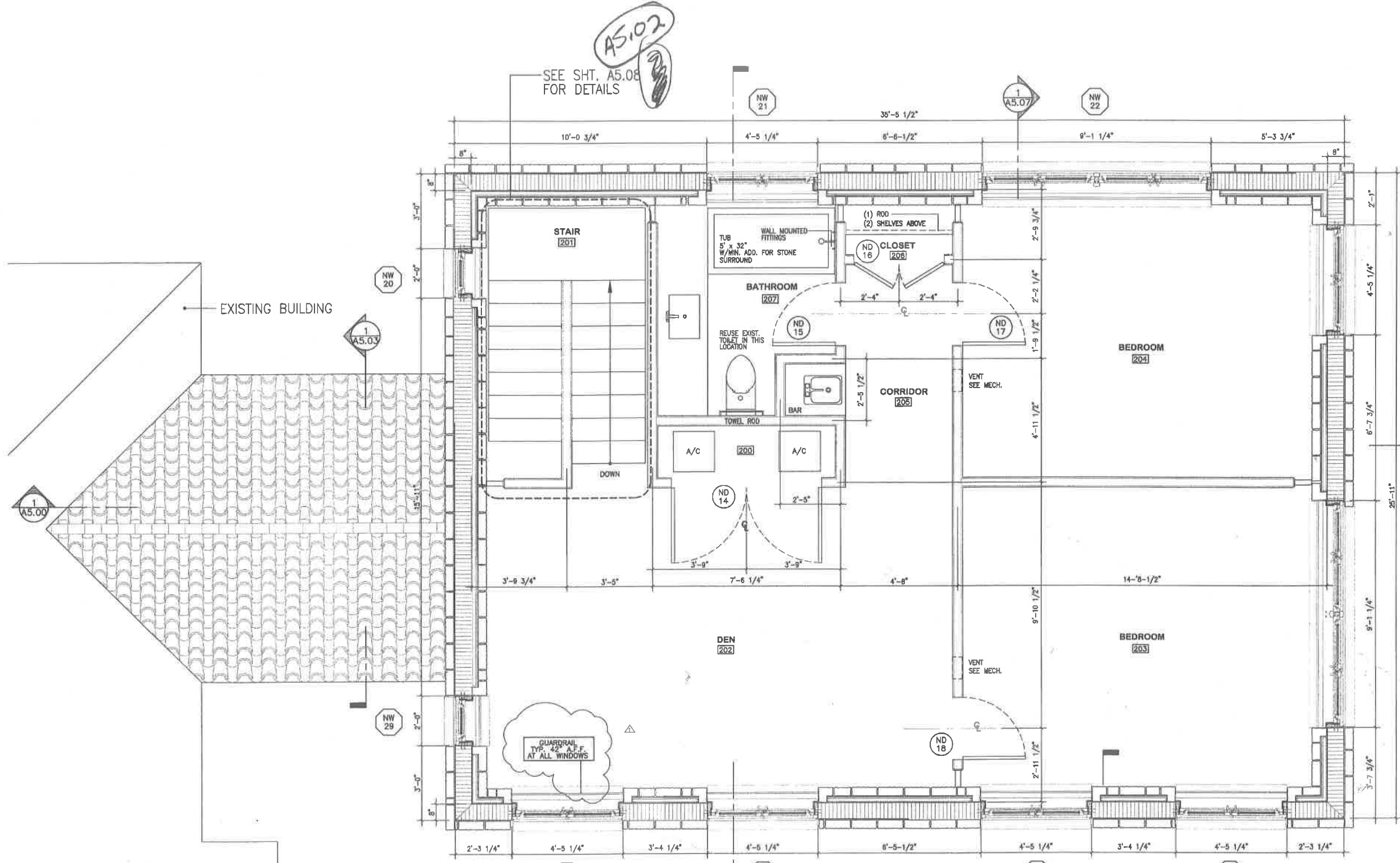
MJB

J. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 013330
 DATE 01/28/2012
 DRAWN BY MC
 CHECKED BY JB
 REMARKS
 REVISION:
 1. 01/28/12 COMMENTS
 2. 02/01/12 CONSTRUCTION
 3. 02/01/12

JOB NO.
 2010-0001

SHEET NO.

A2.02

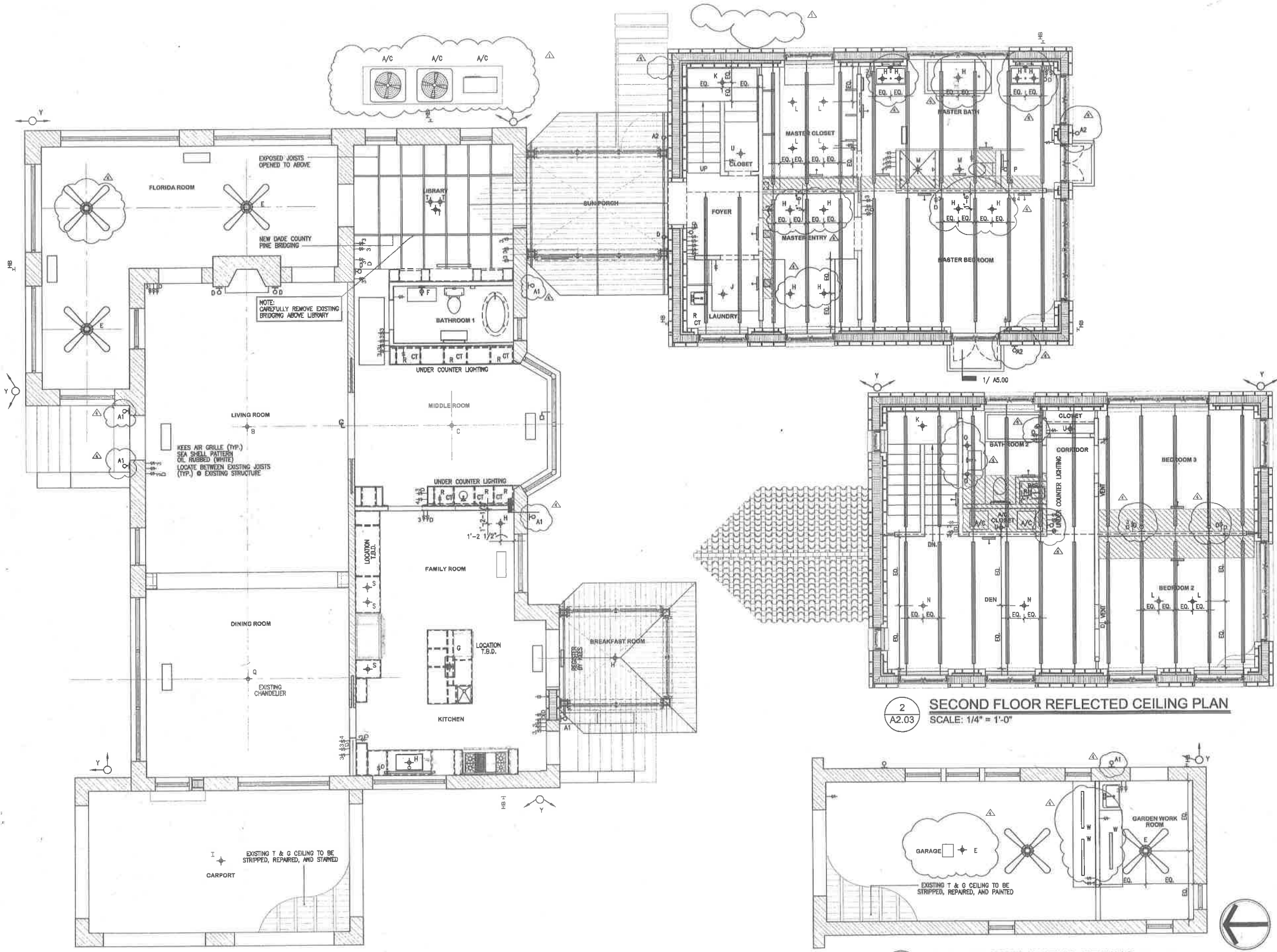


WALL LEGEND:
 [Symbol] = NEW CMU WALL
 [Symbol] = NEW INTERIOR PARTITION
 TO BE 20 GA. METAL STUDS @ 24" O.C. W/
 5/8" DRYWALL WALLBOARD JOINTS STAGGERED
 W/ 5/8" GYP BOARD FRESH. REFER TO
 DIMENSIONED PLANS FOR SIZE OF WALL TO
 EXTENSIVE STUD SEE FOR INTERIOR BATHROOM
 LOCATIONS SUBSTITUTE 5/8" GYP BOARD FOR 5/8"
 MOISTURE RESISTANT WALLBOARD FOR TUB AND
 SHOWER LOCATIONS SUBSTITUTE 5/8" GYP BOARD
 FOR 5/8" CONCRETE CEMENT BOARD.

1 NEW CONSTRUCTION SECOND FLOOR PLAN
 SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION





1 FIRST FLOOR REFLECTED CEILING PLAN
 A2.03 SCALE: 1/4" = 1'-0"

2 SECOND FLOOR REFLECTED CEILING PLAN
 A2.03 SCALE: 1/4" = 1'-0"

3 GARAGE REFLECTED CEILING PLAN
 A2.03 SCALE: 1/4" = 1'-0"

REFER TO ELECTRICAL

FOR CONSTRUCTION

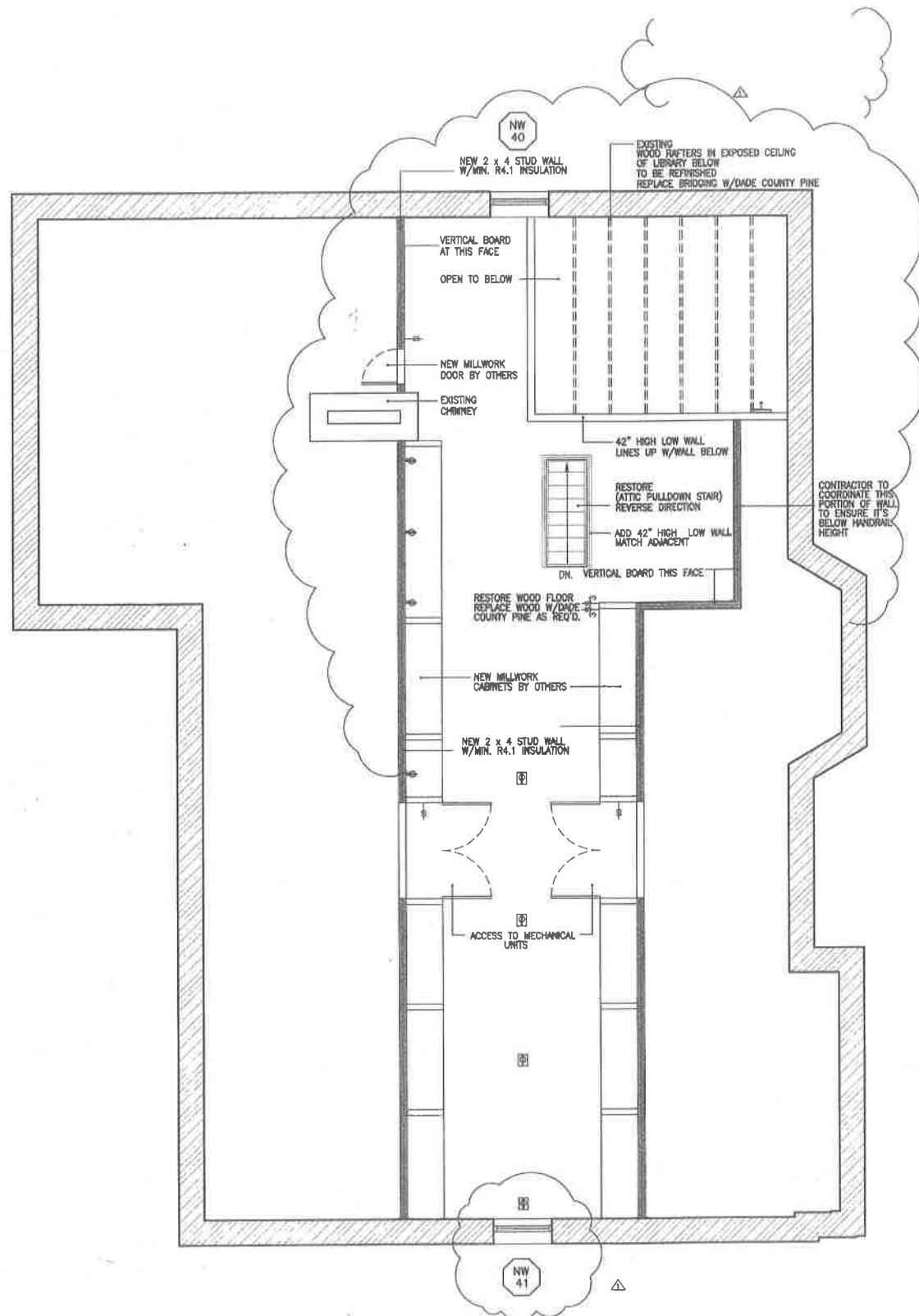
jenifer briley + associates
 architecture . interior design . planning
 1829 Tiger Tail Ave, Coconut Grove, FL 33133
 Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

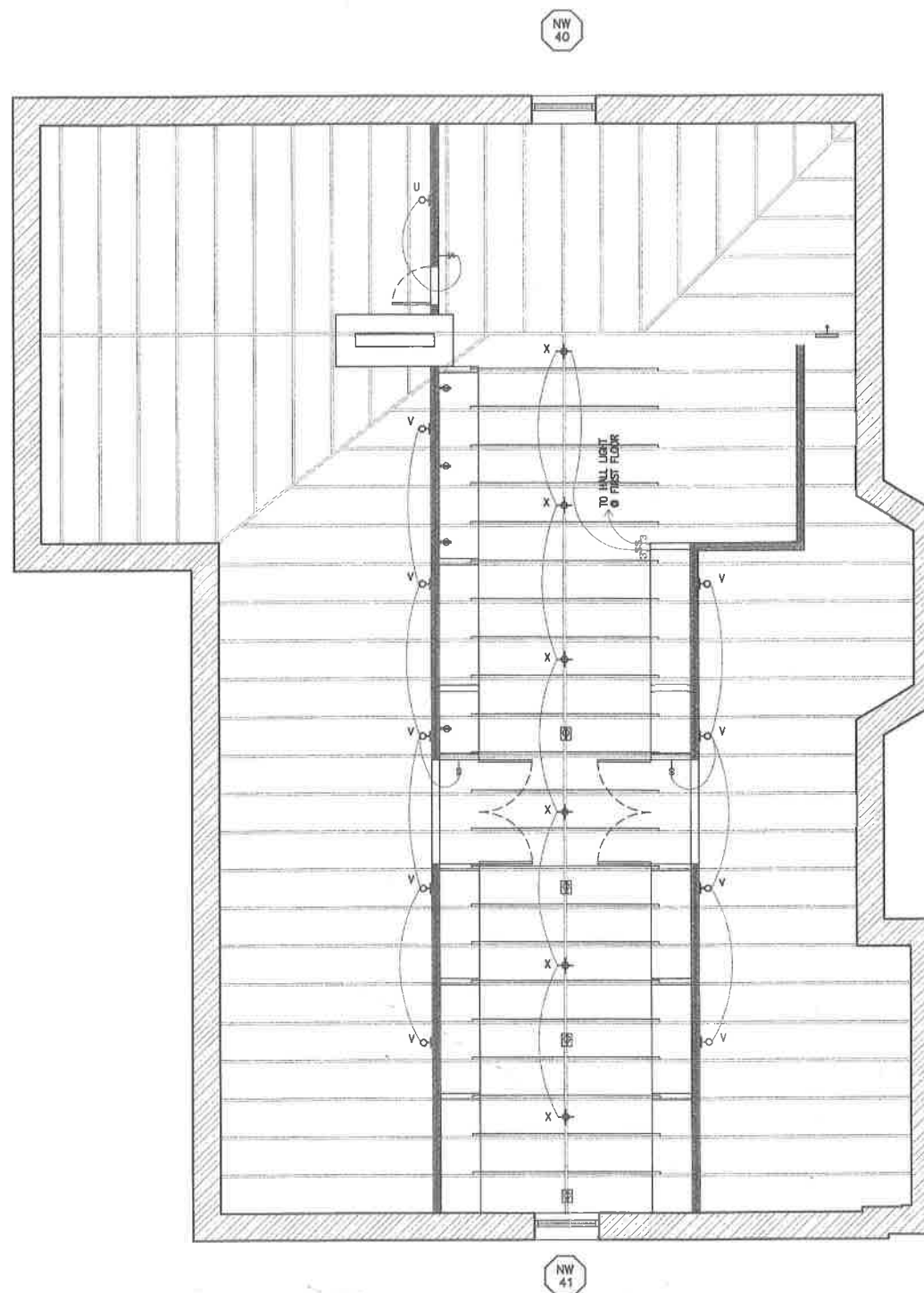
PROPOSED FLOOR
 PLANS

DATE	01/25/2010
DRAWN BY	MC
CHECKED BY	JB
REVISIONS	
REVISIONS	BLACK TYPE COMMENTS
REVISIONS	CONSTRUCTION
REVISIONS	REVISIONS
REVISIONS	REVISIONS
JOB NO.	2010-0001
SHEET NO.	

A2.03



1 ATTIC FLOOR PLAN IN MAIN HOUSE
SCALE: 1/4" = 1'-0"



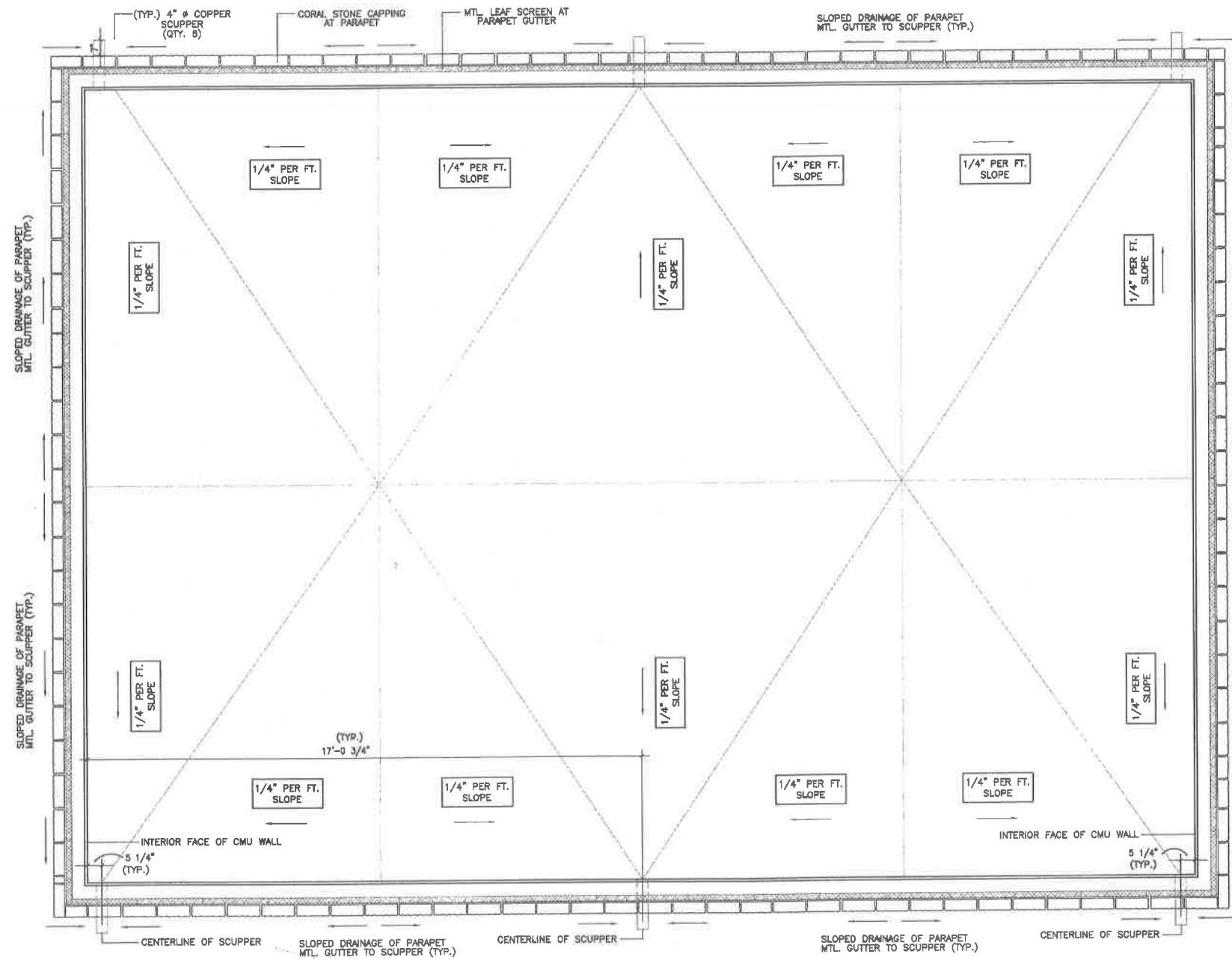
2 ATTIC REFLECTED CEILING PLAN IN MAIN HOUSE
SCALE: 1/4" = 1'-0"

SEE ELECTRICAL PLANS FOR LIGHTING AND CIRCUITING OF ATTIC SPACE

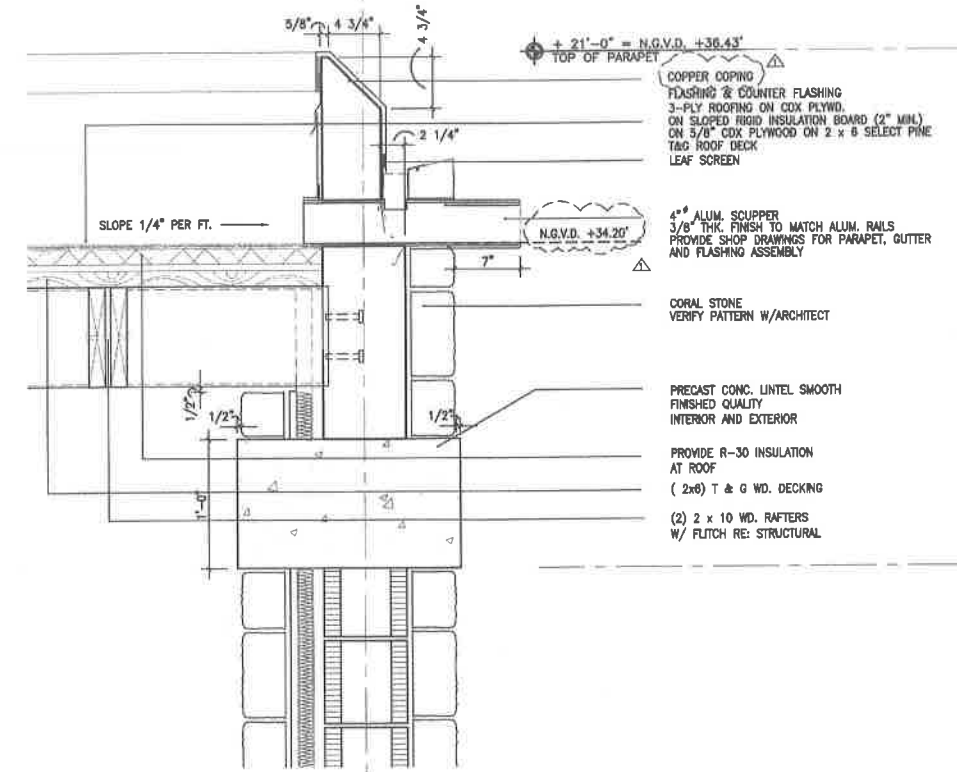
REFER TO ELECTRICAL

FOR CONSTRUCTION





1
A2.05 **ROOF PLAN AT NEW ADDITION**
SCALE: 1/2" = 1'-0"



2
A2.05 **SCUPPER DETAIL (TYP.)**
SCALE: 1-1/2" = 1'-0"



FOR CONSTRUCTION

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814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

ROOF PLAN AT
NEW ADDITION

W. Andrew Berry, AIA
STATE OF FLORIDA
REGISTRATION NO. 00000
DATE: 01/28/2010
DRAWN BY: MC
CHECKED BY: JB
REVISIONS:
1. 01/28/2010
2. 01/28/2010
3. 01/28/2010

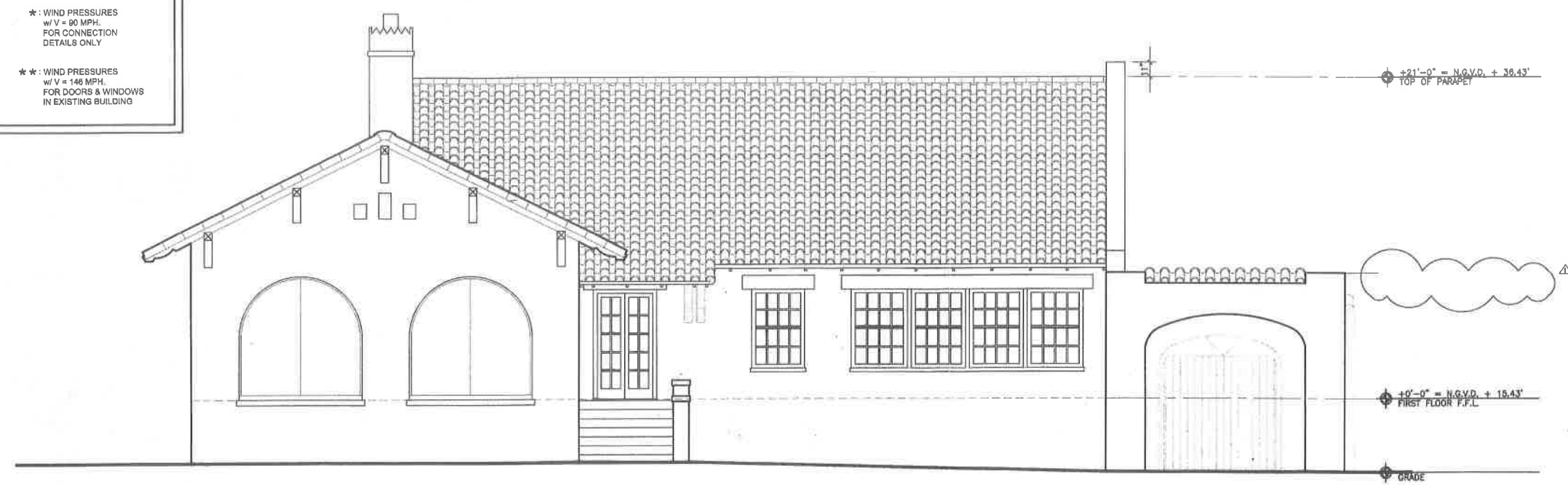
JOB NO.
2010-0001
SHEET NO.

A2.05

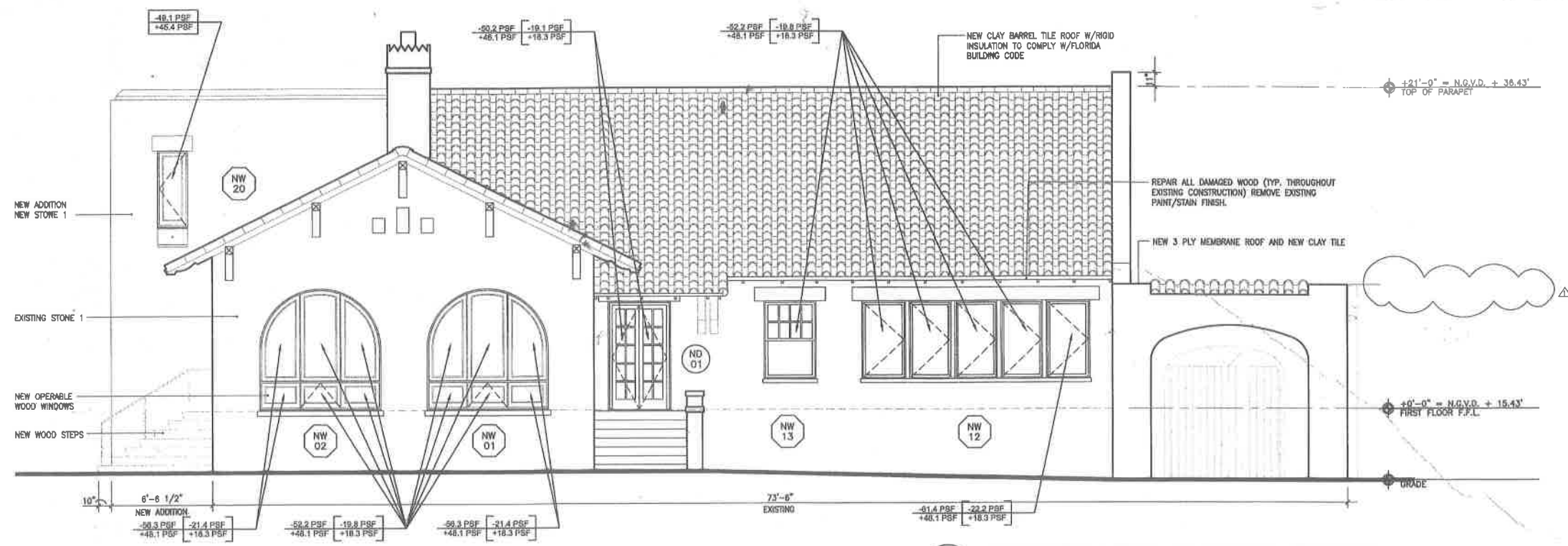
** [*]
 ** [*]

* : WIND PRESSURES
 w/ V = 90 MPH.
 FOR CONNECTION
 DETAILS ONLY

** : WIND PRESSURES
 w/ V = 148 MPH.
 FOR DOORS & WINDOWS
 IN EXISTING BUILDING



1
A3.00 EXISTING NORTH ELEVATION (STREET)
 SCALE: 1/4" = 1'-0"



2
A3.00 PROPOSED NORTH ELEVATION (STREET)
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

NOTE:
 EXISTING EXTERIOR WINDOWS AND DOORS TO BE
 REPLACED.

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814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

EXTERIOR
ELEVATIONS

M. Andrew Brey, AIA
 STATE OF FLORIDA
 REGISTERED ARCHITECT

DATE: 01/25/2012
 DRAWN BY: MC
 CHECKED BY: JB
 REMARKS:
 A: SEE SPEC. COMMENTS
 B: SEE SPEC. COMMENTS
 C: SEE SPEC. COMMENTS

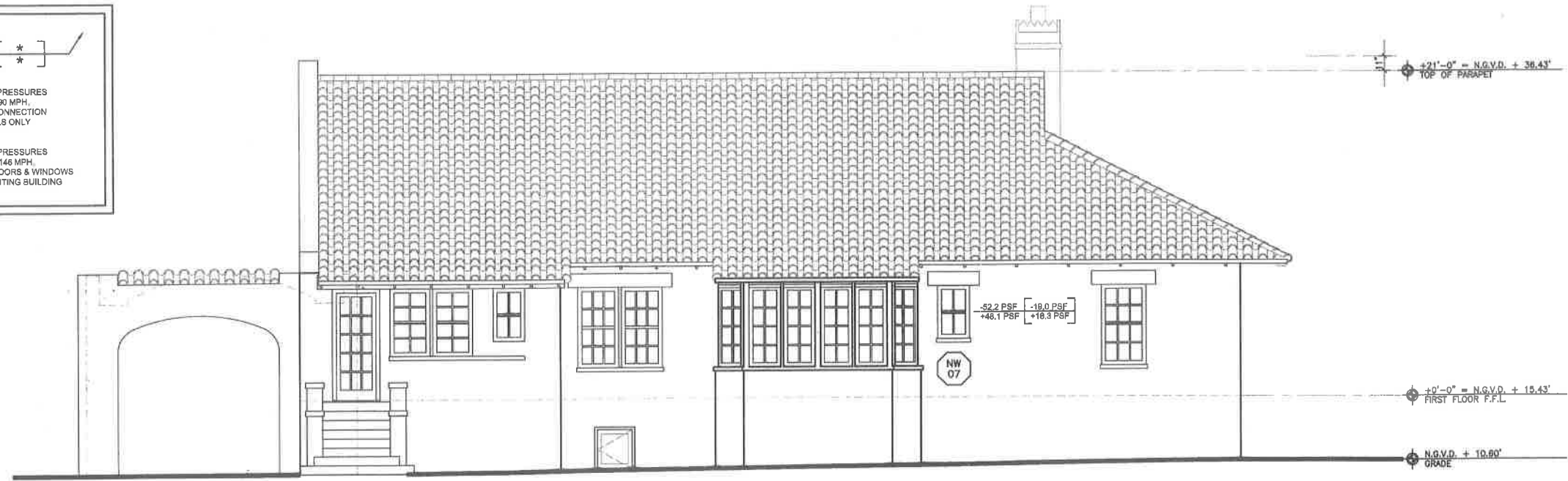
JOB NO.
 2010-0001

SHEET NO.
A3.00

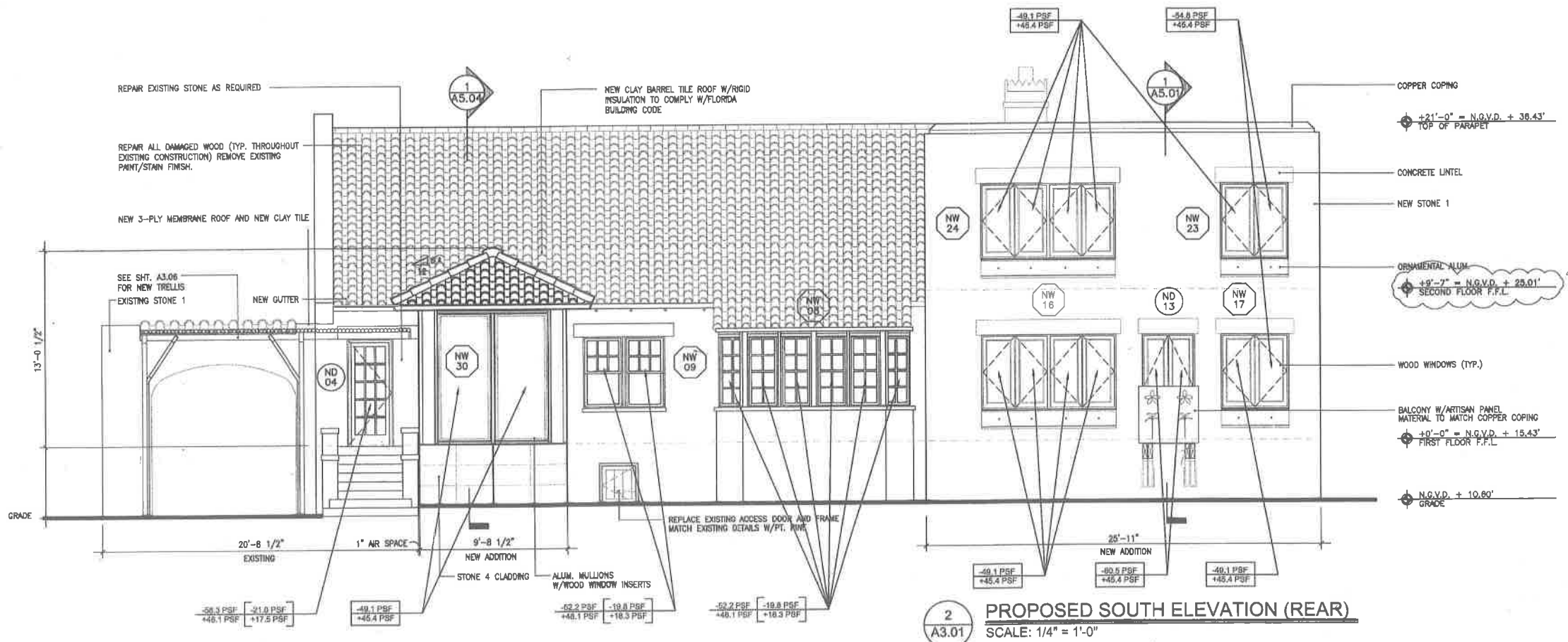
** [*]
 ** [*]

* : WIND PRESSURES
 w/ V = 90 MPH.
 FOR CONNECTION
 DETAILS ONLY

** : WIND PRESSURES
 w/ V = 146 MPH.
 FOR DOORS & WINDOWS
 IN EXISTING BUILDING



1
A3.01 EXISTING SOUTH ELEVATION (REAR)
 SCALE: 1/4" = 1'-0"



2
A3.01 PROPOSED SOUTH ELEVATION (REAR)
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

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814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

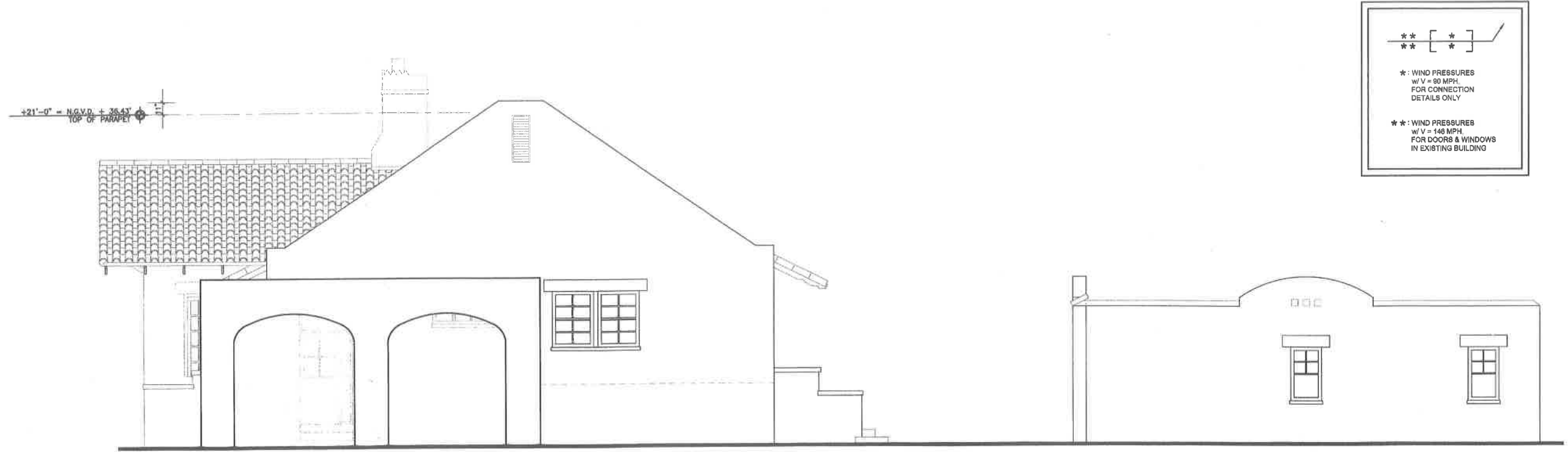
EXTERIOR ELEVATIONS

H. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 25153

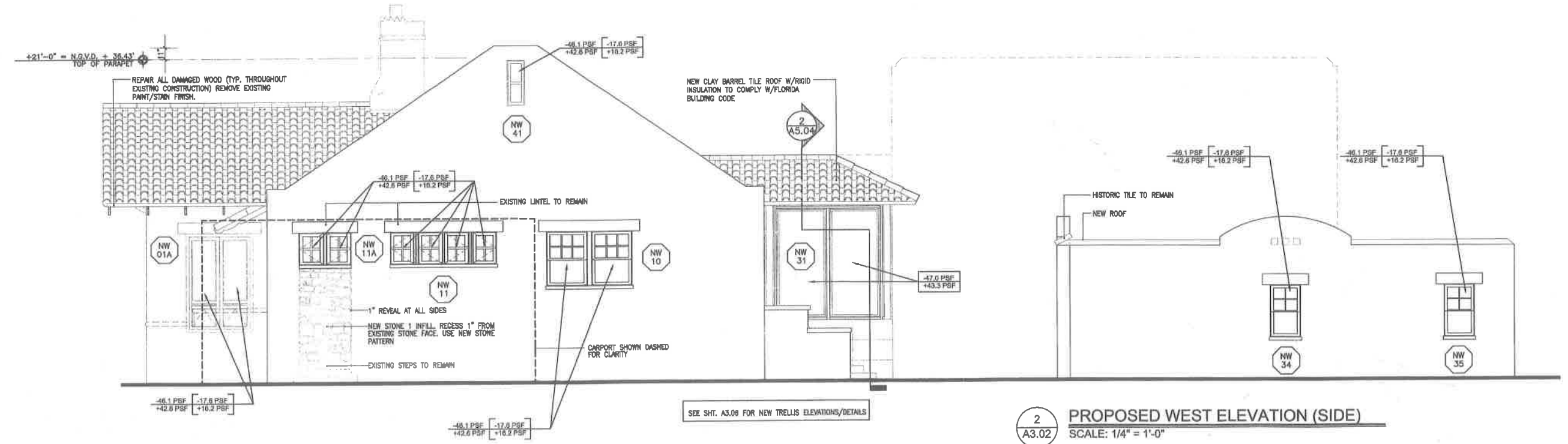
DATE 01/28/2012
 DRAWN BY MC
 CHECKED BY JB
 REMARKS
 REVISIONS
 1. 01/28/12 DEPT. COMMENTS
 2. 02/01/12 FOR CONSTRUCTION
 12/20/11

JOB NO.
 2010-0001

SHEET NO.
A3.01



1 EXISTING WEST ELEVATION (SIDE)
 SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION (SIDE)
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

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814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

EXTERIOR
 ELEVATIONS

DATE: 07/25/2010
 DRAWN BY: MC
 CHECKED BY: JB
 REVISIONS:
 1 FOR CONSTRUCTION
 12/01/11

JOB NO.
 2010-0001

SHEET NO.
 A3.02



M. Jenifer Briley, AIA
 STATE OF FLORIDA
 ARCHITECTURE NO. 01188

DATE: 02/26/2010
 DRAWN BY: MC
 CHECKED BY: JB
 REVISIONS:
 1. 02/26/10
 2. 03/02/10

JOB NO.
 2010-0001

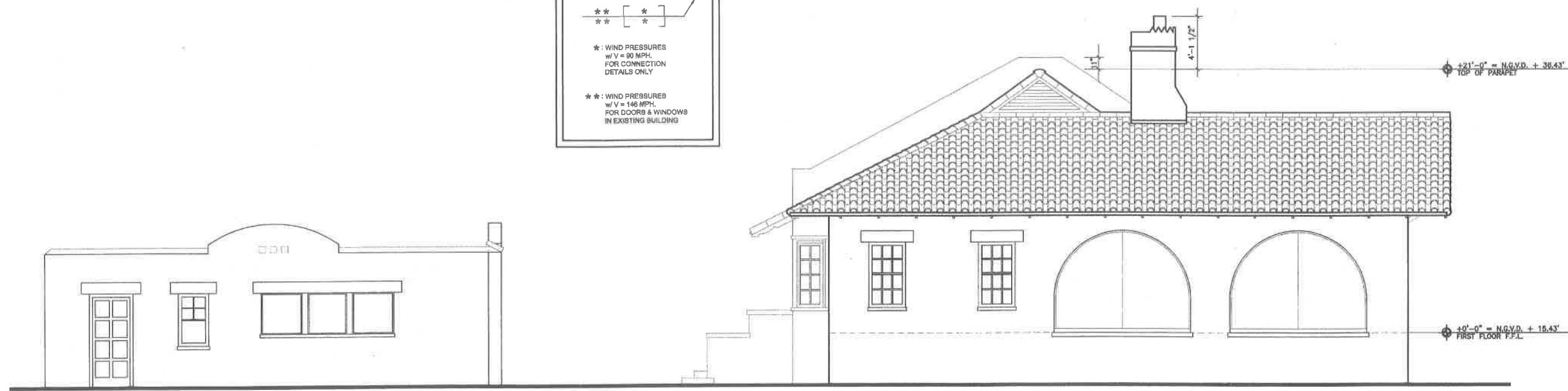
SHEET NO.

A3.03

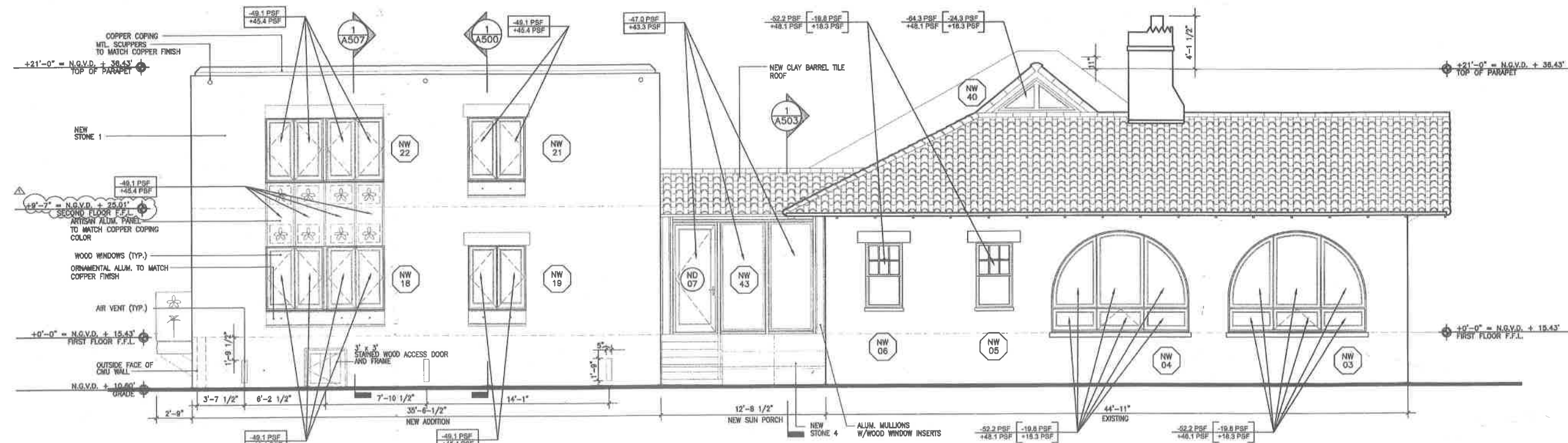
** [*]
 ** [*]

*: WIND PRESSURES
 W/V = 90 MPH.
 FOR CONNECTION
 DETAILS ONLY

** : WIND PRESSURES
 W/V = 146 MPH.
 FOR DOORS & WINDOWS
 IN EXISTING BUILDING

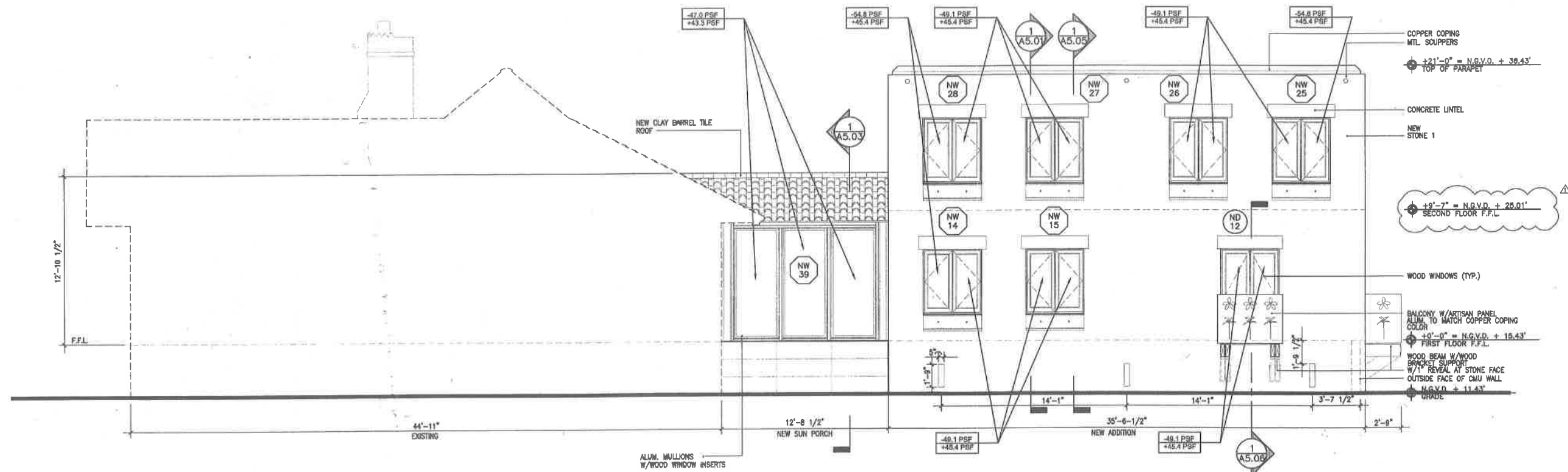


1 EXISTING EAST ELEVATION (SIDE)
 A3.03 SCALE: 1/4" = 1'-0"



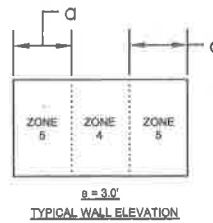
2 PROPOSED EAST ELEVATION (SIDE)
 A3.03 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

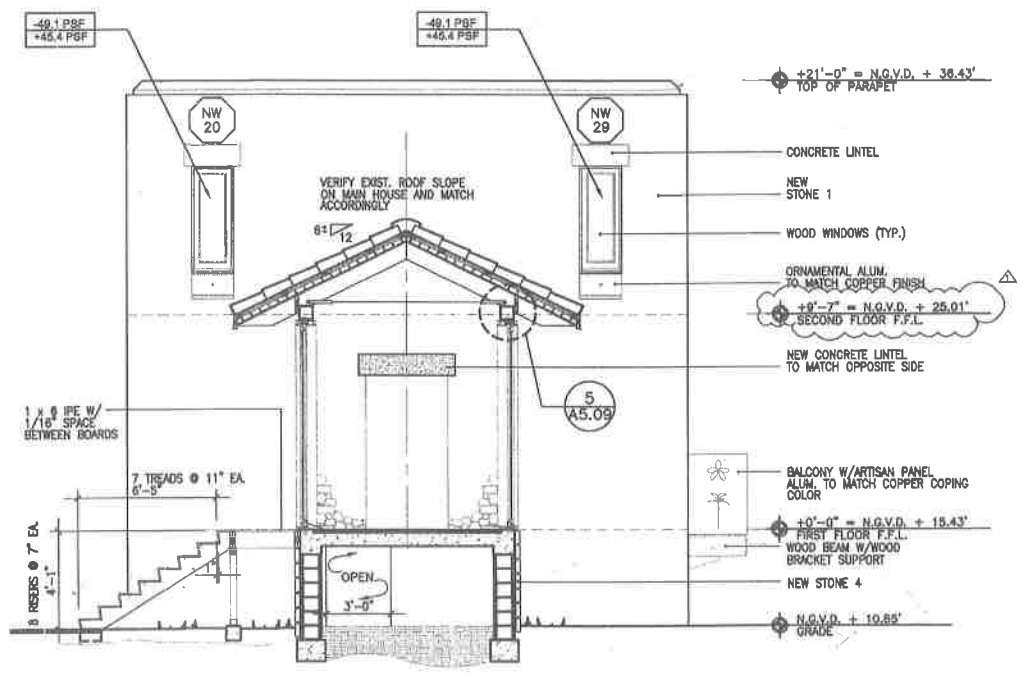
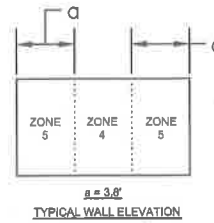


2 PROPOSED WEST ELEVATION (COURTYARD VIEW)
 SCALE: 1/4" = 1'-0"

ASCE 7 - 05 WIND LOADS ON COMPONENTS & CLADDING
 WIND VELOCITY = 148 MPH
 CATEGORY II
 EXPOSURE CATEGORY = "C" Kd = 0.85 I = 1.0

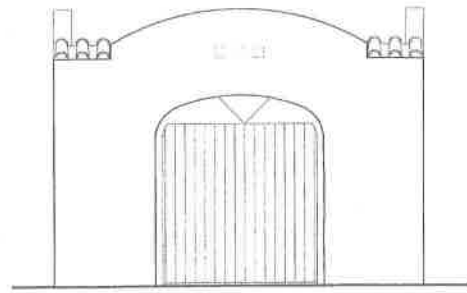


814 CORAL WAY (EXISTING HISTORIC BUILDING)
 ASCE 7 - 05 WIND LOADS ON COMPONENTS & CLADDING
 WIND VELOCITY = 90 MPH
 CATEGORY II
 EXPOSURE CATEGORY = "C" Kd = 0.85 I = 1.0

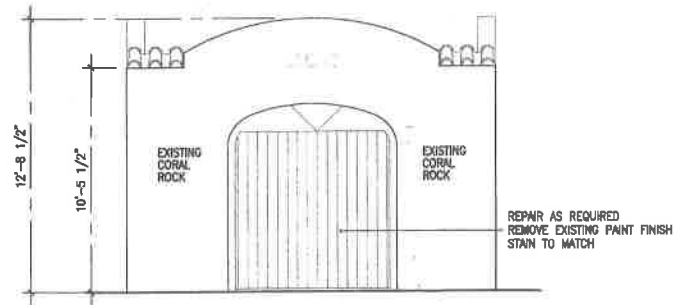


1 PROPOSED NORTH ELEVATION OF ADDITION
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION



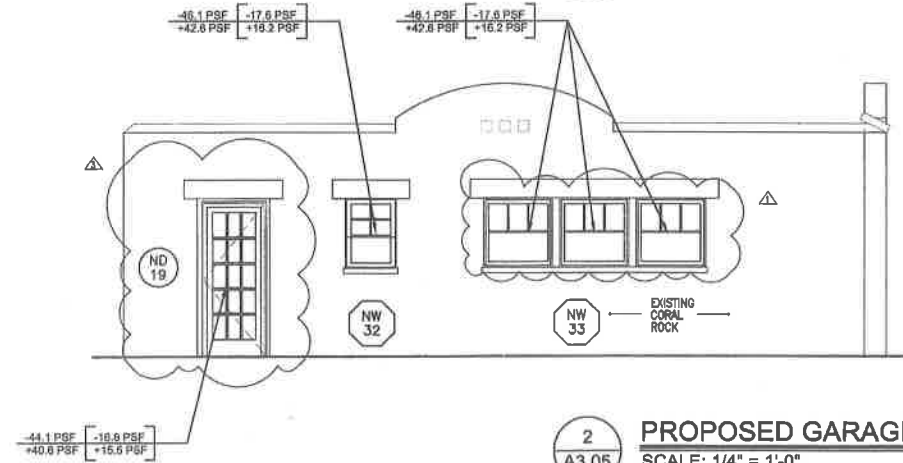
1 EXISTING GARAGE NORTH ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



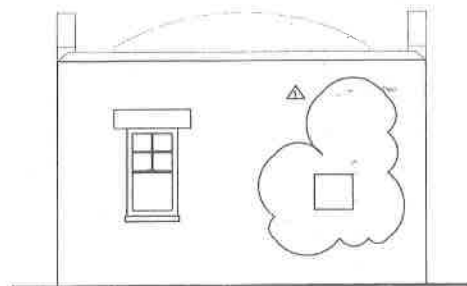
1 PROPOSED GARAGE NORTH ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



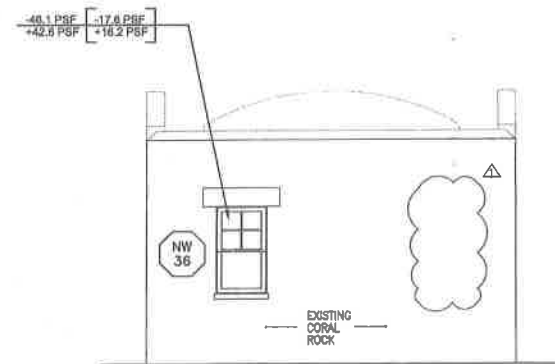
2 EXISTING GARAGE EAST ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



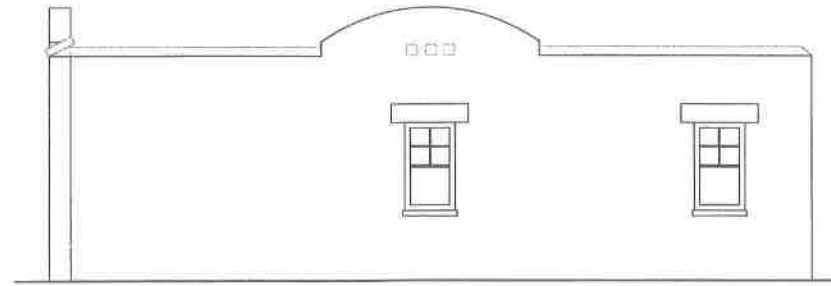
2 PROPOSED GARAGE EAST ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



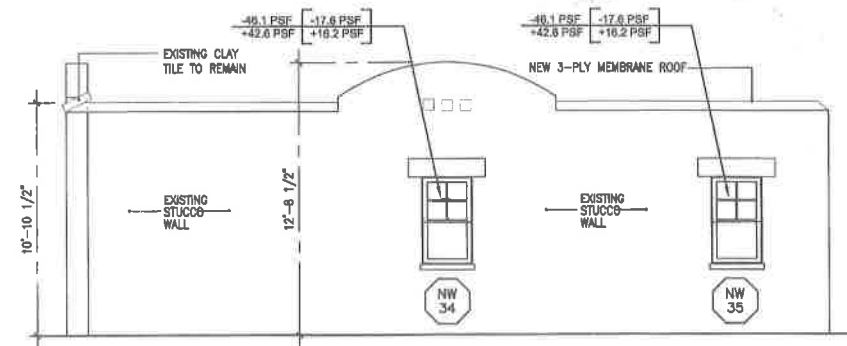
3 EXISTING GARAGE SOUTH ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



3 PROPOSED GARAGE SOUTH ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



4 EXISTING GARAGE WEST ELEVATION
A3.05 SCALE: 1/4" = 1'-0"



4 PROPOSED GARAGE WEST ELEVATION
A3.05 SCALE: 1/4" = 1'-0"

** [*]
 ** [*]
 * : WIND PRESSURES
 w/ V = 90 MPH.
 FOR CONNECTION
 DETAILS ONLY
 ** : WIND PRESSURES
 w/ V = 140 MPH.
 FOR DOORS & WINDOWS
 IN EXISTING BUILDING

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814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

EXTERIOR
 ELEVATIONS

M. J. B. B. A.A.
 STATE OF FLORIDA
 REGISTERED ARCHITECT

DATE 01/25/2012
 DRAWN BY MD
 CHECKED BY JB
 REVISIONS

JOB NO.
 2010-0001

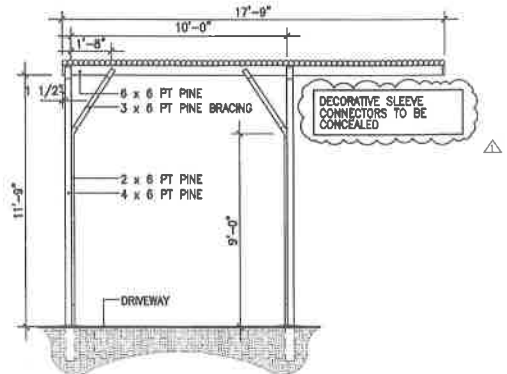
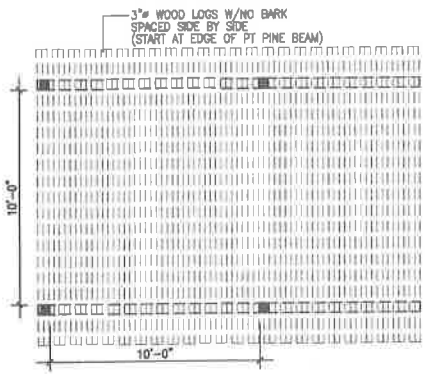
SHEET NO.

A3.05

FOR CONSTRUCTION

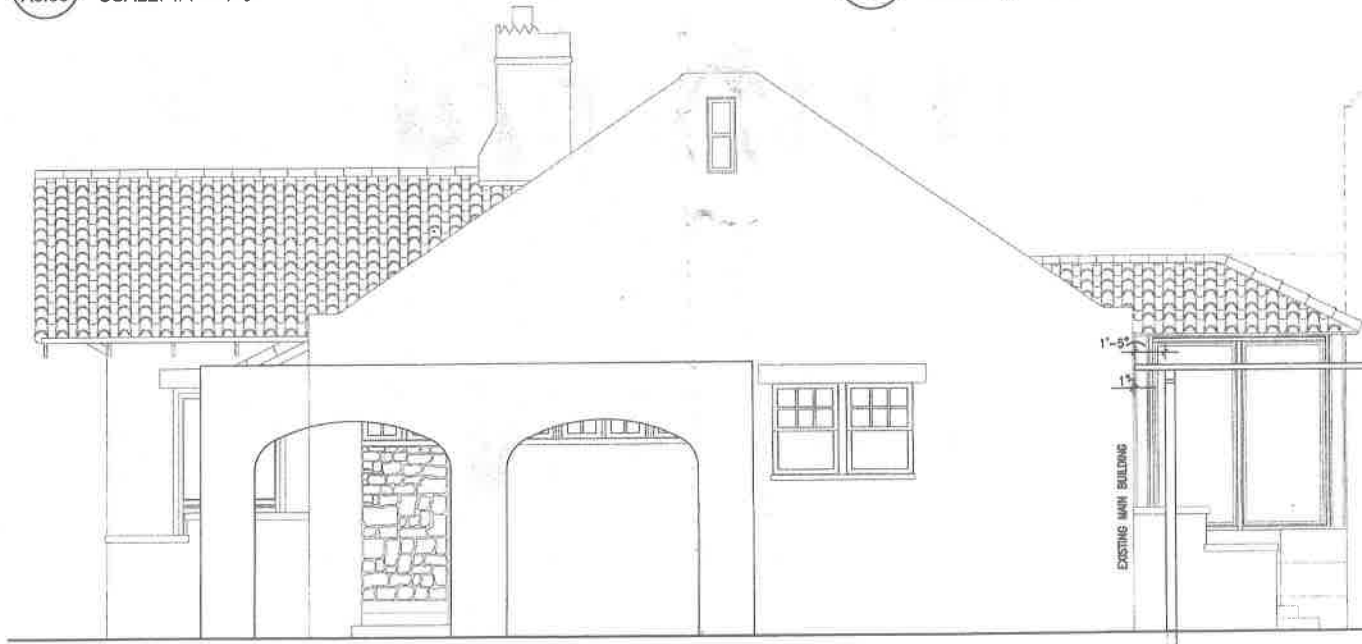
3
A3.06

NORTH ELEVATION OF TRELLIS
SCALE: 1/4" = 1'-0"



1
A3.06

WEST ELEVATION OF NEW TRELLIS
SCALE: 1/4" = 1'-0"

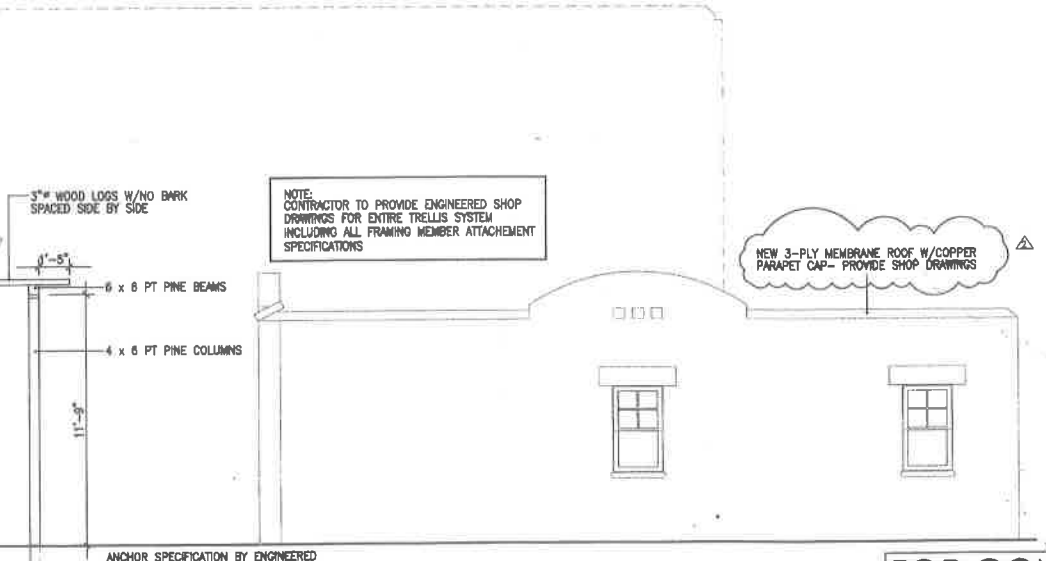


2
A3.06

PLAN VIEW OF TRELLIS
SCALE: 1/4" = 1'-0"

4
A3.06

SECTION /ELEVATION AT TRELLIS
SCALE: 1/4" = 1'-0"



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1829 Tiger Tail Ave., Coconut Grove, Fl. 33133
Tel. 305.857.9923 Fax. 305.857.9943

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

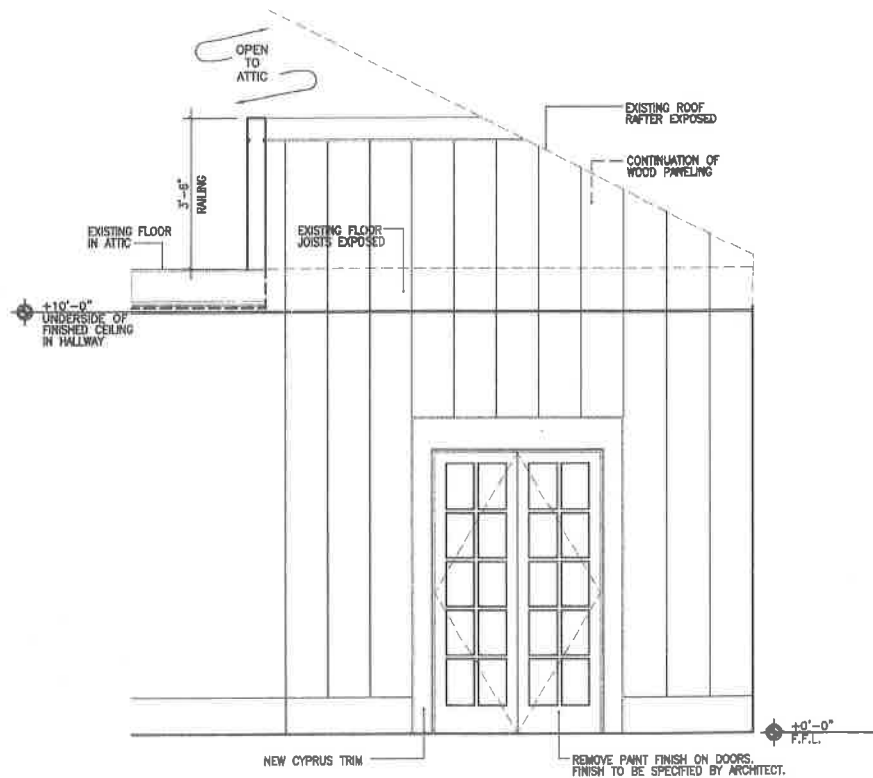
TRELLIS

DATE 01/28/2012
DRAWN BY MC
CHECKED BY JB
REMARKS
REVISIONS
BLC: DEPT. COMMENTS 01/28/12
P: ARCHITECTURE 01/28/12

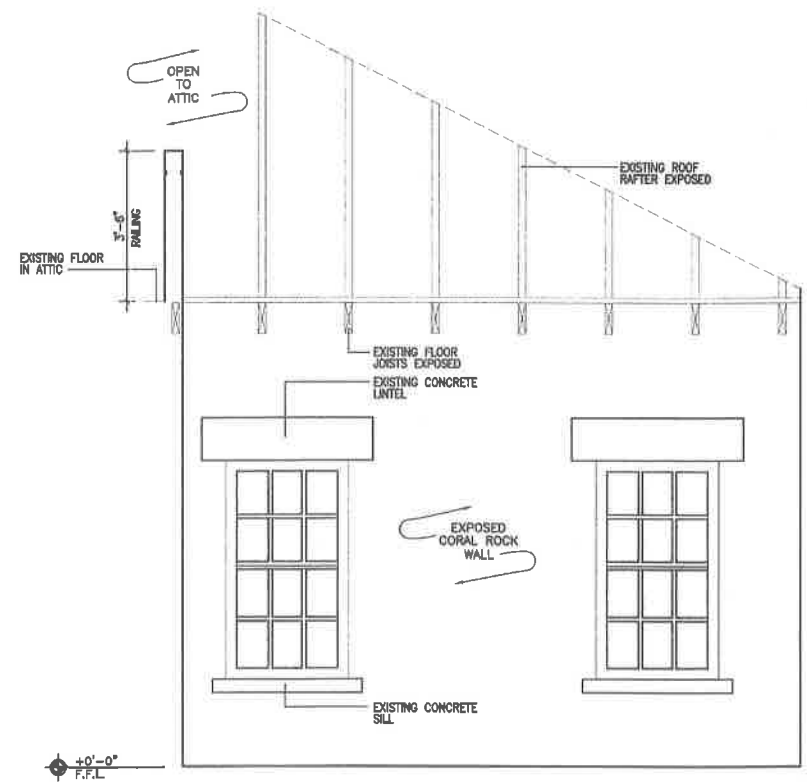
JOB NO.
2010-0001

SHEET NO.
A3.06

FOR CONSTRUCTION



1 LIBRARY (LOOKING NORTH)
 A4.00 SCALE: 1/2" = 1'-0"



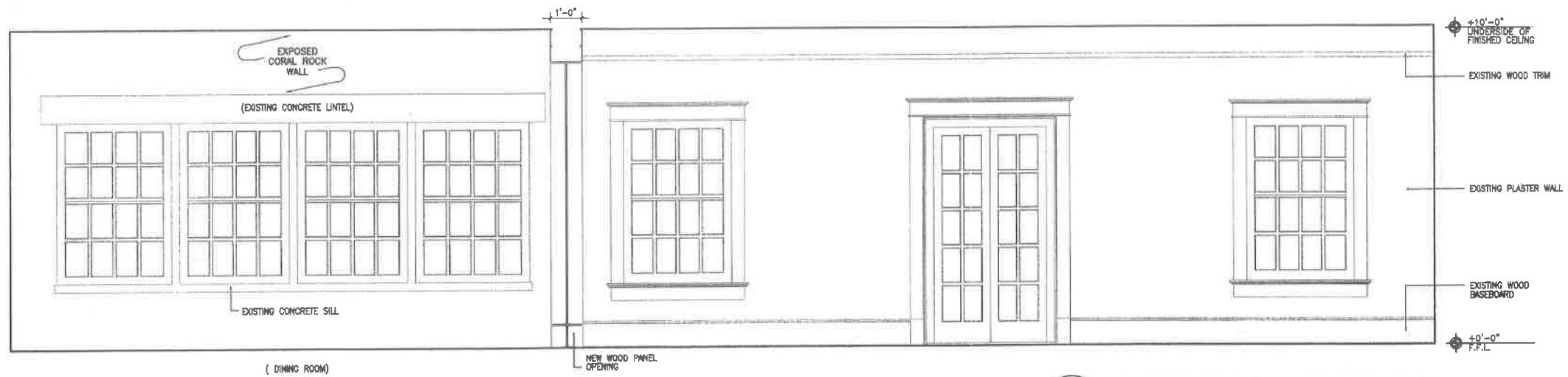
2 LIBRARY (LOOKING EAST)
 A4.00 SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

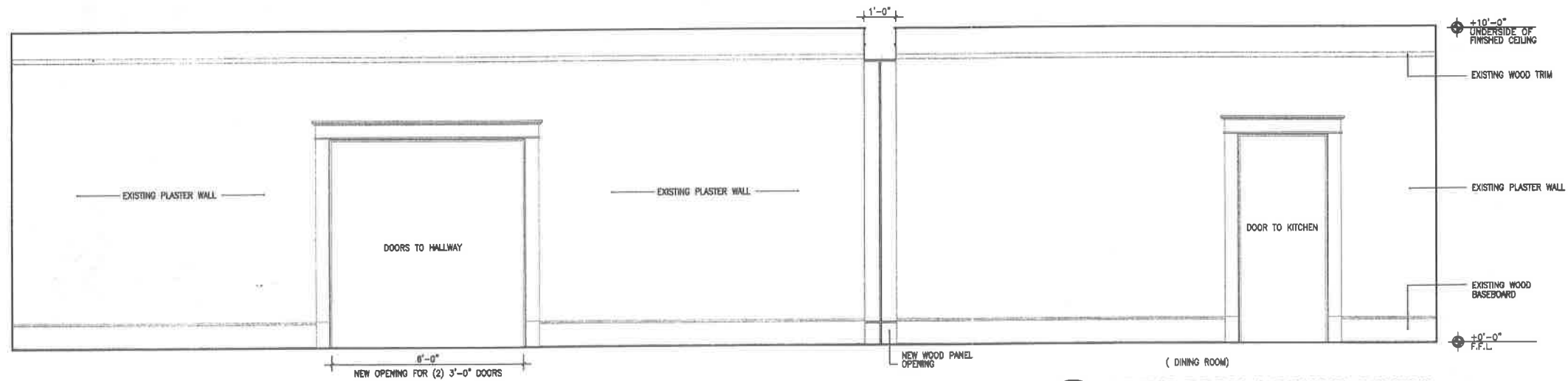
[Signature]
 N. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 011104
 DATE: 07/28/2012
 DRAWN BY: MC
 CHECKED BY: JB
 REVISIONS:

JOB NO.
 2010-0001

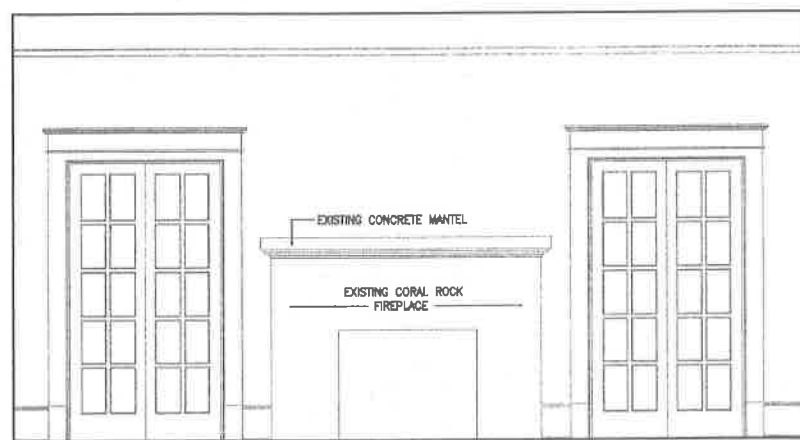
SHEET NO.
 A4.00



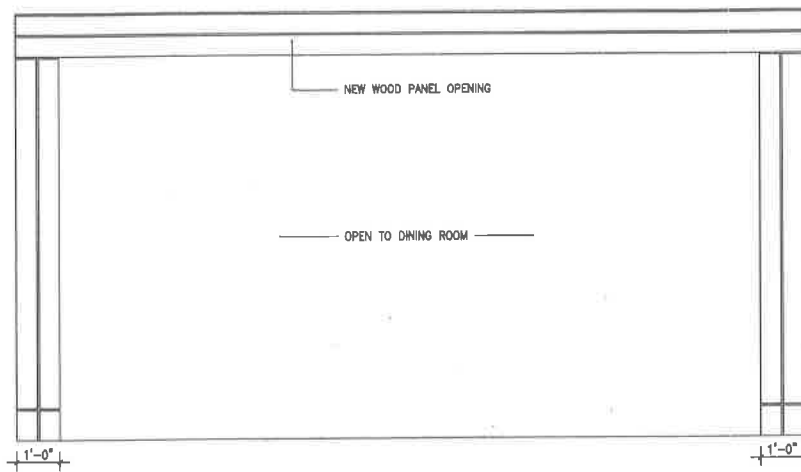
1 **LIVING ROOM (LOOKING NORTH)**
 A4.01 SCALE: 1/2" = 1'-0"



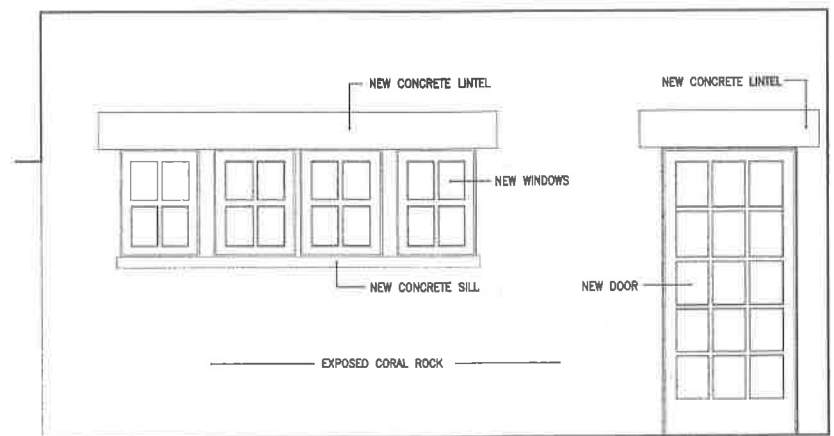
2 **LIVING ROOM (LOOKING SOUTH)**
 A4.01 SCALE: 1/2" = 1'-0"



3 **LIVING ROOM (LOOKING EAST)**
 A4.01 SCALE: 1/2" = 1'-0"



4 **LIVING ROOM (ARCHWAY)**
 A4.01 SCALE: 1/2" = 1'-0"



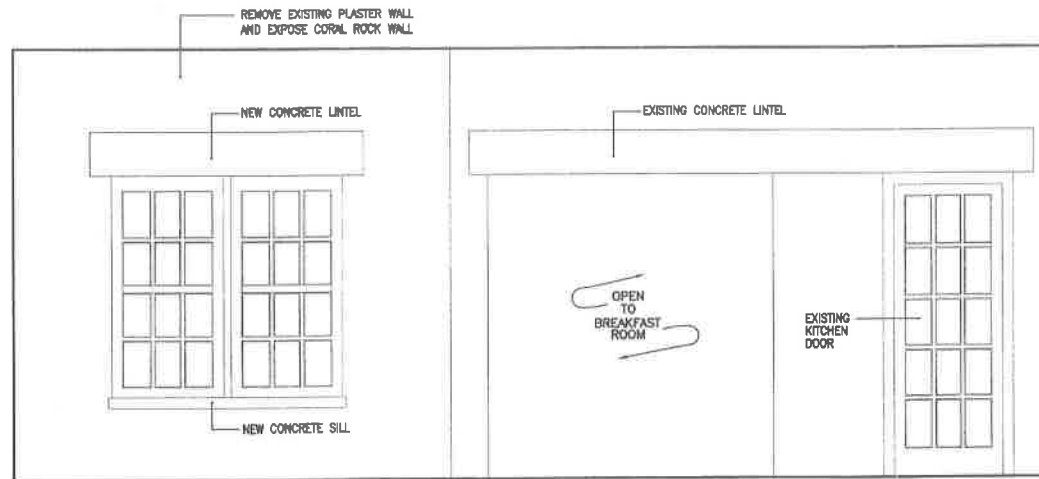
5 **LIVING ROOM (LOOKING WEST)**
 A4.01 SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

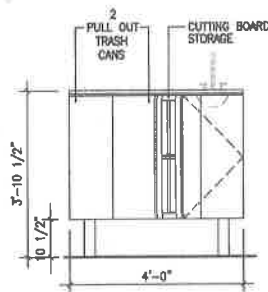
DATE: 01/28/2012
 DRAWN BY: MC
 CHECKED BY: JB
 REVISIONS:

JOB NO.
 2010-0001
 SHEET NO.

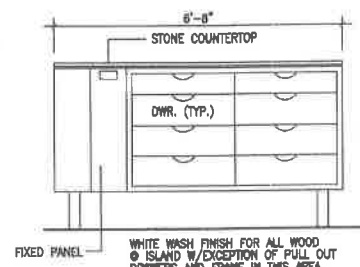
A4.01



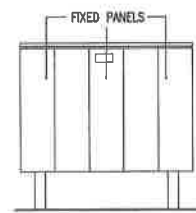
1
A4.02 **KITCHEN (LOOKING SOUTH)**
SCALE: 1/2" = 1'-0"



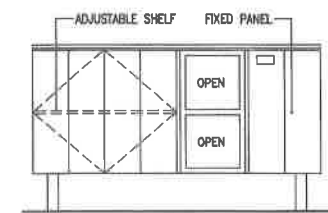
LOOKING EAST



LOOKING NORTH

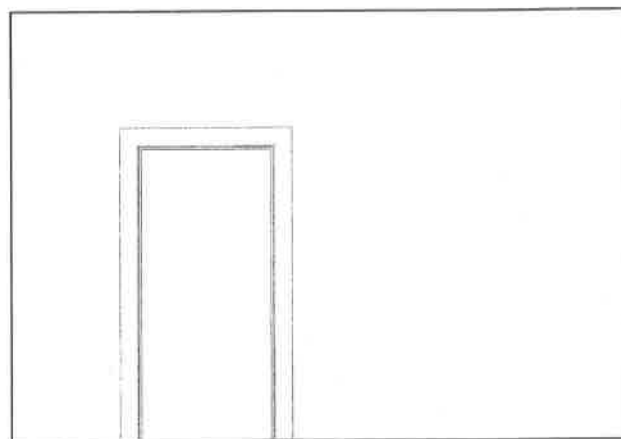


LOOKING WEST

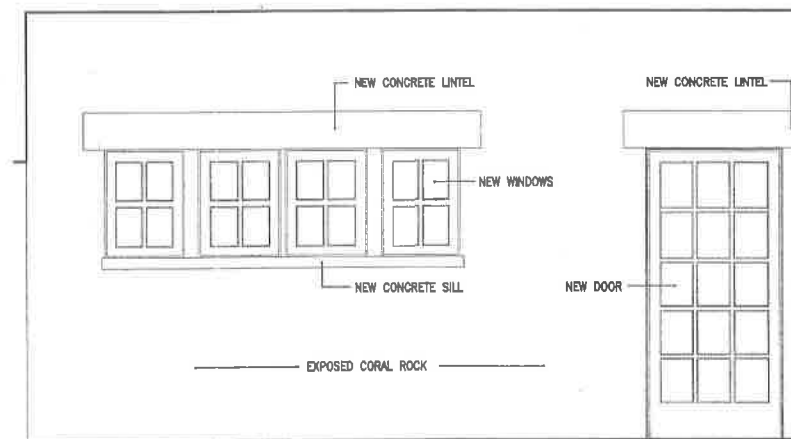


LOOKING SOUTH

2
A4.02 **KITCHEN ISLAND**
SCALE: 1/2" = 1'-0"



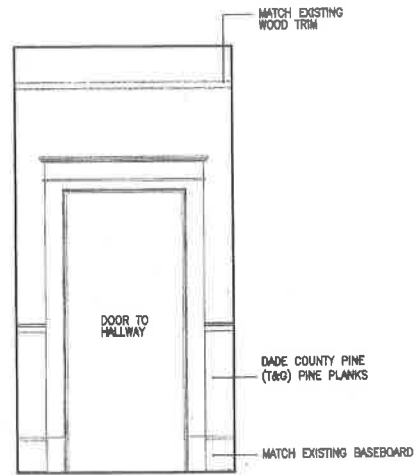
2
A4.02 **KITCHEN (LOOKING EAST)**
SCALE: 1/2" = 1'-0"



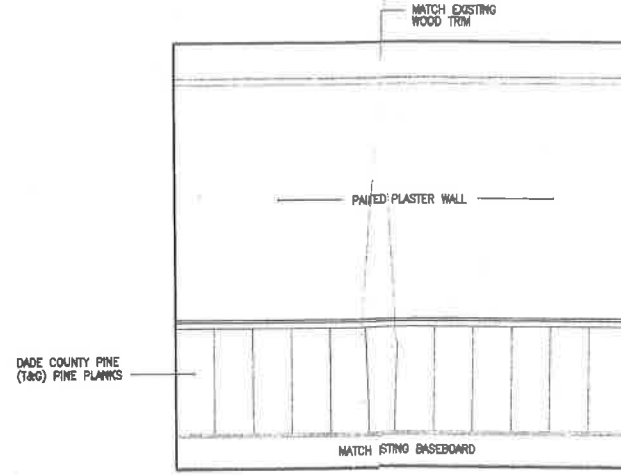
3
A4.02 **KITCHEN (LOOKING WEST)**
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

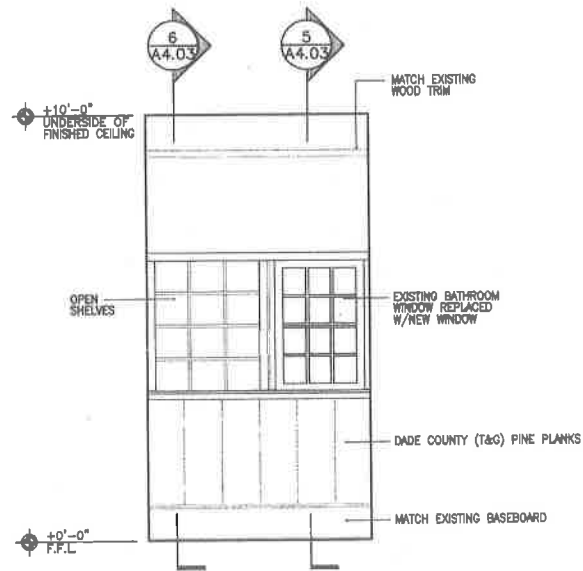
[Signature]
M. Jenifer Briley, P.A.
STATE OF FLORIDA
REGISTERED ARCHITECT NO. 03533
DATE 01/25/2013
DRAWN BY JAC
CHECKED BY JAB
REVISIONS



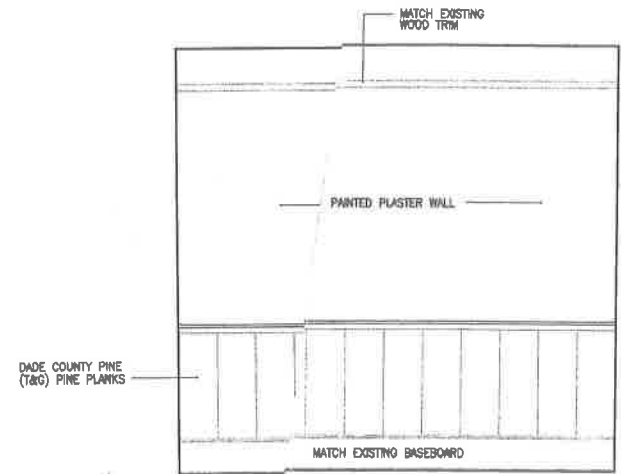
1 BATHROOM (LOOKING NORTH)
A4.03 SCALE: 1/2" = 1'-0"



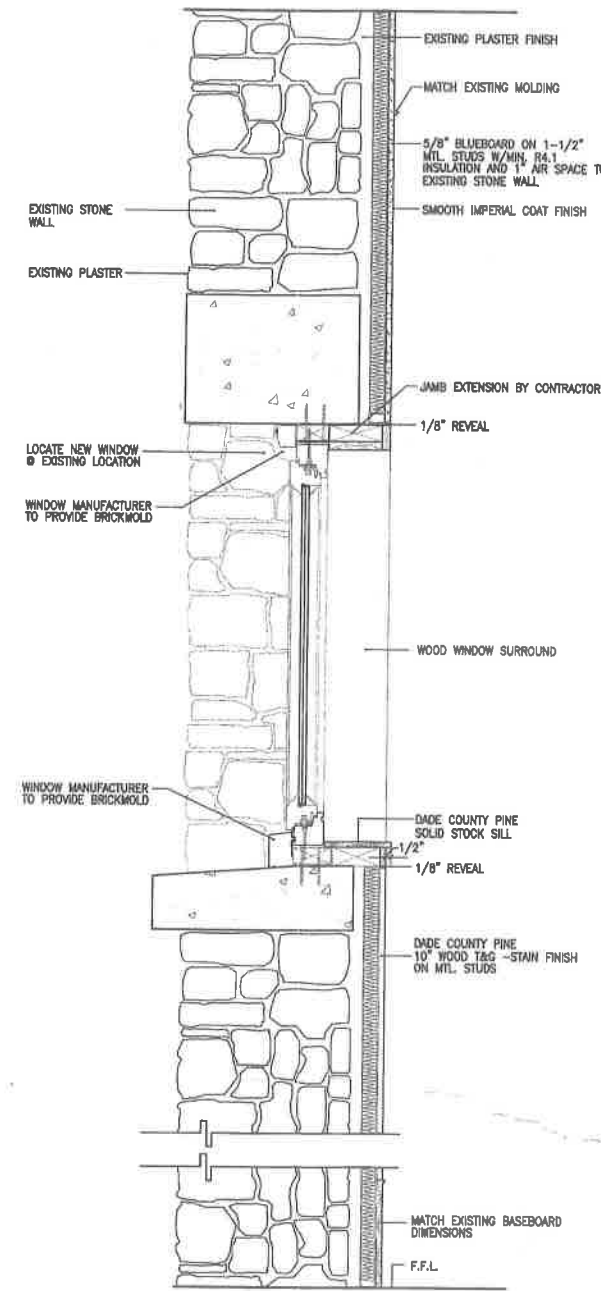
2 BATHROOM (LOOKING EAST)
A4.03 SCALE: 1/2" = 0"



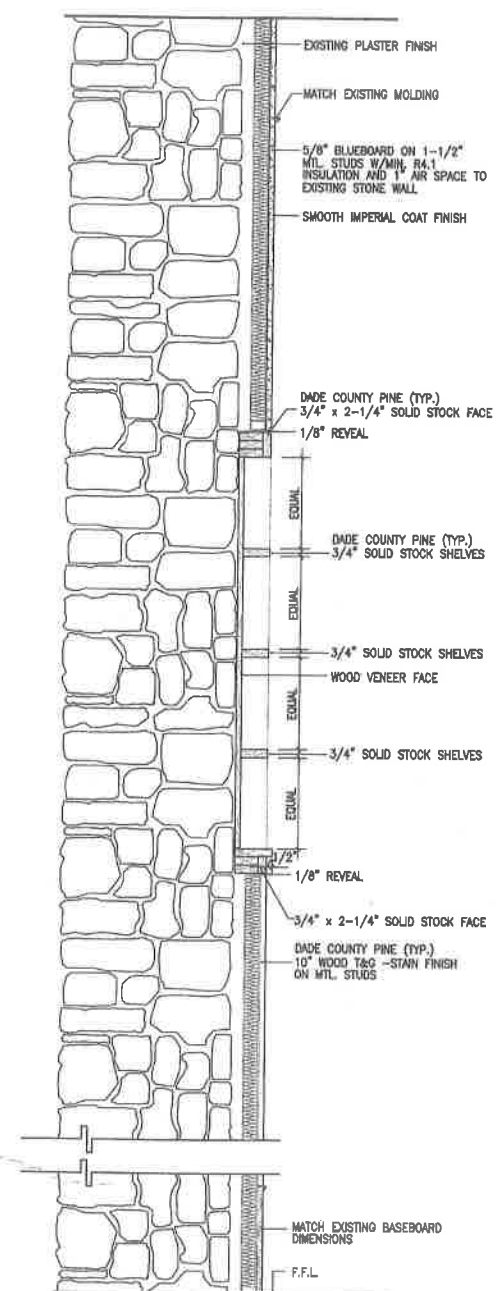
3 BATHROOM (LOOKING SOUTH)
A4.03 SCALE: 1/2" = 1'-0"



4 BATHROOM (LOOKING WEST)
A4.03 SC: 1/2" = 1'-0"

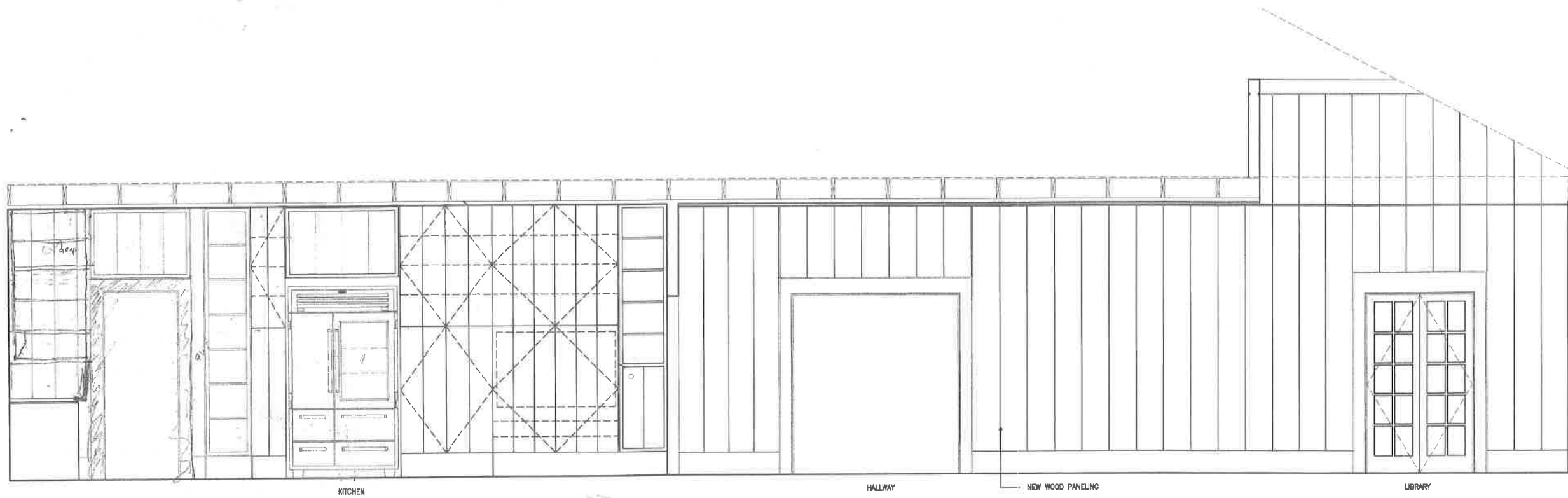


5 SECTION @ BATHROOM 107 - WINDOW
A4.03 SCALE: 1-1/2" = 1'-0"

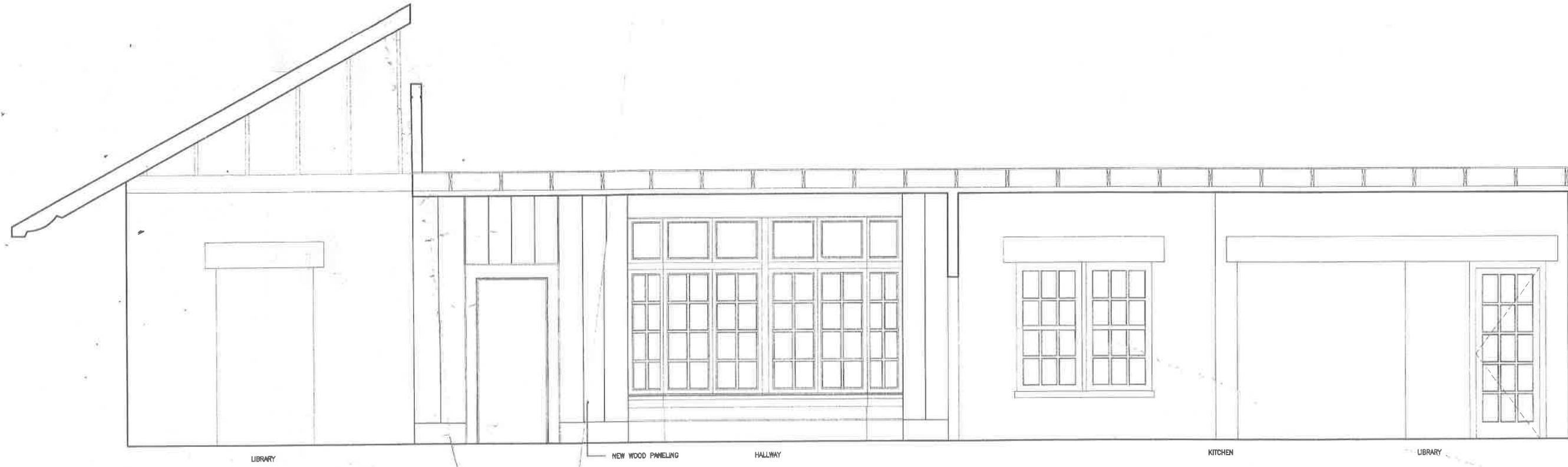


6 SECTION @ BATHROOM 107 - SHELVING
A4.03 SCALE: 1-1/2" = 1'-0"

FOR CONSTRUCTION



1
A4.05 COMPOSITE ELEVATION THRU KITCHEN, HALLWAY, AND LIBRARY
SCALE: 1/2" = 1'-0"



2
A4.05 COMPOSITE ELEVATION THRU LIBRARY, HALLWAY, AND KITCHEN
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9223 Fax. 305.857.9243

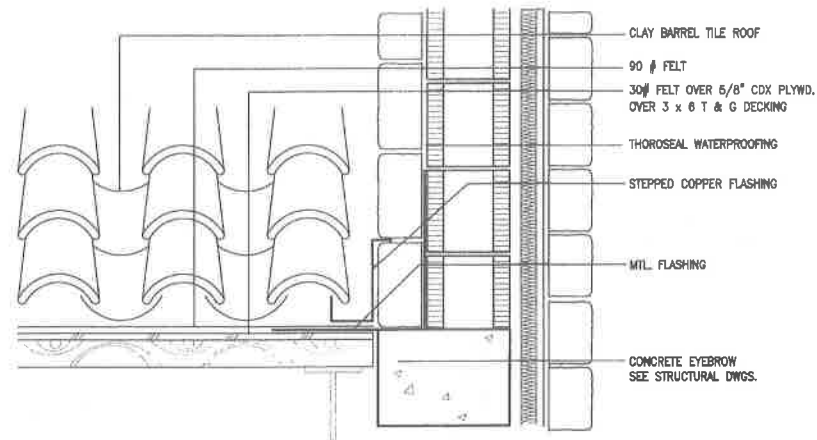
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

INTERIOR
ELEVATIONS

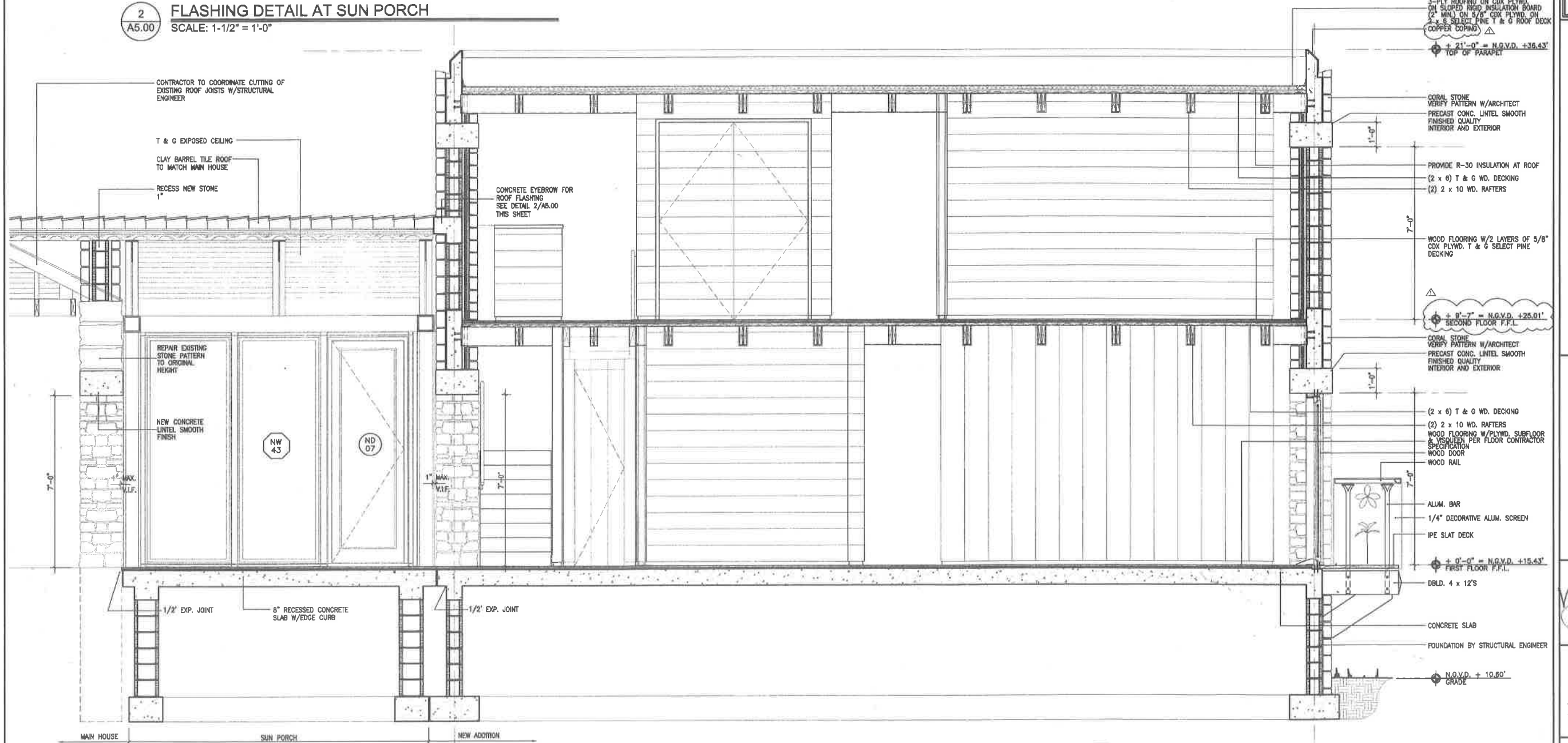
[Signature]
M. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTERED NO. 01288
DATE 01/25/2012
DRAWN BY JCB
CHECKED BY JCB
REMARKS
REVISIONS

JOB NO.
2010-0001

SHEET NO.
A4.05

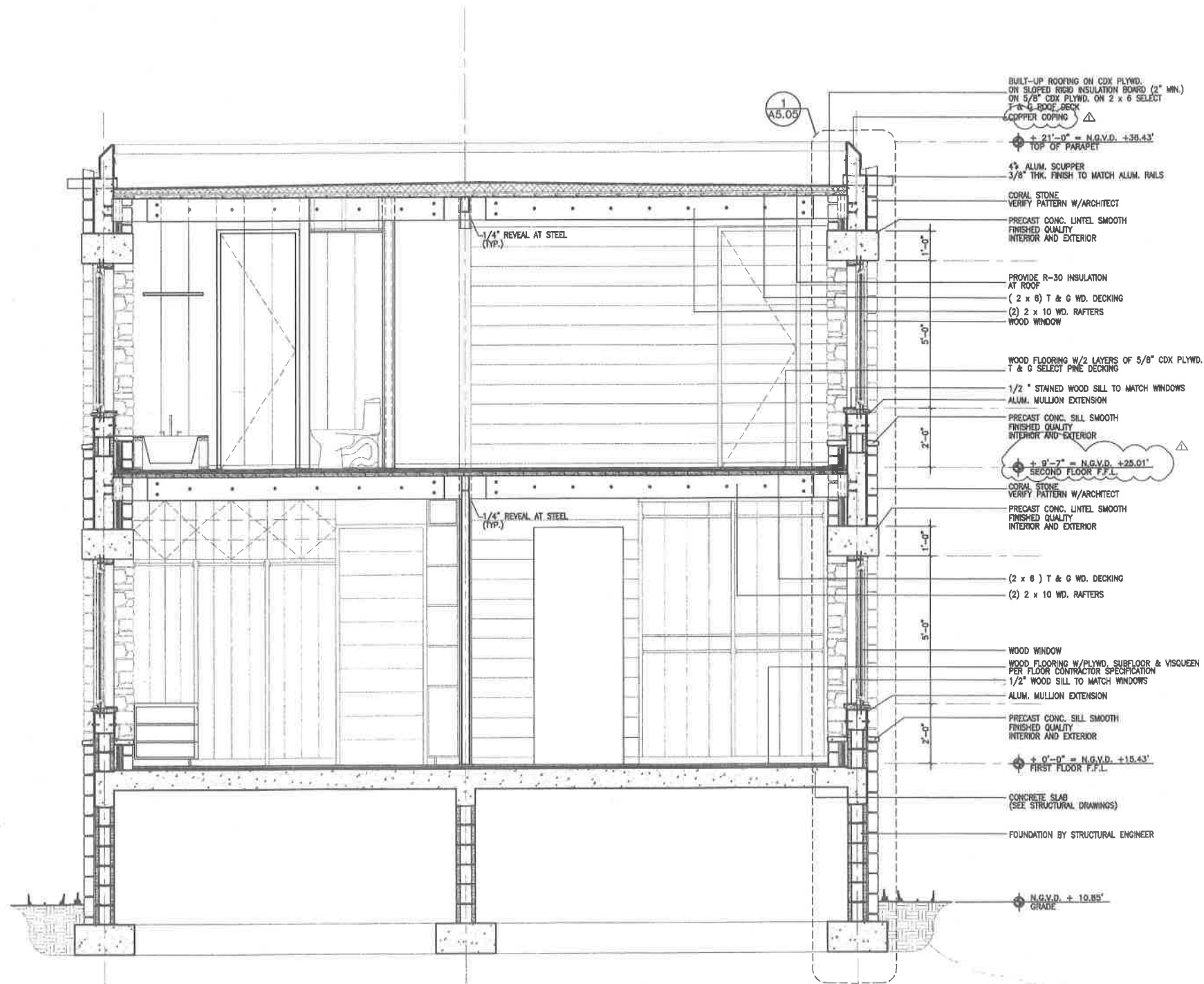


2 FLASHING DETAIL AT SUN PORCH
 SCALE: 1-1/2" = 1'-0"



1 BUILDING SECTION
 SCALE: 1/2" = 1'-0"

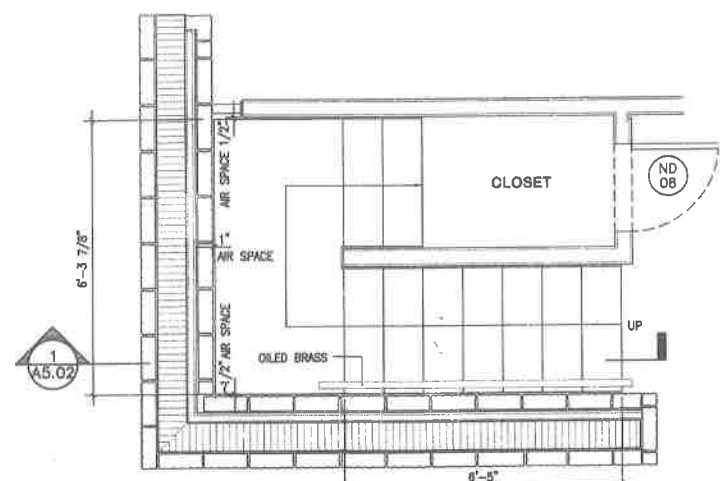
FOR CONSTRUCTION



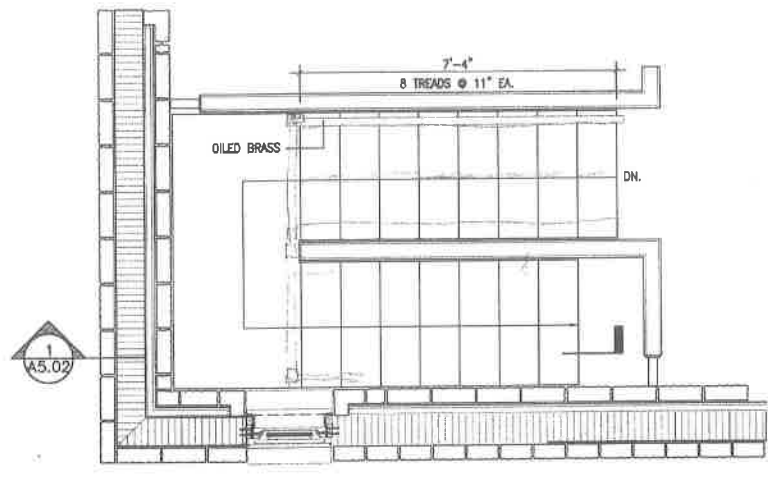
1 BUILDING SECTION
A5.01 SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION

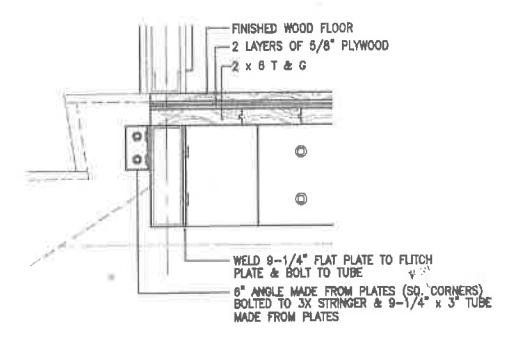
DATE	01/28/2010
DRAWN BY	MC
CHECKED BY	JB
REVISIONS	
REVISIONS	SEAL, DEPT. COMMENTS
	12/21/11
	FOR CONSTRUCTION
	12/21/11



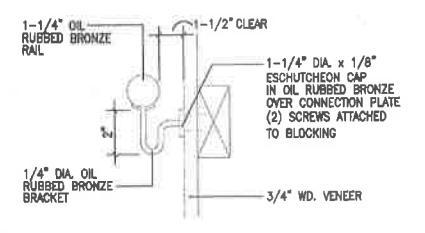
5 PLAN AT 1ST FLOOR
SCALE: 1/2" = 1'-0"



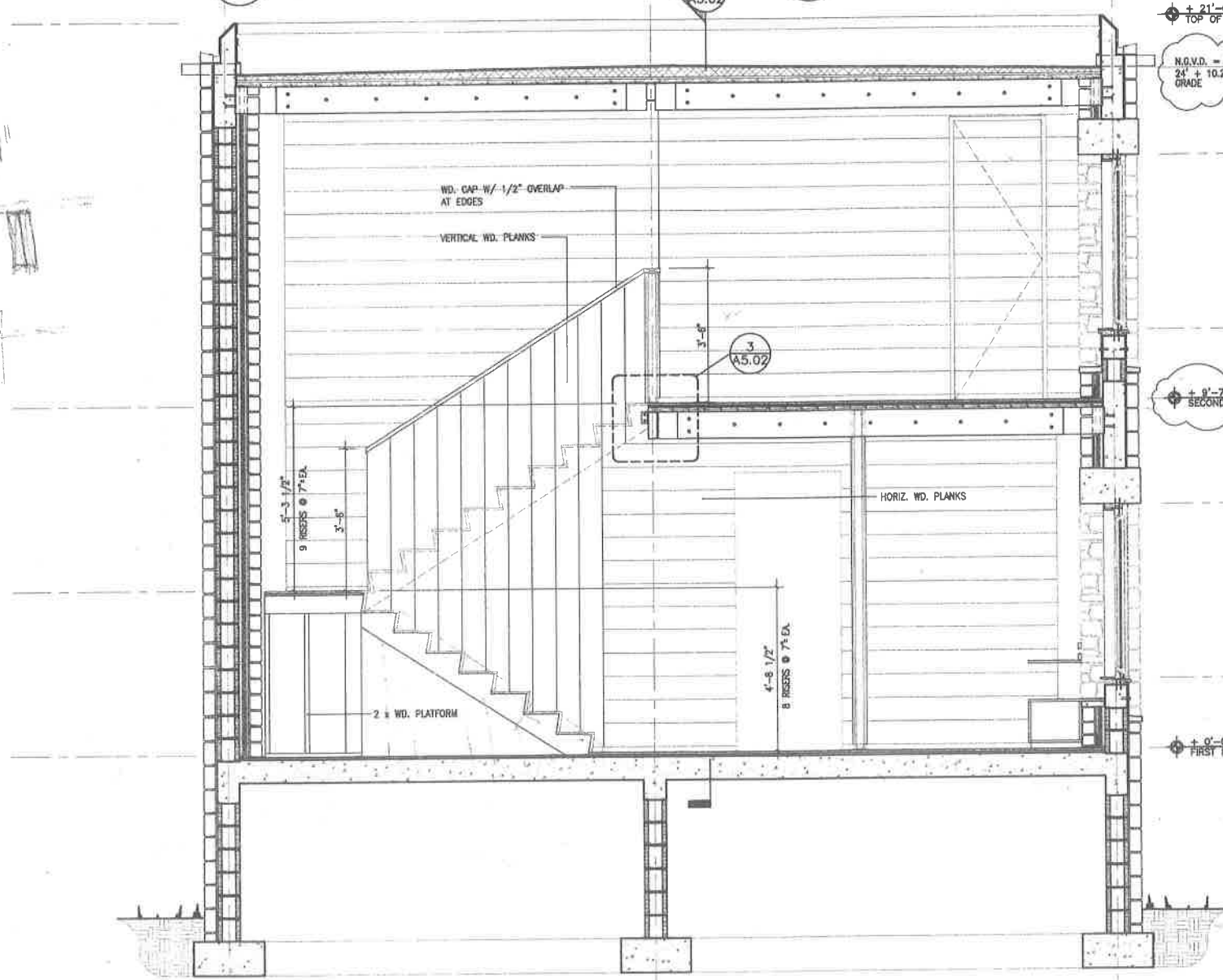
4 PLAN AT 2ND FLOOR
SCALE: 1/2" = 1'-0"



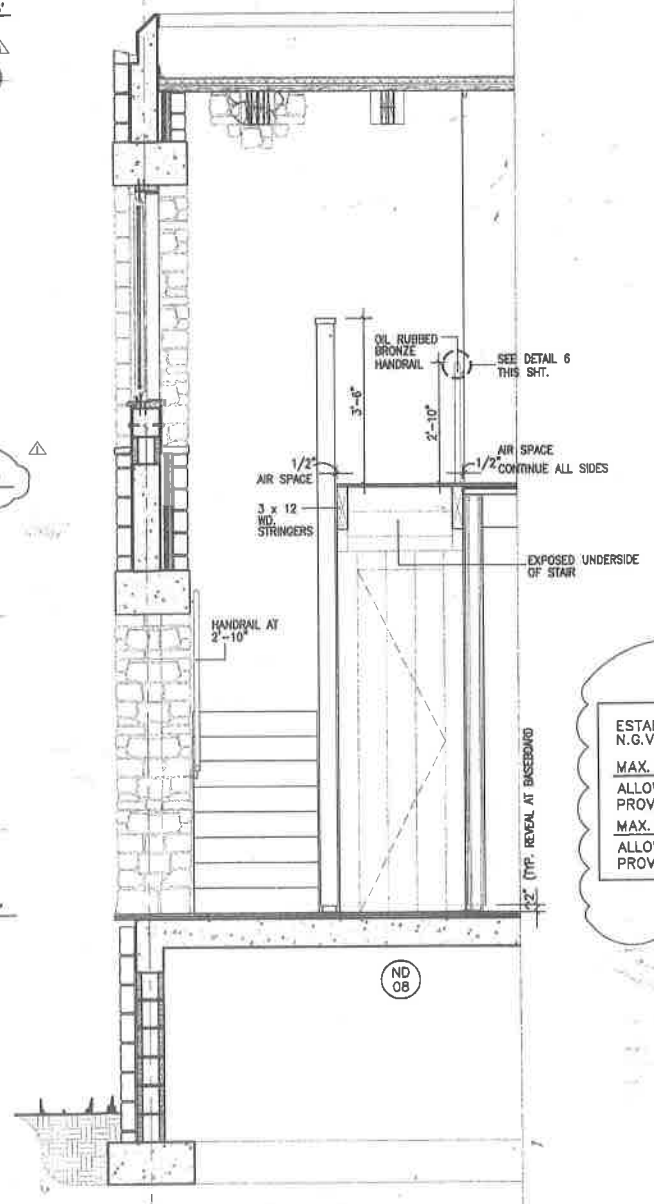
3 DETAIL AT STAIR CONNECTION
SCALE: 1-1/2" = 1'-0"



6 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



1 STAIR SECTION
SCALE: 1/2" = 1'-0"



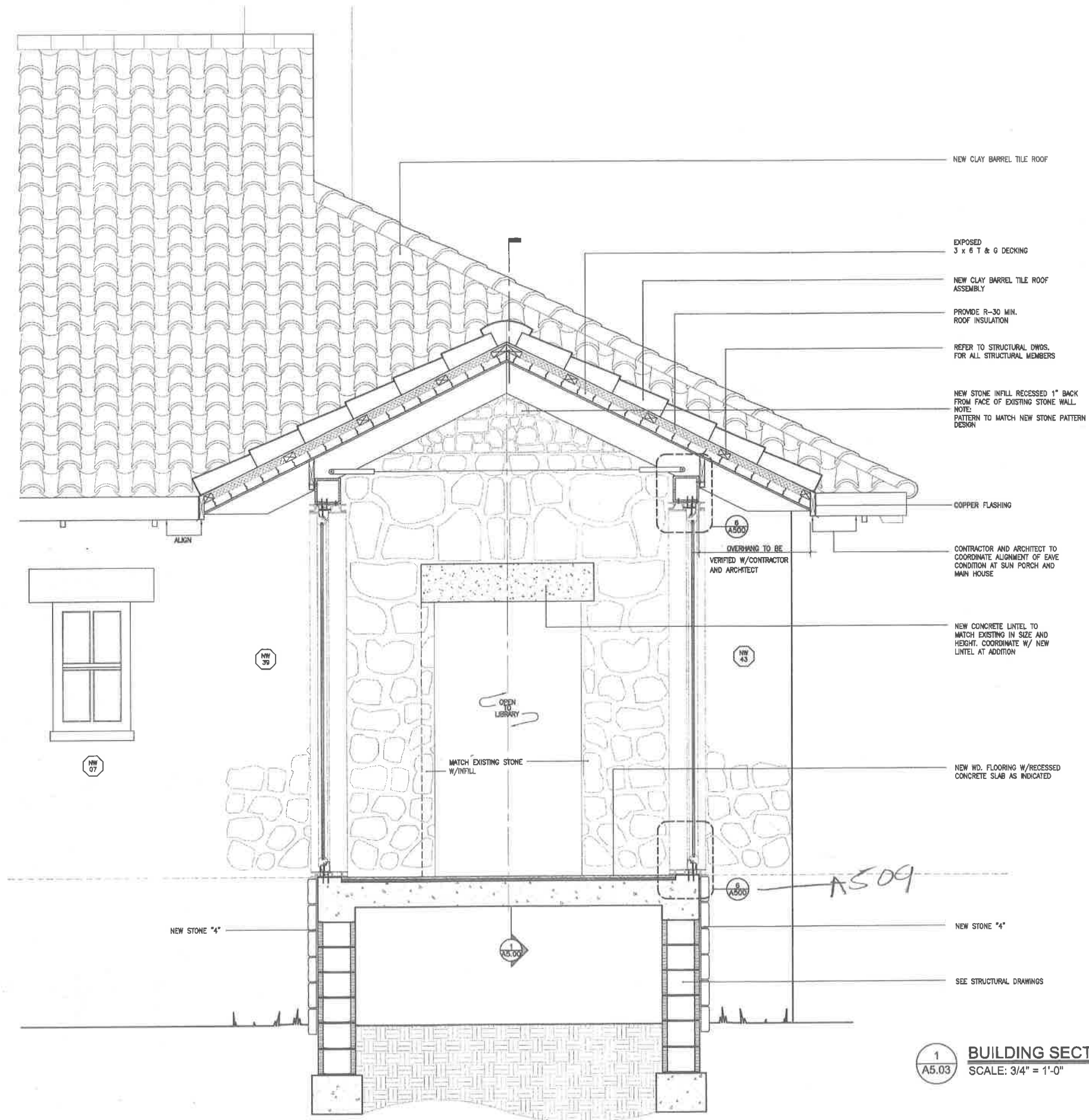
2 STAIR SECTION
SCALE: 1/2" = 1'-0"

ESTABLISHED GRADE FROM SIDEWALK
N.G.V.D. = 10.20'

MAX. HT. OF PARAPET
ALLOWED = N.G.V.D. 36.70'
PROVIDED = N.G.V.D. 36.43'

MAX. HT. OF BASE OF PARAPET
ALLOWED = N.G.V.D. 34.20'
PROVIDED = N.G.V.D. 34.20'

FOR CONSTRUCTION



NEW CLAY BARREL TILE ROOF

EXPOSED
3 x 6 T & G DECKING

NEW CLAY BARREL TILE ROOF
ASSEMBLY

PROVIDE R-30 MIN.
ROOF INSULATION

REFER TO STRUCTURAL DWGS.
FOR ALL STRUCTURAL MEMBERS

NEW STONE INFILL RECESSED 1" BACK
FROM FACE OF EXISTING STONE WALL.
NOTE:
PATTERN TO MATCH NEW STONE PATTERN
DESIGN

COPPER FLASHING

OVERHUNG TO BE
VERIFIED W/CONTRACTOR
AND ARCHITECT

CONTRACTOR AND ARCHITECT TO
COORDINATE ALIGNMENT OF EAVE
CONDITION AT SUN PORCH AND
MAIN HOUSE

NEW CONCRETE LINTEL TO
MATCH EXISTING IN SIZE AND
HEIGHT. COORDINATE W/ NEW
LINTEL AT ADDITION

NEW HD. FLOORING W/RECESSED
CONCRETE SLAB AS INDICATED

NEW STONE "4"

SEE STRUCTURAL DRAWINGS

1
A5.03

BUILDING SECTION @ SUN PORCH
SCALE: 3/4" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

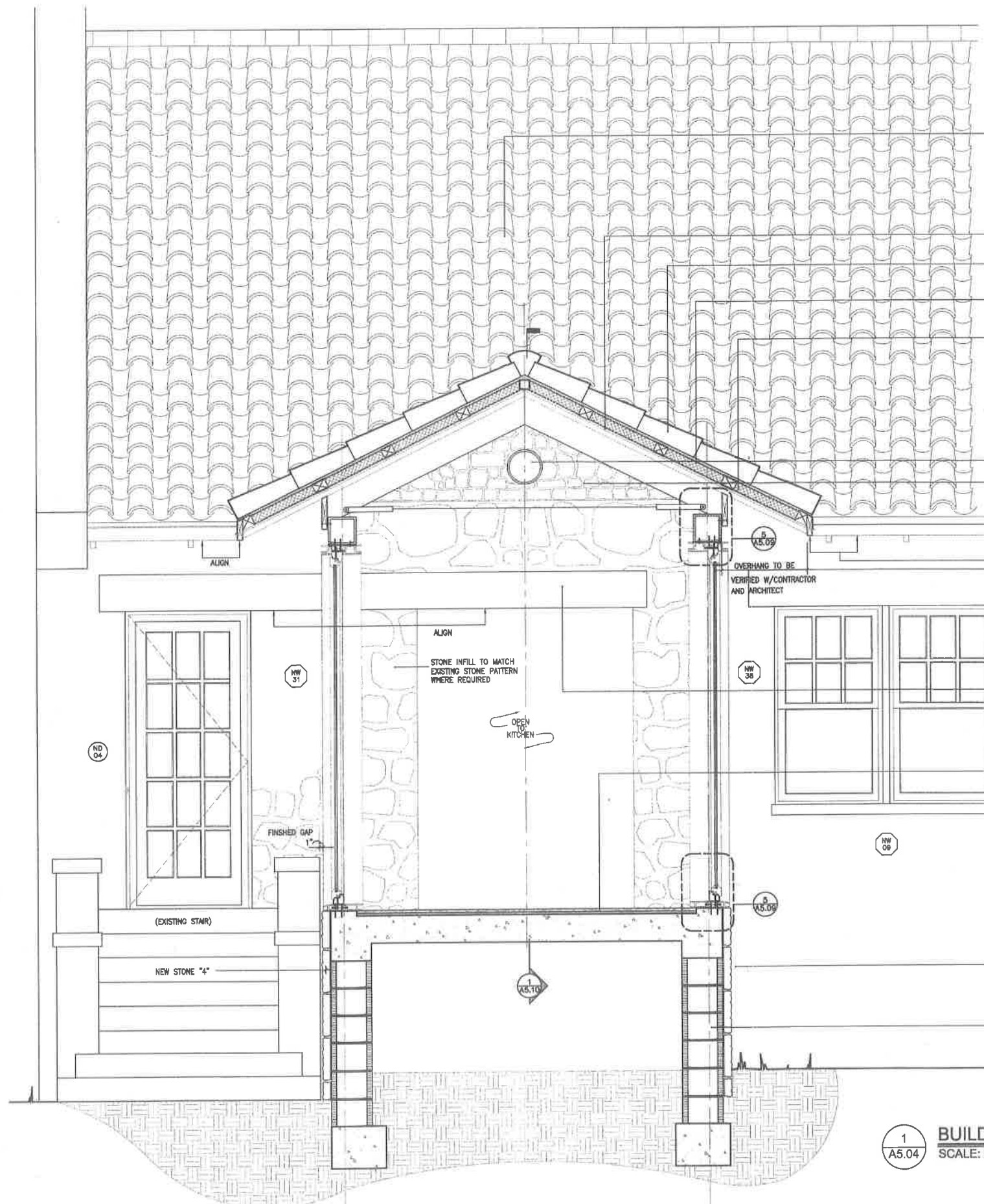
BUILDING
SECTION

W. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTERED ARCHITECT

DATE: 01/28/2012
DRAWN BY: MC
CHECKED BY: JB
REMARKS:
REVISIONS:
△ FOR CONSTRUCTION
12/21/11

JOB NO.
2010-0001

SHEET NO.
A5.03



NEW CLAY BARREL TILE ROOF
 EXPOSED
 3 x 6 T & G DECKING
 NEW CLAY BARREL TILE ROOF
 ASSEMBLY
 PROVIDE R-30 MIN.
 ROOF INSULATION
 REFER TO STRUCTURAL DWGS.
 FOR ALL STRUCTURAL MEMBERS

10 3/4 MTL REGISTER CUSTOM DESIGN BY KEES
 OIL RUBBED BRONZE FINISH (SEA SHELL)
 NEW STONE INFILL RECESSED 1" BACK
 FROM FACE OF EXISTING STONE WALL.
 NOTE:
 PATTERN TO MATCH NEW STONE PATTERN
 DESIGN
 COPPER FLASHING

CONTRACTOR AND ARCHITECT TO
 COORDINATE ALIGNMENT OF EAVE
 CONDITION AT SUN PORCH AND
 MAIN HOUSE

NEW CONCRETE LINTEL TO
 MATCH EXISTING IN SIZE AND
 HEIGHT. COORDINATE W/ NEW
 LINTEL AT ADDITION

NEW WD. FLOORING W/RECESSED
 CONCRETE SLAB AS INDICATED

NEW STONE "4"
 STONE PATTERN TO BE COORDINATED
 BY ARCHITECT

SEE STRUCTURAL DRAWINGS

1
 A5.04

BUILDING SECTION @ BREAKFAST ROOM
 SCALE: 3/4" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
 architecture . interior design . planning
 1829 Tiger Trail Ave, Coconut Grove, FL 33133
 Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

BUILDING
SECTION

(Signature)
 W. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 00000

DATE: 01/25/2012
 DRAWN BY: JBC
 CHECKED BY: JBC
 REMARKS:
 REVISIONS FOR CONSTRUCTION

JOB NO.
 2010-0001

SHEET NO.
A5.04

5'-0" ± 1/2" TOP OF PARAPET N.G.V.D. +36.43'

COPPER CAP FLASHING
FLASHING & COUNTER FLASHING
TO MATCH WINDOW ASSEMBLY
ON SLOPED ROOF INSULATION BOARD (2" MIN.)
ON 5/8" CDX PLYWOOD ON 2" x 6 SELECT PINE
TAG, ROOF DECK
LEAK SCREEN

4" ALUM. SCUPPER
3/8" THK. FINISH TO MATCH ALUM. RAILS
FOR WINDOW ASSEMBLY
AND FLASHING ASSEMBLY

CORAL STONE
VEINRY PATTERN W/ARCHITECT

PRECAST CONC. LINTEL SMOOTH
FINISHED QUALITY
INTERIOR AND EXTERIOR

PROVIDE R-30 INSULATION
AT ROOF

(2) 2 x 10 WD. RAFTERS
W/ FLITCH RE. STRUCTURAL

CONTRACTOR TO PROVIDE SHOP DRAWINGS
FOR WINDOW ASSEMBLY AND EXT.

WOOD FLOORING W/2 LAYERS OF 5/8" CDX PLYWD
T & G SELECT PINE DECKING

ALUM. MULLION EXTENSION. REFER TO ELEVATION FOR
BOLT PATTERN

PRECAST CONCRETE SILL SMOOTH FINISH QUALITY
INTERIOR AND EXTERIOR

+ 9'-7" = N.G.V.D. +25.01'
SECOND FLOOR F.F.L.

CORAL STONE
VEINRY PATTERN W/ARCHITECT

WATERPROOF (SEALANT) (TYP.) @ BLOCK EXTERIOR

PRECAST CONC. LINTEL
FINISHED QUALITY
INTERIOR AND EXTERIOR

R4-1 INSULATION W/1-1/2" STRUCTURAL STUDS
W/1" AIRSPACE

PROVIDE WATERPROOF MATERIAL FOR STONE
MORTAR BED

(2x4) T & G WD. DECKING

(2) 2 x 10 WD. RAFTERS
W/ FLITCH RE. STRUCTURAL

WOOD FLOORING W/PLYWD. SUBFLOOR & VISQUEEN PER
FLOOR CONTRACTOR SPECIFICATION

ALUM. MULLION EXTENSION

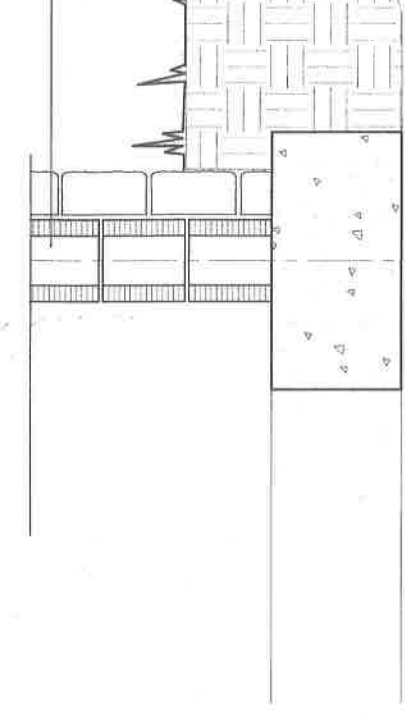
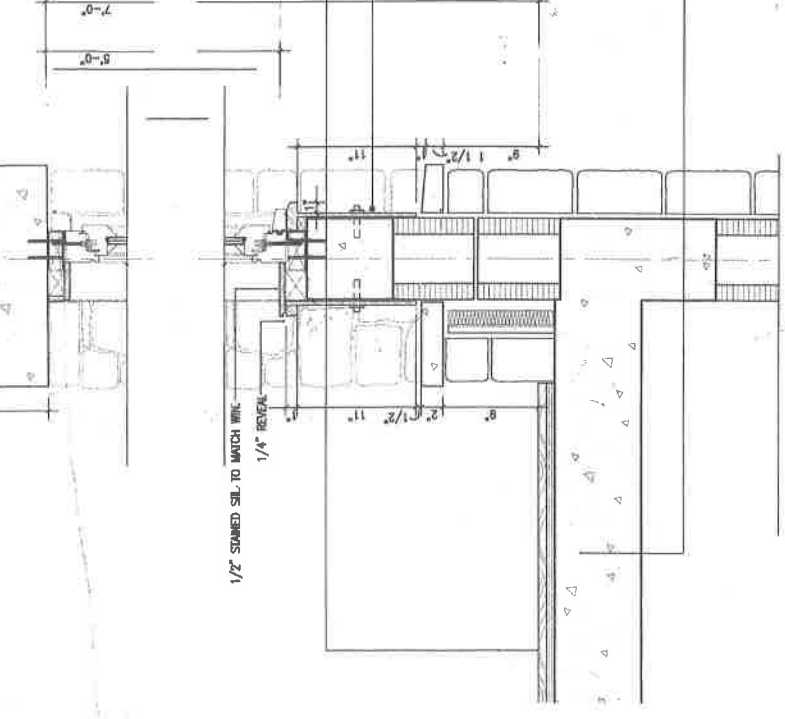
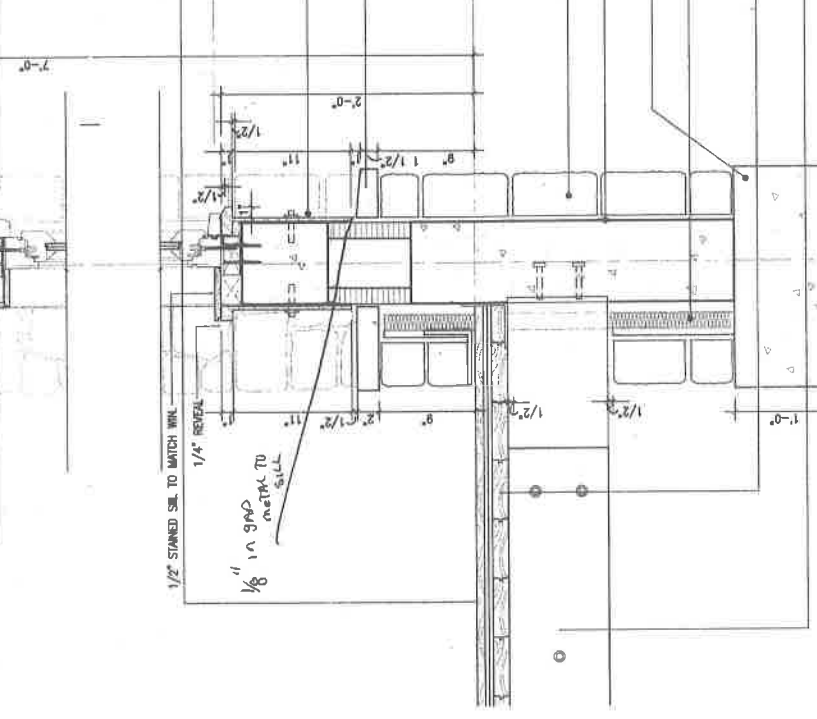
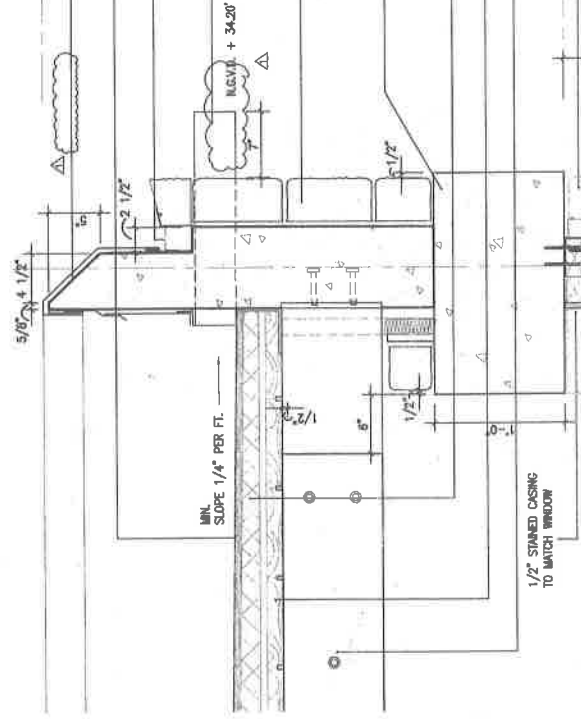
+ 0'-0" = N.G.V.D. +15.43'
FIRST FLOOR F.F.L.

CONCRETE SLAB (SEE STRUCTURAL)

FOUNDATION BY STRUCTURAL ENGINEER

N.G.V.D. +10.85'
GRADE

1
A5.05
WALL SECTION
SCALE: 1-1/2" = 1'-0"



United METAL
305 633 2801 office
786 317 0329 Robert
INSIDE GAP 1/2 metal TO sill
OUTSIDE GAP 1/8 metal TO sill

PARTIAL SECTION
STONE IN SECTION
1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

1/2" ROUND COLLAR
EMBEDMENT INTO STONE
W/COMPRESSION SPRING OR EQUAL

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

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PROVIDE ENG. SHOP DRAWINGS

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

1/2" x 1/2" PAINTED ALUM. CLANGORIAL
PROVIDE ENG. SHOP DRAWINGS

2
A5.05
HANDRAIL DETAIL (TYP.)
SCALE: 1-1/2" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

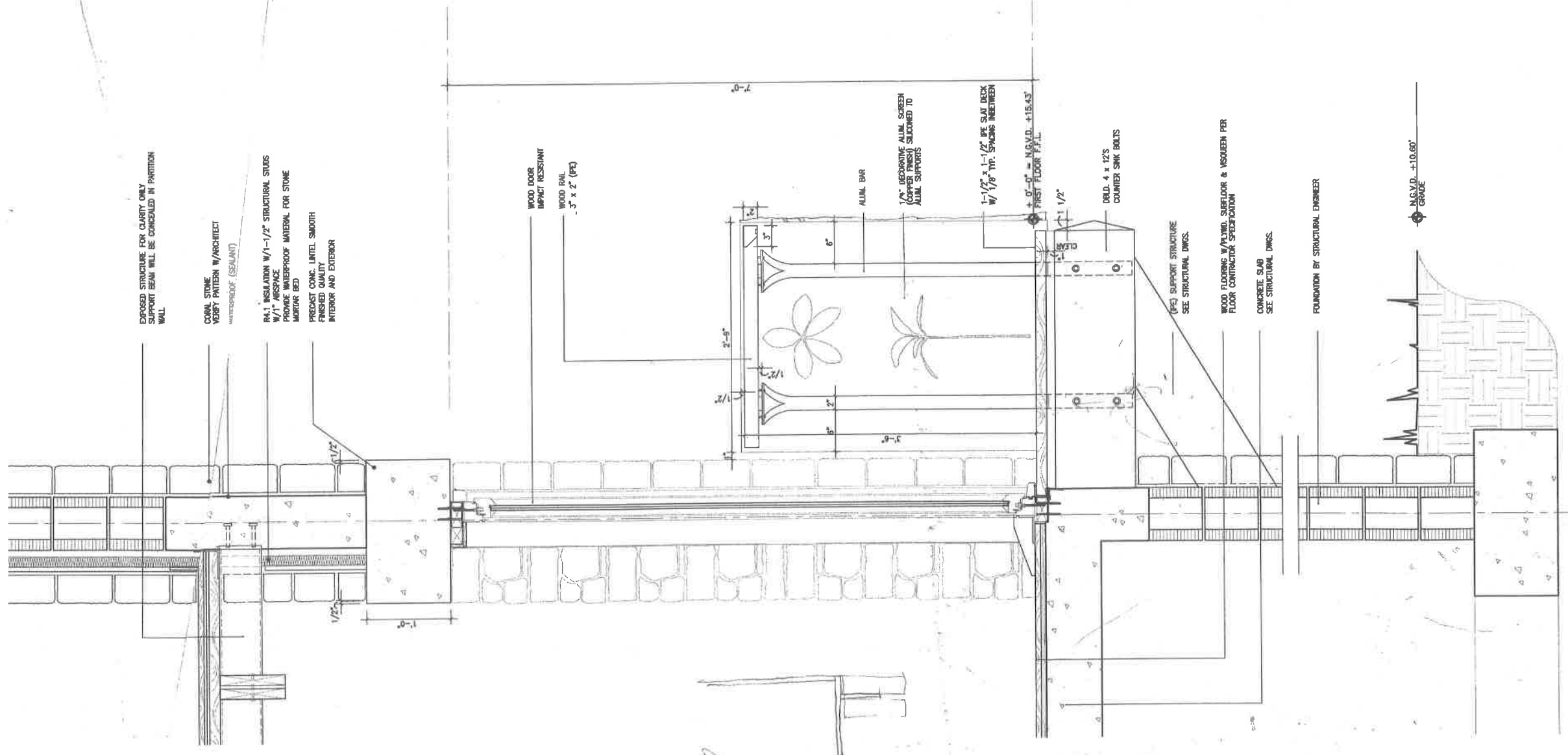
WALL SECTION

U. Venter, P.E., P.A.
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
DATE: 01/28/2012
DRAWN BY: JBC
CHECKED BY: JBC
REMARKS:
1. SEE REPT. COMMENTS
2. FOR CONSTRUCTION
12/17/2011

JOB NO.
2010-0001

SHEET NO.

A5.05



1
 A5.06
 PARTIAL WALL SECTION
 SCALE: 1-1/2" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
 architecture . interior design . planning
 1829 Tiger Tail Ave. Coconut Grove, FL 33133
 Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

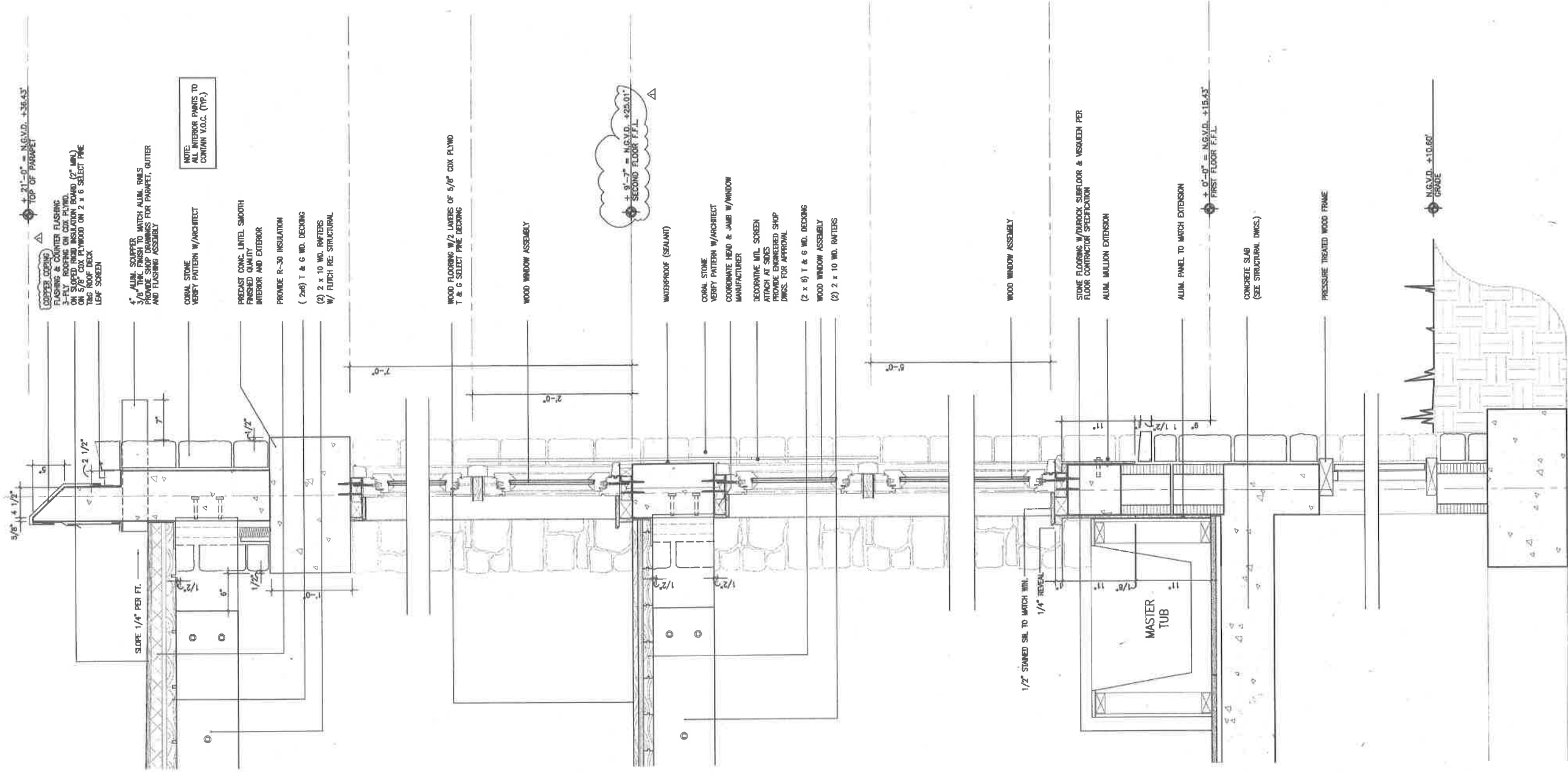
WALL
 SECTION

M. Jenifer Briley, AIA
 STATE OF FLORIDA
 REGISTRATION NO. 01153

DATE: 01/25/2012
 DRAWN BY: JIC
 CHECKED BY: JH
 REMARKS:
 REVISIONS:
 1/25/12 CONSTRUCTION

JOB NO.
 2010-0001

SHEET NO.
 A5.06



9'-11'-0" = N.G.V.D. +36.43'
TOP OF PARAPET

LOPPER COILING
FLASHING & COUNTER FLASHING
ATTACH TO CORNER JOINT
ON 5/8" COX PLYWOOD ON 2 x 6 SELECT PINE
TAG ROOF DECK
LEAF SCREEN

4" ALUM. SQUIPPER
3/8" THK. FINISH TO MATCH ALUM. RAILS
PROVIDE SHIP DRAWINGS FOR PARAPET, GUTTER
AND FLASHING ASSEMBLY

NOTE:
ALL INTERIOR PAINTS TO
CONTAIN V.O.C. (TYP.)

CORAL STONE
VERIFY PATTERN W/ARCHITECT

PRECAST CONCL. UNTEL. SMOOTH
FINISH TO MATCH INTERIOR
INTERIOR AND EXTERIOR

PROMOTE R-30 INSULATION

(2x6) T & G WD. DECKING

(2) 2 x 10 WD. RAFTERS
W/ BUTCH REC. STRUCTURAL

WOOD FLOORING W/2 LAYERS OF 5/8" COX PLYWD
T & G SELECT PINE DECKING

WOOD WINDOW ASSEMBLY

+ 9'-7" = N.G.V.D. +25.01'
SECOND FLOOR F.F.L.

WATERPROOF (SEALANT)

CORAL STONE
VERIFY PATTERN W/ARCHITECT
COORDINATE HEAD & JAMB W/WINDOW
MANUFACTURER

DECORATIVE MTL SCREEN
ATTACH TO EXTERIOR SHIP
DRAWINGS FOR APPROVAL

(2 x 6) T & G WD. DECKING

WOOD WINDOW ASSEMBLY

(2) 2 x 10 WD. RAFTERS

WOOD WINDOW ASSEMBLY

STONE FLOORING W/DURROCK SUBFLOOR & VSKREEN PER
FLOOR CONTRACTOR SPECIFICATION

ALUM. MULLION EXTENSION

ALUM. PANEL TO MATCH EXTENSION

+ 0'-0" = N.G.V.D. +15.43'
FIRST FLOOR F.F.L.

CONCRETE SLAB
(SEE STRUCTURAL DWGS.)

PRESSURE TREATED WOOD FRAME

N.G.V.D. +10.86'
GRADE

SLOPE 1/4" PER FT.

1/2" STAINED SIL TO MATCH WIN.
1/4" REVEAL

MASTER
TUB

FOR CONSTRUCTION

1
A5.07
WALL SECTION
SCALE: 1-1/2" = 1'-0"

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

WALL
SECTION

M. Jenifer Sims, AIA
STATE OF FLORIDA
REGISTERED ARCHITECT

DATE: 01/26/2012
DRAWN BY: MC
CHECKED BY: JH
REVISIONS:

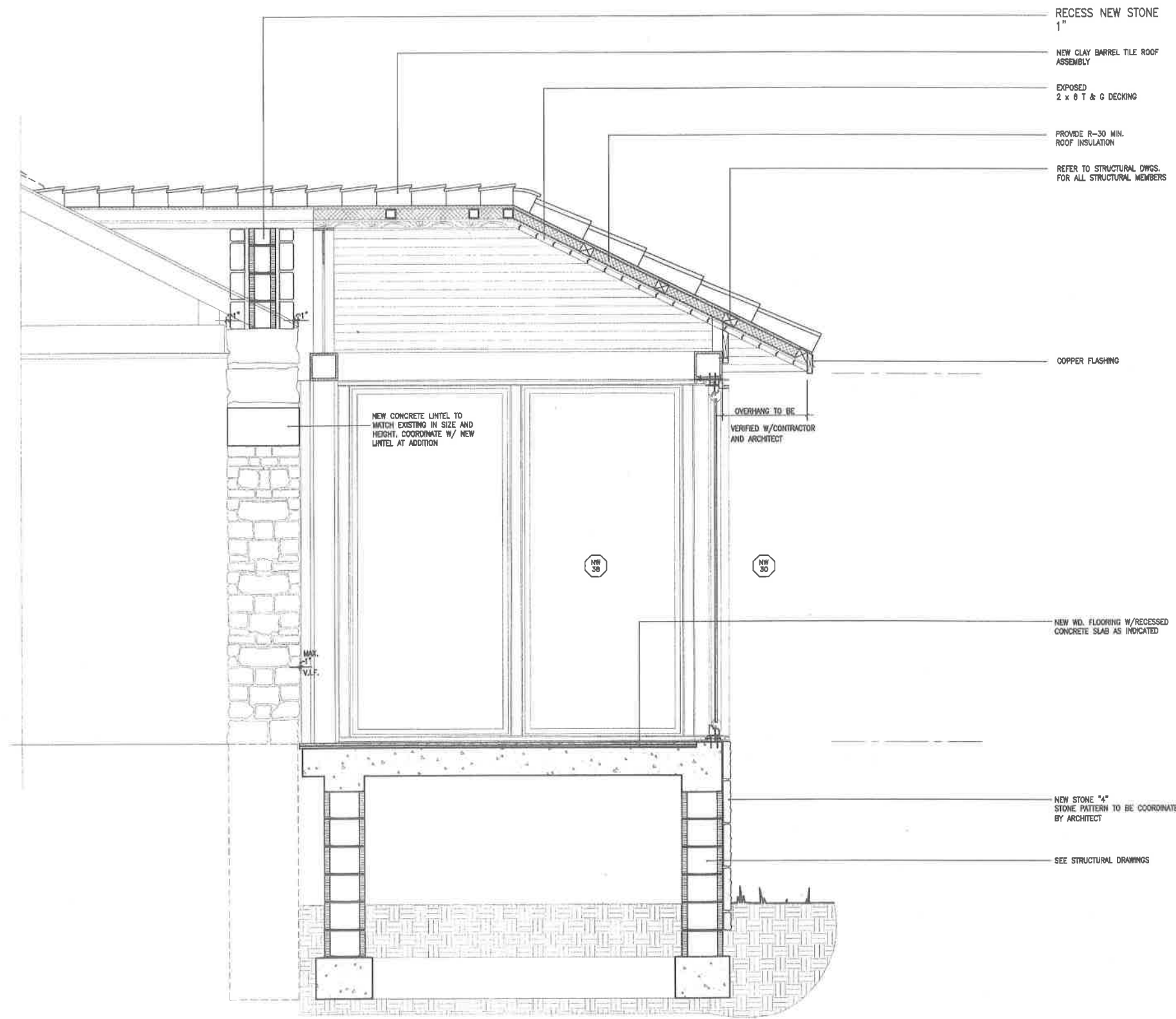
REVISIONS
▲ SLOPE, DET. COMMENTS
02/01/12
▲ FOR CONSTRUCTION
02/01/12

JOB NO.
2010-0001

SHEET NO.

A5.07

jennifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343



RECESS NEW STONE
1"

NEW CLAY BARREL TILE ROOF
ASSEMBLY

EXPOSED
2 x 6 T & G DECKING

PROVIDE R-30 MIN.
ROOF INSULATION

REFER TO STRUCTURAL DWGS.
FOR ALL STRUCTURAL MEMBERS

COPPER FLASHING

NEW CONCRETE LINTEL TO
MATCH EXISTING IN SIZE AND
HEIGHT. COORDINATE W/ NEW
LINTEL AT ADDITION

OVERHANG TO BE
VERIFIED W/ CONTRACTOR
AND ARCHITECT

NEW WD. FLOORING W/ RECESSED
CONCRETE SLAB AS INDICATED

NEW STONE "A"
STONE PATTERN TO BE COORDINATED
BY ARCHITECT

SEE STRUCTURAL DRAWINGS

MAX.
1"
V.I.F.

NW
30

NW
30

1
A5.08

BUILDING SECTION @ BREAKFAST ROOM
SCALE: 3/4" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

BUILDING SECTION

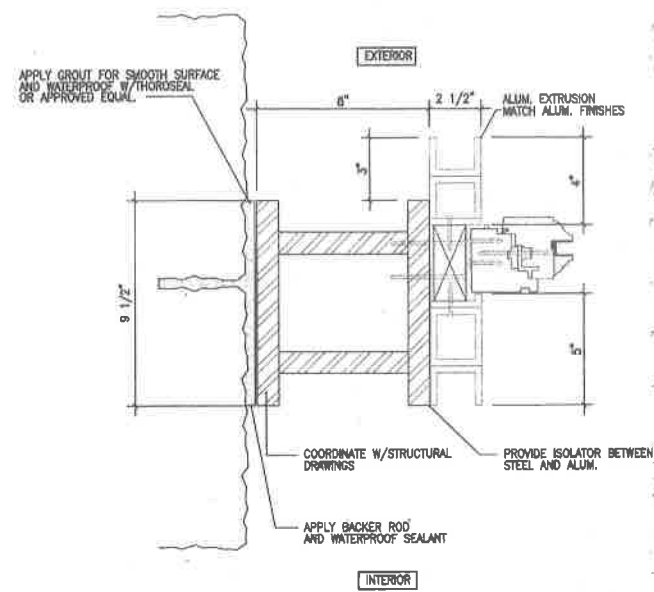
[Signature]
M. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTRATION NO. 01558

DATE: 09/28/2010
DRAWN BY: JLB
CHECKED BY: JLB
REVISIONS:
FOR CONSTRUCTION
12/26/11

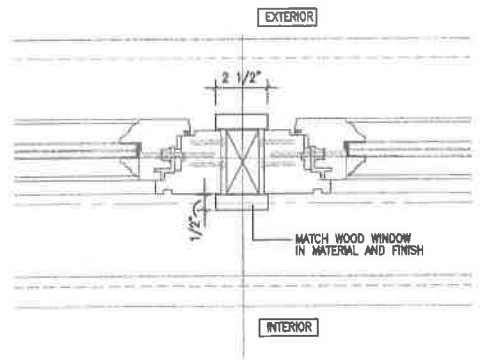
JOB NO.
2010-0001

SHEET NO.

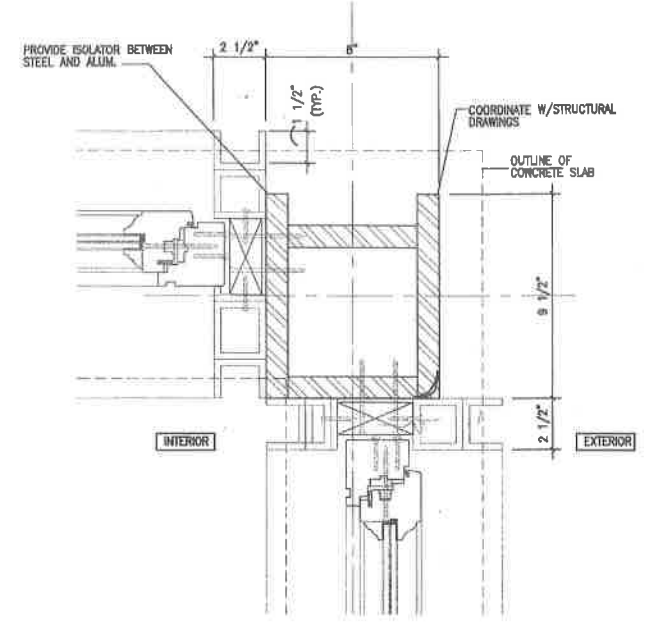
A5.08



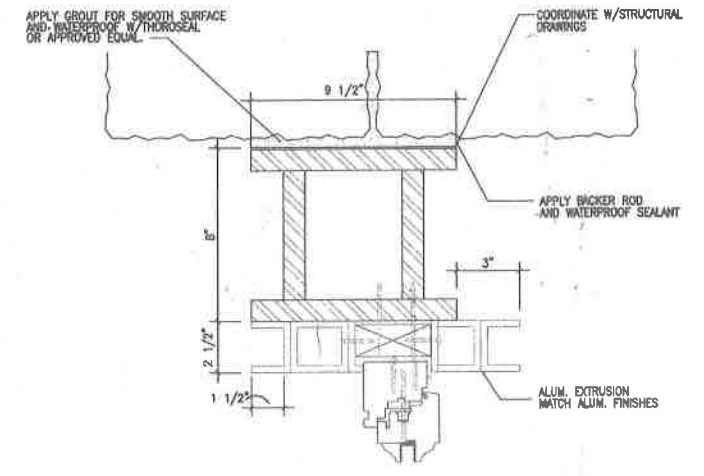
1
A5.09 **DETAIL @ STONE WALL OF BREAKFAST ROOM**
SCALE: 3" = 1'-0"



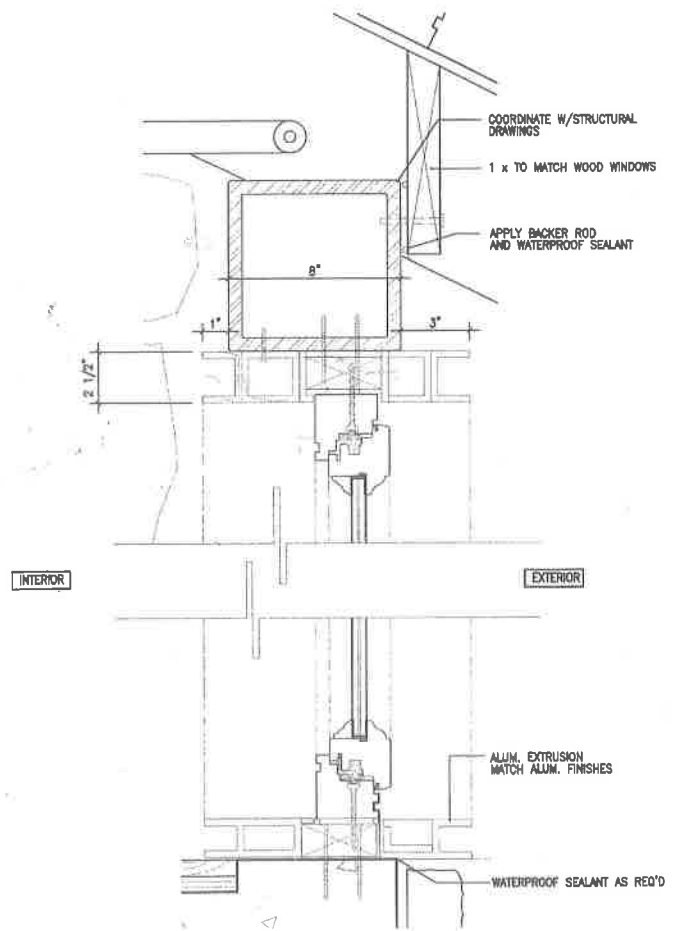
2
A5.09 **DETAIL @ MULLION INTERSECTION**
SCALE: 3" = 1'-0"



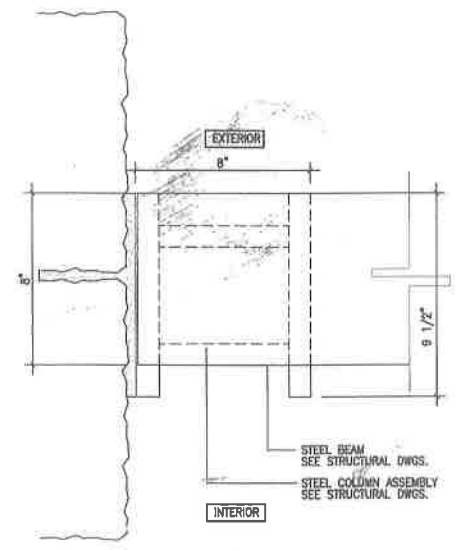
3
A5.09 **DETAIL @ BREAKFAST ROOM CORNER**
SCALE: 3" = 1'-0"



4
A5.09 **DETAIL @ STONE WALL OF SUNROOM**
SCALE: 3" = 1'-0"



5
A5.09 **DETAIL @ HEAD & SILL OF SUNROOM**
SCALE: 3" = 1'-0"



6
A5.09 **DETAIL OF STEEL BEAM ON STEEL COLUMN**
SCALE: 3" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

DETAILS

M. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTERED ARCHITECT
DATE: 01/28/2012
DRAWN BY: JG
CHECKED BY: JB
REMARKS:
FOR CONSTRUCTION
12/17/11

JOB NO.
2010-0001

SHEET NO.
A5.09

DOOR SCHEDULE

MARK	SIZE (W x H)	TYPE	FRAME	DR. MATERIAL	THRESHOLD	HARDWARE	FROM	TO	MANUFACTURER	REMARKS	ELEVATION TYPE
ND 01	2(1'-10" x 7'-0")	SWING	WOOD	WOOD	T.B.D.	T.B.D.	EXTERIOR	LIVING ROOM	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	A
ND 02	2(3'-0" x 7'-0")	POCKET	WOOD	WOOD	T.B.D.	T.B.D.	MIDDLE ROOM	LIVING ROOM	T.B.D.		C
ND 03	2'-8" x 7'-0"	POCKET	WOOD	WOOD	T.B.D.	T.B.D.	KITCHEN	DINING ROOM	T.B.D.		C
ND 04	3'-0" x 7'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	KITCHEN	EXTERIOR	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	B
ND 05	3'-0" x 7'-0"	POCKET	WOOD	WOOD	T.B.D.	T.B.D.	KITCHEN	MIDDLE ROOM	T.B.D.		C
ND 06	2'-8" x 7'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	CORRIDOR	BATHROOM 1	T.B.D.		C
ND 07	3'-3-1/2 x 8'-5"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	SUN PORCH	EXTERIOR	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	D
ND 08	± 2'-6" x 8'-0" COORD. W/WALL BOARD	SWING	WOOD	WOOD	T.B.D.	T.B.D.	CLOSET	FOYER	T.B.D.		E
ND 09	3'-0" x 8'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	FOYER	MASTER ENTRY	T.B.D.		F
ND 10	3'-0" x 8'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	FOYER	LAUNDRY	T.B.D.		F
ND 11	2'-4" x 8'-0"	POCKET	WOOD	WOOD	T.B.D.	T.B.D.	MASTER BEDROOM	MASTER CLOSET	T.B.D.		F
ND 12	2(1'-11-1/2" x 7'-0")	SWING	WOOD	WOOD	T.B.D.	T.B.D.	MASTER BEDROOM	EXTERIOR	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	G
ND 13	2(1'-11-1/2" x 7'-0")	SWING	WOOD	WOOD	T.B.D.	T.B.D.	MASTER BATH	EXTERIOR	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	G
ND 14	2(3'-0" x 8'-0")	SWING	METAL	METAL	T.B.D.	T.B.D.	A/C CLOSET	EXTERIOR	T.B.D.	W/WOOD PANELING	H
ND 15	± 2'-6" x 8'-0" COORD. W/WALL BOARD	SWING	WOOD	WOOD	T.B.D.	T.B.D.	CORRIDOR	BATHROOM 2	T.B.D.	ELEVATION F AT CORRIDOR SIDE ELEVATION E AT BATHROOM SIDE	F
ND 16	2(1'-9" x 8'-0")	SWING	WOOD	WOOD	T.B.D.	T.B.D.	CLOSET	CORRIDOR	T.B.D.	COORD. W/WALL BOARD	F
ND 17	2'-6" x 8'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	CORRIDOR	BEDROOM 3	T.B.D.		F
ND 18	2'-6" x 8'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	DEN	BEDROOM 2	T.B.D.		F
ND 19	3'-4" x 7'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	GARDEN WORK RM.	EXTERIOR	T.B.D.	IMPACT RESISTANT DADE COUNTY PRODUCT APPROVED	B
ND 20	2'-6" x 7'-0"	SWING	WOOD	WOOD	T.B.D.	T.B.D.	GARAGE	GARDEN WORK RM.	T.B.D.		E

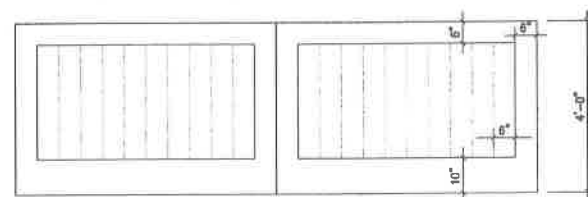
NOTES:

1. ALL EXTERIOR DOORS ARE TO BE IMPACT RESISTANT.
2. ALL FRAMES SHALL BE SEALED WITH CONTINUOUS EXTERIOR CAULKING TO FRAMING BUCKS & MASONRY OPENING.
3. PROVIDE PRODUCT APPROVALS FOR ALL EXTERIOR DOORS.
4. ALL EXTERIOR DOORS SPECIFIED SHALL BE INSTALLED UNDER SEPARATE PERMIT.
5. ALL INTERIOR DOORS, FRAMES, AND CASINGS SHALL BE SELECTED BY OWNER BASED ON SPECIFICATIONS PROVIDED.
6. ALL DOOR HARDWARE TO BE SPECIFIED BY OWNER.

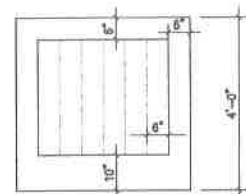
NOTE: CONTRACTOR TO VERIFY HEIGHT OF EXISTING DOORS AND MATCH THEIR HEIGHT.

EXTERIOR DOORS NOT IN THIS PERMIT. WILL BE SUBMITTED UNDER SEPARATE PERMIT

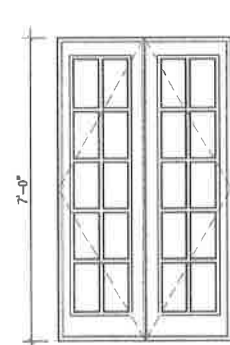
DOOR SCHEDULE
A6.00



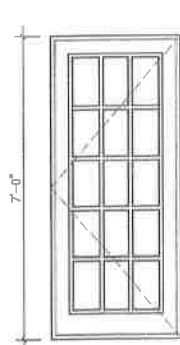
DRIVEWAY WOOD GATE



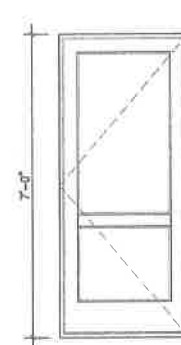
PEDESTRIAN GATE AT ROCK WALL



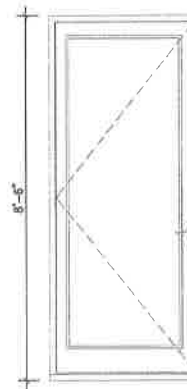
"A"
(2) 10 LITE DOORS



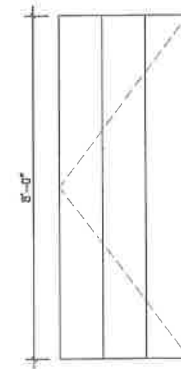
"B"
20 GLASS LITE DOOR



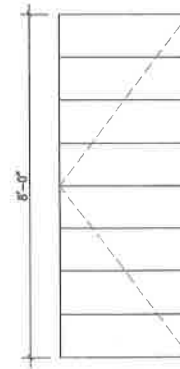
"C"
RAISED PANEL DOOR
SOLID CORE
MATCH OR RESTORE
EXISTING DOORS



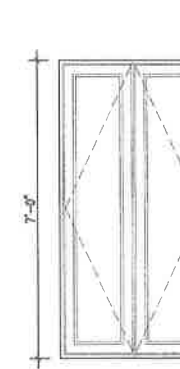
"D"
FULL LITE DOOR



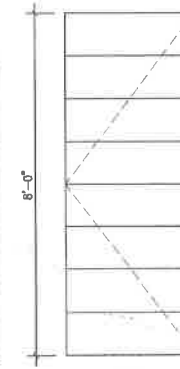
"E"
WOOD PLANK DOOR
SOLID CORE



"F"
WOOD PLANK DOOR
SOLID CORE
COORDINATE HORIZONTAL
W/WALL BOARD



"G"
(2) FULL LITE DOORS



"H"
LOUVERED

FOR CONSTRUCTION

DOOR TYPES
A6.00 1/2" = 1'-0"

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814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

DOOR SCHEDULE

M. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTRATION NO. 61138

DATE: 01/25/2012
DRAWN BY: MD
CHECKED BY: JB
REVISIONS:
FOR CONSTRUCTION
12/20/11

JOB NO.
2010-0001

SHEET NO.
A6.00

WINDOW SCHEDULE

MARK	OVERALL SIZE (W' X H')	SASH QUANTITY	TYPE	FRAME MATERIAL	FRAME FINISH	GLAZING	SILL	ELEVATION	REMARKS
NW 01	7'-10" x 7'-11"	2	FIXED OPERABLE	WOOD	T.B.D.	T.B.D.	T.B.D.	A	IMPACT RESISTANT (ARCHED)
NW 01A	4'-8" x 7'-2-1/2"	2 UNITS	FIXED OPERABLE	WOOD	T.B.D.	T.B.D.	T.B.D.	O	IMPACT RESISTANT
NW 02	7'-10" x 7'-11"	2	FIXED OPERABLE	WOOD	T.B.D.	T.B.D.	T.B.D.	A	IMPACT RESISTANT (ARCHED)
NW 03	10'-7" x 7'-11"	2	FIXED OPERABLE	WOOD	T.B.D.	T.B.D.	T.B.D.	A	IMPACT RESISTANT (ARCHED)
NW 04	10'-7" x 7'-11"	2	FIXED OPERABLE	WOOD	T.B.D.	T.B.D.	T.B.D.	A	IMPACT RESISTANT (ARCHED)
NW 05	2'-10" x 5'-1"	NOT USED	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	Q	IMPACT RESISTANT
NW 06	2'-10" x 5'-1"	NOT USED	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	Q	IMPACT RESISTANT
NW 07	2'-0-1/2" x 3'-1"	NOT USED	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	R	IMPACT RESISTANT
NW 08	BAY WINDOW	6 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	D	IMPACT RESISTANT
NW 09	5'-4" x 4'-9"	2 UNITS	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	E	IMPACT RESISTANT
NW 10	6'-7" x 3'-4-1/2"	2 UNITS	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	F	IMPACT RESISTANT
NW 11	8'-2-1/2" x 2'-6-1/2"	4 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	G	IMPACT RESISTANT
NW 11A	4'-0" x 2'-6-1/2"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	P	IMPACT RESISTANT
NW 12	14'-9-1/2 x 5'-1"	5 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	H	IMPACT RESISTANT
NW 13	3'-4-1/2" x 5'-1"	NOT USED	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	B	IMPACT RESISTANT

NOTES:

1. ALL WINDOWS TO BE SELECTED BY OWNER AND ARCHITECT.
2. ALL FRAMES SHALL BE SEALED WITH CONTINUOUS EXTERIOR CAULKING TO FRAMING BUCKS & MASONRY OPENING.
3. PROVIDE PRODUCT APPROVALS FOR ALL WINDOWS SCHEDULED.
4. SECOND MEANS OF EGRESS SHALL COMPLY WITH NFPA 101-22-212 AND SHALL HAVE A CLEAR MIN. OPENING OF NOT LESS THAN 5.7 SQ. FT. (MIN. 20"W x 24"H). THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" FROM THE FIN. FLOOR.
5. FRAME MATERIAL AND FINISH SHALL BE DETERMINED BY OWNER AND ARCHITECT.
6. ALL WINDOWS SPECIFIED SHALL BE INSTALLED UNDER SEPARATE PERMIT.
7. ALL WINDOW CASINGS AND SILLS SHALL BE SPECIFIED BY OWNER AND ARCHITECT.
8. CONTRACTOR TO FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO ORDERING DOORS AND WINDOWS.

F.B.C. 1005.4.3. MAXIMUM HEIGHT FROM FLOOR:
THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR

F.B.C. 1005.4.3. MINIMUM SIZE:
THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20". THE MINIMUM NET CLEAR OPENING AREA SHALL BE 5.7 SQ. FT.

WINDOWS NOT IN THIS PERMIT
WILL BE SUBMITTED IN A SEPARATE PERMIT

(A6.01) WINDOW SCHEDULE

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 Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

WINDOW SCHEDULE

W
 14 Jenifer Briley, P.A.
 BOARD OF FLORIDA
 REGISTERED ARCHITECT

DATE 01/28/2010
 DRAWN BY MS
 CHECKED BY JB
 REMARKS
 REVISIONS FOR CONSTRUCTION
 12/20/11

JOB NO.
2010-0001

SHEET NO.

A6.01

FOR CONSTRUCTION

WINDOW SCHEDULE

MARK	OVERALL SIZE (W X H)	SASH QUANTITY	TYPE	FRAME MATERIAL	FRAME FINISH	GLAZING	SILL	ELEVATION	REMARKS
NW 14	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 15	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 16	9'-1" x 5'-0"	2 SASH 4 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	S	IMPACT RESISTANT
NW 17	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 18	9'-1" x 6'-11-3/4"	4 UNITS	CASEMENT FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	K1	IMPACT RESISTANT
NW 19	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 20	1'-11" x 5'-0"	N/A	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	L	IMPACT RESISTANT
NW 21	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 22	9'-1" x 6'-11-3/4"	4 UNITS	CASEMENT FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	K2	IMPACT RESISTANT
NW 23	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 24	9'-1" x 5'-0"	2 SASH 4 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	S	IMPACT RESISTANT
NW 25	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 26	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 27	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 28	4'-4" x 5'-0"	2 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	J	IMPACT RESISTANT
NW 29	1'-11" x 5'-0"	N/A	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	L	IMPACT RESISTANT
NW 30	7'-7" x 8'-6-1/2"	2 UNITS	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	M	IMPACT RESISTANT
NW 31	7'-11-1/2" x 8'-6-1/2"	2 UNITS	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	M	IMPACT RESISTANT
NW 32	2'-4" x 4'-1"	N/A	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	C	IMPACT RESISTANT
NW 33	10'-3" x 3'-2"	3 UNITS	CASEMENT	WOOD	T.B.D.	T.B.D.	T.B.D.	T	IMPACT RESISTANT
NW 34	2'-4" x 4'-1"	N/A	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	C	IMPACT RESISTANT
NW 35	2'-4" x 4'-1"	N/A	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	C	IMPACT RESISTANT
NW 36	2'-4" x 4'-1"	N/A	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	C	IMPACT RESISTANT
NW 37	NOT USED								
NW 38	7'-11-1/2" x 8'-6-1/2"	2 UNITS	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	M	IMPACT RESISTANT
NW 39	3'-11" x 8'-6-1/2"	3 UNITS	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	N	IMPACT RESISTANT
NW 40	CUSTOM TRIANGULAR	N/A	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	V	IMPACT RESISTANT
NW 41	1'-2" x 3'-4"	N/A	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	U	IMPACT RESISTANT
NW 42	3'-4-1/2" x 5'-1"	N/A	DOUBLE HUNG	WOOD	T.B.D.	T.B.D.	T.B.D.	B	IMPACT RESISTANT
NW 43	7'-6" x 8'-6-1/2"	2 UNITS	FIXED	WOOD	T.B.D.	T.B.D.	T.B.D.	M	IMPACT RESISTANT

A6.02 WINDOW SCHEDULE

FOR CONSTRUCTION

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 1829 Tiger Tail Ave, Coconut Grove, FL 33133
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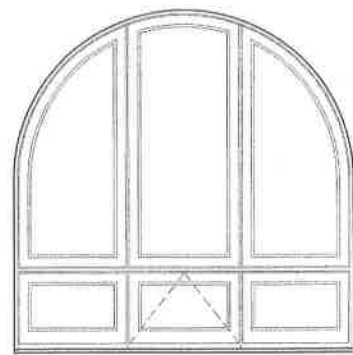
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

WINDOW SCHEDULE

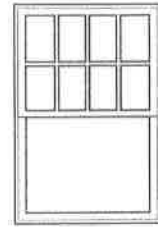
DATE 01/28/2010
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 CHECKED BY JB
 REMARKS
 REVISIONS
 1. REV. 01/28/2010

JOB NO.
 2010-0001

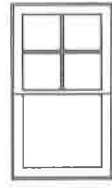
SHEET NO.
A6.02



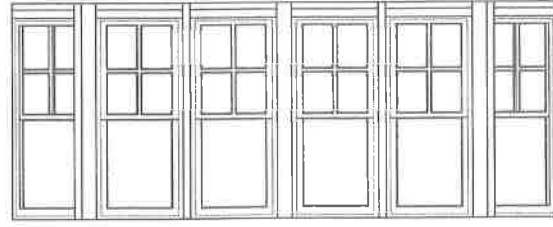
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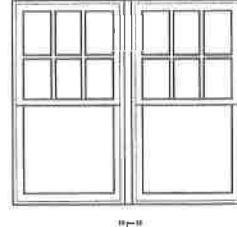
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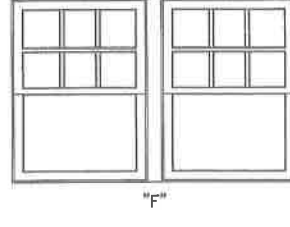
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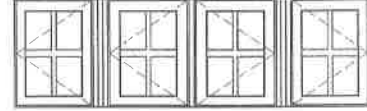
BAY WINDOW
"D"



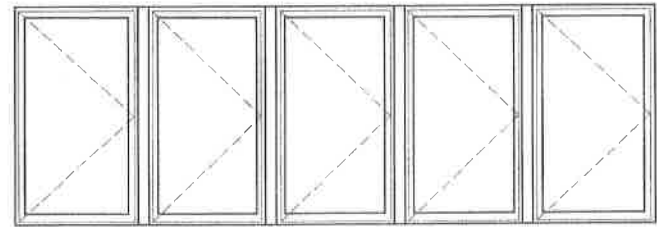
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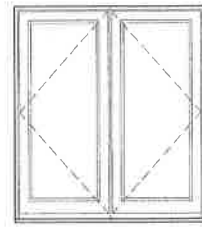
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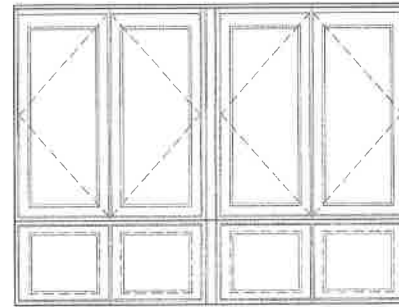
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"H"



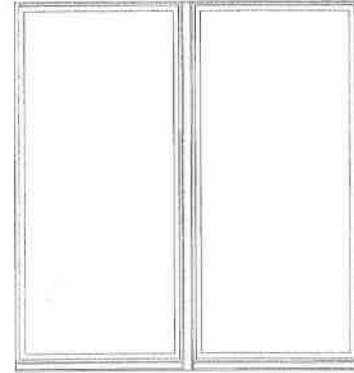
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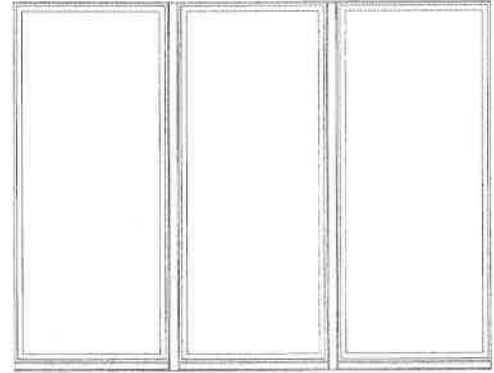
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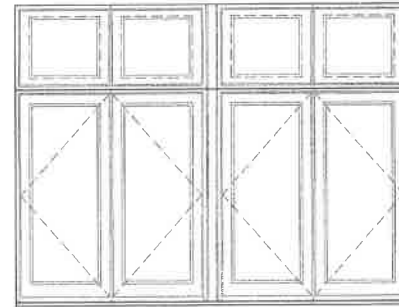
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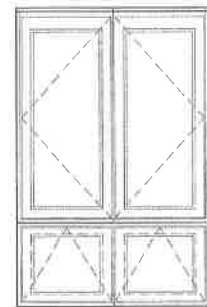
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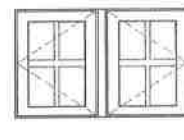
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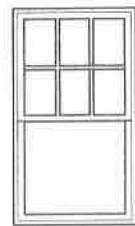
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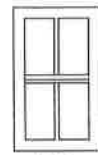
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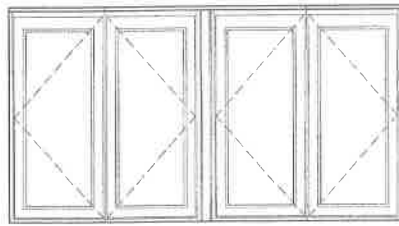
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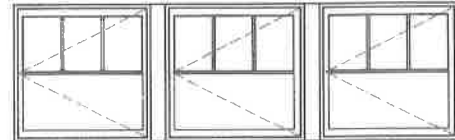
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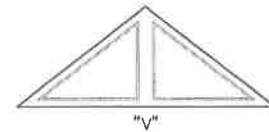
"S"



"T"



"U"



"V"

WINDOW TYPES
1/2" = 1'-0"

FOR CONSTRUCTION

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1829 Tiger Tail Ave, Coconut Grove, FL 33133
tel. 305.857.9323 fax. 305.857.9946

814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

WINDOW TYPES

DATE 01/25/2010
DRAWN BY MC
CHECKED BY JB
REVISIONS
FOR CONSTRUCTION
12/21/11

JOB NO.
2010-0001

SHEET NO.
A6.03

ROOM FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	WALLS				BASE	FLOOR	CEILING	REMARKS	
		NORTH	SOUTH	EAST	WEST					
LEVEL ONE	101	LIVING ROOM	EXIST'G PLASTER	EXIST'G PLASTER	EXIST'G PLASTER & STONE 1	N/A	EXIST'G WOOD REMOVE PAINT	EXIST'G WOOD	EXIST'G PLASTER	REPAIR AS REQUIRED
	102	DINING ROOM	EXIST'G STONE 1	EXIST'G PLASTER	N/A	NEW STONE 1 FACING	EXIST'G WOOD REMOVE PAINT	EXIST'G WOOD	EXIST'G PLASTER	REPAIR AS REQUIRED
	103	KITCHEN	EXIST'G PLASTER MILLWORK	EXIST'G STONE 1 (VERIFY CONDITION)	N/A	EXIST'G STONE 1 (VERIFY CONDITION)	MATCH EXIST'G 1 1/2" WD BASE	MATCH EXIST'G WOOD	EXIST'G PLASTER	REPAIR AS REQ'D. SEE INTERIOR ELEVATIONS
	104	BREAKFAST ROOM	EXIST'G STONE 1	GLASS	GLASS	GLASS	N/A	MATCH EXIST'G WOOD	STAINED TAG	
	105	FAMILY ROOM	EXIST'G PLASTER MILLWORK	EXIST'G STONE 1 (VERIFY CONDITION)	EXIST'G PLASTER	N/A	MATCH EXIST'G 1 1/2" WD BASE	MATCH EXIST'G WOOD	PLASTER	SEE INTERIOR ELEVATIONS REMOVE PLASTER OF SOUTH WALL TO DETERMINE CONDITION OF STONE
	106	MIDDLE ROOM	EXIST'G PLASTER MILLWORK	PLASTER MILLWORK	GYP BD MILLWORK	GYP BD MILLWORK	MATCH EXIST'G 1 1/2" WD BASE		EXIST'G PLASTER	SEE INTERIOR ELEVATIONS
	107	BATHROOM 1	BLUE BD PLASTER/WAINSCOT	BLUE BD PLASTER/WAINSCOT	BLUE BD PLASTER/WAINSCOT	BLUE BD PLASTER/WAINSCOT	MATCH EXIST'G 1 1/2" WD BASE	MATCH EXIST'G WOOD	PLASTER	SEE INTERIOR ELEVATIONS
	108	LIBRARY	EXIST'G PLASTER MILLWORK	NEW STONE 1 FACING	NEW STONE 1 FACING	GYP BD MILLWORK	MATCH EXIST'G 1 1/2" WD BASE	EXIST'G WOOD	EXPOSED EXIST'G JOISTS	SEE INTERIOR ELEVATIONS * CLEAN & SEAL EXIST'G JOISTS
	109	FLORIDA ROOM	EXIST'G STONE 1	EXIST'G STONE 1	EXIST'G STONE 1	EXIST'G STONE 1	N/A	EXIST'G QUARRY TILE	EXIST'G PLASTER	
	110	SUN PORCH	EXIST'G STONE 1	NEW STONE WALL 1	GLASS	GLASS	N/A	MATCH EXIST'G WOOD	STAINED TAG	
	111	CLOSET	WOOD V	WOOD H	WOOD V	WOOD V	2" STAINED WOOD	WOOD	EXP. WD.	
	112	FOYER	STONE 1	WOOD H	WOOD V	WOOD H	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	113	LAUNDRY	NEW STONE WALL 1	WOOD H	WOOD H	NEW STONE WALL 1	MATCH EXIST'G 1 1/2" WD BASE	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	114	MASTER ENTRY	WOOD H	WOOD H	WOOD H	NEW STONE WALL 1	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	115	MASTER BEDROOM	WOOD H	NEW STONE WALL 1	WOOD V	NEW STONE WALL 1	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	116	MASTER BATH	WOOD H	NEW STONE WALL 1	NEW STONE WALL 1	WOOD V	STONE 2 WOOD	STONE 2 WOOD	PTD. EXP. WD. BEAMS & TAG	USE CEMENT BOARD AT SHOWER SEE INTERIOR ELEVATIONS RE: RCP FOR GYP FURR DOWN
	117	MASTER CLOSET	WOOD V	WOOD V	NEW STONE WALL 1	WOOD V	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS RE: RCP FOR GYP FURR DOWN
	118	CARPORT	EXISTING STONE 1	EXISTING STONE 1	EXISTING STONE 1	EXISTING STONE 1	N/A	EXIST'G CONCRETE	EXISTING EXP. WD. BEAMS & TAG	REMOVE EXISTING PAINT AT CEILING STAIN WOOD
	119	GARAGE	EXISTING STONE 1	WOOD MILLWORK	EXISTING STONE 1	EXISTING STONE 1	N/A	NEW SLAB OVER EXIST'G CONCRETE	EXISTING EXP. WD. BEAMS & TAG	REMOVE EXIST'G CONC. PEDESTALS OVER SLOPE NEW TOPPING SLAB TO NORTH REPAIR & REPAINT EXIST'G CEILING
120	GARDEN WORK ROOM	WOOD MILLWORK	EXISTING STONE 1	EXISTING STONE 1	EXISTING STONE 1	N/A	NEW SLAB OVER EXIST'G CONCRETE	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS	
LEVEL TWO	201	STAIR	NEW STONE WALL 1	WOOD H	NEW STONE WALL 1	WOOD V PARAPET WALL	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	202	DEN	NEW STONE WALL 1	WOOD H	WOOD H	NEW STONE WALL 1	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	203	BEDROOM 2	WOOD H	NEW STONE WALL 1	WOOD H	NEW STONE WALL 1	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS
	204	BEDROOM 3	WOOD H	NEW STONE WALL 1	NEW STONE WALL 1	WOOD H	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS RE: RCP FOR WOOD FURR DOWN
	205	CORRIDOR	WOOD H	WOOD H	WOOD V	N/A	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	RE: RCP FOR WOOD FURR DOWN
	206	CLOSET	WOOD V	WOOD V	NEW STONE WALL 1	WOOD V	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	
	207	BATHROOM 2	WOOD V	WOOD V	NEW STONE WALL 1	WOOD V		STONE 3	PTD. EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS RE: RCP FOR WOOD FURR DOWN
	208	A.C. CLOSET	WOOD V	WOOD V	WOOD V	WOOD V	2" STAINED WOOD	WOOD	PTD. EXP. WD. BEAMS & TAG	
	209	ATTIC	WOOD MILLWORK	WOOD MILLWORK	EXIST'G STONE 1	EXIST'G STONE 1	WOOD	WOOD	EXIST'G EXP. WD. BEAMS & TAG	SEE INTERIOR ELEVATIONS CONTRACTOR TO MEET WITH TO DETERMINE FULL SCOPE OF IN ATTIC

Legend 1. STONE 1 - COLITE
 2. STONE 2 - TO BE SELECTED
 3. STONE 3 - TO BE SELECTED
 4. WOOD H - HORIZONTAL 1 X 12 BOARD (PAINTED)
 5. WOOD V - VERTICAL 1 X 12 BOARD (PAINTED)

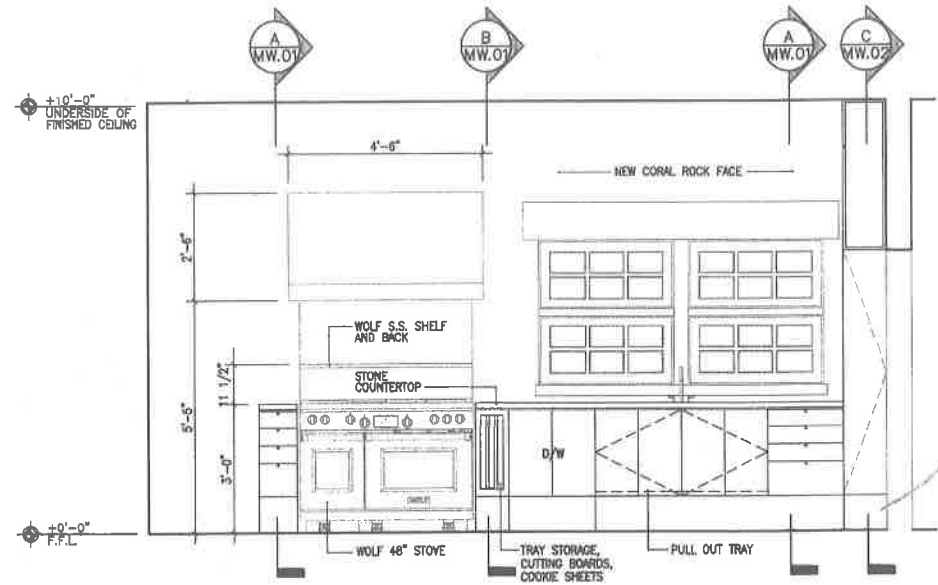
NOTE: 1. STRIP ALL PAINTED WOOD SURFACES, PREPARE APPROPRIATELY FOR STAIN FINISH
 2. REPAIR ALL EXISTING SURFACES AS REQUIRED.
 3. ALL NEW T & G CEILINGS AND WOOD BEAMS IN THE NEW ADDITION TO BE PAINTED.
 4. BREAKFAST ROOM AND SUNPORCH CEILING TO BE STAINED TO MATCH THE WOOD IN THE EXISTING HOUSE.
 5. NO BASE IS REQUIRED AT STONE 1 WALLS
 6. ALL INTERIOR PAINT TO CONTAIN LOW V.O.C.'S

FOR CONSTRUCTION

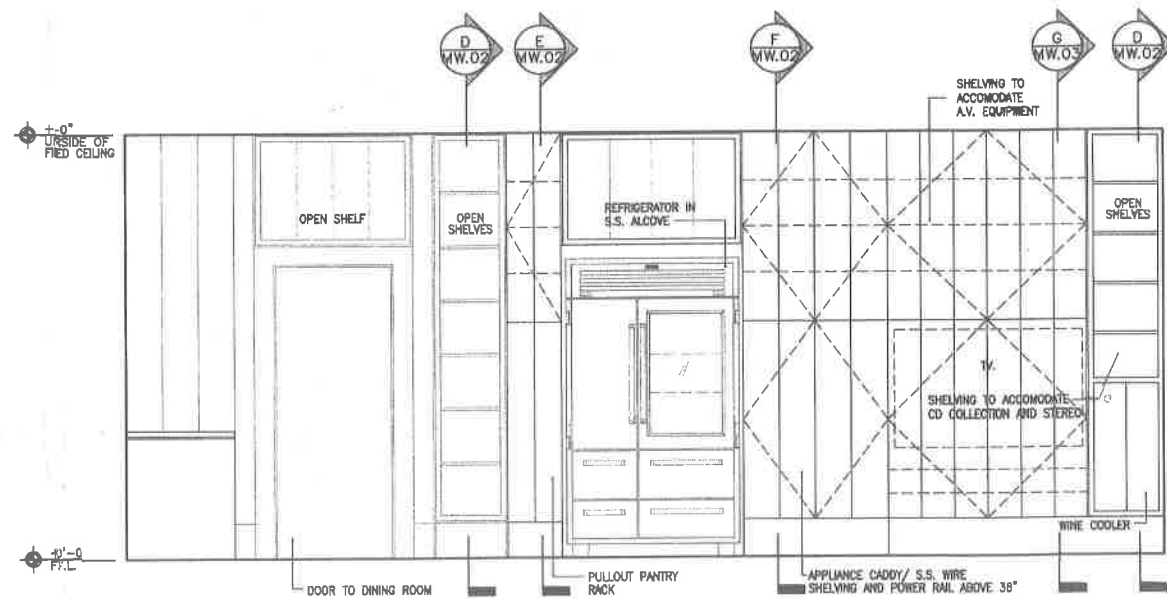
DATE 03/25/2010
 DRAWN BY MC
 CHECKED BY JS
 REVISIONS
 1. FOR CONSTRUCTION
 03/25/10

JOB NO.
 2010-0001

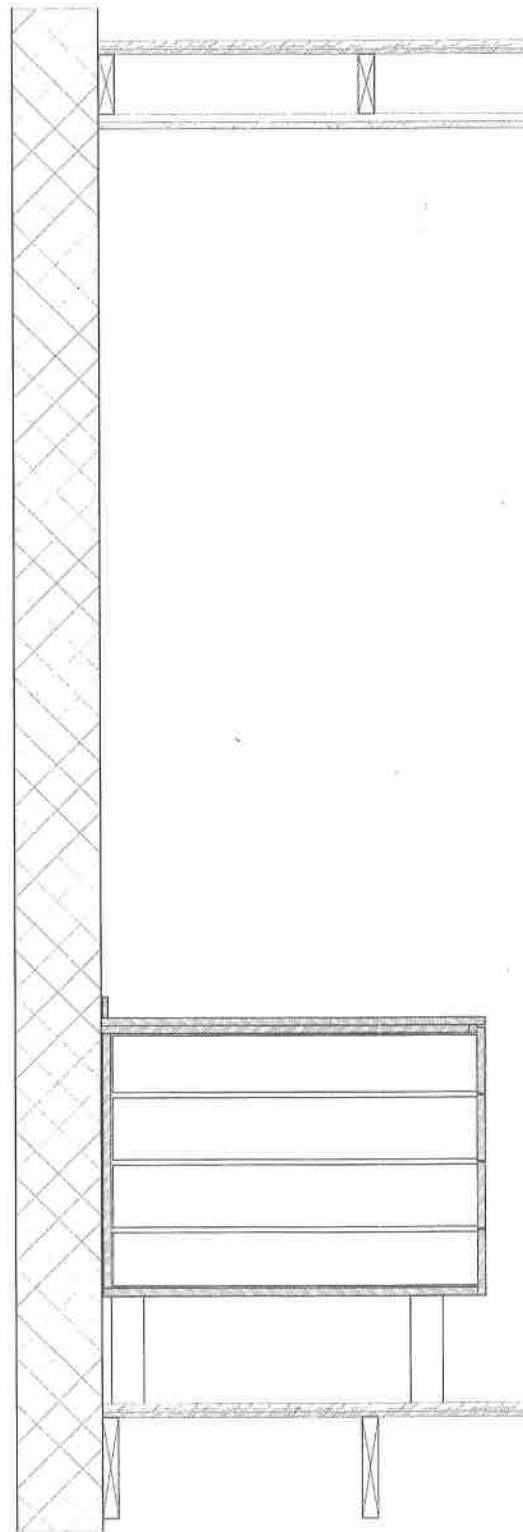
SHEET NO.
 A6.04



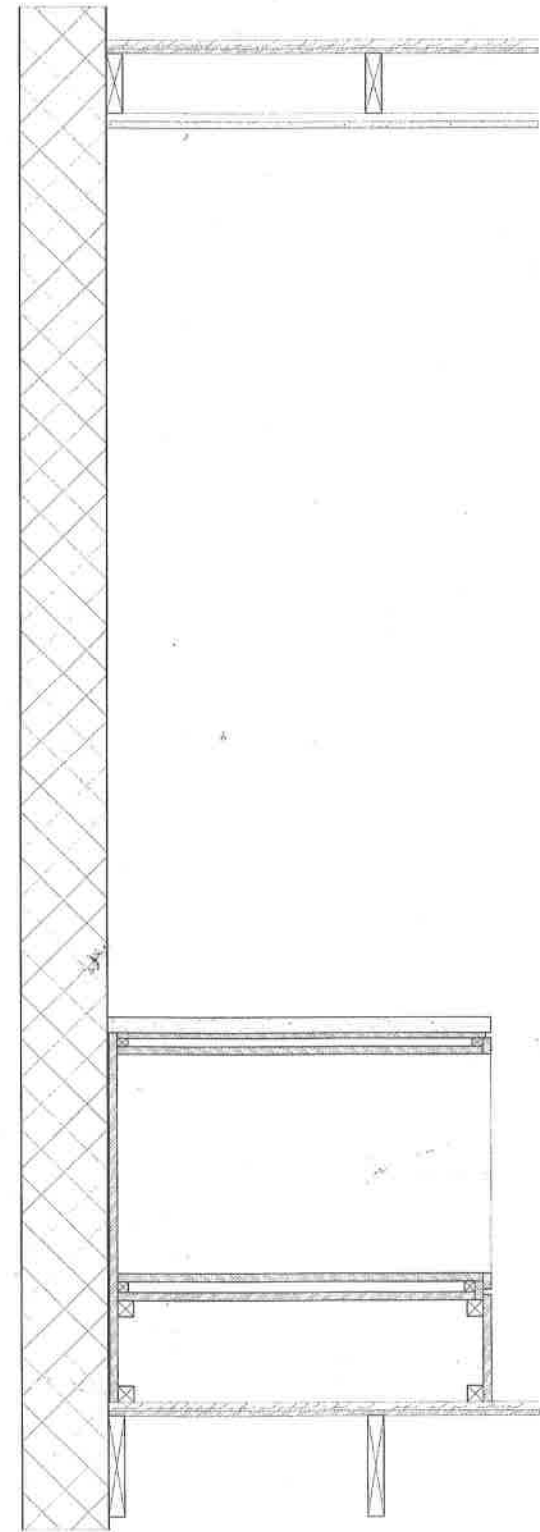
1 **KITCHEN (LOOKING WEST)**
 MW.01 SCALE: 1/2" = 1'-0"



2 **KITCHEN (LOOKING NORTH)**
 MW.01 SCALE: 1/2" = 1'-0"

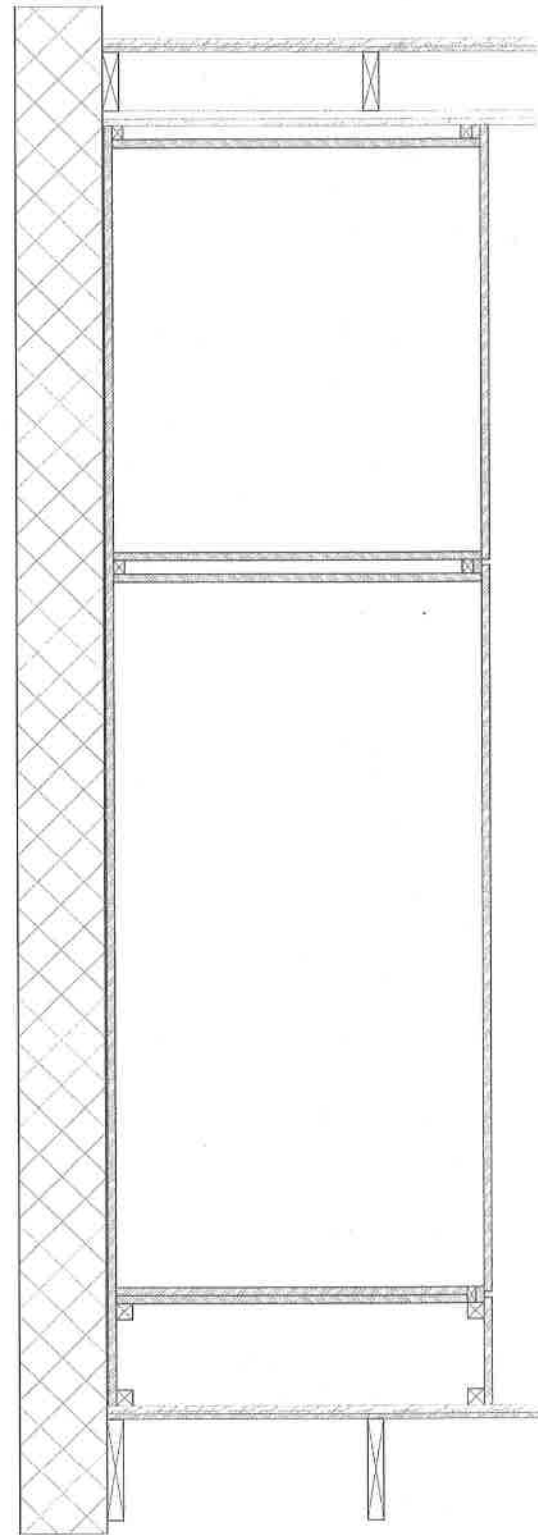


A **SECTION "A"**
 MW.01 SCALE: 1-1/2" = 1'-0"

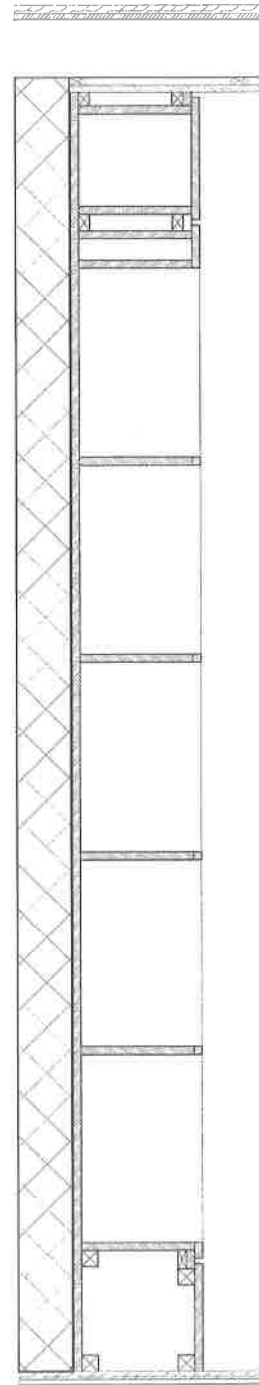


B **SECTION "B"**
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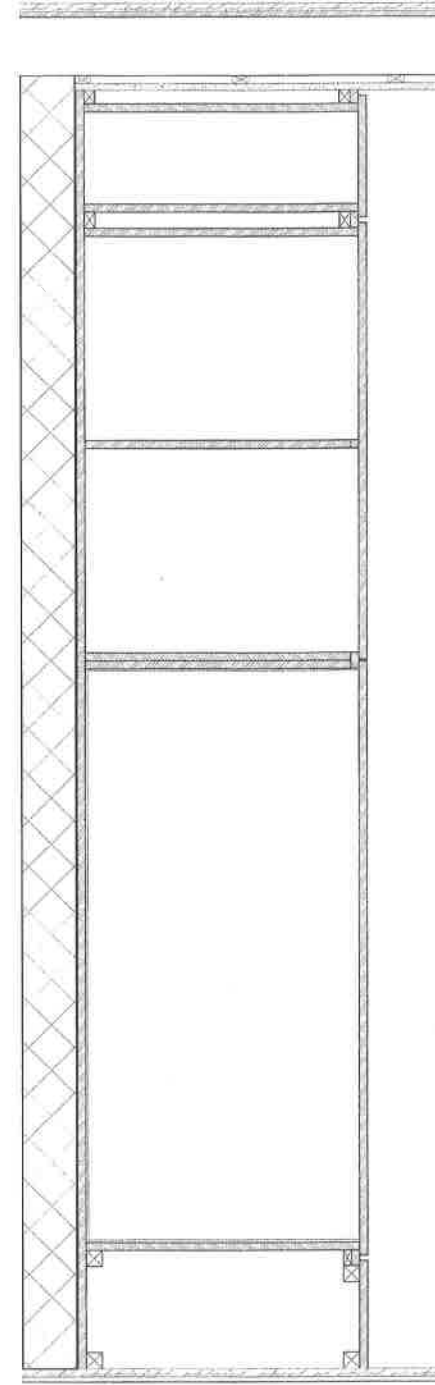
FOR REFERENCE ONLY



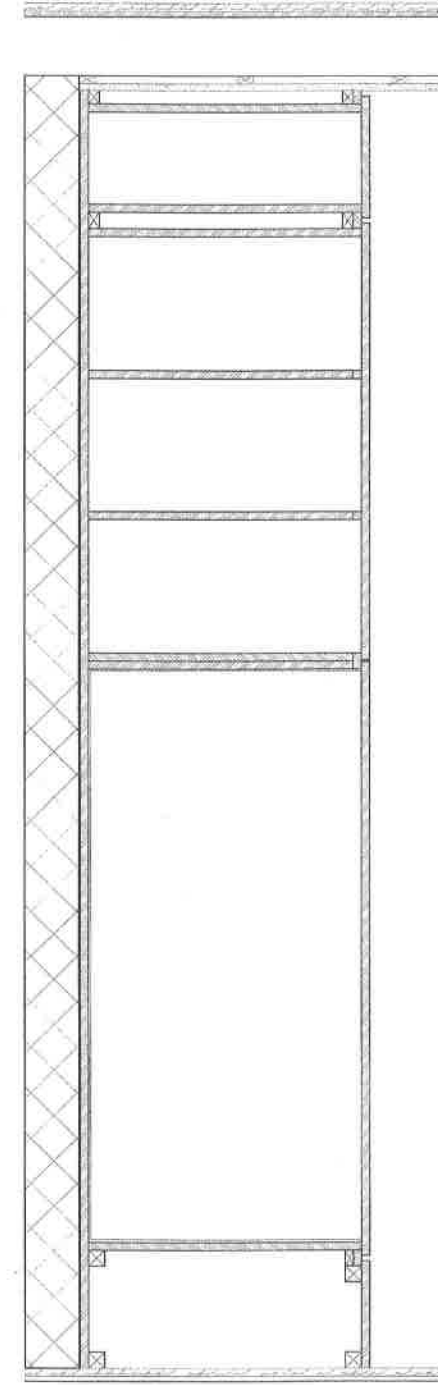
C SECTION "C"
MW.02 SCALE: 1-1/2" = 1'-0"



D SECTION "D"
MW.02 SCALE: 1-1/2" = 1'-0"



E SECTION "E"
MW.02 SCALE: 1-1/2" = 1'-0"



F SECTION "F"
MW.02 SCALE: 1-1/2" = 1'-0"

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RESTORATION AND RENOVATION
ADDITION

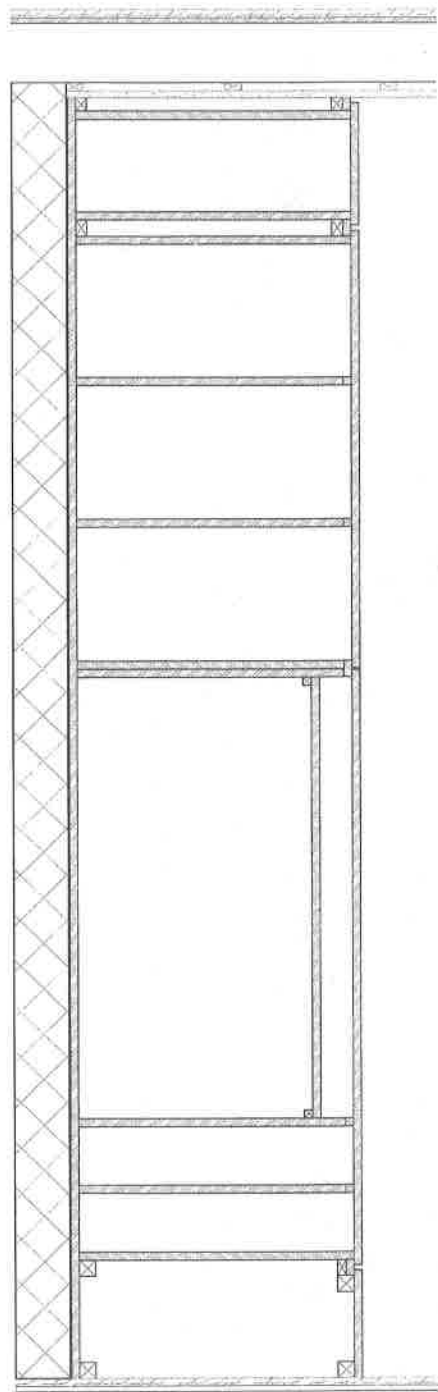
MILLWORK
SECTIONS

[Signature]
H. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTERED ARCHITECT
DATE 01/25/2011
DRAWN BY MO
CHECKED BY JB
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JOB NO.
2010-0001

SHEET NO.

MW.02



G SECTION "G"
MW.03 SCALE: 1-1/2" = 1'-0"

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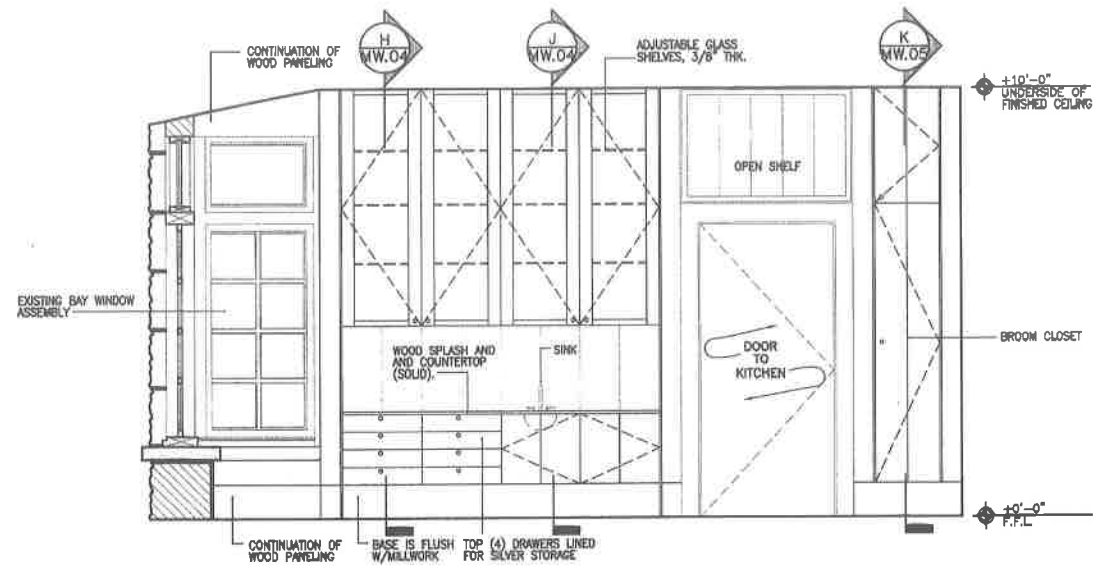
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

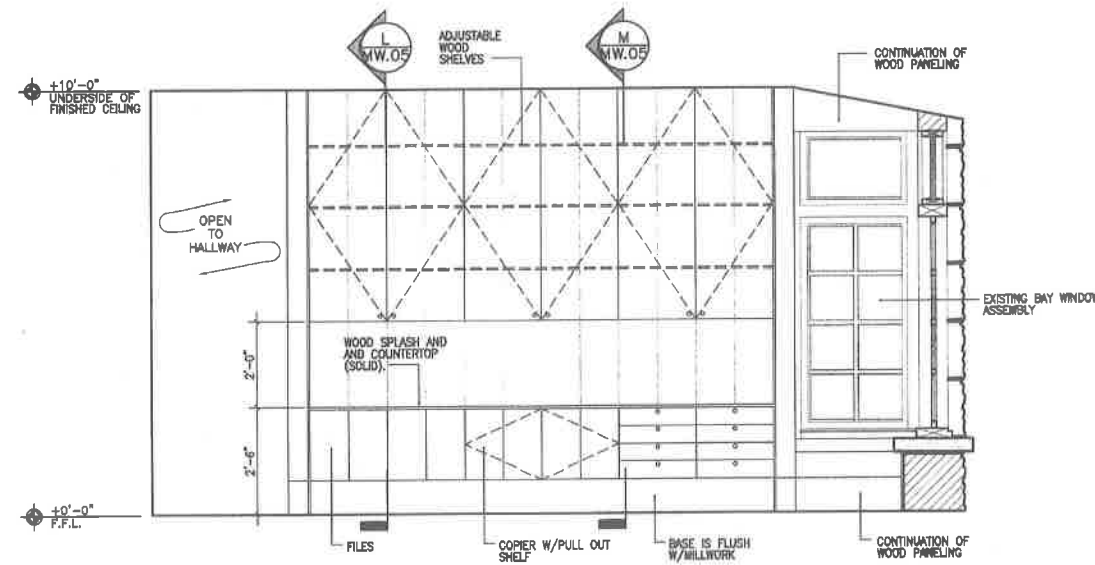
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J. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTRATION NO. 27038
DATE 01/28/2012
DRAWN BY MC
CHECKED BY JB
REMARKS
REVISIONS

JOB NO.
2010-0001
SHEET NO.

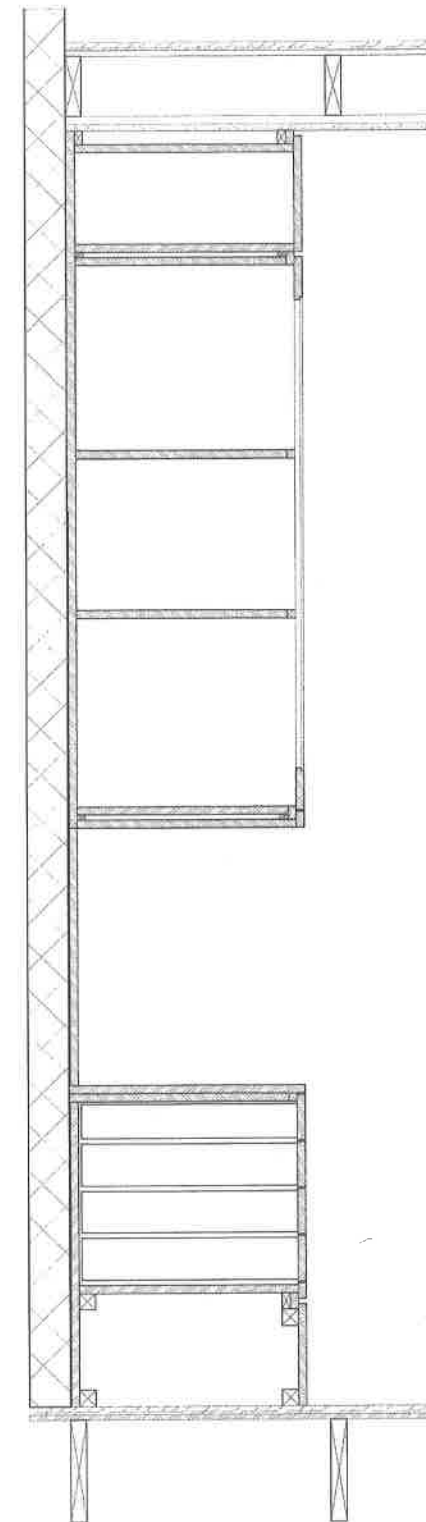
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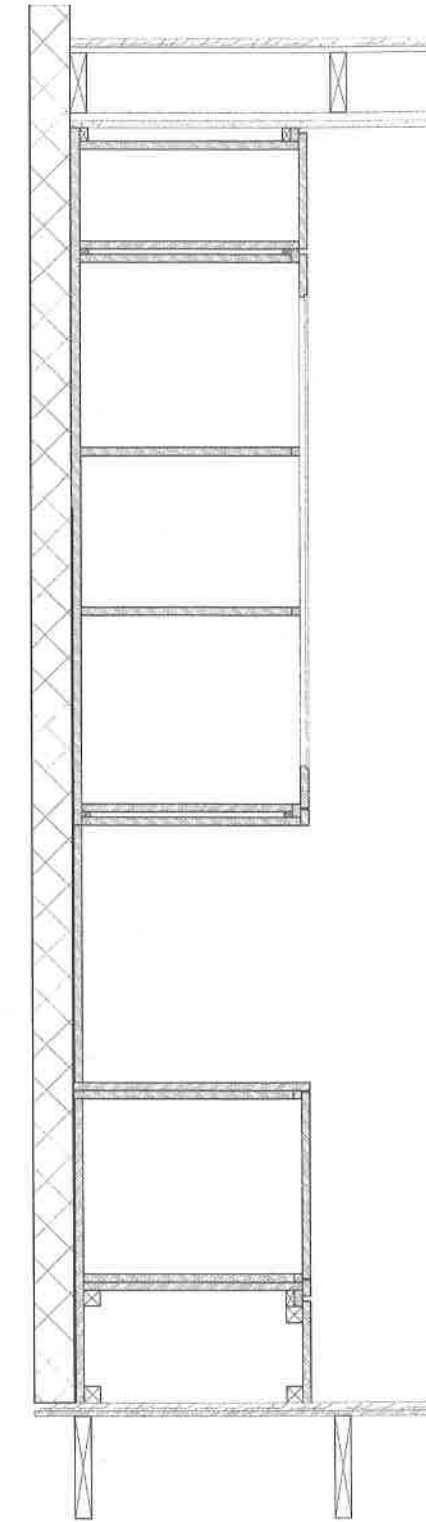
1 MIDDLE ROOM (LOOKING WEST)
 MW.04 SCALE: 1/2" = 1'-0"



2 MIDDLE ROOM (LOOKING EAST)
 MW.04 SCALE: 1/2" = 1'-0"



H SECTION "H"
 MW.04 SCALE: 1-1/2" = 1'-0"



J SECTION "J"
 MW.04 SCALE: 1-1/2" = 1'-0"

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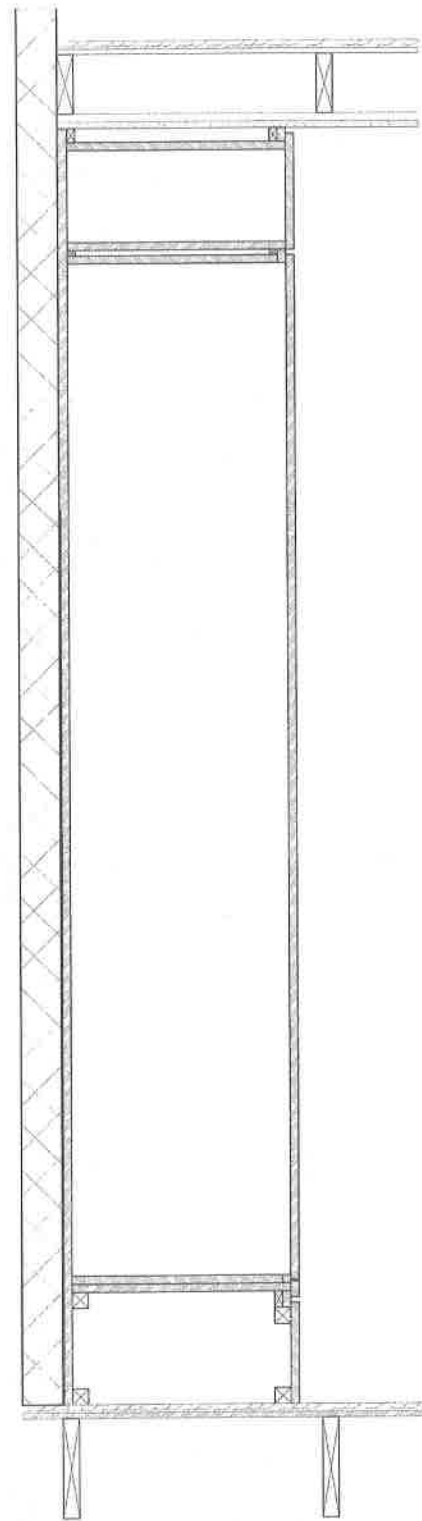
814 CORAL WAY
 RESTORATION AND RENOVATION
 ADDITION

MILLWORK
 SECTIONS

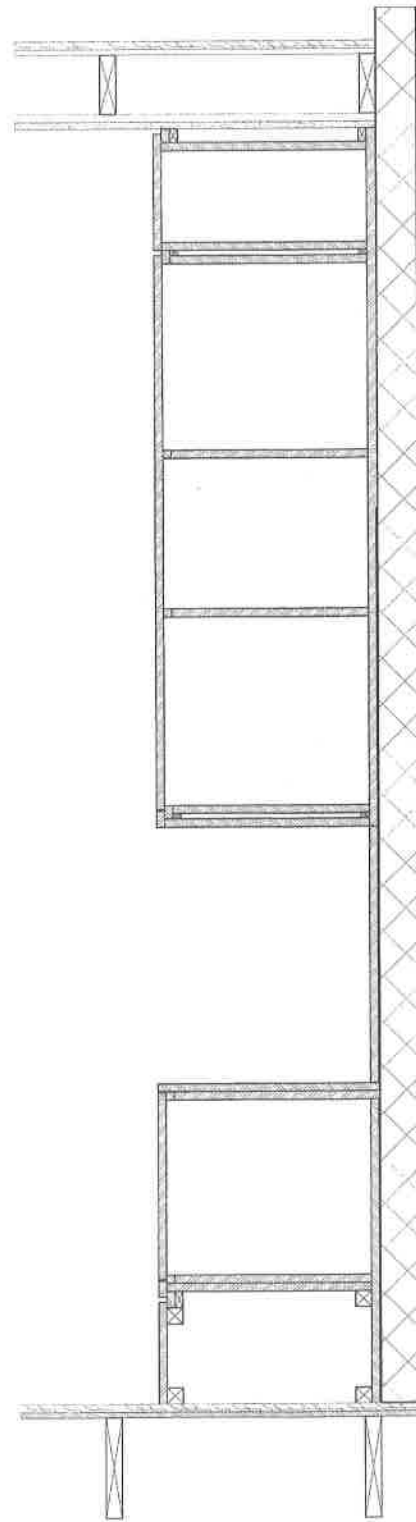
DATE 01/25/2012
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JOB NO.
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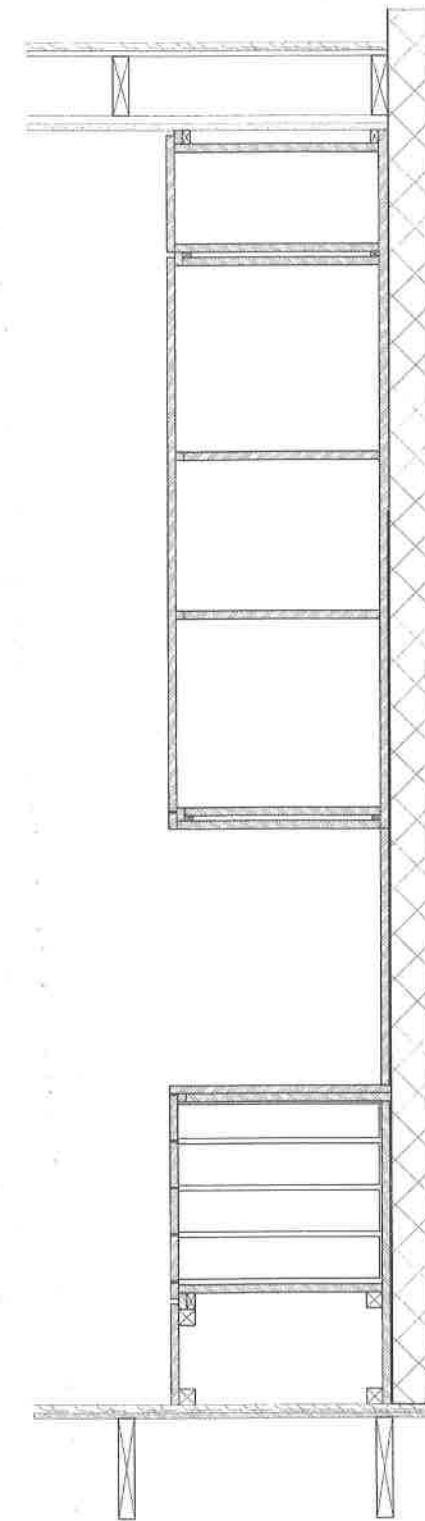
SHEET NO.
MW.04



K
MW.05 SECTION "K"
SCALE: 1-1/2" = 1'-0"



L
MW.05 SECTION "L"
SCALE: 1-1/2" = 1'-0"



M
MW.05 SECTION "M"
SCALE: 1-1/2" = 1'-0"

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ADDITION

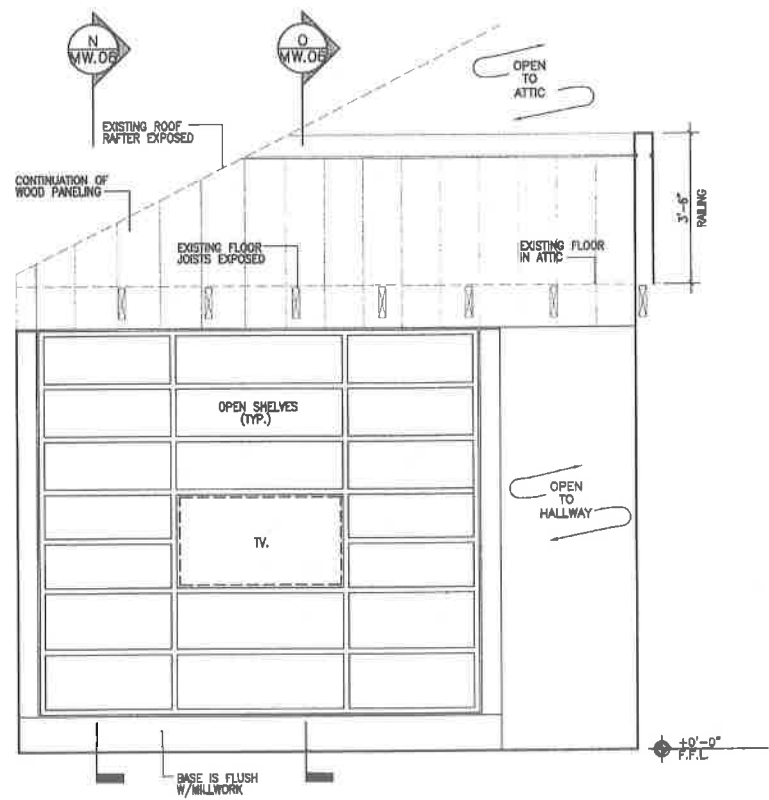
MILLWORK
SECTIONS

DATE: 02/20/10
DRAWN BY: MC
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JOB NO.
2010-0001

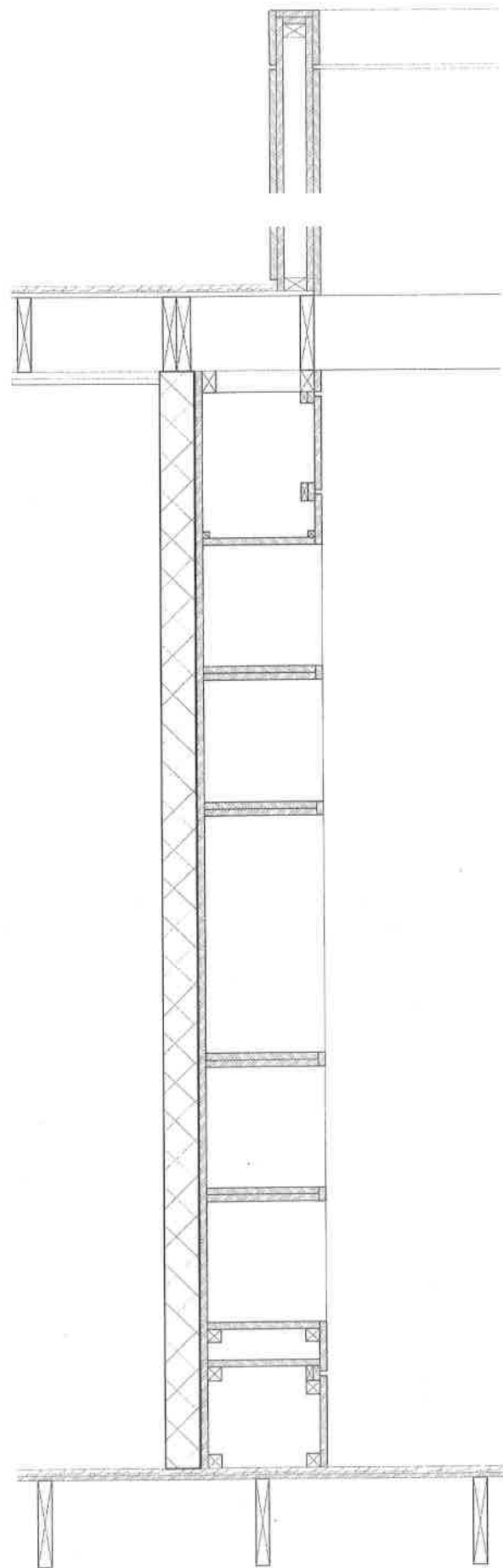
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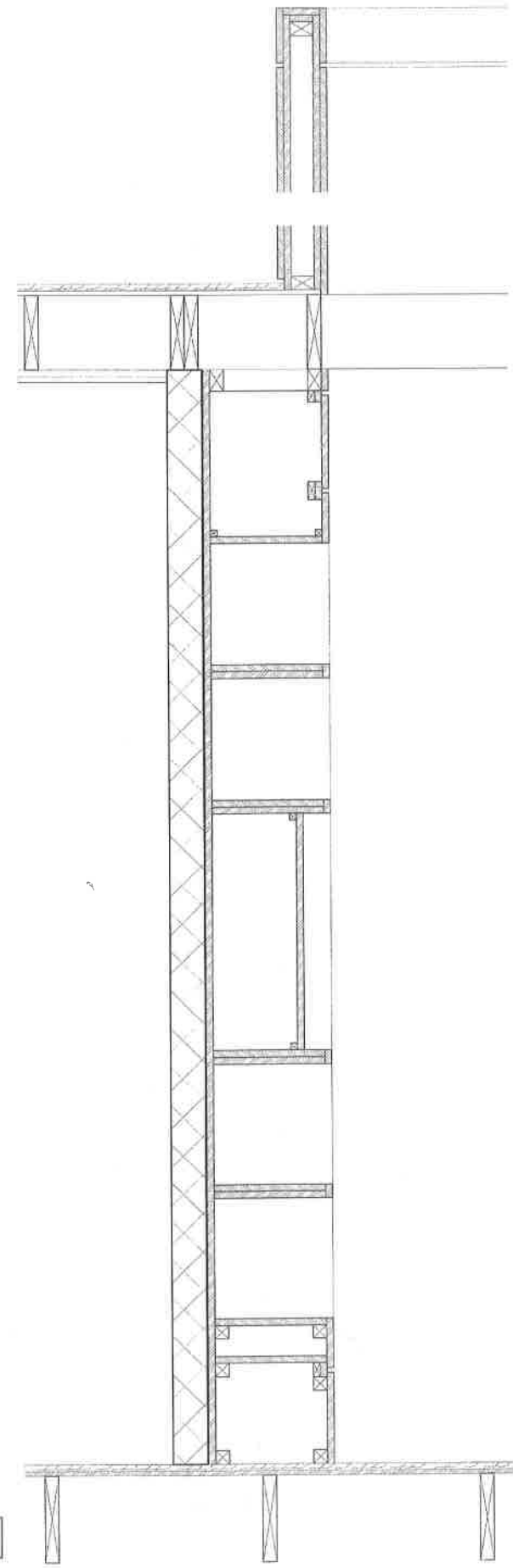
1 LIBRARY (LOOKING WEST)
MW.06 SCALE: 1/2" = 1'-0"

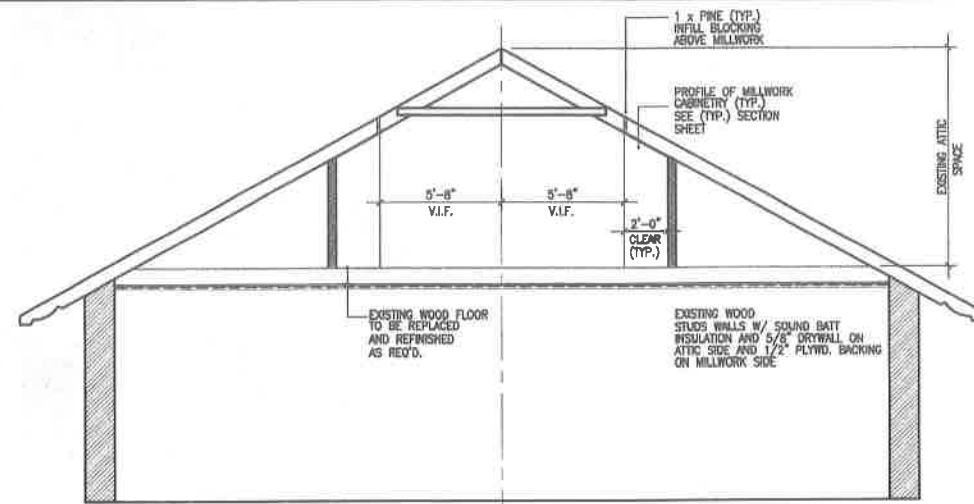
N SECTION "N"
MW.06 SCALE: 1-1/2" = 1'-0"



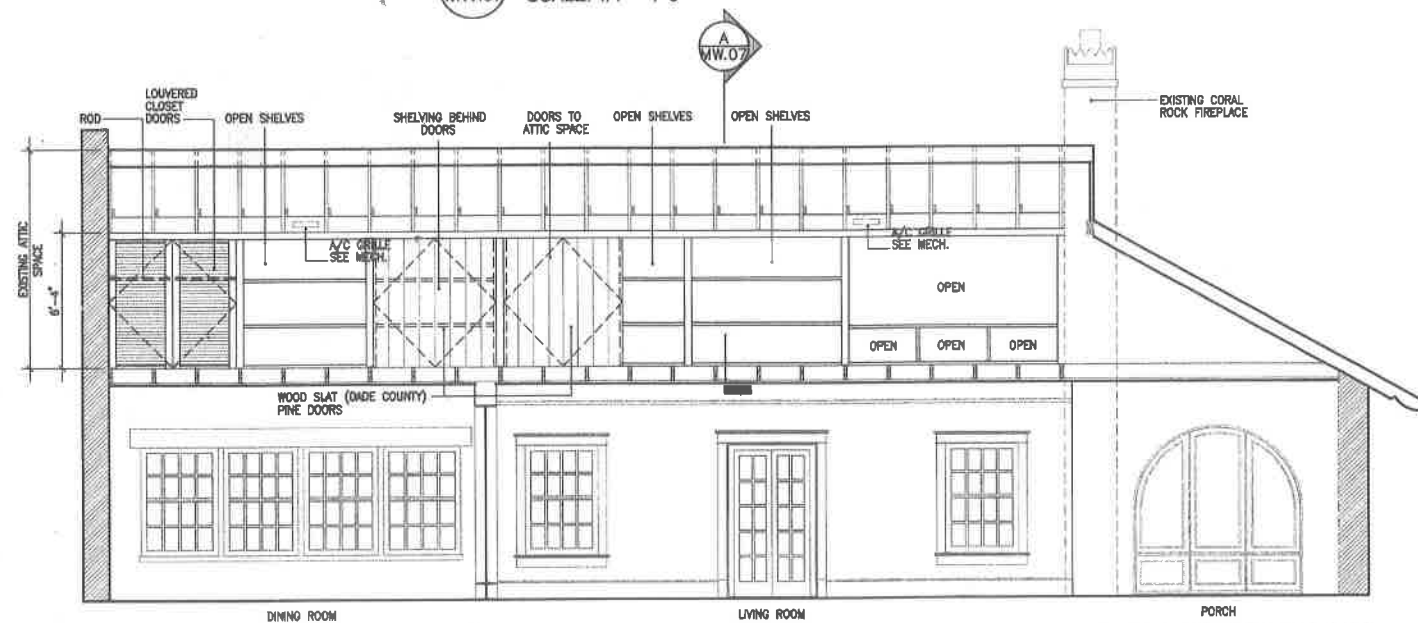
0 SECTION "O"
MW.06 SCALE: 1-1/2" = 1'-0"

FOR REFERENCE ONLY

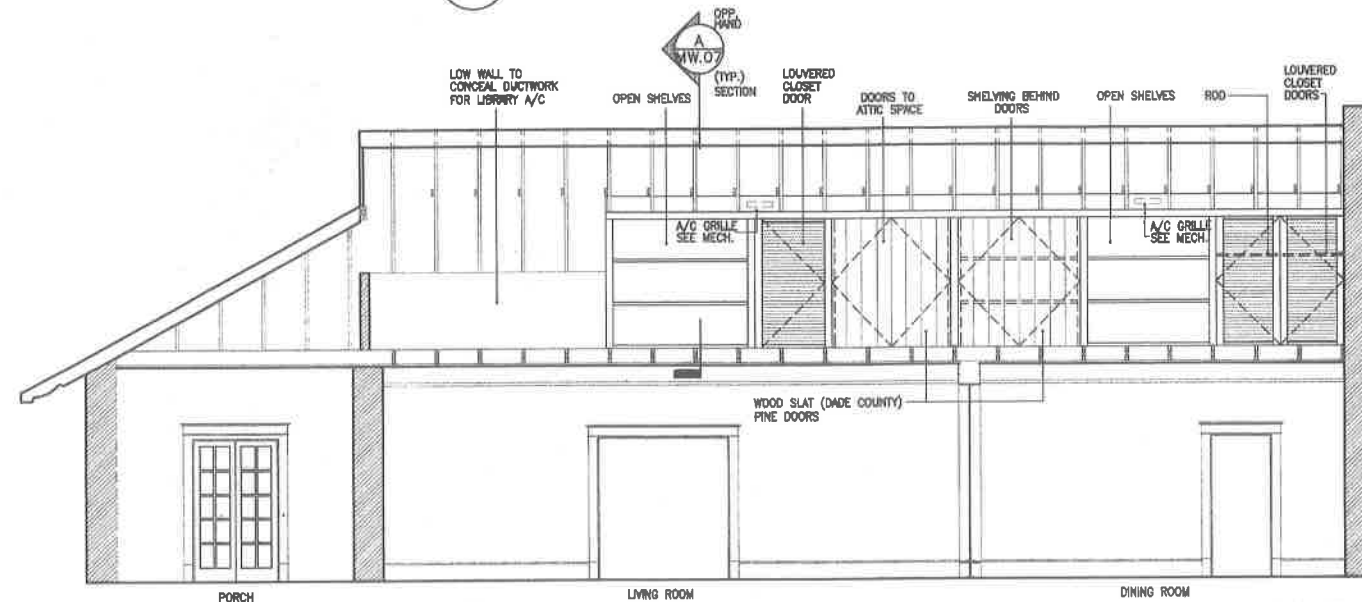




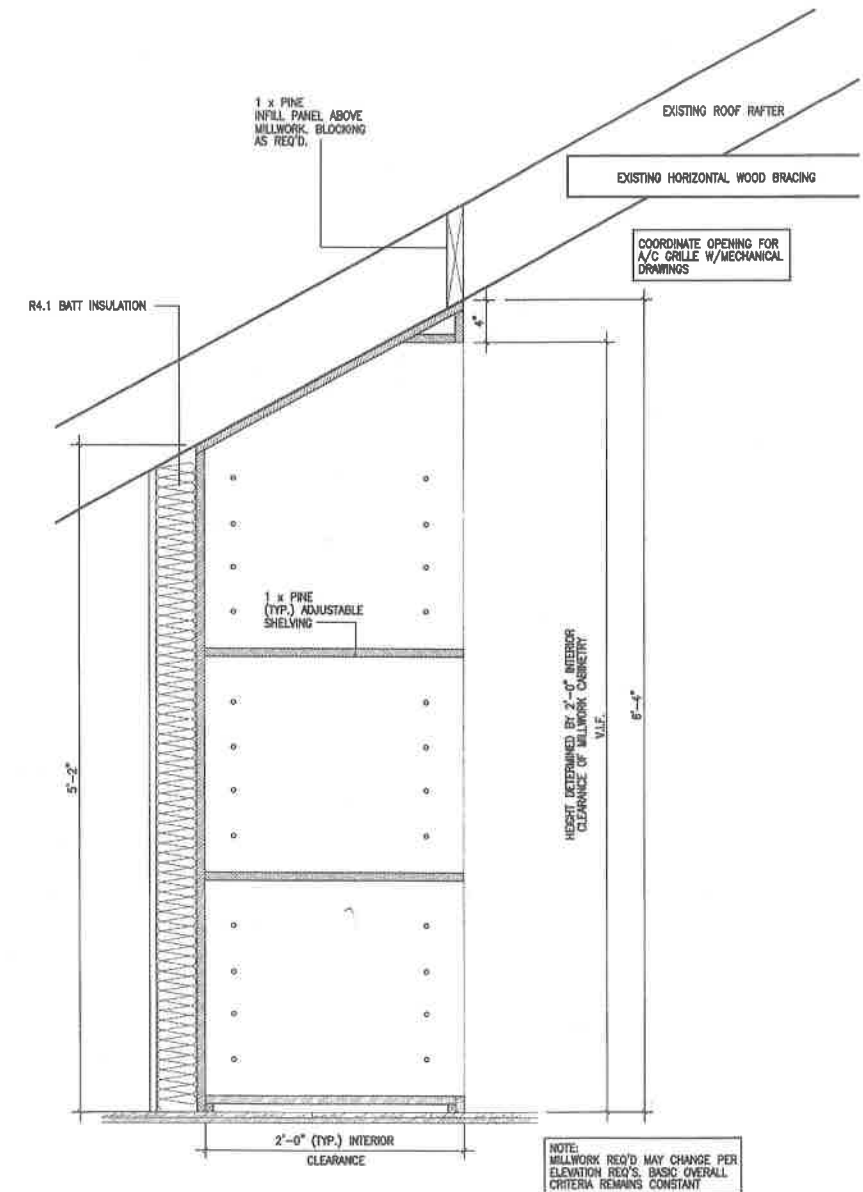
1 TRANSVERSE SECTION THRU ATTIC SPACE
 MW.07 SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION THRU ATTIC SPACE (LOOKING NORTH)
 MW.07 SCALE: 1/4" = 1'-0"

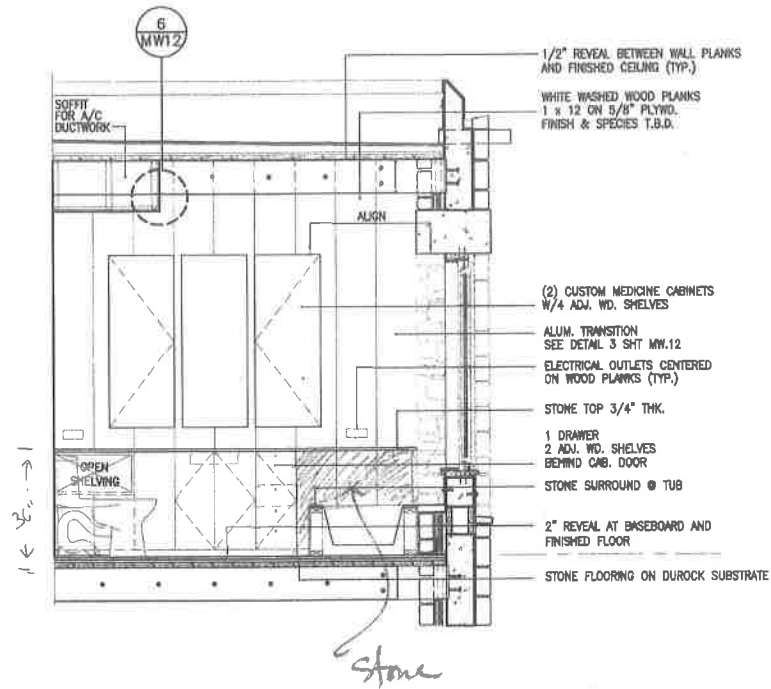


3 LONGITUDINAL SECTION THRU ATTIC SPACE (LOOKING SOUTH)
 MW.07 SCALE: 1/4" = 1'-0"

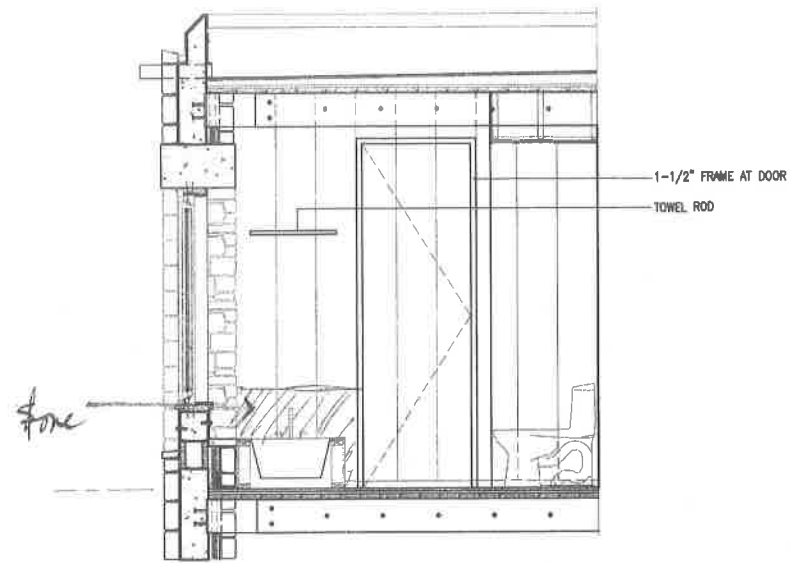


A (TYP.) MILLWORK SECTION
 MW.07 SCALE: 1-1/2" = 1'-0"

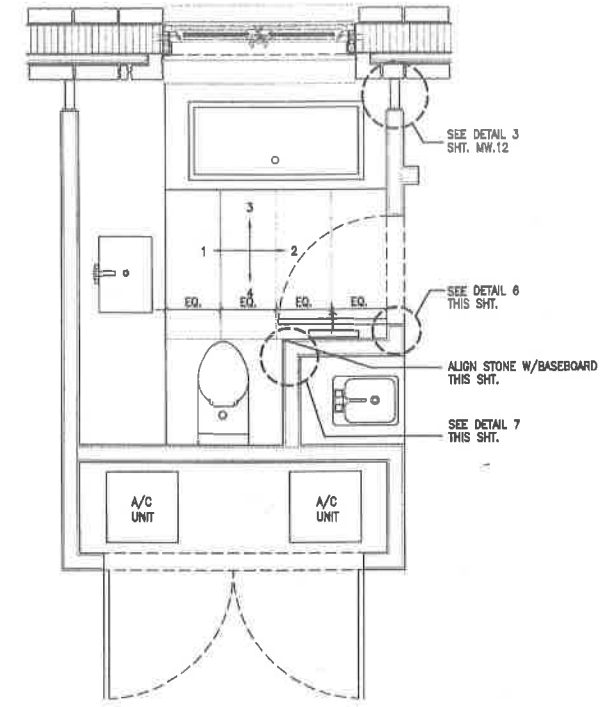
FOR CONSTRUCTION



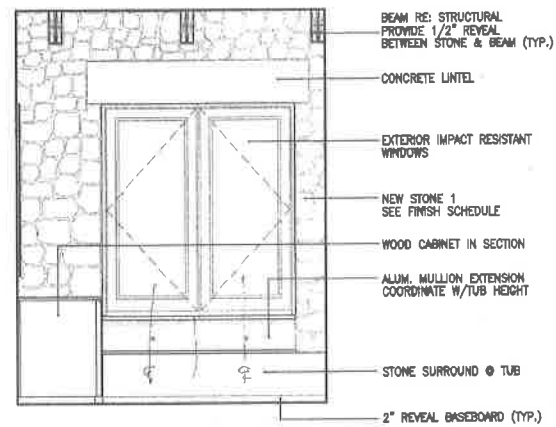
1 BATHROOM 207 NORTH ELEV.
SCALE: 1/2" = 1'-0"



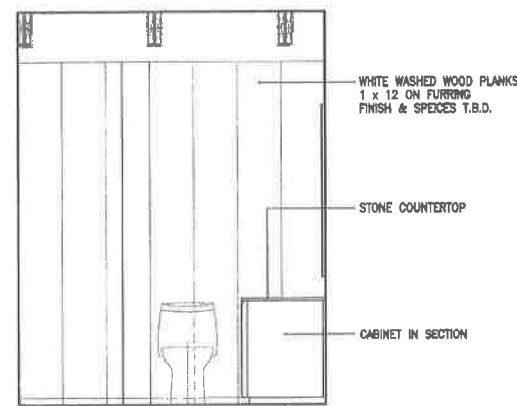
2 BATHROOM 207 SOUTH ELEV.
SCALE: 1/2" = 1'-0"



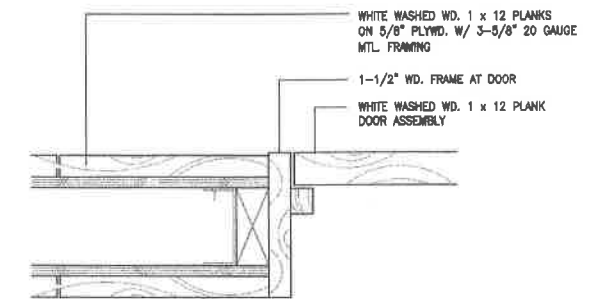
5 BATHROOM 207 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



3 BATHROOM 207 EAST ELEV.
SCALE: 1/2" = 1'-0"



4 BATHROOM 207 WEST ELEV.
SCALE: 1/2" = 1'-0"



6 DETAIL
SCALE: 3" = 1'-0"



7 DETAIL
SCALE: 3" = 1'-0"

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BATHROOM 207
SCALE: 1/2" = 1'-0"

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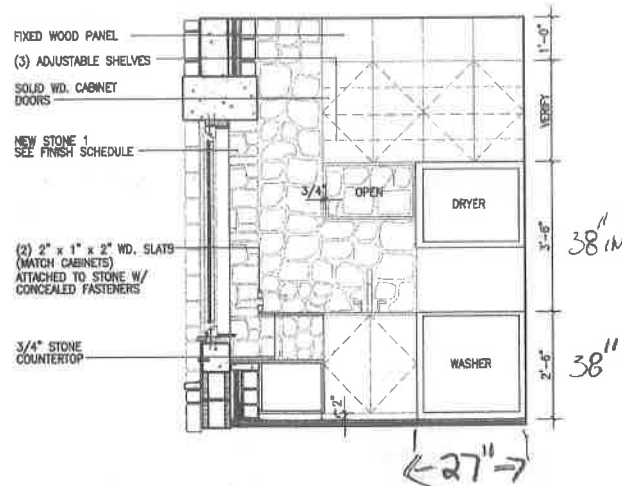
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

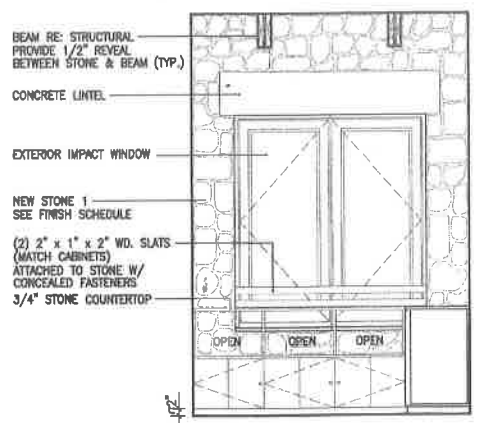
DATE 07/28/2010
DRAWN BY MC
CHECKED BY JB
REVISIONS

JOB NO.
2010-0001

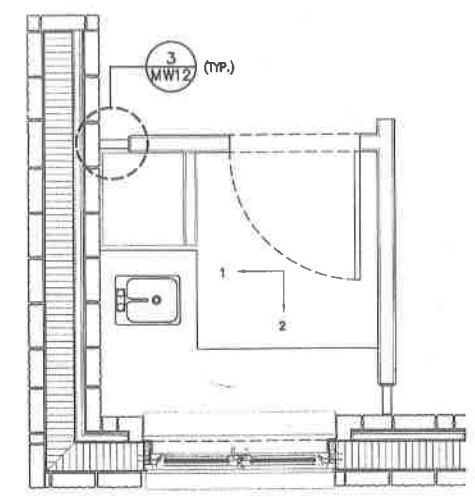
SHEET NO.
MW.09



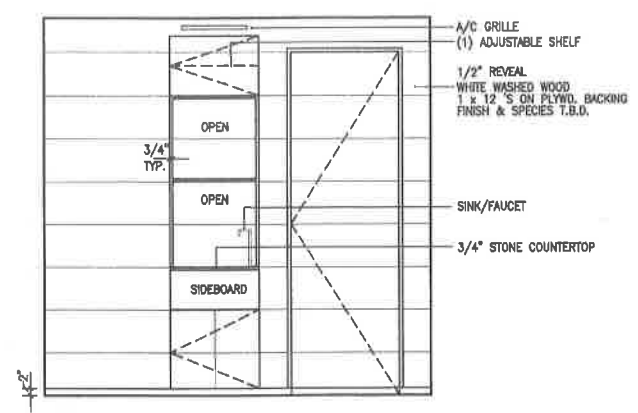
1 LAUNDRY 113 NORTH ELEV.
SCALE: 1/2" = 1'-0"



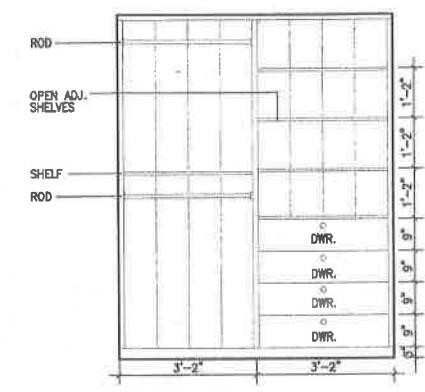
2 LAUNDRY 113 WEST ELEV.
SCALE: 1/2" = 1'-0"



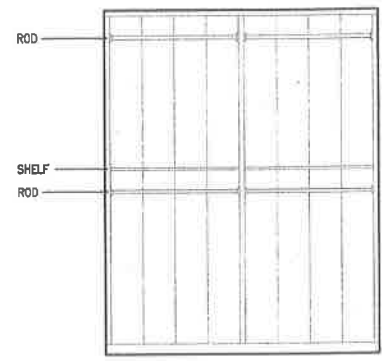
3 LAUNDRY 113 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



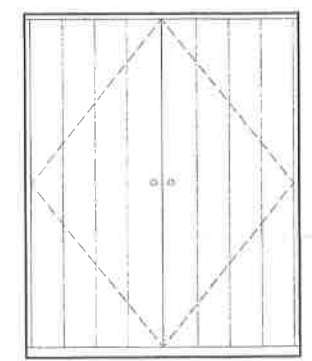
4 BAR @ CORRIDOR 205 NORTH ELEV.
SCALE: 1/2" = 1'-0"



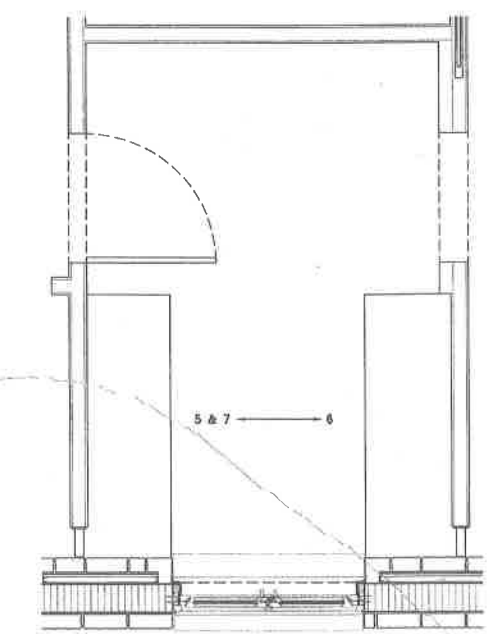
5 BOB'S CLOSET 114 NORTH ELEV.
SCALE: 1/2" = 1'-0"



6 BOB'S CLOSET 114 SOUTH ELEV.
SCALE: 1/2" = 1'-0"



7 BOB'S CLOSET 114 NORTH ELEV.
SCALE: 1/2" = 1'-0"



8 BOB'S CLOSET 114 ENLARGED PLAN
SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION

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814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

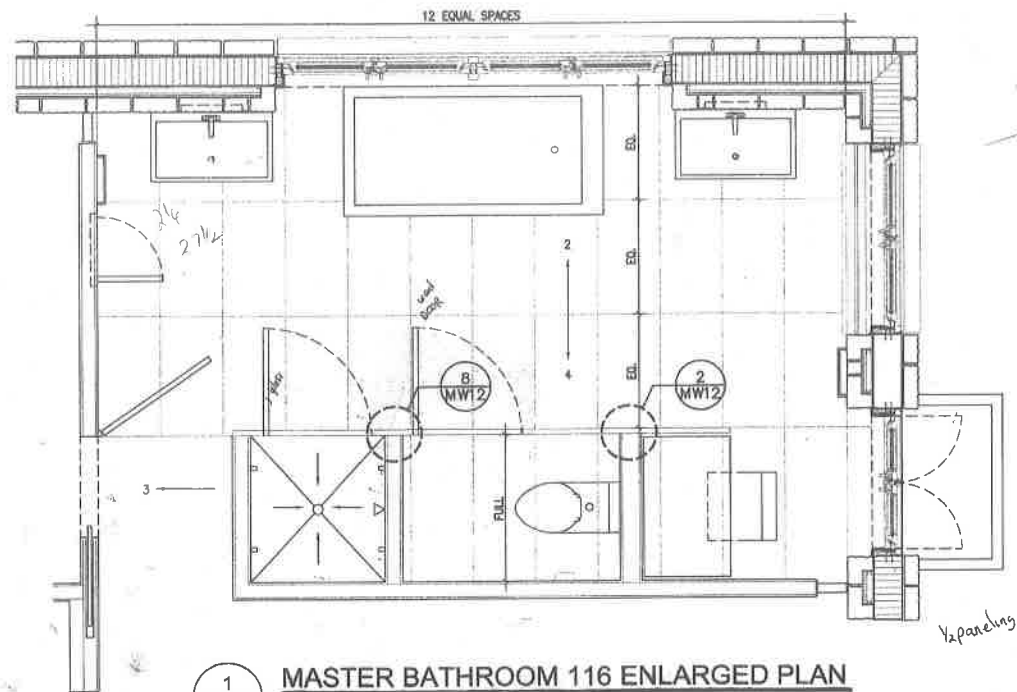
[Signature]
M. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTERED ARCHITECT

DATE: 01/28/2012
DRAWN BY: MC
CHECKED BY: JB
REMARKS:
REVISIONS:

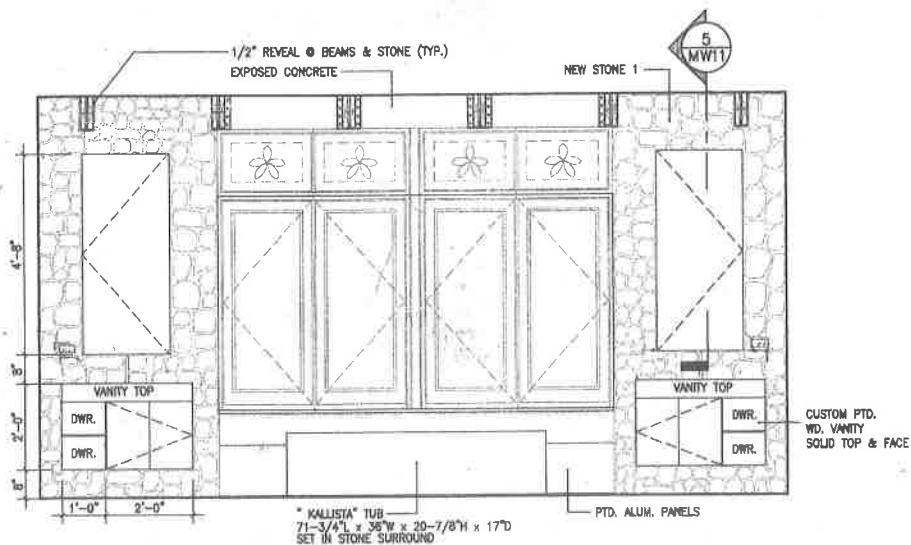
JOB NO.
2010-0001

SHEET NO.

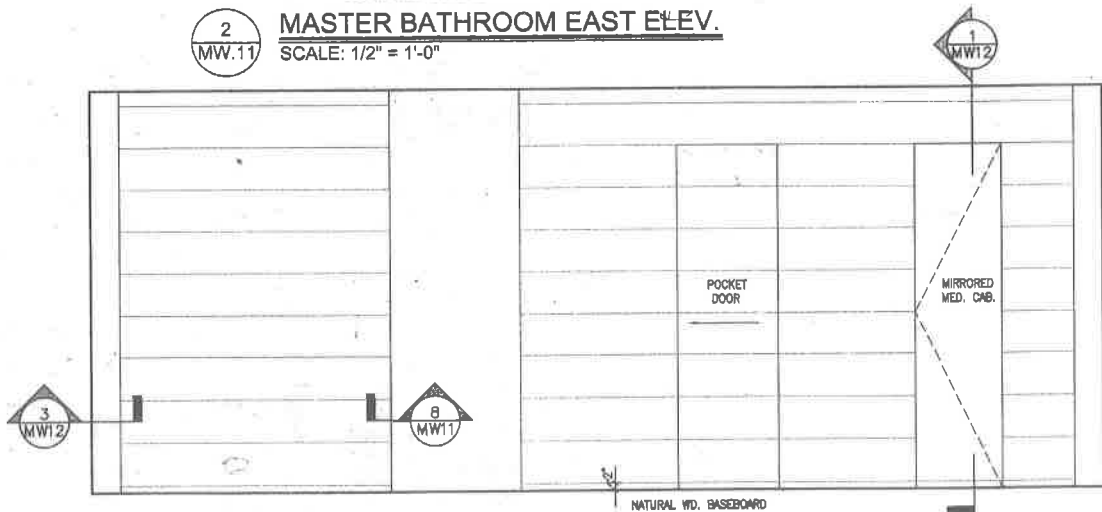
MW.10



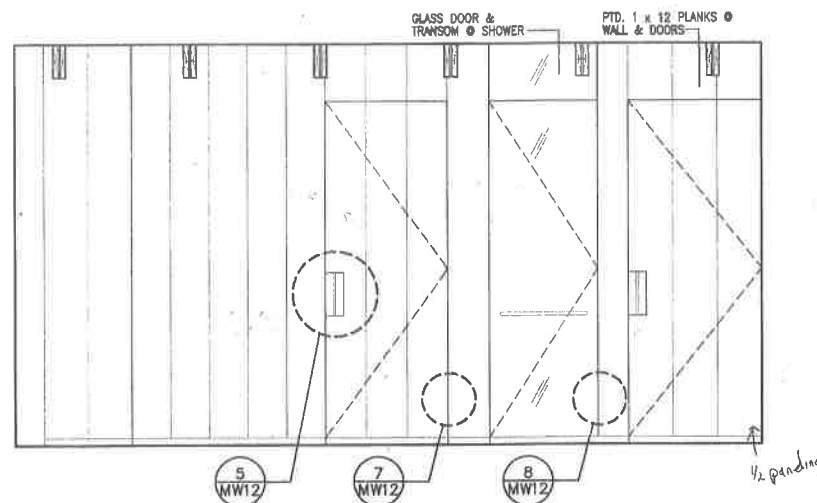
1 MASTER BATHROOM 116 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



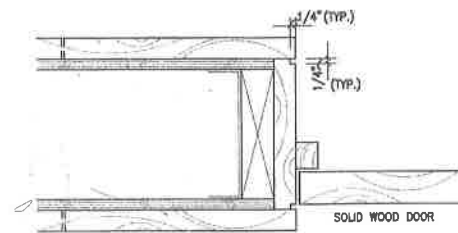
2 MASTER BATHROOM EAST ELEV.
SCALE: 1/2" = 1'-0"



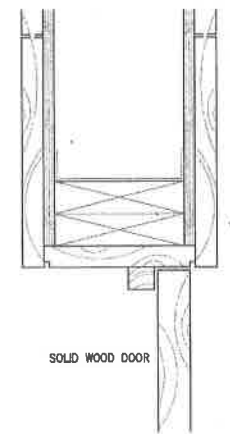
3 MASTER SUITE NORTH ELEV.
SCALE: 1/2" = 1'-0"



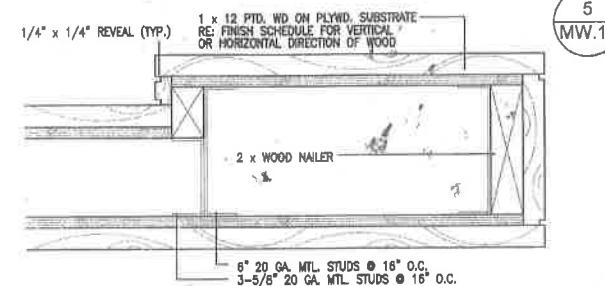
4 MASTER BATHROOM WEST ELEV.
SCALE: 1/2" = 1'-0"



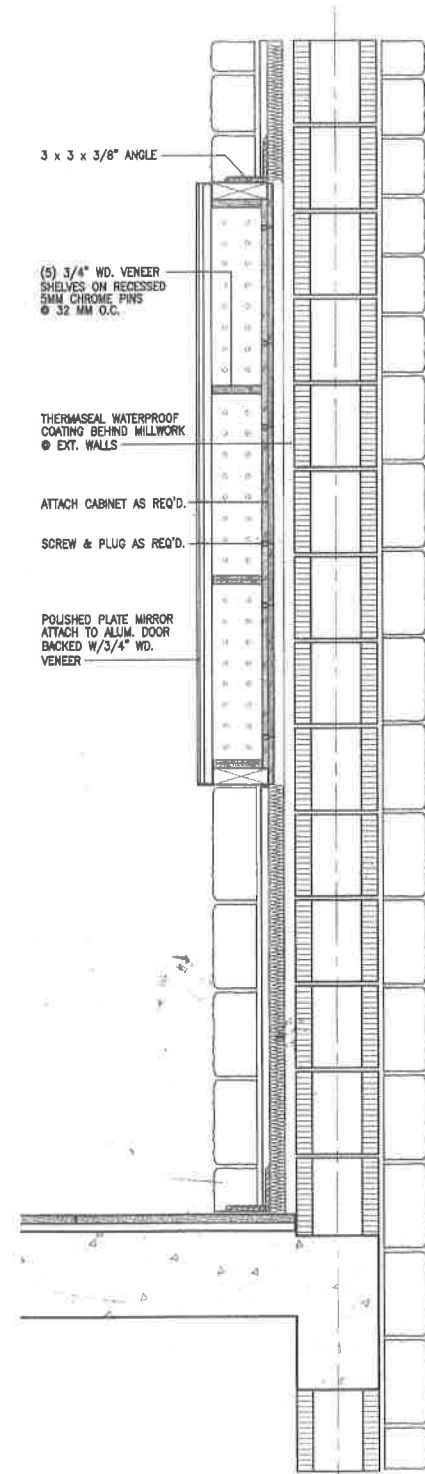
6 DETAIL (TYP.) INTERIOR DOOR JAMB
SCALE: 3" = 1'-0"



7 DETAIL (TYP. INTERIOR DOOR HEAD)
SCALE: 3" = 1'-0"



8 DETAIL
SCALE: 3" = 1'-0"



5 MEDICINE CABINET ABOVE SINK @ MASTER BATH
SCALE: 1-1/2" = 1'-0"

FOR CONSTRUCTION

jenifer briley + associates
architecture . interior design . planning
1829 Tiger Tail Ave, Coconut Grove, FL 33133
Tel. 305.857.9323 Fax. 305.857.9343

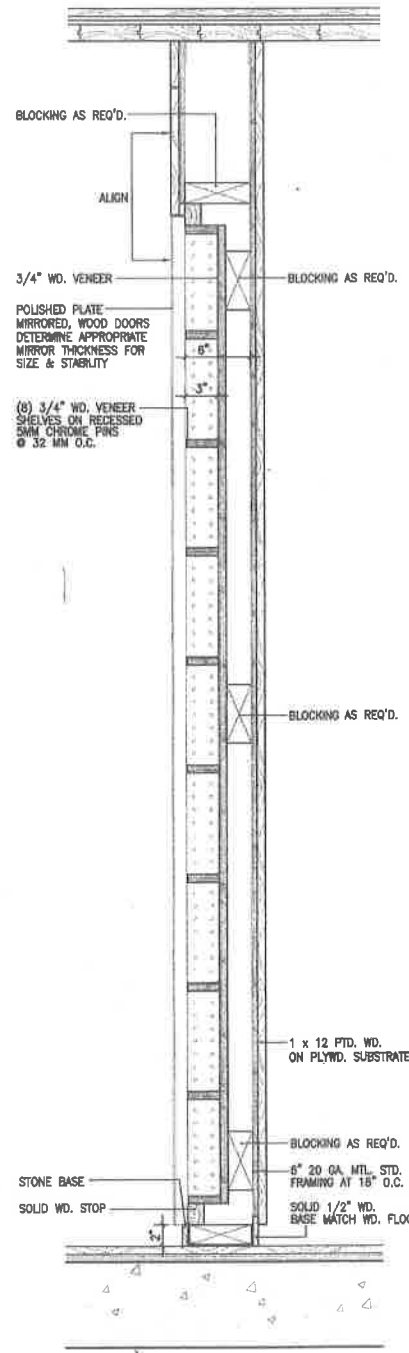
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

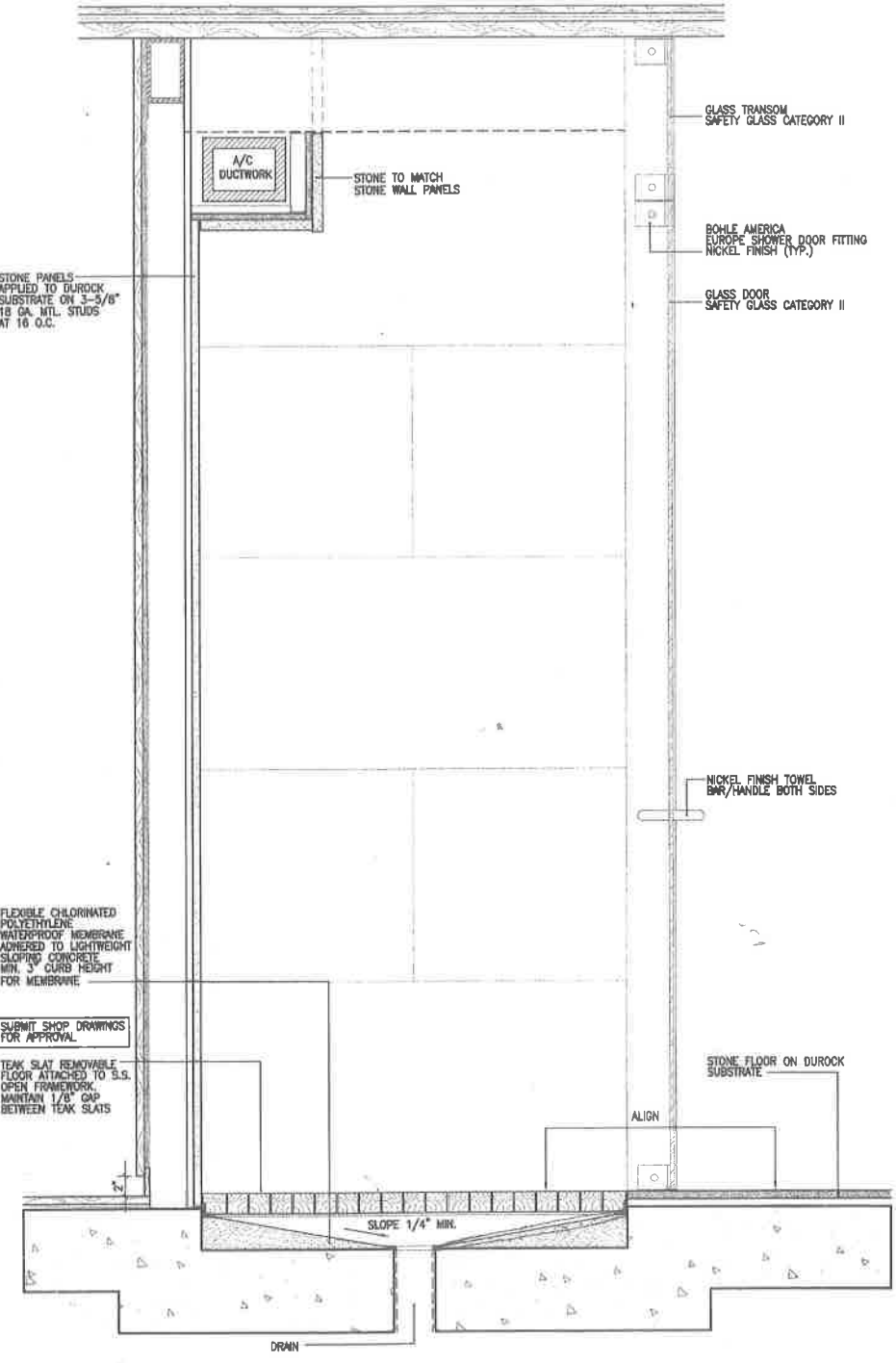
DATE 01/25/2012
DRAWN BY MC
CHECKED BY JB
REVISIONS

JOB NO.
2010-0001

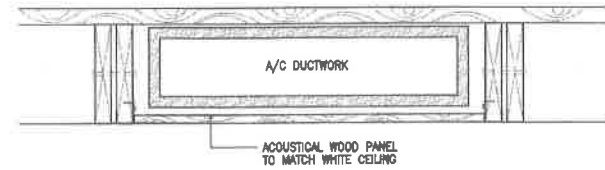
SHEET NO.
MW.11



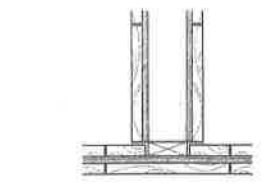
1 **DETAIL @ MEDICINE CABINET**
 MW.12 SCALE: 1-1/2" = 1'-0"



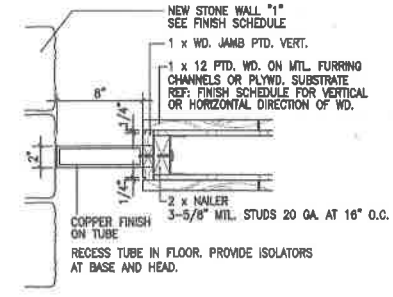
2 **DETAIL @ MASTER SHOWER**
 MW.12 SCALE: 1-1/2" = 1'-0"



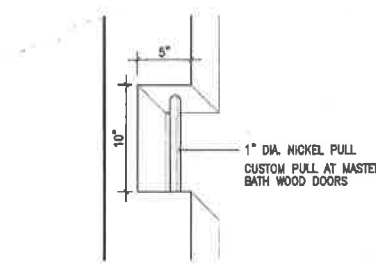
9 **DETAIL @ A/C DUCTWORK**
 MW.12 SCALE: 1-1/2" = 1'-0"



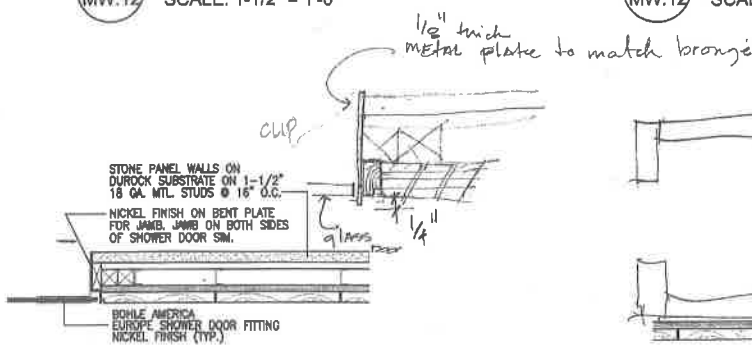
4 **DETAIL @ MASTER W.C.**
 MW.12 SCALE: 1-1/2" = 1'-0"



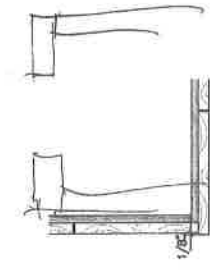
3 **DETAIL @ JAMB AND WD. WALL**
 MW.12 SCALE: 1-1/2" = 1'-0"



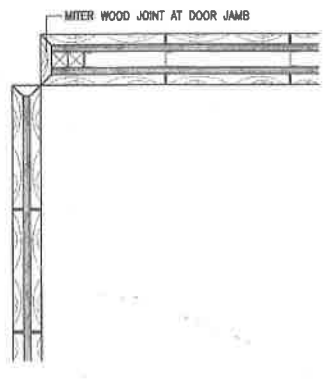
5 **DETAIL OF DOOR HANDLE**
 MW.12 SCALE: 1-1/2" = 1'-0"



8 **DETAIL @ SHOWER DOOR**
 MW.12 SCALE: 1-1/2" = 1'-0"



6 **DETAIL @ A/C SOFFITS**
 MW.12 SCALE: 1-1/2" = 1'-0"



7 **DETAIL @ W.C. DOOR**
 MW.12 SCALE: 1-1/2" = 1'-0"

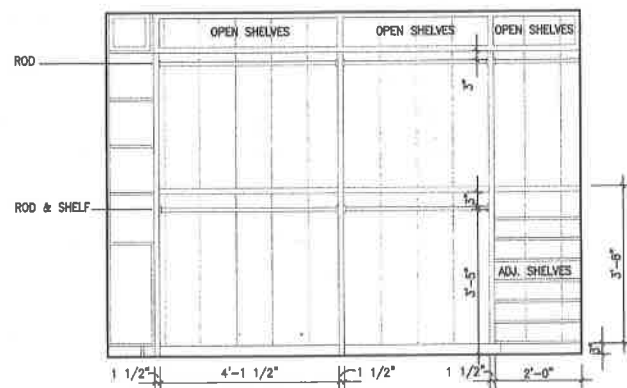
FOR CONSTRUCTION

DATE: 01/29/2010
 DRAWN BY: MB
 CHECKED BY: JS
 REVISIONS:

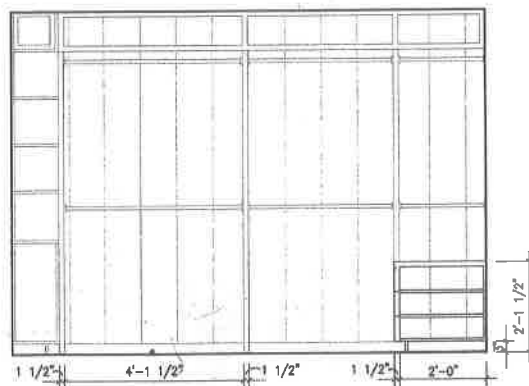
JOB NO.
 2010-0001

SHEET NO.

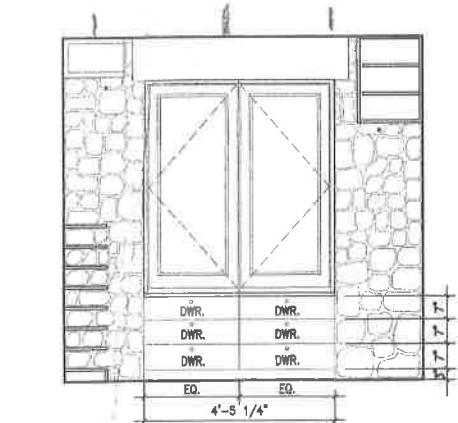
MW.12



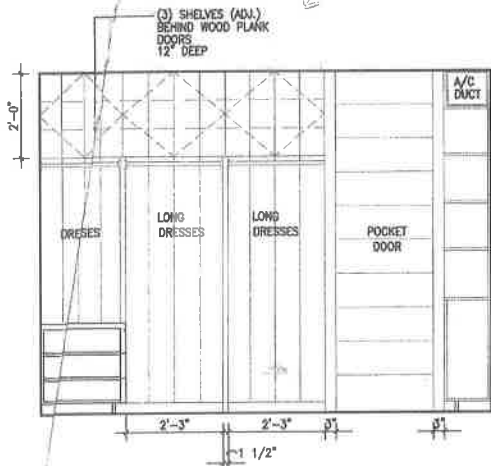
1 MASTER CLOSET 117 NORTH ELEV.
SCALE: 1/2" = 1'-0"



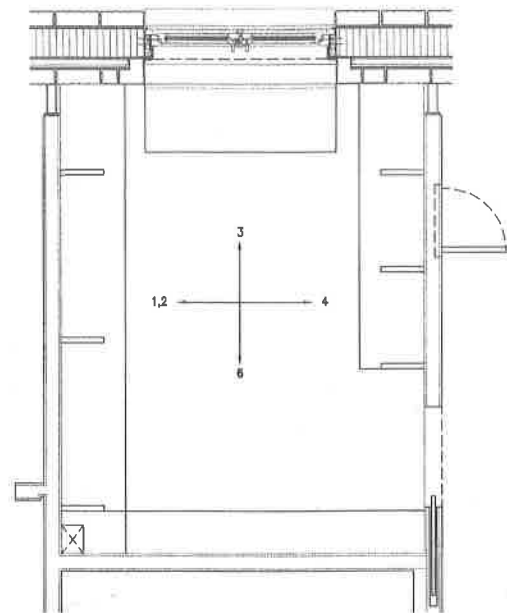
2 MASTER CLOSET 117 NORTH ELEV.
SCALE: 1/2" = 1'-0"



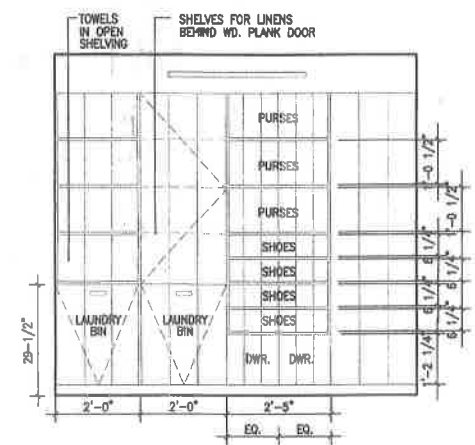
3 MASTER CLOSET EAST ELEV.
SCALE: 1/2" = 1'-0"



4 MASTER CLOSET 117 SOUTH ELEV.
SCALE: 1/2" = 1'-0"



5 MASTER CLOSET 117 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



6 MASTER CLOSET 117 WEST ELEV.
SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION

MASTER CLOSET 117
SCALE: 1/2" = 1'-0"

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Tel. 305.857.9323 Fax. 305.857.9343

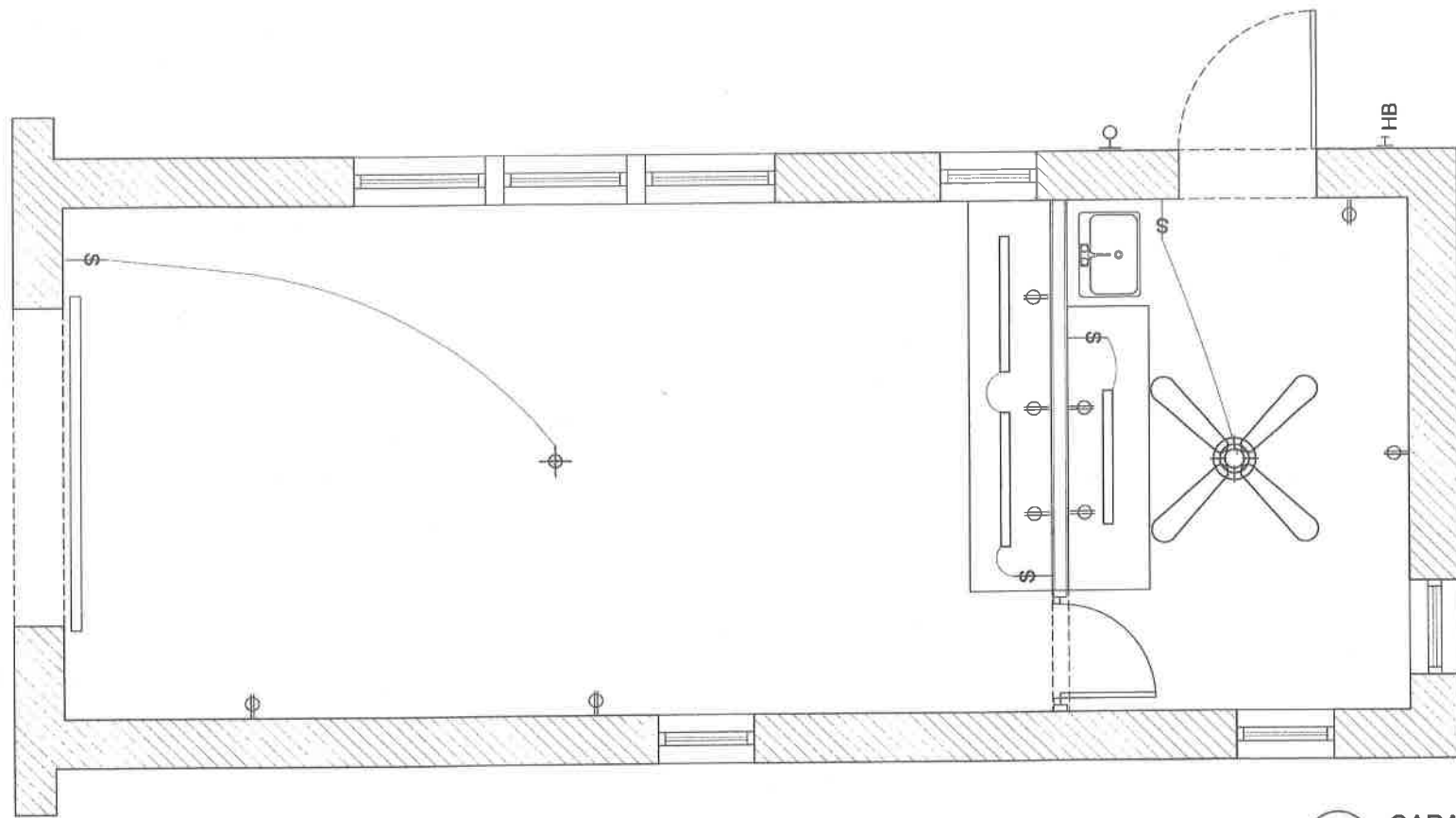
814 CORAL WAY
RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

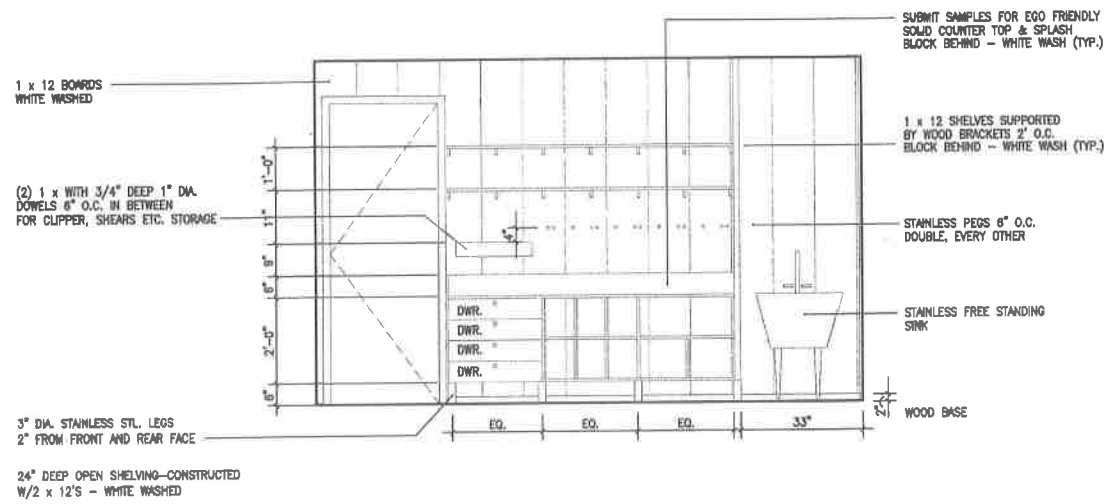
DATE 01/26/2012
DRAWN BY MC
CHECKED BY JB
REVISIONS

JOB NO.
2010-0001

SHEET NO.
MW.13



GARAGE
SCALE: 1/2" = 1'-0"



GARDEN ROOM ELEVATION
SCALE: 1/2" = 1'-0"

FOR CONSTRUCTION

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RESTORATION AND RENOVATION
ADDITION

MILLWORK
SECTIONS

10/24/10
[Signature]
St. Justice Gray, AIA
STATE OF FLORIDA
REGISTRATION NO. 51120

DATE: 01/25/2012
DRAWN BY: JBC
CHECKED BY: JB
REMARKS:
REVISIONS:

JOB NO.
2010-0001




SHEET NO.

MW.14

GENERAL TREE DEMOLITION AND RELOCATION NOTES :

- Existing tree information was taken from a tree survey and site observations. Final determination shall be made after re-survey and evaluation of a certified tree survey made by a professional surveyor. Refer to Tree Survey and notify the Landscape Architect in case of any discrepancies.
- Contractor shall obtain a permit to demolish and/or relocate any existing plant material, and to ensure compliance and accordance with all local codes.
- Planting plan will take precedence over plant lists in case of any discrepancies. The Landscape Contractor is responsible to verify all quantities and shall notify the Landscape Architect of any discrepancies prior to submitting his bid.
- Landscape Contractor to visit and familiarize himself with the scope of the work prior to submitting a bid. Landscape Contractor is required to submit a itemized bid breakdown only, lump sum bids will not be accepted. Any additions and/or deletions of plant material during any change orders can only be proposed at same price as identified in the base bid.
- The Landscape Demolition Plans will be considered incomplete without a copy of these general notes and/or the presence of the landscape specifications. The Landscape Contractor is required to have a copy of the demolition plan, landscape plan, landscape specifications and tree survey at the field at all times.
- Contractor to locate and verify all underground and above ground utilities prior to digging and installation.
- No changes to the plans are to be made without the prior consent of the Landscape Architect.
- All trees scheduled to remain shall be protected at all times during all phases of construction.
- All trees to be relocated shall be root-pruned for a minimum of 2 months and moved following good horticultural practices.
- All planting beds to receive 90/10 planting soil mix (90% Everglades Peat/10% clean sand) minimum 6" deep. All trees holes to be backfilled around and under the rootball with planting soil mix (refer to planting details). Landscape Contractor to excavate from interior of parking lots and around structures 6" deep of compacted construction rock to receive 6" of planting soil. Ensure that final grade of planting soil is 2" below top of curbs and/or walks on sodded areas and for 3" niched areas.
- All planting beds and tree saucers to receive Eucalyptus Mulch grade 'A' - 2" deep. Finish grade of mulch to be 1" below pavement edges (Typ) refer to landscape details (if applicable).
- All trees are to be guyed and staked in a good workmanlike manner. No nail staking permitted (refer to planting details). Use 4"x 4" wood braces for large trees & palms.

LANDSCAPE DEMOLITION LEGEND

Symbol	Specification
	Existing to Remain Protected
	Existing to be Relocated
	Existing to be Removed

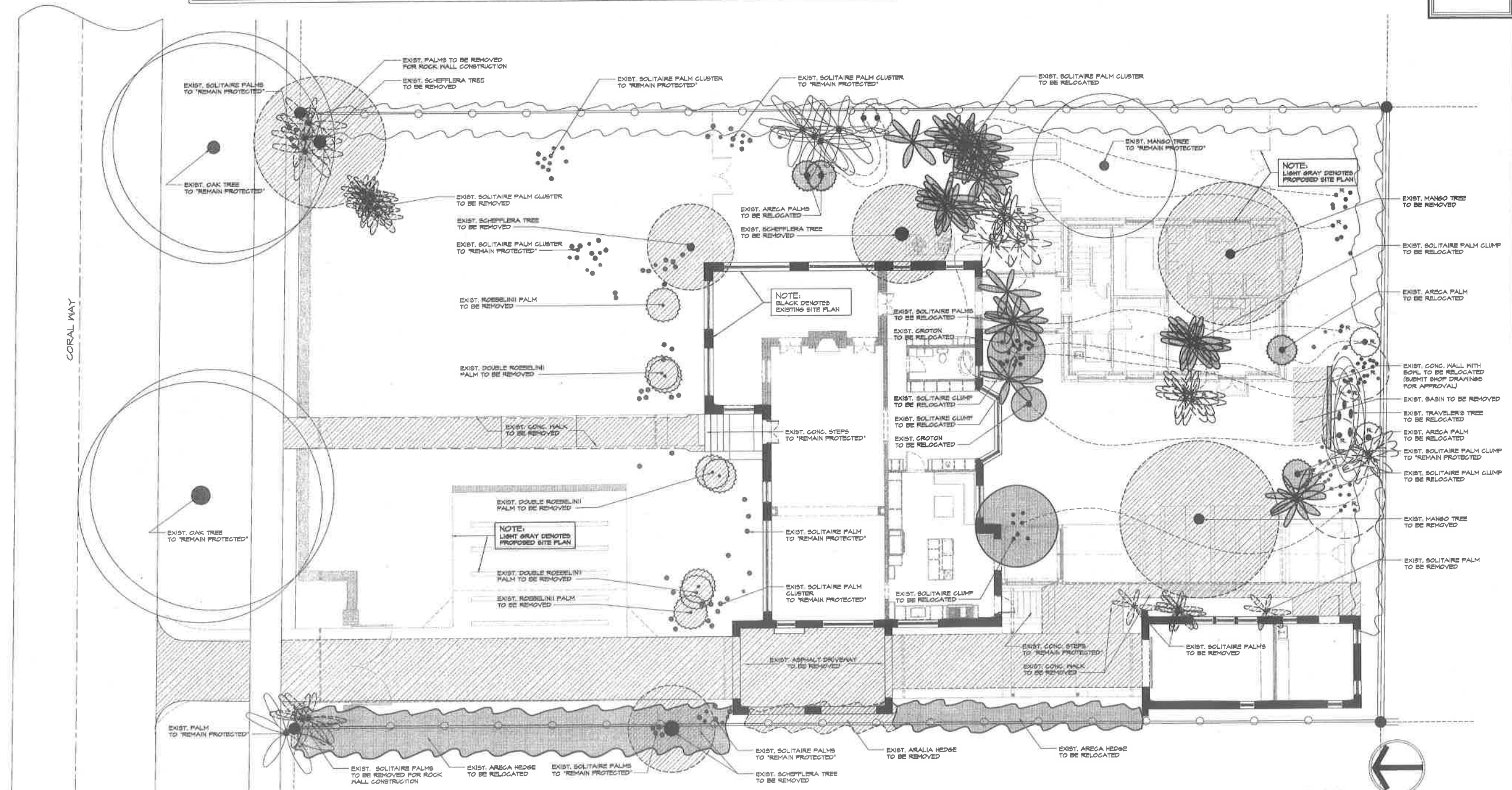
SCHEDULE FOR EXISTING TREES

REMOVE

- 20 Solitaire Palms
- 5 Pigny Dates
- 2 Mango Trees
- 4 Schefflera Trees

RELOCATE

- 45 Solitaire Palms
- 20 Areca Palms
- 4 Crotons



LANDSCAPE/ HARDSCAPE DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

TROPOLIS INC.
LANDSCAPE ARCHITECT
R.C.L.# 0000294
P.O. Box 370536 Miami, Florida 33137
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Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
ADDITION

LANDSCAPE/ HARDSCAPE
DEMOLITION PLAN

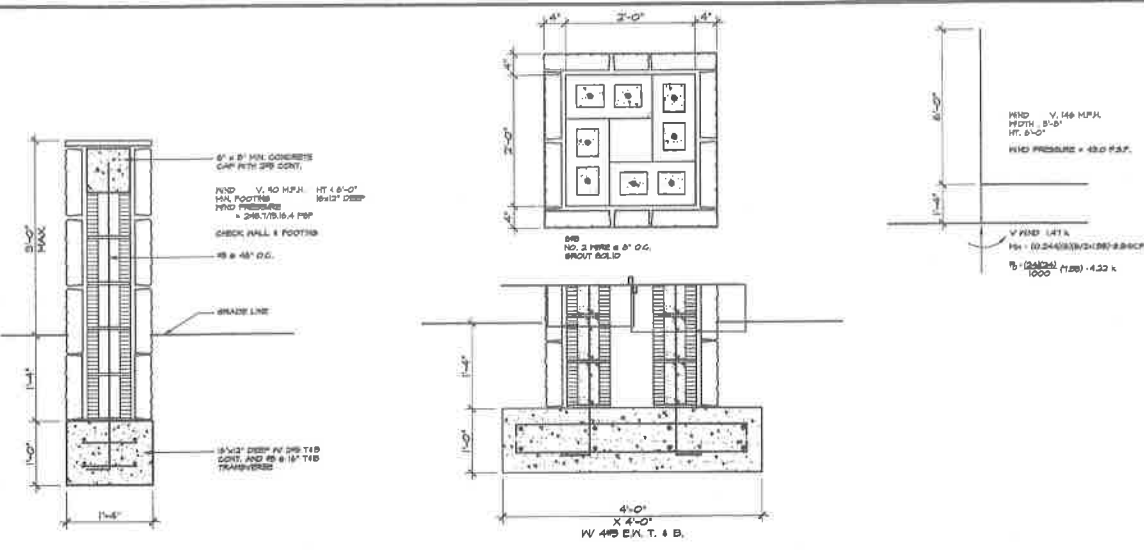
Landscape Architect of Record
JOSE IVAN LOPEZ
LA 0001382

DATE 08/02/2011
DRAWN BY T.M.
CHECKED BY J.L.L.
REVISIONS
REVISIONS

JOB NO.
2010-0001

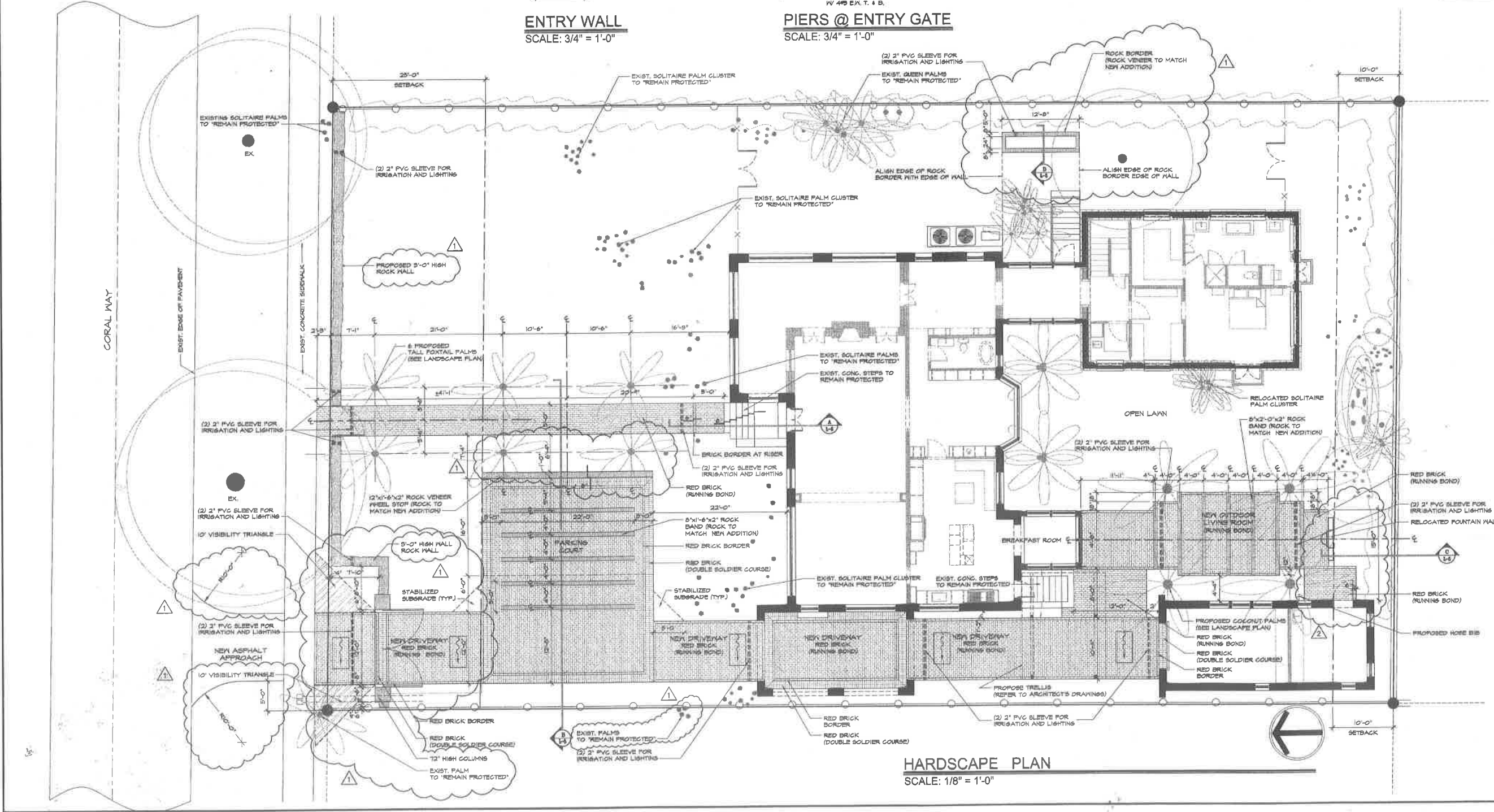
SHEET NO.

L-1



ENTRY WALL
SCALE: 3/4" = 1'-0"

PIERS @ ENTRY GATE
SCALE: 3/4" = 1'-0"



HARDSCAPE PLAN
SCALE: 1/8" = 1'-0"

TROPOLIS INC.
LANDSCAPE ARCHITECT
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architecture . interior design . planning
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814 CORAL WAY
ADDITION

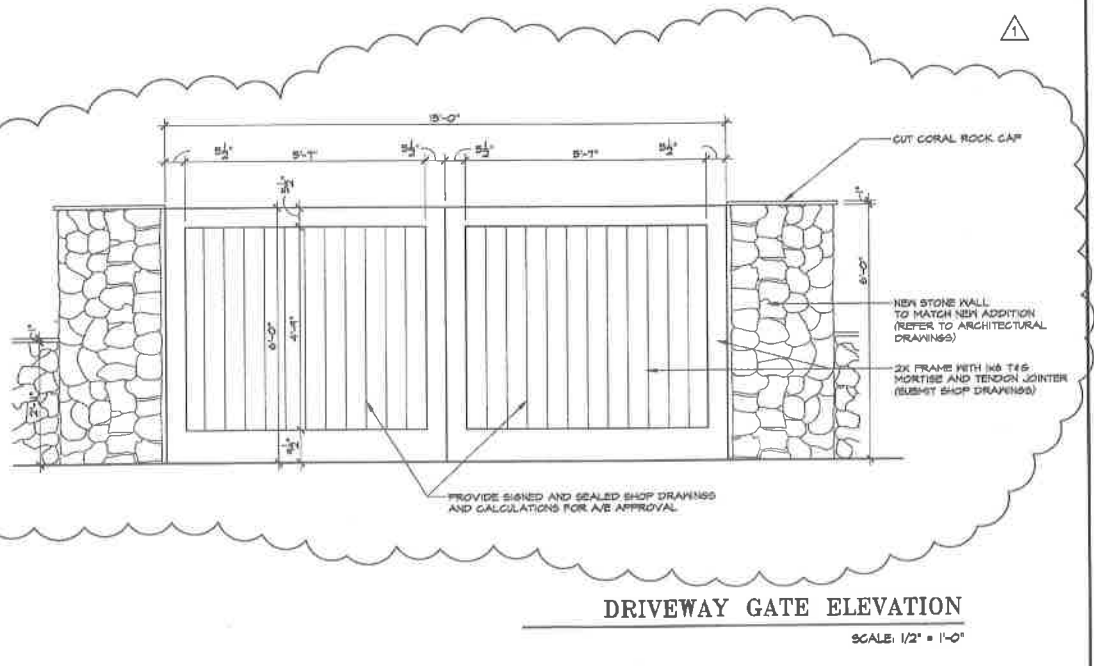
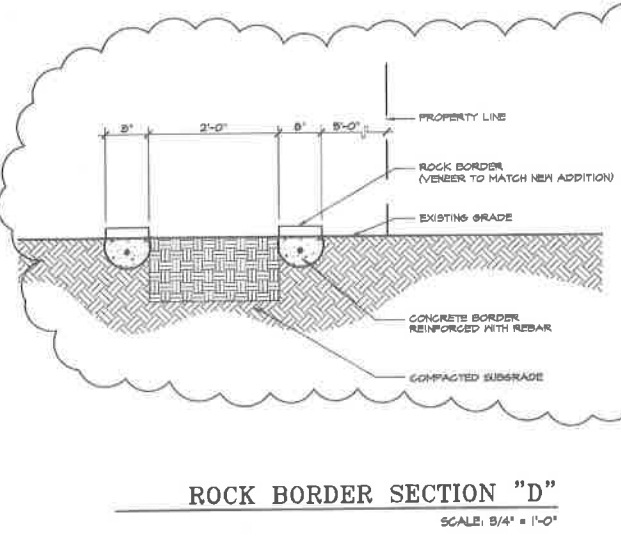
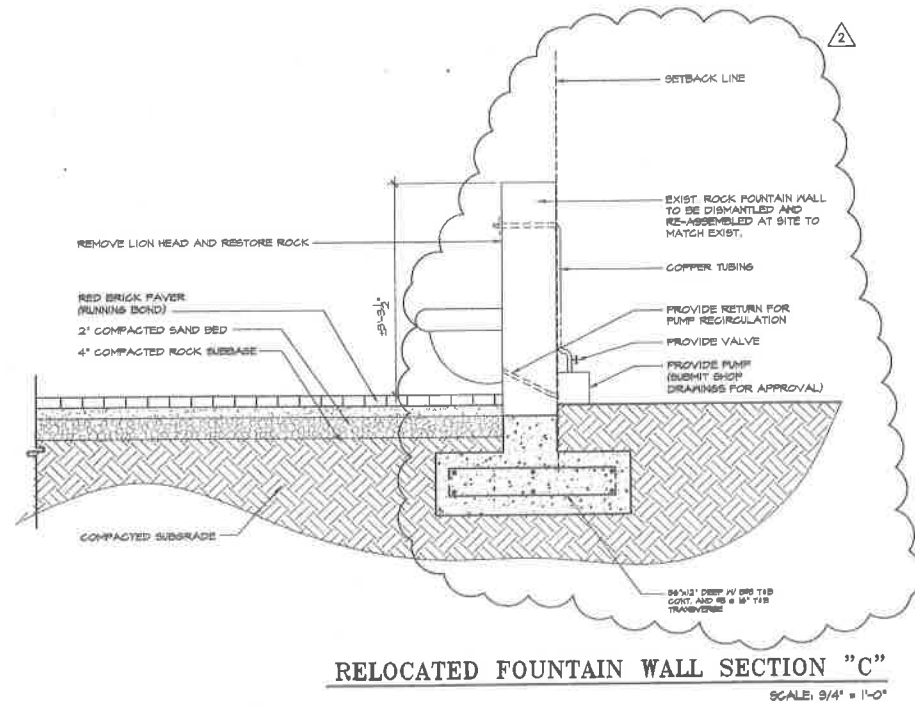
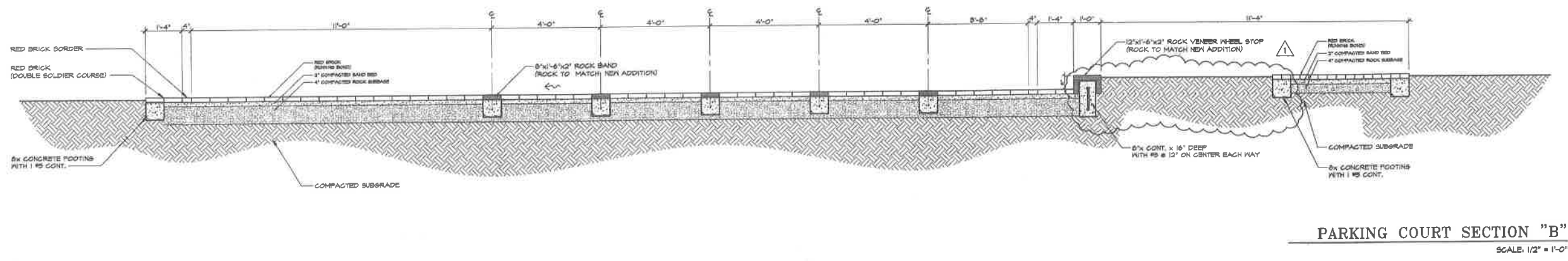
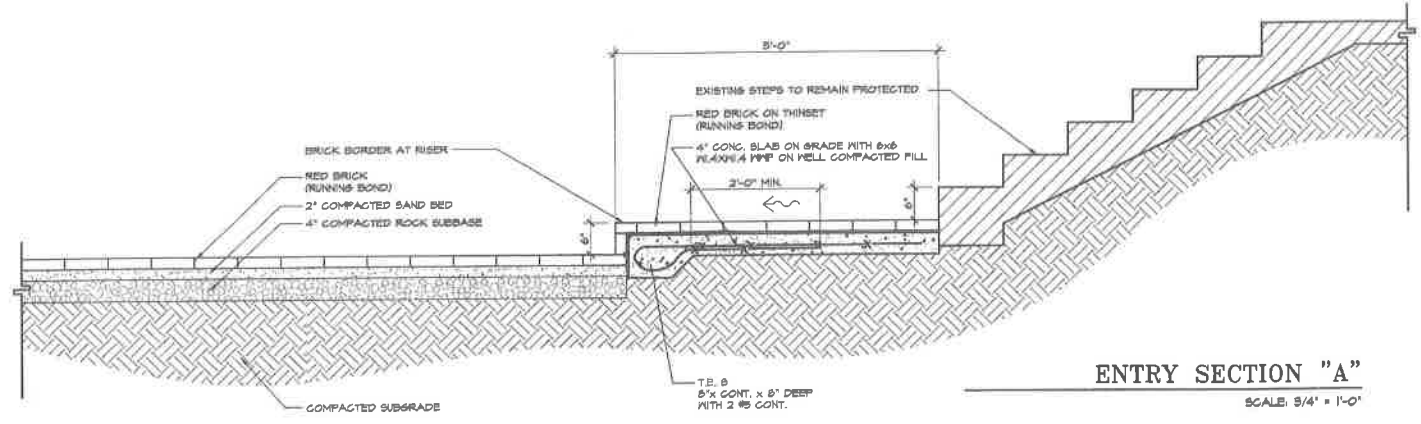
HARDSCAPE
PLAN

Landscape Architect of Record
JOSE VAN LOPEZ
LA 0001382
DATE: 06/01/2011
DRAWN BY: T.M.
CHECKED BY: J.L.L.
REMARKS:
REVISIONS: 06/28/2011
11/21/2011

JOB NO.
2010-0001

SHEET NO.
L-4

- GENERAL HARDSCAPE NOTES:**
- The Owner's Contractor and/or Engineer will be responsible for ensuring the structural integrity and compliance with all local codes of all patio / hardscape elements designed on this sheet. The Architect or Landscape Architect is responsible for the layout of all the elements designed on this sheet.
 - See Engineering or Civil Drawings for all exterior finished grades, site drainage, and utility layout.
 - Contractor is responsible to verify all dimensions and elevations on site prior to beginning construction and any discrepancies are to be brought to the immediate attention of the Architect or Landscape Architect.
 - Contractor to locate and verify all underground and above ground utilities prior to digging and installation.
 - Owner's Contractor and/or Pool Engineer will be responsible for the pool structural detailing, pump size and equipment, etc. Owner shall coordinate with pool engineer/contractor the requirements for pool heater, switching, etc. Pool contractor shall submit shop drawings for review and approval by the Architect or Landscape Architect prior to obtaining permits for construction.
 - Contractor is responsible to stake the layout plan in the field (or retain a registered Surveyor) and have the layout approved by the Landscape Architect prior to proceeding with construction.



TROPOLIS INC.
 LANDSCAPE ARCHITECT
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 info@tropolis.com

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 1829 Tiger Tail Ave, Coconut Grove, FL 33133
 Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY ADDITION

HARDSCAPE DETAILS

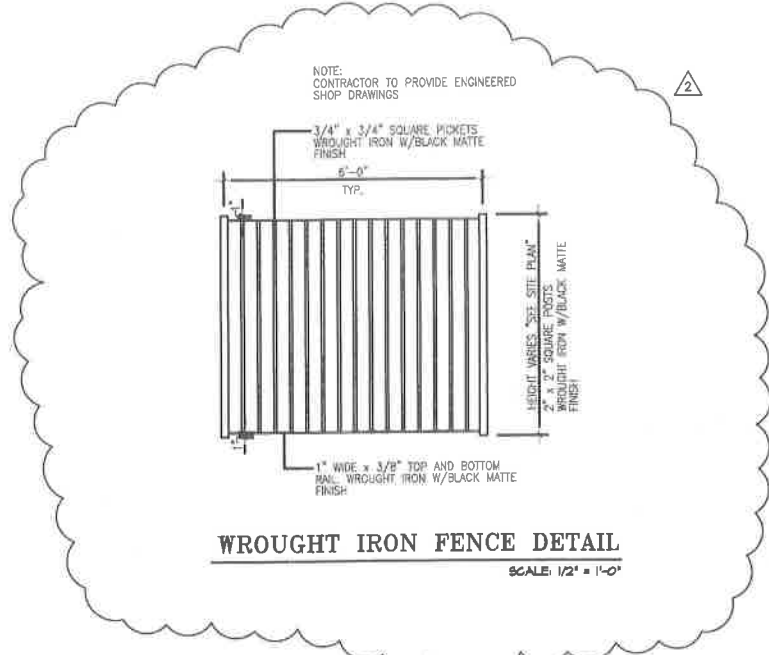
DATE: 08/02/2011
 DRAWN BY: J.M.
 CHECKED BY: J.L.L.
 REVISIONS: 08/29/2011
 11/21/2011

JOB NO.
2010-0001

SHEET NO.
L-5



LOW ROCK WALL AT (FRONT) STREET ELEVATION
SCALE: 1/4" = 1'-0"



WROUGHT IRON FENCE DETAIL
SCALE: 1/2" = 1'-0"

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Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY ADDITION

HARDSCAPE DETAILS

Landscape Architect of Record
JOSE IVAN LOPEZ
LA 0001382

DATE: 08/02/2011
DRAWN BY: JLM
CHECKED BY: JLL
REVISIONS: 11/21/2011

JOB NO.
2010-0001

SHEET NO.
L-6

TROPOLIS INC.
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 P.O. Box 370596, Miami, Florida 33137
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 1829 Tiger Tail Ave., Coconut Grove, FL 33133
 Tel: 305.857.9323 Fax: 305.857.9343

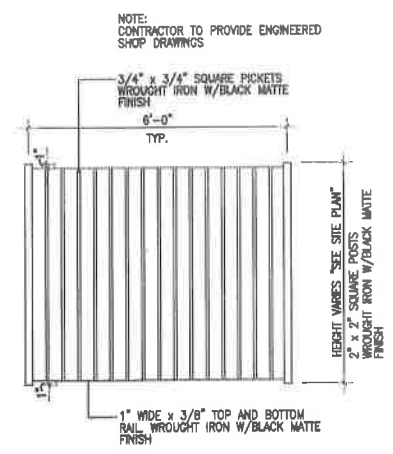
814 CORAL WAY
 ADDITION

HARDSCAPE
 DETAILS

5/9/2011
 Landscape Architect of Record
 JOSE IVAN LOPEZ
 LA 0 0 0 1 3 0 2
 DATE 06/02/2011
 DRAWN BY TJM
 CHECKED BY JLL
 REMARKS
 REVISIONS
 1. 06/02/11

JOB NO.
 2010-0001

SHEET NO.
 L-6



WROUGHT IRON FENCE DETAIL
 SCALE: 1/2" = 1'-0"



LOW ROCK WALL AT (FRONT) STREET
 ELEVATION
 SCALE: 1/4" = 1'-0"

NEW SHEET

TROPOLIS INC.
 LANDSCAPE ARCHITECT
 R.C.L. # 0000294
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 Tel. 305.857.9323 Fax. 305.857.9343

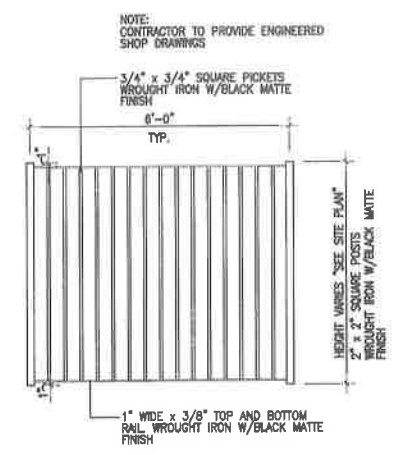
814 CORAL WAY
 ADDITION

HARDSCAPE
 DETAILS

DATE 08/01/2011
 DRAWN BY TAM
 CHECKED BY JLL
 REMARKS
 REVISIONS
 1. 07/26/11

JOB NO.
 2010-0001

SHEET NO.
 L-6



WROUGHT IRON FENCE DETAIL
 SCALE: 1/2" = 1'-0"



LOW ROCK WALL AT (FRONT) STREET
 ELEVATION
 SCALE: 1/4" = 1'-0"

NEW SHEET

GENERAL TREE DEMOLITION AND RELOCATION NOTES :

- Existing tree information was taken from a tree survey and site observations. Final determination shall be made after receipt and evaluation of a certified tree survey made by a professional surveyor. Refer to Tree Survey and notify the Landscape Architect in case of any discrepancies.
- Contractor shall obtain a permit to demolish and/or relocate any existing plant material, and to ensure compliance and accordance with all local codes.
- Planting plan will take precedence over plant lists in case of any discrepancies. The Landscape Contractor is responsible to verify all quantities and shall notify the Landscape Architect of any discrepancies prior to submitting his bid.
- Landscape Contractor to visit and familiarize himself with the scope of the work prior to submitting a bid. Landscape Contractor is required to submit an itemized bid breakdown only. Lump sum bids will not be accepted. Any additions and/or deletions of plant material during any change orders can only be proposed as same price as identified in the base bid.
- The Landscape Demolition Plans will be considered incomplete without a copy of these general notes and/or the presence of the landscape specifications. The Landscape Contractor is required to have a copy of the demolition plan, landscape plan, landscape specifications and tree survey at the field at all times.
- Contractor to locate and verify all underground and above ground utilities prior to digging and installation.
- No changes to the plans are to be made without the prior consent of the Landscape Architect.
- All trees scheduled to remain shall be protected at all times during all phases of construction.
- All trees to be relocated shall be root-pruned for a minimum of 2 months and moved following good horticultural practices.
- All planting beds to receive 50/50 planting soil mix (50% Everglades Peat/50% clean sand) minimum 6" deep. All tree holes to be backfilled around and under the rootball with planting soil mix (refer to planting details). Landscape Contractor to excavate from interior of parking lots and around structures 6" deep of composted construction rock to receive 6" of planting soil. Ensure that final grade of planting soil is 2" below top of curbs and/or walks on sodded areas and for 5" mulched areas.
- All planting beds and tree saucers to receive Eucalyptus Mulch grade 'A' - 2" deep. Finish grade of mulch to be 1" below pavement edges (Typ.) refer to landscape details (if applicable).
- All trees are to be guyed and staked in a good horticultural manner. No nail staking permitted (refer to planting details). Use 4" x 4" wood braces for large trees & palms.

LANDSCAPE DEMOLITION LEGEND

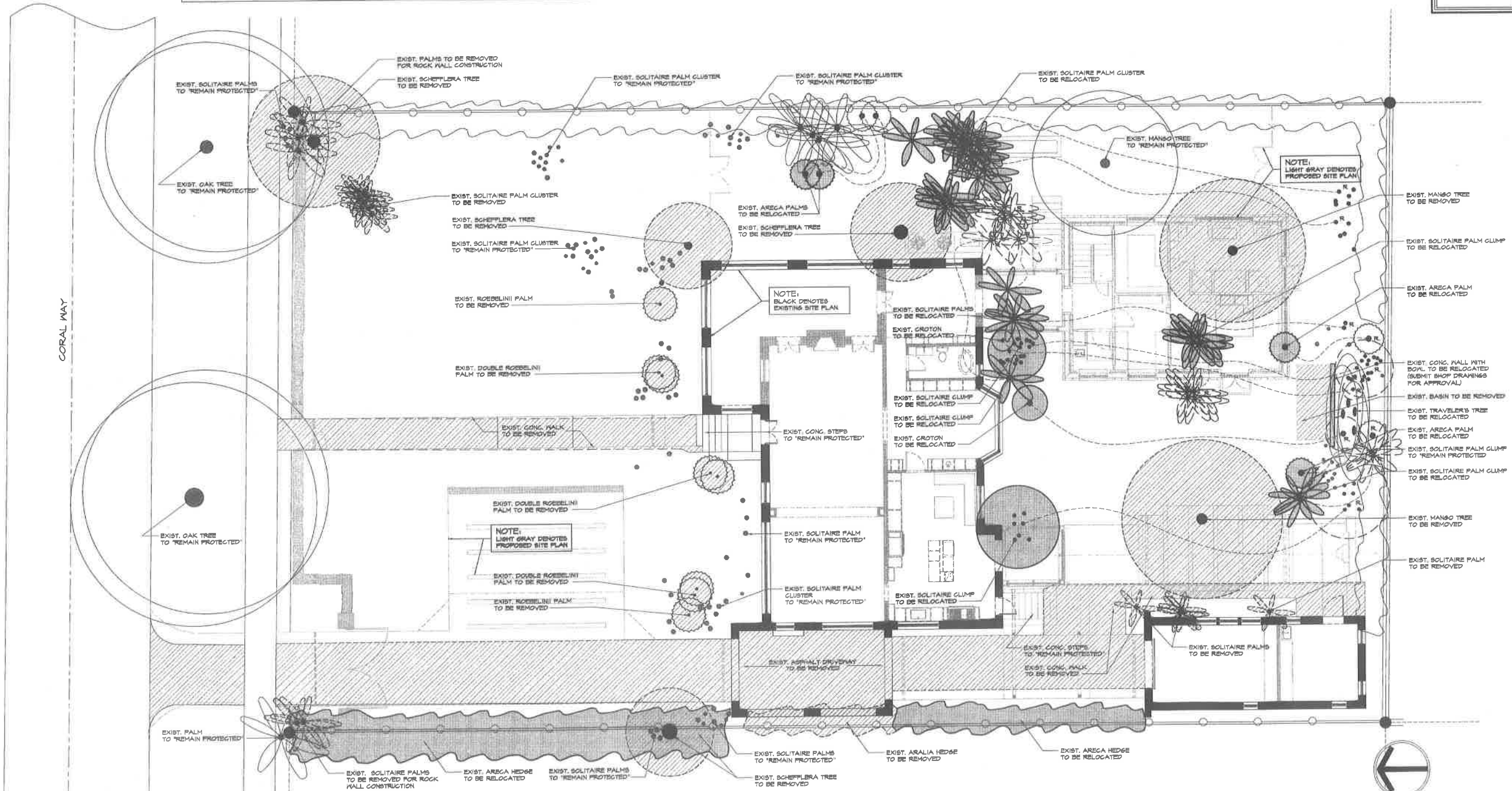
Symbol	Specification
	Existing to Remain Protected
	Existing to be Relocated
	Existing to be Removed

SCHEDULE FOR EXISTING TREES

REMOVE	RELOCATE
20 Solitaire Palms	45 Solitaire Palms
5 Pigmy Dates	20 Areca Palms
2 Mango Trees	4 Crotons
4 Schefflera Trees	

TROPOLIS INC.
 LANDSCAPE ARCHITECT
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LANDSCAPE/ HARDSCAPE DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

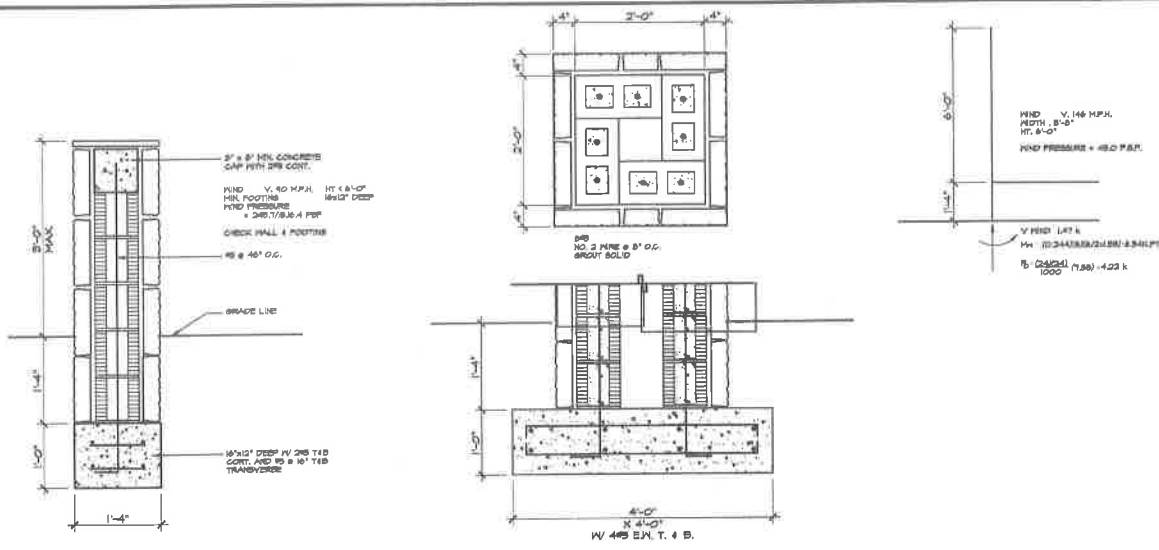
**814 CORAL WAY
 ADDITION**

**LANDSCAPE/ HARDSCAPE
 DEMOLITION PLAN**

DATE: 08/02/2011
 DRAWN BY: TAM
 CHECKED BY: JILL
 REMARKS:
 REVISIONS:

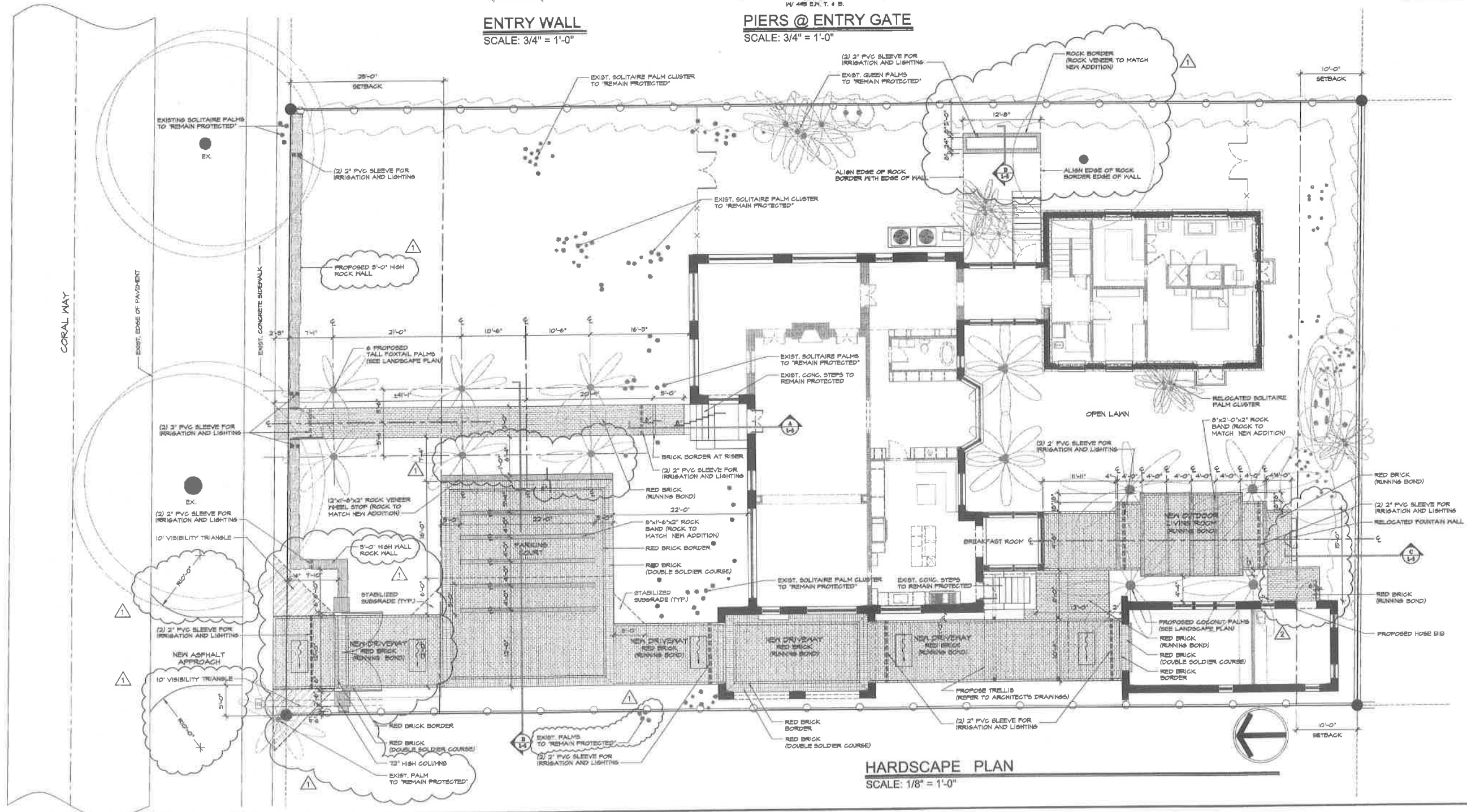
JOB NO.
2010-0001

SHEET NO.
L-1



ENTRY WALL
SCALE: 3/4" = 1'-0"

PIERS @ ENTRY GATE
SCALE: 3/4" = 1'-0"



HARDSCAPE PLAN
SCALE: 1/8" = 1'-0"

TROPOLIS INC.
LANDSCAPE ARCHITECT
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Tel. 305.857.9323 Fax. 305.857.9343

814 CORAL WAY
ADDITION

HARDSCAPE
PLAN

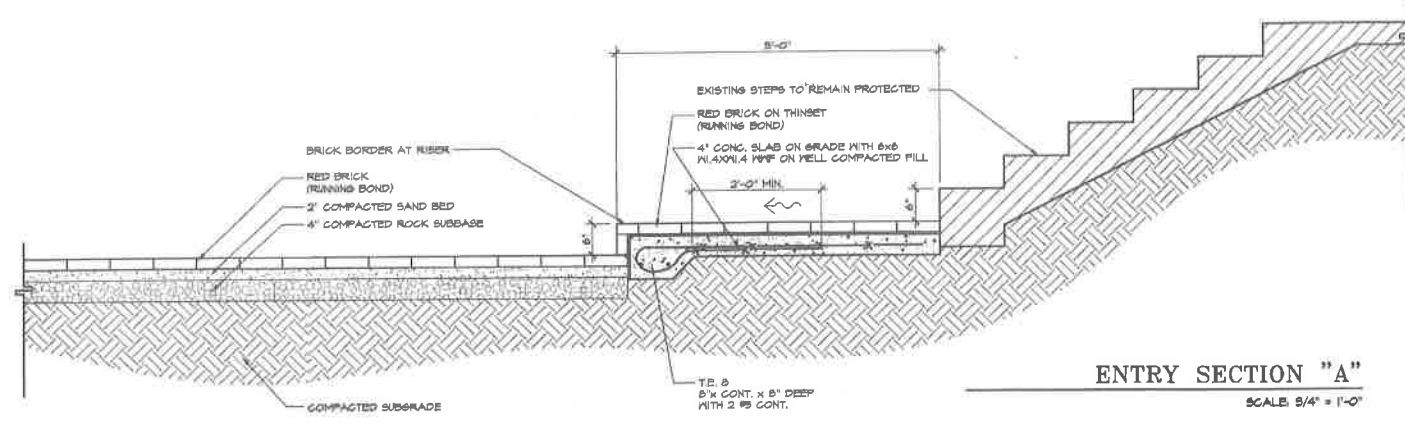
306/50A
Landscape Architect of Record
JOSE IVAN LOPEZ
LA 0 0 0 1 3 6 2
DATE 08/02/2011
DRAWN BY T.M.
CHECKED BY J.L.L.
REVISIONS 08/28/2011
11/21/2011

JOB NO.
2010-0001
SHEET NO.

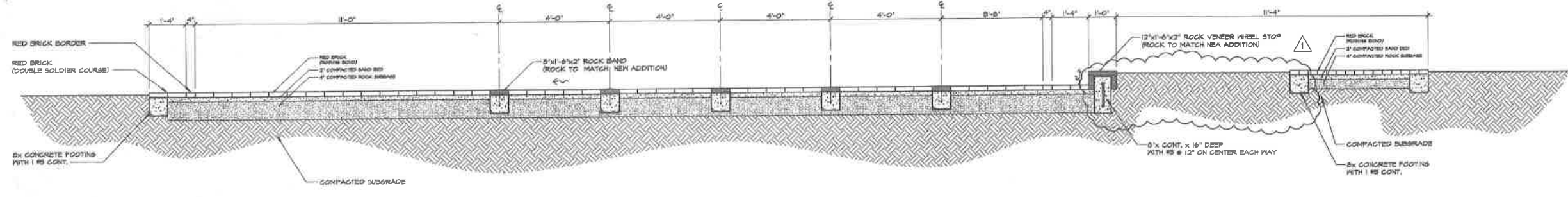
L-4

GENERAL HARDSCAPE NOTES:

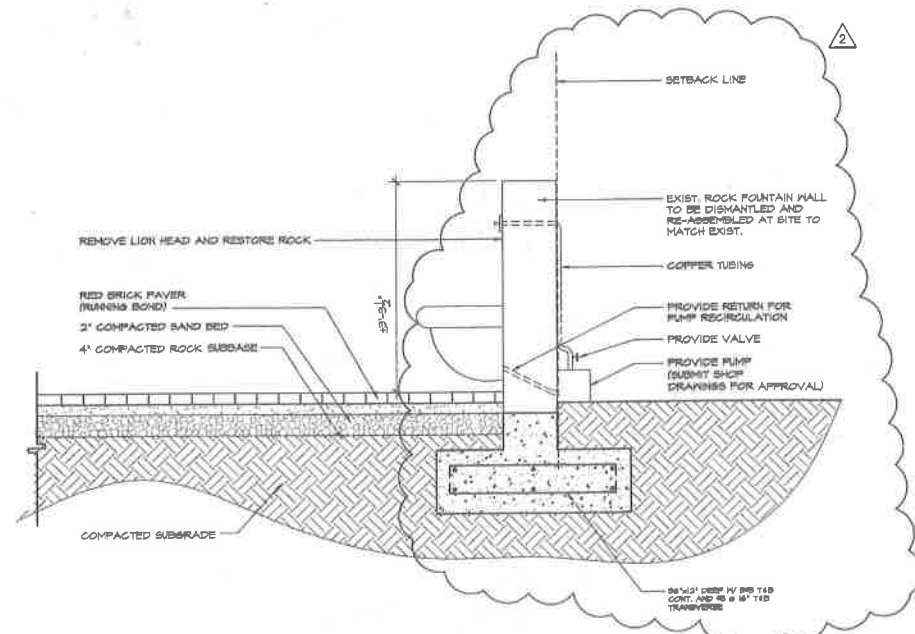
1. The Owner's Contractor and/or Engineer will be responsible for insuring the structural integrity and compliance with all local codes of all patio / hardscape elements designed on this sheet. The Architect or Landscape Architect is responsible for the layout of all the elements designed on this sheet.
2. See Engineering or Civil Drawings for all exterior finished grades, site drainage, and utility layout.
3. Contractor is responsible to verify all dimensions and elevations on site prior to beginning construction and any discrepancies are to be brought to the immediate attention of the Architect or Landscape Architect.
4. Contractor to locate and verify all underground and above ground utilities prior to digging and installation.
5. Owner's Contractor and/or Pool Engineer will be responsible for the pool structural detailing, pump size and equipment, etc. Owner shall coordinate with pool engineer/contractor the requirements for pool heater, switching, etc. Pool contractor shall submit shop drawings for review and approval by the Architect or landscape architect prior to obtaining permits for construction.
6. Contractor is responsible to stake the layout plan in the field (or retain a registered Surveyor) and have the layout approved by the Landscape Architect prior to proceeding with construction.



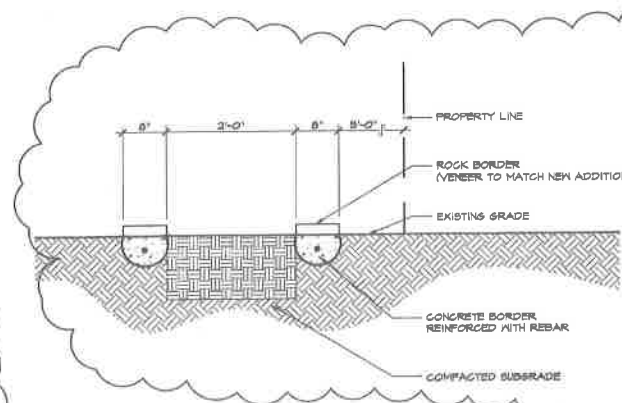
ENTRY SECTION "A"
SCALE: 3/4" = 1'-0"



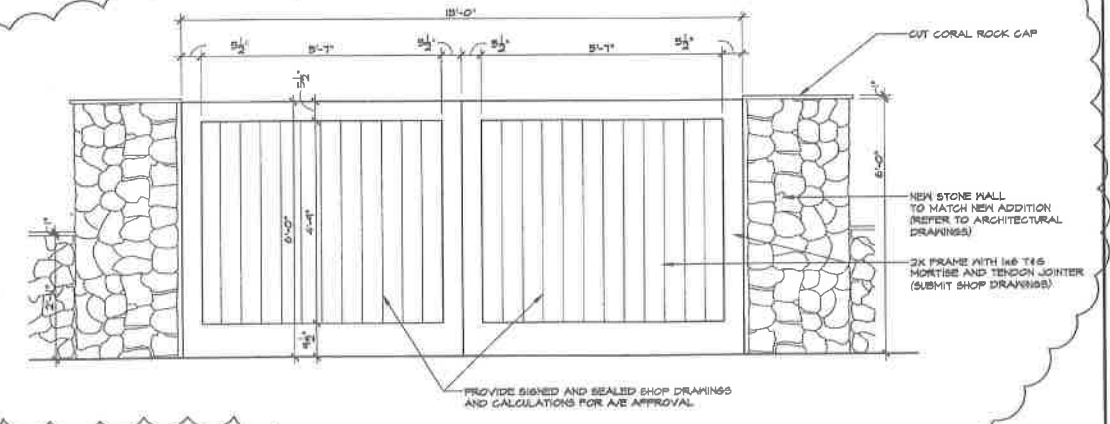
PARKING COURT SECTION "B"
SCALE: 1/2" = 1'-0"



RELOCATED FOUNTAIN WALL SECTION "C"
SCALE: 3/4" = 1'-0"



ROCK BORDER SECTION "D"
SCALE: 3/4" = 1'-0"



DRIVEWAY GATE ELEVATION
SCALE: 1/2" = 1'-0"

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**814 CORAL WAY
ADDITION**

**HARDSCAPE
DETAILS**

License Architect of Record
JOSE IVAN LOPEZ
LA 0001382
DATE: 08/02/2011
DRAWN BY: TML
CHECKED BY: JLL
REVISIONS: 08/28/2011
11/21/2011

JOB NO.
2010-0001

SHEET NO.

L-5

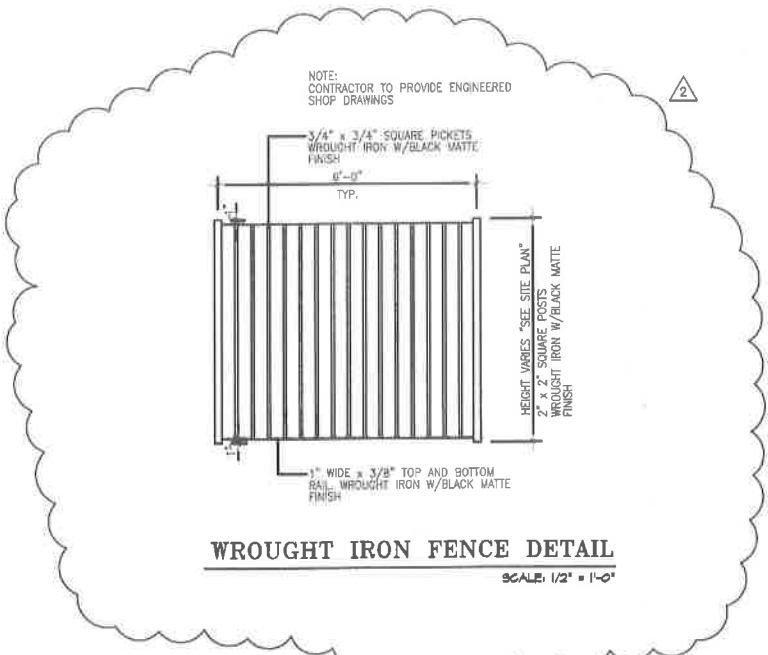
4/1/11

6/2/11

7/8/11



LOW ROCK WALL AT (FRONT) STREET ELEVATION
SCALE: 1/4" = 1'-0"



WROUGHT IRON FENCE DETAIL
SCALE: 1/2" = 1'-0"

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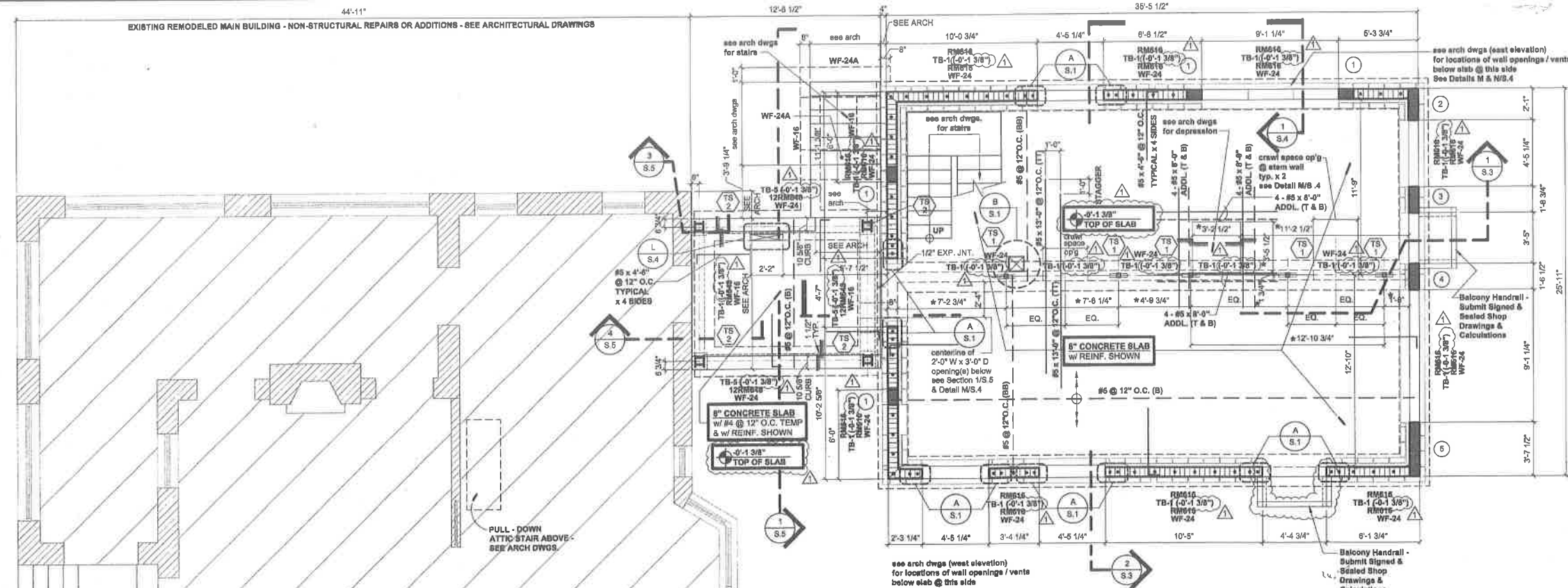
814 CORAL WAY ADDITION

HARDSCAPE DETAILS

DATE: 08/02/2011
DRAWN BY: JLM
CHECKED BY: JLL
REVISIONS: 11/21/2011

JOB NO.
2010-0001

SHEET NO.
L-6



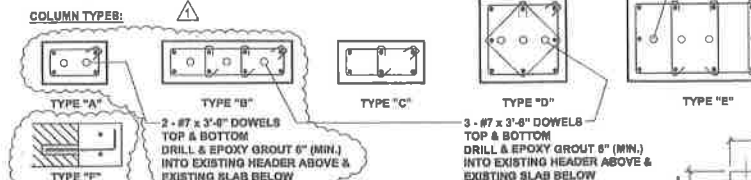
FOOTING SCHEDULE

MARK	ELEV	SIZE	DEPTH (IN.)	BOT. REINFORCING		TOP REINFORCING		REMARKS
				LW.	SW.	LW.	SW.	
WF-16	-6'-4"	16" WIDE x CONT.	12"	2 - #5				*CONT.
WF-24	-6'-4"	24" WIDE x CONT.	12"	3 - #5	#5 @ 12"	3 - #6	#5 @ 12"	*CONT.
WF-24A	-6'-4"	24" WIDE x CONT.	24"	3 - #5	#5 @ 12"	3 - #6	#5 @ 12"	*CONT.

CONCRETE COLUMN SCHEDULE

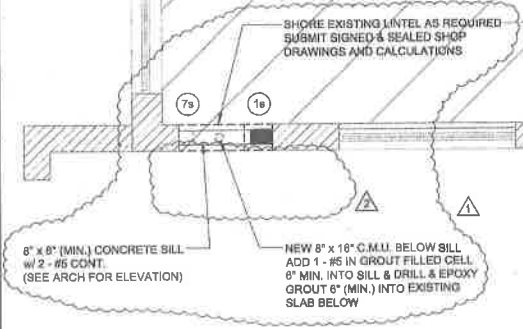
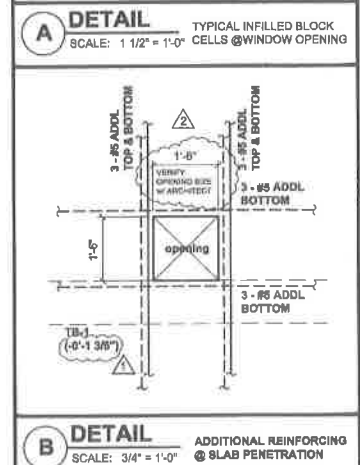
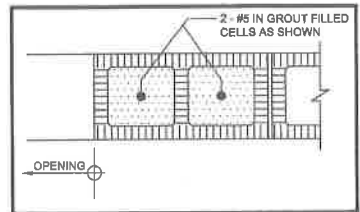
MARK	SIZE (IN.)	VERTICAL REINFORCING	TIES (#3 U.O.N.)	REMARKS
1	8" x 12" MIN.	4 - #6	@ 8" O.C.	TYPE "A"
2	8" x 25"	6 - #6	@ 8" O.C. 3/SET	TYPE "B"
3	8" x 20 3/4"	6 - #6	@ 8" O.C. 2/SET	TYPE "C"
4	8" x 18 3/4"	6 - #6	@ 8" O.C. 2/SET	TYPE "C"
5	8" x 43 3/4"	6 - #6	@ 8" O.C. 3/SET	TYPE "B"
6	8" x 28" MIN.	12 - #6	@ 12" O.C. 4/SET	TYPE "B"
7	8" x 8" MIN.	2 - #6		TYPE "F"

NOTES:
 1. ALL SPLICE ARE TO BE CLASS "C" U.O.N.
 2. ALL COLUMNS TO CONTINUE TO FOUNDATIONS U.O.N.
 3. THE SUFFIX "S" WITH A COLUMN MARK INDICATES A STARTER COLUMN WITH 1 - #6 x 12" DOWELS EPOXY GROUTED 6" INTO EXISTING TIE COLUMN OR GROUT FILLED CELL @ BASE, MID-HEIGHT & TOP OF COLUMN.



STEEL COLUMN SCHEDULE

COLUMN DIAGRAM	COLUMN MARKS AND DETAILS		
CAP PL.	TS 1 3 1/2" x 5/8" x 0'-4" SEE DETAIL H & K / 8.4	TS 2 SEE DETAIL H & 8.5	TS 3 SEE DETAIL M & 8.5
COLUMN	H89 3 1/2" x 3 1/2" x 1/4" SEE DETAIL H & 8.5	SEE DETAIL G / 8.5	SEE DETAIL Oa / 8.5
WELD	3/16"	3/8"	3/8"
BASE PL.	3 1/2" x 1" x 1'-2" w/ 4 - 3/8" LD7 (Emin - 3 1/2") SEE DETAIL C/8.1	SEE DETAIL H / 8.5	SEE DETAIL H / 8.5
TROWEL SMOOTH @ BASE PLATE			



REFERENCE NOTES:
 1. SEE SHEET 8.8 FOR GENERAL NOTES AND STANDARD DETAILS.
 2. SEE SHEET S.1 FOR FOOTING AND CONCRETE COLUMN SCHEDULE.
 3. SEE SHEET S.2 FOR CONCRETE BEAM SCHEDULE

NOTES:
 1. BUILDING DATUM ELEVATION +0'-0" = ACTUAL ELEVATION (+15.43' N.G.V.D.)
 2. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS, ELEVATIONS, DRAINS, DRAINAGE SLOPES, ETC. NOT SHOWN.

LEGEND

- EXISTING CONSTRUCTION
- NEW 6" C.M.U.
- NEW POURED IN PLACE CONCRETE
- NEW FOOTING / WALL BELOW
- TT = TOP TOP
- BB = BOTTOM BOTTOM

DETAIL C
 SCALE: 1 1/2" = 1'-0"
 BASE PLATE FOR @ first floor slab

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 DONALD HODGETTS #18553 CIVIL
 11-1716

ROOF DECK NOTE @ NEW SUN ROOM

PLYWOOD SHEATHING TO BE 5/8" (MIN.) NAILED TO WOOD BLOCKING MEMBERS WITH ENGINEERED CONSTRUCTION 10d RINGSHANK NAILS (3" x 0.135 MIN. SHANK DIA. & RING A MIN. OF 0.012 DIA. OR LARGER) @ 8" O.C. (U.O.N.) AND IN ACCORDANCE TO APA 32/16 SPECIFICATIONS AND PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

ROOF CEILING NOTE @ NEW SUN ROOM

CEILING TO BE SELECT QUALITY 3" x 6" (TWO SPAN CONT.) T & G w/ F_b = 1698 P.S.I. & 1,600,000 P.S.I. CONNECTED TO STEEL WITH 4 - No. 12 WAFER HEAD SELF DRILLING SCREWS WITH WASHERS.

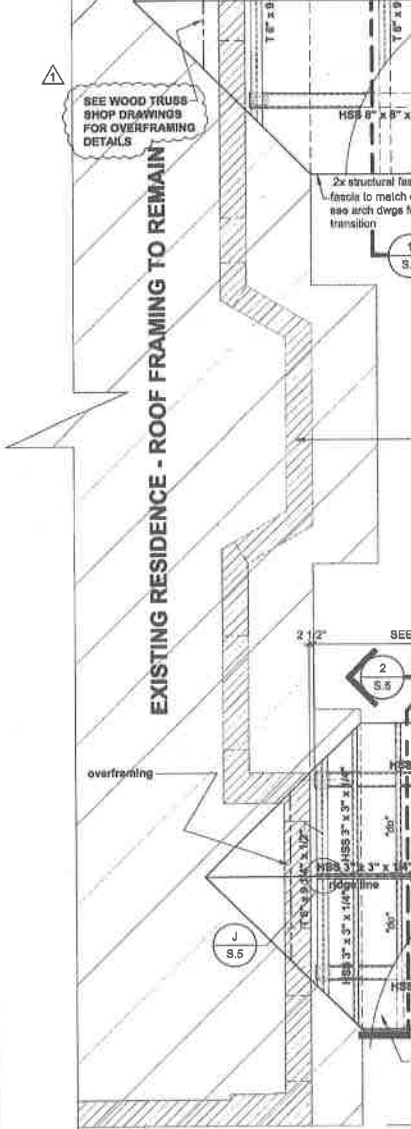
ROOF DECK NOTE @ NEW BREAKFAST ROOM

PLYWOOD SHEATHING TO BE 5/8" (MIN.) NAILED TO WOOD BLOCKING MEMBERS WITH ENGINEERED CONSTRUCTION 10d RINGSHANK NAILS (3" x 0.135 MIN. SHANK DIA. & RING A MIN. OF 0.012 DIA. OR LARGER) @ 8" O.C. (U.O.N.) AND IN ACCORDANCE TO APA 32/16 SPECIFICATIONS AND PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

ROOF CEILING NOTE @ NEW BREAKFAST ROOM

CEILING TO BE SELECT QUALITY 2" x 6" (TWO SPAN CONT.) T & G w/ F_b = 1698 P.S.I. & 1,600,000 P.S.I. CONNECTED TO STEEL WITH 4 - No. 12 WAFER HEAD SELF DRILLING SCREWS WITH WASHERS.

EXISTING RESIDENCE - ROOF FRAMING TO REMAIN

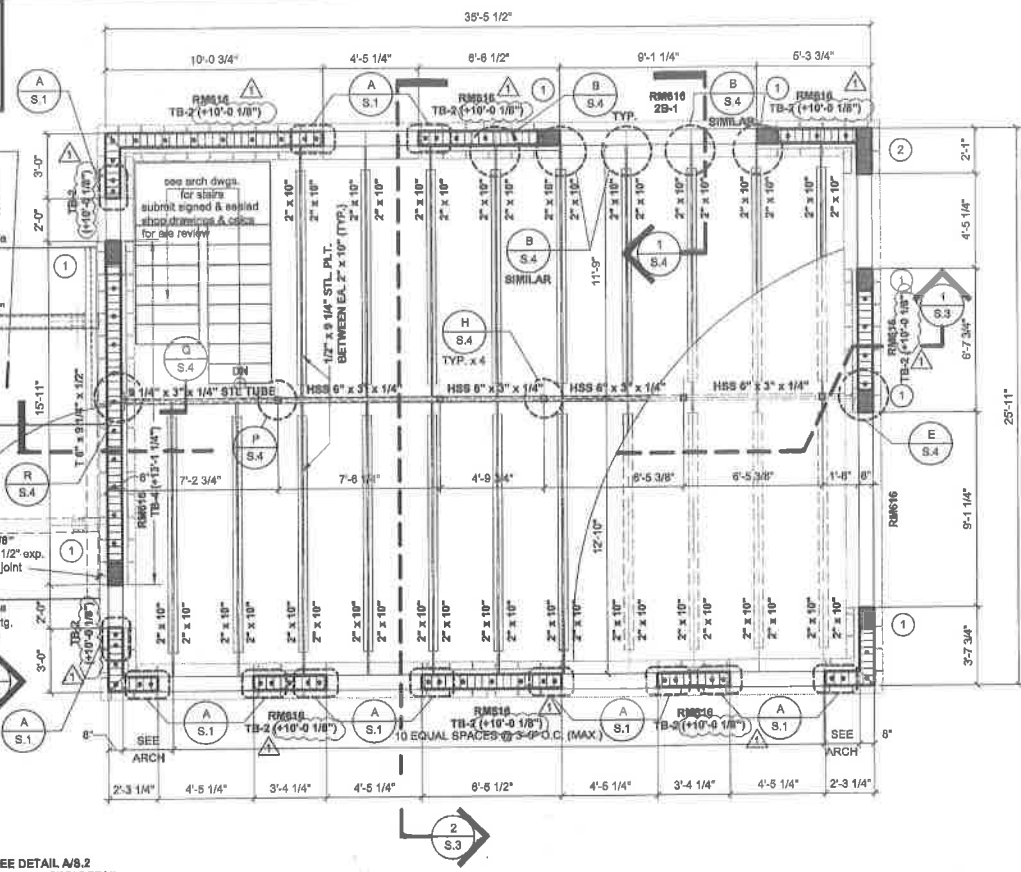


ROOF DECK NOTE @ NEW BREAKFAST ROOM

PLYWOOD SHEATHING TO BE 5/8" (MIN.) NAILED TO WOOD BLOCKING MEMBERS WITH ENGINEERED CONSTRUCTION 10d RINGSHANK NAILS (3" x 0.135 MIN. SHANK DIA. & RING A MIN. OF 0.012 DIA. OR LARGER) @ 8" O.C. (U.O.N.) AND IN ACCORDANCE TO APA 32/16 SPECIFICATIONS AND PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

ROOF CEILING NOTE @ NEW BREAKFAST ROOM

CEILING TO BE SELECT QUALITY 2" x 6" (TWO SPAN CONT.) T & G w/ F_b = 1698 P.S.I. & 1,600,000 P.S.I. CONNECTED TO STEEL WITH 4 - No. 12 WAFER HEAD SELF DRILLING SCREWS WITH WASHERS.



SECOND FLOOR DECK NOTE

DECKING TO BE S.Y.P. SELECT QUALITY 2" x 6" T & G. NAILED TO 2" x 10" WITH 2-16d NAILS @ EACH 2x. SEE DETAIL C/S.4

SECOND FLOOR SUBFLOOR NOTE

SUBFLOOR TO BE 2 LAYERS OF 5/8" C-DX PLYWOOD NAILED TO 2" x 10" WITH 10d RINGSHANK NAILS @ 8" O.C. @ EACH 2x. SEE DETAIL C/S.4

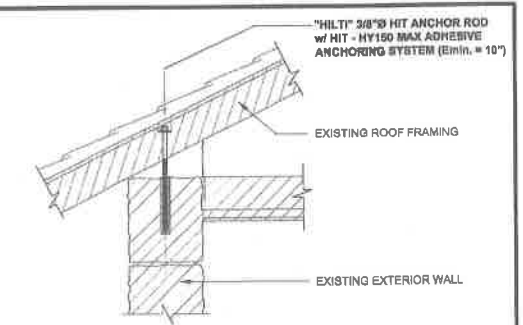
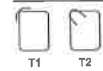
SECOND FLOOR / LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

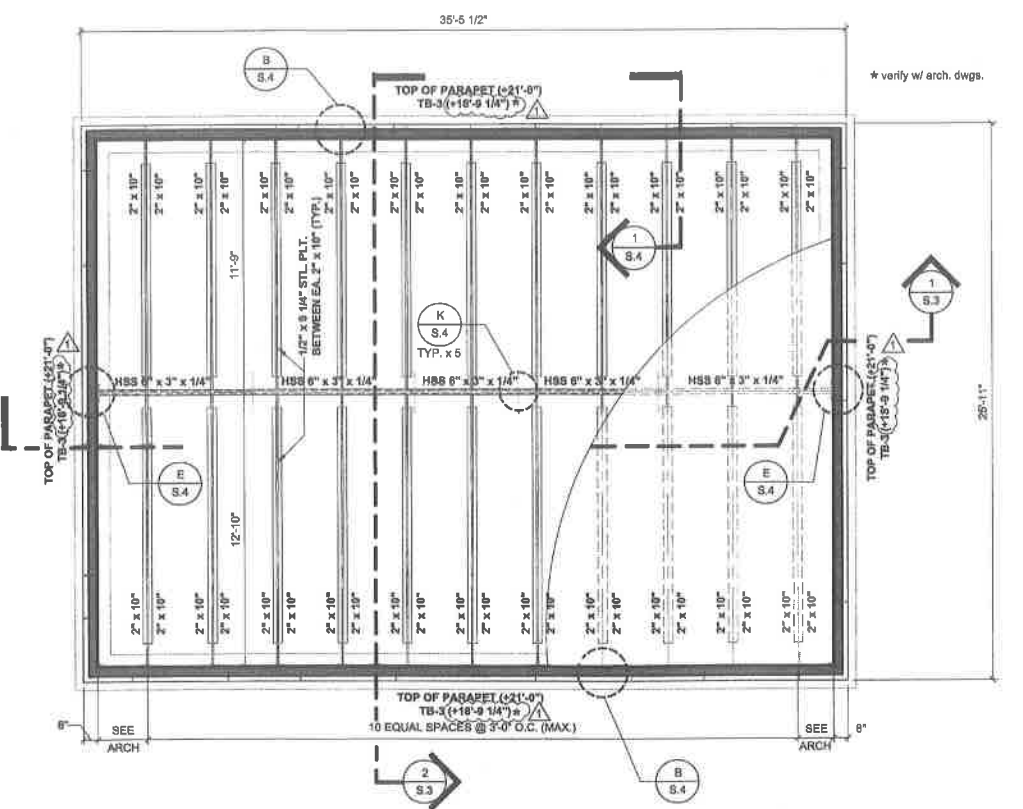
MARK	ELEV	SIZE (IN.)	REINFORCING		STIRRUPS (#3 U.O.N.)		SEE NOTE	REMARKS
			BOTT.	TOP	TYPE	SPACING		
TB-1	SEE PLAN	8 x 12 MIN	2 - #5	2 - #5	T1	@ 48" O.C.	1, 2	*CONT
TB-2	SEE PLAN	8 x 26 1/8"	2 - #5	2 - #5	T1	@ 12" O.C.	2	*CONT
TB-3	SEE PLAN	8 x 12 MIN	2 - #5	2 - #5	T1	@ 12" O.C.	2	*CONT
TB-4	SEE PLAN	8 x 54 MIN	2 - #5	2 - #5	T1	@ 12" O.C.	2, 3	*CONT
TB-5	SEE PLAN	12x12 MIN	3 - #5	2 - #5	T1	@ 48" O.C.	1, 4	*CONT
TB-10	+9'-8 3/8"	8 x 12	2 - #5	2 - #5	T2	@ 4" O.C.		*CONT

- NOTES:**
- ADD 4 - #3 T1 @ 12" O.C. @ EA. END, CORNER OR INTERSECTION
 - DROP BEAM BOTTOM TO TOP OF ALL OPENINGS & ADD 2 - #5 BOTTOM & #3 T1 @ 8" O.C.
 - ADD 4 - #5 EACH FACE @ MID-DEPTH - SEE SECTION 1/S.3
 - DROP BEAM BOTTOM TO TOP OF ALL OPENINGS & ADD 3 - #5 BOTTOM & #3 T1 @ 8" O.C.

STIRRUP TYPES



A DETAIL
SCALE: 3/4" = 1'-0"
TYPICAL TIE DOWN DETAIL @ EXISTING ROOF FRAMING



ROOF DECK NOTE

DECKING TO BE S.Y.P. SELECT QUALITY 2" x 6" T & G. NAILED TO 2" x 10" WITH 2-16d NAILS @ EACH 2x AND 1 LAYER OF C-DX PLYWOOD SHEATHING w/ 10d RINGSHANK @ 8" O.C. @ EACH 2x

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- = EXISTING CONSTRUCTION
- = NEW 8" C.M.U.
- = NEW POURED IN PLACE CONCRETE
- = NEW FRAMING / WALL BELOW

REFERENCE NOTES:

- SEE SHEET S.8 FOR GENERAL NOTES AND STANDARD DETAILS.
- SEE SHEET S.1 FOR FOOTING AND CONCRETE COLUMN SCHEDULE.
- SEE SHEET S.2 FOR CONCRETE BEAM SCHEDULE.

NOTES:

- BUILDING DATUM ELEVATION +0'-0" = ACTUAL ELEVATION (+16.43' N.G.V.D.)
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS, ELEVATIONS, DRAINS, DRAINAGE SLOPES, ETC. NOT SHOWN.

ISSUED FOR CONSTRUCTION
12/8/11

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814 CORAL WAY
ADDITION

SECOND FLOOR / LOW ROOF
FRAMING PLAN
ROOF FRAMING PLAN

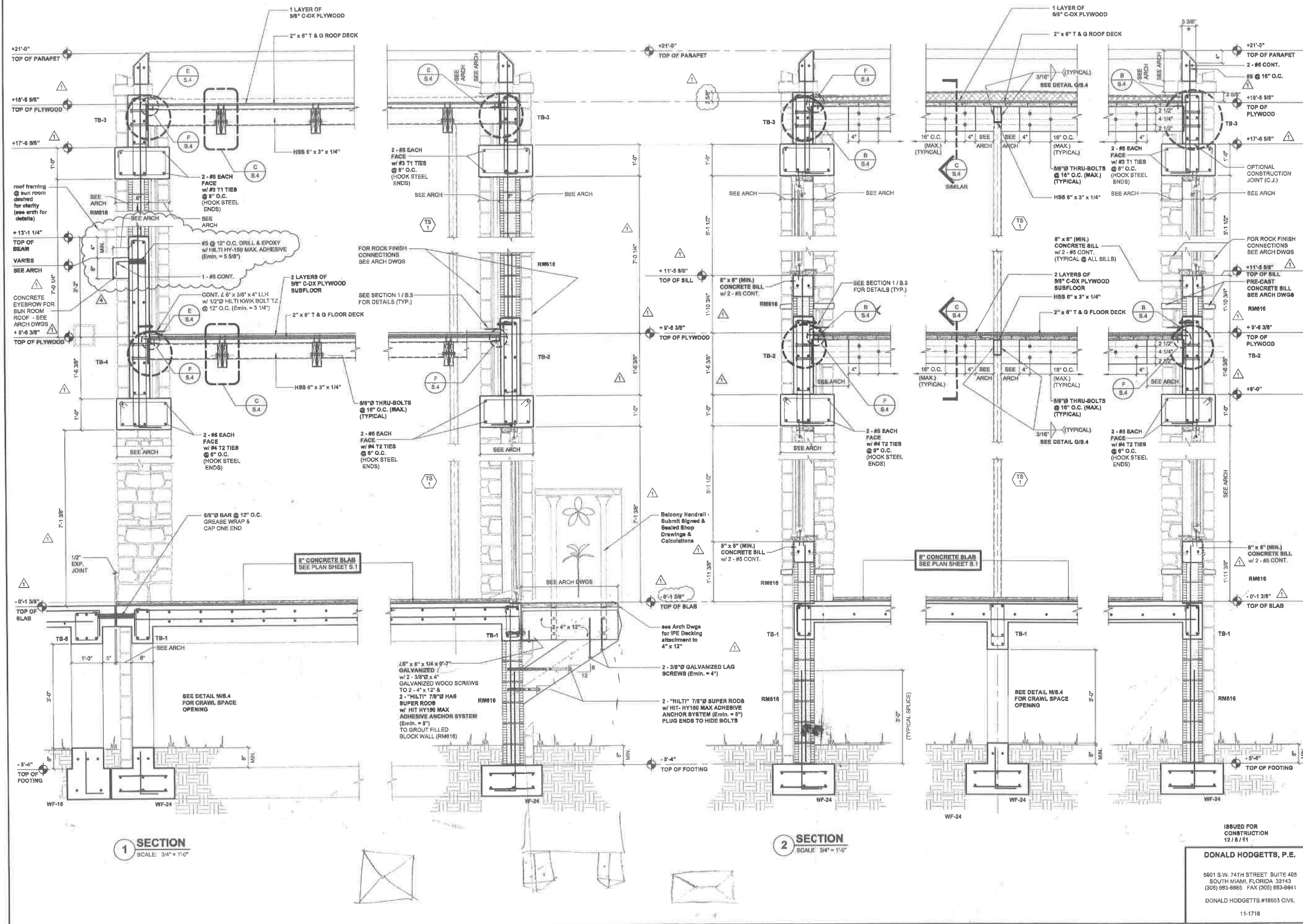
J. Jenifer Briley, AIA
STATE OF FLORIDA
REGISTRATION NO. 011538
DATE: 05/08/2011
DRAWN BY: JPA
CHECKED BY: DHH
REVISIONS:
9/28/11

JOB NO.
2010-0001

SHEET NO.
S.2

* verify w/ arch, dwgs.

* verify w/ arch, dwgs.



1 SECTION
SCALE: 3/4" = 1'-0"

2 SECTION
SCALE: 3/4" = 1'-0"

ISSUED FOR CONSTRUCTION
12/8/11

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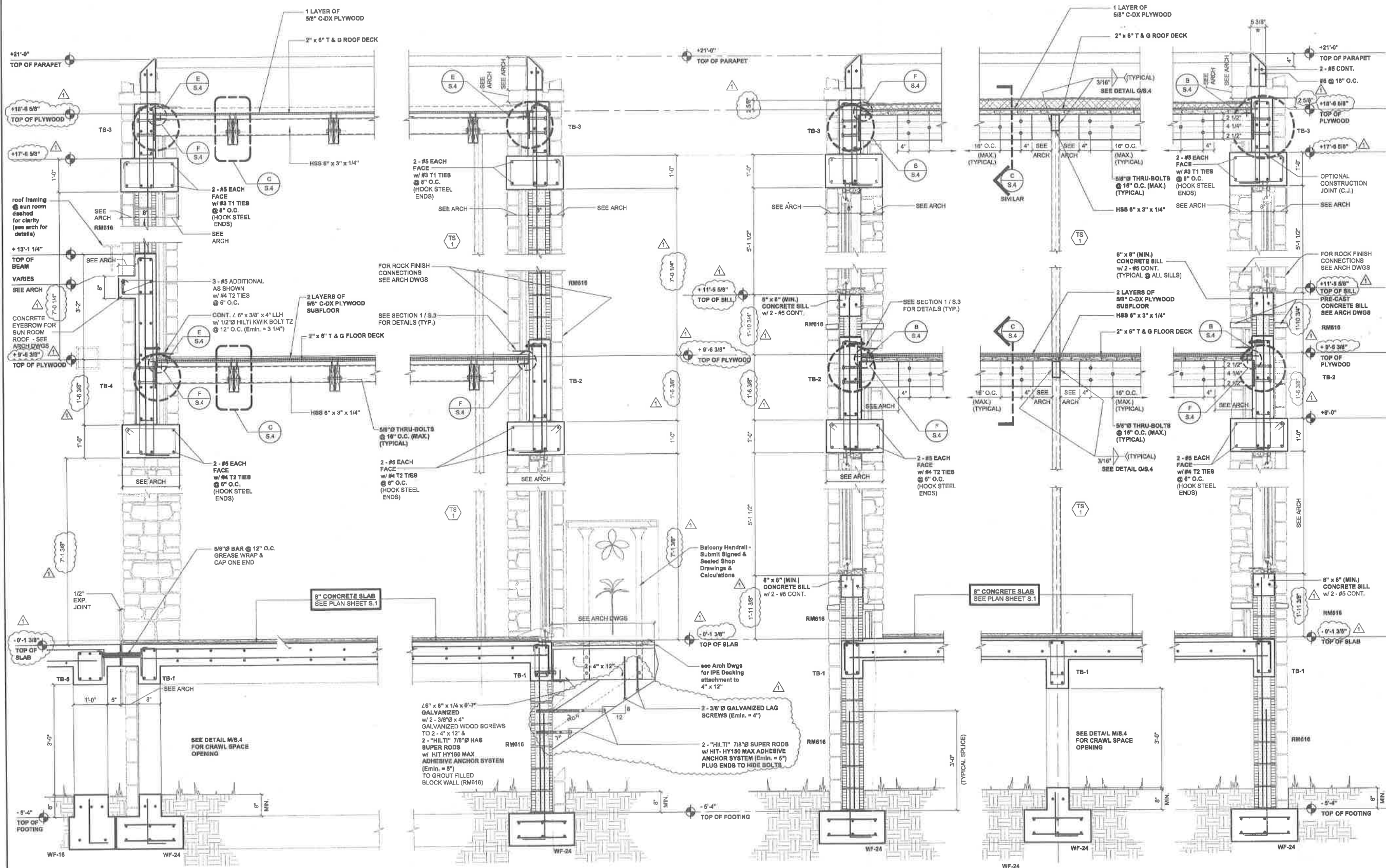
814 CORAL WAY
ADDITION

BUILDING SECTIONS

DATE	06/06/2011
DRAWN BY	TPA
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REVISIONS	
1	9/28/11
2	6/14/12
JOB NO.	2010-0001
SHEET NO.	S.3

* verify w/ arch. dwgs.

* verify w/ arch. dwgs.



1 SECTION
SCALE: 3/4" = 1'-0"

2 SECTION
SCALE: 3/4" = 1'-0"

ISSUED FOR CONSTRUCTION
12/8/11

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**814 CORAL WAY
ADDITION**

BUILDING SECTIONS

DATE: 08/29/2011
DRAWN BY: JPA
CHECKED BY: DWH
REVISIONS:
9/26/11

JOB NO.
2010-0001

SHEET NO.
S.3