

PROPERTY INSPECTION OR ASSESSMENT OF DAMAGES



ADDRESS: 229 Ridgewood Rd. Coral Gables, Fl.
CLIENT: Phil Padron
ID No: 2016417
DATE: 6/9/2016

INSPECTION OR ASSESSMENT BY:

GAIA CONSTRUCTION INC.
CGC 1516136 **FLORIDA**
HI-2792 **FLORIDA**
8028867-B2 **INTERNATIONAL CODE COUNCIL**



Client's Name: Phil Padron
Property Address: 229 Ridgewood Rd. Coral Gables, Fl.
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DISCLAIMER

THIS REPORT IS VALID FOR THIRTY (30) DAYS FROM INSPECTION DATE.

This report depicts our findings during the process of a limited, non-invasive examination of the condition of a property. GAIA Construction Inc recognizes that the individual(s) performing this inspection, have the training and experience to perform such examination.

We do not guarantee future condition, efficiency or life expectancy of systems or components. All information contained on this report is to be taken as an informative condition and our opinion of the systems readily accessible during the inspection process.

GAIA Construction Inc is a Licensed General Contractor in the State of Florida and conducts this process as such.

Usually included in our reports are the current conditions of roof, crawl space, structure, HVAC, plumbing, electrical systems and interior and exterior finishes; unless otherwise noted or specifically requested by our client.

This inspection is not technically exhaustive and does not imply that every defect will be discovered.

POOL INSPECTION:

If applicable, a limited visual examination of the pool components will be performed.

MAY YOU REQUIRE A POOL INSPECTION CERTIFICATE, WE RECOMMEND TO HIRE A CERTIFIED POOL OPERATOR (CPO).

WOOD DESTROYING ORGANISM INSPECTION:

Wood destroying organism related damage; if visible will be included with photographs in our report and a WDO certificate must be obtained from a Certified Pest Control Operator (CPCO)

MOLD INSPECTION:

MOLD SAMPLINGS ARE NOT PART OF THIS REPORT.

THERE IS NO STATE OR FEDERAL STANDARD THAT DEFINES WHAT CONSTITUTES A HIGH OR LOW LEVEL OF MOLD. VISIT <http://www.epa.gov/mold/> FOR FEDERAL GOVERNMENT RELEASED INFORMATION ABOUT MOLD.

Ten Things You Should Know About Mold:

1. Potential health effects and symptoms associated with mold exposures include allergic reactions, asthma, and other respiratory complaints.
2. There is no practical way to eliminate all mold and mold spores in the indoor environment; the way to control indoor mold growth is to control moisture.
3. If mold is a problem in your home or school, you must clean up the mold and eliminate sources of moisture.
4. Fix the source of the water problem or leak to prevent mold growth.
5. Reduce indoor humidity (to 30-60%) to decrease mold growth by: venting bathrooms, dryers, and other moisture-generating sources to the outside; using air conditioners and de-humidifiers; increasing ventilation; and using exhaust fans whenever cooking, dishwashing, and cleaning.
6. Clean and dry any damp or wet building materials and furnishings within 24-48 hours to prevent mold growth.
7. Clean mold off hard surfaces with water and detergent, and dry completely. Absorbent materials such as ceiling tiles, that are moldy, may need to be replaced.
8. Prevent condensation: Reduce the potential for condensation on cold surfaces (i.e., windows, piping, exterior walls, roof, or floors) by adding insulation.
9. In areas where there is a perpetual moisture problem, do not install carpeting (i.e., by drinking fountains, by classroom sinks, or on concrete floors with leaks or frequent condensation).
10. Molds can be found almost anywhere; they can grow on virtually any substance, providing moisture is present. There are molds that can grow on wood, paper, carpet, and foods.

Source: http://www.epa.gov/mold/moldresources.html#Ten_Things



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DEFECTIVE CHINESE DRYWALL INSPECTION:

Inspections involving Defective Chinese Drywall are performed following publicized data by Florida Department of Health -Case Definition (12-18-09) for Drywall Associated Corrosion in Residences-

More information and guidance can be found at:

<http://www.doh.state.fl.us/environment/community/indoor-air/casedefinition.html#2>

GAIA Construction Inc makes no assumptions on this subject but follows the Florida Department of Health criterias for inspection on suspected homes with defective chinese drywall Criteria 1.

Criterias 2 and 3 are not part of the procedures to conduct this inspection and can only be done by writing request by the home owner or property owner, understanding the need for sampling and invasive/destructive analysis of samples involving third party laboratory analysis.

Defective Chinese Drywall Inspection will be performed upon request and not as part of the scope of work of the inspection.

ASBESTOS AND LEAD BASE PAINT INSPECTIONS OR ASSESSMENTS:

ASBESTOS AND LEAD BASED PAINT Inspection will be performed upon request and not as part of the scope of work of the inspection.



Attachment to Inspection: ESTIMATED COST OF REPAIRS
Property Address: 229 Ridgewood Rd. Coral Gables, Fl.
Contact: Phil Padron

1870 SF
 2.00 Bed
 2.00 Bath

Item	Description	Qty.	Unit Price	Total
ROOF 1	REPAIRS / REPLACE TYPE: FLAT (GARAGE): REPAIRS REQUIRED	1.0	1890.00	\$1,890
ROOF 2	REPAIRS / REPLACE TYPE:	0.0	6.00	\$0
WINDOWS	FBC EQUIVALENT 2010 REPLACE	586.9	45.00	\$26,411
DRIVEWAY	REPAIRS / REPLACE TYPE: RESURFACE	1.0	850.00	\$850
CUSTOM EXT. DOOR	FBC EQUIVALENT 2010 REPLACE	4.0	550.00	\$2,200
REGULAR EXT. DOOR	FBC EQUIVALENT 2010 REPLACE	0.0	45.00	\$0
GARAGE DOOR	FBC EQUIVALENT 2010 REPLACE	0.0	20.00	\$0
HVAC	EQUIPMENT REPAIRS / REPLACE TONS:	4.0	1500.00	\$6,000
HVAC	DUCT WORK	1870.0	2.00	\$3,740
STRUCTURAL 1	HAIRLINE CRACKS	2.2	1500.00	\$3,300
STRUCTURAL 2	FOUNDATION REPAIR ALLOWANCE	25.5	500.00	\$12,750
ILLEGAL WORK	ALLOWANCE FOR LEGALIZATION	0.0	50.00	\$0
EXTERIOR PAINT	PRESSURE CLEAN AND PAINT	1870.0	1.60	\$2,992
EXTERIOR WALL	REPAIRS TO SURFACE: STUCCO	31.5	25.00	\$788
DRYWALL	CEILING REPAIRS / REPLACE	7.8	25.00	\$195
DRYWALL	WALLS REPAIRS / REPLACE	39.5	25.00	\$988
DRYWALL	OTHER	0.0	0.00	\$0
INTERIOR PAINT	PRIME AND PAINT	1870.0	1.90	\$3,553
KITCHEN	REPLACE CABINETS / EXISTING LAYOUT BASE	22.5	250.00	\$5,625
KITCHEN	REPLACE CABINETS / EXISTING LAYOUT WALL	24.0	200.00	\$4,800
KITCHEN	REPLACE COUNTERTOPS / EXISTING LAYOUT	22.5	70.00	\$2,200
APPLIANCES	ALLOWANCE FOR REPLACEMENT KITCHEN	1.0	3000.00	\$3,000
APPLIANCES	ALLOWANCE FOR REPLACEMENT WASHER / DRYER	1.0	1500.00	\$1,500
INTERIOR DOORS	BEDROOMS AND BATHROOMS DOORS	5.0	95.00	\$475
INTERIOR DOORS	CLOSET DOORS	7.0	85.00	\$595
BATHROOMS	MINIMUM ALLOWANCE / FULL UPDATE	2.0	4500.00	\$9,000
ELECTRICAL	GENERAL ELECTRICAL REPAIRS	1.0	650.00	\$650
ELECTRICAL	NEW GFCIS	3.0	175.00	\$525
ELECTRICAL	OUTLETS / SWITCHES / LIGHTS / MINIMUM ALLOWANCE FOR REPLACEMENT	1.0	1700.00	\$1,700
ELECTRICAL	SMOKE DETECTORS	4.0	85.00	\$340
ELECTRICAL	GROUND	0.0	1500.00	\$0
FLOORING	REPLACE FLOORING APPROX SF:	1870.0	7.00	\$13,090
BASEBOARDS	REPLACE AFTER NEW FLOORING APPROX:	1870.0	1.10	\$2,057
FASCIA AND SOFFIT	REPLACE DAMAGED APPROX:	21.0	50.00	\$1,050
STORM SHUTTERS	INSTALLATION	0.0	5000.00	\$0
POOL	DIAMOND BRITE REFINISH	0.0	4500.00	\$0
POOL DECK	REPAIR OR REPLACE DAMAGED SURFACE	0.0	1500.00	\$0
GUTTERS	REPAIR OR REPLACE : INSTALL EXTENDERS	1.0	250.00	\$250
PLUMBING	NEW WATER HEATER	0.0	800.00	\$0
PLUMBING	REPLACE ALL CAST IRON PIPES WITH PVC	21.0	500.00	\$10,500
WOOD DESTROYING ORGANISM	WDO TREATMENT	0.0	0.70	\$0
MISCELANEOUS	N/A	0.0	0.00	\$0
MISCELANEOUS	N/A	0.0	0.00	\$0
INSULATION	ATTIC SPACE	0.0	0.70	\$0
MOLD TREATMENT	BIOCIDE TREATMENT	1.0	1500.00	\$1,500
DEFECTIVE CHINESE DRYWALL	N/A	0.0	0.00	\$0
FENCE	REPLACE / REPAIR LINEAR FEET	0.0	50.00	\$0
LANDSCAPING	N/A	4.5	500.00	\$2,250



CLEAN UP	DUMPSTERS AND DUMPING FEES	3.0	650.00	\$1,950
Sub Total Construction / repairs				\$128,712.50
Plans and Permits for a legal remodeling				\$7,722.75
Contractor overhead and Profit = 10%				\$12,871.25
TOTAL				\$149,306.50

NOTES AND ADDITIONAL DETAILS:

GENERAL DETAILS ARE PROVIDED BASED ON VISUAL OBSERVATION. CLIENT TO FINALIZE AND APPROVE SCOPE AND MATERIALS. WE RECOMMEND TO HIRE ONLY LICENSED AND INSURED CONTRACTORS WHEN PERFORMING YOUR REPAIRS. CONSULT WITH YOUR LOCAL BUILDING DEPARTMENT AND HOME OWNERS ASSOCIATION (IF APPLICABLE) BEFORE PERFORMING ANY WORK ON YOUR PROPERTY. ALL DESCRIBED WORK IS REQUIRED, CLIENT TO DETERMINE PRIORITIES.

PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
ATTACHMENT - PHOTOGRAPHS
DATE: 06-09-2016



Exterior rehabilitation must include and not limited to:

Pressure wash and paint, replace obsolete and failing window systems, replace exterior doors, fascia and soffit rotted wood replacement, overgrown vegetation removal, structural repairs required. Refer to attached photographs for details.

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Structural repairs related to floor joists are required.

Wood structural joists not properly reinforced. Replacement or proper reinforcement of joists required.

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Missing left hand rail. Requires replacement to be brought up to code.

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Current window systems are beyond possibilities of repair.

It is recommended a full replacement of windows with impact glass as per current code and avoid the installation of hurricane shutters.

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Cracks on vertical planes due to foundation settlement indicating downward and lateral movement. These types of cracks may compromise the ability of the building to function as designed and avoid water intrusion. Structural repair and proper waterproofing treatment are required to avoid further damage to the interior of the building and water infiltration.

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Allowances must be made for the installation of a new central AC system and removal of all window and walls units.

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Fascia and soffit deteriorated wood requires replacement.

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Exterior door(s) require replacement. Currently beyond possibilities of repair.

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Deteriorated cast iron pipes will require a full upgrade replace with PVC.

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(First bathroom on the right once you enter the house).

Crawl space inspection reveals rotted wood and structural damage related to water leaks caused by failure of plumbing system.

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(First bathroom on the right once you enter the house).

Crawl space inspection reveals rotted wood and structural damage related to water leaks caused by failure of plumbing system.

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Deteriorated cast iron pipes will require a full upgrade replace with PVC.

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Defective plumbing system requires repairs.

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Home was noted to have had a full update of galvanized water lines, to CPVC line.

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Allowances must be made for the removal of overgrown vegetation.

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Exterior door(s) require replacement. Currently beyond possibilities of repair.

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Gutters requires extensions to be installed. Water is not draining properly away from the house.

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Asphalt recoating required on parking spaces/ driveway.

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Asphalt recoating required on parking spaces/ driveway.

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Exterior door(s) require replacement. Currently beyond possibilities of repair.

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Structural repairs related to floor joists are required.

Wood structural joists not properly reinforced. Replacement or proper reinforcement of joists required.

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Stucco repairs required.

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Minimum roofing repairs required, related to possible active leaks and water marks noted inside habitable space.

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Allowances must be made for the removal of overgrown vegetation.

Minimum roofing repairs required, related to possible active leaks and water marks noted inside habitable space.



GAIA

-CONSTRUCTION
-INSPECTIONS

INSPECTION 2016417

PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
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Minimum roofing repairs required, related to possible active leaks and water marks noted inside habitable space.

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Minimum roofing repairs required, related to possible active leaks and water marks noted inside habitable space.

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(2nd bathroom near garage) Vent pipe should be a minimum of 3 inches above roofline.

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(2nd bathroom near garage) Vent pipe should be a minimum of 3 inches above roofline.

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(Roof age unknown)

Roof was noted to be in general good condition and was properly sealed at time of inspection. No active leaks were noted inside home from the main roof.

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(Roof age unknown)

Roof was noted to be in general good condition and was properly sealed at time of inspection. No active leaks were noted inside home from the main roof.

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Chimney was noted to be properly capped.

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Exterior door(s) require replacement. Currently beyond possibilities of repair.

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A complete rehabilitation of the interior is recommended. Plumbing, electrical and Ac systems require replacement or repairs.

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Deteriorated cast iron pipes will require a full upgrade replace with PVC.

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Allowances must be made for the complete upgrade of finishes in bathroom(s).

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ATTACHMENT - PHOTOGRAPHS
DATE: 06-09-2016



Previous water damage noted.

Mold growth caused by water damage is visible. Do not attempt to remove damaged surfaces related to Mold growth or with signs of mold growth on your own. Hire only licensed and Insured Mold remediation services.

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GFCI receptacles installation is required at wet areas such as bathrooms and kitchens.

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Allowances must be made for the complete upgrade of finishes in bathroom(s).

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PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
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A complete rehabilitation of the interior is recommended. Plumbing, electrical and Ac systems require replacement or repairs.

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Previous water damage noted.

Water damage at the floor joists and wood deck. Structural repairs related to floor joists are required.

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Old Chimney.

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Signs of previous water infiltration due to roof failure noticed at the habitable space ceiling; allowances must be made for ceiling repair.

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Interior hatch to crawl space.

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Wood structural joists not properly reinforced. Replacement or proper reinforcement of joists required.

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Deteriorated cast iron pipes will require a full upgrade replace with PVC.

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Allowances must be made for the installation of a new central AC system and removal of all window and walls units.

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A complete rehabilitation of the interior is recommended. Plumbing, electrical and Ac systems require replacement or repairs.

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PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
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Allowances must be made for the complete upgrade of finishes in kitchen area including cabinetry, countertops, backsplash and new appliances.

PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
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Allowances must be made for the complete upgrade of finishes in kitchen area including cabinetry, countertops, backsplash and new appliances.

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Active leak when open.

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DATE: 06-09-2016



Home was noted to have had a full update of galvanized water lines, to CPVC lines.

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A complete rehabilitation of the interior is recommended. Plumbing, electrical and Ac systems require replacement or repairs.

PROPERTY INSPECTION –229 Ridgewood Rd Coral Gables, FL
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Allowances must be made for the complete upgrade of finishes in bathroom(s).

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ATTACHMENT - PHOTOGRAPHS
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Allowances must be made for the installation of a new central AC system and removal of all window and walls units.

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Home was noted to have had a full update of galvanized water lines, to CPVC lines.

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Signs of water infiltration due to roof failure noticed at the habitable space ceiling; allowances must be made for roofing and ceiling repair.

Minimum roofing repairs required, related to active leaks and water marks noted inside habitable space.

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Home was noted to have had a full update of galvanized water lines, to CPVC lines.

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Garage door motors on door garage doors require repairs.

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Water heater in good working condition at time of inspection.

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Water heater in good working condition at time of inspection.

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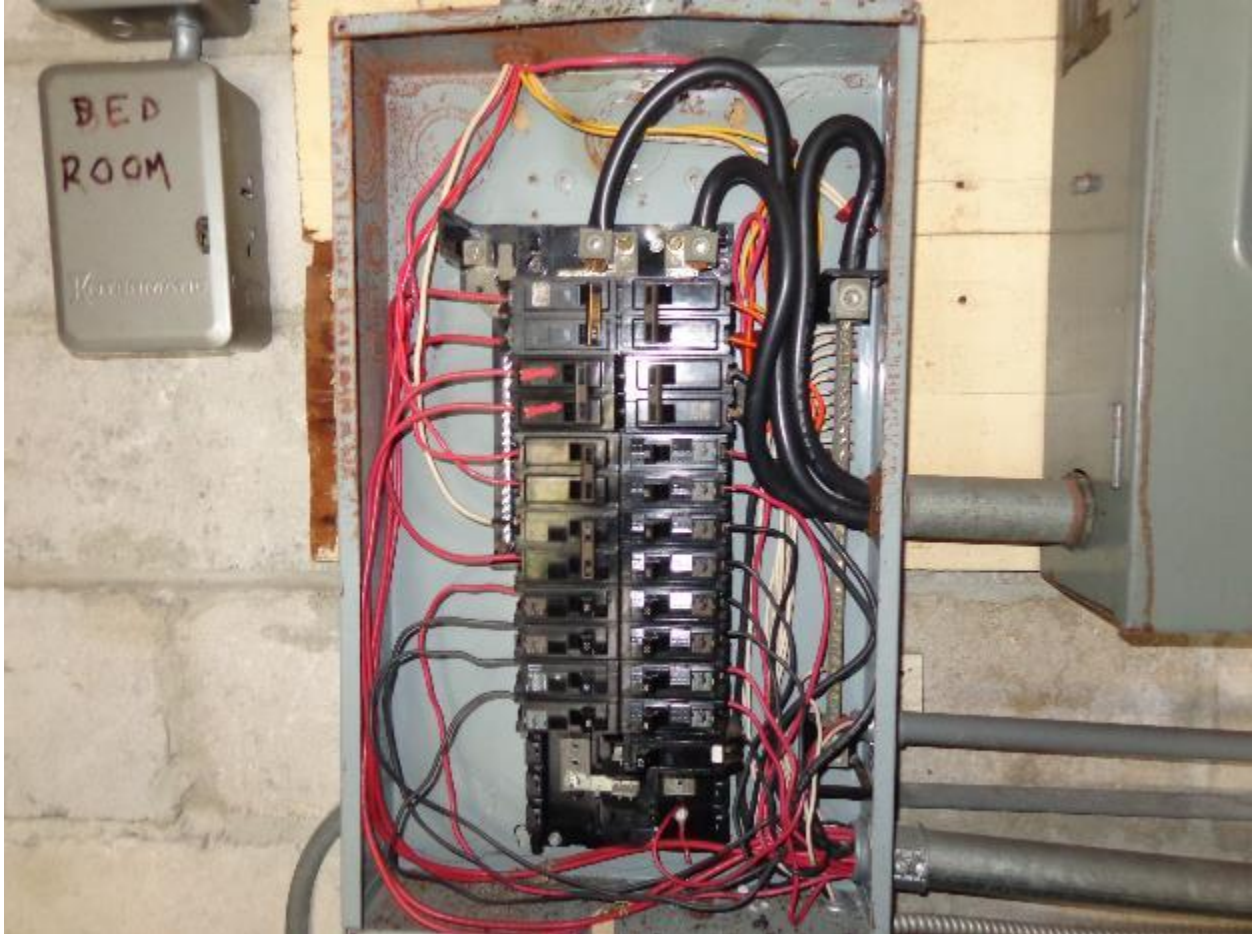
Electrical breaker panel in good condition at the time of inspection.

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Electrical breaker panel in good condition at the time of inspection.

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Double taps noted during inspection in main disconnect panel.

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Double taps noted during inspection in main disconnect panel.

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Junction box was found to be in general good condition.

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Signs of water infiltration due to roof failure noticed at the habitable space ceiling; allowances must be made for roofing and ceiling repair.

Minimum roofing repairs required, related to active leaks and water marks noted inside habitable space.

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