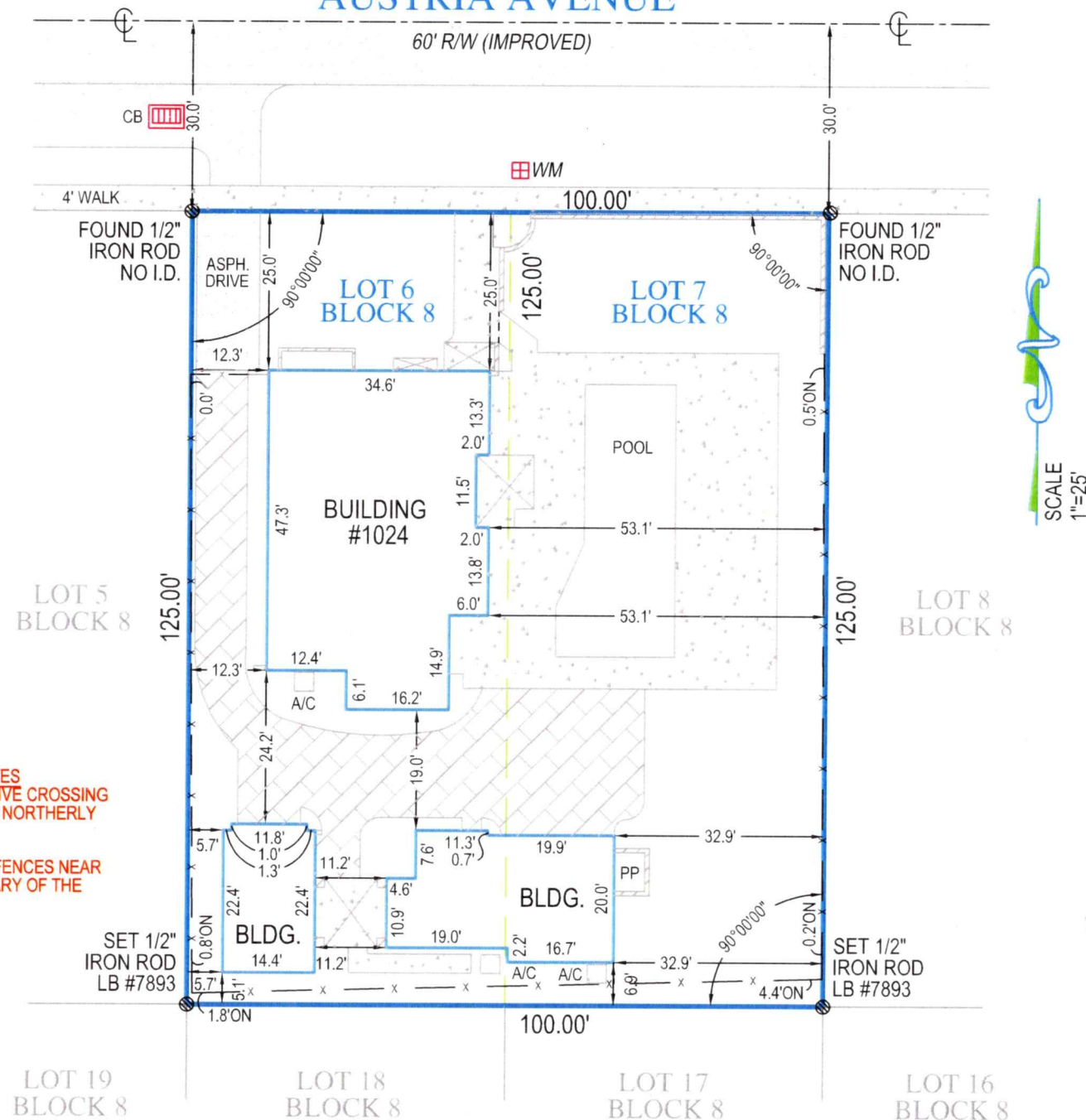


BOUNDARY SURVEY

AUSTRIA AVENUE



SURVEY NOTES
ASPHALT DRIVE CROSSING INTO R/W ON NORTHERLY SIDE OF LOT.

THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.

LEGAL DESCRIPTION AND CERTIFICATION

Lots 6 and 7, Block 8, CORRECTED PLAT OF CORAL GABLES, SECTION C, according to the Plat thereof, as recorded in Plat Book 8, Page 26, of the Public Records of MIAMI-DADE County, Florida.

Community Number: 120639 Panel: 0239 Suffix: L Flood Zone: X Field Work: 9/6/2019

Certified To:

RE BECCA CHARLTON AND STEPHEN WINNER; FLORIDA TITLE AND GUARANTEE AGENCY; FIDELITY NATIONAL TITLE INSURANCE GROUP; CHASE, its successors and/or assigns.

Property Address:

1024 ASTURIA AVENUE
CORAL GABLES, FL 33134

Survey Number: 384845

Client File Number: 782-19-0148

ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

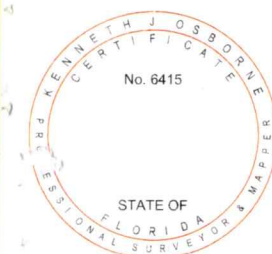
SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE

PAGE 1 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 2)

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- ONLY VISIBLE ENCROACHMENTS LOCATED.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- FENCE OWNERSHIP NOT DETERMINED.
- ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO M.G.V.D. 1929
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)

KENNETH J OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415

PAGE 2 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 1)



ZONING DATA

ADDRESS:1024 ASTURIA AVE, CORAL GABLES, FL 33134

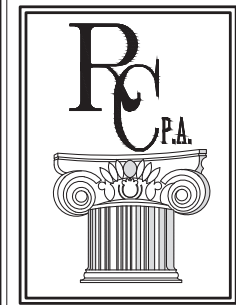
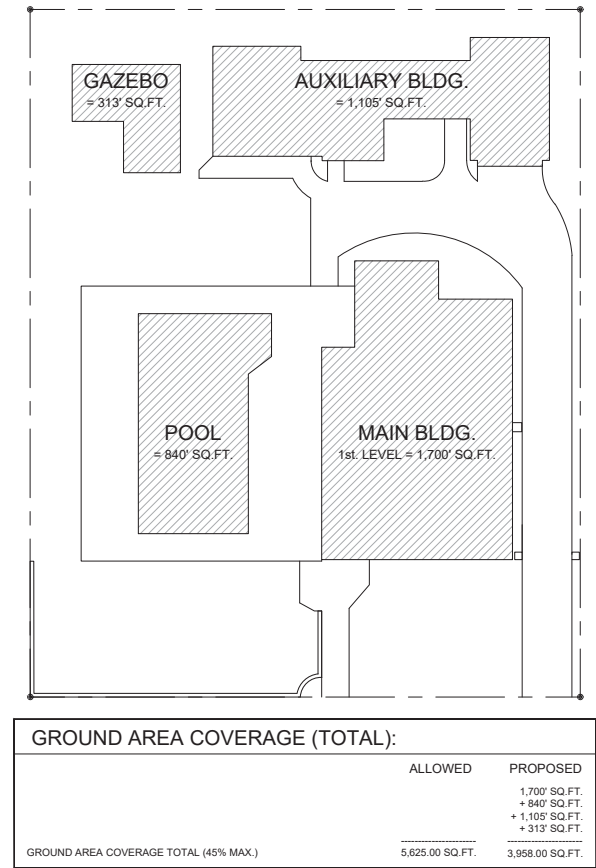
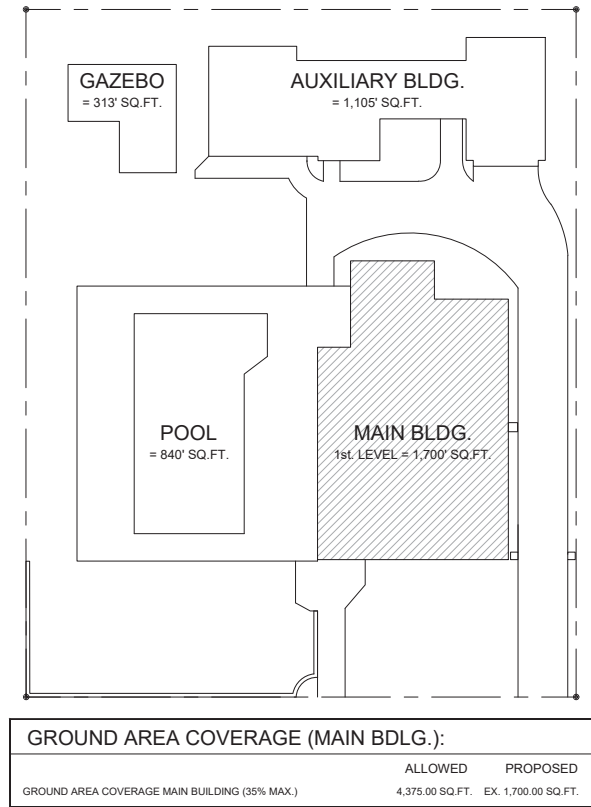
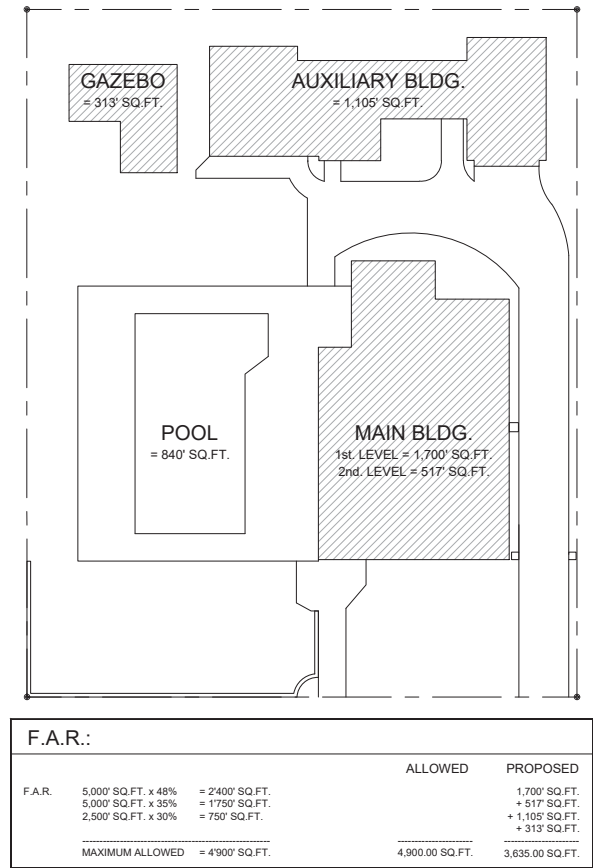
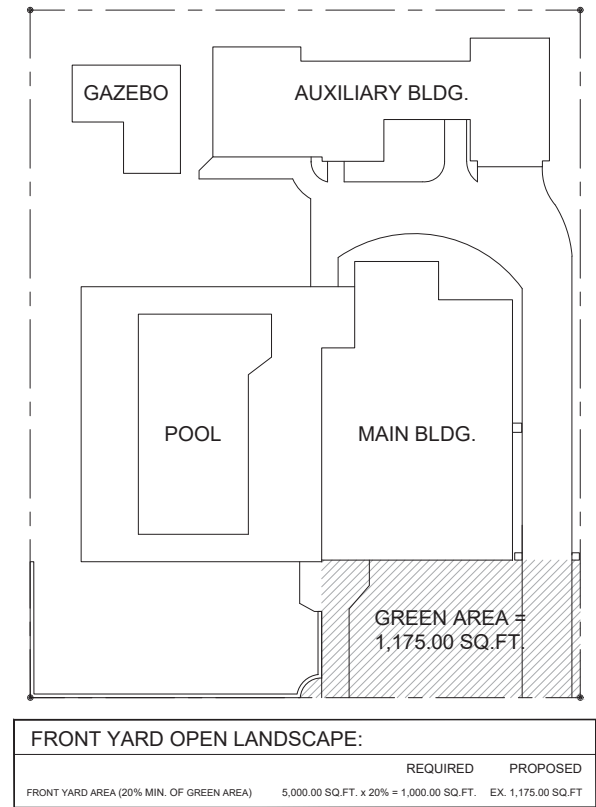
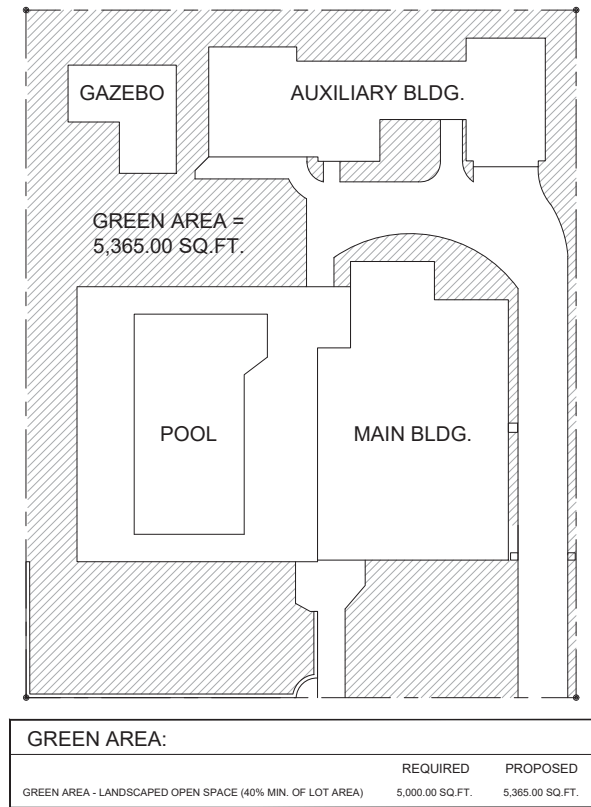
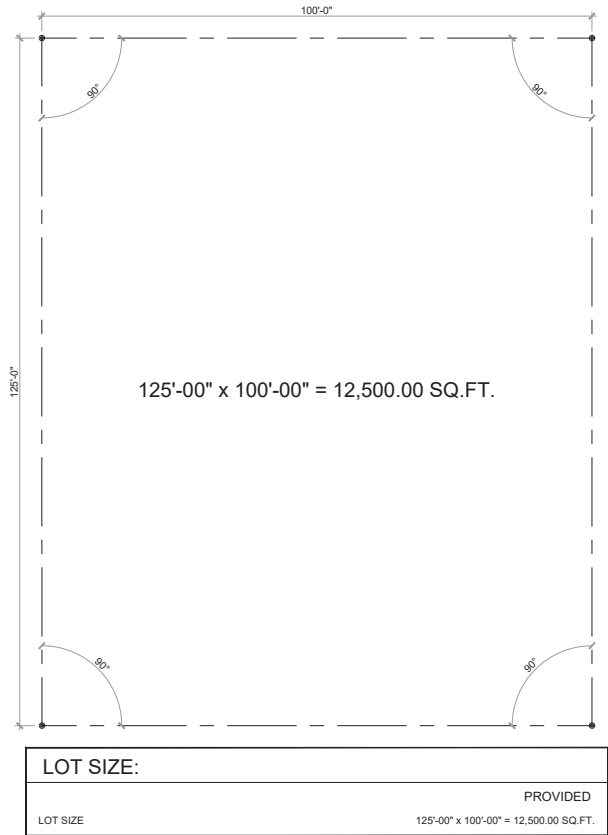
FOLIO #:03-4107-014-0780

LEGAL DESCRIPTION:CORAL GABLES SEC C PB 8-26
LOTS 6 & 7 BLK 8
LOT SIZE 100 X 125
OR 18408-1491 1298 5
COC 21707-4005 06 2003 5

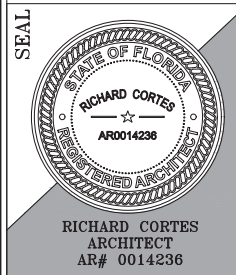
SCOPE OF WORK:NEW AUXILIARY STRUCTURE - GAZEBO
NEW DRIVEWAY (REMOVE AND REPLACE PORTION OF EX. BRICK DRIVEWAY)
NEW WALKWAY (REMOVE AND REPLACE BRICK WALKWAY)

PRINCIPAL BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT	25'-0"	EX. 25'-0"
RIGHT SIDE	20% OF LOT WIDTH	EX. 12'-4"
LEFT SIDE	MAX. 20'-0" COMB.	EX. 53'-0"
SIDE (STREET)	15'-0"	N/A
REAR	10'-0"	EX. 45'-8"

AUXILIARY BUILDING SETBACKS (NEW GAZEBO)	REQUIRED	PROVIDED
FRONT	25'-0"	95'-4"
RIGHT SIDE	20% OF LOT WIDTH	EX. 12'-4"
LEFT SIDE	MAX. 20'-0" COMB.	7'-8"
SIDE (STREET)	15'-0"	N/A
REAR	10'-0"	10'-0"



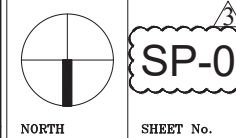
RICHARD CORTES, P.A.
ARCHITECTS
AA# 26002753
7700 SW 115 ST
PINECREST, FL. 33156
PH: 305 233-0858
info@richardcortesarchitects.com



GAZEBO FOR:
MR. & MRS. WINNER
1024 ASTURIA AVE
CORAL GABLES, FL 33134

SK 11 GROUP, INC.
CCC1528919
9100 S. DADELAND BLVD.
SUITE 1500. MIAMI, FL 33156

SHEET NAME:	
ZONING DATA WORKSHEET	
SYM	REVISION-RECORD
B.D.C.	06-28-2021
△	
△	
△	
△	
△	
△	
DATE: 06-28-2021	
DRAWN BY: --	
SCALE: AS SHOWN	
PROJECT N°:	



ZONING DATA / BUILDING INFORMATION:

PROPOSED USE: MAIN BUILDING AREA:
EX. SINGLE-FAMILY RESIDENTIAL 1,700.00 SQ.FT.
ZONING: PROPOSED AUXILIARY BLDG. AREA (GAZEBO):
SFR - SINGLE-FAMILY RESIDENTIAL DISTRICT 313.00 SQ.FT.
LOT SIZE: 125'-00" x 100'-00" = 12,500.00 SQ.FT.
AUXILIARY BLDG. HEIGHT (GAZEBO):
10'-9"

BUILDING SQUARE FOOT CALCULATION (MAX. FAR ALLOWED = 4,900' SQ.FT.)	
EX. MAIN BUILDING AREA - 1ST LEVEL (EVERYTHING UNDER THE ROOF)	1,700' SQ.FT.
EX. MAIN BUILDING AREA - 2ND LEVEL (EVERYTHING UNDER THE ROOF)	517' SQ.FT.
EX. AUXILIARY / ACCESSORY BUILDING AREA (EVERYTHING UNDER THE ROOF)	1,105' SQ.FT.
NEW AUXILIARY / ACCESSORY BUILDING AREA (GAZEBO)	313' SQ.FT.
TOTAL PROPOSED AREA	3,635' SQ.FT.

PRINCIPAL BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT	25'-0"	EX. 25'-0"
RIGHT SIDE	20% OF LOT WIDTH	EX. 12'-4"
LEFT SIDE	MAX. 20'-0" COMB.	EX. 53'-0"
SIDE (STREET)	15'-0"	N/A
REAR	10'-0"	EX. 45'-8"

AUXILIARY BUILDING SETBACKS (NEW GAZEBO)	REQUIRED	PROVIDED
FRONT	25'-0"	95'-4"
RIGHT SIDE	20% OF LOT WIDTH	EX. 12'-4"
LEFT SIDE	MAX. 20'-0" COMB.	7'-8"
SIDE (STREET)	15'-0"	N/A
REAR	10'-0"	10'-0"

SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER INTO LAKE OR CANAL. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION. NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. SECTION 471.008, FLORIDA STATUTES, EFFECTIVE 7/10/87

ZONING DATA / LANDSCAPE DATA CALCULATION:

	REQUIRED/ALLOWED	PROPOSED
GROUND AREA COVERAGE MAIN BUILDING (35% MAX.)	4,375.00 SQ.FT.	EX. 1,700.00 SQ.FT.
GROUND AREA COVERAGE MAIN + AUXILIARY / ACCESSORY BLDGS. (45% MAX.)	5,625.00 SQ.FT.	3,958.00 SQ.FT.
MAXIMUM FAR (MAX.)	4,900.00 SQ.FT.	3,635.00 SQ.FT.
GREEN AREA - LANDSCAPED OPEN SPACE (40% MIN. OF LOT AREA)	5,000.00 SQ.FT.	5,365.00 SQ.FT.
FRONT YARD AREA (20% MIN. OF GREEN AREA)	1,000.00 SQ.FT.	EX. 1,175.00 SQ.FT.

ALL WORK SHALL BE IN STRICT ACCORD WITH:

- THE FLORIDA BUILDING CODE 2020, 7TH EDITION.
- THE NEC AND ALL APPLICABLE FEDERAL, STATE AND COUNTY REGULATIONS.

FLOOD LEGEND / NEW GAZEBO:

ADDRESS: 1024 ASTURIA AVE. CORAL GABLES, FL 33134
FOLIO: 03-4107-014-0780
CORAL GABLES SEC C PB 8-26
LOTS 6 & 7 BLK 8
LOT SIZE 100' X 125'
OR 18408-1491 1296 5
COC 21707-4005 06 2003 5

HIGHEST CROWN OF ROAD ELEV. N/A NGVD.

HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED
CERTIFIED SURVEY PREPARED BY: TARGET SURVEYING, LLC LB#7893

	LOWEST FLOOR ELEVATION	GARAGE/STORAGE FLOOR ELEV.	ADJACENT/GRADE ELEVATION	SWALE AREA ELEVATION
EX. RESIDENCE	10.18	-	EX.	EX.
EX. GUEST H.	8.19	EX.	EX.	EX.
NEW GAZEBO	8.19	-	EX.	EX.

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION (B.F.E.)
ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.
ALTERNATIVELY, SEE A CERTIFICATION BY TARGET SURVEYING, P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOW THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCRoACHMENT OVER ADJACENT PROPERTIES.

0'-0" = (EX.) N.G.V.D.

GENERAL NOTES:

- ALL CONSTRUCTION ACTIVITIES, BOTH DEMOLITION AND NEW WORK, WHICH MIGHT CREATE DISTURBING NOISE LEVELS OR OTHERWISE INTERFERE WITH THE DAY TO DAY OPERATIONS SHALL BE PERFORMED FROM 8:30AM TO 5:30PM. THESE ACTIVITIES SHALL INCLUDE BUT ARE NOT LIMITED TO: - CUTTING OR CORE DRILLING, CUTTING IN CONCRETE FLOOR OR WALLS. - DRILLING CONCRETE SLABS FOR PIPE HANGERS. - DISABLING THE HVAC SYSTEM. - CRANE OPERATIONS. - DISRUPTION TENANT ACTIVITIES. CONSTRUCTION EQUIPMENTS AND MATERIALS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER THE PUBLIC WORKERS AND ADJOINING PROPERTIES.
- CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DISCONNECT, DISMANTLE, REMOVE AND SALVAGE IN THE DISPOSITION OF THE DEMOLITION IN EXISTING SPACE.
- GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THIS OPERATION AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEM.
- UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION. EXISTING CONDITION NOT SHOW ON THIS PLAN SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO REMOVAL.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK. GENERAL CONTRACTOR TO PROVIDE DUST CONTROL MEASURES.
- GENERAL CONTRACTOR SHALL COORDINATE TO ENSURE UTILITY SYSTEM REMAINS OPERATIONAL AS NEEDED TO ACCOMMODATE DEMOLITION ACTIVITIES.
- COORDINATE INTERRUPTIONS TO UTILITIES WITH OWNER'S REPRESENTATIVE AND THE ARCHITECT.
- GENERAL CONTRACTOR SHALL PRACTICE ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL PROTECTION.
- COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL CONSTRUCT AND PLACE SUCH BARRICADES AND PROTECTION DEVICES AS ARE NECESSARY TO KEEP PEDESTRIANS AND OTHER TRAFFIC OFF THE SIDEWALK, DRIVEWAY, OR MEDIAN.
- ANY SIDEWALK, DRIVEWAY, OR PAVED MEDIAN DAMAGED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, BY REMOVING CONCRETE WITHIN GROOVE LIMITS AND REPLACING IT WITH CONCRETE OF THE TYPE AND FINISH IN THE ORIGINAL CONSTRUCTION.

TRIANGLE OF VISIBILITY NOTE:

- ALL TRIANGLES OF VISIBILITY THAT ARE REQUIRED BY THIS SECTION SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

FENCE LEFT SIDE ELEVATION (EAST)

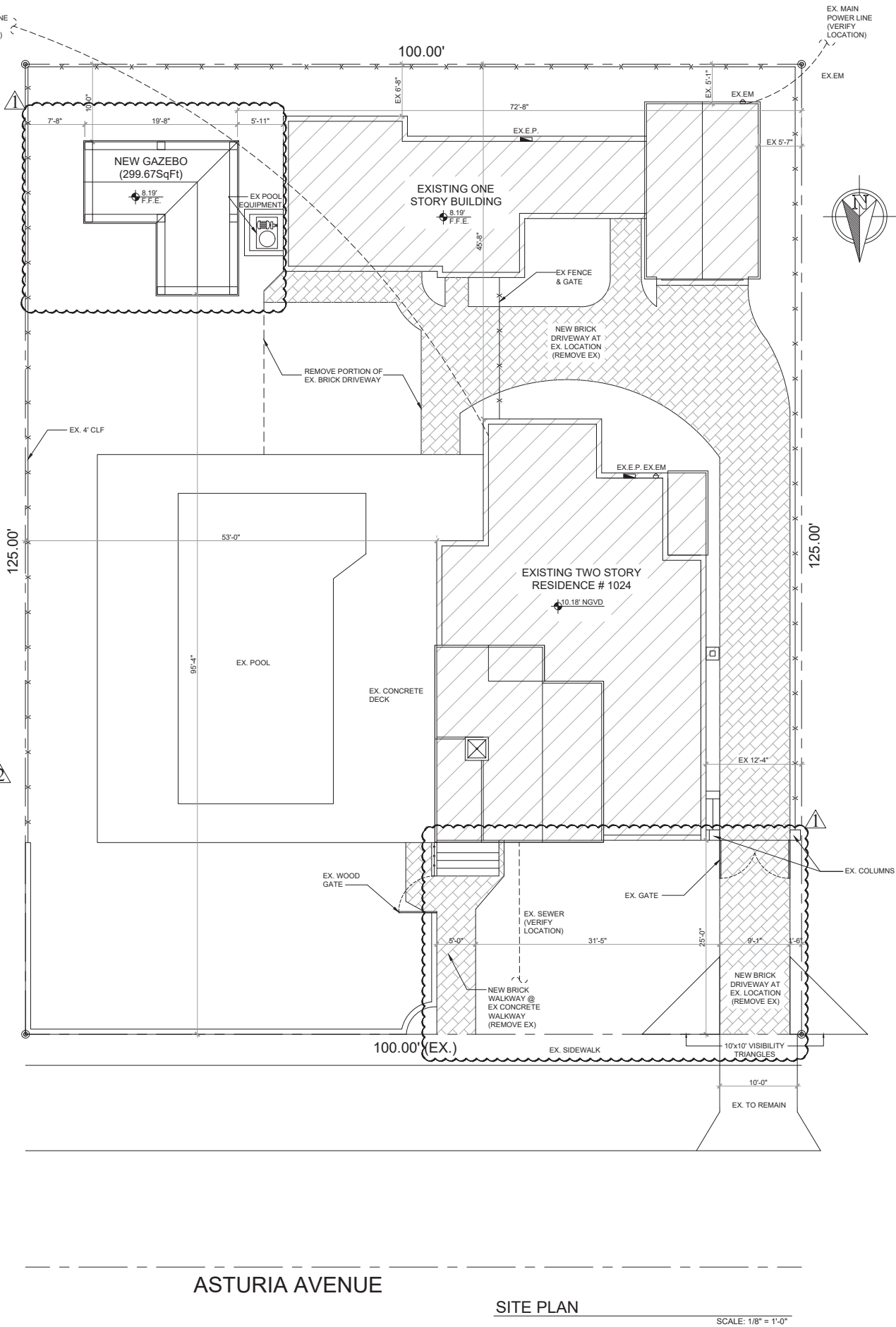
SCALE: 1/4" = 1'-0"

FENCE RIGHT SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

FENCE FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



ASTURIA AVENUE

SITE PLAN

SCALE: 1/8" = 1'-0"

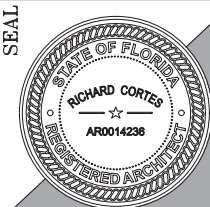


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RICHARD CORTES
ARCHITECT
AR# 0014236

MR. & MRS. WINNER
1024 ASTURIA AVE
CORAL GABLES, FL 33134



SK 11 GROUP, INC.
CCCL528919
9100 S. DADELAND BLVD.
SUITE 1500, MIAMI, FL 33156

GAZEBO FOR:

SHEET NAME:

SITE PLAN &
ELEVATIONS

	SYM	REVISION-RECORD
B.D.C.	Δ	05-04-2021
B.D.C.	Δ	05-11-2021
B.D.C.	Δ	06-28-2021
	Δ	
	Δ	

DATE: 06-28-2021

DRAWN BY: --

SCALE: AS SHOWN

PROJECT N°:



SP-1

SHEET No.

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. PLEASE NOTIFY ARCHITECT BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES IF ANY.

2. THE CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.

4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND TIE BEAMS SHALL REACH 3000 PSI COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.

5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATION WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.

6. CONTRACTOR/OWNER SHALL NOTIFY ARCHITECT IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.

7. ELECTRICAL INSTALLATION DESIGN OF THIS PLAN IS IN COMPLIANCE AS SET FORTH BY STATE OF FLORIDA STATUS MODEL ENERGY EFFICIENCY CODE.

8. ALL WORK SHALL BE IN STRICT ACCORD WITH THE FBC THE NEC AND ALL APPLICABLE FEDERAL, STATE AND COUNTY REGULATIONS.

9. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND AT THE JOB SITE AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT OR DESIGNER.

11. THE ELECTRIC SERVICE SHALL BE INCREASED IF THE AMPERAGE IS NOT OF ADEQUATE CAPACITY TO ACCEPT THE ADDITIONAL LOADS.

12. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OR RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE 82.

13. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.

14.N/A
15.N/A
16.N/A
17.N/A

18. SLAB ON FILL: SHALL BE PLACED ON CLEAN ORGANIC SOIL, THOROUGHLY MOISTENED BEFORE CONCRETE IS POURING. SHALL BE POURING IN A CHECKERBOARD SEQUENCE EACH FRAGMENT OF WHICH IS NOT EXCEED A MAXIMUM AREA OF 625 SF OR 30 LF IN ANY DIRECTION.

19. FIRESTOPPING: FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES BOTH VERTICAL AND HORIZONTAL. REQUIRE FIRESTOPS SHALL BE CONTINUOUS AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. 1" X 4" P.T. AT LEAST SHALL BE CONSIDERED AS FIRESTOPPING DEVICE. AND SHALL CONFORM EFFECTIVE FIRE BARRIERS BETWEEN A STORY AND ROOF SPACE.

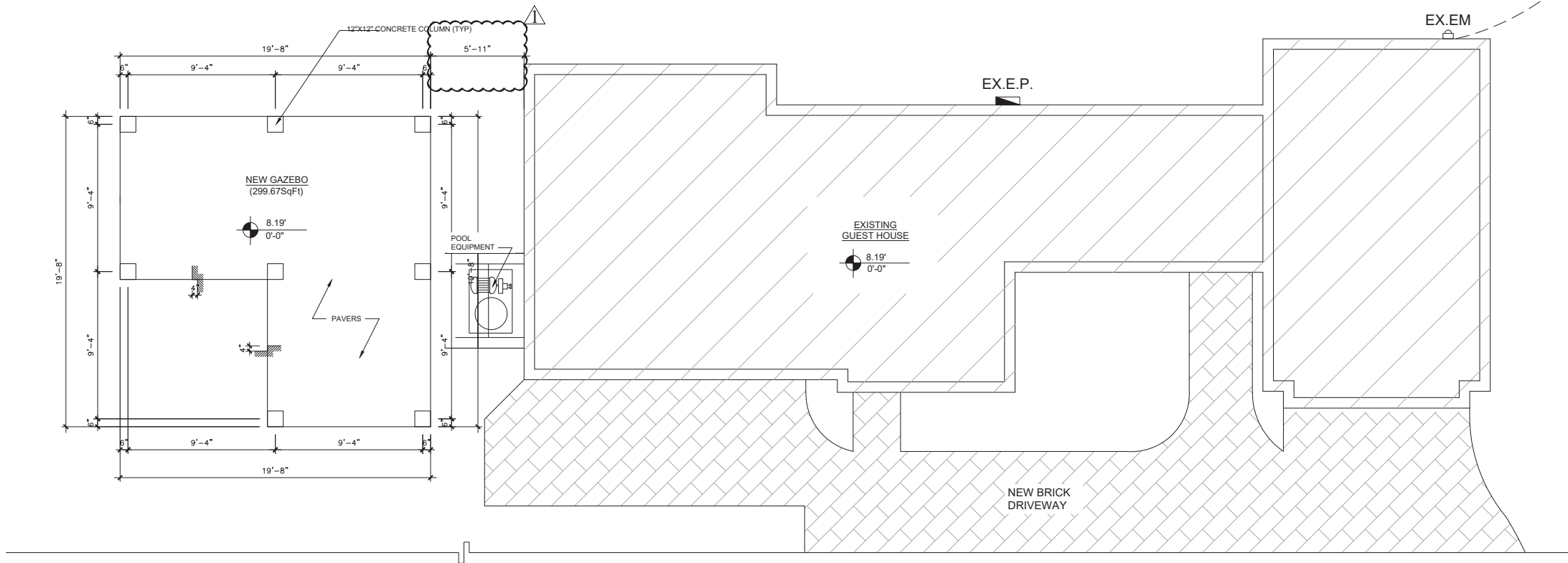
20. FURRING: 1" X 2" P.T. FURRINGS SHALL BE INSTALLED SPACED 16" O/C WITH AT LEAST ONE CUT NAIL IN ALTERNATE COURSE OF BLOCK.

21. SOFFIT VENTILATION: SHALL BE AN INTERMITTENT VENT WITH BREAKS NOT GREATER THAN

4 FEET. SHALL BE KEPT CLEAR OF OBSTRUCTIONS, INCLUDING INSULATION TO ALLOW PROPER AIR FLOW.

22. DRIP STRIP ON EAVES AND GABLE SHALL HAVE A ROOF FLANGE NOT LESS THAN 2" WIDE. THE METAL PROFILE SHALL BE NAILED WITH A MINIMUM 12 GAGE ANNULAR RING SHANK NAIL AT 4" O.C. WITH A.

23. PLANS MUST COMPLY WITH THE NEW "FLORIDA BUILDING CODE 2020, 7TH EDITION". THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2020, 7th EDITION OF F.B.C. INCLUDING THE FLORIDA EXISTING BUILDING CODE IF APPLICABLE.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

EX. MAIN
POWER LINE
(VERIFY
LOCATION)



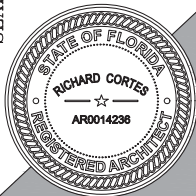
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SEAL



RICHARD CORTES
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AR# 0014236

GAZEBO FOR:

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1024 ASTURIA AVE
CORAL GABLES, FL 33134



SK 11 GROUP, INC.
CC1528919
9100 S. DADELAND BLVD.
SUITE 1500, MIAMI, FL 33156

SHEET NAME:

FLOOR PLAN

	SYM	REVISION-RECORD
B.D.C.	Δ	05-04-2021
	Δ	
	Δ	
	Δ	
	Δ	
	Δ	

DATE: 05-04-2021

DRAWN BY: E

SCALE: AS SHOWN

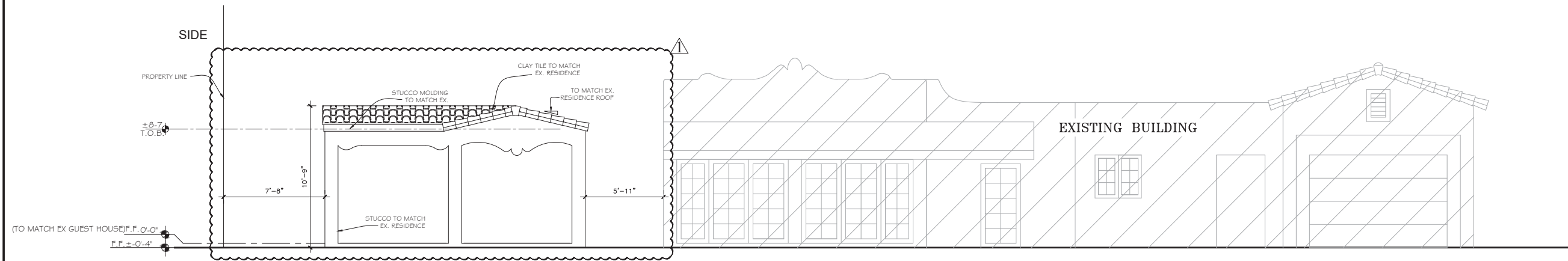
PROJECT N°:



NORTH

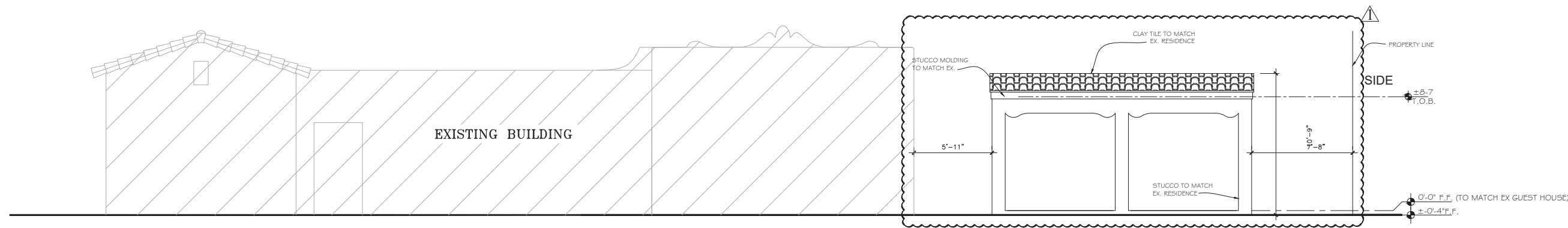
A-1

SHEET No.



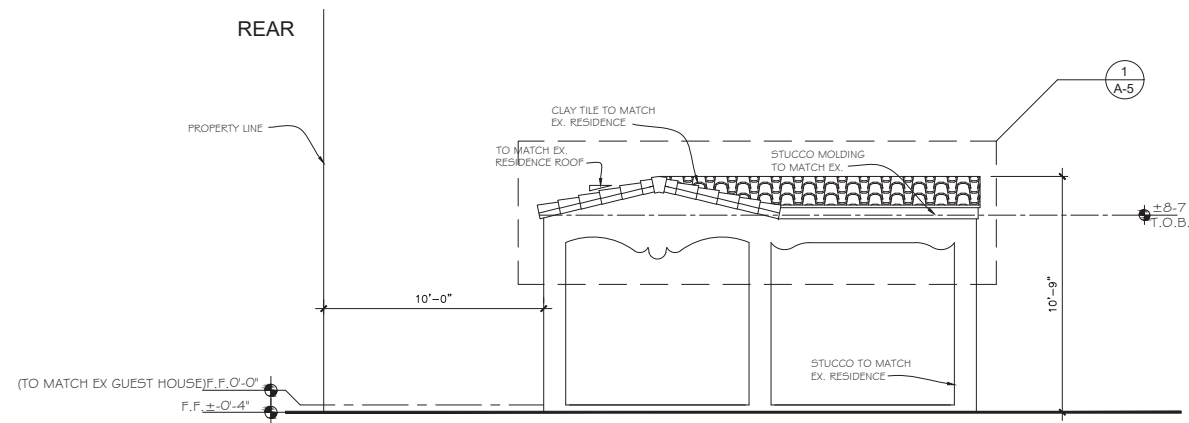
GAZEBO / GUEST HOUSE FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



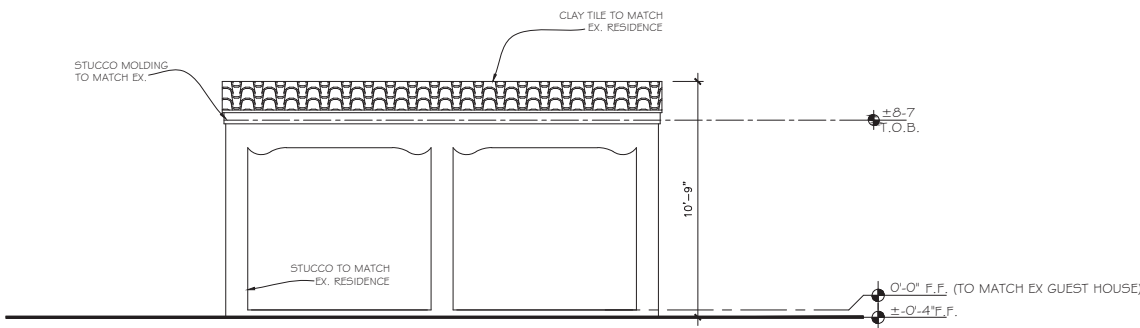
GAZEBO / GUEST HOUSE REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



GAZEBO LEFT SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



GAZEBO RIGHT SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

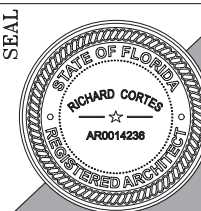


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CCG1528919
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SUITE 1500. MIAMI, FL 33156

GAZEBO FOR:

SHEET NAME:

GAZEBO
ELEVATIONS

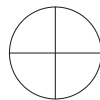
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DATE: 05-04-2021

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SCALE: AS SHOWN

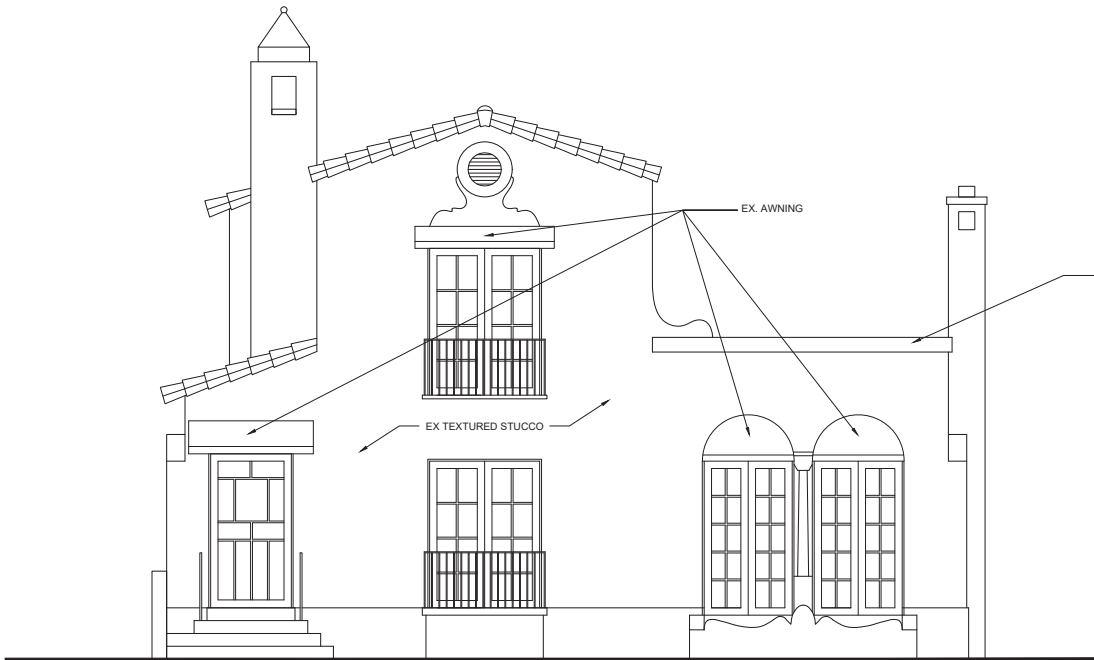
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A-2

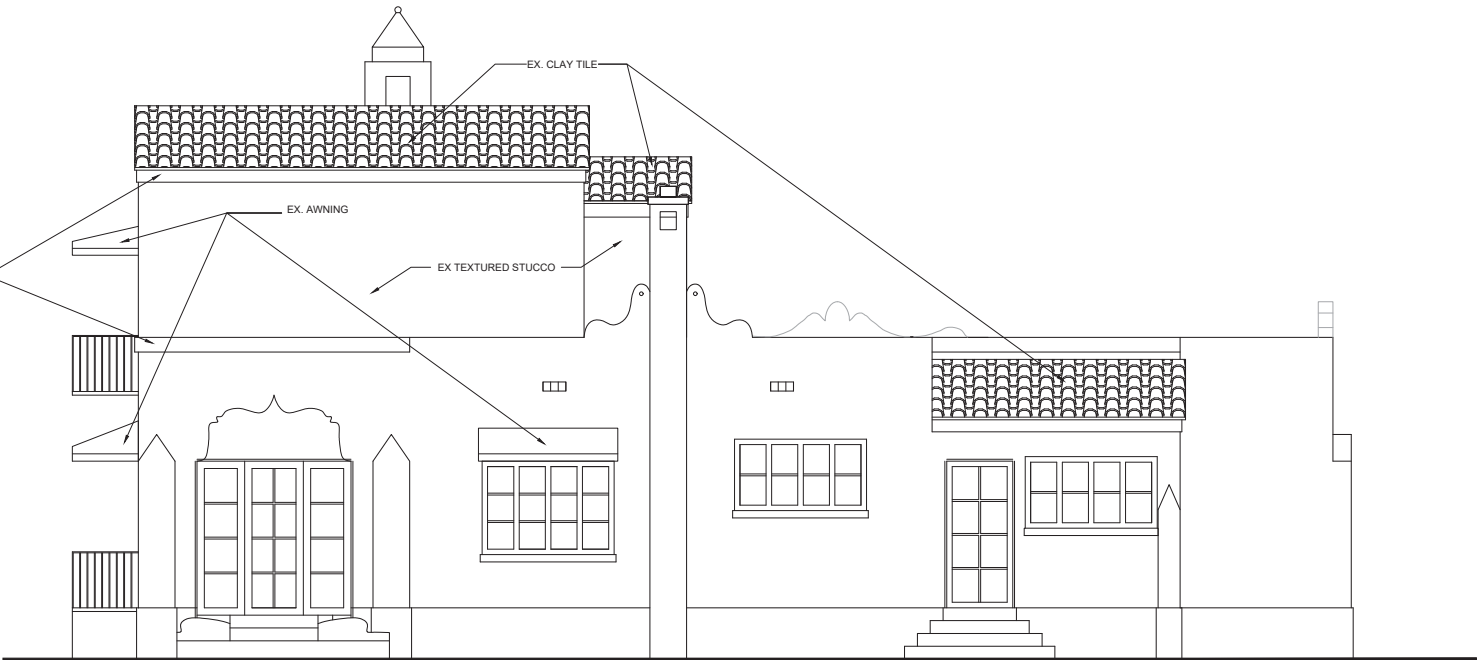
NORTH

SHEET No.



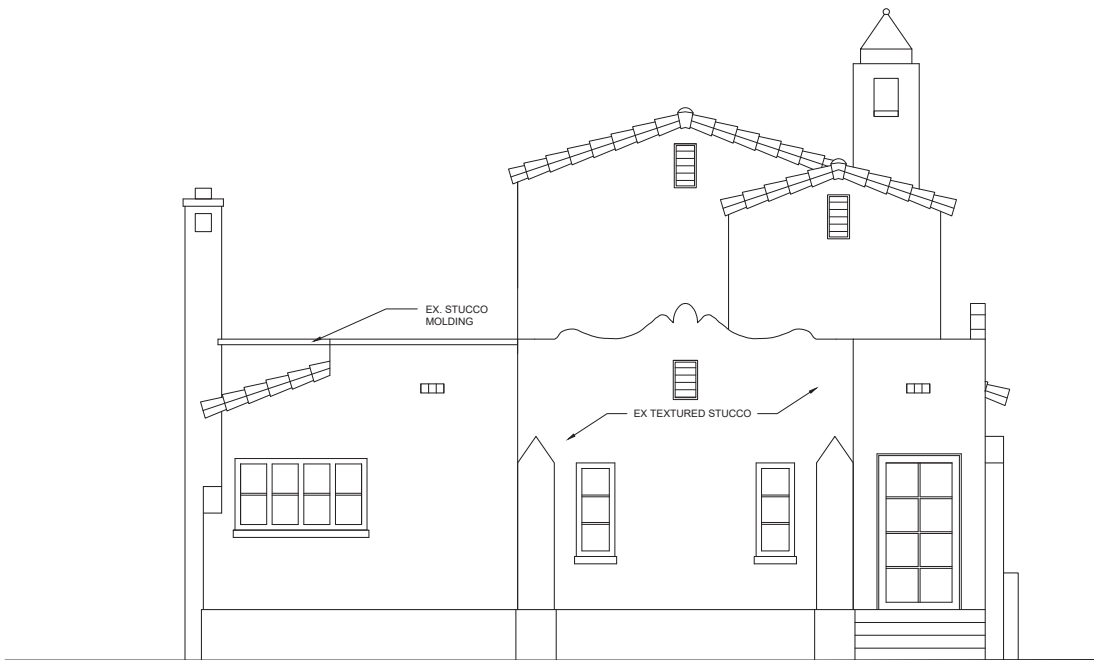
EX MAIN HOUSE FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



EX MAIN HOUSE RIGHT SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



EX MAIN HOUSE REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



EX MAIN HOUSE LEFT SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



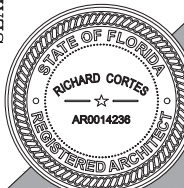
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SEAL



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GAZEBO FOR:

SHEET NAME:

MAIN HOUSE
ELEVATIONS

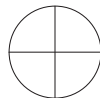
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DATE: 03-12-2021

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SCALE: AS SHOWN

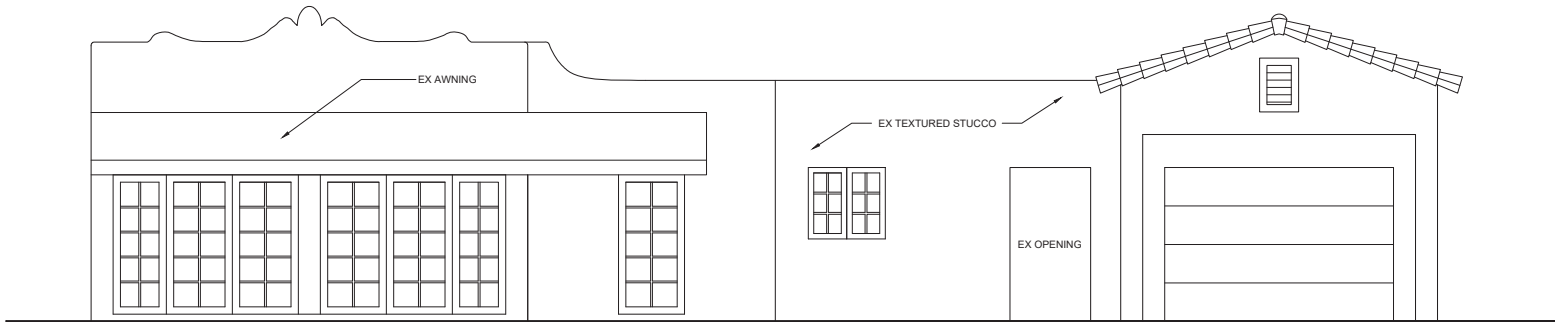
PROJECT N°:



NORTH

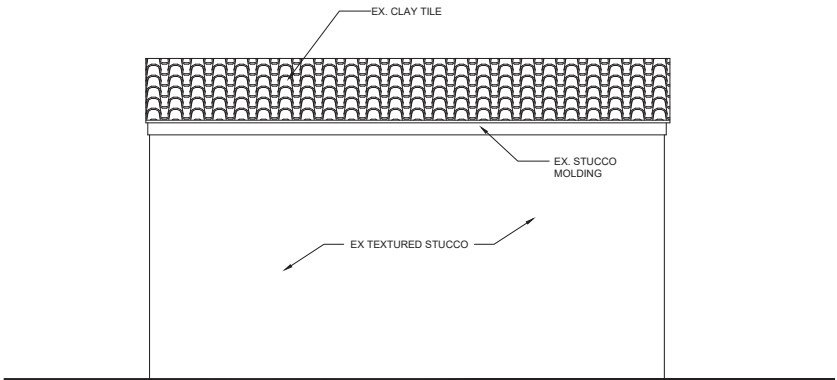
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SHEET No.



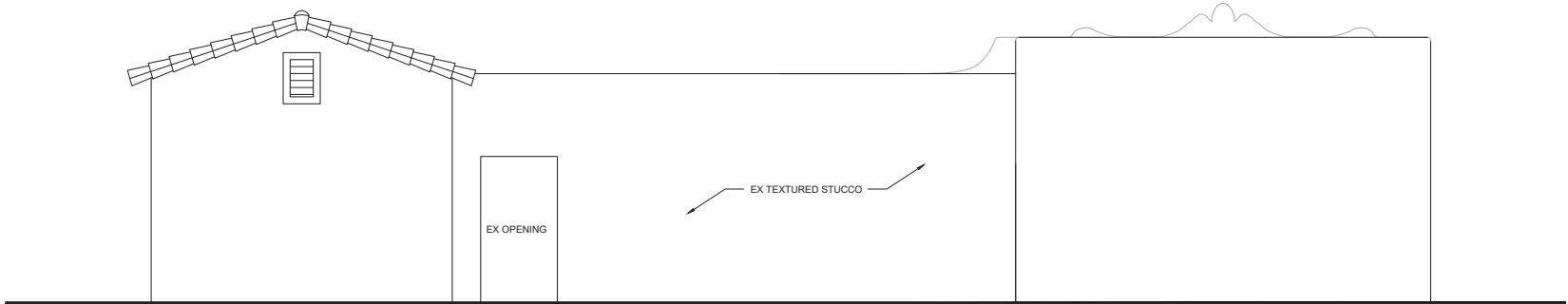
EX GUEST HOUSE FRONT ELEVATION (NORTH)

SCALE: ¼" = 1'-0"



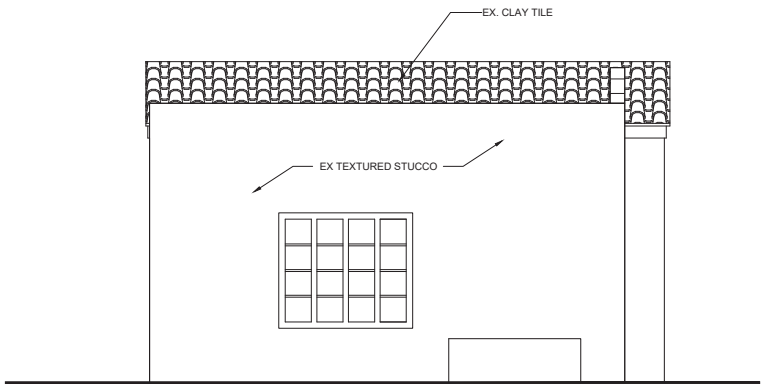
EX GUEST HOUSE RIGHT SIDE ELEVATION (WEST)

SCALE: ¼" = 1'-0"



EX GUEST HOUSE REAR ELEVATION (SOUTH)

SCALE: ¼" = 1'-0"



EX GUEST HOUSE LEFT SIDE ELEVATION (EAST)

SCALE: ¼" = 1'-0"

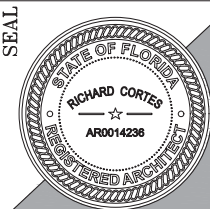


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SHEET NAME:

GUEST HOUSE
ELEVATIONS

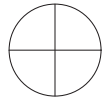
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DATE: 03-12-2021

DRAWN BY: E

SCALE: AS SHOWN

PROJECT N°:



NORTH

A-4

SHEET No.



MR. & MRS. WINNER
1024 ASTURIA AVE
CORAL GABLES, FL 33134



SHEET NAME:

DETAILS

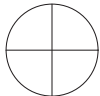
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DATE: 03-12-2021

DRAWN BY: E

SCALE: AS SHOWN

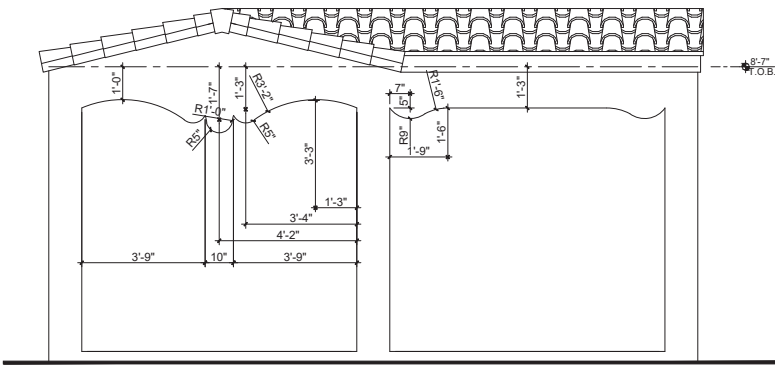
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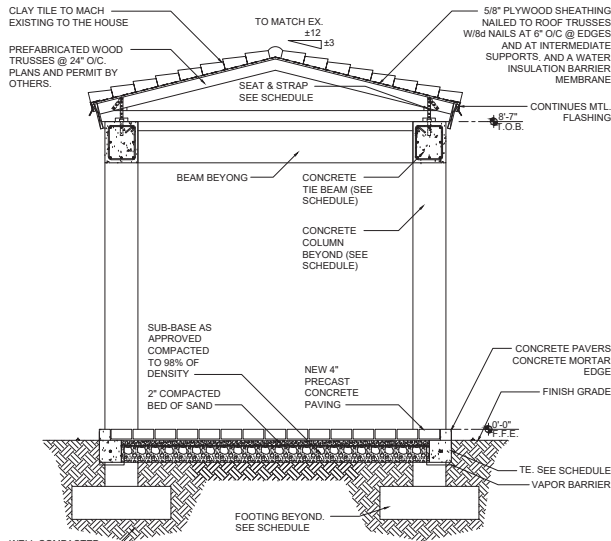
A-5

NORTH

SHEET No.



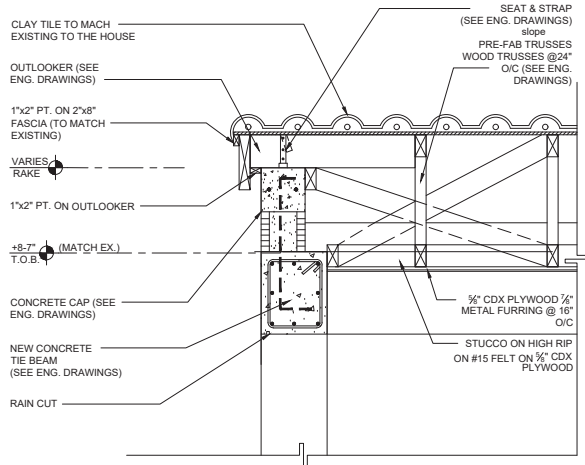
GAZEBO ELEVATION DETAILS



WELL COMPACTED
APPROVED FILL, 95 %
DENSITY MECHANICALLY
STAMPED

② SECTION

SCALE $\frac{3}{8}''=1'-0''$



③ TYPICAL GABLE END WALL SECTION



LEGEND:

- A. MAIN HOUSE FRONT VIEW (NORTH)
- B. MAIN HOUSE RIGHT SIDE VIEW (WEST)
- C. MAIN HOUSE REAR VIEW (SOUTH)
- D. MAIN HOUSE LEFT SIDE VIEW (EAST)
- E. GUEST HOUSE FRONT VIEW (NORTH)
- F. GUEST HOUSE FRONT VIEW FROM RIGHT SIDE VIEW (WEST)
- G. GUEST HOUSE REAR VIEW (SOUTH)
- H. GUEST HOUSE LEFT SIDE VIEW (EAST)



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 # CCG1528919
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SHEET NAME:
 MAIN HOUSE &
 GUEST HOUSE
 PHOTOS

SYM	REVISION-RECORD
B.D.C.	06-28-2021
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△	
△	

DATE: 06-28-2021
 DRAWN BY: --
 SCALE: AS SHOWN
 PROJECT N*:

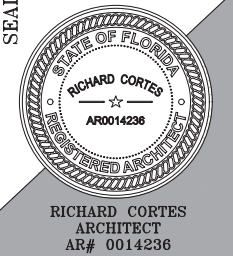
NORTH

A-6

SHEET No.



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SHEET NAME:

RENDERING

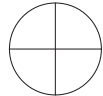
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DATE: 05-04-2021

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SCALE: AS SHOWN

PROJECT N*:



A-7

NORTH

SHEET No.

STRUCTURAL NOTES:

I. - CODES

- FLORIDA BUILDING CODE, 2020 7th EDITION
- AMERICAN INSTITUTE OF STEEL CONSTRUCTIONS "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDING - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN", 14th EDITION
- AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" ACI 318-14
- AMERICAN FOREST AND PAPER ASSOCIATIONS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", 2012 (NDS-12)
- AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURE" ACI 318-14/ASCE 7-10

II. - MATERIALS

- STRUCTURAL STEEL ASTM A 36.
ANCHOR BOLTS U.O.N. ASTM A 307.
CAST-IN-PLACE CONCRETE
FOUNDATION 3 K PSI NORMAL WT.
SLABS ON GROUND 3 K PSI NORMAL WT.
COLUMNS AND BEAMS 3 K PSI NORMAL WT.
REINFORCEMENT
DEFORMED BARS ASTM A615, GRADE 60.
WELDED WIRE FABRIC ASTM A185, GRADE 60.
WELDING ELECTRODES E70X LOW HYDROGEN.
BOLTING MATERIALS ASTM A325 OR A490.
FRAMING LUMBER DOUGLAS FIR OR SOUTHERN YELLOW PINE NO.2, 19% MAX. MOISTURE CONTENT. FB- VARIES. WITH WIDTH FOR 2"x6" ONLY. NOMINAL SIZE DRESSED

III. - GENERAL

- NOTE. TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS OTHERWISE NOTED FOR CONDITIONS NOT SPECIFICALLY SHOWN. PROVIDE DETAILS OF SIMILAR NATURE. VERIFY APPLICABILITY BY SUBMITTING SHOWN DRAWING FOR REVIEW.
- STRUCTURAL DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL AND MECHANICAL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO FORMING WORK.
- DO NOT SCALE DRAWING TO OBTAIN DIMENSIONAL INFORMATION.
- SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR WATERPROOFING AND FIRE PROOFING DETAILS AND REQUIREMENTS.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY PERSON AND PROPERTY. THE ARCHITECTS OR ENGINEER'S PRESENCE OR REVIEW OF WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTOR'S MEANS OR METHODS OF CONSTRUCTION. DRAWINGS HAVE BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE OF EXISTING. CONDITIONS IF, DURING EXCAVATION OR CONSTRUCTION ACTUAL ARE DISCOVERED TO DIFFER FROM THOSE INDICATED ON DRAWINGS, ENGINEER SHALL BE NOTIFIED.

IV. - CONCRETE NOTES

- REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS.
CONCRETE POURED AGAINST EARTH 3"
CONCRETE EXPOSED TO EARTH OR WEATHER:
#5 OR SMALLER 1-1/2"
#6 OR LARGER 2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND,
COLUMNS (TIES AND MAIN REINFORCING) 1-1/2"
SLABS, WALLS, JOINTS, "1" OR SMALLER 3/4"
BEAMS (STIRRUPS AND MAIN REINF.) 1-1/2"
CLEAR COVER SHALL BE SHOWN ON ALL REBAR DETAIL DRAWINGS
- ALL REINFORCEMENT SHALL BE SECURELY HELD IN POSITION WHILE PLACING CONCRETE IF NECESSARY. ADDITIONAL BARS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPES SLEEVES, ETC AS REQUIRED BY ALL TRADES BEFORE THE CONCRETE IS POURED. THE CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, AS WELL AS THE STRUCTURAL DRAWING FOR THE LOCATION, NUMBER AND SIZE OF ALL OPENINGS, SLEEVES, ETC. . HOWEVER, OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE INSTALLED ONLY AFTER APPROVAL BY THE STRUCTURAL ENGINEER IS OBTAINED.
- LOCATION OF ALL CONSTRUCTION JOINTS NOT SHOWN IN DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO DETAILING OF REINFORCING. ALL CONSTRUCTION JOINTS TO BE CLEARLY SHOWN IN REBAR DETAIL DRAWINGS. ENGINEER MAY REQUIRE ADDITIONAL REINFORCING AT CONSTRUCTION JOINTS.
- CONCRETE FINISH FOR SLAB ON GROUND SHALL BE "LIGHT BROOM FINISH". CONCRETE FINISH FOR BEAMS AND COLUMNS SHALL BE "SMOOTH FORM FINISH" ACI 301-89 (10.2.2).
- CONCRETE EXPOSED TO SALT WATER, BRACKISH WATER, SEAWATER, OR SPRAY FROM THESE SOURCES, SHALL BEAR THE MINIMUM FC=3,000 PSI WITH A MAXIMUM WATER-CEMENTITIOUS MATERIAL RATIO (WCM) OF 0.40. AS PER ACI 318-08 TABLE 4.2.2.

VI. - WOOD NOTES

- ALL WOOD IN CONTACT w/ CONCRETE, MASONRY OR LATH SHALL BE PRESSURE TREATED AS PER "AMERICAN WOOD-PRESERVES ASSOCIATION".
- ALL STRUCTURAL WOOD MEMBERS TO BE SAWN LUMBER. DIMENSIONS LUMBER TO BE "SOUTHERN PINE" WITH A MINIMUM COMMERCIAL GRADE OF "NO. 1". DESIGN BENDING STRESS OF FB= VARIES WITH WIDTH PSI. ALL MEMBERS TO HAVE VISIBLE GRADE STAMP.

V. - MASONRY NOTES

- HOLLOW CONCRETE MASONRY SHOWN ON THESE DRAWINGS SHALL BE ASTM C90, ON GRADE N, TYPE I, NORMAL WEIGHT FC= 1900 P.S.I.
- MORTAR SHALL CONFORM TO ASTM C270, TYPE "M" OR "S" FOR ABOVE GRADE, TYPE "M" FOR BELOW GRADE, FC= 2000 P.S.I.
- GROUT FOR FILLED CELLS SHALL CONFORM TO ASTM C476 FC= 3000 P.S.I. STRENGTH AT 28 DAYS. CELLS SHALL BE GROUTED IN INCREMENTS NOT EXCEEDING 4 FEET VERTICALLY AND A SLUMP OF 1"-9".
- PRISM STRENGTH OF MASONRY UNITS SHALL BE MINIMUM OF fm = 1500 PSI.
- VERTICAL REINFORCING SHALL BE ASTM A615, GRADE 60 DEFORMED BARS MINIMUM LAP SPLICES SHALL BE 48 BARS Dia. AS FOLLOWS:
"3 BARS 1'-6"
"4 BARS 2'-0"
"5 BARS 2'-6"
"6 BARS 3'-0"
- HORIZONTAL REINFORCING SHALL BE No. 9 GAGE, LADDER TYPE FOR REINFORCED MASONRY, AND SHALL BE PLACED EVERY OTHER COURSE U.O.N.
- ALL BLOCKS SHALL BE PLACED IN RUNNING BOND.

SOIL STATEMENT NOTE:

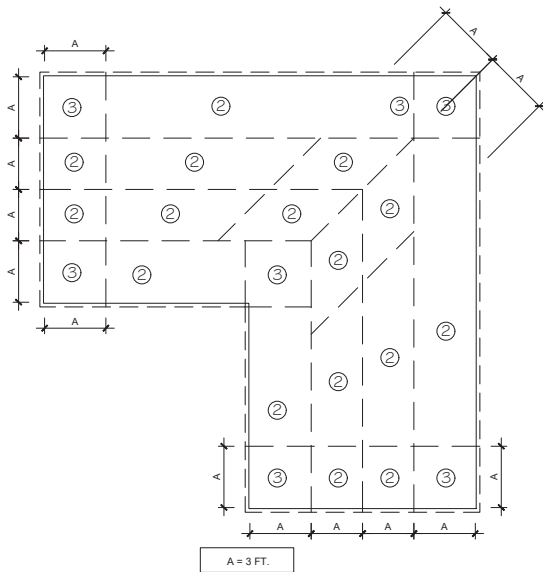
INSPECTION OF THE SITE INDICATES THE PRESENCE OF UNDISTURBED SAND, OR SAND AND ROCK, WITH A MINIMUM BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT. AT THE TIME OF CONSTRUCTION, A LICENSED ARCHITECT OR REGISTERED PROFESSIONAL ENGINEER, SHALL SUBMIT TO THE BUILDING OFFICIAL A LETTER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THAT THE FOUNDATION SOIL CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED. THE LETTER SHALL BE SIGNED AND BEAR THE IMPRESSED SEAL OF THE ARCHITECT OR ENGINEER, AS APPLICABLE.

IF THE CONDITIONS FOUND ARE DIFFERENT, A GEOTECHNICAL REPORT WITH A NEW SOIL LOAD BEARING CAPACITY EVALUATION SHALL BE SUBMITTED AND THE FOUNDATION DESIGN REVISED ACCORDINGLY.

WELL COMPACTED APPROVED FILL, 95 % DENSITY MECHANICALLY STAMPED

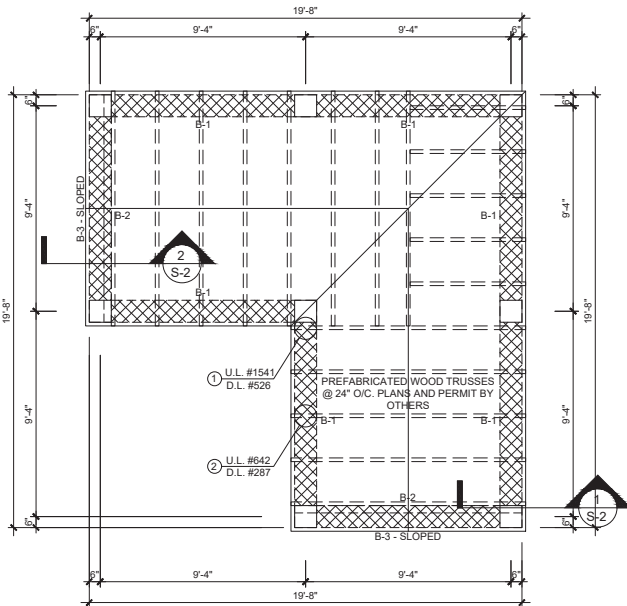
TERMITE PROTECTION:

AS SPECIFIED IN SECTION 1816.1.7, F.B.C., TERMITE PROTECTION, PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUE TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES' SUBMITTAL OF THE CERTIFICATE OF COMPLIANCE TO THE BUILDING DEPARTMENT FOR TERMITE PROTECTION IS REQUIRED BY ARTICLE NUMBER R4409.13.5 FBC 2020.



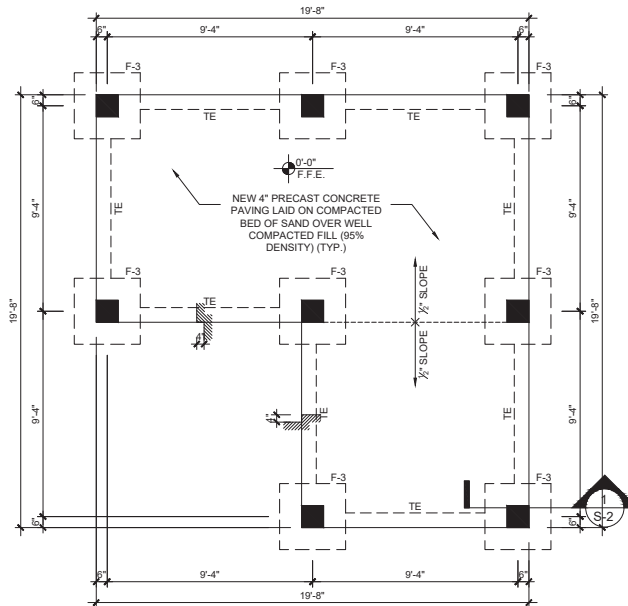
ROOF STRUCTURE WIND UPLIFT PRESSURES (TYP.)

SCALE: N.T.S.



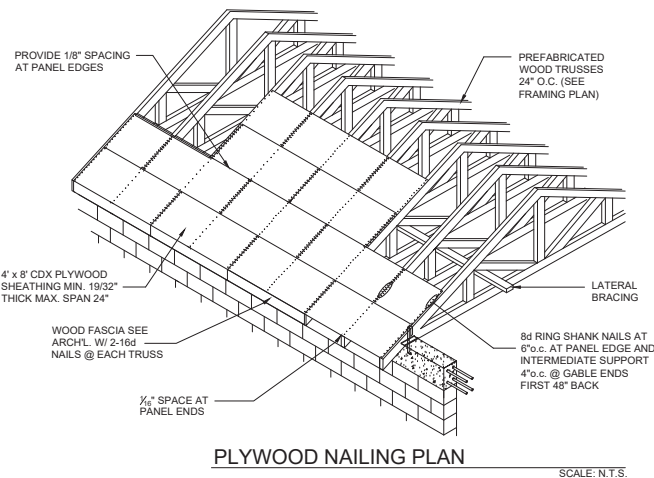
FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PLYWOOD NAILING PLAN

SCALE: N.T.S.

ROOF DESIGN LOAD	
LIVE LOAD.....	30 PSF
DEAD LOAD.....	
ROOF FINISH.....	19 PSF
TRUSS & DECKING.....	6 PSF
CEILING.....	2 PSF
TOTAL DEAD LOAD.....	27 PSF
TOTAL GRAVITY LOAD.....	55 PSF
TOTAL UPLIFT ZONE-2.....	60.30 PSF
MINUS MIN. DEAD LOAD....	27.00 PSF
NET UPLIFT.....	33.30 PSF
TOTAL UPLIFT ZONE-3.....	90.80 PSF
MINUS MIN. DEAD LOAD....	23.00 PSF
NET UPLIFT.....	63.80 PSF

ZONE	WIND UPLIFT PRESSURES
①	35.9 PSF
②	60.3 PSF
③	90.8 PSF

* DO NOT REDUCE WIND UPLIFT PRESSURE BY ANY DEAD LOAD PRESSURE ARE CALCULATED WITH ALLOWED STRESS DESIGN METHOD

BEAM SCHEDULE						
MARK	SIZE	MAT.	STEEL			TIES
			T	M	B	
B-1	12" x 15"	CONC.	3#5Ø	-	3#5Ø	8 #3Ø @5" O/C E.E. BAL. @12" O/C
B-2	12" x 12"	CONC.	3#5Ø	-	3#5Ø	8 #3Ø @5" O/C E.E. BAL. @12" O/C
B-3	8" x 8"	CONC.	2#5Ø	-	-	-

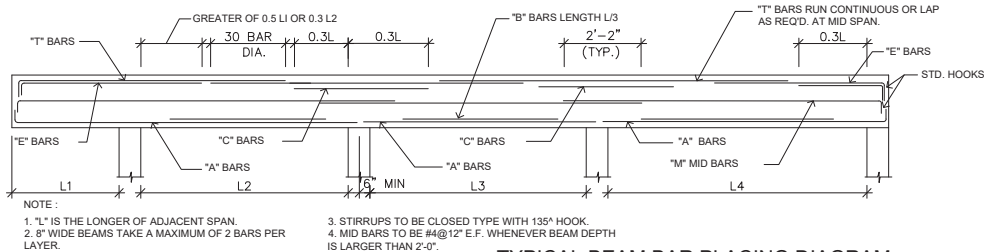
* PROVIDE 2-#5 X 5'-0" BENT 30° E.W. @ CORNER

FOOTING SCHEDULE					
MARK	MAT'L	SIZE	STL TOP	STL BO	REMARKS
F-3	CONC.	36"x36"x16"	4#5 E/W	4#5 E/W	---
TE	CONC.	8"x8"	---	1#5	---

* PROVIDE 2-#5 X 5'-0" BENT 30° E.W. @ CORNER

COLUMN SCHEDULE					
MARK	MAT.	SIZE	STEEL	TIES	REMARKS
C-1	CONC.	12" X 12"	4 #6Ø	#3Ø @ 12"	---

TRUSSES CONNECTORS SCHEDULE						
MARK	MANF.	MODEL	ALLOWABLE WIND LOAD CAP. (lbs)			NOA
			UPLIFT	L1	L2	
①	NU-VUE	NVHTA-16	1695	1181	1631	12 FASTENERS IN 2 STRAPS 10D X 1 1/2" 6 FASTENERS IN 20 GA. SEAT 10D X 1 1/2"
②	NU-VUE	NVHTA-12	1506	1050	1450	10 FASTENERS IN 2 STRAPS 10D X 1 1/2" 6 FASTENERS IN 20 GA. SEAT 10D X 1 1/2"



TYPICAL BEAM BAR PLACING DIAGRAM

N.T.S.

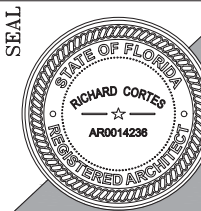


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GAZEBO FOR:

SHEET NAME:

STRUCTURE

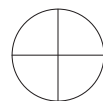
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DATE: 03-12-2021

DRAWN BY: E

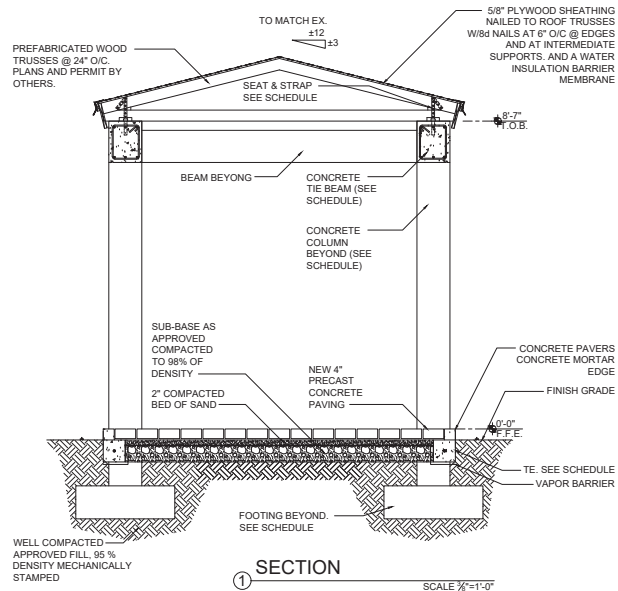
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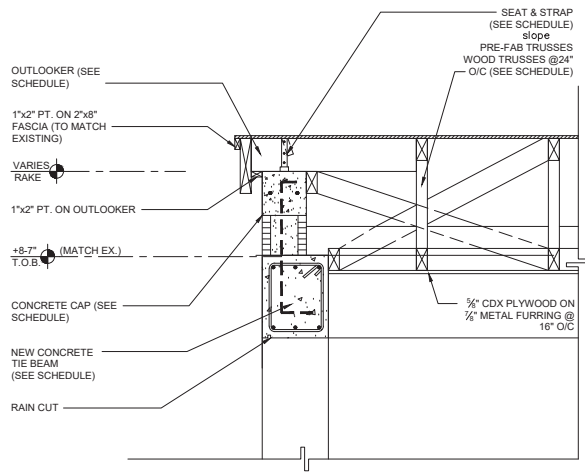


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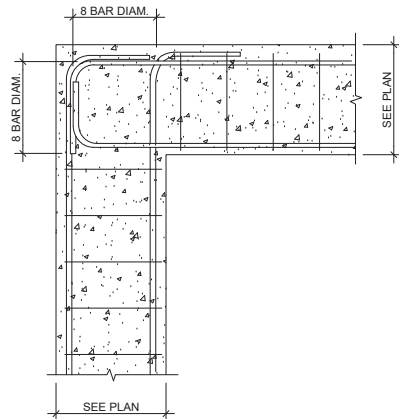
NORTH SHEET No.



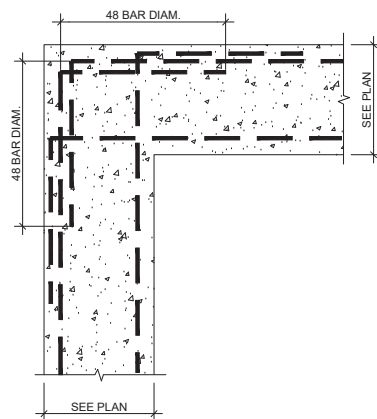
1 SECTION
SCALE 3/8"=1'-0"



2 TYPICAL GABLE END WALL SECTION
SCALE 3/8"=1'-0"



TYP. BEAM COLUMN
CONNECTION DETAIL.
SCALE: 3/4"=1'-0"



TYP. TIE BEAM CORNER
DETAIL.
SCALE: 3/4"=1'-0"



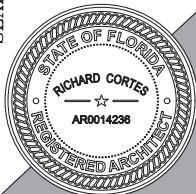
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SEAL



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SK 11 GROUP, INC.
CC01528919
9100 S. DADELAND BLVD.
SUITE 1500, MIAMI, FL 33156

GAZEBO FOR:

SHEET NAME:

**STRUCTURE
DETAILS**

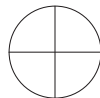
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DATE: 03-12-2021

DRAWN BY: E

SCALE: AS SHOWN

PROJECT N°:



NORTH

S-2

SHEET No.

- ELECTRICAL NOTES:
1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THESE DRAWINGS.
 2. COMPLY WITH THE N.E.C. 2017 AND F.B.C. 2020, 7TH EDITION.
 3. PROVIDE ALL REQUIRED CONNECTIONS FOR OTHER TRADES.
 4. OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
 5. PROVIDE TEMPORARY POWER AND LIGHT OUTLETS FOR USE BY OTHER TRADES.
 6. COORDINATE ALL BOX LOCATION WITH BUILDING ARCHITECTURAL FEATURES.
 7. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
 8. UNLESS OTHERWISE NOTED, ALL CABLE SHALL BE COPPER.
 9. INDOOR CONDUIT SHALL BE EMT. EXCEPT FOR BASEMENT.
 10. ALL MOUNTING HARDWARE SHALL BE BY ELECTRICAL CONTRACTOR. ALL CB USE FOR HEATER, AIR CONDITIONER UNITS & REFRIGERATION.
 11. SYST. SHALL BE LISTED HACR.
 12. ALL CB USE FOR HIGH INTENSIVE DISCHARGE SHALL BE LISTED HID.

NOTE:

LV LUMINARIES MUST COMPLY WITH 411.3

NOTE:

ARC FAULT CB INTERRUPTER PROTECTION

ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC FAULT CIRCUIT INTERRUPTER(S), AS PER NEC 2017 210.12 (a)

CONDUCTORS NOTE:

ALL CONDUCTORS TO BE USED SHALL BE CABLE TYPE MC FOR USE AS SERVICES AND FEEDERS. COMPLY WITH NEC 2014, CHAPTER 330.10

HIGH HAT NOTE:

HIGH HATS MUST HAVE AIR TIGHT SEAL TO PREVENT THE TRANSFER OF AIR FROM BELOW TO ABOVE THROUGH OR AROUND THEM

NOTE:

MINIMUM 75% LAMPS TO BE HIGH-EFFICACY TYPE, AS PER FBC E404

NOTE:

INSTALLATION MUST COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 210.12 KITCHENS

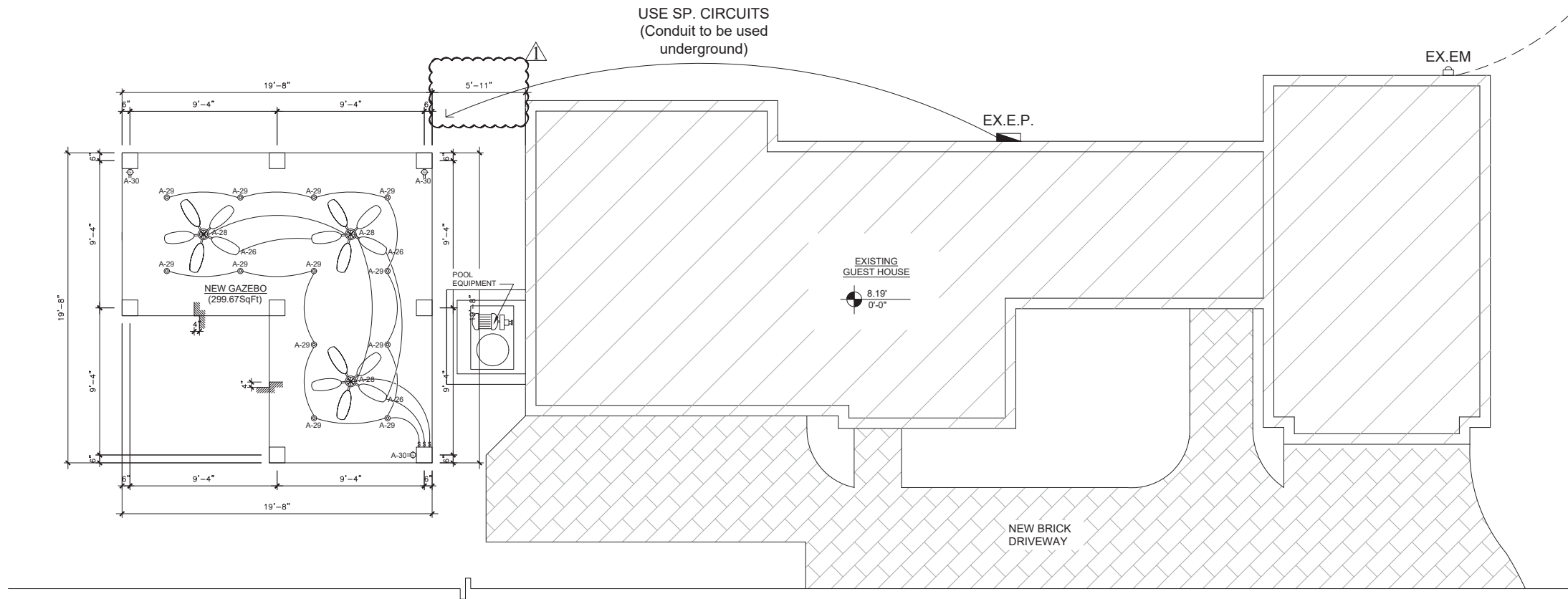
NOTE:

PROVIDE TAMPER RESISTANT RECEPTACLES AS PER NEC 406.11

NOTE:

FAN BOXES FOR ALL CEILING FAN SHALL SUPPORT: 70lbs MAX FOR FANS AND 90lbs MAX FOR FIXTURES.

ELECTRICAL LEGEND	
	LIGHT FIXTURE
	CEILING FAN / LIGHT
	RECESS LIGHTING FIXTURE
	DUPLEX RECEPTACLE (+18" A.F.F.)
	SINGLE RECEPTACLE (+18" A.F.F.)
	GROUND FAULT INTERRUPTER OVER COUNTER
	TOGGLE SWITCH
	ELECTRICAL PANEL 240/120

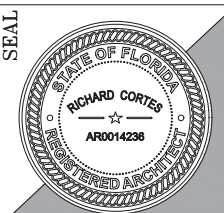


ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



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SHEET NAME:

ELECTRICAL
PLAN

SYM	REVISION-RECORD
B.D.C.	05-04-2021

DATE: 05-04-2021

DRAWN BY: E

SCALE: AS SHOWN

PROJECT N°:



E-1

SHEET No.