



SHEET INDEX	
ARCHITECTURE	
SHEET NO.	SHEET NAME
A-0.00	COVER
A-0.01	3D RENDERING
A-0.02	3D RENDERING
A-0.04	CONTEXT PLAN
A-0.05	AERIAL CONTEXT
A-1.00	SURVEY
A-1.00A	SURVEY
A-1.01	ZONING MAP
A-1.02	RENDERED SITE PLAN
A-1.02A	SITE DETAILS
A-1.02B	SITE DETAILS
A-1.03	PROJECT DATA
A-1.03A	MIXED USE DIAGRAMS
A-1.04	MEDITERRANEAN BONUS COMPLIANCE
A-1.04A	MEDITERRANEAN BONUS COMPLIANCE
A-1.04B	MEDITERRANEAN BONUS COMPLIANCE
A-1.04C	MEDITERRANEAN BONUS COMPLIANCE
A-1.04D	MEDITERRANEAN BONUS COMPLIANCE
A-1.04E	MEDITERRANEAN BONUS COMPLIANCE
A-1.05	FAR DIAGRAMS
A-1.06	OPEN SPACE (PUBLIC BENEFIT EXHIBIT)
A-1.07A	MASSING (PUBLIC BENEFIT EXHIBIT)
A-1.07B	MASSING (PUBLIC BENEFIT EXHIBIT)
A-1.08	ELEVATION (PUBLIC BENEFIT EXHIBIT)
A-1.09	PEDESTRIAN REALM (PUBLIC BENEFIT EXHIBIT)
A-2.00	SITE GROUND FLOOR PLAN
A-2.01	2ND FLOOR PLAN
A-2.02	TYP. 3RD-4TH FLOOR PLAN
A-2.03	TYP. 5TH-6TH FLOOR PLAN
A-2.04	7TH FLOOR PLAN
A-2.05	ROOF PLAN
A-3.00	SOUTH ELEVATION
A-3.00A	SOUTH ELEVATION MATERIALS
A-3.01	NORTH ELEVATION
A-3.01A	NORTH ELEVATION MATERIALS
A-3.02	EAST & WEST ELEVATION
A-3.03	COURTYARD ELEVATION
A-3.04	DRIVEWAY FLOOR PLAN & REFERENCE IMAGES
A-3.05	ENLARGED PARTIAL ELEVATIONS AND DETAILS
A-3.06	ENLARGED BALCONY SECTION AND 3D VIEW
A-3.06A	ENLARGED 7TH LEVEL BALCONY
A-3.06B	ENLARGED GROUND AND 7TH LEVEL BALCONY
A-3.06C	ENLARGED NORTH MAIN ENTRY VIEW
A-3.06D	ENLARGED SOUTH MAIN ENTRY VIEW
A-4.00	1 BEDROOM UNIT PLANS
A-4.01	2 BEDROOM UNIT PLANS
A-4.02	2 BEDROOM UNIT PLANS
A-4.03	3 BEDROOM UNIT PLANS
A-4.04	LIVE/WORK UNIT PLANS
LANDSCAPE	
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION MA
HS-1	PUBLIC REALM AMENITIES PLAN + GROUND FLOOR HARDSCAPE PLAN
HS-2	POOL DECK HARDSCAPE
HS-3	HARDSCAPE DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN + POOL DECK
L-3	LANDSCAPE DETAILS

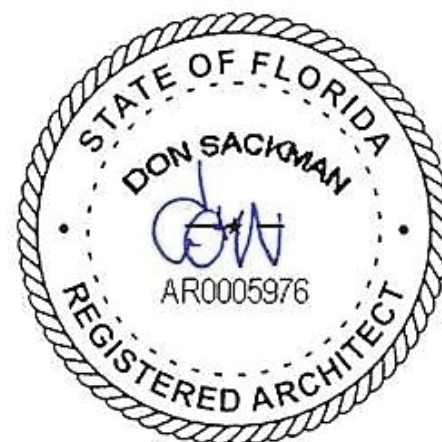
LANDSCAPE:



ENGINEERING:



355 ALHAMBRA CIRCLE SUITE 1400  
CORAL GABLES, FL 33134



# ALEXAN CRAFTS

330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383



**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**3D RENDERING**

**PHASE:**

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 10/29/2021

**SHEET NUMBER:**

**A-0.01**



**CORWILARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**3D RENDERING**

**PHASE:**

**BOA SUBMITTAL**

**SE**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 10/29/2021

**SHEET NUMBER:**

**A-0.02**



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 9



VIEW 10



VIEW 7



VIEW 8



VIEW 11



VIEW 12



**CORWILARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**CONTEXT PLAN**

PHASE:

**BOA SUBMITTAL**

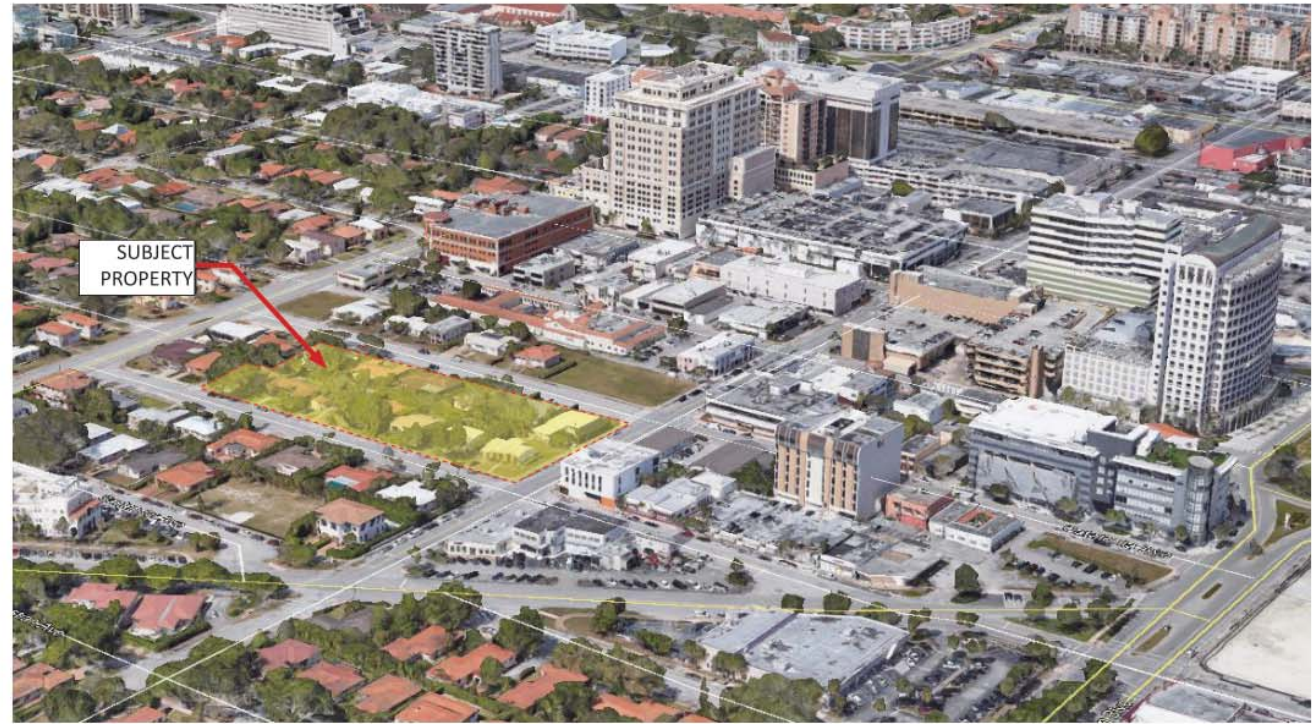


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 07/23/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 09/27/2021

SHEET NUMBER:

**A-0.04**



**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**AERIAL CONTEXT**

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
 JOB No.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 09/27/2021

SHEET NUMBER:

**A-0.05**



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

SURVEY

PHASE:

BOA SUBMITTAL

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEER.

DATE: 07/23/21  
JOB NO.: 2020-47  
DRAWN BY: RK,AV,CM,JM  
APPR BY: AMC  
PRINTED: 09/27/2021

SHEET NUMBER:

**A-1.00**

**ALTANSPS LAND TITLE SURVEY**

PREPARED FOR:  
**TRAMMEL CROW RESIDENTIAL**  
LYING IN BEING IN SECTION 17, TOWNSHIP 54 SOUTH RANGE 41 EAST  
CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

**J.Hernandez & Associates Inc**  
LAND SURVEYORS AND MAPPERS  
CERTIFICATE OF AUTHORIZATION No. LB8932  
3300 NW 12th AVE. SUITE #10, MIAMI, FL 33172  
(P) 305-526-0086 (E) info@jhassociates.com

DRAWN BY: R.J.G. CHECKED BY: J.G.H. JOB NUM.: 152183  
DATE: 01/15/21 DATE: 01/16/2021 F.S. MD-23, PG. 42

**LEGAL DESCRIPTION**

LOTS 5 AND 6, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 7 AND 8, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 9 AND 10, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 11 AND 12, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 13 AND THE WEST 1/2 OF LOT 14, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 15 AND THE EAST 1/2 OF LOT 14, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 16 AND 17, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 18 AND THE EAST 1/2 OF LOT 19, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 20 AND THE WEST 1/2 OF LOT 19, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 21 AND THE EAST 1/2 OF LOT 22, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 23 AND THE WEST 1/2 OF LOT 22, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 24 AND 25, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 26 AND 27, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING IN BEING IN SECTION 17, TOWNSHIP 54 SOUTH RANGE 41 EAST, CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

**ALTANSPS LAND TITLE SURVEY**

**PROPERTY INFORMATION**

• LOTS 5 AND 6  
PROPERTY ADDRESS: 340 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6940  
PROPERTY AREA: 7.988 ± Sq. Ft. (0.184 ACRES)

• LOTS 7 AND 8  
PROPERTY ADDRESS: 330 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6960  
PROPERTY AREA: 7.988 ± Sq. Ft. (0.184 ACRES)

• LOTS 9 AND 10  
PROPERTY ADDRESS: 322 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6970  
PROPERTY AREA: 7.988 ± Sq. Ft. (0.184 ACRES)

• LOTS 11 AND 12  
PROPERTY ADDRESS: 314 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6980  
PROPERTY AREA: 7.988 ± Sq. Ft. (0.184 ACRES)

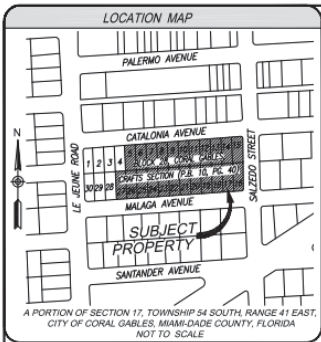
• LOT 13 AND THE WEST 1/2 OF LOT 14  
PROPERTY ADDRESS: 310 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-7000  
PROPERTY AREA: 5.978 ± Sq. Ft. (0.137 ACRES)

• LOT 15 AND THE EAST 1/2 OF LOT 14  
PROPERTY ADDRESS: 317 MALAGA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-7010  
PROPERTY AREA: 5.978 ± Sq. Ft. (0.137 ACRES)

• LOT 16 AND 17  
PROPERTY ADDRESS: 301 MALAGA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-7020  
PROPERTY AREA: 7.977 ± Sq. Ft. (0.183 ACRES)

• LOT 18 AND THE EAST 1/2 OF LOT 19  
PROPERTY ADDRESS: 309 MALAGA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-7030  
PROPERTY AREA: 5.981 ± Sq. Ft. (0.138 ACRES)

• THE WEST 1/2 OF LOT 19 AND LOT 20  
PROPERTY ADDRESS: 333 MALAGA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-7040  
PROPERTY AREA: 5.978 ± Sq. Ft. (0.138 ACRES)



A PORTION OF SECTION 17, TOWNSHIP 54 SOUTH RANGE 41 EAST, CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA NOT TO SCALE

**SURVEYOR'S NOTES**

- 1. FIELD SURVEY WAS COMPLETED ON JANUARY 12, 2021.
- 2. BEARINGS BASED ON AN ASSUMED BEARING OF N86°12'21" E ALONG THE CENTER LINE OF CATALONIA AVENUE.
- 3. LEGAL DESCRIPTION WAS PROVIDED BY CLIENT.
- 4. DISTANCES ALONG BOUNDARY LINES AS SHOWN HEREON ARE RECORDED AND/OR MEASURED UNLESS OTHERWISE NOTED.
- 5. INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.
- 6. UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- 7. ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- 8. SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM CATALONIA AVENUE, SALEM STREET AND MALAGA AVENUE PUBLIC DEDICATED RIGHT OF WAYS.
- 9. THERE ARE NOT OBSERVED PARKING SPACES WITHIN SUBJECT PROPERTY.
- 10. THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 11. THERE IS NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AND/OR RECENT STREET OR SIDEWALK CONSTRUCTION.
- 12. THERE IS NO OBSERVED EVIDENCE OF WETLANDS WITHIN SUBJECT PROPERTY.
- 13. THERE IS NO PLOTTABLE OFFSITE EASEMENTS SERVICING THE PROPERTY.
- 14. THE ATTESTING LAND SURVEYOR CARRIES PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$1,000,000.
- 15. THE ACCURACY OBTAINED BY FIELD MEASUREMENTS AND OFFICE CALCULATIONS OF CLOSED GEOMETRY FIGURES MEETS AND EXCEEDS THE MINIMAL TECHNICAL STANDARDS OF PRACTICE REQUIREMENTS FOR COMMERCIAL/RISK LINEAR 1 FOOT IN 10,000 FEET AS DEFINED IN RULE 54-17.051 OF THE FLORIDA ADMINISTRATIVE CODE.
- 16. THE PROPERTY DESCRIBED IN THE TITLE COMMITMENTS DESCRIBES THE SAME PROPERTY AS SHOWN ON THE SURVEY.
- 17. SUBJECT PROPERTY IS CONTIGUOUS TO CATALONIA AVENUE, SALEM STREET AND MALAGA AVENUE, ALONG THE RESPECTIVE PROPERTY LINES, AND THERE ARE NO GAPS, GORES, STRIPS OR OVERLAPS BETWEEN THE SUBJECT PROPERTY AND THE ADJACENT RIGHTS-OF-WAY.

340 CATALONIA AVENUE

**NOTES REGARDING TITLE COMMITMENT**

PROPERTY ADDRESS: 340 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6940

LEGAL DESCRIPTION:  
LOTS 5 AND 6, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THIS ALTANSPS LAND TITLE SURVEY REFLECTS PLOTTABLE EASEMENTS AND RIGHTS-OF-WAYS SHOWN IN SCHEDULE B-1 OF TITLE COMMITMENT ORDER NUMBER 8990187, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, HAVING AN EFFECTIVE DATE OF 10/27/2020 AT 8:00 A.M.

**NOTES REGARDING SCHEDULE B-1**

6. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF CORAL GABLES CRAFTS SECTION, RECORDED IN PLAT BOOK 10, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY BUT NOT PLOTTABLE.

7. EASEMENT RECORDED IN DEED BOOK 839, AT PAGE 106, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY, PLOTTED ON SURVEY.

8. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

9. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

10. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

11. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

12. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

13. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

14. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

15. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

16. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

17. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

18. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

19. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

20. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

21. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

22. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

23. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

24. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

25. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

26. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

27. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

28. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

29. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

30. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

330 CATALONIA AVENUE

**NOTES REGARDING TITLE COMMITMENT**

PROPERTY ADDRESS: 330 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6960

LEGAL DESCRIPTION:  
LOTS 7 AND 8, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THIS ALTANSPS LAND TITLE SURVEY REFLECTS PLOTTABLE EASEMENTS AND RIGHTS-OF-WAYS SHOWN IN SCHEDULE B-1 OF TITLE COMMITMENT ORDER NUMBER 8990187, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, HAVING AN EFFECTIVE DATE OF 10/27/2020 AT 8:00 A.M.

**NOTES REGARDING SCHEDULE B-1**

6. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF CORAL GABLES CRAFTS SECTION, RECORDED IN PLAT BOOK 10, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY BUT NOT PLOTTABLE.

7. EASEMENT RECORDED IN DEED BOOK 839, AT PAGE 106, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY, PLOTTED ON SURVEY.

8. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

9. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

10. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

11. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

12. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

13. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

14. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

15. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

16. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

17. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

18. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

19. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

20. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

21. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

22. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

23. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

24. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

25. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

26. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

27. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

28. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

29. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

30. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

322 CATALONIA AVENUE

**NOTES REGARDING TITLE COMMITMENT**

PROPERTY ADDRESS: 322 CATALONIA AVENUE  
CORAL GABLES FL 33134  
FOLIO NUMBER: 03-4117-005-6970

LEGAL DESCRIPTION:  
LOTS 9 AND 10, BLOCK 28, CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THIS ALTANSPS LAND TITLE SURVEY REFLECTS PLOTTABLE EASEMENTS AND RIGHTS-OF-WAYS SHOWN IN SCHEDULE B-1 OF TITLE COMMITMENT ORDER NUMBER 8990187, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, HAVING AN EFFECTIVE DATE OF 10/27/2020 AT 8:00 A.M.

**NOTES REGARDING SCHEDULE B-1**

6. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF CORAL GABLES CRAFTS SECTION, RECORDED IN PLAT BOOK 10, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY BUT NOT PLOTTABLE.

7. EASEMENT RECORDED IN DEED BOOK 839, AT PAGE 106, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - AFFECTS PROPERTY, PLOTTED ON SURVEY.

8. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.

9. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN THOSE INSTRUMENTS RECORDED IN DEED BOOK 1304, AT PAGE 1, DOES NOT AFFECT PROPERTY, AND DEED BOOK 1304, PAGE 8, AS MAY BE SUBSEQUENTLY AMENDED - AFFECTS PROPERTY, PLOTTED ON SURVEY.



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**SURVEY**

**PHASE:**

**BOA SUBMITTAL**

**SE**



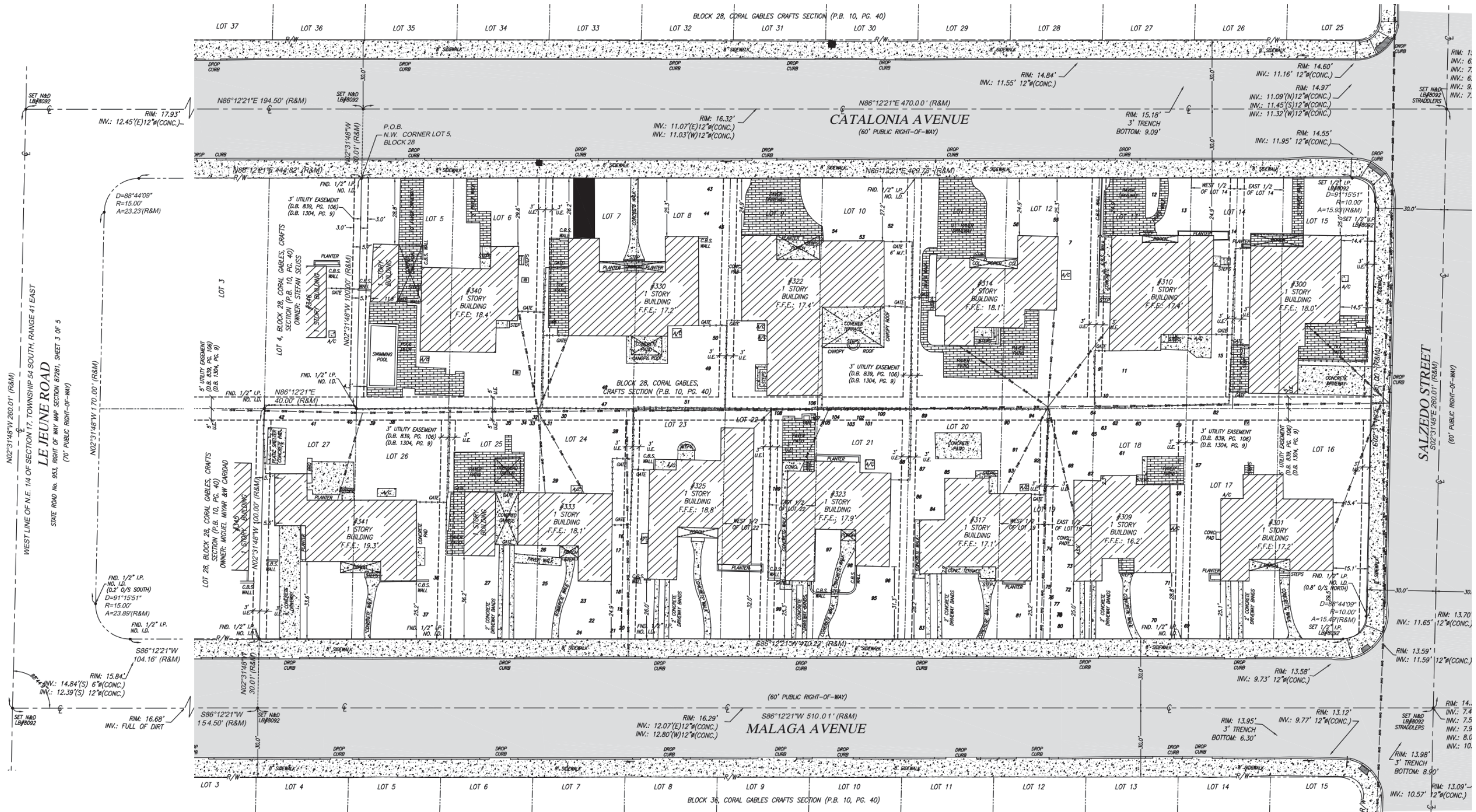
THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEER.

**DATE:** 07/23/21  
**JOB NO.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

**SHEET NUMBER:**

**A-1.00A**

LEGEND AND ABBREVIATIONS			
	CONCRETE POLE		HANDICAP PAINT MARK
	CONCRETE POWER POLE		UTILITY EASEMENT
	CONCRETE LIGHT POLE		3' UTILITY EASEMENT
	ALUMINUM LIGHT POLE		6' UTILITY EASEMENT
	WOOD POLE		8' UTILITY EASEMENT
	WOOD POWER POLE		10' UTILITY EASEMENT
	WOOD LIGHT POLE		12' UTILITY EASEMENT
	TRAFFIC BOX		15' UTILITY EASEMENT
	STREET LIGHT BOX		20' UTILITY EASEMENT
	PHONE BOX		25' UTILITY EASEMENT
	IRRIGATION BOX		30' UTILITY EASEMENT
	HANDICAP PAINT MARK		35' UTILITY EASEMENT
	HANDICAP STROLLER PAINT MARK		40' UTILITY EASEMENT
	UNKNOWN MANHOLE		45' UTILITY EASEMENT
	SEWER MANHOLE		50' UTILITY EASEMENT
	GAS MANHOLE		55' UTILITY EASEMENT
	IRRIGATION MANHOLE		60' UTILITY EASEMENT
	GREASE TRAP MANHOLE		65' UTILITY EASEMENT
	GAS MANHOLE		70' UTILITY EASEMENT
	STREET LIGHT MANHOLE		75' UTILITY EASEMENT
	ELECTRICITY MANHOLE		80' UTILITY EASEMENT
	IRRIGATION MANHOLE		85' UTILITY EASEMENT
	DRAINAGE MANHOLE		90' UTILITY EASEMENT
	ELECTRIC BOX		95' UTILITY EASEMENT
	COMMUNICATION BOX		100' UTILITY EASEMENT
	CABLE T.V. BOX		105' UTILITY EASEMENT
	UNKNOWN BOX		110' UTILITY EASEMENT
	TRAFFIC CONTROL BOX		115' UTILITY EASEMENT
	CLEANOUT		120' UTILITY EASEMENT
	BELL SOUTH MANHOLE		125' UTILITY EASEMENT
	PARKING METER		130' UTILITY EASEMENT
	WATER VALVE		135' UTILITY EASEMENT
	SEWER VALVE		140' UTILITY EASEMENT
	GAS VALVE		145' UTILITY EASEMENT
	FIRE MAIN VALVE		150' UTILITY EASEMENT
	VACUUM BREAKER ASSEMBLY		155' UTILITY EASEMENT
	SEWER CONNECTION		160' UTILITY EASEMENT
	POST INDICATOR VALVE		165' UTILITY EASEMENT
	SQUARE COLUMN		170' UTILITY EASEMENT
	ROUND COLUMN		175' UTILITY EASEMENT
	MAIL BOX		180' UTILITY EASEMENT
	IRRIGATION PUMP		185' UTILITY EASEMENT
	CLEANOUT POST		190' UTILITY EASEMENT
	GROUND LIGHT		195' UTILITY EASEMENT
	FLAG POLE		200' UTILITY EASEMENT
	DRAINAGE WELL		205' UTILITY EASEMENT
	PS INLET		210' UTILITY EASEMENT
	CURB INLET		215' UTILITY EASEMENT
	FIRE HYDRANT		220' UTILITY EASEMENT
	DOUBLE DETECTOR CHECK VALVE		225' UTILITY EASEMENT
	BACK FLOW PREVENTOR		230' UTILITY EASEMENT
	PROPERTY LINE		235' UTILITY EASEMENT
	CENTERLINE		240' UTILITY EASEMENT
	RIGHT-OF-WAY		245' UTILITY EASEMENT
	RADIUS		250' UTILITY EASEMENT
	SELLA ANGLE		255' UTILITY EASEMENT
	ARC DISTANCE		260' UTILITY EASEMENT
	PERMANENT REFERENCE MONUMENT		265' UTILITY EASEMENT
	FLAT BOOK AND PAGE		270' UTILITY EASEMENT
	SHADING UTILITY LINES		275' UTILITY EASEMENT
	ORIGINAL RECORD BOOK		280' UTILITY EASEMENT
	CBS CONCRETE BLOCK STRUCTURE		285' UTILITY EASEMENT
	CONCRETE		290' UTILITY EASEMENT
	CIRCULAR DRAINAGE		295' UTILITY EASEMENT
	CATCH BASIN		300' UTILITY EASEMENT
	ACCESS MANHOLE		305' UTILITY EASEMENT
	SINGLE INLET		310' UTILITY EASEMENT
	TRAFFIC SIGNAL POLE		315' UTILITY EASEMENT
	SURVEILLANCE CAMERA		320' UTILITY EASEMENT
	PEDESTRIAN CROSS SIGN		325' UTILITY EASEMENT
	PRECAST ASPHALT		330' UTILITY EASEMENT
	CURB & GUTTER		335' UTILITY EASEMENT
	VALLEY GUTTER		340' UTILITY EASEMENT
	CHAIN LINK FENCE		345' UTILITY EASEMENT
	WOOD FENCE		350' UTILITY EASEMENT
	FOUND IRON PIPE		355' UTILITY EASEMENT
	FOUND IRON & BRASS DISC		360' UTILITY EASEMENT
	CLEAR		365' UTILITY EASEMENT
	ENCROACHMENT		370' UTILITY EASEMENT
	DEAD OR LEGAL DISTANCE		375' UTILITY EASEMENT
	MEASURED DISTANCE		380' UTILITY EASEMENT
	RECORD OR PLATTED DISTANCE		385' UTILITY EASEMENT
	RESIDUAL CALCULATED		390' UTILITY EASEMENT
	UTILITY EASEMENT		395' UTILITY EASEMENT



ALTA/NSPS LAND TITLE SURVEY



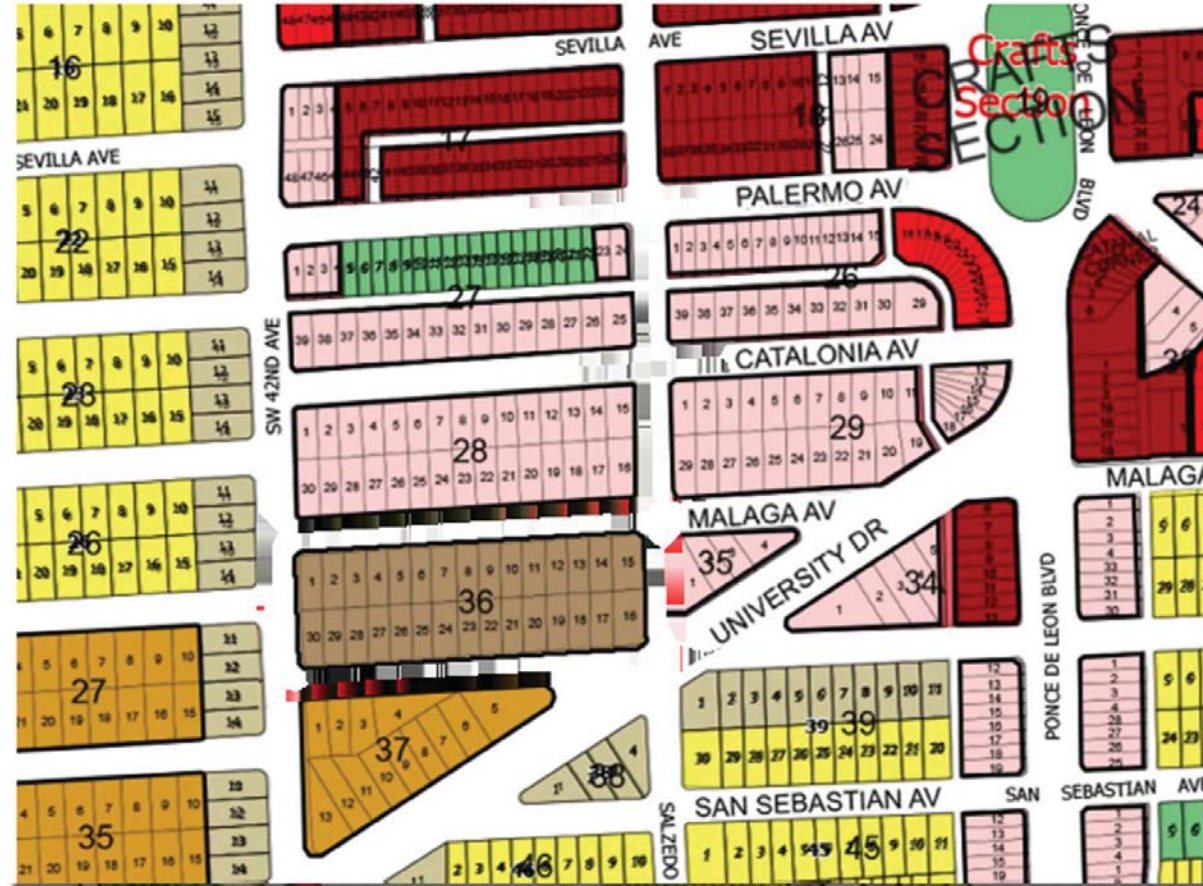
**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
 ALEXAN CRAFTS  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
  
 TCR  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

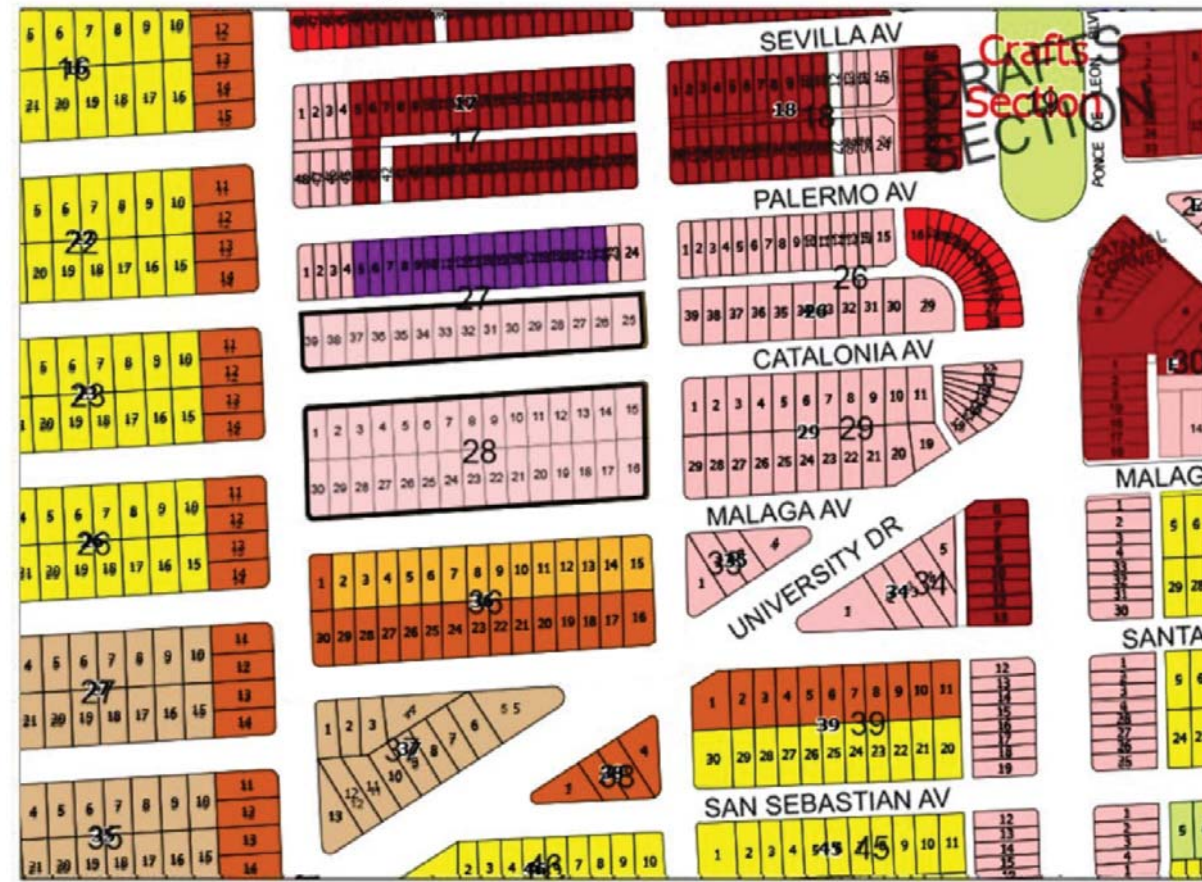
### Proposed Zoning Map



### Zoning Map

- Zoning Districts**
- (SFR) Single-Family Residential District
  - (S) Special Use District
  - (MF1) Multi-Family 1 Duplex District
  - (P) Preservation District
  - (MF2) Multi-Family 2 District
  - (MX1) Mixed-Use 1
  - (MF3) Multi-Family 3 District
  - (MX2) Mixed-Use 2
  - (MF4) Multi-Family 4 District
  - (MX3) Mixed-Use 3

### Existing Future Land Use Map



### Future Land Use Map

- Land Use Classifications**
- Residential Single-Family Low Density (6 Units/Acre)
  - Residential Single-Family High Density (9 Units/Acre)
  - Residential Multi-Family Duplex Density (9 Units/Acre)
  - Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)
  - Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre)
  - Residential Multi-Family High Density (150 Feet; 60 Units/Acre)
  - Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)
  - Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)
  - Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)
  - Industrial
  - University Campus
  - University Campus Multi-Use Area
  - Education
  - Parks and Recreation
  - Open Space
  - Mixed-Use Overlay District
  - Conservation Areas
  - Public Buildings and Grounds
  - Hospital
  - Religious/Institutional
  - Community Services and Facilities
  - Mixed-Use

ZONING MAP

PHASE:

BOA SUBMITTAL



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

**DATE:** 07/23/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

SHEET NUMBER:

**A-1.01**



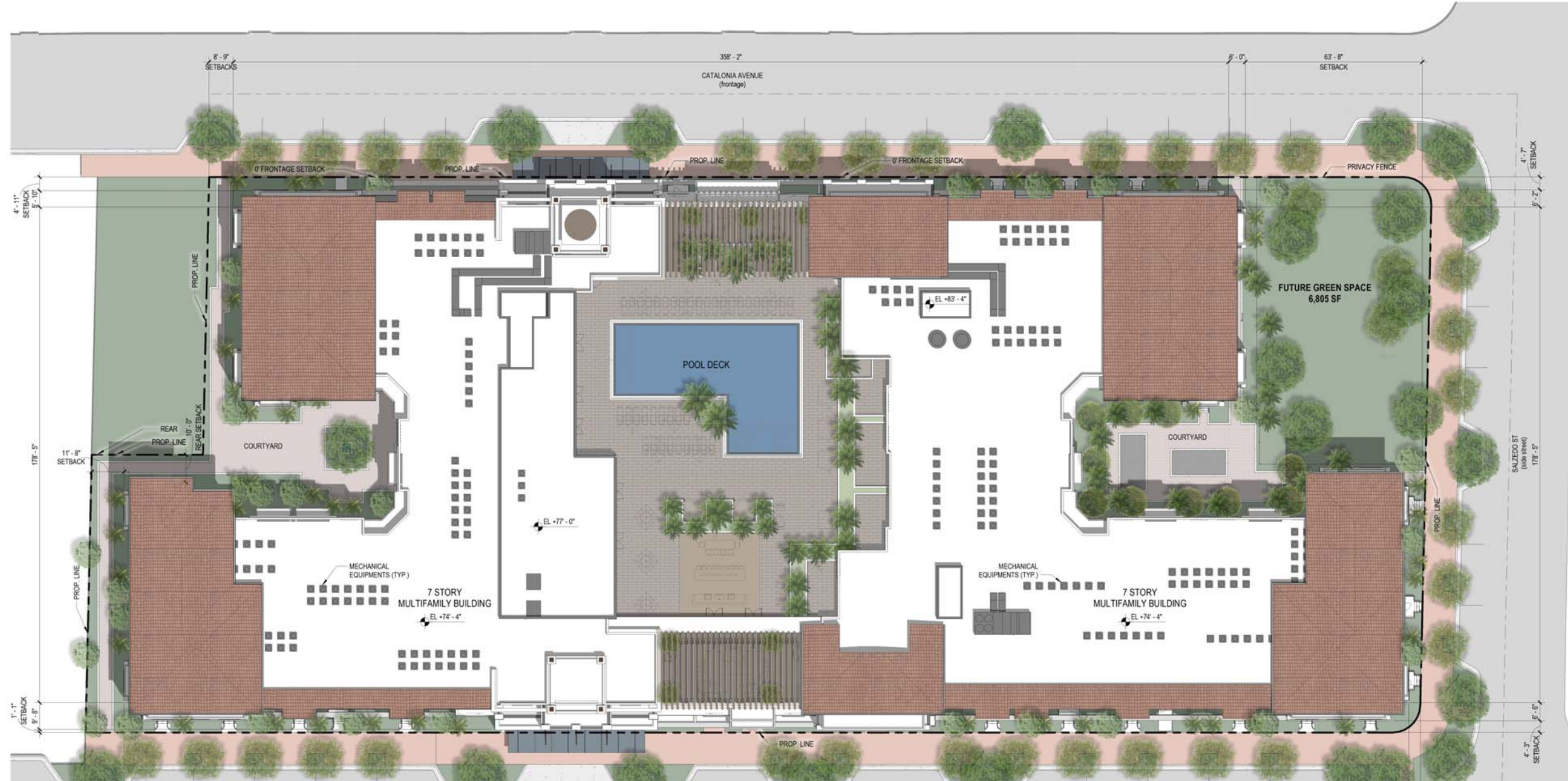


**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



**OWNER:**  
 6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487



**SITE PLAN**  
 SCALE: 1" = 20'-0"

**RENDERED SITE PLAN**

PHASE:

**BOA SUBMITTAL**

SI

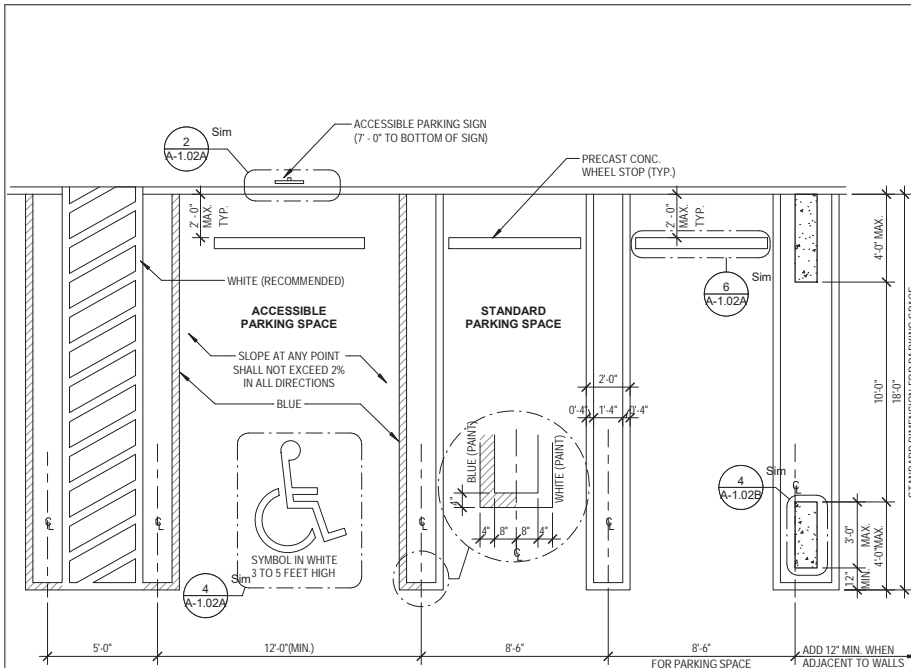


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

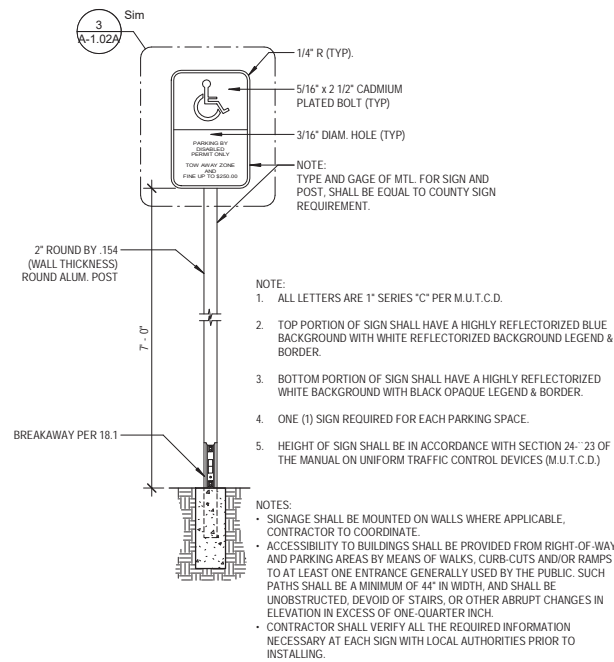
**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

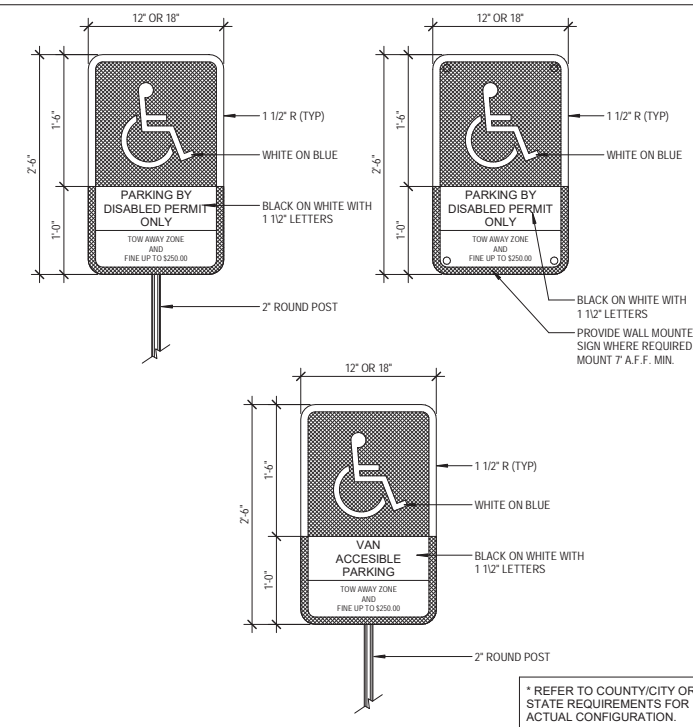
**A-1.02**



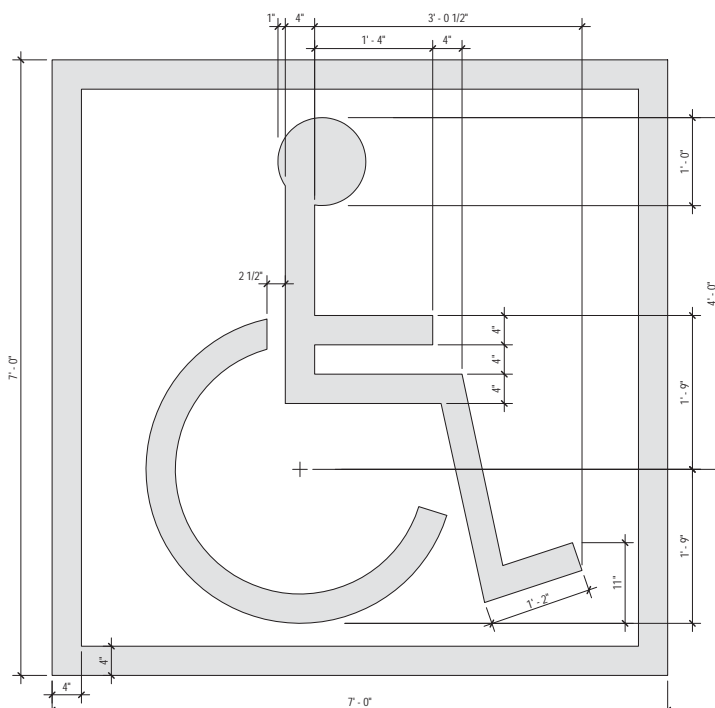
**1 ACCESSIBLE AND STANDARD PARKING DETAIL**  
SCALE: 1/4" = 1'-0"



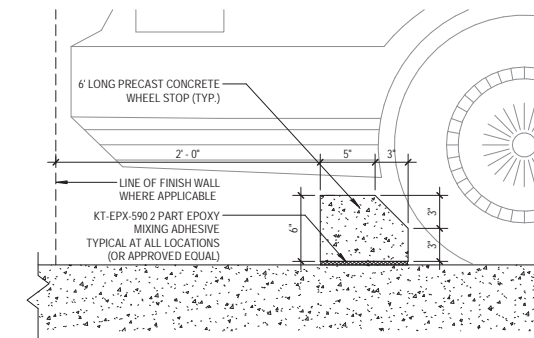
**2 ACCESSIBLE PARKING SPACE SIGN**  
SCALE: 1/4" = 1'-0"



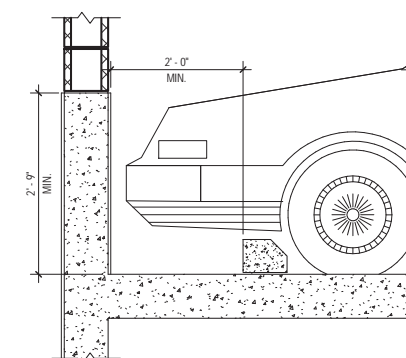
**3 ACCESSIBLE PARKING SIGN DETAIL**  
SCALE: 1" = 1'-0"



**4 STRIPPED SYMBOL @ H.C. PARKING STALL**  
SCALE: 1" = 1'-0"



**5 TYPICAL WHEEL STOP DETAIL**  
SCALE: 1 1/2" = 1'-0"



**6 TYPICAL CRASH WALL/ WHEEL STOP DETAIL**  
SCALE: 3/4" = 1'-0"



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

SITE DETAILS

PHASE:

**BOA SUBMITTAL**

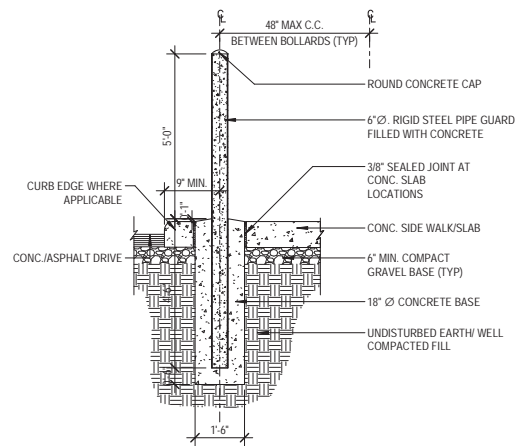


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

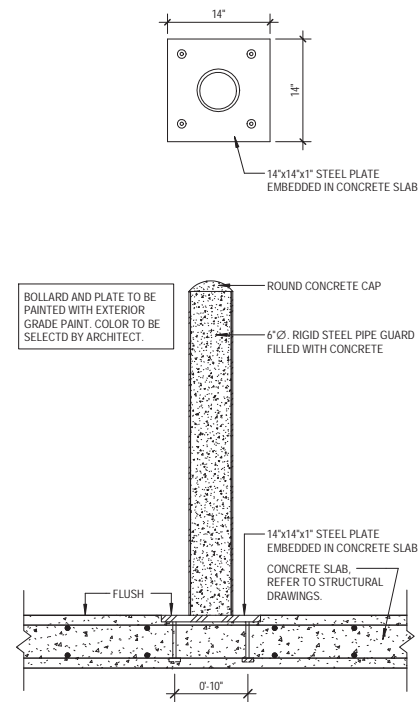
**DATE:** 07/23/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

SHEET NUMBER:

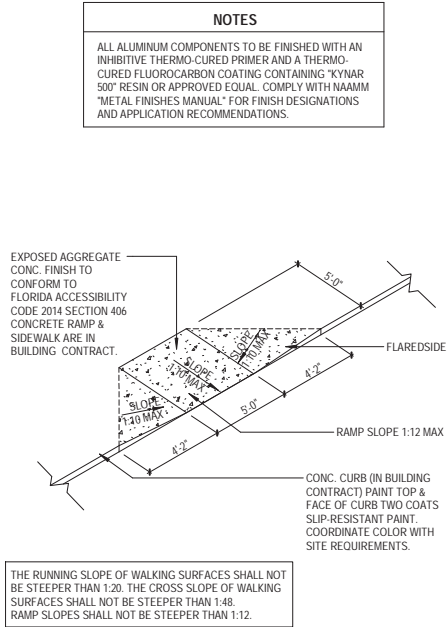
**A-1.02B**



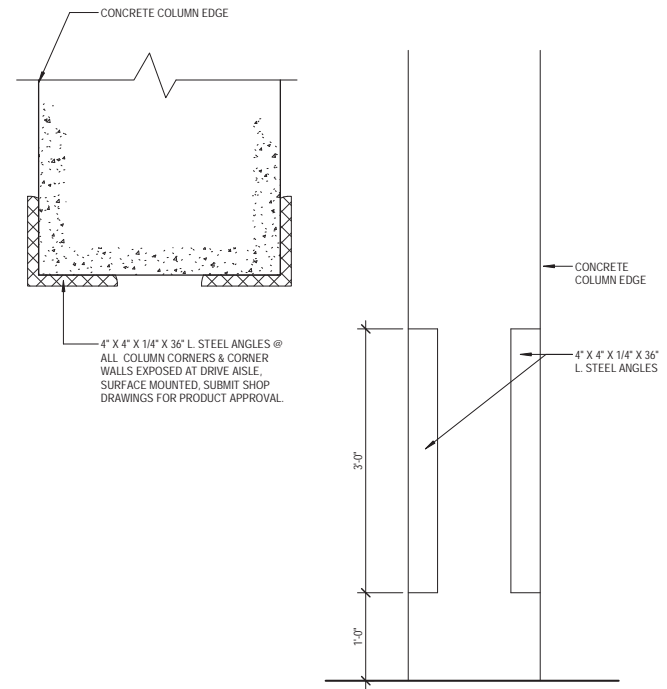
**1 TYPICAL BOLLARD AT GROUND FLOOR**  
SCALE: 3/8" = 1'-0"



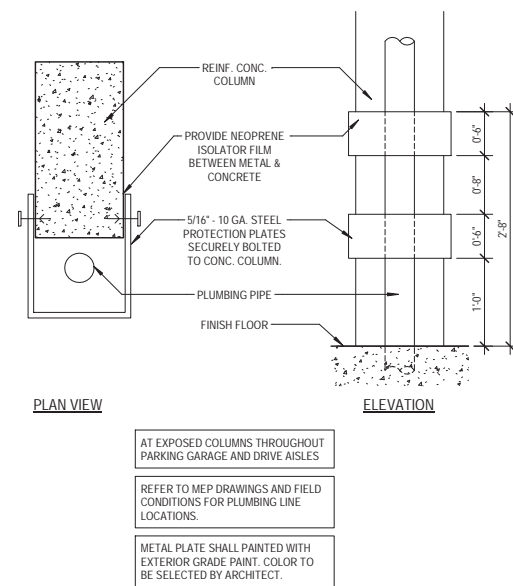
**2 TYPICAL BOLLARD AT ELEVATED SLABS**  
SCALE: 1" = 1'-0"



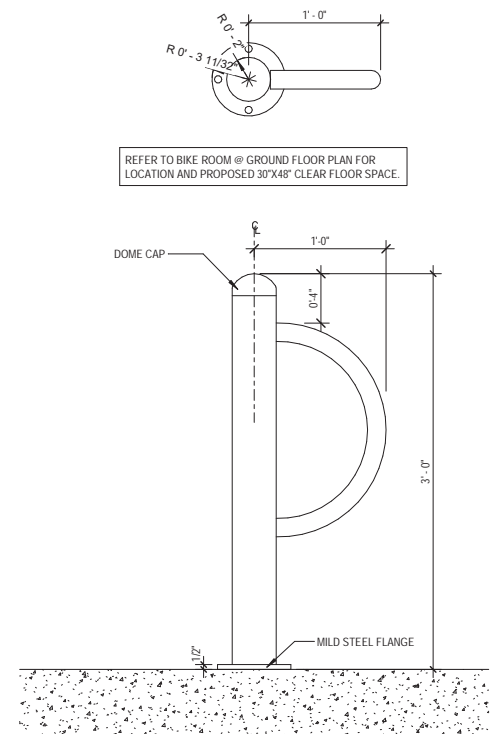
**3 CONCRETE RAMP SLOPE**  
SCALE: 1" = 1'-0"



**4 COLUMN GUARD DETAIL**  
SCALE: 1" = 1'-0"



**5 TYPICAL STEEL PIPE PROTECTION**  
SCALE: 1" = 1'-0"



**6 TYPICAL FLOOR MOUNTED BIKE RACK DETAIL**  
SCALE: 1 1/2" = 1'-0"



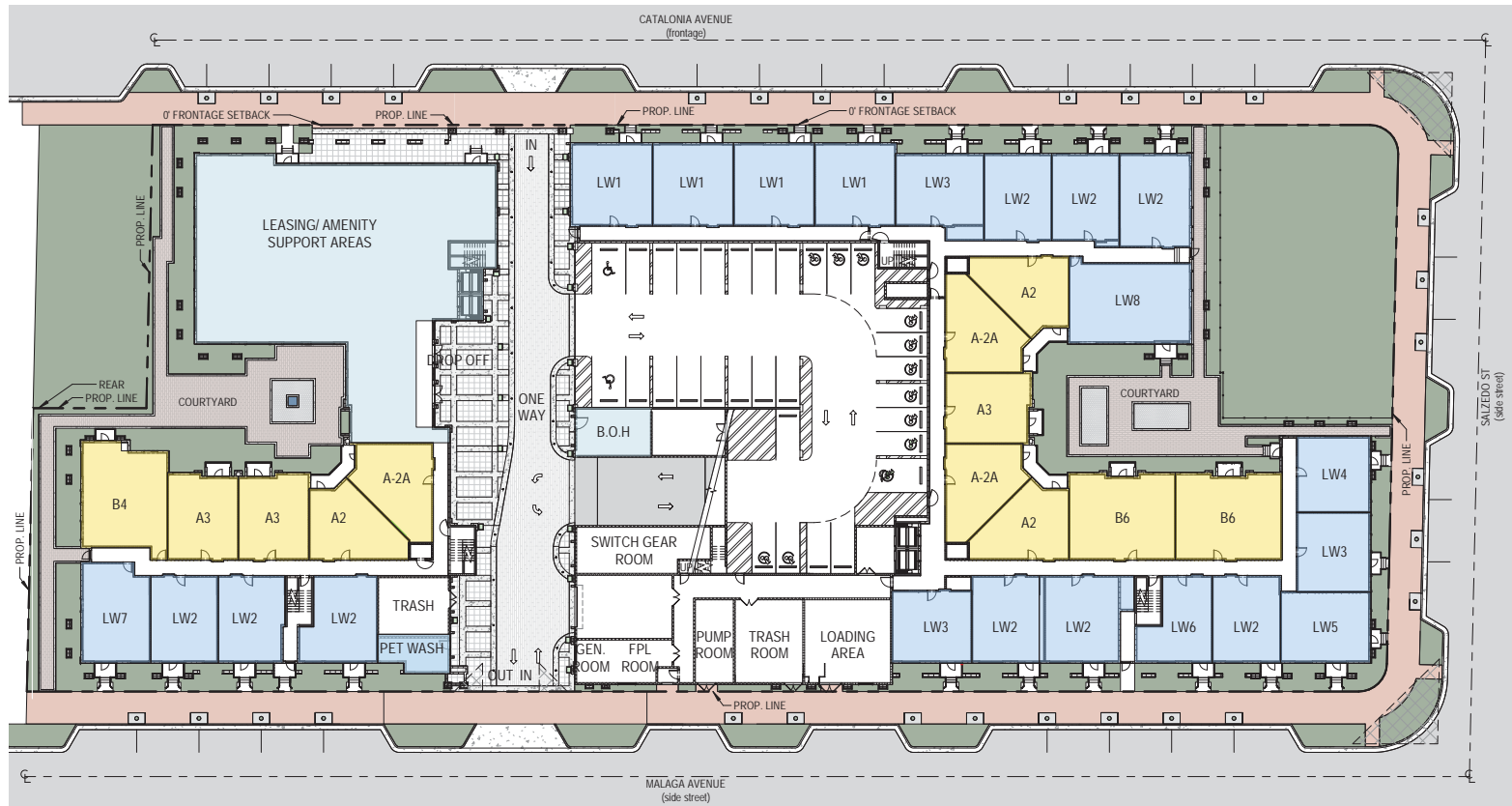
**CORWILARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



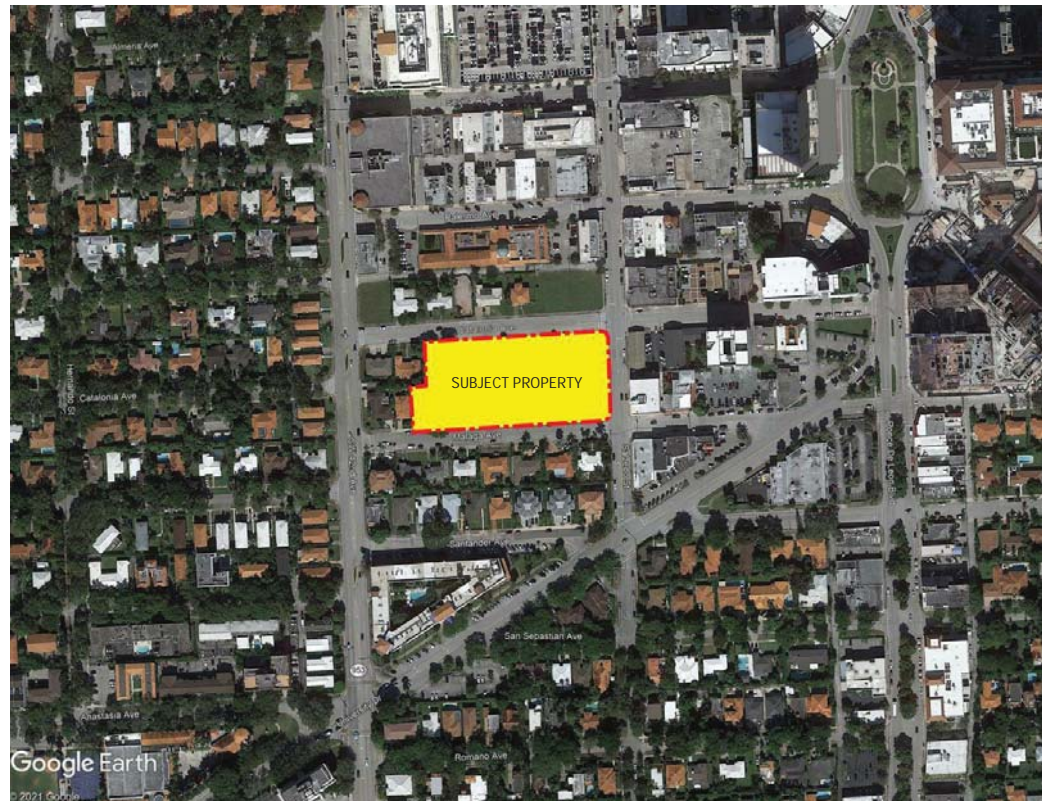
OWNER:  
**6400 Congress Avenue, Suite 1050**  
Boca Raton, FL 33487

PROJECT DATA



**MIXED USE DIAGRAM**

SCALE: 1" = 30'-0"



PROJECT DATA			
EXISTING ZONING	MIXED USE I (MX 1)		
EXISTING LAND USE	COMMERCIAL LOW-RISE INTENSITY		
1) LAND AREA	91,933 SF (2.11 ACRES)		
2) MIN. PARCEL OF LAND	10,000 S.F.	MIN. REQUIRED / ALLOWED	PROPOSED / PROVIDED
3) SETBACKS	FRONT (Catalonia Ave): 0'-0" SIDE STREET (Malanga Ave): 0'-0" SIDE STREET (Salzedo St): 0'-0" SIDE: 0'-0" REAR: 10'-0"		91,933 S.F. 0" 1'-1" 4'-1" 11'-8" 10'-0"
4) STEPBACKS	FRONT (Catalonia Ave): 10'-0" SIDE STREET (Malanga Ave): 10'-0" SIDE STREET (Salzedo St): 10'-0" SIDE: 15'-0" REAR: 10'-0"		10'-0" 10'-0" 10'-0" 16'-10" 11'-4"
5) FLOOR AREA RATIO (FAR)	*per Mediterranean bonus II	321,766 SF	311,352 SF
6) HEIGHT	*Subject to City Commission approval per Section 2-500(B)(2) of the Zoning Code.	6 STORIES	7 STORIES* - 77'-0" (MAX) 73'-8" (T.O. Roof Slab - at residential areas) 77'-0" (T.O. Roof Slab - from amenity areas)
7) OPEN SPACE	LAND AREA x (20%)	TOTAL = 18,386 SF (MIN)	Open to Sky = 19,453 (21.1%) Covered Open Space (8,777 SF) x 75% = 6,583 SF (7.20%) Total = 26,036 SF (28.32%)
8) PARKING CALCULATION	H.C. ACCESSIBLE	301 to 400 = 8 spaces, 2 of which are van *per FL Building code	9 H.C. (Ground Floor = 3 H.C. Intermediate = 1 H.C. 2nd Floor = 1 H.C. 3rd Floor = 1 H.C. 4th Floor = 1 H.C. 5th Floor = 1 H.C. 6th Floor = 1 H.C.)
	EV PARKING WITH CHARGING STATION	364 x (2% min.) = 8 SP (MIN)	8 SP
	EV-READY	364 x (3% min.) = 11 SP (MIN)	11 SP
	EV-CAPABLE	364 x (15% min.) = 55 SP (MIN)	55 SP
	LIVE/WORK	1 SP + 1 SP PER 350 sf of work area = 8 SP	
	STUDIO/1BD	1 SP x # OF STUDIOS/1BD = 79 SP	
	2 BD AND MORE	1.5 SP x # of 2BD/3BD = 78 SP	
	TOTAL PARKING REQUIRED	377 SP	
	TOTAL PARKING SPACES WITH SHARED PARKING REDUCTION *Refer to Shared Parking Table	357 SP MIN	364 SP
9) BICYCLE STORAGE	BICYCLE PARKING SPACE	Min. 5 bicycles for each 250 parking spaces = 7	14 @ Ground Floor
10) LOADING	Article 5, Division 14 - Table D	Nonresidential floor area ≤ 199,999 sq. ft.: 1 (one)	1 (one)
11) MIXED USE (Refer to "Mixed Use Diagram" to left)	GROUND FLOOR (8% MIN)	LIVE/WORK: 17,138 SF SHARED SUPPORT AREAS: 9,018 SF SUB TOTAL: 25,037 SF (MIN)	26,156 SF
	2ND FLOOR (LIVE/WORK)	LIVE/WORK: 17,029 SF SHARED SUPPORT AREAS: 3,674 SF SUB TOTAL: 20,703 SF	20,703 SF
	7TH FLOOR (SHARED SUPPORT AREAS)		
	TOTAL (15% MIN)	46,723 SF (MIN)	46,859 SF
	RESIDENTIAL (85% MAX)	266,013 SF (MAX)	264,493 SF
12) UNITS & LIVE/WORK		DENSITY: 125 PER ACRE MAX = 125 x 2.11 = 264 units	263 UNITS
		LIVE/WORK	22 LIVE/WORK
		TOTAL	TOTAL = 285

\*Setback and stepback relief is being requested pursuant to the Mediterranean Design and PAD processes.

**LEGAL DESCRIPTION**

LOT 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26 AND 27, BLOCK 28, CORAL GABLES, CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 5, BLOCK 28 OF SAID PLAT OF CORAL GABLES, CRAFTS SECTION; THENCE RUN NORTH 86 DEGREES 12 MINUTES 21 SECONDS EAST, ALONG THE NORTH LINE OF SAID BLOCK 28, FOR 429.78 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 10.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 15.93 FEET THROUGH A CENTRAL ANGLE OF 91 DEGREES 15 MINUTES 51 SECONDS TO A POINT OF TANGENCY; THENCE SOUTH 02 DEGREES 31 MINUTES 48 SECONDS EAST, ALONG THE EAST LINE OF SAID BLOCK 28, FOR 180.00 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 10.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 15.49 FEET THROUGH A CENTRAL ANGLE OF 88 DEGREES 44 MINUTES 09 SECONDS TO A POINT OF TANGENCY; THENCE SOUTH 86 DEGREES 12 MINUTES 21 SECONDS WEST, ALONG THE SOUTH LINE OF SAID BLOCK 28, FOR 470.22 FEET TO THE SOUTHWEST CORNER OF LOT 27, OF SAID BLOCK 28; THENCE NORTH 02 DEGREES 31 MINUTES 48 SECONDS WEST, ALONG THE WEST LINE OF LOT 27 OF SAID BLOCK 28, FOR 100.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 27; THENCE NORTH 86 DEGREES 12 MINUTES 21 SECONDS EAST, ALONG THE NORTH LINE OF LOT 27 OF SAID BLOCK 28, FOR 40.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 27; THENCE NORTH 02 DEGREES 31 MINUTES 48 SECONDS WEST, ALONG THE WEST LINE OF LOT 5 OF SAID BLOCK 28, FOR 100.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND CONTAINING 91,933 SQUARE FEET (2.110

UNIT MIX			
UNIT TYPE	AVG. AREA	COUNT	PERCENT
TH (L/W)	1,676 SF	18 units	6%
STUDIO	631 SF	12 units	4%
STUDIO (L/W)	688 SF	2 units	1%
1 BD	777 SF	165 units	58%
1 BD (L/W)	737 SF	1 units	0.50%
2 BD	1,130 SF	75 units	26%
2 BD (L/W)	1,241 SF	1 units	0.50%
3 BD	1,449 SF	11 units	4%
<b>TOTAL</b>		<b>285</b>	<b>100%</b>

SHARED PARKING CALCULATION													
LAND USE	REQUIRED PARKING SPACES	WEEKDAY						WEEKEND					
		DAY: 8AM - 5PM		EVENING: 5PM - 12AM		NIGHT: 12AM - 8AM		DAY: 8AM - 5PM		EVENING: 5PM - 12AM		NIGHT: 12AM - 8AM	
		Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces
RESIDENTIAL (263 UNITS)	355 SP	60%	213.0	90%	319.5	100%	355.0	80%	284.0	90%	319.5	100%	355.0
OFFICE (22)	22 SP	100%	22.0	10%	2.2	5%	1.1	10%	2.2	5%	1.1	5%	1.1
<b>TOTAL</b>	<b>377 SP</b>		<b>235 SP</b>		<b>322 SP</b>		<b>357 SP</b>		<b>287 SP</b>		<b>321 SP</b>		<b>357 SP</b>

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB NO.: 2020-47  
DRAWN BY: RK,AV,CM,JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.03**

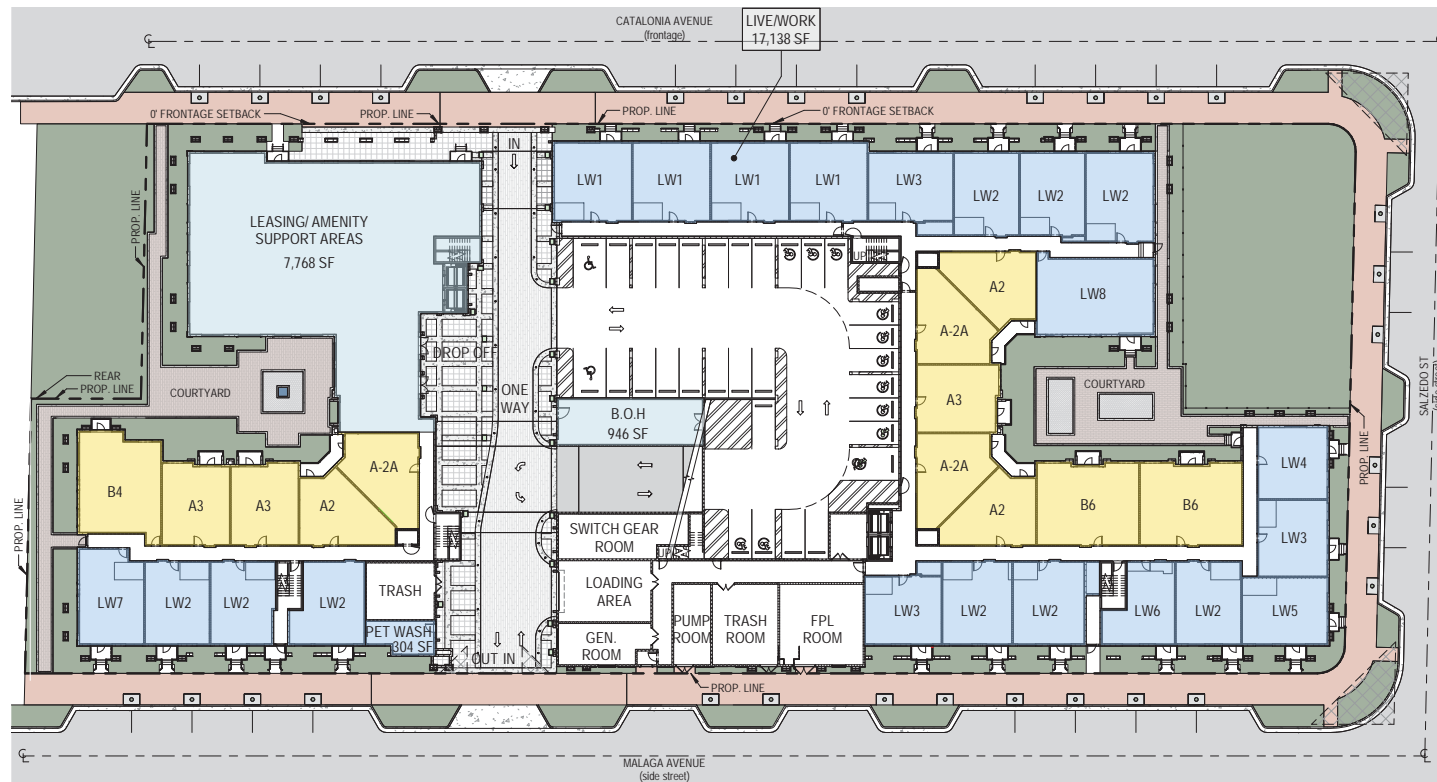


**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

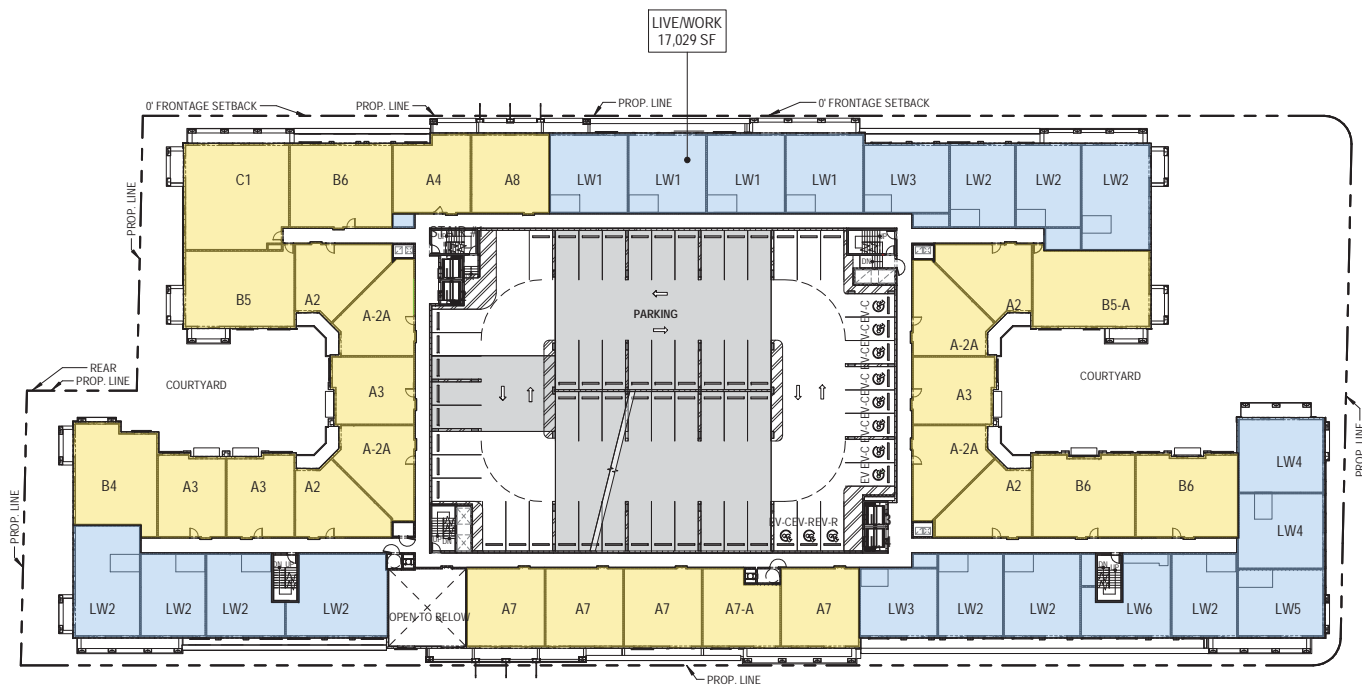
PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



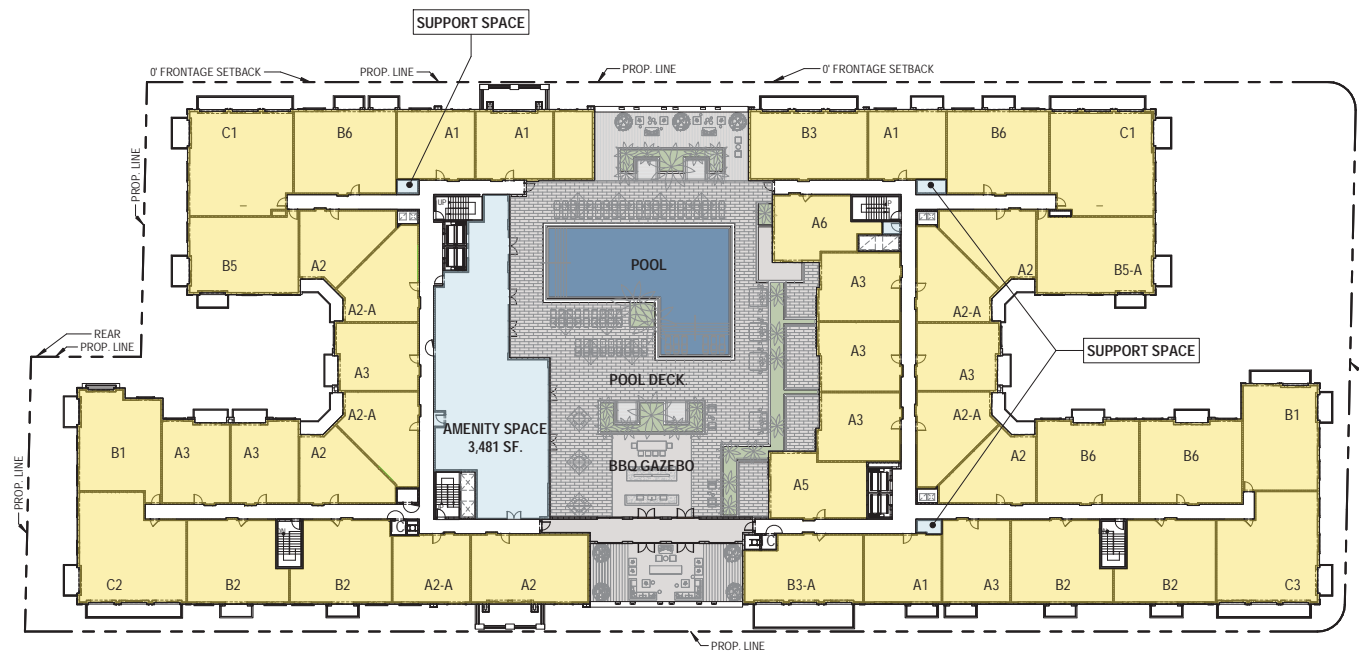
OWNER:  
**TCR**  
 Trammell Crow Residential  
 6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487



**GROUND FLOOR - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"



**2ND FLOOR - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"



**7TH FLOOR PLAN - MIXED USE DIAGRAM**  
 SCALE: 1/32" = 1'-0"

MIXED USE DIAGRAMS

LEGEND		
<span style="display: inline-block; width: 15px; height: 10px; background-color: #ADD8E6; border: 1px solid black;"></span>	PROPOSED RETAIL/COMMERCIAL/OFFICE SPACE	
<span style="display: inline-block; width: 15px; height: 10px; background-color: #FFD700; border: 1px solid black;"></span>	PROPOSED RESIDENTIAL SPACE	
MIXED USE CALCULATION	MIN. REQUIRED	
PROPOSED FAR 311,352 x 8% MIN.	24,908 SF	
	PROVIDED	
GROUND FLOOR (INCLUDES LIVE/WORK & SHARED SUPPORT AREAS)	26,156 SF	8.40%
2ND FLOOR (INCLUDES LIVE/WORK)	17,029 SF	5.47%
7TH FLOOR (INCLUDES SHARED SUPPORT AREAS)	3,674 SF	1.18%
<b>TOTAL</b>	<b>46,859 SF</b>	<b>15.05%</b>
TOTAL RESIDENTIAL (85% MAX.) (GROUND FLR THRU 7TH FLR)	264,493 SF	84.95%

PHASE:

**BOA SUBMITTAL**

SI



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
 JOB NO.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.03A**



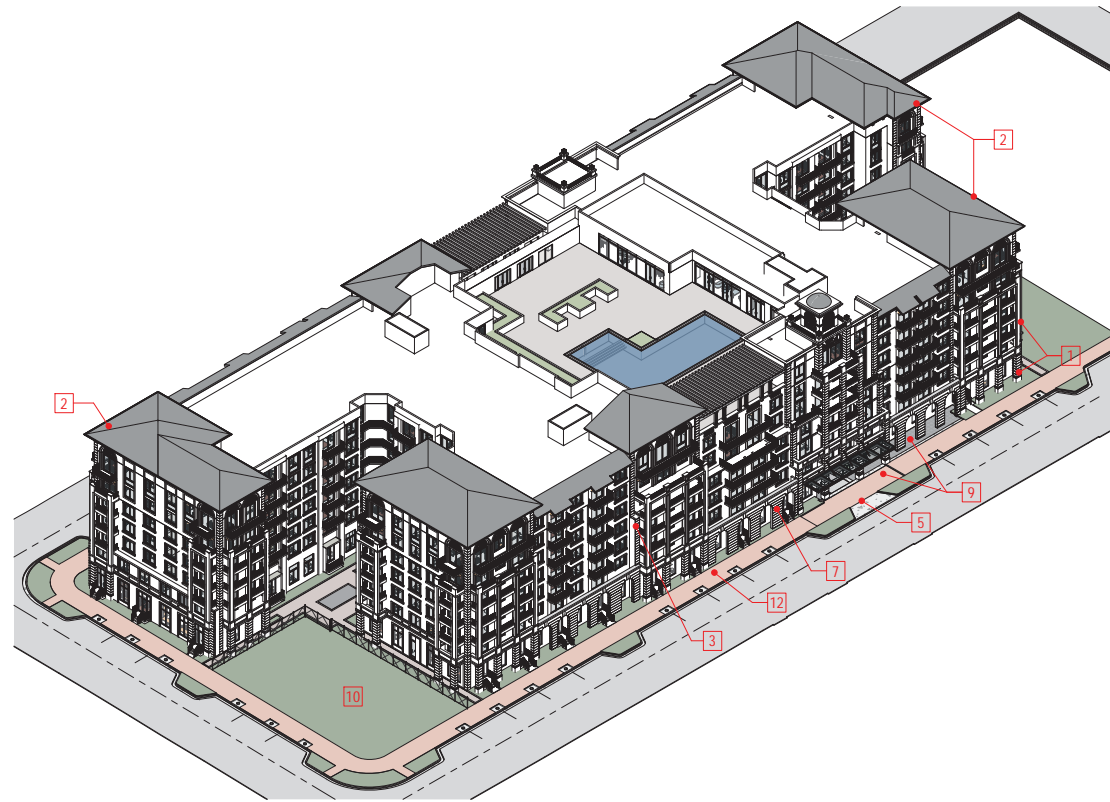
**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



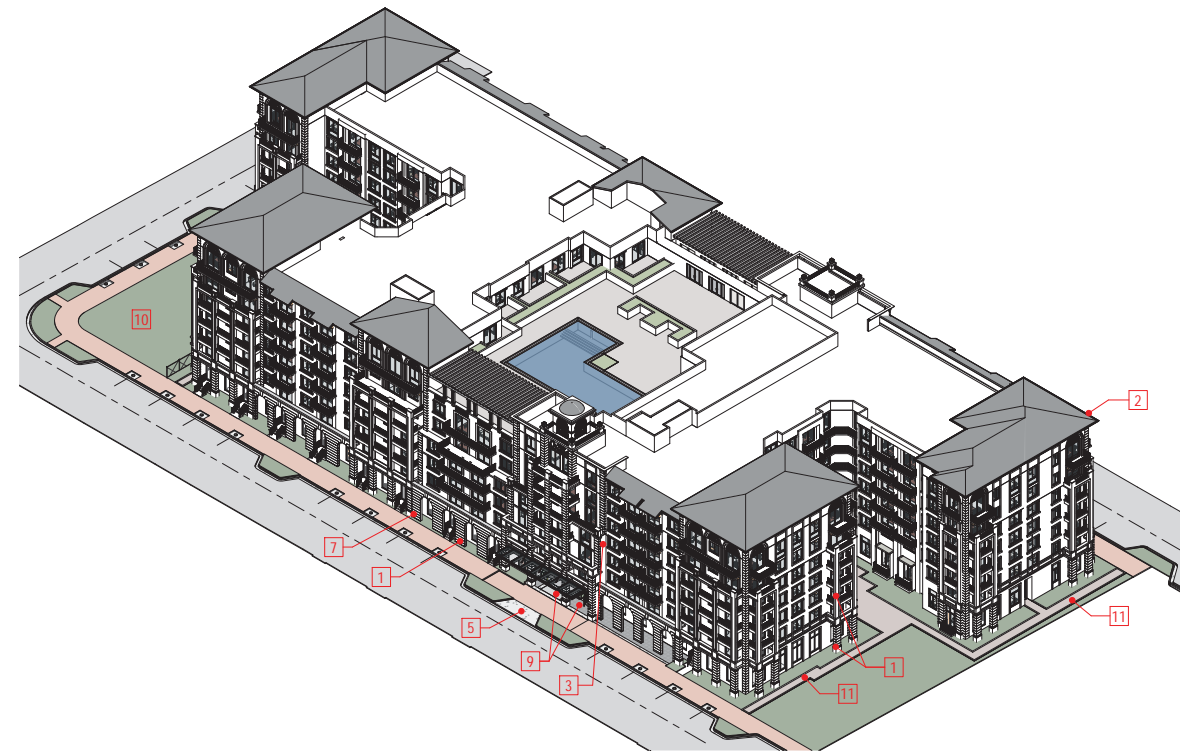
6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**MEDITERRANEAN BONUS COMPLIANCE**



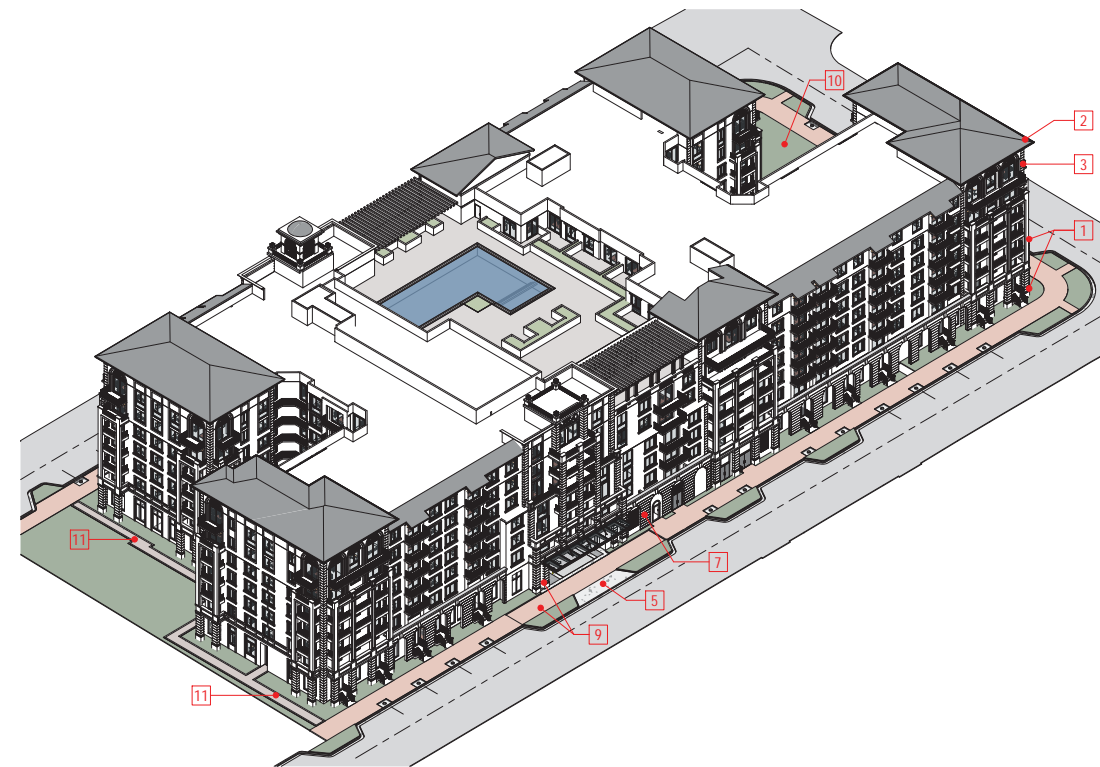
**NE VIEW**

SCALE:



**NW VIEW**

SCALE:



**SW VIEW**

SCALE:

MEDITERRANEAN ARCHITECTURAL DESIGN			
TABLE 1. REQUIRED STANDARDS			
REF.	TYPE	PROVIDED	SHEET REFERENCE
1.	ARCHITECTURAL ELEMENTS ON BUILDING FACADES	YES	SEE A-3.00 - A-3.03
2.	ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL	YES	SEE A-2.00 & A-3.00 - A-3.03
3.	ARCHITECTURAL RELIEF ELEMENTS LOCATED ON THE TOP OF BUILDINGS.	YES	SEE A-3.00 - A-3.03
4.	BICYCLE STORAGE	YES	SEE A-2.00
5.	BUILDING FACADES	YES	SEE A-3.00 - A-3.03
6.	BUILDING LOT COVERAGE	N/A	N/A
7.	DRIVE THROUGH FACILITIES	N/A	N/A
8.	LANDSCAPE OPEN SPACE AREA	YES	SEE A-1.06
9.	LIGHTING, STREET.	YES	SEE LANDSCAPE SHEETS
10.	PARKING GARAGES.	YES	SEE A-2.00
11.	PORTE-COCHERES	N/A	N/A
12.	SIDEWALKS/PEDESTRIAN ACCESS	YES	SEE A-2.00
13.	SOIL, STRUCTURAL	YES	SEE LANDSCAPE SHEETS
14.	WINDOWS ON MEDITERRANEAN BUILDINGS	YES	SEE A-3.00 - A-3.03

MEDITERRANEAN ARCHITECTURAL DESIGN			
TABLE 2. ARCHITECTURAL AND PUBLIC REALM STANDARDS (8OF12 REQUIRED)			
REF.	TYPE	PROVIDED	SHEET REFERENCE
1.	ARCADES AND/OR LOGGIAS	YES	SEE A-2.00
2.	BUILDING ROOFLINES	YES	SEE A-3.00 - A-3.03
3.	BUILDING STEPBACKS	YES	SEE A-3.00 - A-3.03 AND RENDERINGS
4.	BUILDING TOWERS	N/A	N/A
5.	DRIVEWAYS	YES	SEE A-2.00
6.	LIGHTING OF LANDSCAPING	YES	SEE LANDSCAPE SHEETS
7.	MATERIALS ON EXTERIOR BUILDING FACADES	YES	SEE A-3.00 - A-3.03
8.	OVERHEAD DOORS	N/A	N/A
9.	PAVER TREATMENTS	YES	SEE A-2.00 AND LANDSCAPE
10.	PEDESTRIAN AMENITIES	YES	SEE A-2.00 AND LANDSCAPE
11.	PEDESTRIAN PASS-THROUGHS/PASEOS ON PROPERTIES CONTIGUOUS TO ALLEYS AND/OR STREETS	YES	SEE A-2.00 AND LANDSCAPE
12.	UNDERGROUND PARKING	N/A	N/A

\* NUMBERS IN DIAGRAM REPRESENT ITEMS FROM TABLE 2

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
 JOB No.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.04**



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

MEDITERRANEAN BONUS  
COMPLIANCE

PHASE:

BOA SUBMITTAL

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS  
INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE  
CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND  
SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT  
AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

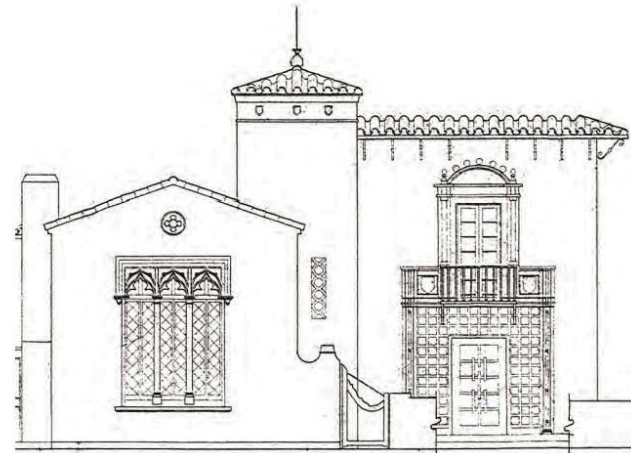
**A-1.04A**



HISTORICAL REFERENCE

THE PROPOSED BUILDING DRAWS ELEMENTS THAT MIRROR THE  
ASTHETIC OF CORAL GABLES AND ITS HISTORY.

THE OVERALL DESIGN USES THE BUILDING COMPONENTS USED IN  
THE H. GEORGE FINK OFFICES, INCORPORATING ELEVATION AND  
MASSING SHIFTS PAIRED WITH HORIZONTAL AND VERTICAL  
ELEMENTS TO SOFTEN THE FACADE OF THE BUILDING.



H. GEORGE FINK OFFICE

THE PROJECT PROPOSES USING TWO ROOF TOP AREAS FOR  
COMMUNAL GATHERING THAT ARE FRAMED BY COLUMNS AND  
OVERHANGING ELEMENTS, GIVING AN ABOVE GROUND OPEN AIR  
RELIEF TO THE BUILDING. SIMILAR TO THE SAN SEBASTIAN  
APARTMENTS, THE SPACE IS ELEVATED OVERLOOKING A PRINCIPLE  
ELEVATION OF THE BUILDING.



SAN SEBASTIAN APARTMENTS

BY USING COLUMNS AT THE GROUND LEVEL UP THROUGH THE  
SECOND LEVEL, THE BUILDING PROPOSES A COVERED TERRACE  
WHICH OVERLOOKS THE COURTYARD. AT GROUND LEVEL, THE  
RETAIL SPACES COME TOGETHER IN A VIEWING ARCADE FRAMED  
BY THE COLUMNS, AS WAS DONE IN THE COLANNADE HOTEL.



COLANNADE HOTEL



TABLE 1

1.	✓	✓	✓	Architectural elements on building facades.	Similar exterior architectural relief elements shall be provided on all sides of all buildings. No blank walls shall be permitted unless required pursuant to applicable City, State and Federal requirements (i.e., Fire and Life Safety Code, etc). Parking garages shall include exterior architectural treatments compatible with buildings or structures that occupy the same property and/or street.
----	---	---	---	---	--

Requirement Satisfied

The project incorporates various architectural reliefs on all facades and does not have any blank walls. Each facade contains window and glass breaks, vertical and horizontal design elements, as well as different planes of view. Parking garage is fully lined by active uses. Please see adjacent elevations and plans.

2.	✓	✓	✓	Architectural relief elements at street level.	On any building facades fronting streets, where an adjoining pedestrian sidewalk is located, one (1) or more of the following design features shall be included at the street level: a. Display windows or retail display area; b. Landscaping; and/or c. Architectural relief elements or ornamentation.
----	---	---	---	--	--

Requirement Satisfied

The project houses landscaping and architectural relief elements on the majority of the ground floor. Please see adjacent elevations and plans.

3.	✓	✓	✓	Architectural elements located on the top of buildings.	Exclusion from height. The following shall be excluded from computation of building height in C, A and M-Use Districts: a. Air-conditioning equipment room. b. Elevator shafts. c. Elevator mechanical equipment rooms. d. Parapets. Roof structures used only for ornamental and/or aesthetic purposes not exceeding a combined area of twenty-five (25%) percent of the floor area immediately below. Such exclusion shall be subject to the provisions that no such structure shall exceed a height of more than twenty-five (25) feet above the roof, except for commercial buildings in the Central Business District (CBD) where no such structure shall exceed one-third (1/3) of the allowable total building height.
----	---	---	---	---	--

Requirement Satisfied

The combined aesthetic roof structures do not exceed more than 25% of the immediate floor below. The mechanical parapet does not exceed more 1/3 of the total building height. Please see adjacent elevations and plans.

4.	✓	✓	✓	Bicycle storage.	To encourage the use of bicycles, bicycle storage facilities (racks) shall be provided. A minimum of five (5) bicycle storage spaces shall be provided for each two hundred and fifty (250) parking spaces or fraction thereof.
----	---	---	---	------------------	---

Requirement Satisfied

Bike racks (14) provided at ground level. Please see adjacent plan.

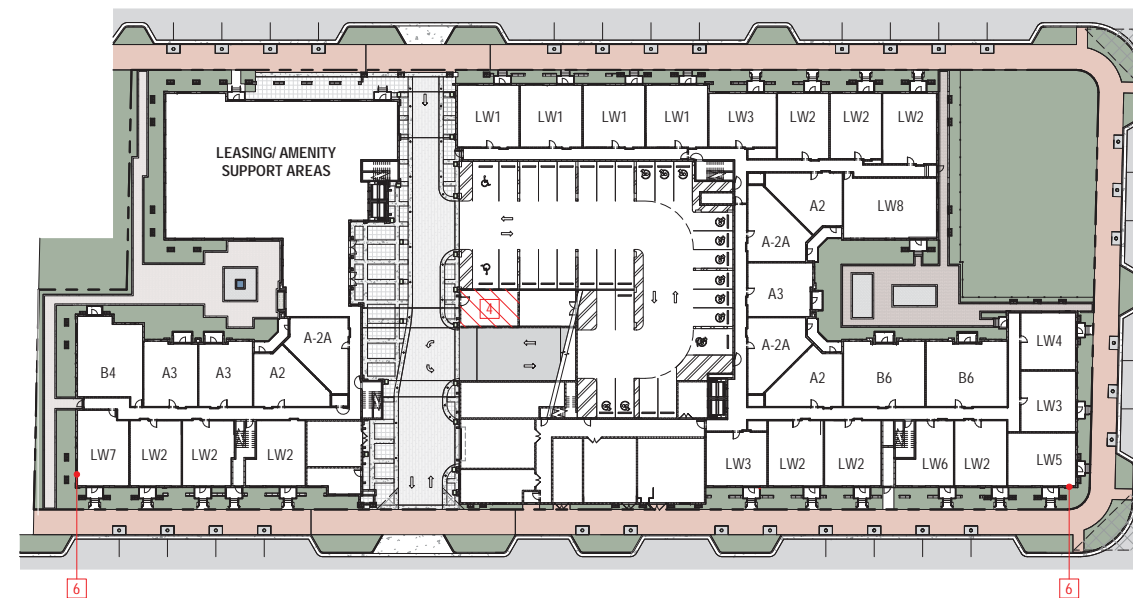
5.	✓	✓	✓	Building facades.	Facades in excess of one hundred and fifty (150) feet in length shall incorporate vertical breaks, stepbacks or variations in bulk/massing at a minimum of one hundred (100) foot intervals.
----	---	---	---	-------------------	--

Requirement Satisfied

Please see elevations, and diagram.

6.	✓	✓	✓	Building lot coverage.	No minimum or maximum building lot coverage is required.
----	---	---	---	------------------------	--

Requirement Satisfied



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



OWNER:  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

MEDITERRANEAN BONUS  
COMPLIANCE

PHASE:

BOA SUBMITTAL

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

A-1.04B



TABLE 1

7.	✓	✓	✓	Drive through facilities.	Drive through facilities including but not limited to banking facilities, restaurants, pharmacies, dry cleaners, etc. are prohibited access to/from Ponce de Leon Boulevard from S.W. 8th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.
----	---	---	---	---------------------------	---

Requirement Satisfied

The project does not have any drive through facilities.

8.	✓	✓	✓	Landscape open space area.	Each property shall provide the following minimum landscape open area (percentage based upon total lot area): a. Five (5%) percent for nonresidential properties; b. Ten (10%) percent for mixed use properties; and c. Twenty-five (25%) percent for residential properties. The total area shall be based upon the total lot area. This landscape area can be provided at street level, within the public right-of-way, elevated areas, planter boxes, planters, etc.
----	---	---	---	----------------------------	---

Requirement Satisfied

Refer to sheet A-1.06 for open area diagram and area percentages.

9.	✓	✓	✓	Lighting street.	Street lighting shall be provided and located on all streets/rights-of way. The type of fixture shall be the approved City of Coral Gables light fixture and location/spacing, etc. shall be the subject to review and approval by the Department of Public Works.
----	---	---	---	------------------	--

Requirement Satisfied

Lighting shall be provided as required.

10.	✓	✓	✓	Parking garages.	Ground floor parking as a part of a multi-use building shall not front on a primary street. ADA parking is permitted on the ground floor. Ground floor parking is permitted on secondary/side streets and shall be fully enclosed within the structure and/or shall be surrounded by retail uses and/or residential units. Ground floor parking is permitted on alley frontages. Parking facilities shall strive to accommodate pedestrian access to all adjacent street(s) and alleys.
-----	---	---	---	------------------	---

Requirement Satisfied

The project's parking garage is lined by active uses and away from primary streets. Ground floor parking is proposed to be enclosed and not visible from any streets.

11.	✓	✓	✓	Porte-Cocheres.	Porte-cocheres are prohibited access to/from Ponce de Leon Boulevard from S.W. 8th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.
-----	---	---	---	-----------------	--

Requirement Satisfied

No porte-cocheres contemplated in the project.

12.	✓	✓	✓	Sidewalks/ pedestrian access.	All buildings, except accessory buildings, shall have their main pedestrian entrances oriented towards adjoining streets. Pedestrian pathways and/or sidewalks shall be provided from all pedestrian access points and shall connect to one another to form a continuous pedestrian network from buildings, parking facilities, parking garages entrances, etc. Wherever possible pathways shall be separated from vehicular traffic.
-----	---	---	---	-------------------------------	---

Requirement Satisfied

All pedestrian entrances are facing streets. Each walkway is connected on the exterior side of the project, as well as the interior courtyard. All vehicular traffic is separated from pedestrian walkways through islands, landscape, and hardscape.

13.	✓	✓	✓	Soil, structural.	Structural soil shall be utilized within all rights-of-way for all street level planting areas with root barriers approved by the Public Service Department.
-----	---	---	---	-------------------	--

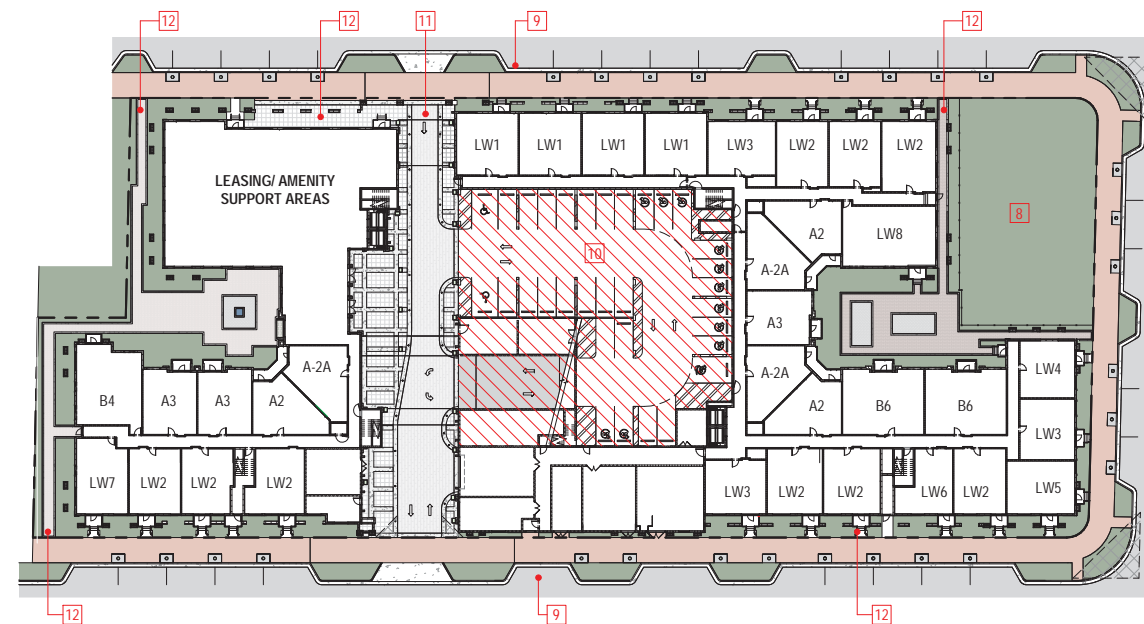
Requirement Satisfied

The project shall comply with requirements.

14.	✓	✓	✓	Windows on Mediterranean buildings.	Mediterranean buildings shall provide a minimum window casing depth of four (4) inches as measured from the face of the building.
-----	---	---	---	-------------------------------------	---

Requirement Satisfied

The project shall comply with requirements.



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**MEDITERRANEAN BONUS COMPLIANCE**

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

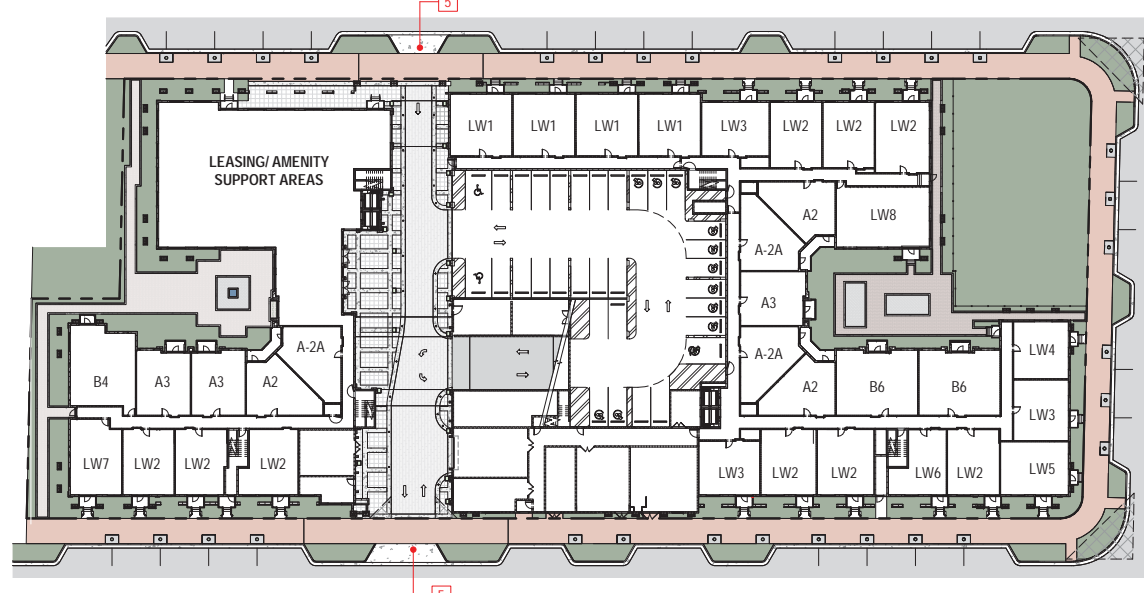
DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.04C**

TABLE 2

1.	✓	✓	✓	Arcades and/or loggias.	Arcades, loggias, or covered areas constructed adjacent, parallel, and/or perpendicular to building to provide cover and protection from the elements for pedestrian passageways, sidewalks, etc. thereby promoting pedestrian passage/use. Limitations of encroachments on corners of buildings may be required to control view corridors and ground stories building bulk and massing. Awnings or other similar items do not satisfy these provisions.
Requirement Satisfied				The project incorporates covered drop off areas as well as a covered galleries along Catalonia and Malaga avenues.	
2.	✓	✓	✓	Building rooflines	Incorporation of horizontal and vertical changes in the building roofline.
Requirement Satisfied				The project makes use of vertical and horizontal elements that lead up to the main roof line. The roof line also follows the change in elevation recesses and projections seen on the elevations.	
3.	✓	✓	✓	Building setbacks	Setbacks on building facades of the building base, middle and/or top facade to further reduce the potential impacts of the building bulk and mass.
Requirement Satisfied				The project provides 2 principle setbacks to establish the building main, middle and top areas.	
5.	✓	✓	✓	Driveways	Consolidation of vehicular entrances for drive-through facilities, garage entrances, service bays and loading/unloading facilities into one (1) curb cut per street to reduce the amount of vehicular penetration into pedestrian sidewalks and adjoining rights-of-way.
Requirement Satisfied				The project shall consolidate all driveways into two locations, in an effort to reduce pedestrian interference: 1 - parking garage & covered drop off area entrance at the Catalonia Ave. (North) 2 - parking garage & covered drop off area exit at the Malaga Ave. (South)	
6.	✓	✓	✓	Lighting of landscape	Uplighting of landscaping within and/or adjacent to pedestrian areas (i.e., sidewalks, plazas, open spaces, etc.).
Requirement Satisfied				Exterior scones shall be placed on pillars and columns facing all pedestrian areas. Landscaping will be well lite and comply with requirements.	
7.	✓	✓	✓	Materials on exterior building facades.	The use of natural materials shall be incorporated into the base of the building on exterior surfaces of building. This includes but not limited to the following: marble, granite, keystone, etc.
Requirement Satisfied				The project will make use of natural materials, and will comply with requirements.	



PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

MEDITERRANEAN BONUS COMPLIANCE

PHASE:

BOA SUBMITTAL

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.04D**

TABLE 2

9.	✓	✓	✓	Paver treatments	<p>Inclusion of paver treatments in all of the following locations:</p> <p>a. Driveway entrances minimum of ten (10%) percent of total paving surface.</p> <p>b. Sidewalks. Minimum of twenty-five (25%) percent of total ground level paving surface.</p> <p>The type of paver shall be subject to Public Works Department review and approval. Poured concrete color shall be Coral Gables Beige.</p>
----	---	---	---	------------------	---

Requirement Satisfied

The project shall make use of pavers throughout pedestrian areas, in a consistent and clean fashion. The pavers will be made for high traffic use and abide by the city of Coral Gables design criteria. Please see landscaping plans for information.

10.	✓	✓	✓	Pedestrian amenities.	<p>Pedestrian amenities on both private property and/or public open spaces including a minimum of four (4) of the following:</p> <p>a. Benches.</p> <p>b. Expanded sidewalk widths beyond the property line.</p> <p>c. Freestanding information kiosk (no advertising shall be permitted).</p> <p>d. Planter boxes.</p> <p>e. Refuse containers.</p> <p>f. Public art.</p> <p>g. Water features, fountains, and other similar water features. Ground and/or wall mounted.</p> <p>Above amenities shall be consistent in design and form with the City of Coral Gables Master Streetscape Plan.</p>
-----	---	---	---	-----------------------	--

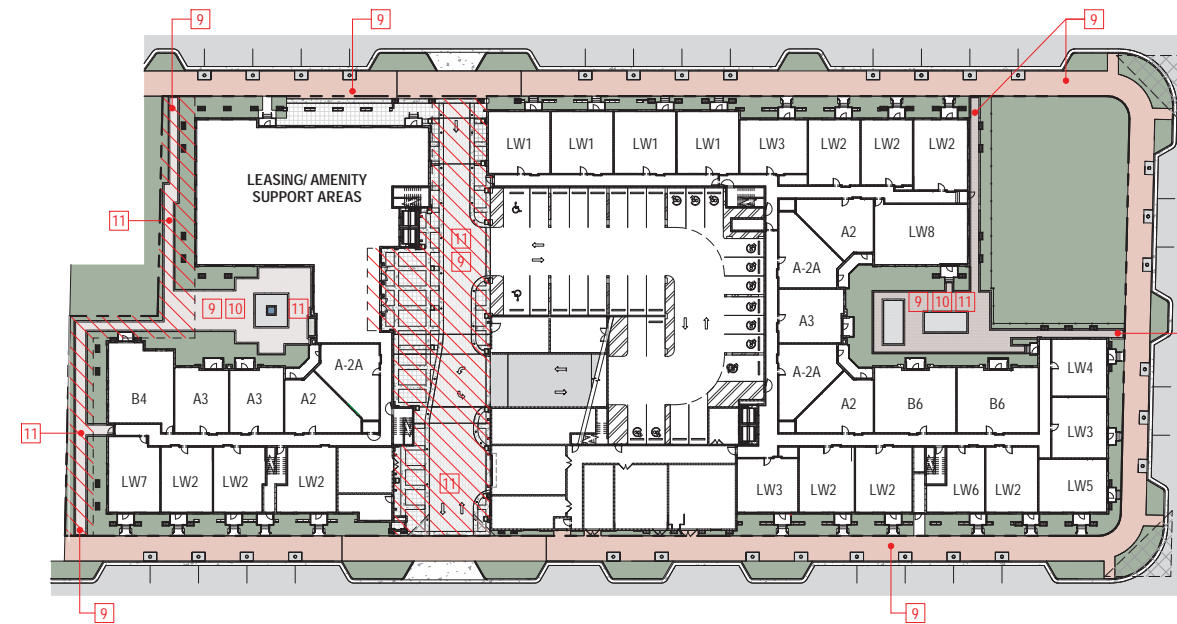
Requirement Satisfied

The project shall make use of public benches, waste receptacles, planter boxes consistent with overall landscaping design, and water features. Please see landscape and adjacent floor plans for layout.

11.	✓	✓	✓	Pedestrian passthroughs/ paseos on properties contiguous to alleys and/or streets.	<p>Pedestrian pass-throughs provided for each two hundred and fifty (250) linear feet or fraction thereof of building frontage provided on properties contiguous to alleys and/or streets or other publicly owned properties. Buildings less than two hundred and fifty (250) feet in size shall provide a minimum of one (1) pass through. The pass-throughs shall be subject to the following:</p> <p>a. Minimum of ten (10) feet in width.</p> <p>b. Include pedestrian amenities as defined herein.</p> <p>In lieu of providing one (1) pass-through of ten (10) feet in width every two hundred and fifty (250) feet of building frontage, two (2) pass-throughs can be combined to provide one (1) twenty (20) foot wide pass-through.</p>
-----	---	---	---	--	--

Requirement Satisfied

The project contemplates paseos and public courtyards complying with City of Coral Gables design criteria.



**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



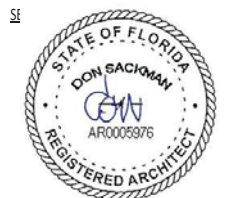
OWNER:  
 6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**MEDITERRANEAN BONUS COMPLIANCE**

PHASE:

**BOA SUBMITTAL**

SE

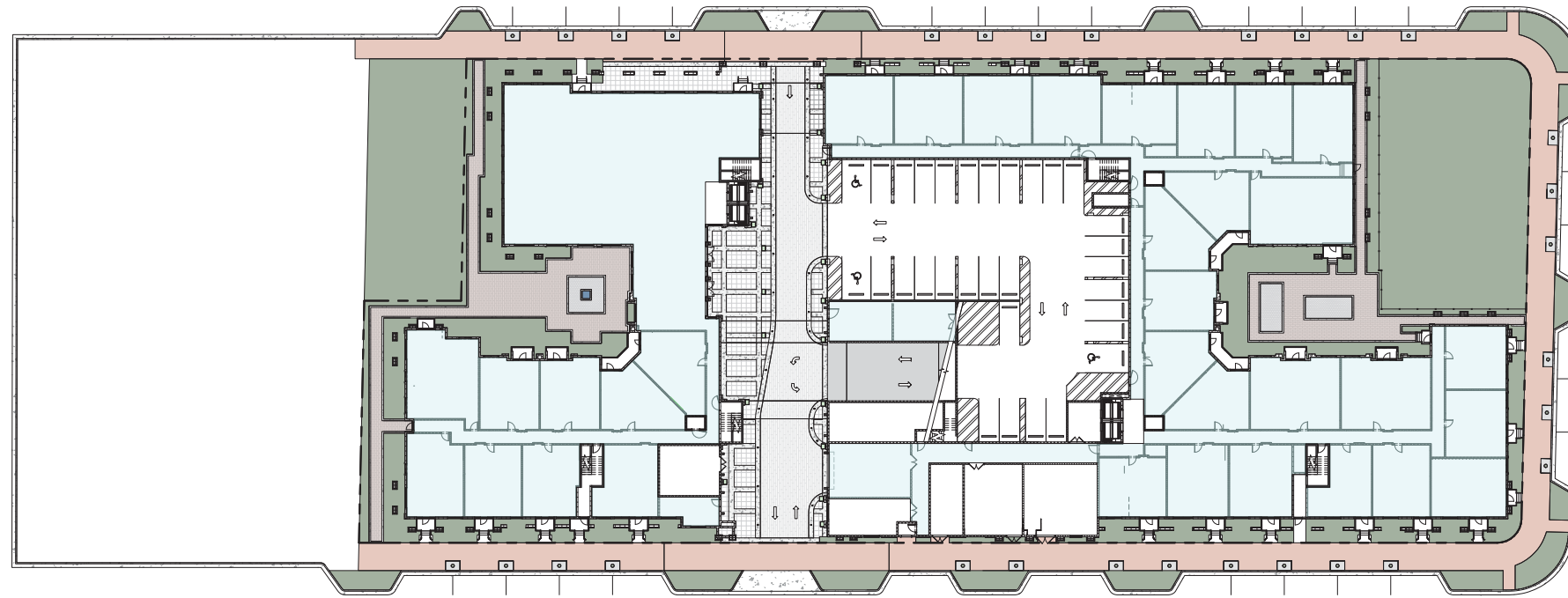


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
 JOB No.: 2020-47  
 DRAWN BY: RK,AV,CM,JM  
 APPR BY: AMC  
 PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.04E**



FAR CALCULATIONS	
GROUND FLOOR	40,092 SF
2nd FLOOR	45,521 SF
3rd FLOOR	45,239 SF
4th FLOOR	45,239 SF
5th FLOOR	44,011 SF
6th FLOOR	44,011 SF
7th FLOOR	47,239 SF
<b>TOTAL</b>	<b>311,352 SF</b>
SITE AREA	91,933 SF (2.11 acres)
MAX FAR ALLOWED	321,766 SF



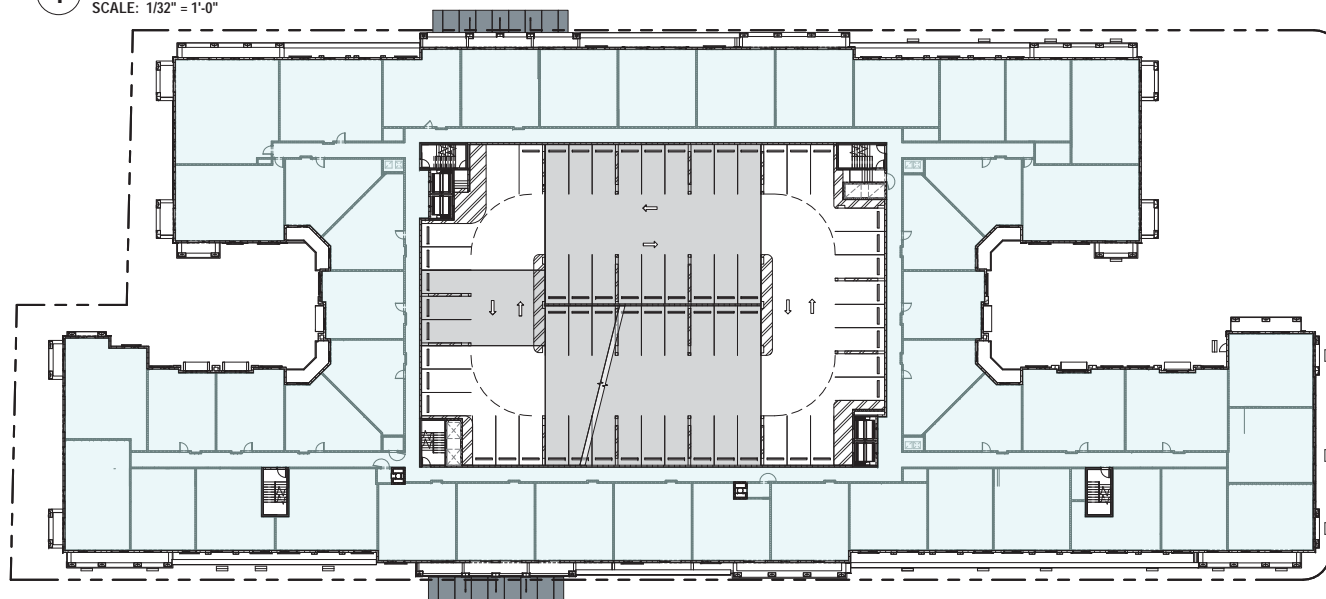
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

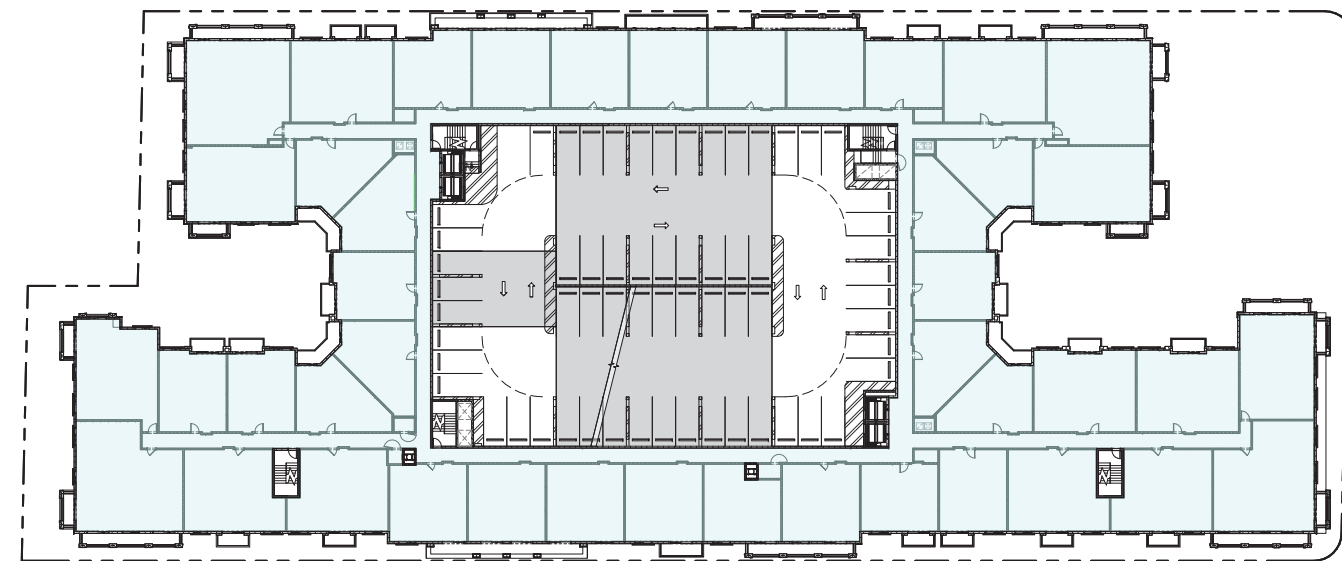
OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

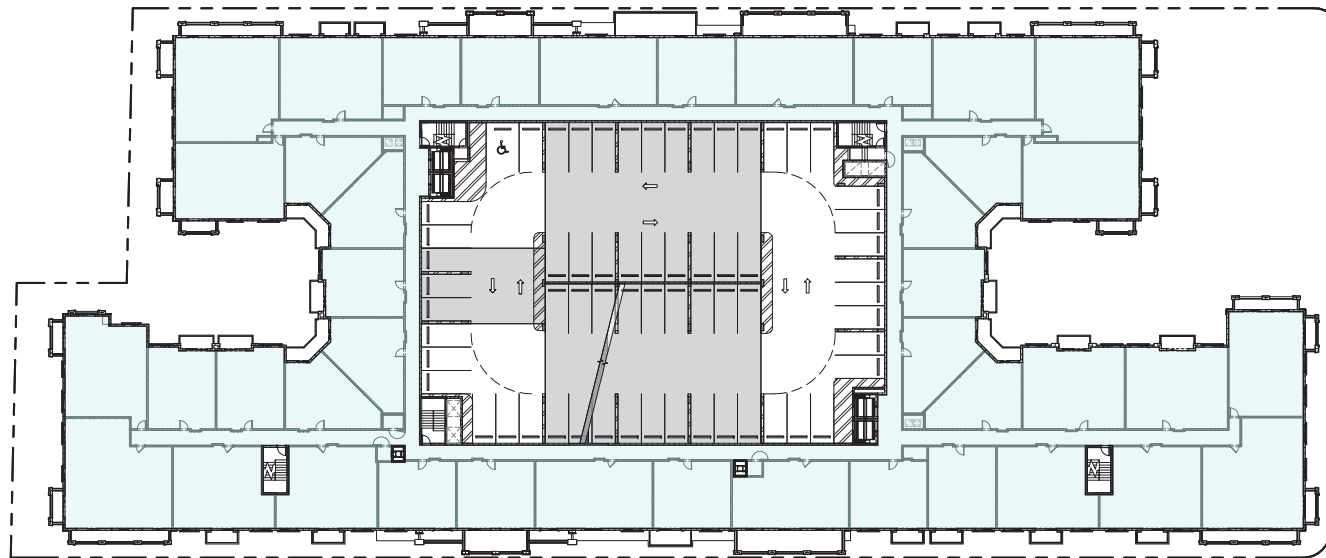
**1** 1st FLOOR PLAN  
SCALE: 1/32" = 1'-0"



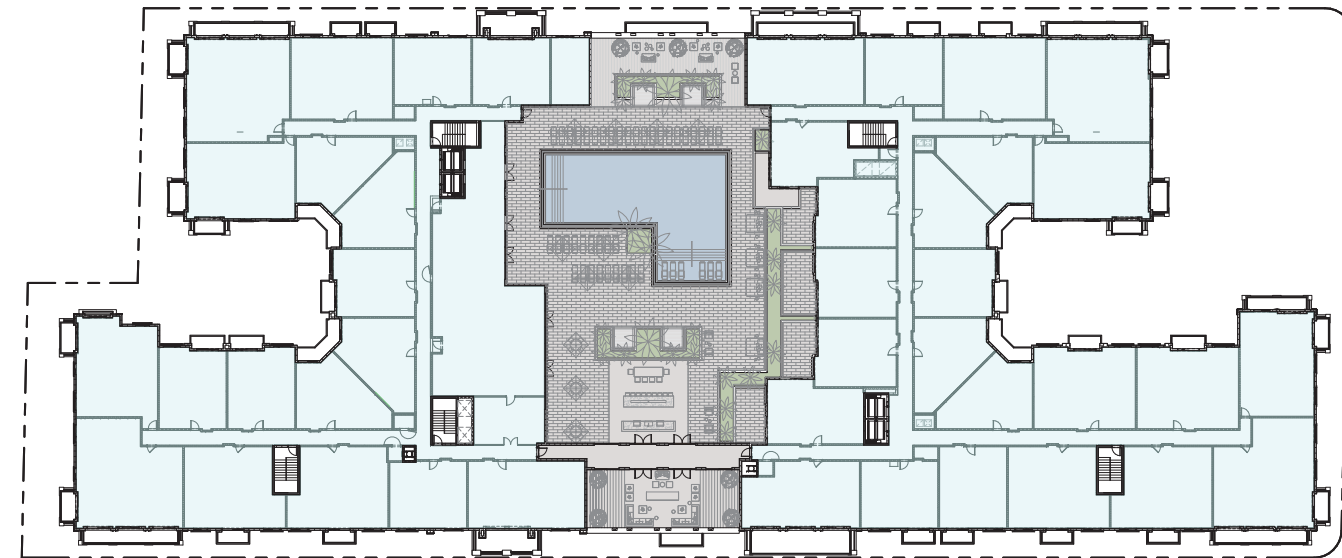
**2** 2nd FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**3** 3rd-4th FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**4** 5th-6th FLOOR PLAN  
SCALE: 1/32" = 1'-0"



**5** 7th LEVEL FLOOR PLAN  
SCALE: 1/32" = 1'-0"

FAR DIAGRAMS

PHASE:

BOA SUBMITTAL



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB NO.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-1.05**



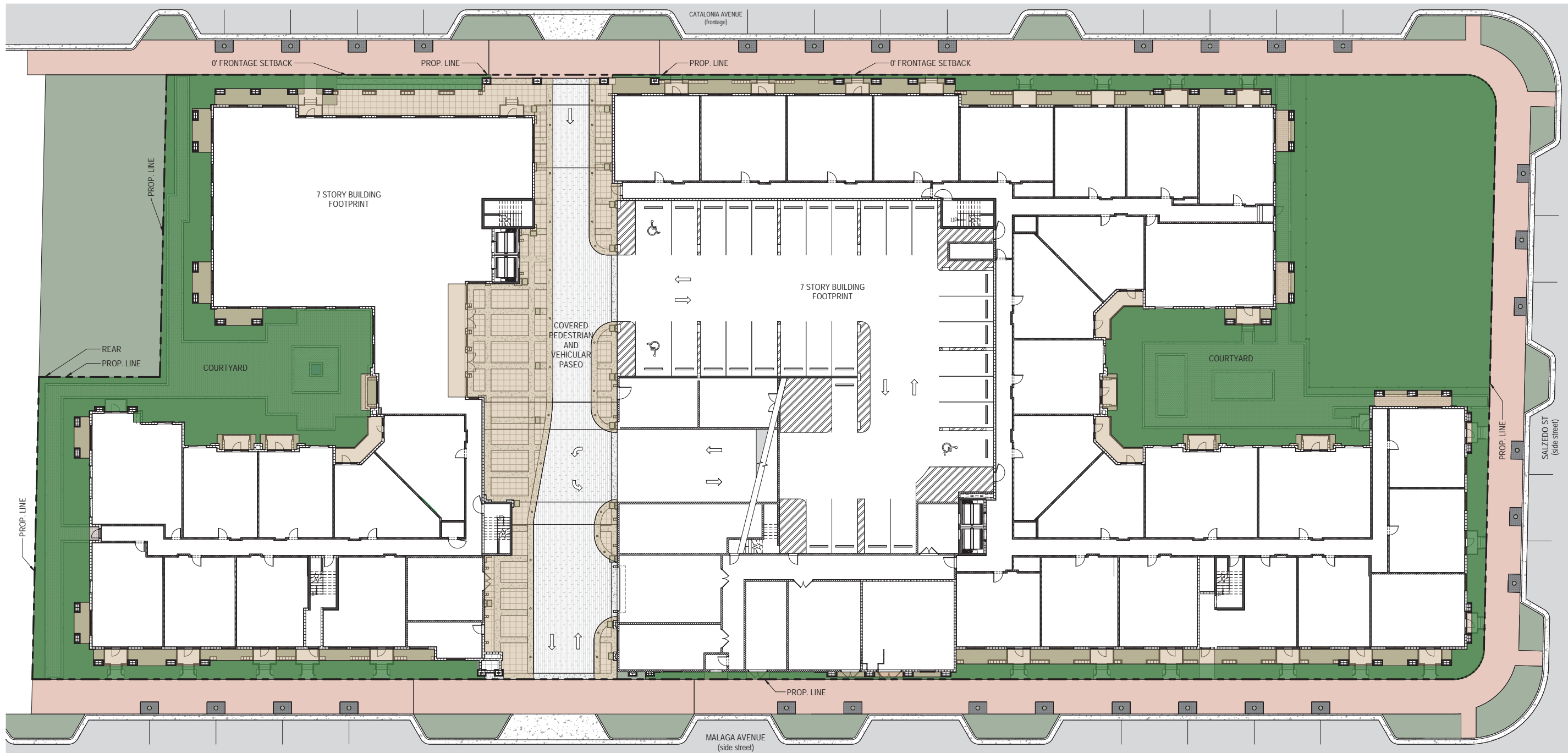
**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**OPEN SPACE DIAGRAM**



**OPEN SPACE DIAGRAM**

SCALE: 1/16" = 1'-0"



LEGEND	
	PROPOSED OPEN SPACE (OPEN TO SKY) (INCLUDING COURTYARD)
	PROPOSED COVERED OPEN SPACE AREAS (INCLUDING PEDESTRIAN PASEO)
	PROPOSED BUILDING FOOTPRINT FOR REFERENCE

OPEN SPACE CALCULATION	MIN. REQUIRED	
LAND AREA (91,933 SF) X 20%	18,386 SF	
<b>TOTAL MINIMUM OPEN SPACE REQUIRED</b>	<b>18,386 SF (20%)</b>	
	PROVIDED	
OPEN TO SKY (INCLUDING COURTYARD)	19,453 SF	21.1%
COVERED OPEN SPACE (INCLUDING ARCADES/DRIVE AISLE)	8,777 SF x 0.75 = 6,583 SF	7.16%
<b>TOTAL OPEN SPACE PROVIDED</b>	<b>26,036 SF</b>	<b>28.32%</b>

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-1.06**

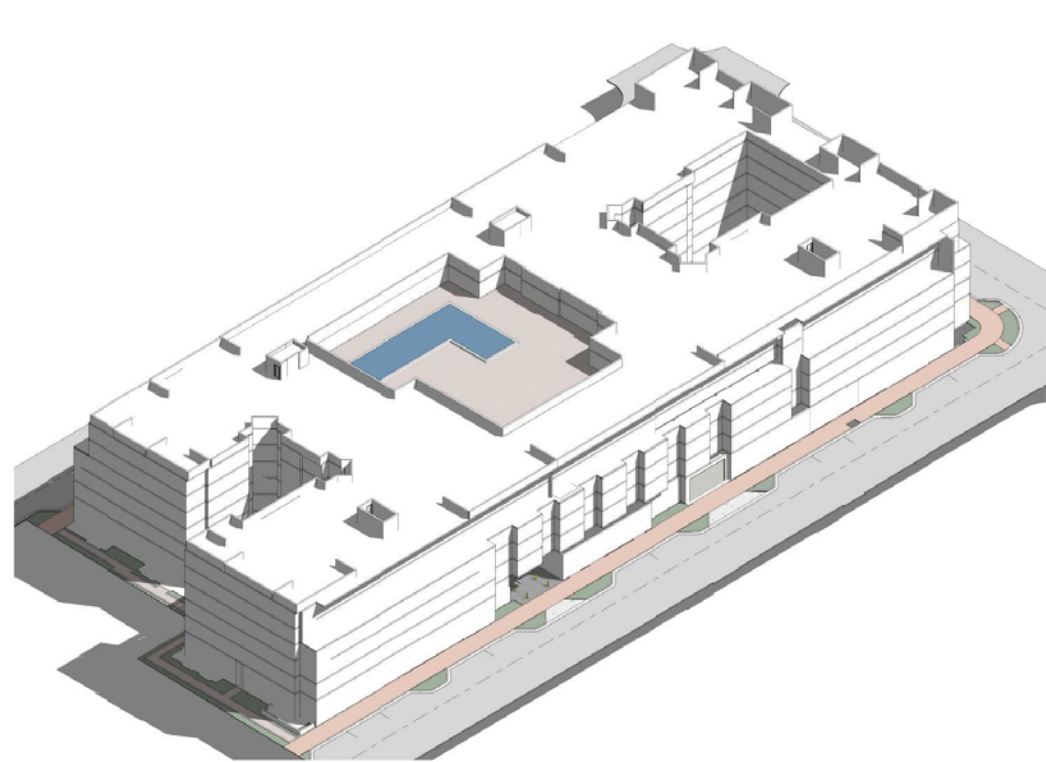


**CORWILARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

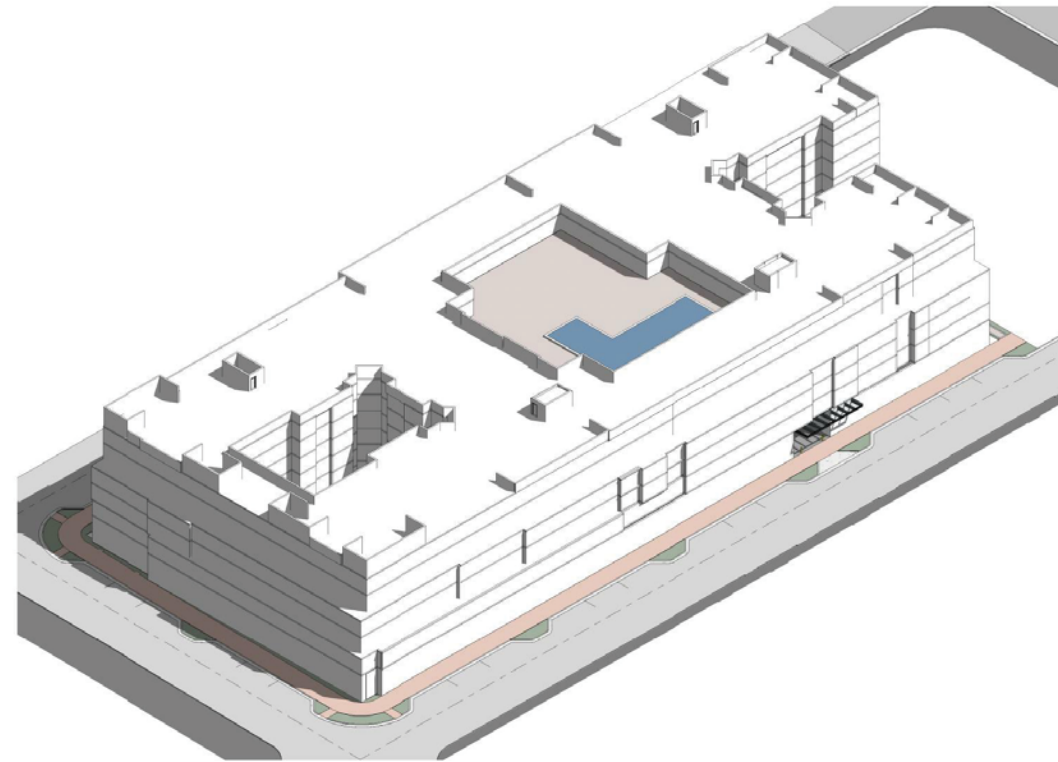


6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487



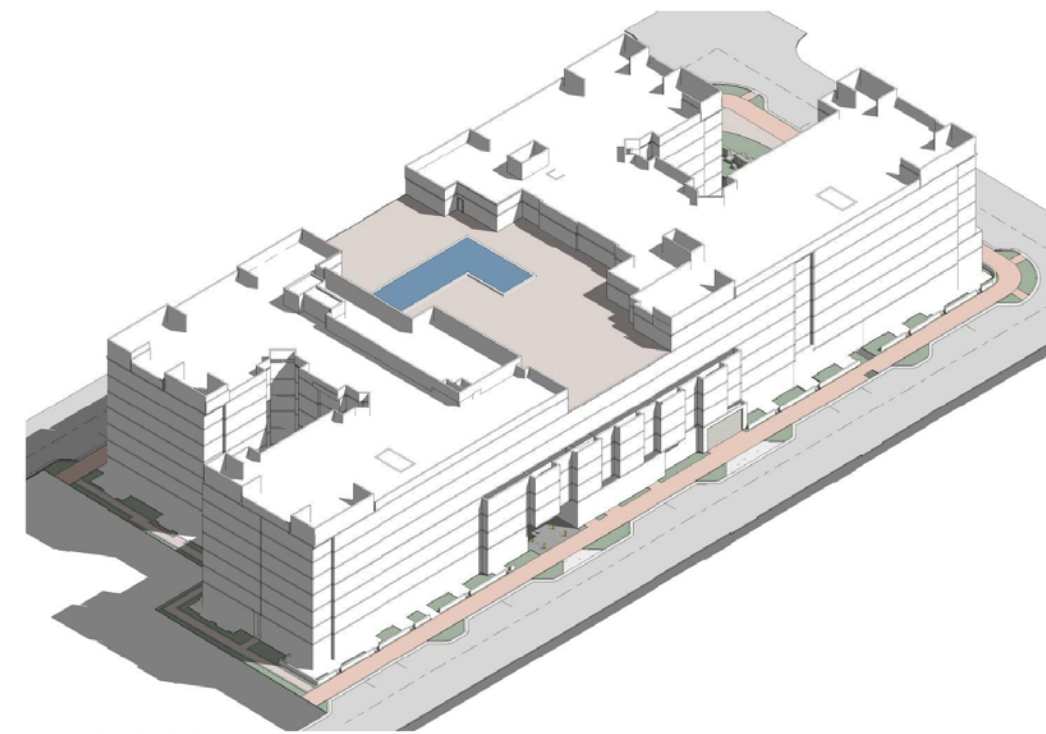
**SW VIEW (6 STORY)**

SCALE:



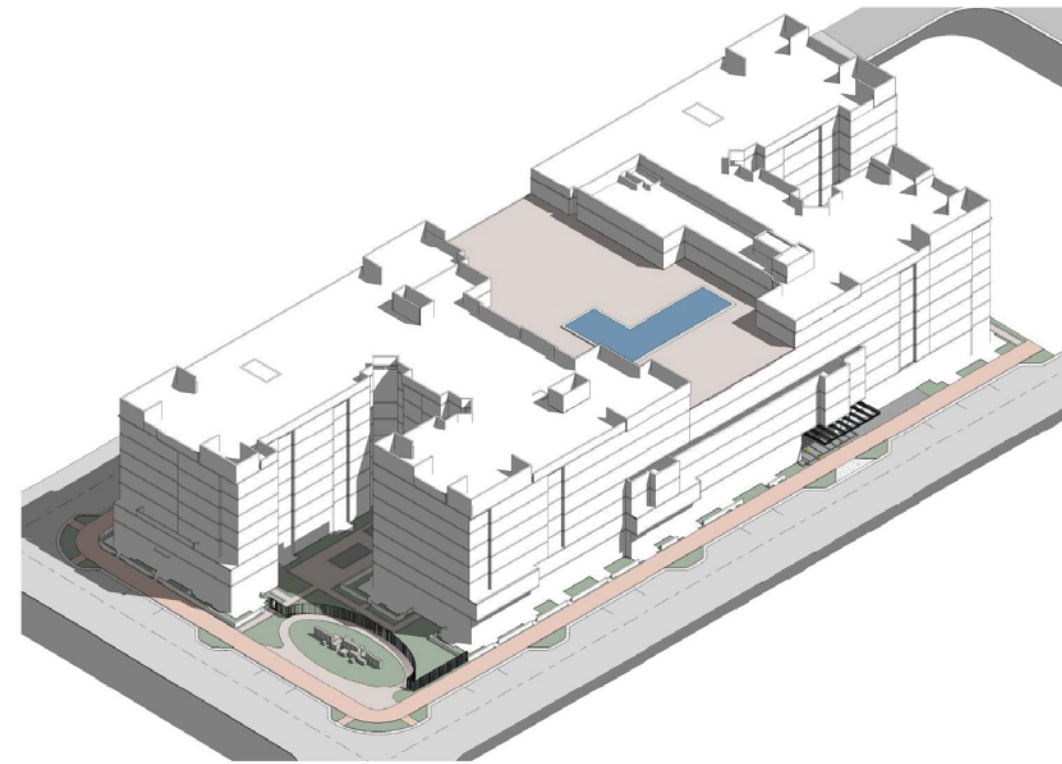
**NE VIEW (6 STORY)**

SCALE:



**SW VIEW (7STORY)**

SCALE:



**NE VIEW (7 STORY)**

SCALE:

**MASSING (PUBLIC BENEFIT EXHIBIT)**

PHASE:

**BOA SUBMITTAL**

SI



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 07/23/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

SHEET NUMBER:

**A-1.07A**



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**MASSING (PUBLIC BENEFIT EXHIBIT)**

PHASE:

**BOA SUBMITTAL**

SI

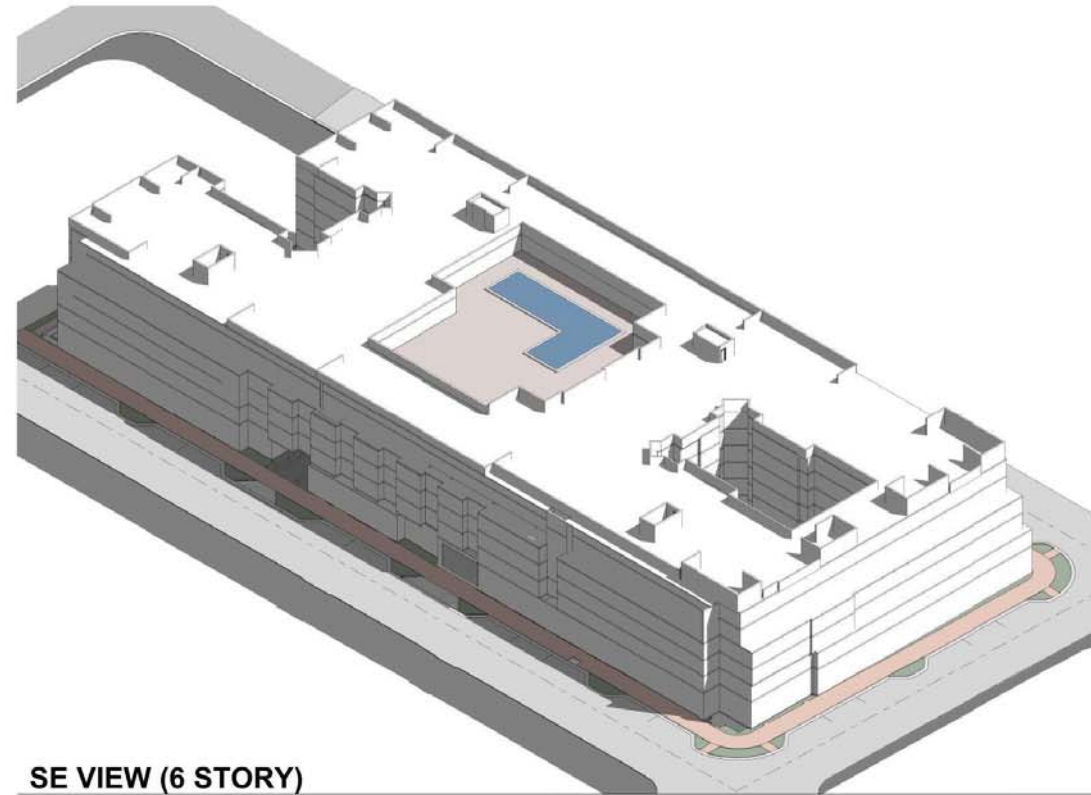


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 07/23/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

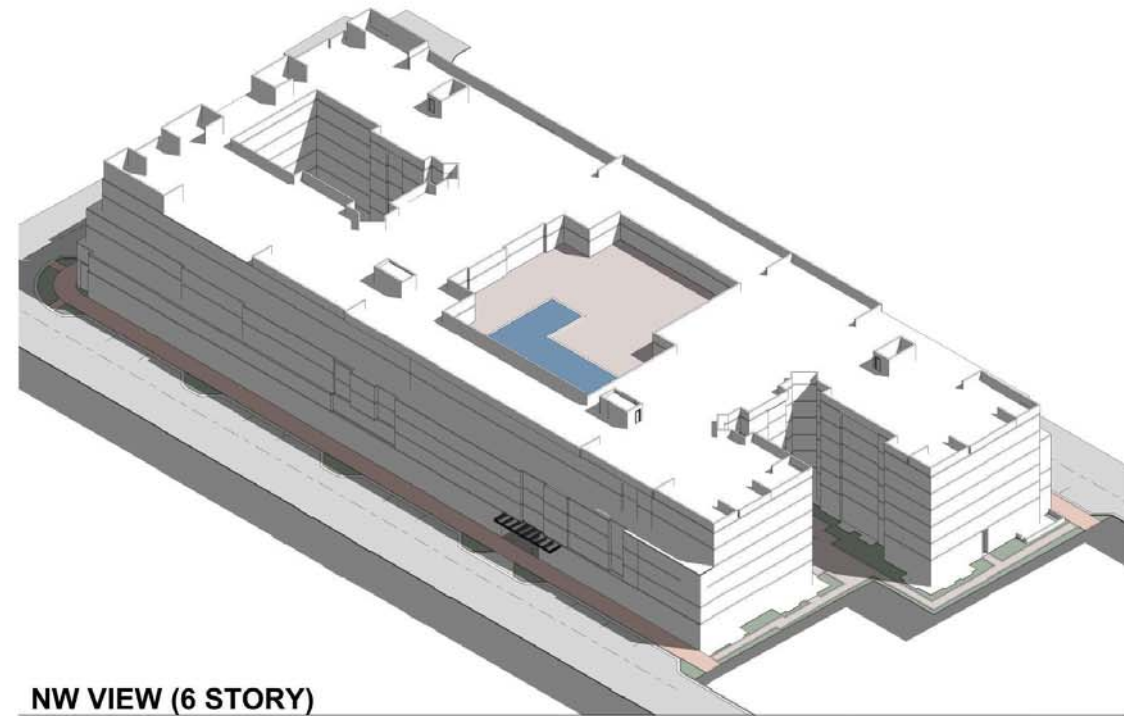
SHEET NUMBER:

**A-1.07B**



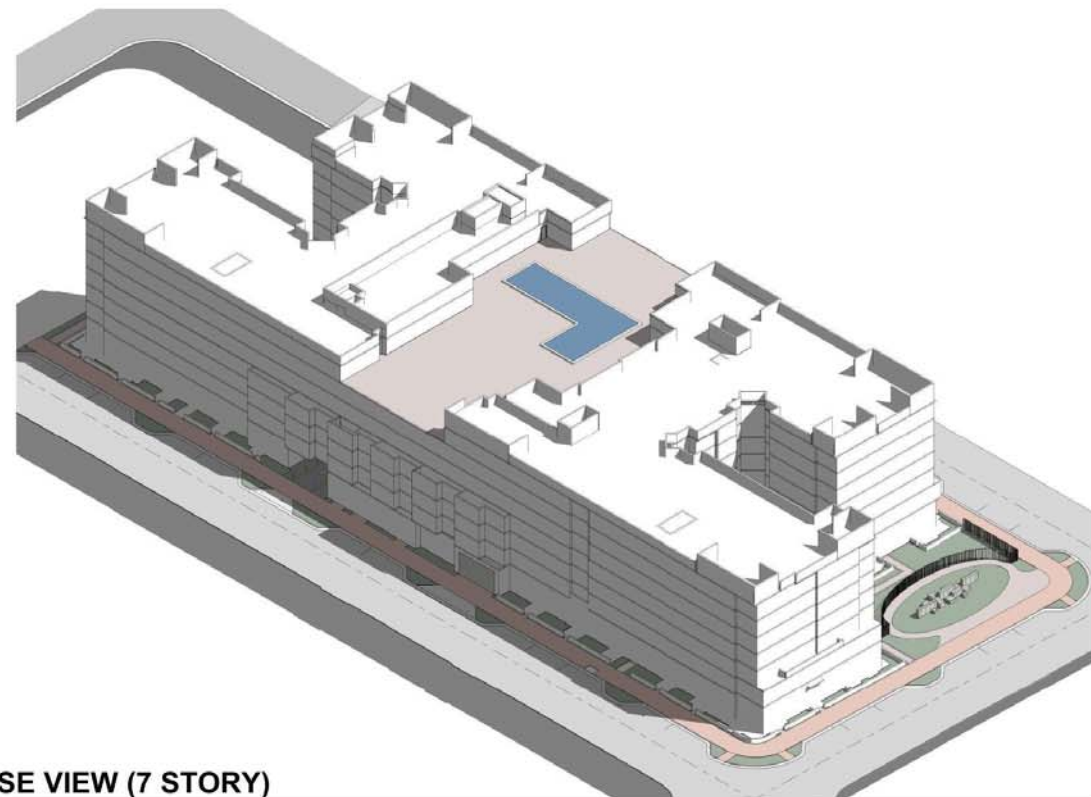
**SE VIEW (6 STORY)**

SCALE:



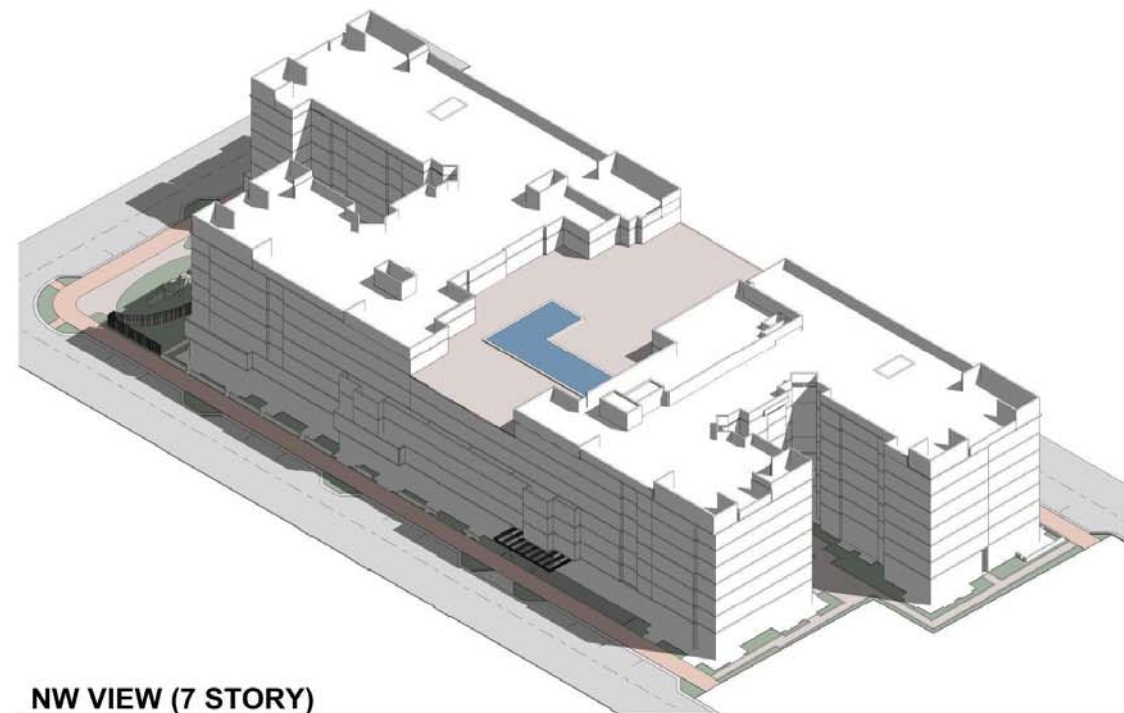
**NW VIEW (6 STORY)**

SCALE:



**SE VIEW (7 STORY)**

SCALE:



**NW VIEW (7 STORY)**

SCALE:



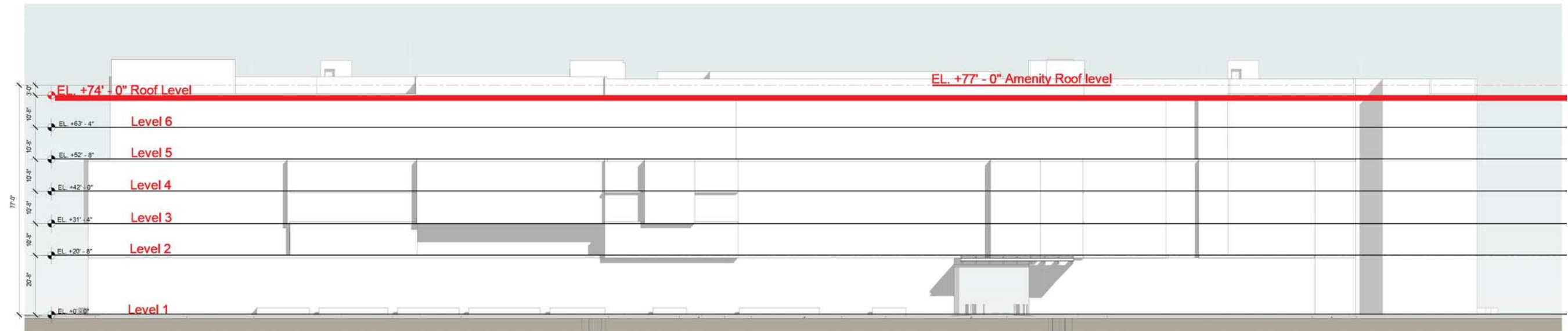
**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

OWNER:  
  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

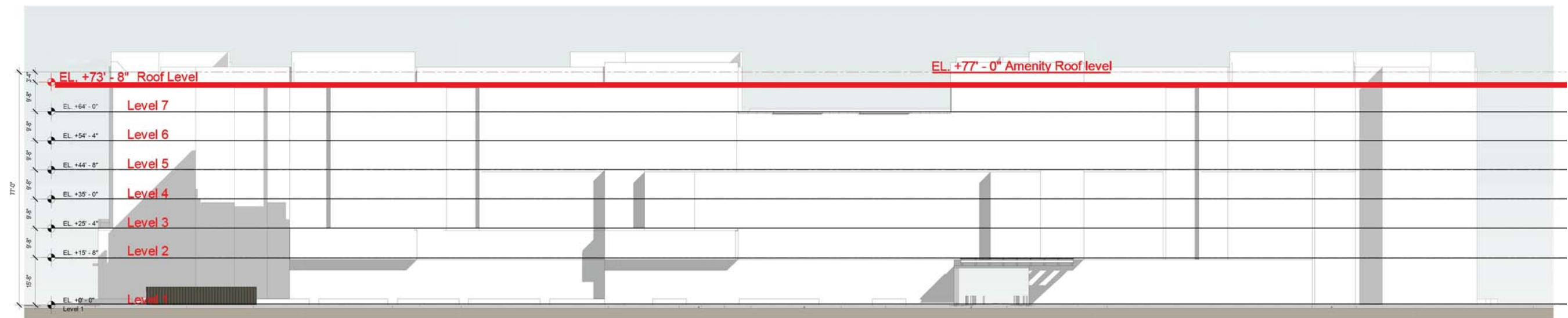
6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

ELEVATION (PUBLIC BENEFIT EXHIBIT)



**North - FRONTAGE 6 STORY**

SCALE: 1/16" = 1'-0"



**North - FRONTAGE 7 STORY**

SCALE: 1/16" = 1'-0"

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
 JOB No.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 09/27/2021

SHEET NUMBER:

**A-1.08**





**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T. 305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**PEDESTRIAN REALM (PUBLIC  
 BENEFIT EXHIBIT)**

PHASE:

**BOA SUBMITTAL**

SE

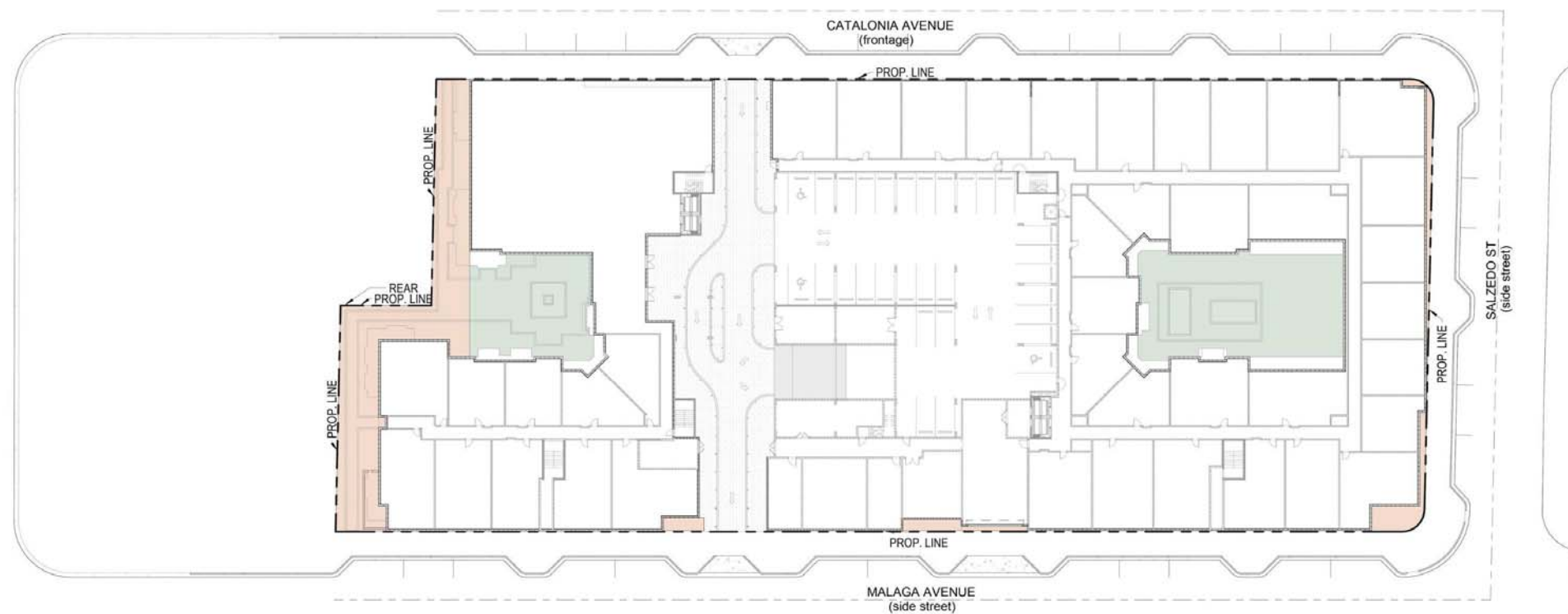


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
 JOB NO.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 09/27/2021

SHEET NUMBER:

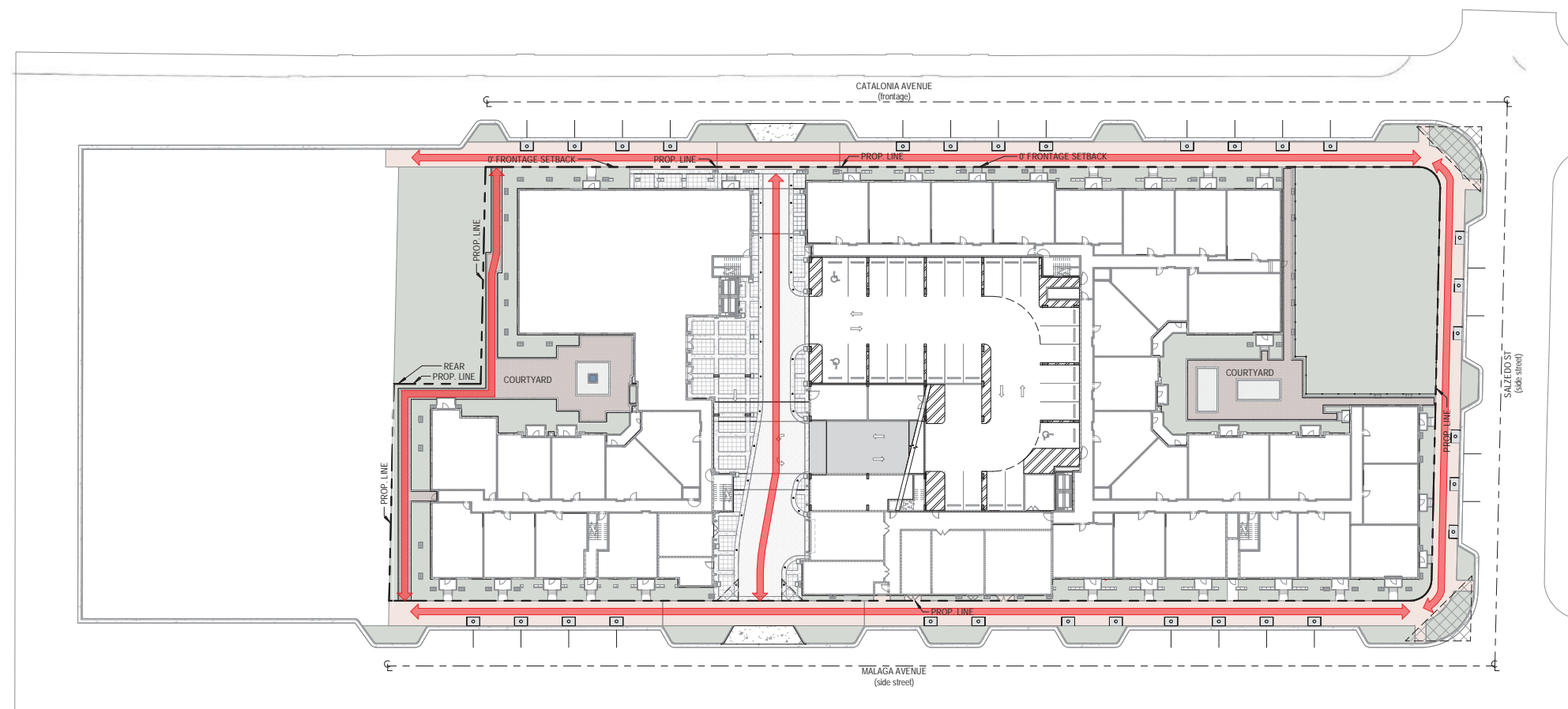
**A-1.09**



**LEGEND (6 ST)**

- PEDESTRIAN REALM
- PRIVATE GREEN SPACE

**PEDESTRIAN REALM (6 STORY)**  
 SCALE: 1/32" = 1'-0"



**LEGEND (7 ST)**

- PEDESTRIAN REALM
- PRIVATE GREEN SPACE
- PEDESTRIAN FLOW

**PEDESTRIAN REALM (7 STORY)**  
 SCALE: 1/32" = 1'-0"



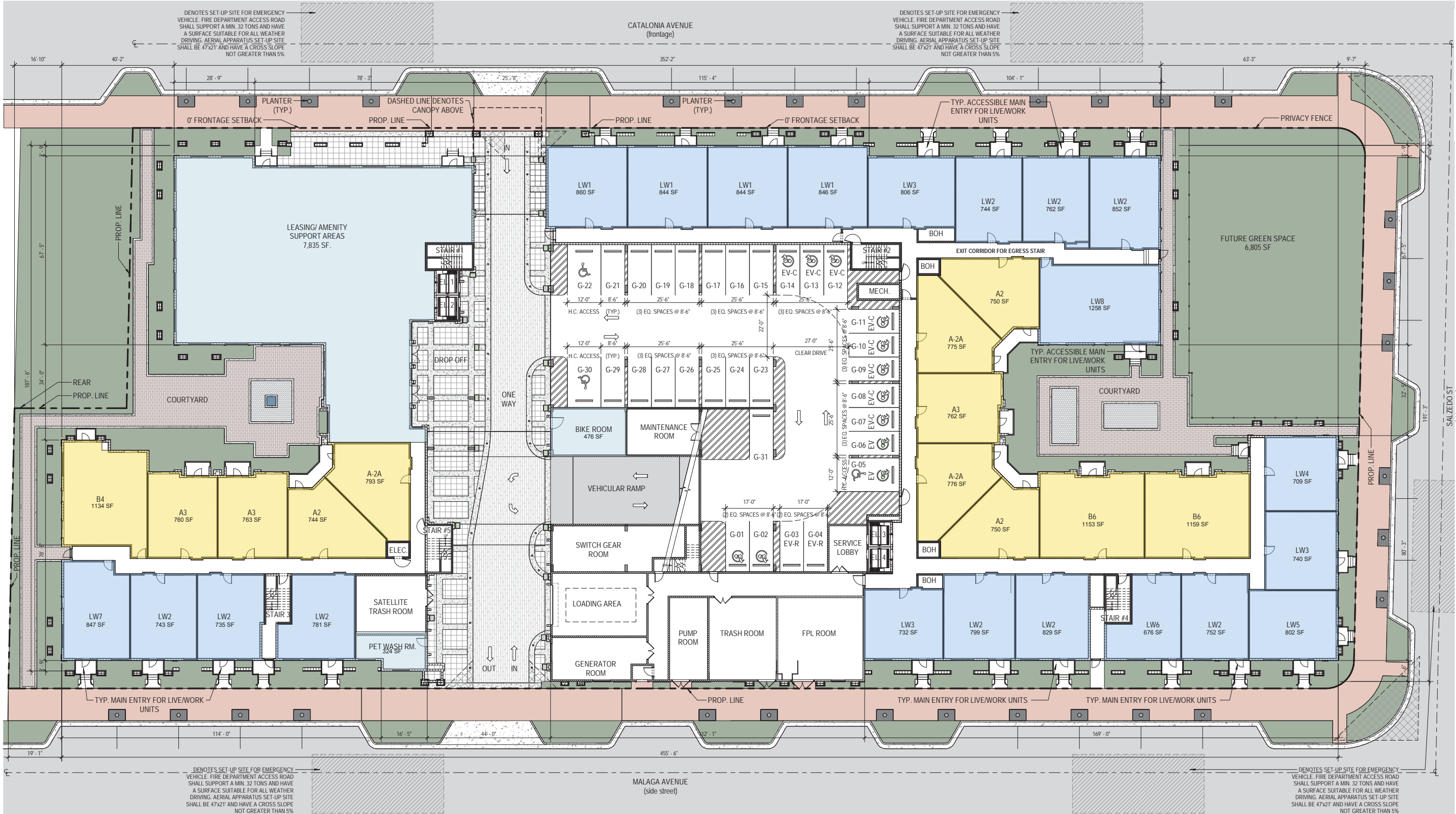
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**SITE GROUND FLOOR PLAN**



DENOTES SET-UP SITE FOR EMERGENCY VEHICLE. FIRE DEPARTMENT ACCESS ROAD SHALL SUPPORT A MIN. 32 TONS AND HAVE A SURFACE SUITABLE FOR ALL WEATHER DRIVING. AERIAL APPARATUS SET-UP SITE SHALL BE 47x21' AND HAVE A CROSS SLOPE NOT GREATER THAN 5%

DENOTES SET-UP SITE FOR EMERGENCY VEHICLE. FIRE DEPARTMENT ACCESS ROAD SHALL SUPPORT A MIN. 32 TONS AND HAVE A SURFACE SUITABLE FOR ALL WEATHER DRIVING. AERIAL APPARATUS SET-UP SITE SHALL BE 47x21' AND HAVE A CROSS SLOPE NOT GREATER THAN 5%

DENOTES SET-UP SITE FOR EMERGENCY VEHICLE. FIRE DEPARTMENT ACCESS ROAD SHALL SUPPORT A MIN. 32 TONS AND HAVE A SURFACE SUITABLE FOR ALL WEATHER DRIVING. AERIAL APPARATUS SET-UP SITE SHALL BE 47x21' AND HAVE A CROSS SLOPE NOT GREATER THAN 5%

DENOTES SET-UP SITE FOR EMERGENCY VEHICLE. FIRE DEPARTMENT ACCESS ROAD SHALL SUPPORT A MIN. 32 TONS AND HAVE A SURFACE SUITABLE FOR ALL WEATHER DRIVING. AERIAL APPARATUS SET-UP SITE SHALL BE 47x21' AND HAVE A CROSS SLOPE NOT GREATER THAN 5%

**1st FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK,AV,CM,JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:  
**A-2.00**



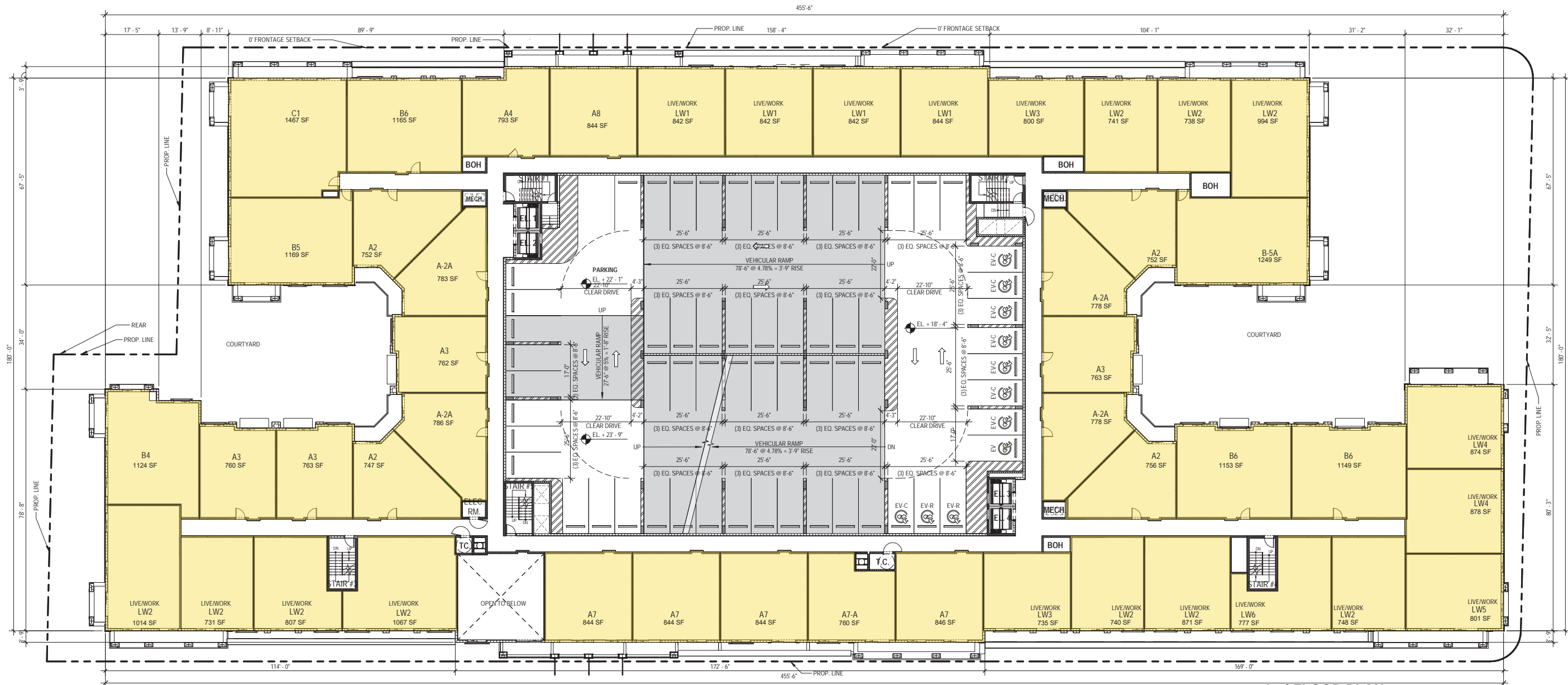
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

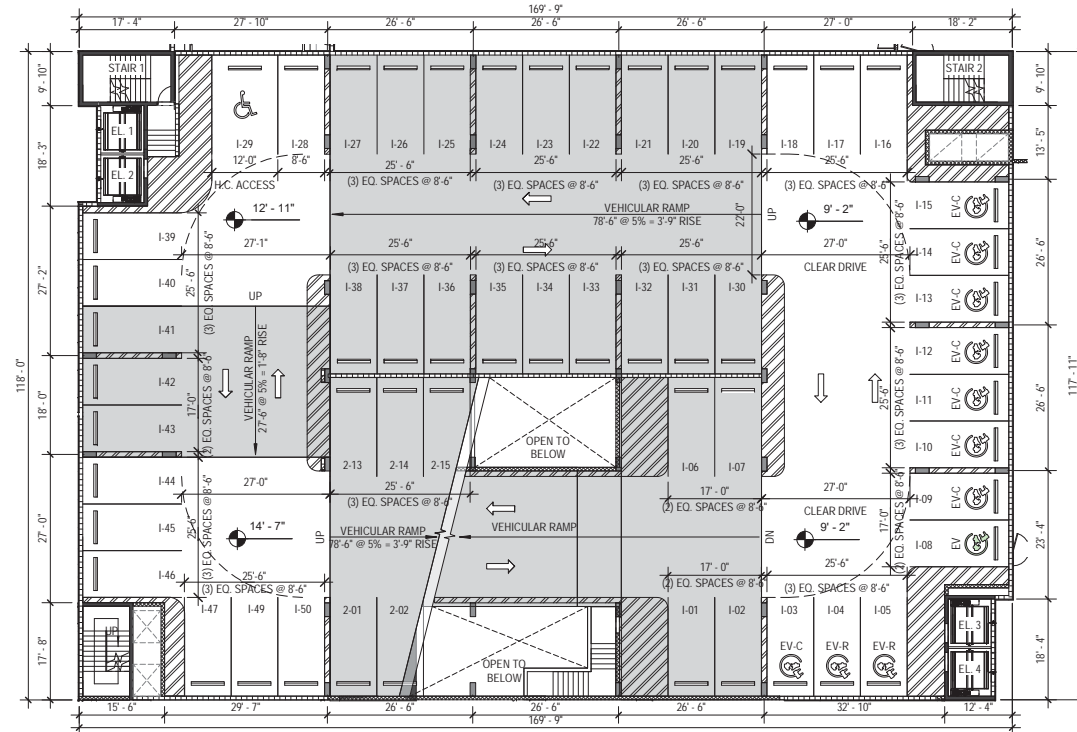


6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**2ND LEVEL FLOOR PLAN**



**2nd FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**INTERMEDIATE LEVEL PARKING FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**ELECTRIC VEHICLE CHARGING - LEGEND**

	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

PHASE:

**BOA SUBMITTAL**

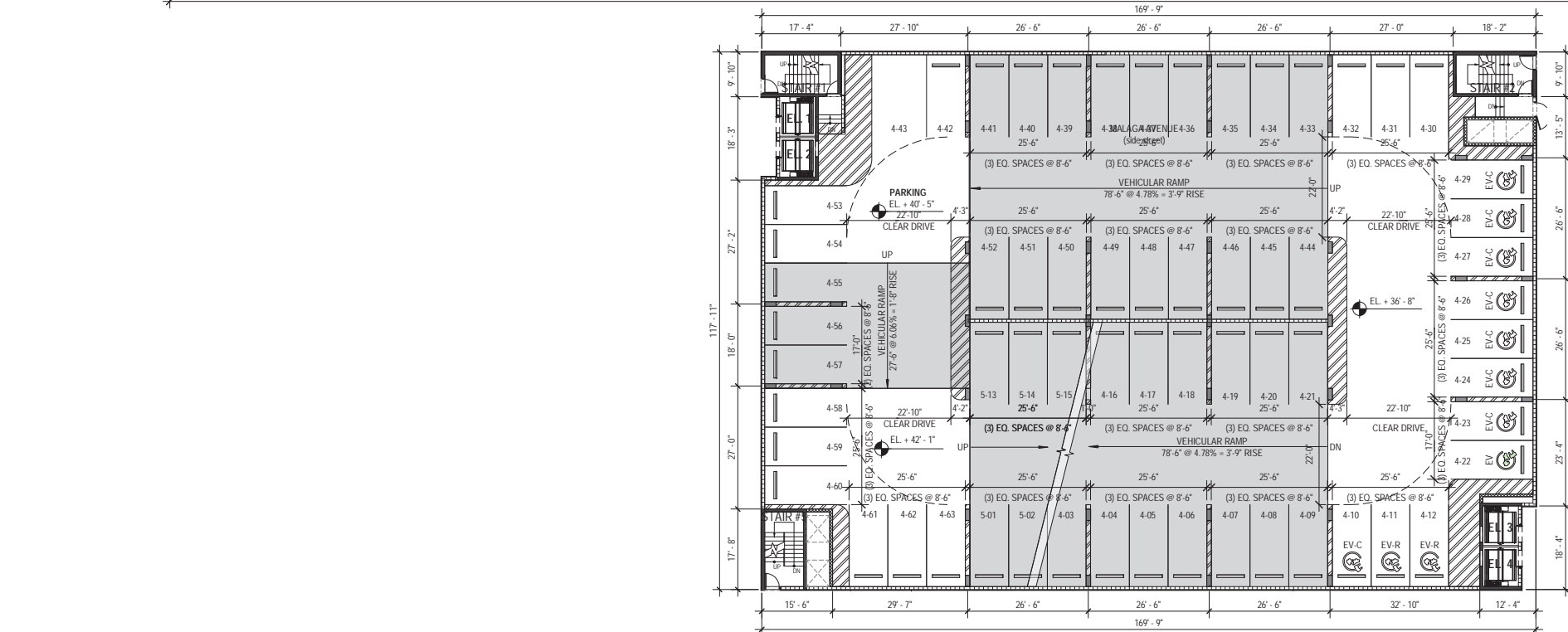
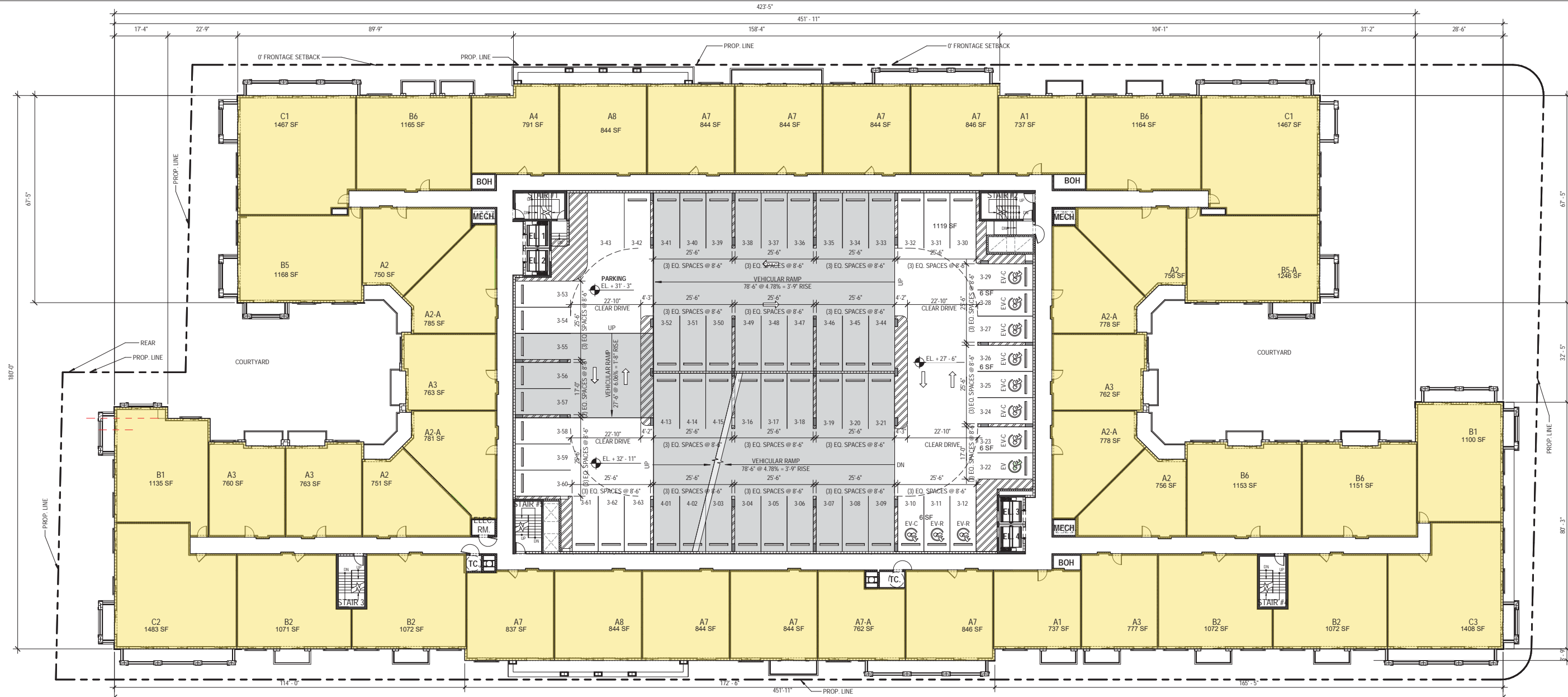


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

**DATE:** 10/28/21  
**JOB NO.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-2.01**



**4th LEVEL PARKING**  
SCALE: 1/16" = 1'-0"

**3rd-4th FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

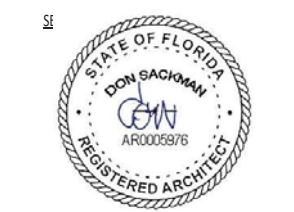
**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**TYP. 3RD-4TH LEVEL FLOOR PLAN**

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS, INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

**DATE:** 10/28/21  
**JOB NO.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

**SHEET NUMBER:**  
**A-2.02**



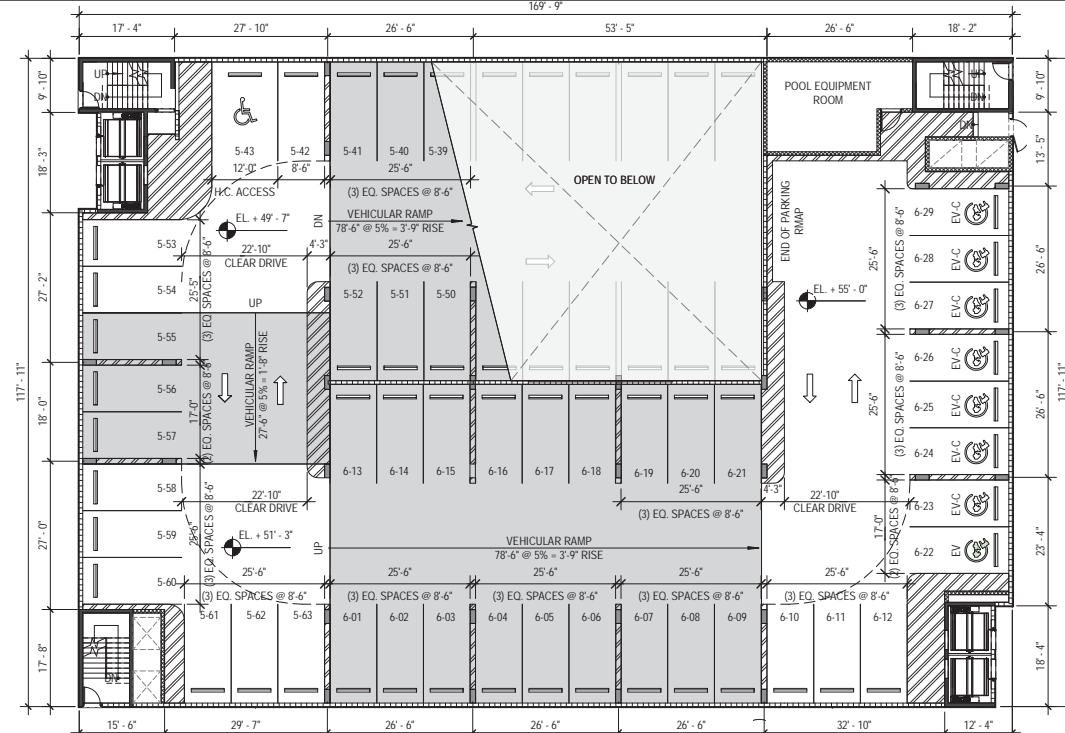
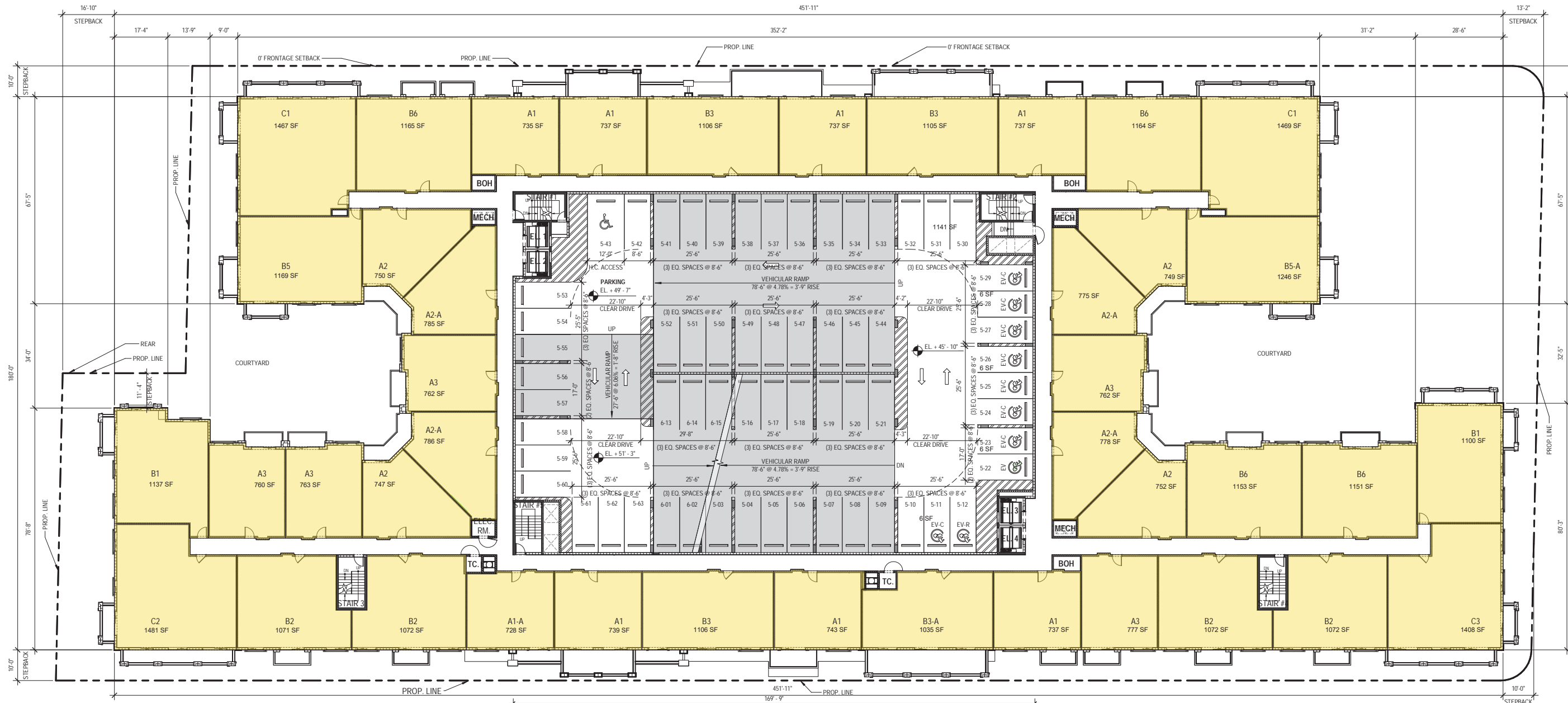
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



OWNER:  
**TCR**  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

TYP. 5TH-6TH LEVEL FLOOR PLAN



**6TH LEVEL PARKING**

SCALE: 1/16" = 1'-0"

**5th-6th FLOOR PLAN**

SCALE: 1/16" = 1'-0"

ELECTRIC VEHICLE CHARGING - LEGEND	
	EV VEHICLE PARKING WITH CHARGING STATION
	PARKING SPACE WITH INFRASTRUCTURE READY FOR FUTURE CHARGING STATION
	PARKING SPACE EV CAPABLE - ALL CONDUITS AND SUBPANEL READY

PHASE:

**BOA SUBMITTAL**

SE:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB NO.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-2.03**



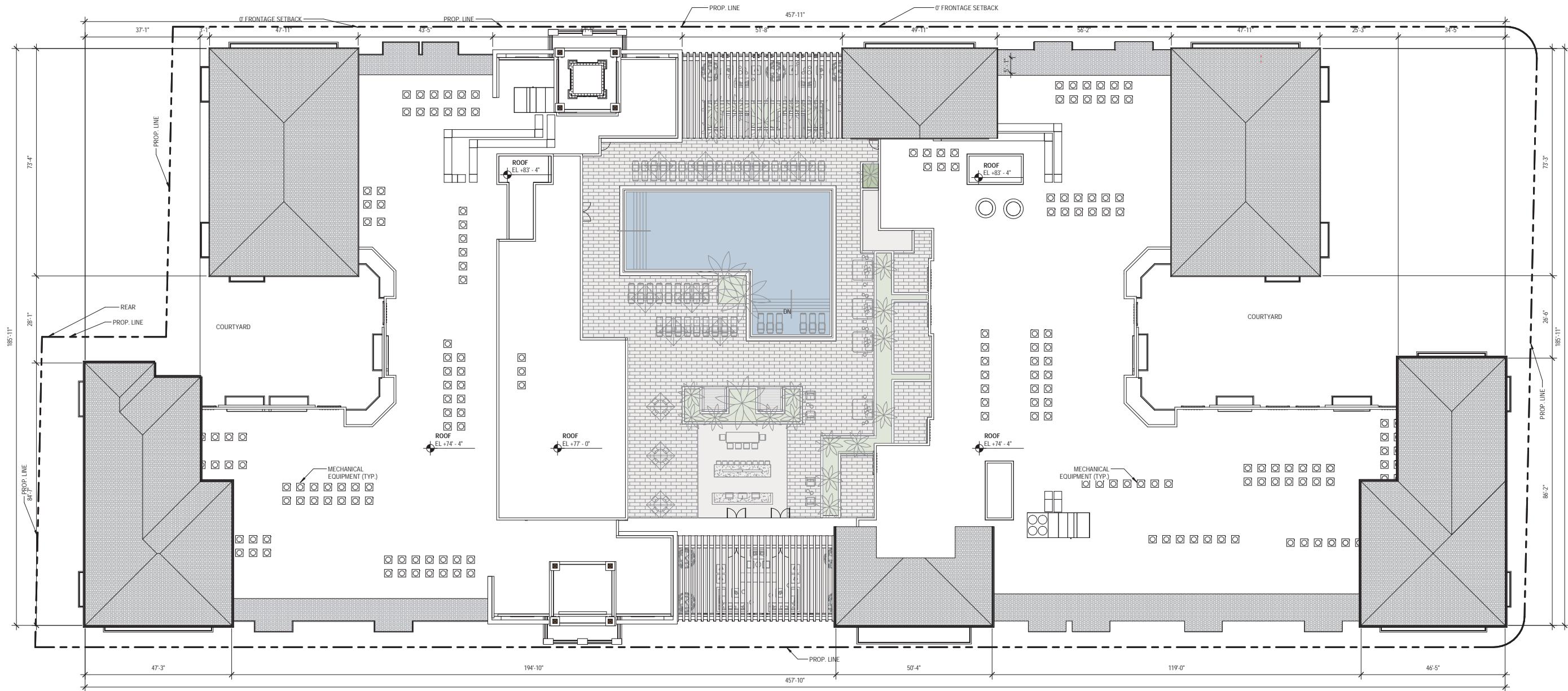


**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487



**ROOF PLAN**

**Roof Level**   
 SCALE: 1/16" = 1'-0"

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

**SHEET NUMBER:**  
**A-2.05**



**PARTIAL SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**PARTIAL SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**OVERALL SOUTH ELEVATION**

SCALE: 1" = 20'-0"

**ELEVATION LEGEND**

1. PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2. PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3. PAINTED ALUMINUM DECORATIVE GRILL
4. DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5. PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6. ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/DOOR, MIN. 4" RECESS
7. PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8. LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9. PRECAST KEY STONE WITH LIMESTONE FINISH
10. PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11. CONCRETE BALCONY SLAB
12. PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13. ROOF LEVEL OVERHANG SOFFIT
14. DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15. ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16. PARKING GARAGE ENTRANCE
17. IMPACT RESISTANT METAL DOOR
18. STAIR/ ELEVATOR BULKHEAD
19. EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20. RESIDENTIAL UNIT ENTRY STOOP
21. STANDING SEAM COPPER CUPOLA
22. DECORATIVE TRELIS SYSTEM
23. 3/4" REVEAL (TYP.)
24. PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25. PRECAST CONCRETE BRACKET, SMOOTH FINISH
26. 8" RECESSED C.M.U. WALL ARCHES
27. SPANISH "S" TILE ROOF
28. 4' ROOF EAVE OVERHANG
29. PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30. MECHANICAL LOUVERS



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**

**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**SOUTH ELEVATION**

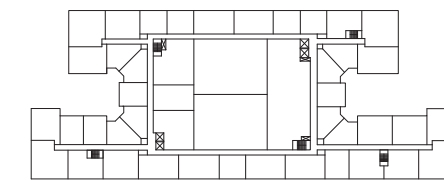
PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK,AV,CM,JM  
APPR BY: AMC  
PRINTED: 11/24/2021



**KEY PLAN**  
N.T.S.

SHEET NUMBER:

**A-3.00**





PAINTED ALUMINUM DECORATIVE GRILL



EXTERIOR LIGHTING FEATURE



ALUMINUM TRELLIS



SPANISH "S" TILE ROOF



DECORATIVE ALUMINUM OUTLOOKERS



OVERALL SOUTH ELEVATION  
SCALE: 1" = 20'-0"

ALUMINUM RAILING



LIGHT TEXTURE/SMOOTH PAINTED STUCCO FINISH



ALUMINUM/GLASS CANOPY



ALUMINUM STOREFRONT



PRECAST LIMESTONE VENEER



PRECAST LIMESTONE CORNICE



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
TCR  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

SOUTH ELEVATION MATERIALS

PHASE:

BOA SUBMITTAL

SI



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

A-3.00A



**PARTIAL NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**PARTIAL NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**ELEVATION LEGEND**

1. PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2. PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3. PAINTED ALUMINUM DECORATIVE GRILL
4. DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5. PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6. ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/DOOR, MIN. 4" RECESS
7. PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8. LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9. PRECAST KEY STONE WITH LIMESTONE FINISH
10. PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11. CONCRETE BALCONY SLAB
12. PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13. ROOF LEVEL OVERHANG SOFFIT
14. DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15. ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16. PARKING GARAGE ENTRANCE
17. IMPACT RESISTANT METAL DOOR
18. STAIR/ ELEVATOR BULKHEAD
19. EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20. RESIDENTIAL UNIT ENTRY STOOP
21. STANDING SEAM COPPER CUPOLA
22. DECORATIVE TRELIS SYSTEM
23. 3/4" REVEAL (TYP.)
24. PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25. PRECAST CONCRETE BRACKET, SMOOTH FINISH
26. 8" RECESSED C.M.U. WALL ARCHES
27. SPANISH "S" TILE ROOF
28. 4' ROOF EAVE OVERHANG
29. PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30. MECHANICAL LOUVERS



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**NORTH ELEVATION**

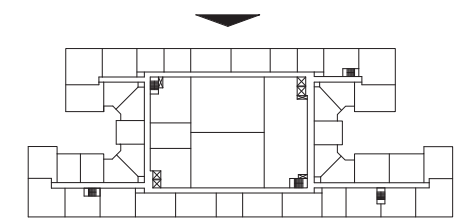
PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB NO.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021



**KEY PLAN**  
N.T.S.

SHEET NUMBER:

**A-3.01**



PAINTED ALUMINUM DECORATIVE GRILL



SPANISH "S" TILE ROOF



ALUMINUM TRELLIS



EXTERIOR LIGHTING FEATURE



DECORATIVE ALUMINUM OUTLOOKERS



OVERALL NORTH ELEVATION

SCALE: 1" = 20'-0"

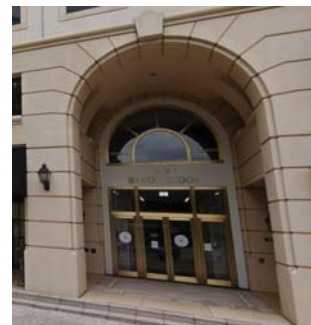
ALUMINUM RAILING



LIGHT TEXTURE/SMOOTH PAINTED STUCCO FINISH



PRECAST LIMESTONE VENEER



ALUMINUM STOREFRONT



ALUMINUM/GLASS CANOPY



PRECAST LIMESTONE CORNICE



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

NORTH ELEVATION MATERIALS

PHASE:

BOA SUBMITTAL

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-3.01A**



**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**EAST & WEST ELEVATIONS**



**WEST ELEVATION**

SCALE: 1/16" = 1'-0"

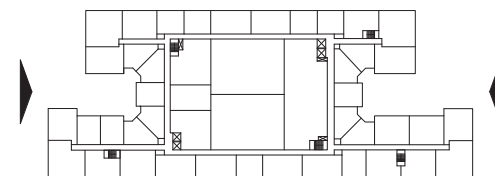


**EAST ELEVATION**

SCALE: 1/16" = 1'-0"

**ELEVATION LEGEND**

1. PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2. PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3. PAINTED ALUMINUM DECORATIVE GRILL
4. DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5. PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6. ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/ DOOR, MIN. 4" RECESS
7. PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8. LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9. PRECAST KEY STONE WITH LIMESTONE FINISH
10. PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11. CONCRETE BALCONY SLAB
12. PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13. ROOF LEVEL OVERHANG SOFFIT
14. DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15. ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16. PARKING GARAGE ENTRANCE
17. IMPACT RESISTANT METAL DOOR
18. STAIR/ ELEVATOR BULKHEAD
19. EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20. RESIDENTIAL UNIT ENTRY STOOP
21. STANDING SEAM COPPER CUPOLA
22. DECORATIVE TRELIS SYSTEM
23. 3/4" REVEAL (TYP.)
24. PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25. PRECAST CONCRETE BRACKET, SMOOTH FINISH
26. 8" RECESSED C.M.U. WALL ARCHES
27. SPANISH "S" TILE ROOF
28. 4' ROOF EAVE OVERHANG
29. PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30. MECHANICAL LOUVERS



**KEY PLAN**  
 N.T.S.

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-3.02**



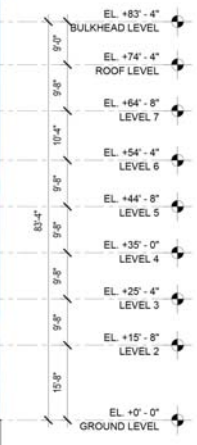
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

COURTYARD ELEVATIONS



**SOUTH COURTYARD ELEVATION**  
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1.	PRECAST VENEER LIMESTONE, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
2.	PRECAST LIMESTONE CORNICE, SMOOTH FINISH
3.	PAINTED ALUMINUM DECORATIVE GRILL
4.	DECORATIVE ALUMINUM RAILING, ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4
5.	PRECAST LIMESTONE CORNER COINS, SMOOTH FINISH ON CONCRETE/C.M.U. WALL
6.	ALUMINUM - ESP. BRONZE COLOR FINISH STOREFRONT/ WINDOWS/ DOOR, MIN. 4" RECESS
7.	PRECAST LIMESTONE SILL/ LINTEL, SMOOTH FINISH
8.	LIGHT TEXTURE PAINTED STUCCO FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
9.	PRECAST KEY STONE WITH LIMESTONE FINISH
10.	PRECAST LIMESTONE WINDOW/DOOR TRIM, SMOOTH FINISH
11.	CONCRETE BALCONY SLAB
12.	PARAPET WALL, 5 FEET HEIGHT MINIMUM.
13.	ROOF LEVEL OVERHANG SOFFIT
14.	DECORATIVE OUTLOOKERS AT ROOF OVERHANG
15.	ALUMINUM/GLASS CANOPY - ESP. BRONZE COLOR FINISH
16.	PARKING GARAGE ENTRANCE
17.	IMPACT RESISTANT METAL DOOR
18.	STAIR/ ELEVATOR BULKHEAD
19.	EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER
20.	RESIDENTIAL UNIT ENTRY STOOP
21.	STANDING SEAM COPPER CUPOLA
22.	DECORATIVE TRELLIS SYSTEM
23.	3/4" REVEAL (TYP.)
24.	PRECAST DECORATIVE PILASTER, SMOOTH FINISH
25.	PRECAST CONCRETE BRACKET, SMOOTH FINISH
26.	8" RECESSED C.M.U. WALL ARCHES
27.	SPANISH "S" TILE ROOF
28.	4' ROOF EAVE OVERHANG
29.	PRECAST CONCRETE DECORATIVE ARCHES TRIM, SMOOTH FINISH
30.	MECHANICAL LOUVERS

PHASE:

**BOA SUBMITTAL**

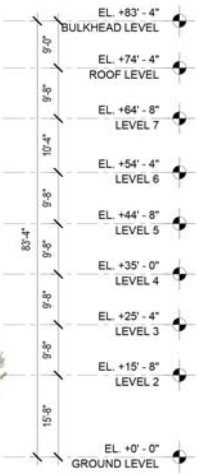


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

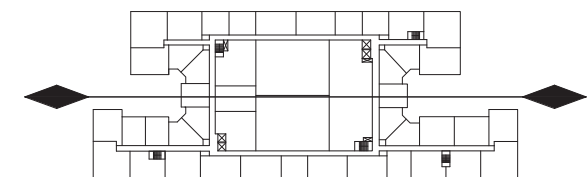
DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK,AV,CM,JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

**A-3.03**



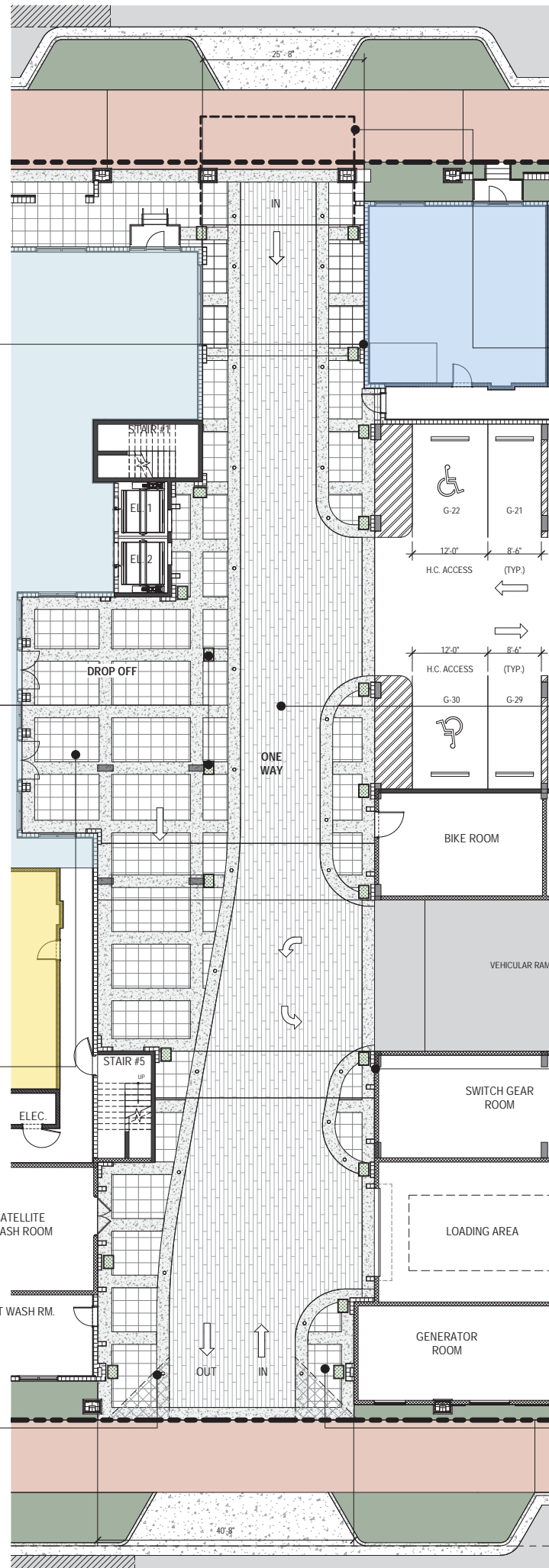
**NORTH COURTYARD ELEVATION**  
SCALE: 1/16" = 1'-0"



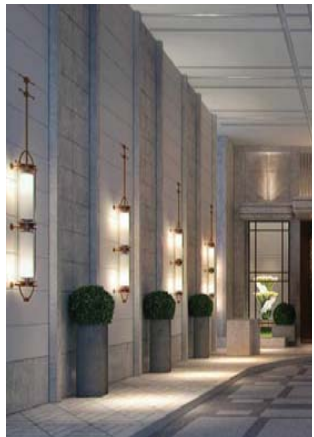
**KEY PLAN**  
N.T.S.



SIGN WALL



ENTRY CANOPY



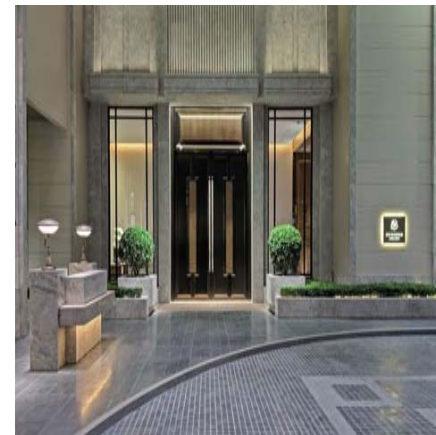
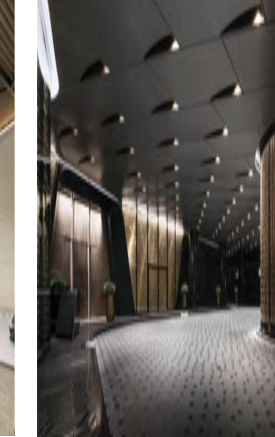
PRE-CAST PLANTERS



VERTICAL LANDSCAPE



DRIVE PAVER PATTERNS



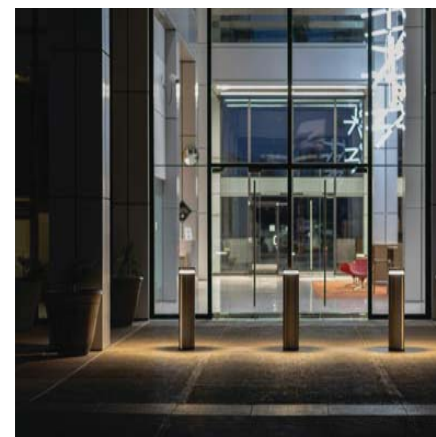
ENTRY FEATURES



WALL CLADDINGS



VEHICULAR BOLLARDS



CEILING TYPES



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**DRIVEWAY FLOOR PLAN & REFERENCE IMAGES**

PHASE:

**BOA SUBMITTAL**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 10/29/2021

SHEET NUMBER:

**A-3.04**

**DRIVEWAY FLOOR PLAN**

SCALE: 3/32" = 1'-0"



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

ENLARGED PARTIAL ELEVATIONS AND DETAILS

PHASE:

BOA SUBMITTAL

SI

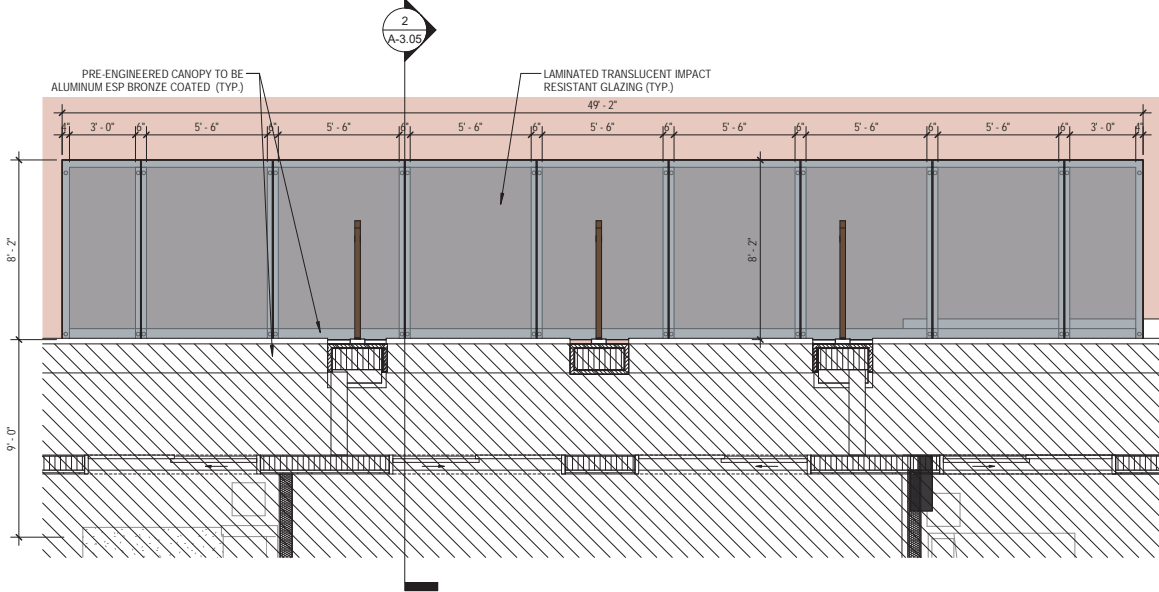


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 10/28/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 11/24/2021

SHEET NUMBER:

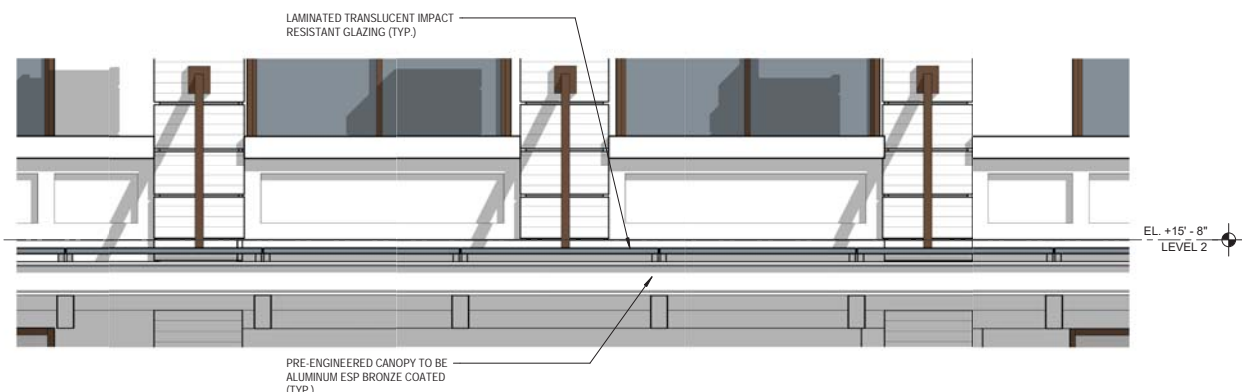
**A-3.05**



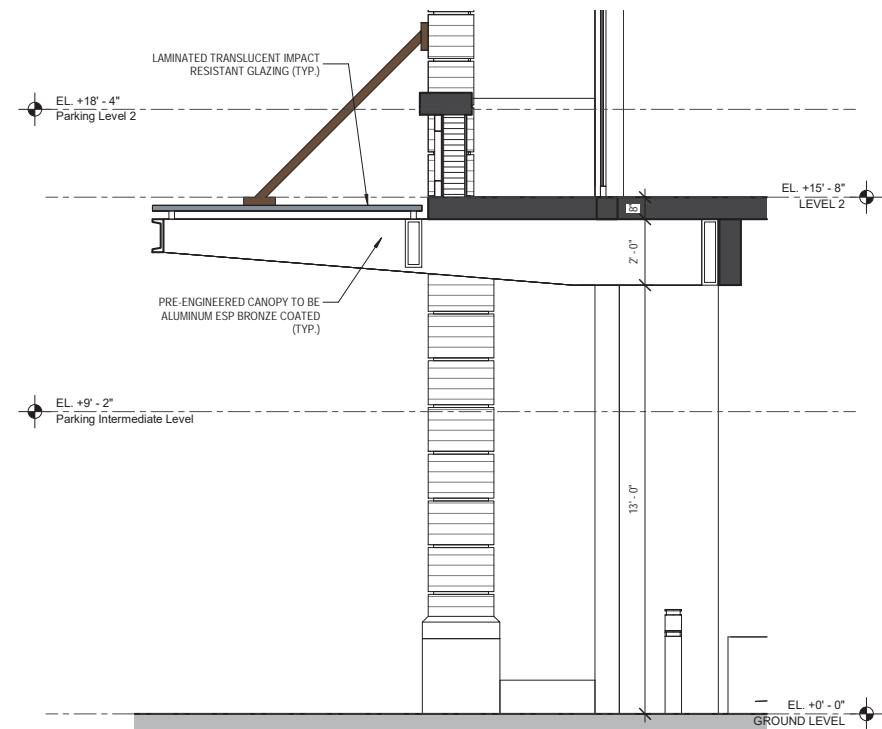
**A ENLARGED CANOPY FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



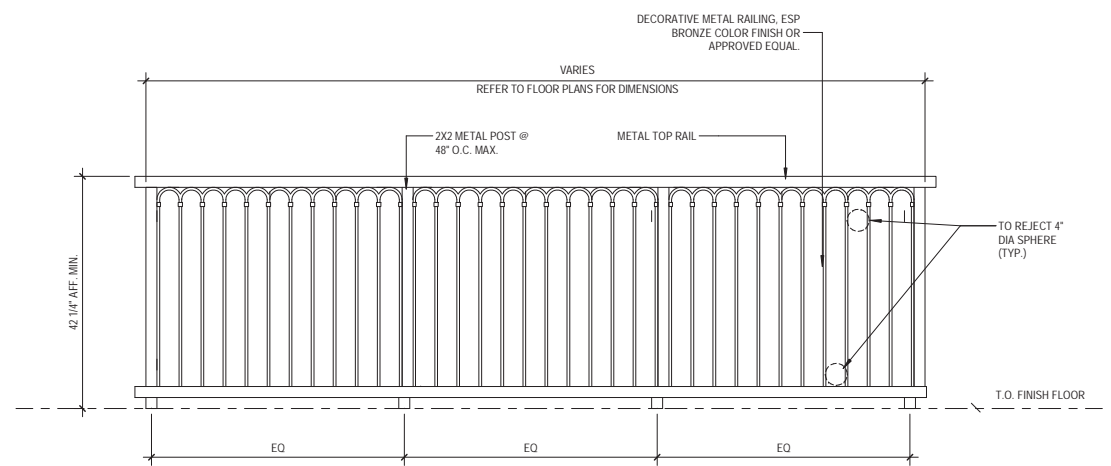
**3 TYP. PRE-CAST STONE ELEVATION DETAIL**  
SCALE: 1/4" = 1'-0"



**1 CANOPY ENLARGED ELEVATION**  
SCALE: 3/8" = 1'-0"



**2 CANOPY SECTION**  
SCALE: 3/8" = 1'-0"



**4 TYP. DECORATIVE BALCONY RAILING**  
SCALE: 3/4" = 1'-0"



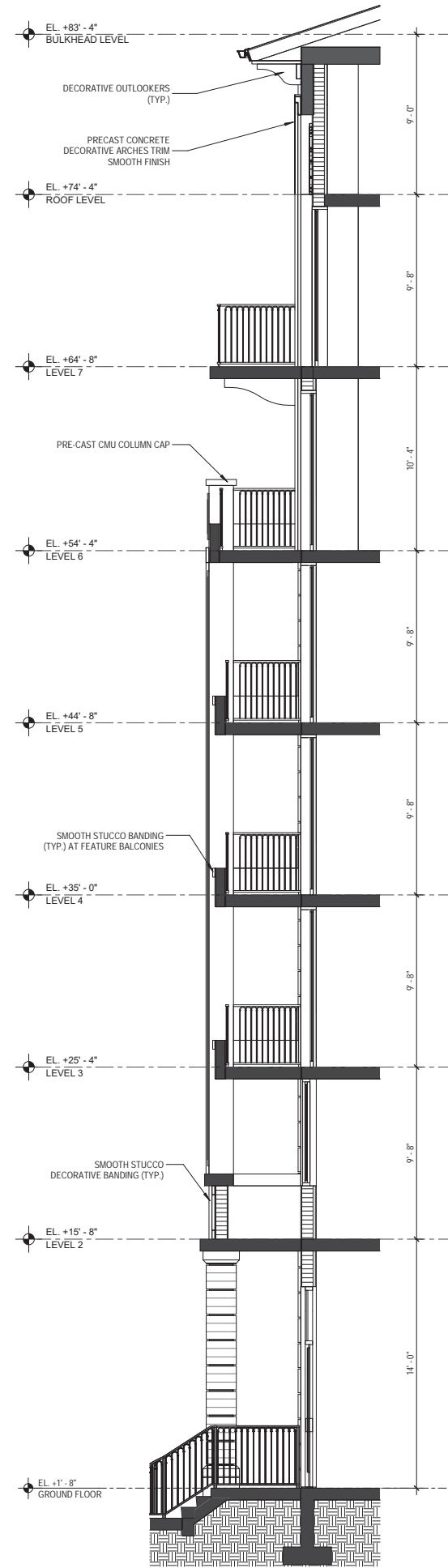
**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL. 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

**ENLARGED BALCONY SECTION  
 AND 3D VIEW**



**TYPICAL SECTION**  
 SCALE: 1/4" = 1'-0"



- CMU WALL WITH SMOOTH STUCCO FINISH
- PRE-CAST CONCRETE DECORATIVE BRACKET, SMOOTH FINISH
- SMOOTH STUCCO BANDING
- CMU COLUMN WITH SMOOTH STUCCO FINISH
- PRE-CAST VENEER LIME STONE COLOR: SMOOTH FINISH ON CONCRETE/C.M.U. WALL

**PARTIAL BALCONY 3D VIEW**

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-3.06**





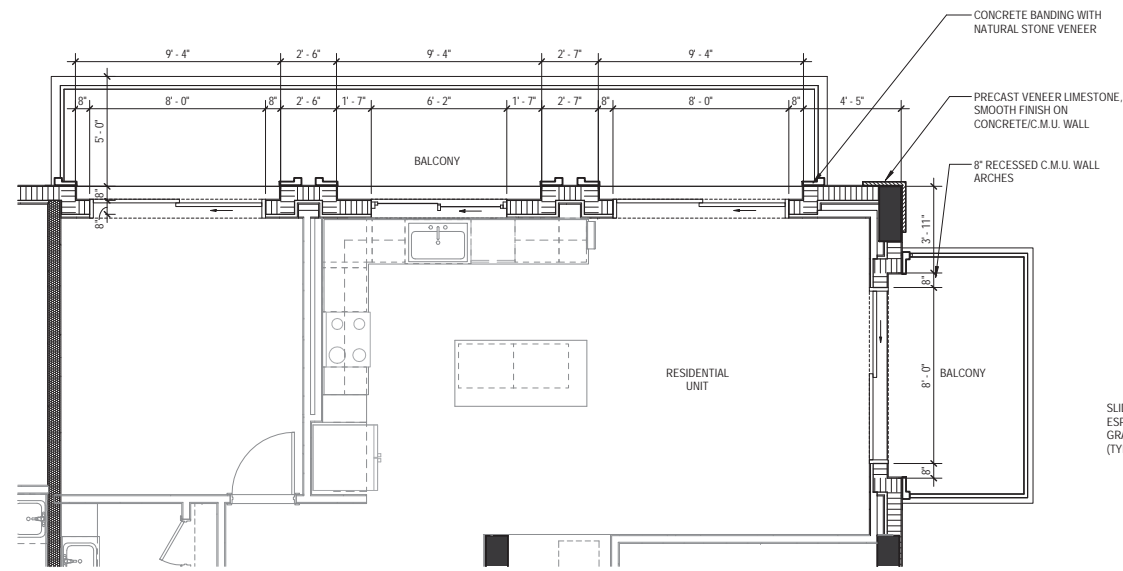
**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

ENLARGED 7TH LEVEL BALCONY



**PARTIAL 7TH LEVEL - BALCONY FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY ELEVATION**  
SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY 3D VIEW**

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-3.06A**



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**ENLARGED GROUND AND 7TH LEVEL BALCONY**

PHASE:

**BOA SUBMITTAL**

SI

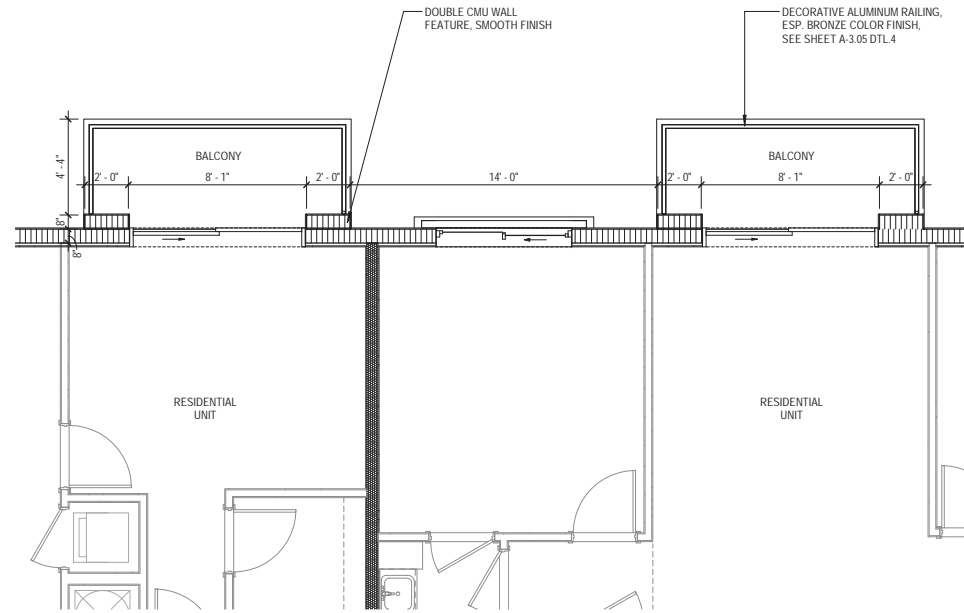


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

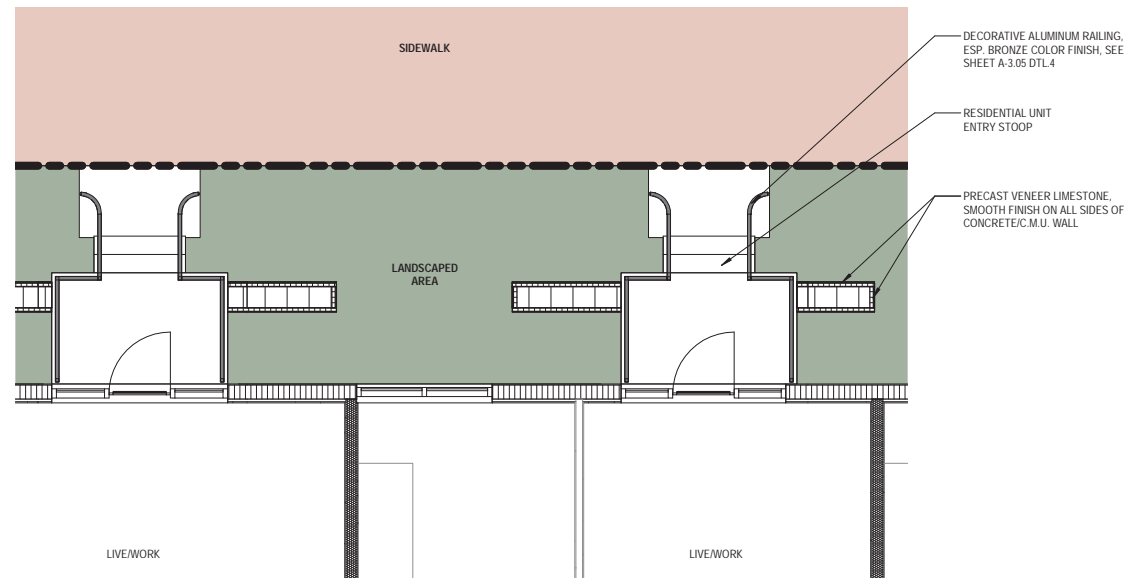
**A-3.06B**



**PARTIAL 7TH LEVEL - BALCONY ENLARGEMENT**  
SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL BALCONY ELEVATION**  
SCALE: 1/4" = 1'-0"



**PARTIAL GROUND - BALCONY FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ENLARGED PARTIAL STOOP ELEVATION**  
SCALE: 1/4" = 1'-0"



**CORWILARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

**OWNER:**  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487

ENLARGED NORTH MAIN ENTRY  
 VIEW

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

SHEET NUMBER:

**A-3.06C**

STANDING SEAM  
 COPPER CUPOLA  
 PRECAST LIMESTONE  
 CORNICE, SMOOTH FINISH

PAINTED ALUMINUM  
 DECORATIVE GRILL

EXTERIOR GRADE LIGHT FIXTURE, TO  
 BE SELECTED BY OWNER

DECORATIVE ALUMINUM RAILING,  
 ESP. BRONZE COLOR FINISH, SEE  
 SHEET A-3.05 DTL.4

STANDING SEAM COPPER CUPOLA  
 PRECAST LIMESTONE CORNICE, SMOOTH FINISH

PAINTED ALUMINUM DECORATIVE GRILL

EXTERIOR GRADE LIGHT FIXTURE, TO BE SELECTED BY OWNER

DECORATIVE ALUMINUM RAILING,  
 ESP. BRONZE COLOR FINISH, SEE SHEET A-3.05 DTL.4

**NORTH MAIN ENTRY - OPTION 1**

**NORTH MAIN ENTRY - OPTION 2**



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487



**ENLARGED SOUTH MAIN ENTRY  
VIEW**

**PHASE:**

**BOA SUBMITTAL**

**SI**



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 10/28/21  
**JOB No.:** 2020-47  
**DRAWN BY:** RK,AV,CM,JM  
**APPR BY:** AMC  
**PRINTED:** 11/24/2021

**SHEET NUMBER:**

**A-3.06D**

**SOUTH MAIN ENTRY VIEW**



VIEW ONE  
DRIVEWAY ENTRANCE



VIEW THREE  
MAIN ENTRANCE



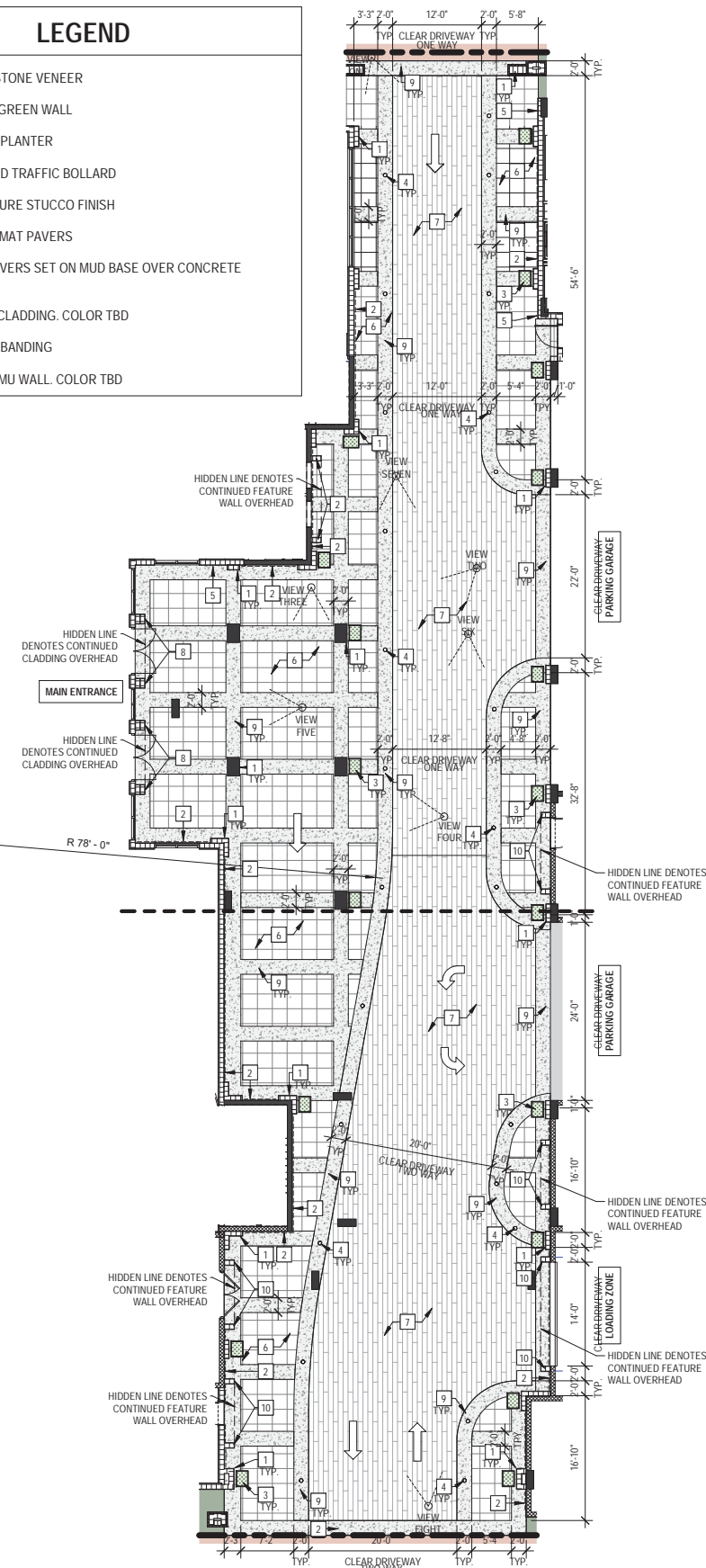
VIEW FIVE  
MAIN ENTRANCE



VIEW SEVEN  
DRIVEWAY

**LEGEND**

1. CAST LIMESTONE VENEER
2. ARTIFICIAL GREEN WALL
3. CONCRETE PLANTER
4. ILLUMINATED TRAFFIC BOLLARD
5. LIGHT TEXTURE STUCCO FINISH
6. LARGE FORMAT PAVERS
7. TRAFFIC PAVERS SET ON MUD BASE OVER CONCRETE SLAB
8. ALUMINUM CLADDING. COLOR TBD
9. CONCRETE BANDING
10. FEATURE CMU WALL. COLOR TBD



**ENLARGED DRIVEWAY PLAN**

SCALE: 3/32" = 1'-0"



VIEW TWO  
MAIN ENTRANCE



VIEW FOUR  
MAIN ENTRANCE



VIEW SIX  
DRIVEWAY



VIEW EIGHT  
DRIVEWAY SOUTH



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES, FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**ENLARGED DRIVEWAY PLAN**

PHASE:

**BOA SUBMITTAL**

SI

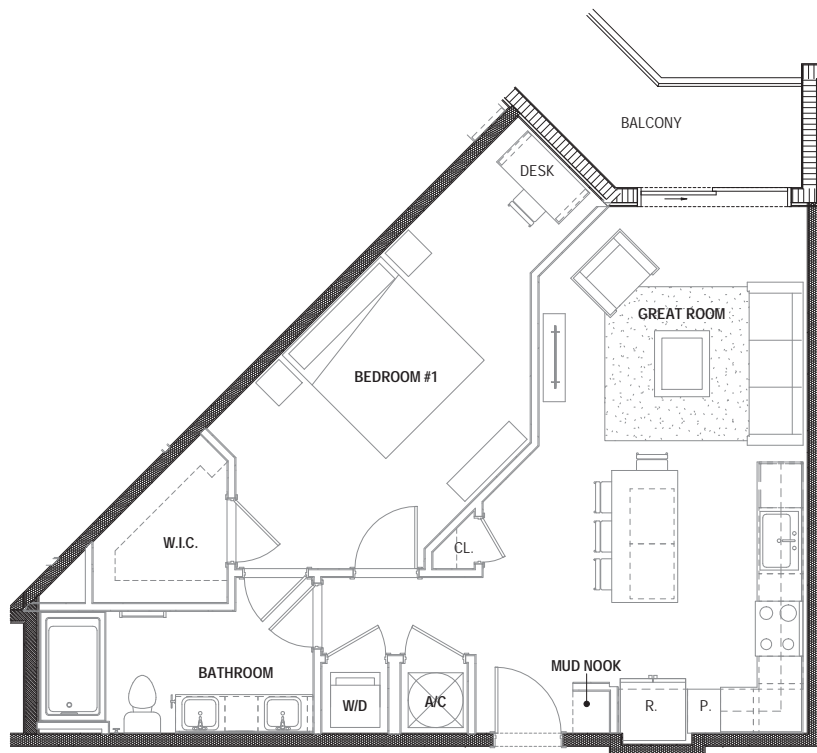


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 07/23/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 09/27/2021

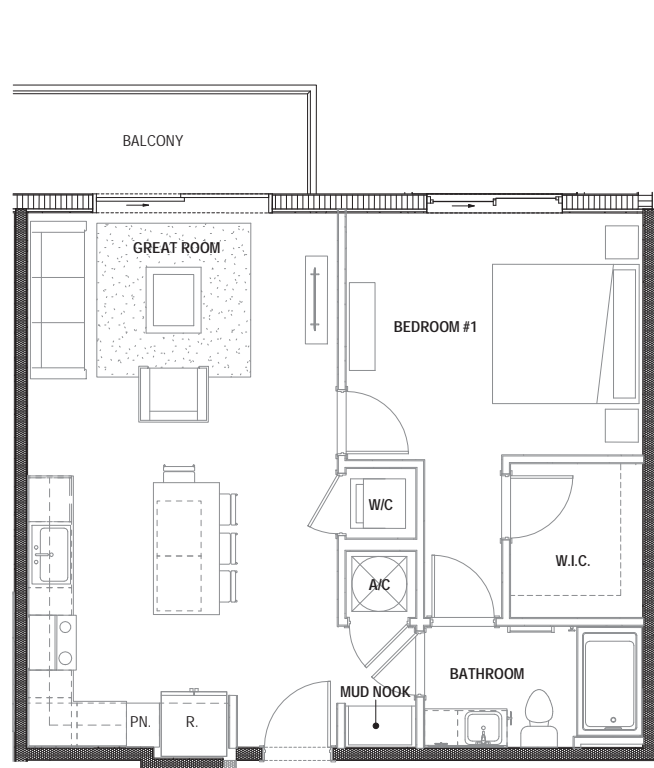
SHEET NUMBER:

**A-3.07**



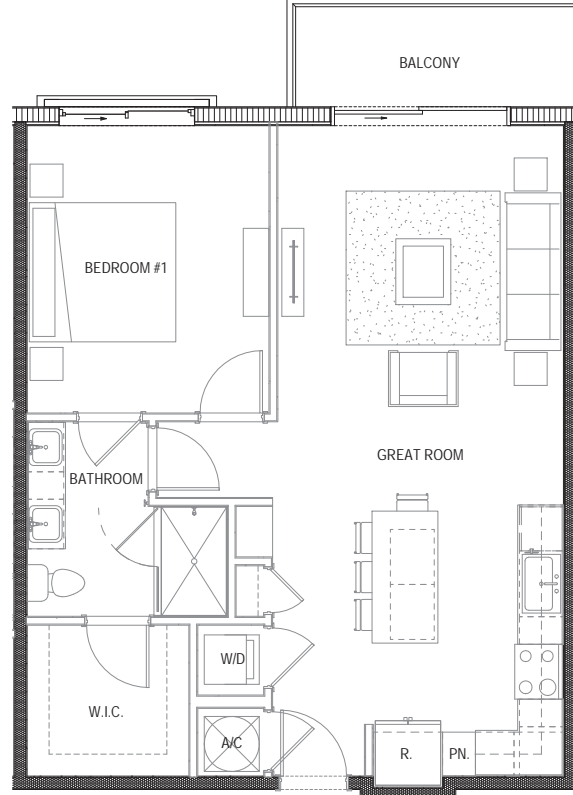
**UNIT A1/A1-A**

SCALE: 1/4" = 1'-0"



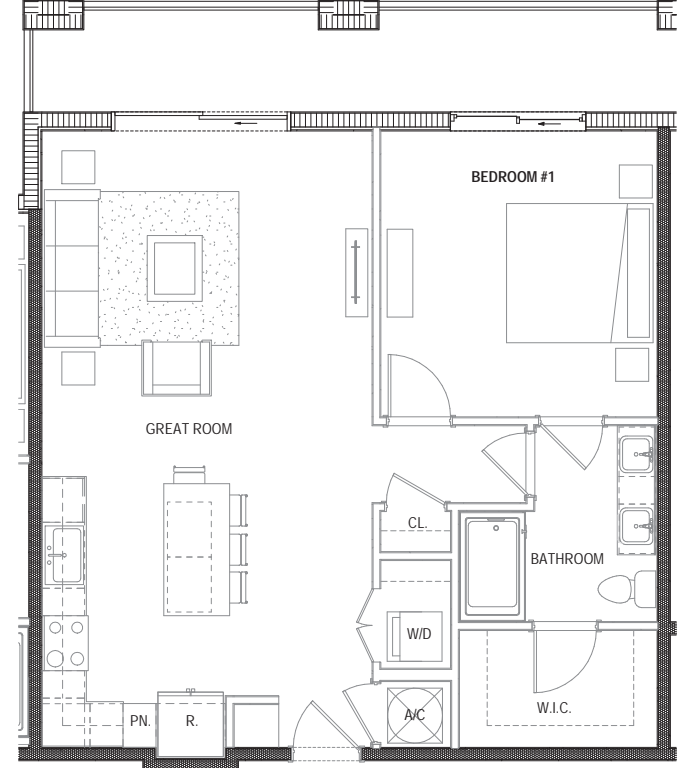
**UNIT A2/A2-A**

SCALE: 1/4" = 1'-0"



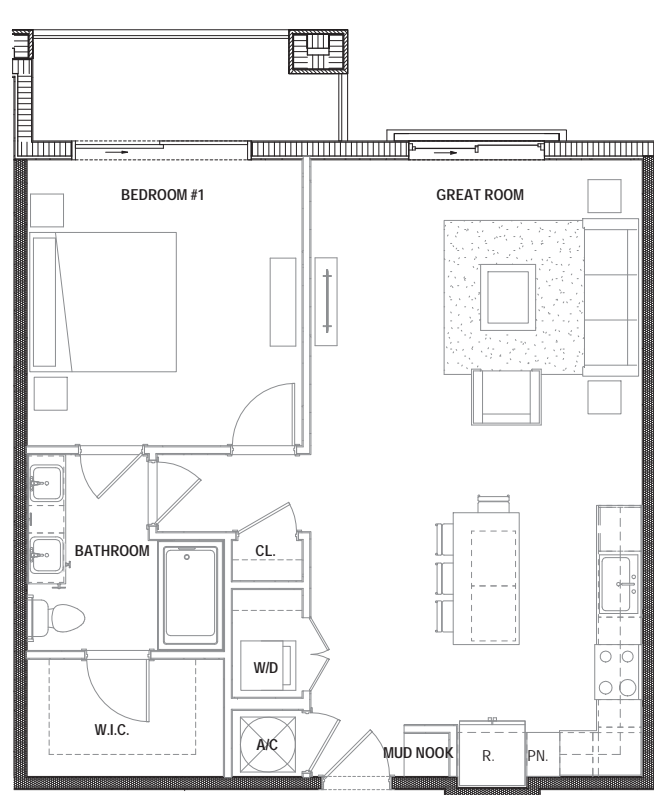
**UNIT A3/A3-A**

SCALE: 1/4" = 1'-0"



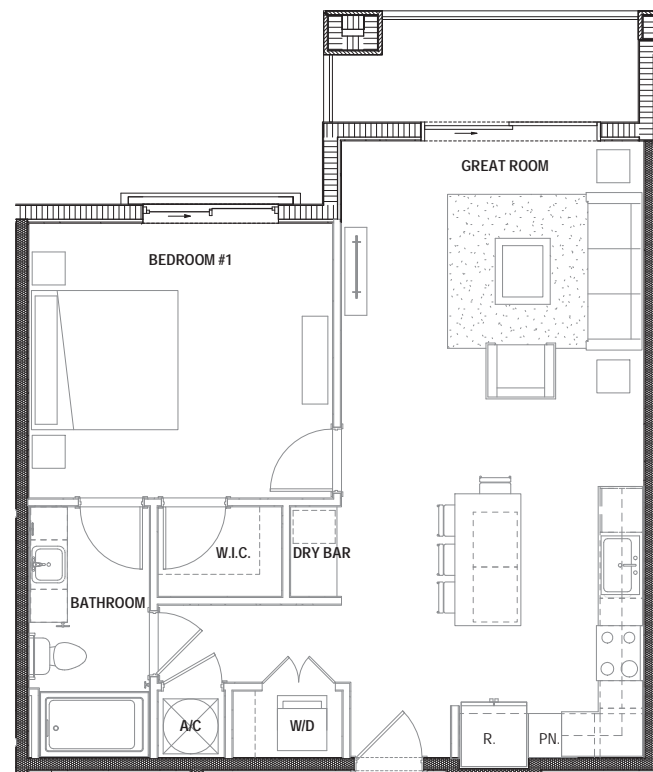
**UNIT A4**

SCALE: 1/4" = 1'-0"



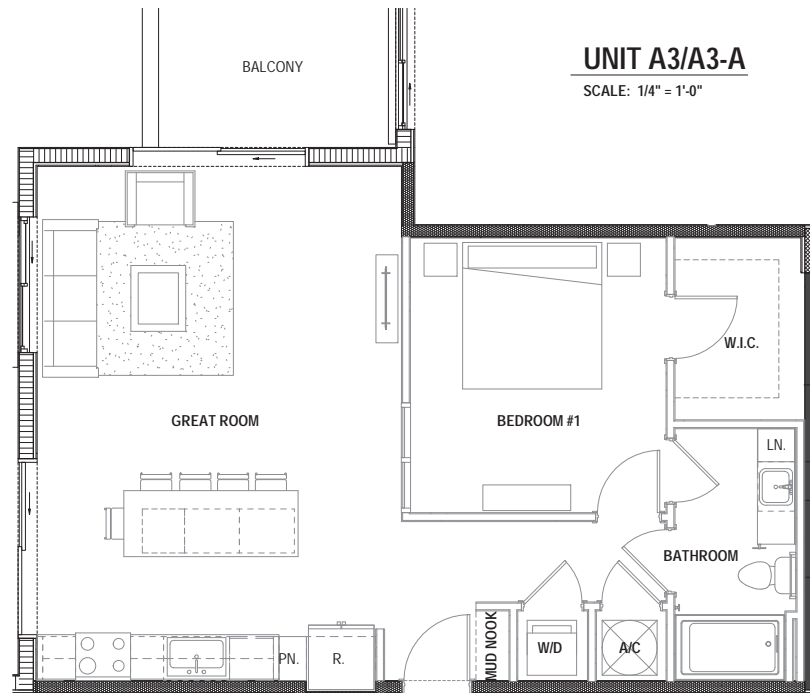
**UNIT A5**

SCALE: 1/4" = 1'-0"



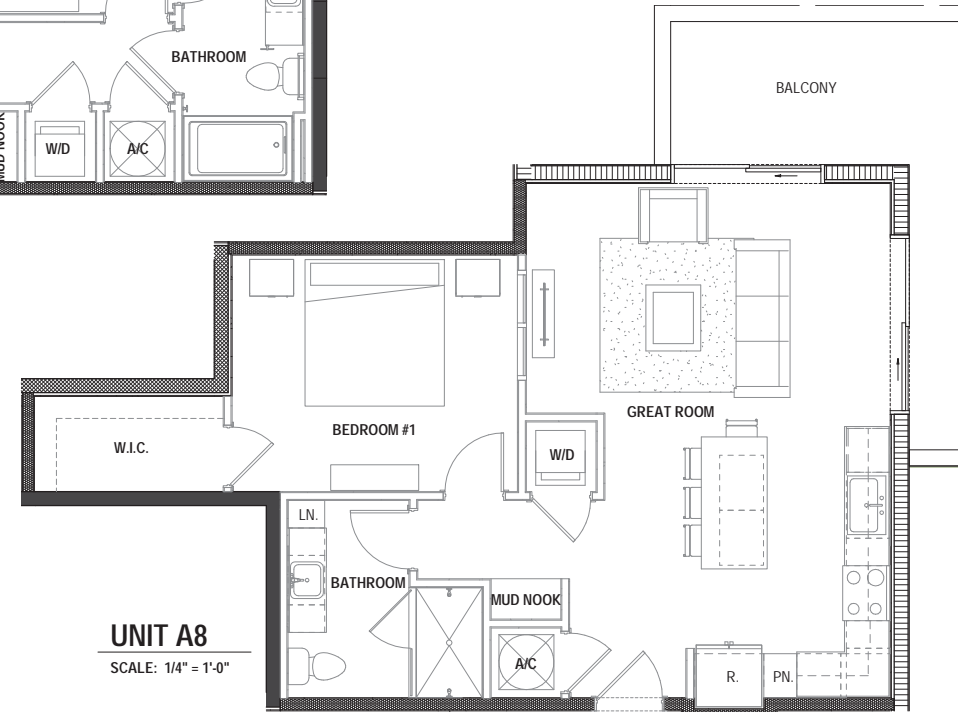
**UNIT A6**

SCALE: 1/4" = 1'-0"



**UNIT A7**

SCALE: 1/4" = 1'-0"



**UNIT A8**

SCALE: 1/4" = 1'-0"



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**1 BEDROOM UNIT PLANS**

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
JOB NO.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 09/27/2021

SHEET NUMBER:

**A-4.00**



CORWIL ARCHITECTS  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

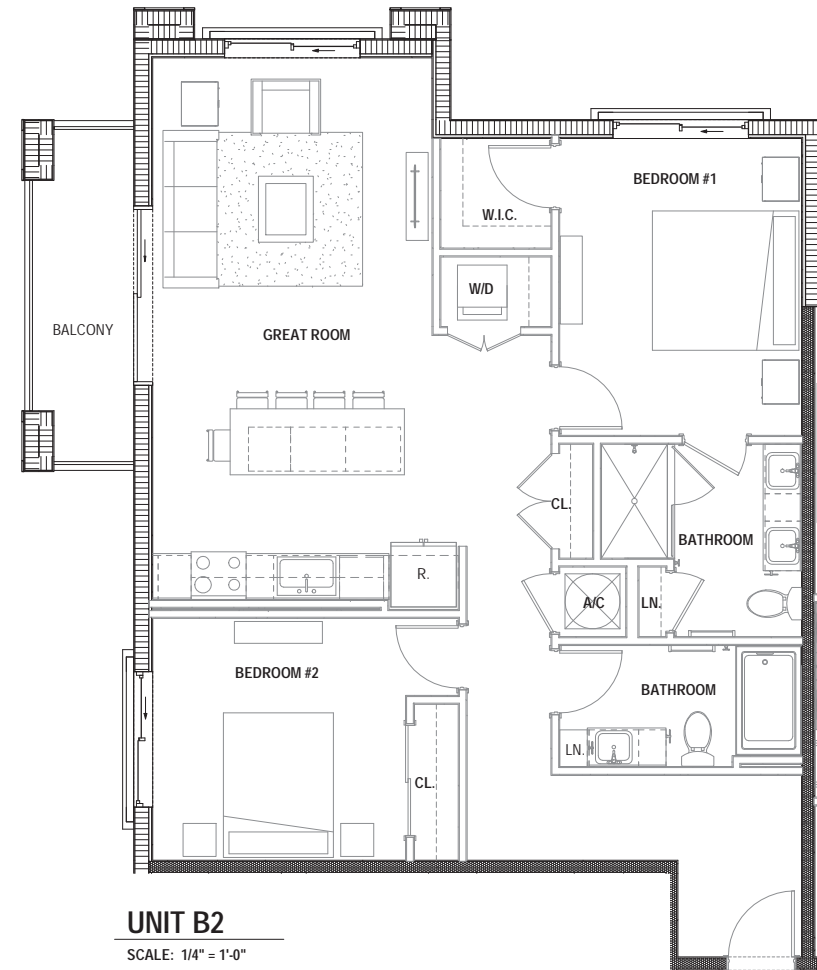
PROJECT:  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
TRAMMELL CROW RESIDENTIAL

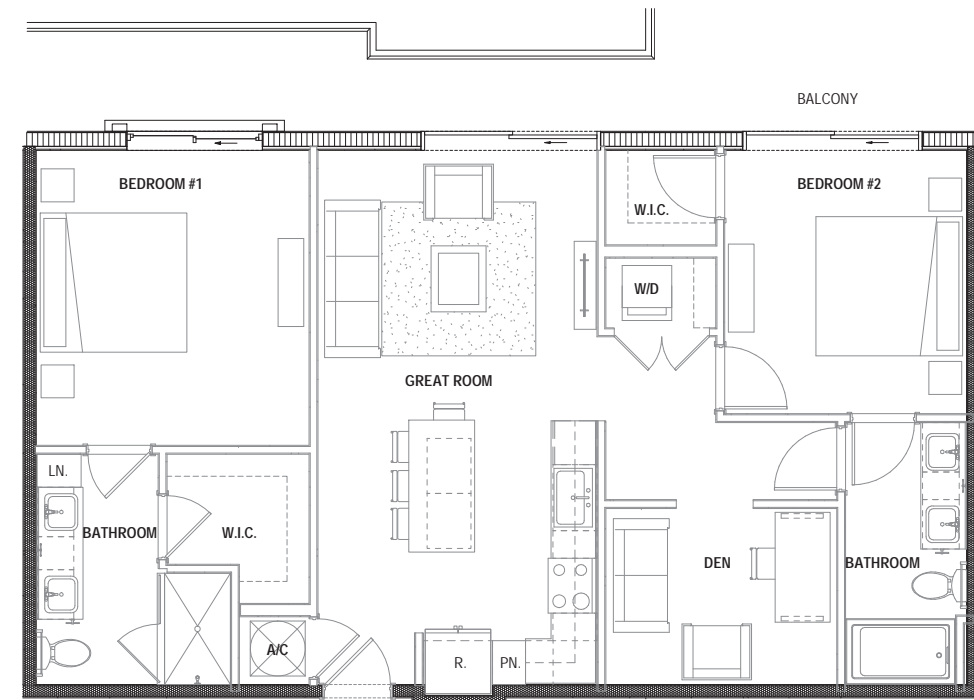
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487



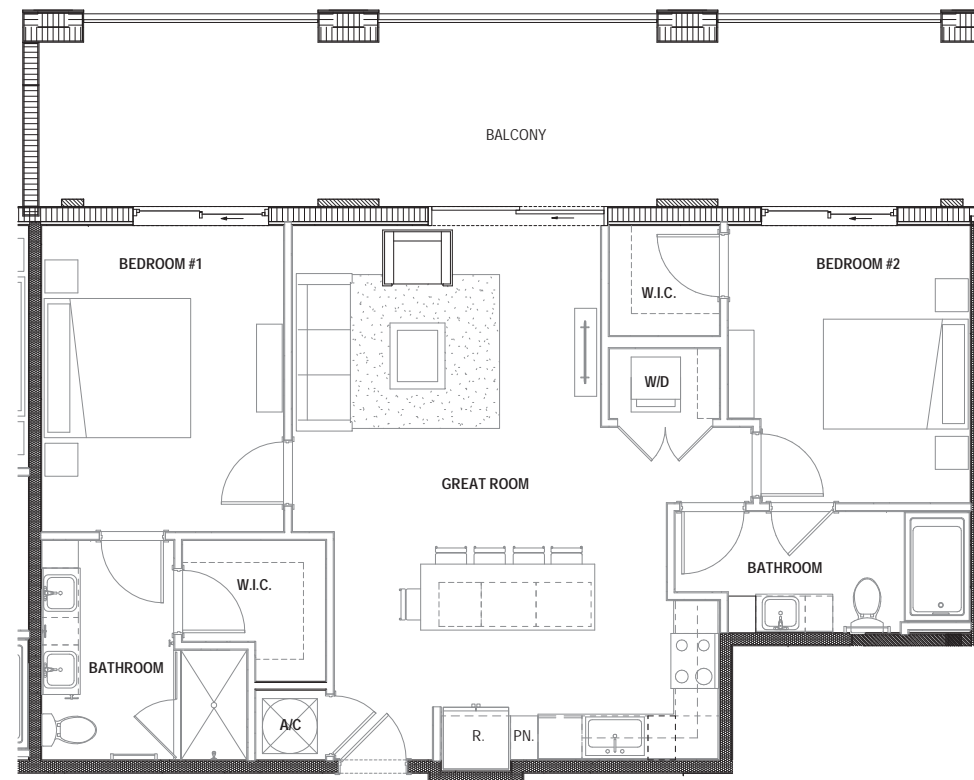
**UNIT B1**  
SCALE: 1/4" = 1'-0"



**UNIT B2**  
SCALE: 1/4" = 1'-0"



**UNIT B3**  
SCALE: 1/4" = 1'-0"



**UNIT B3-A**  
SCALE: 1/4" = 1'-0"

2 BEDROOM UNIT PLANS

PHASE:

BOA SUBMITTAL

SI



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 09/27/2021

SHEET NUMBER:

**A-4.01**

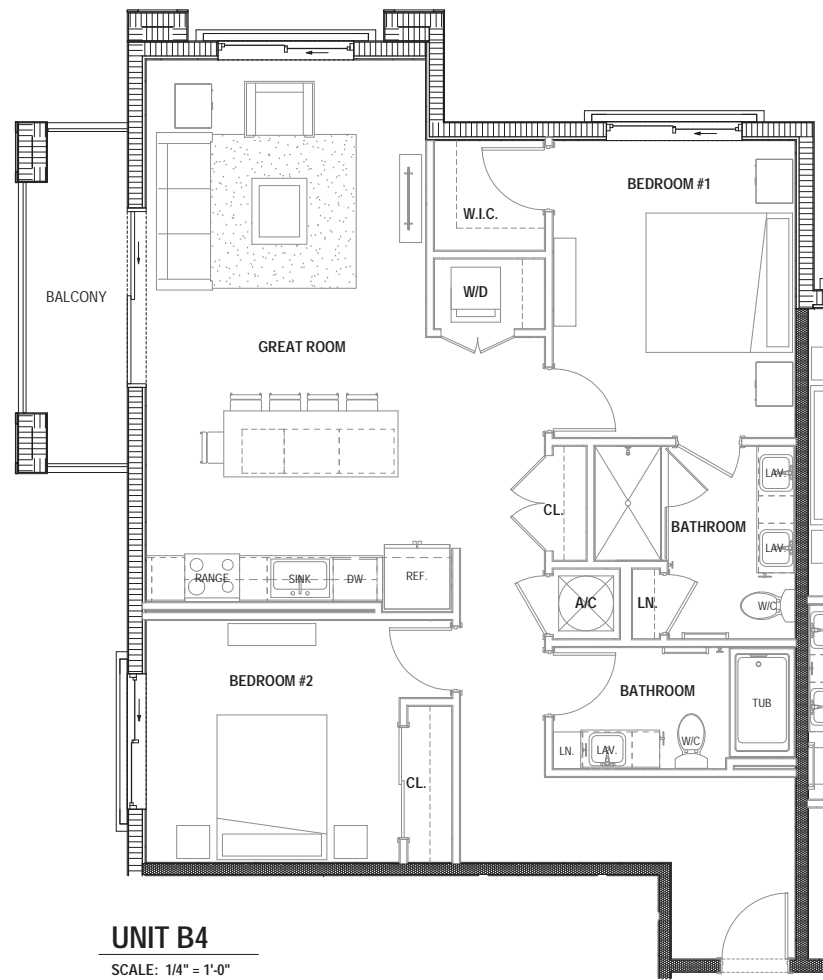


**CORWIL ARCHITECTS**  
 4210 LAGUNA ST. CORAL GABLES FL 33146  
 LIC. NO. AA-C002151 T.305.448.7383

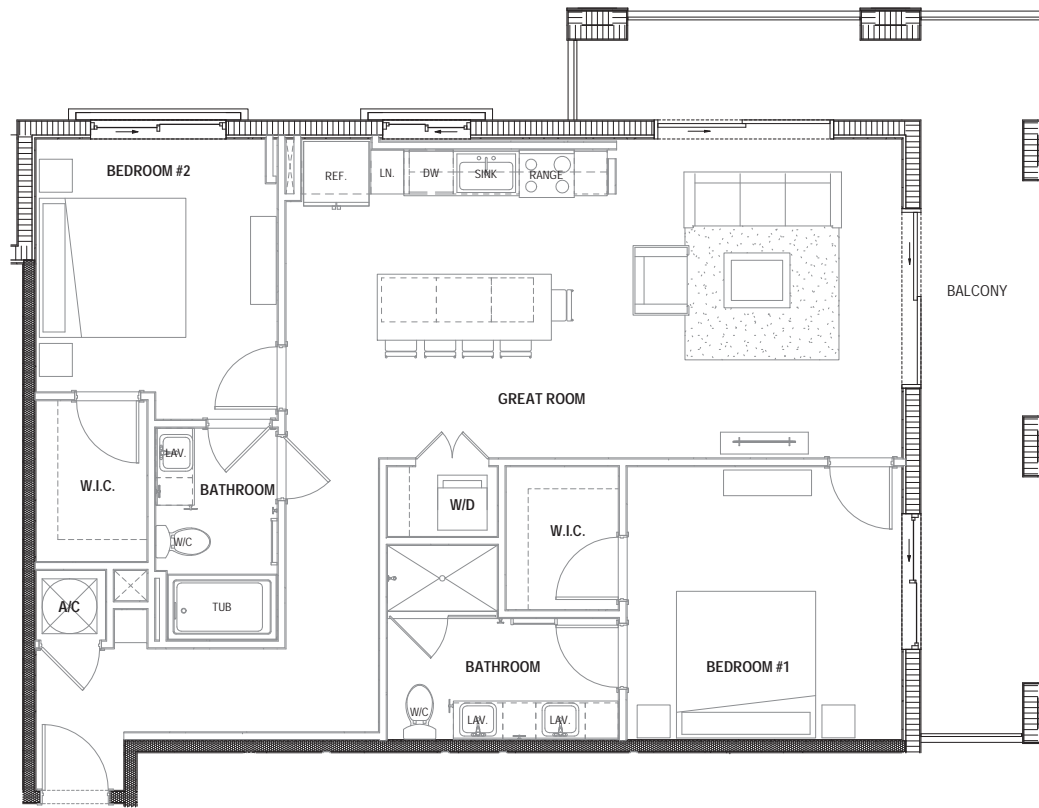
PROJECT:  
**ALEXAN CRAFTS**  
 330 CATALONIA AVENUE  
 CORAL GABLES, FLORIDA 33146

OWNER:  
**TCR**  
 TRAMMELL CROW RESIDENTIAL

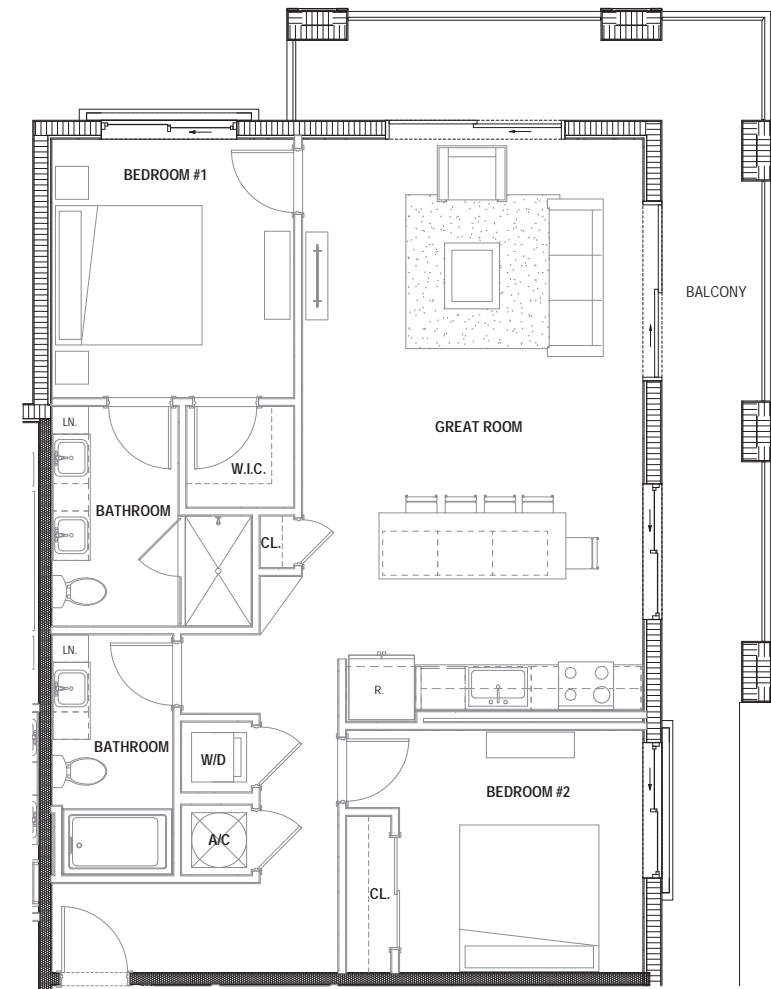
6400 Congress Avenue, Suite 1050  
 Boca Raton, FL 33487



**UNIT B4**  
 SCALE: 1/4" = 1'-0"



**UNIT B5/B5A**  
 SCALE: 1/4" = 1'-0"



**UNIT B6**  
 SCALE: 1/4" = 1'-0"

**2 BEDROOM UNIT PLANS**

PHASE:

**BOA SUBMITTAL**



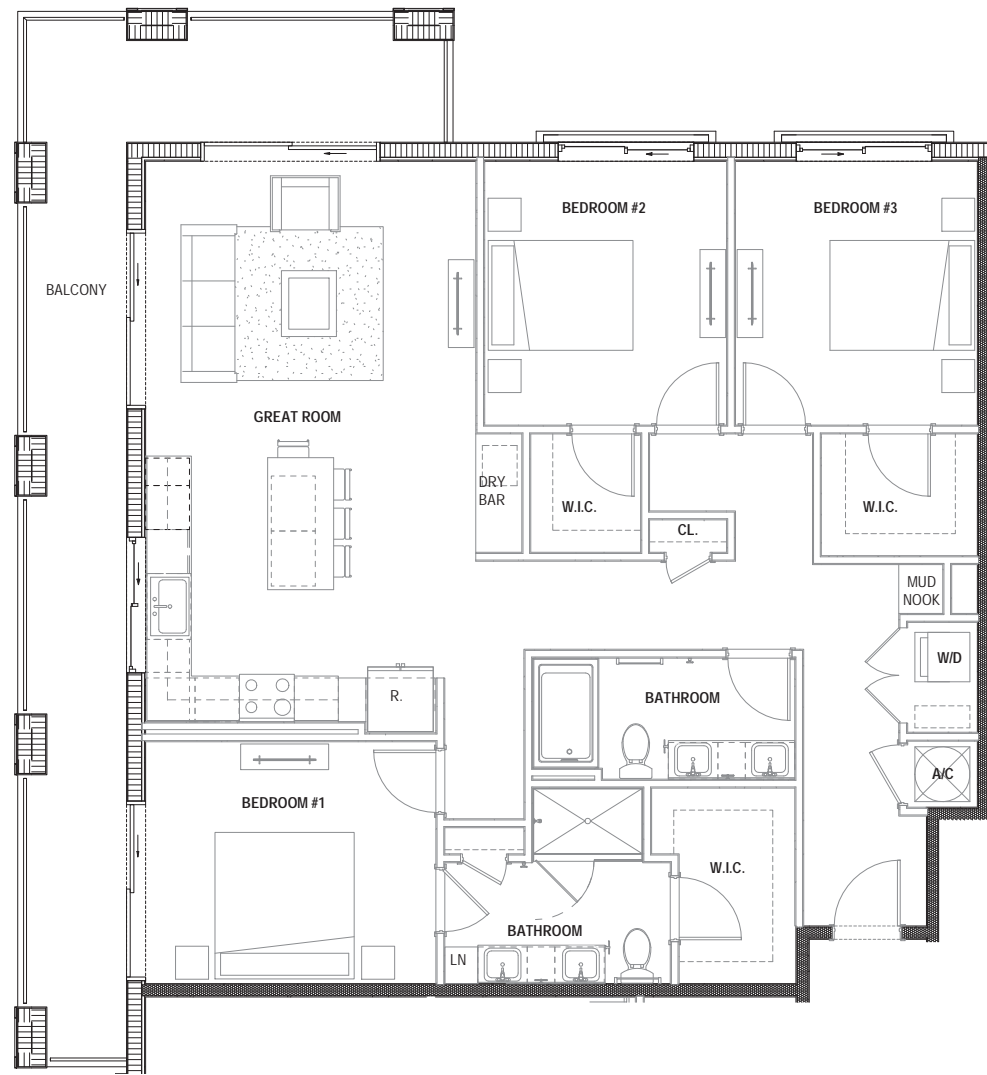
THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
 JOB No.: 2020-47  
 DRAWN BY: RK, AV, CM, JM  
 APPR BY: AMC  
 PRINTED: 09/27/2021

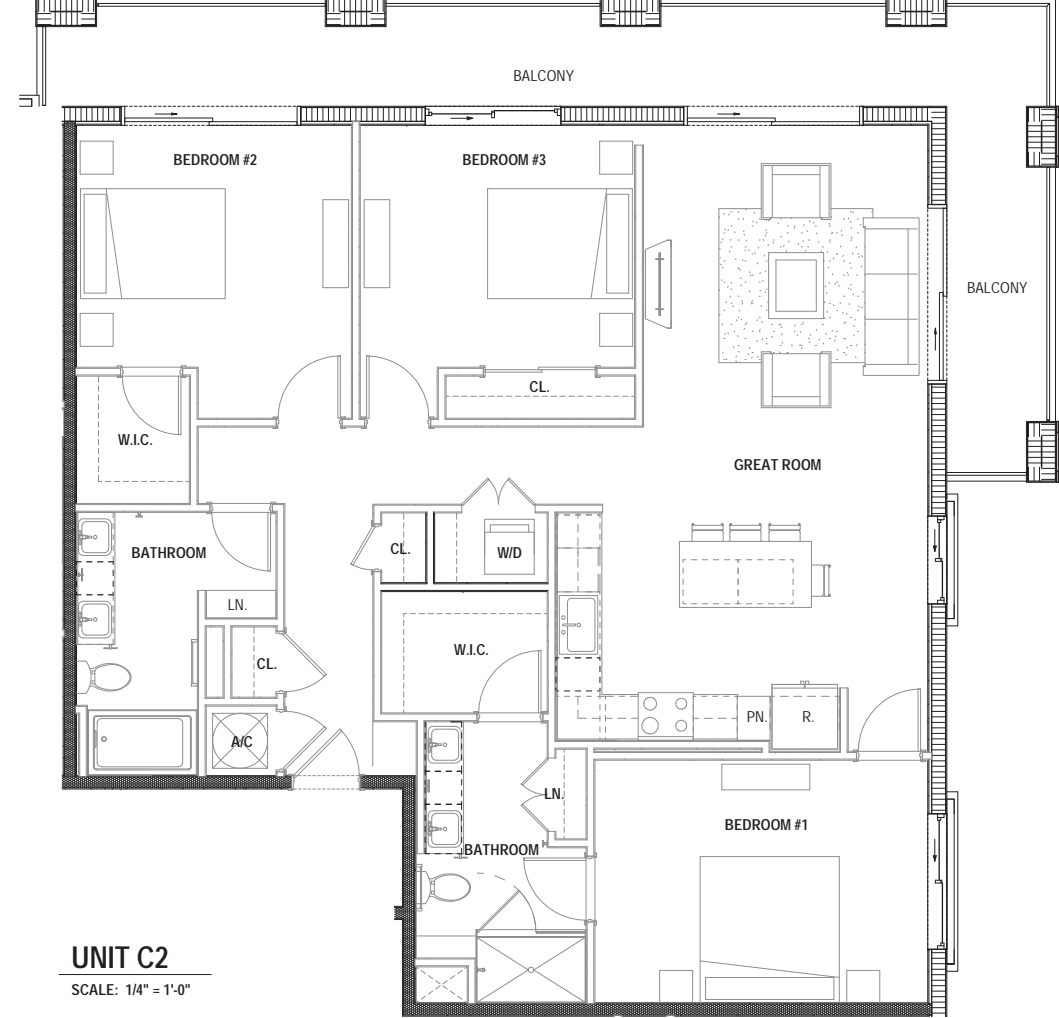
SHEET NUMBER:

**A-4.02**

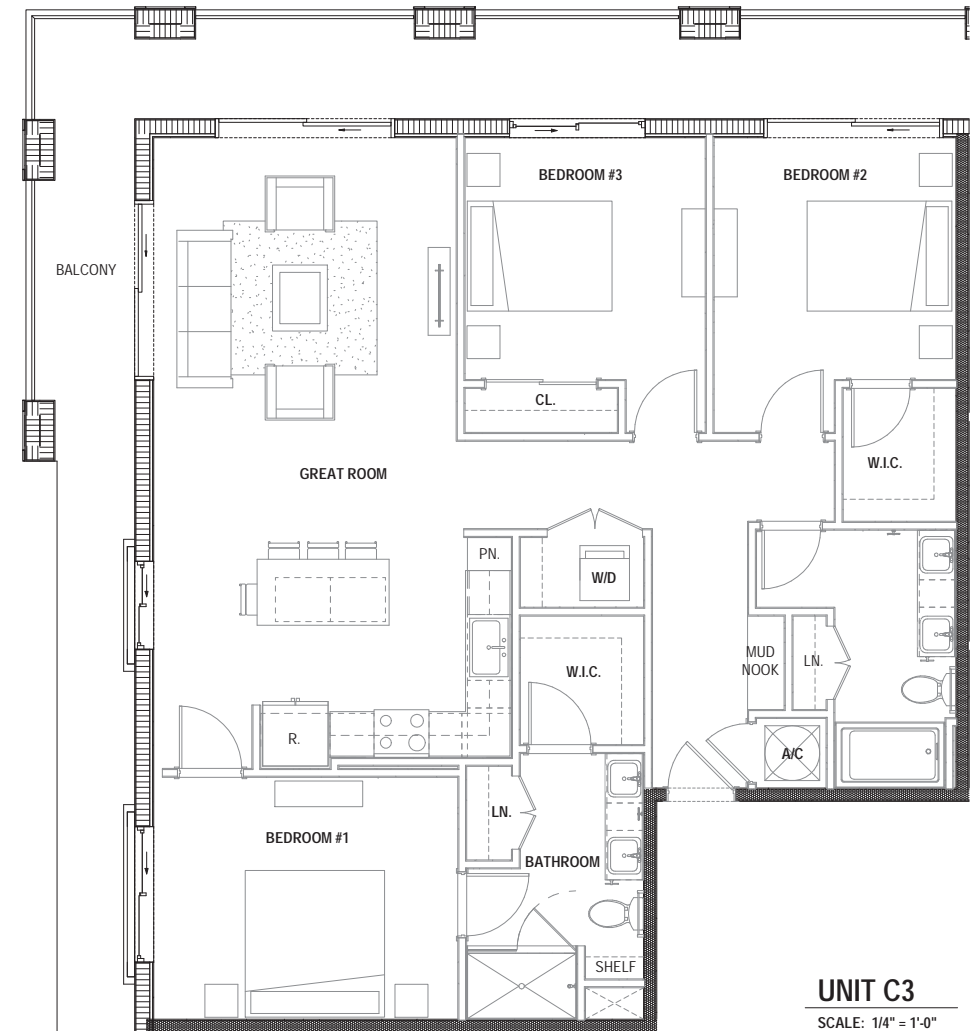




**UNIT C1**  
SCALE: 1/4" = 1'-0"



**UNIT C2**  
SCALE: 1/4" = 1'-0"



**UNIT C3**  
SCALE: 1/4" = 1'-0"



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL 33146  
LIC. NO. AA-C002151 T.305.448.7383

**PROJECT:**  
ALEXAN CRAFTS  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



**OWNER:**  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**3 BEDROOM UNIT PLANS**

PHASE:

**BOA SUBMITTAL**

SE

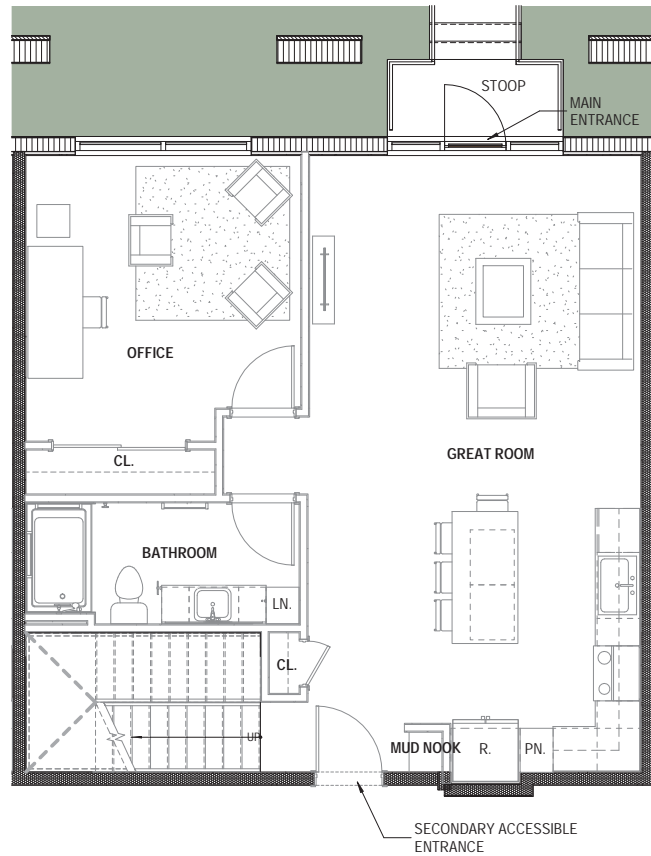


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

**DATE:** 07/23/21  
**JOB NO.:** 2020-47  
**DRAWN BY:** RK, AV, CM, JM  
**APPR BY:** AMC  
**PRINTED:** 09/27/2021

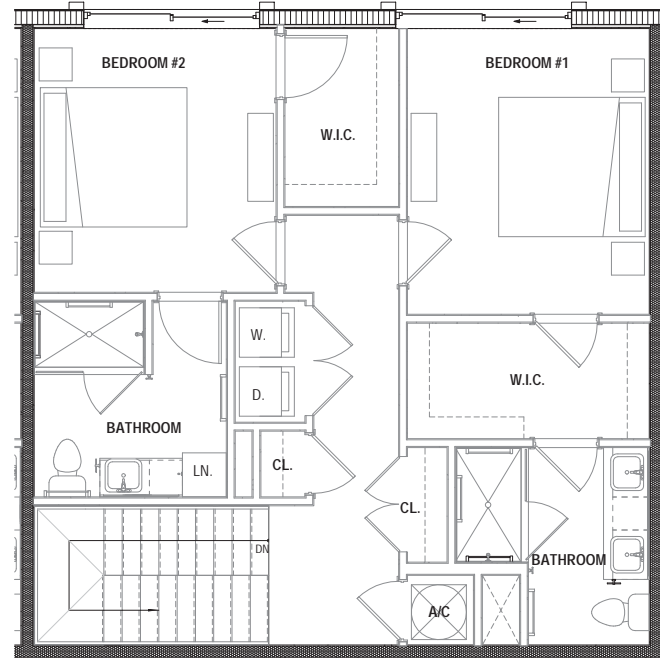
SHEET NUMBER:

**A-4.03**



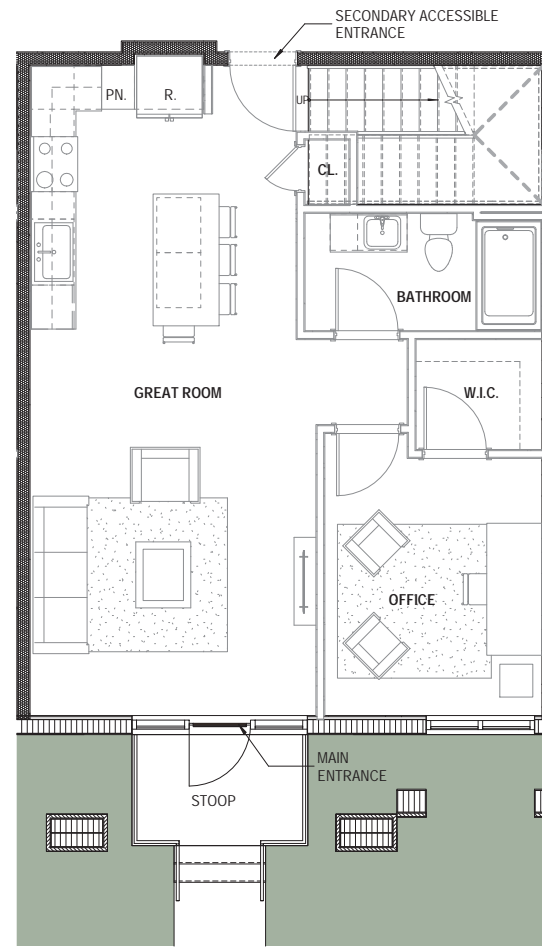
**LIVE/WORK 1- LEVEL 1**

SCALE: 1/4" = 1'-0"



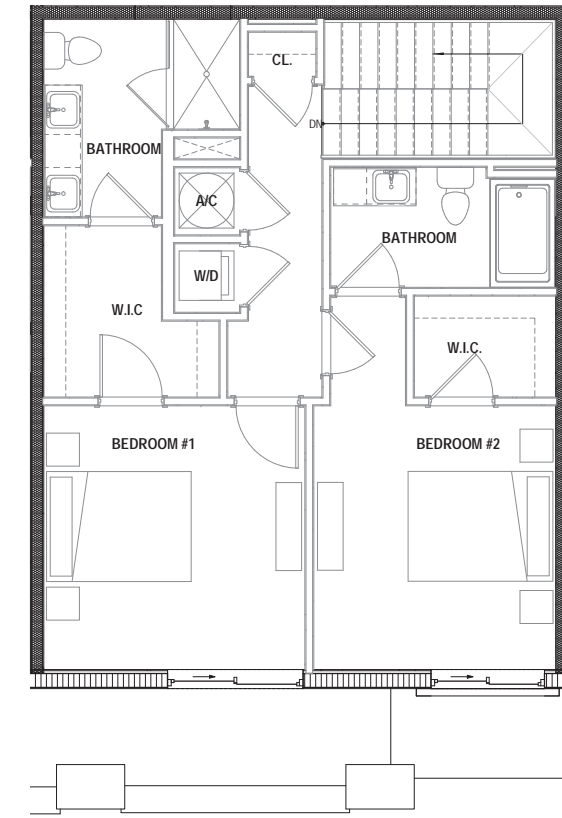
**LIVE WORK - LEVEL 2**

SCALE: 1/4" = 1'-0"



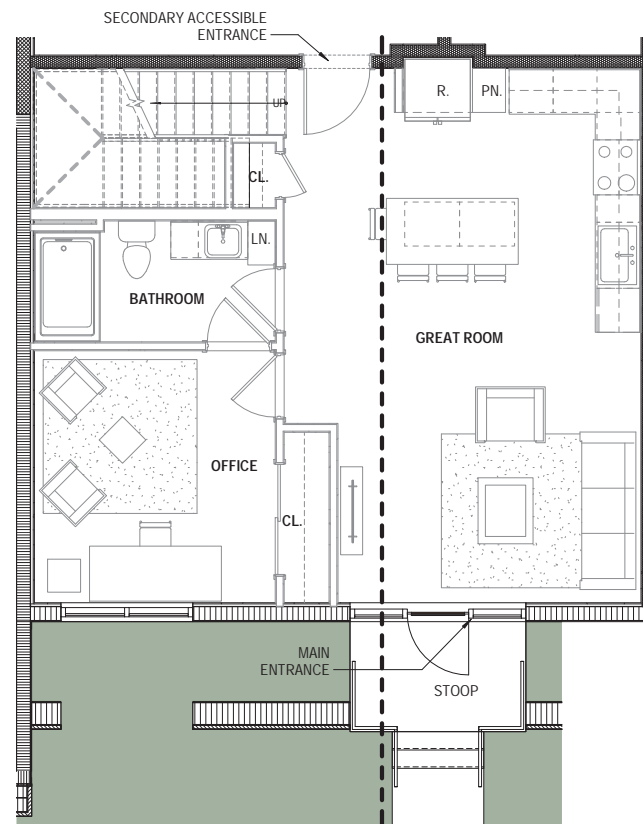
**LIVE/WORK 2- LEVEL 1**

SCALE: 1/4" = 1'-0"



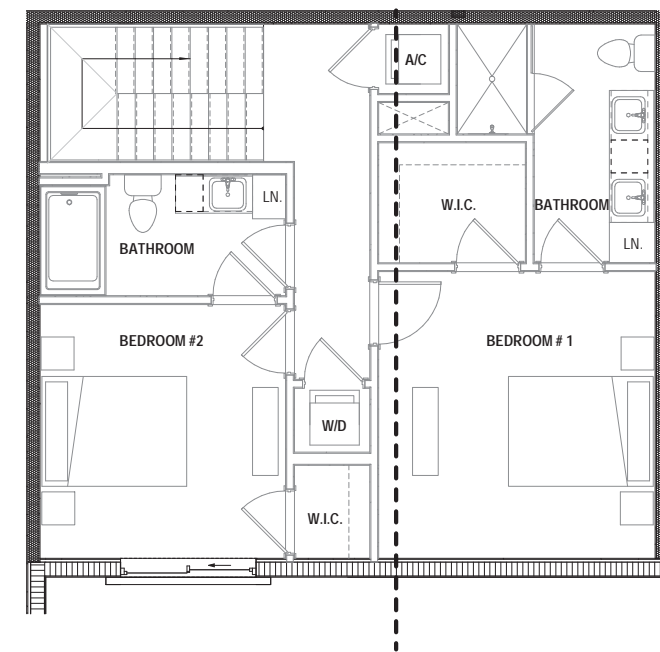
**LIVE/WORK 2- LEVEL 2**

SCALE: 1/4" = 1'-0"



**LIVE/WORK 3 - LEVEL 1**

SCALE: 1/4" = 1'-0"



**LIVE/WORK 3 - LEVEL 2**

SCALE: 1/4" = 1'-0"



**CORWIL ARCHITECTS**  
4210 LAGUNA ST. CORAL GABLES FL. 33146  
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:  
**ALEXAN CRAFTS**  
330 CATALONIA AVENUE  
CORAL GABLES, FLORIDA 33146



OWNER:  
6400 Congress Avenue, Suite 1050  
Boca Raton, FL 33487

**LIVE/WORK UNIT PLANS**

PHASE:

**BOA SUBMITTAL**

SE



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 07/23/21  
JOB No.: 2020-47  
DRAWN BY: RK, AV, CM, JM  
APPR BY: AMC  
PRINTED: 09/27/2021

SHEET NUMBER:

**A-4.04**