

FERREIRO'S RESIDENCE ADDITION
ARCHITECTURAL SET



ATELIER305
ARCHITECTURE + DESIGN
2394 SW 6th STREET M 305 951 2894
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FERREIRO'S RESIDENCE ADDITION
1541 SOPERA AVENUE
CORAL GABLES, FL 33134

OCCUPANCY TYPE R3
CONSTRUCTION TYPE V UNPR.
FLORIDA BUILDING CODE (RESIDENTIAL) 2017

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1541 SOPERA AVENUE
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LESTER PEREZ PIZARRO
AR95944

Project Number 2021

Drawing Name

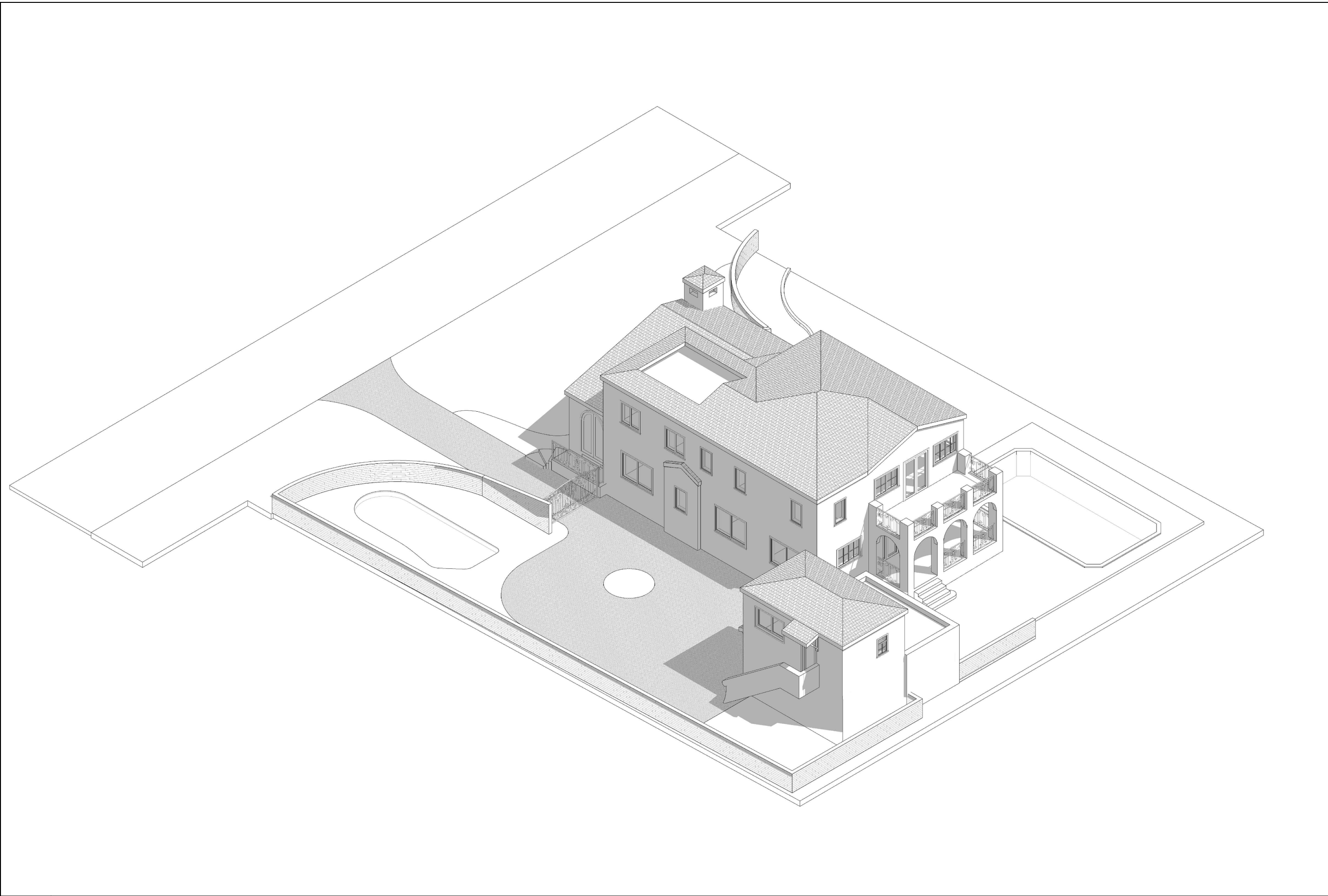
COVER SHEET

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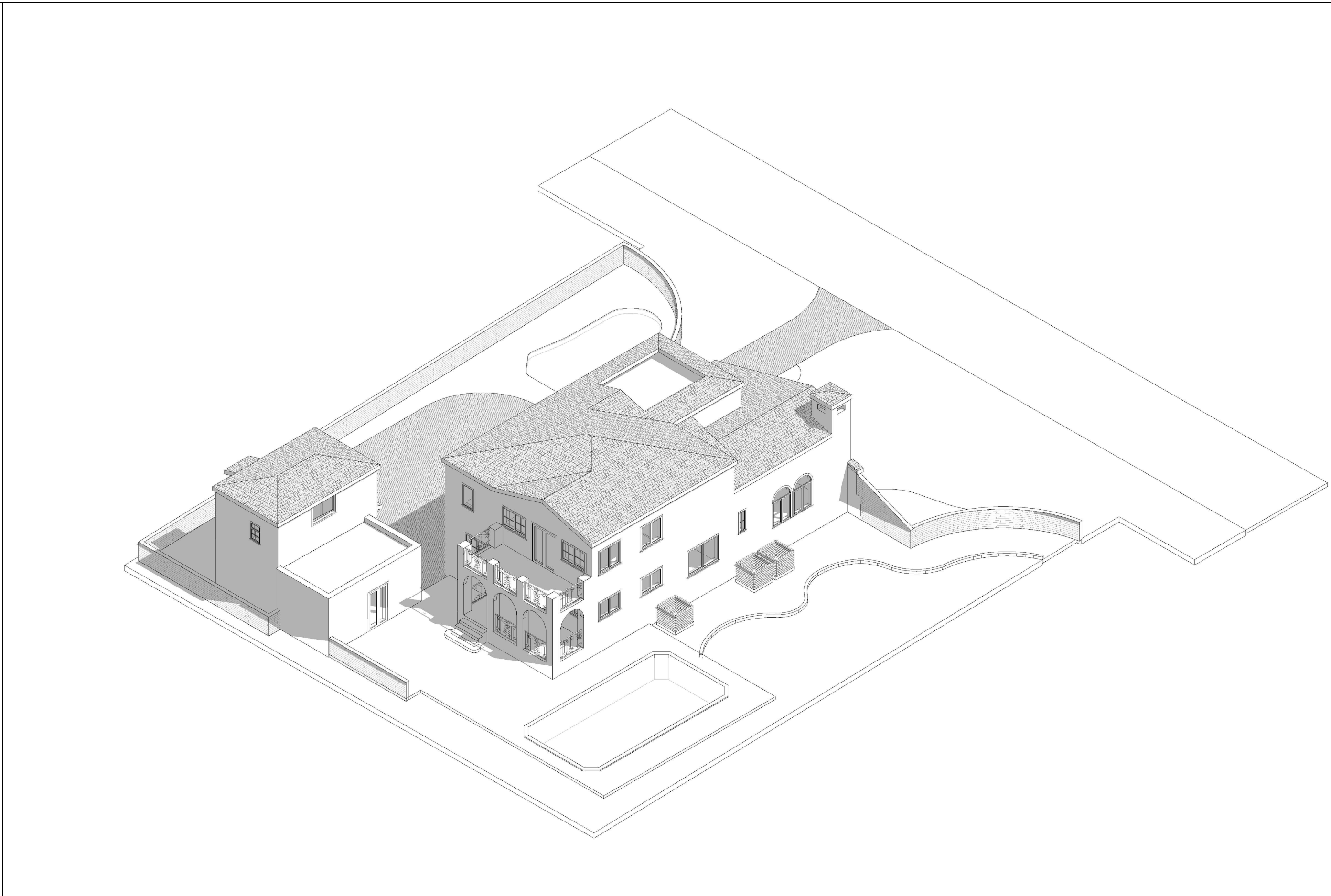
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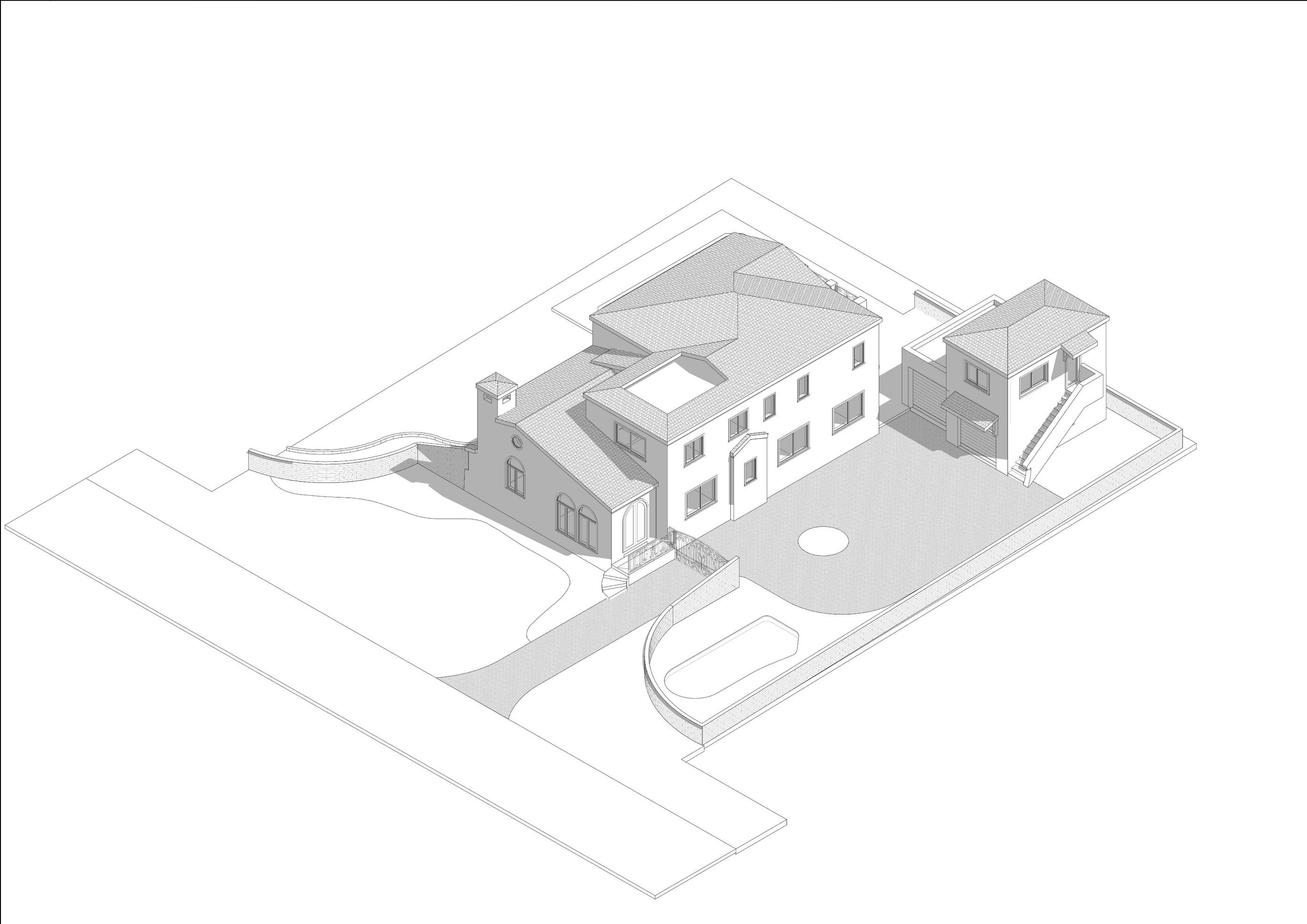
A-0



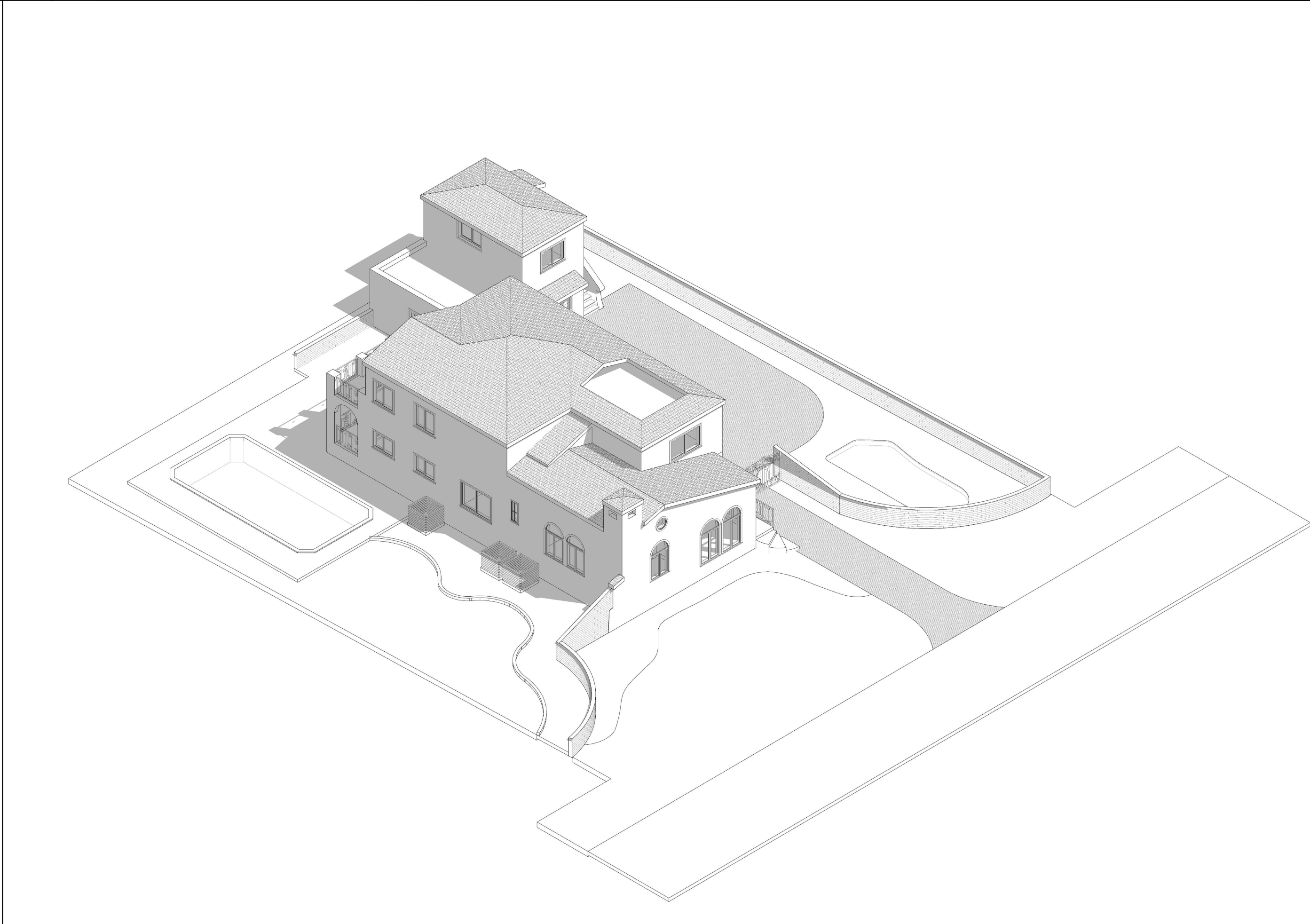
04 SOUTH–WEST AXON



03 NORTH–WEST AXON



01 SOUTH–EAST AXON



02 NORTH–EAST AXON

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AXONOMETRIC VIEWS

Scale:

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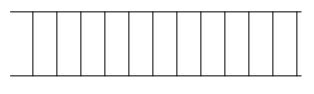
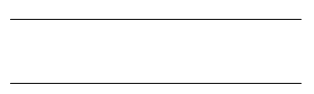
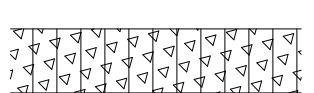
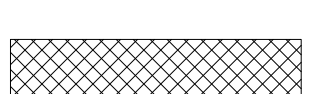
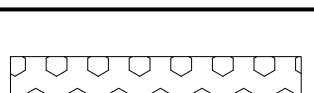
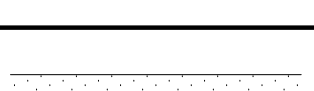
A-0.1

SCOPE OF WORK: ALTERATION LEVEL 2

- 1.--REMOVE EXISTING PARTITION AS SHOWN IN DEMOLITION PLAN
- 2.--WHERE PLUMBING FIXTURES ARE TO BE REMOVED, EXISTING WATER AND SANITARY LINES ARE TO BE CAPPED BELOW EXISTING SLAB.
- 3.--REMOVE ELECTRICAL OUTLETS AND LIGHTS FIXTURE WHERE APPLICABLE
- 4.--REMOVE EXISTING PLUMBING FIXTURES AS SHOWN IN DEMOLITION PLAN
- 5.--RELOCATE A/C DUCTS AND GRILLES WHERE APPLICABLE
- 6.--REMOVE CONCRETE SLABS, PADS AND WOOD DECK AREAS AS PER DEMOLITION PLAN
- 7.--REMOVE CMU WALLS AS PER DEMOLITION PLAN
- SHORING PLANS SHALL BE PROVIDED BY G.C. SIGNED AND SEALED BY DELEGATED ENGINEER FOR ENGINEER OF RECORDS REVIEW AND APPROVAL
- 8.--REMOVE ROOF AREA AS PER ROOF DEMOLITION PLAN. REFER TO SHEET
- SHORING PLANS SHALL BE PROVIDED BY G.C. SIGNED AND SEALED BY DELEGATED ENGINEER FOR ENGINEER OF RECORDS REVIEW AND APPROVAL

GENERAL DEMOLITION NOTES:

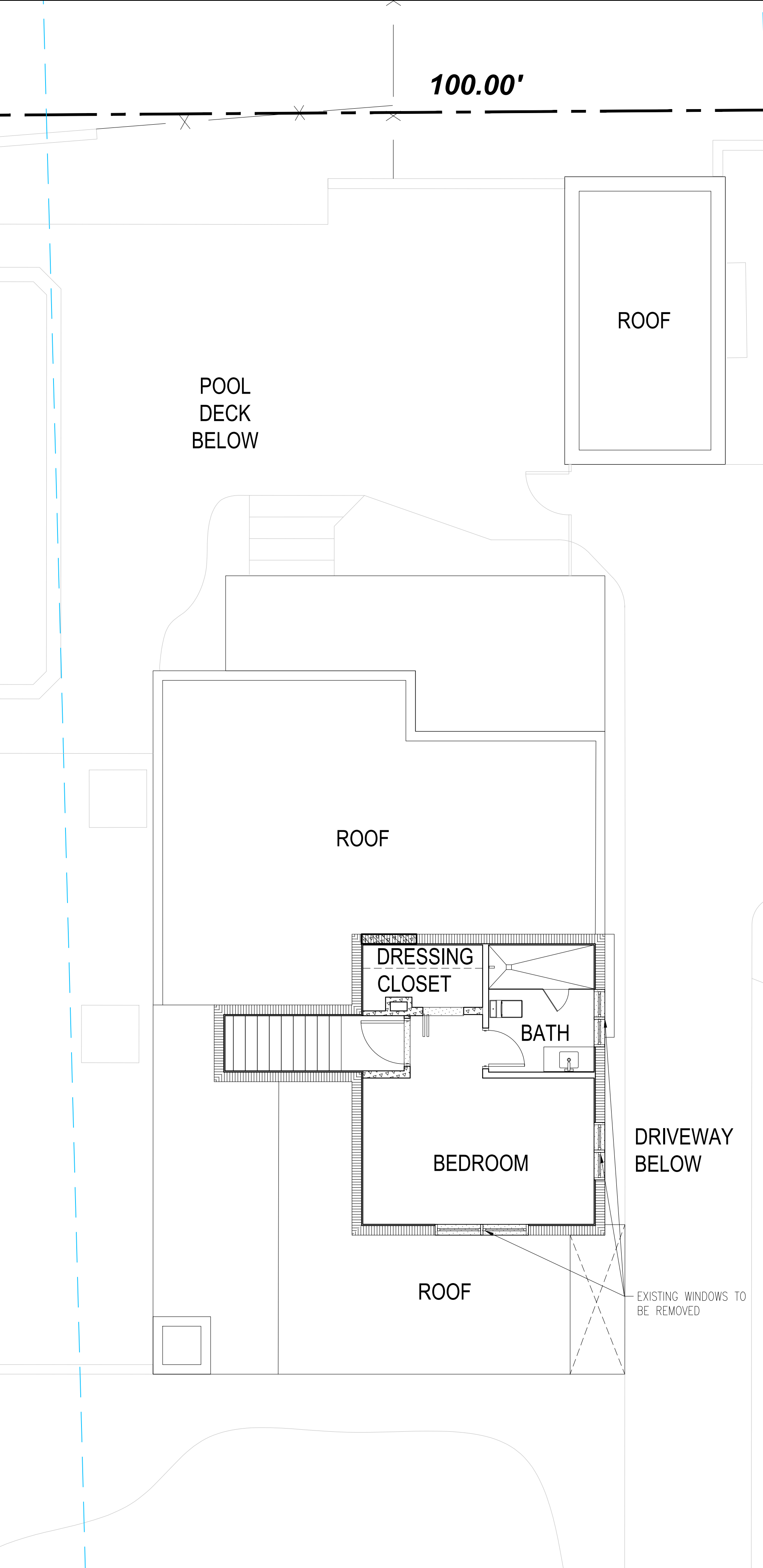
- 1.--THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.
- 2.--NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE PROJECT W/ THE INTENT OF IDENTIFYING POSSIBLE ITEM, NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL AND/OR RELOCATION.
- 3.--CUT, REMOVE, PATCH, ALTER AND REFINISH EXISTING CONTRUCTION AS RESULT OF DEMOLITION AND AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
- 4.--PROVIDE SAFETY FEATURES DURING WORK AS REQUIRED BY APPLICABLE CODES, RULES AND REGULATIONS.
- 5.--GENERAL CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ARCHITECT / ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERRED TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- 6.--GENERAL CONTRACTOR SHALL DEMOLISH, IN AN ORDERLY AND CAREFUL MANNER, AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING, PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- 7.--THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK
- 8.--WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES AND PUBLIC RIGHTS--OF--WAY.
- 9.--REMOVE ALL EXISTING PARTITIONS AND CAP ALL REMOVED UTILITIES AS INDICATED IN DEMOLITION PLAN.
- 10.--THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT SPREAD OF DUST IN THE SURROUNDING AREAS
- 11.--CONTRACTOR SHALL INSPECT CEILINGS AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES (MECHANICAL, PLUMBING AND/OR ELECTRICAL).
- 12.--PATCH AND REPAIR ALL EXISTING SURFACES DAMAGE BY DEMOLITION AND/OR NEW WORK AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
- 13.--ALL DEMOLITION IS DENOTED BY NOTES
- 14.--GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITES HAVING JURISDICTION.

DEMOLITION LEGEND	
SECTION	DESCRIPTION
	EXISTING CMU WALL TO BE MAINTAINED
	EXISTING PARTITION TO BE MAINTAINED
	EXISTING CMU WALL TO BE DEMOLISHED
	EXISTING CONCRETE SLAB TO BE DEMOLISHED
	EXISTING WOOD DECK TO BE DEMOLISHED
	EXISTING OLD CHICAGO PAVER (FOR FUTURE REUSE) AREA TO BE REMOVED TO BE DEMOLISHED
	EXISTING PARTITION TO BE DEMOLISHED
	EXISTING DOOR/WINDOW TO BE REMOVED
	EXISTING CABINETS AND PLUMBING FIXTURES AND APPLIANCES TO BE REMOVED

03 DEMOLITION NOTES

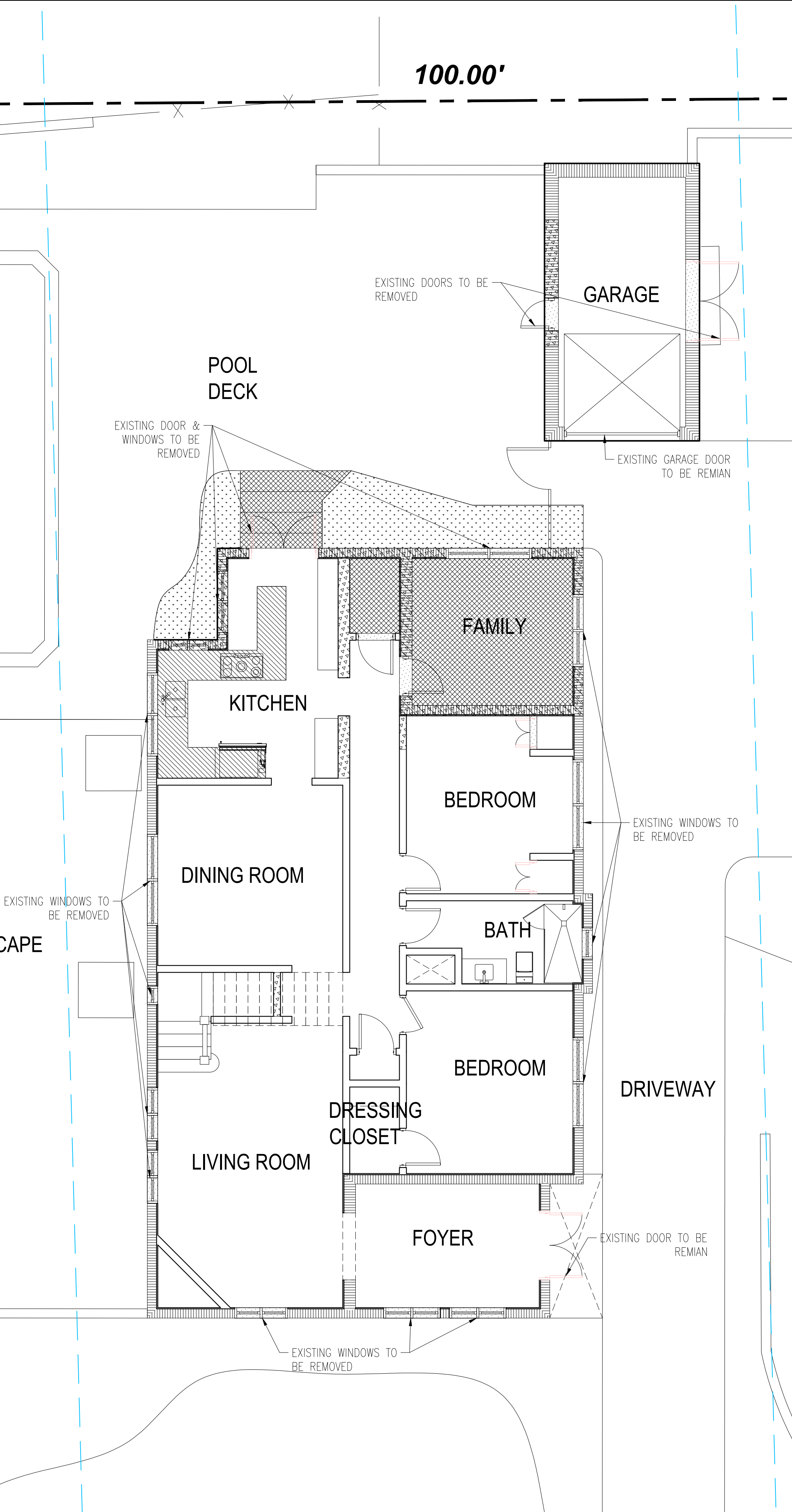
02 EXISTING SECOND FLOOR PLAN

3/32" = 1'-0"



01 EXISTING FIRST FLOOR PLAN

3/32" = 1'-0"



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AR95944

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Drawing Name

DEMOLITION PLAN

Scale:

AS SHOWN

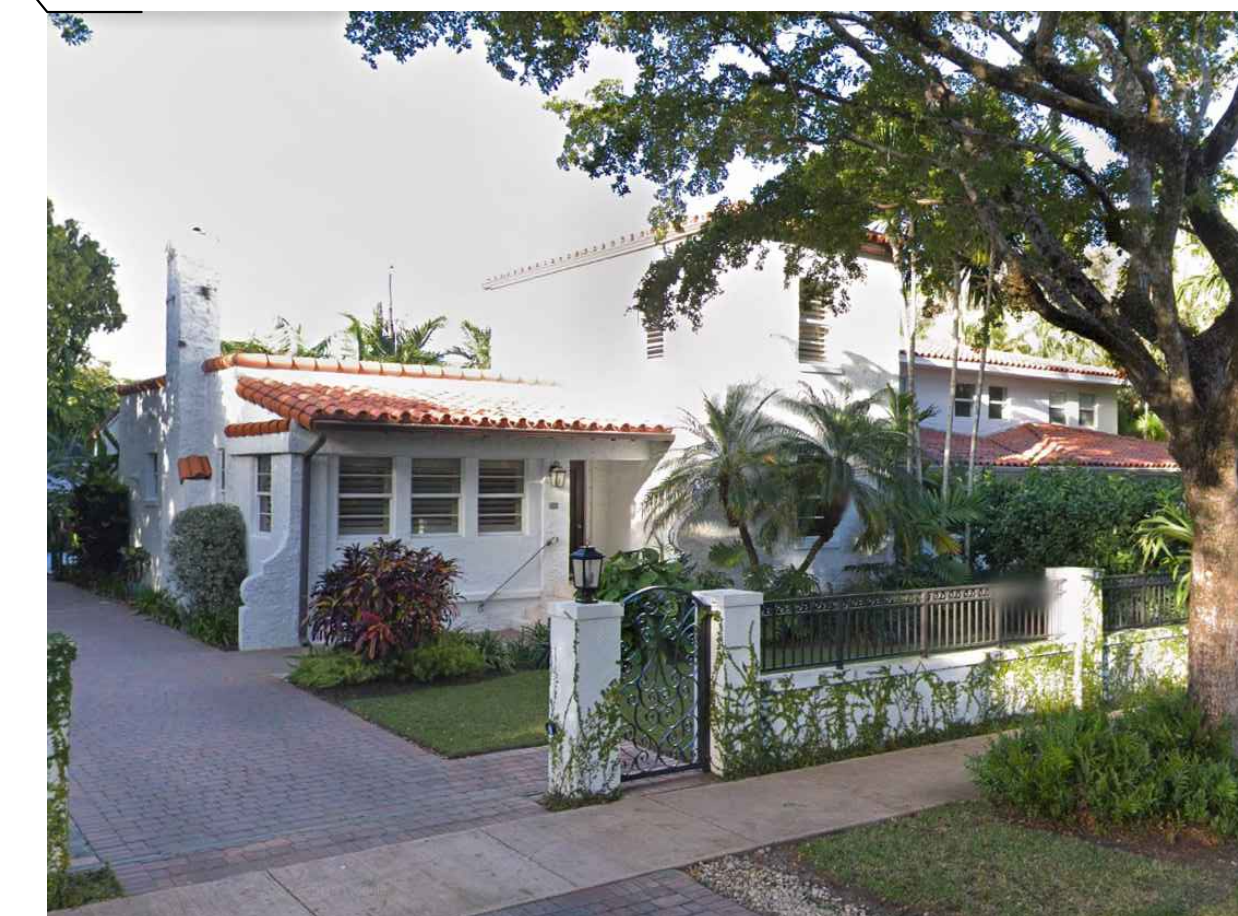
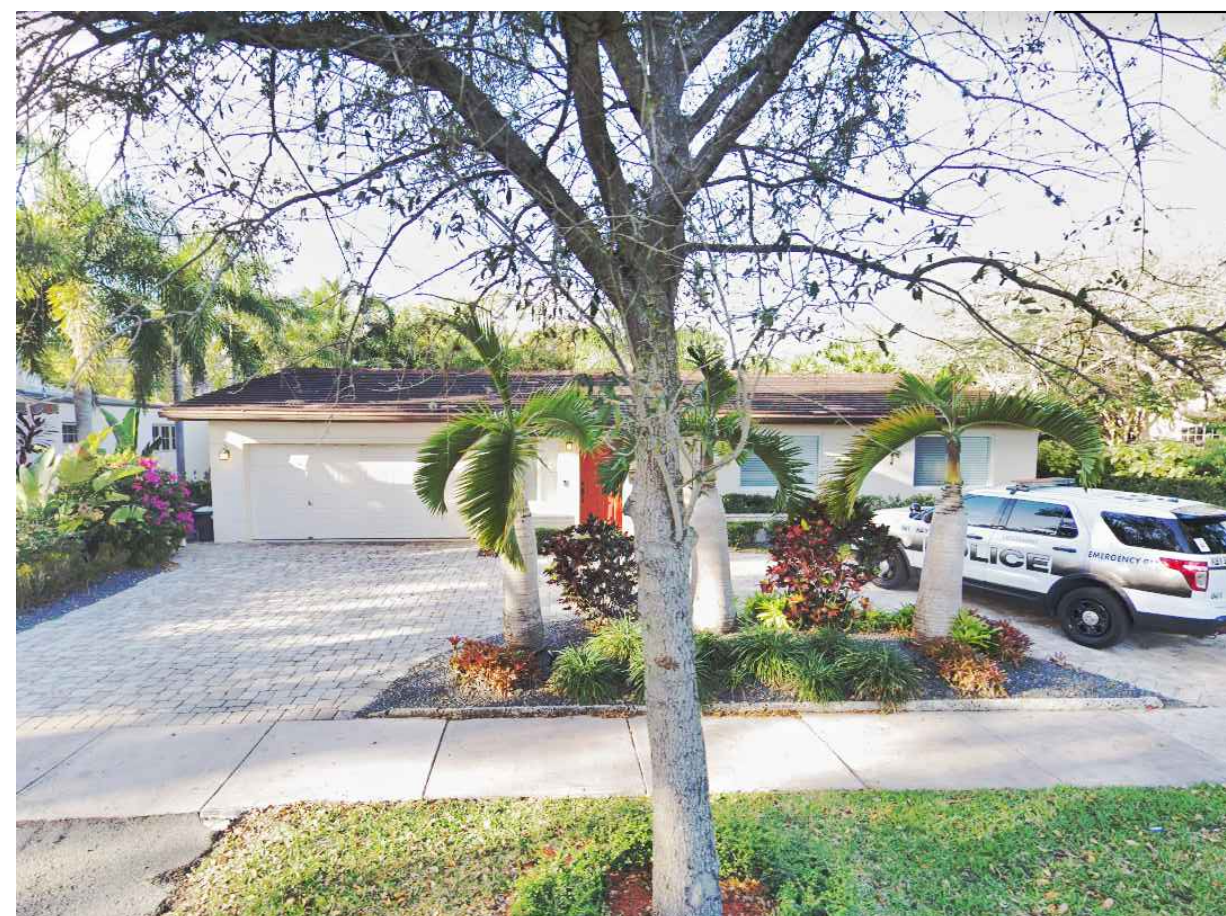
Drawing Number

D-1



PROPERTY IN SCOPE

1541 Sopera Ave. CORAL GABLES, FL 33134



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Project Number	2021
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Drawing Name

CONEXT PHOTOS

Scale:

AS SHOWN

Drawing Number

A-1

01

CONTEXT PHOTOS

$$1/4'' = 1'-0''$$



FRONT VIEW FROM SOPERA AVE.



FRONT VIEW FROM DRIVEWAY.



SIDE VIEW FROM NORTH-EAST CORNER



GARAGE VIEW FROM DRIVEWAY.



REAR VIEW FROM NORTH-WEST.



SIDE VIEW FROM SOUT-WEST CORNER

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Drawing Name

EXISTING RESIDENCE
EXTERIOR VIEWS

Scale:

AS SHOWN

Drawing Number

A-2



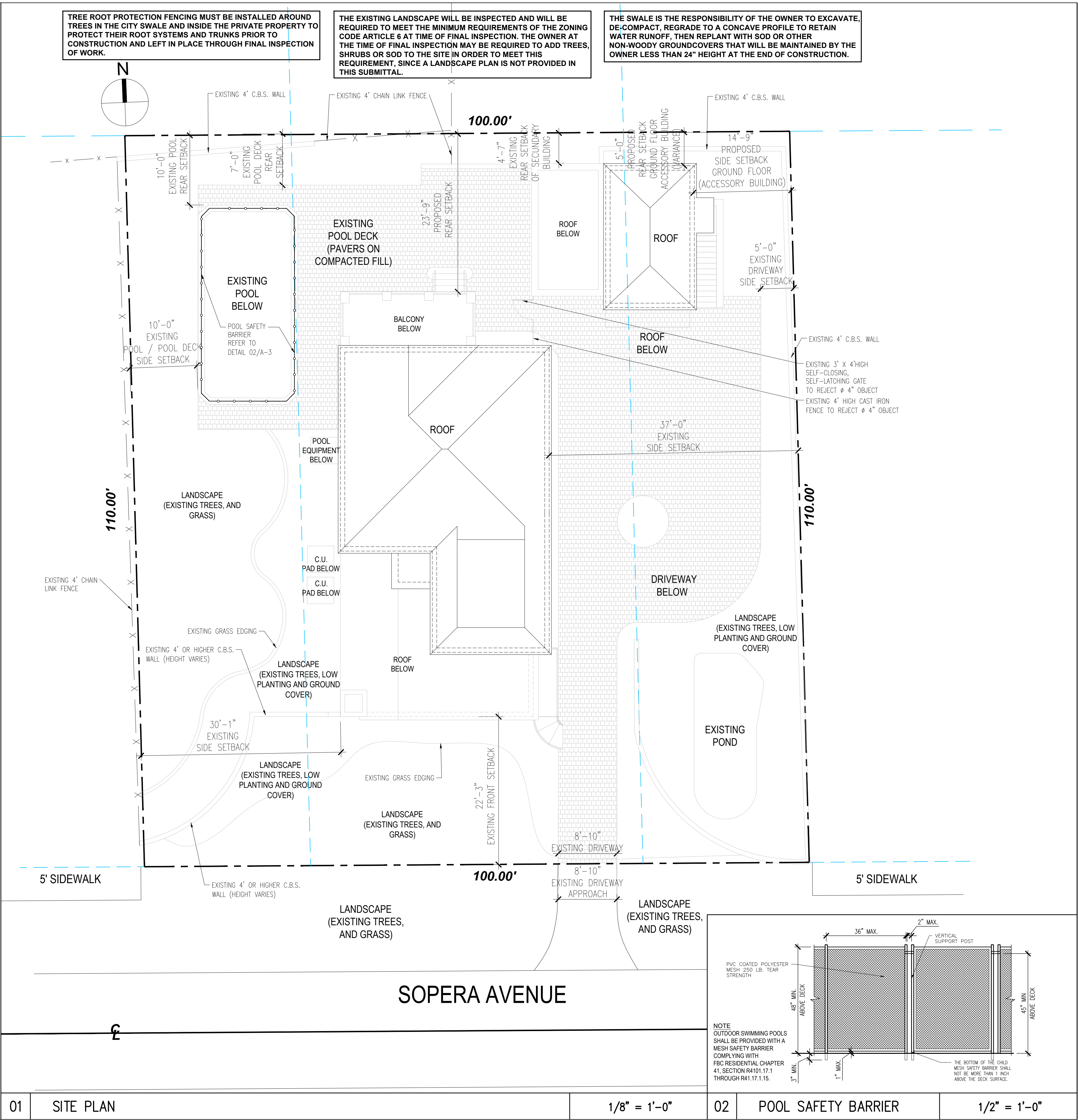
LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

The west 1/2 of Lot 16 , all of lot 17 and the east 1/2 of lot 18, in Block 18 , in block 56, of coral gables country club section, part 4, according to the Plat thereof, recorded in plat book 10, at page 57 of the Public Records of Miami-Dade County, Florida.

ZONING TABULATION			
ZONING DISTRICT: SFR (SINGLE-FAMILY HOME)			
LOT SIZE: 11,000 SQFT			
	EXISTING	PROPOSED ADDITION	TOTAL
A/C SPACE (1ST LEVEL)	1,691 SF	34 SF	1,725 SF
A/C SPACE (2ND LEVEL)	419 SF	1,235 SF	1,654 SF
TOTAL A/C SPACE	2,110 SF	1,269 SF	3,379 SF
GARAGE	223 SF	311 SF	534 SF
TOTAL ENCLOSED AREA (TOTAL A/C SPACE + GARAGE)	2,403 SF	1,510 SF	3,913 SF
COVERED TERRACE	N/A	N/A	172 SF
GROSS AREA (A/C SPACE + COVERED TERRACE + GARAGE)	2,403 SF	1,682 SF	4,085 SF

ZONING DATA TABULATION		
ZONING DISTRICT: SFR (SINGLE-FAMILY HOME)		
LOT SIZE: 11,000 SQFT	ALLOWED	PROPOSED
MAXIMUM LOT COVERAGE		
MAIN BUILDING	3,850 SF (35%)	1,897 SF (17.24%)
MAIN + AUXILIARY BUILDING	4,950 SF (45%)	2,793 SF (25.39%)
MAXIMUM F.A.R. (0.48*5000+0.35*5000+.30*1000)	4,450 SF	3,564 SF
MAXIMUM HEIGHT	25'-0"	20'-6"
FRONT SETBACK	25'-0"	22'-3" (EXISTING)
SIDE SETBACK	EAST: 10'-0" WEST: 10'-0"	EAST: 37'-0" (EXISTING) WEST: 30'-1" (EXISTING)
SIDE SETBACK (ACCESSORY BUILDING)	10'-0" (EAST SIDE)	14'-7" (EAST SIDE)
REAR SETBACK	10' MINIMUM	23'-9"
REAR SETBACK (ACCESSORY BUILDING)	5' MINIMUM (1st FLOOR) 10' MINIMUM (2nd FLOOR)	10'-0" 10'-0"
SIDE SETBACK (POOL)	10'-0" (WEST SIDE)	10'-0" (EXISTING)
REAR SETBACK (POOL)	10'-0"	10'-0" (EXISTING)
LANDSCAPE AREA	4,400 (40%)	4,877 (44.34%)
LANDSCAPE: EXISTING TO REMAIN, NO ALTERATION TO EXISTING TREES AND / OR SHRUBS AREA IN FRONT AND REAR YARDS		



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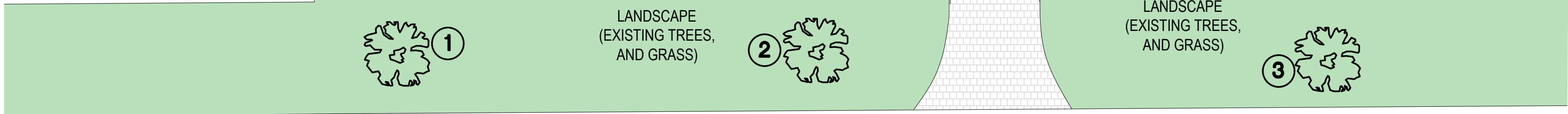
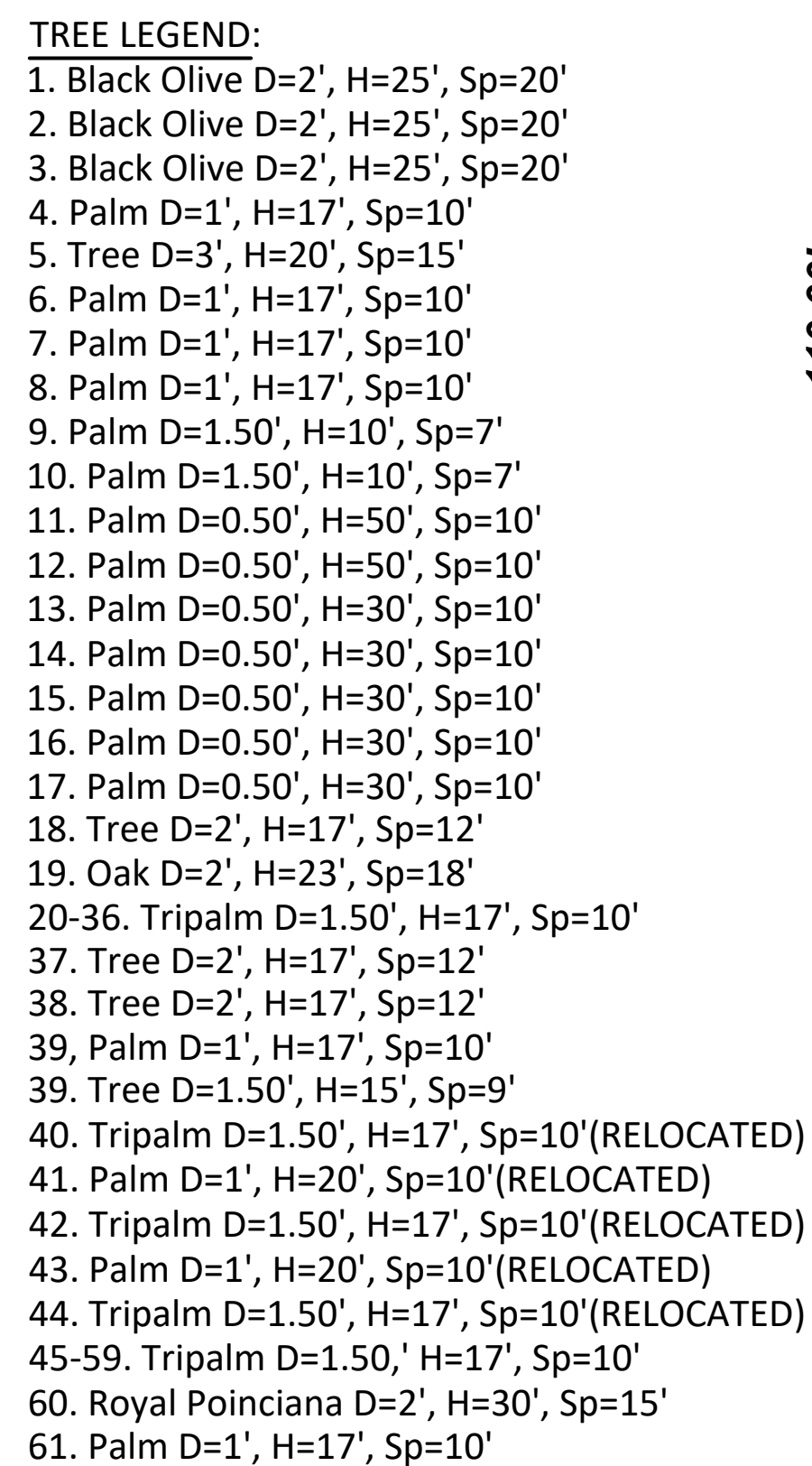
Project Number 2021

Drawing Name

SITE PLAN

Scale: AS SHOWN

Drawing Number A-3



SOPERA AVENUE

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Drawing Name

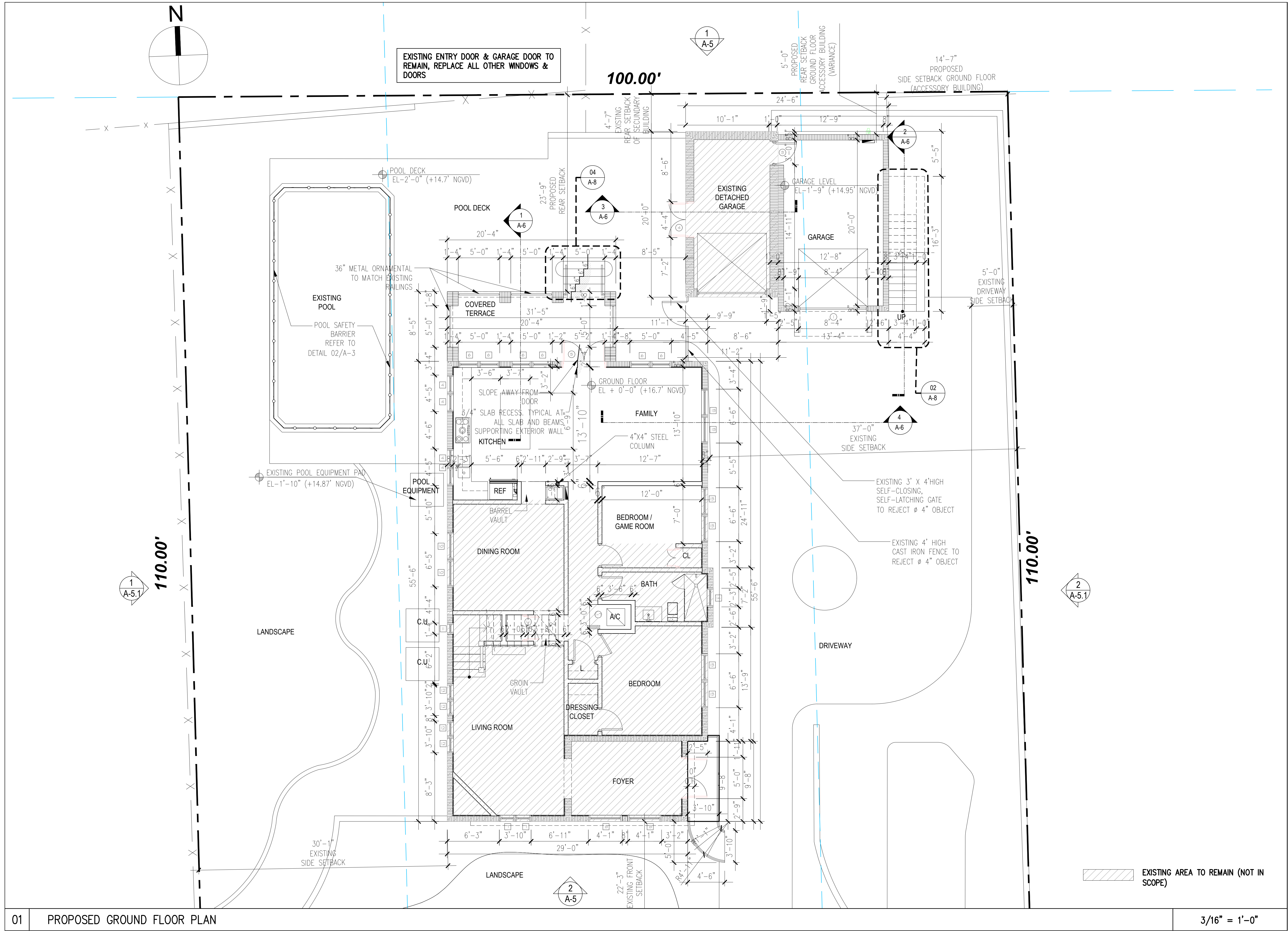
EXISTING TREES & LANDSCAPE PLAN

Scale:

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A-3.1



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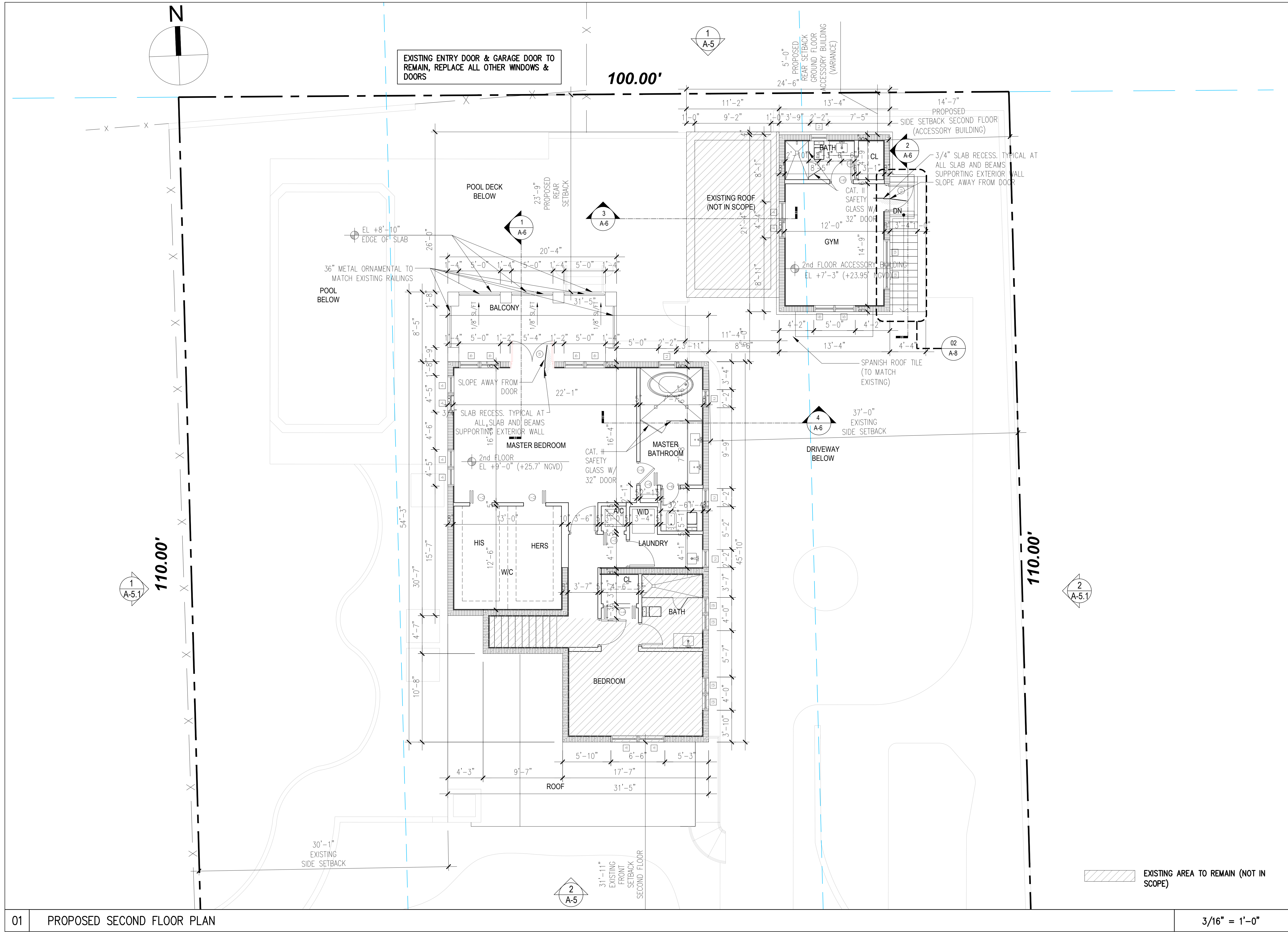
**PROPOSED
GROUND FLOOR**

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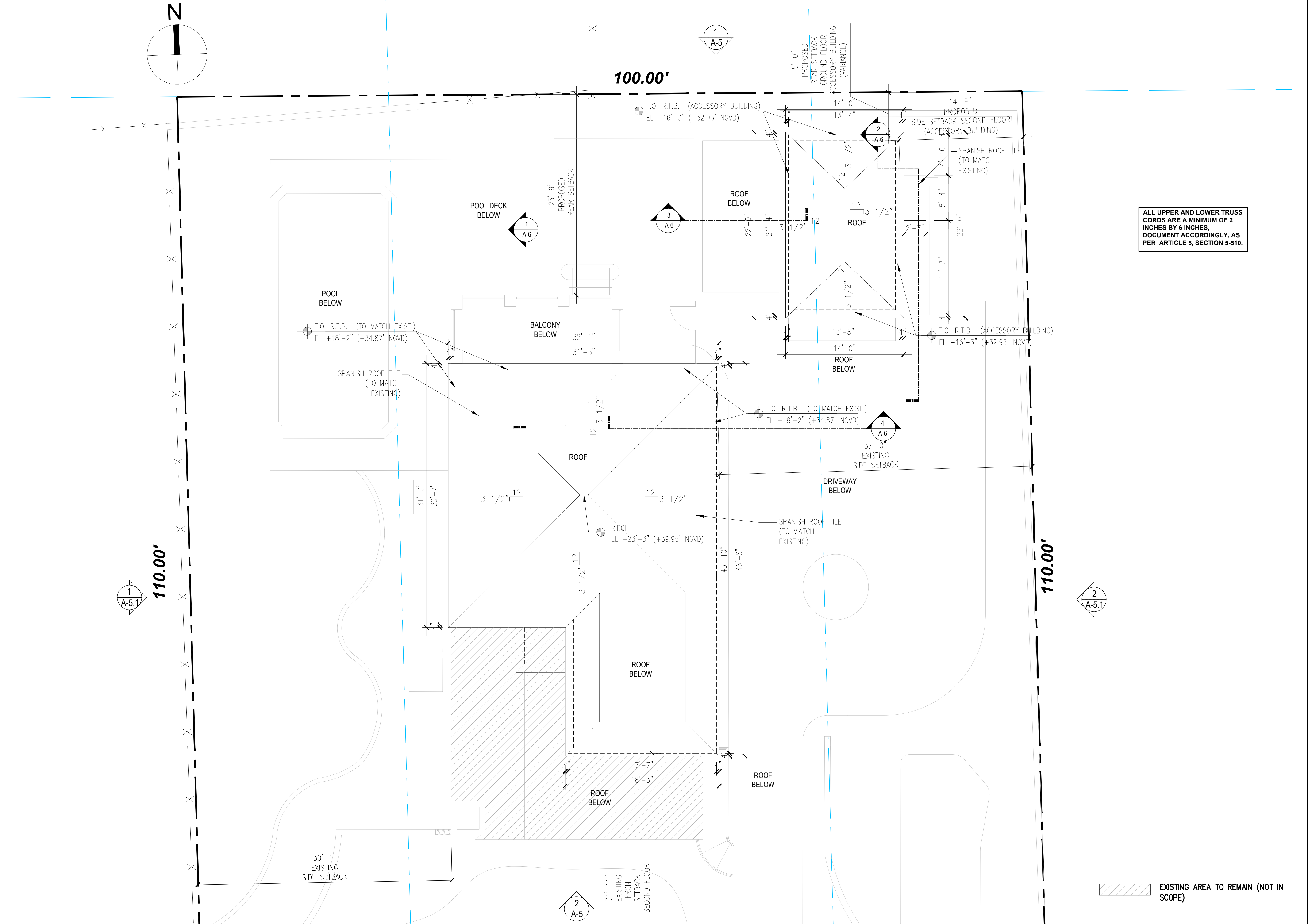
AS SHOWN

Drawing Number

A-4



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Drawing Name	
PROPOSED SECOND FLOOR	
Scale:	Drawing Number
AS SHOWN	A-4.1



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Drawing Name

PROPOSED
ROOF PLAN

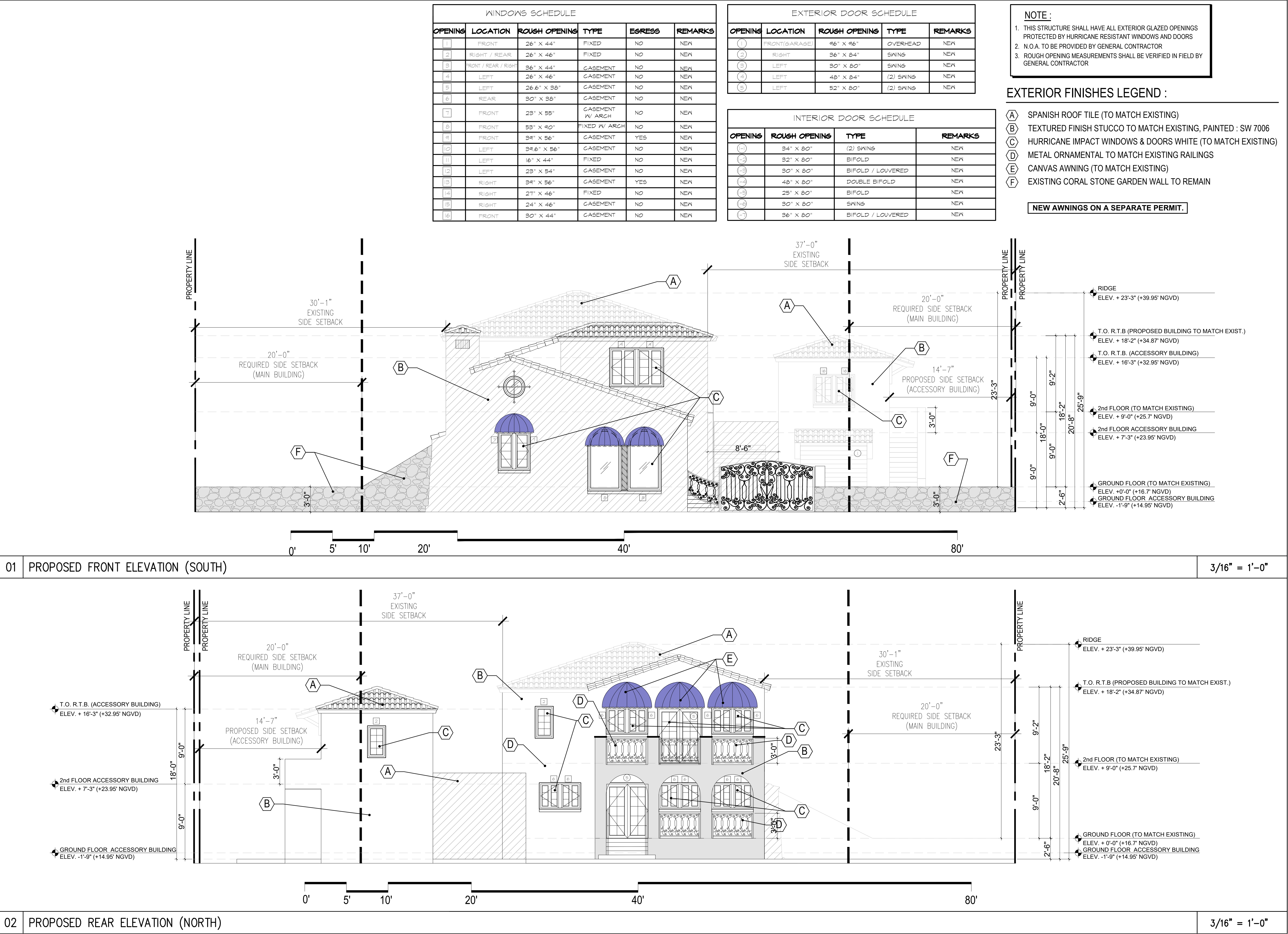
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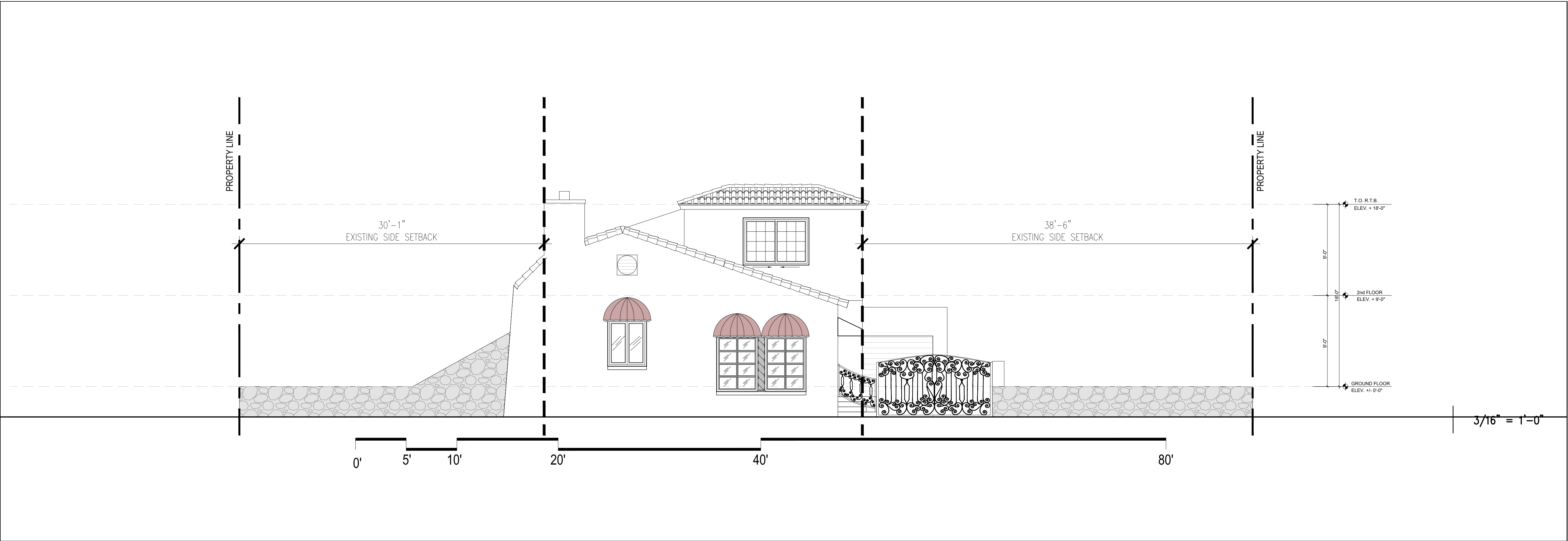
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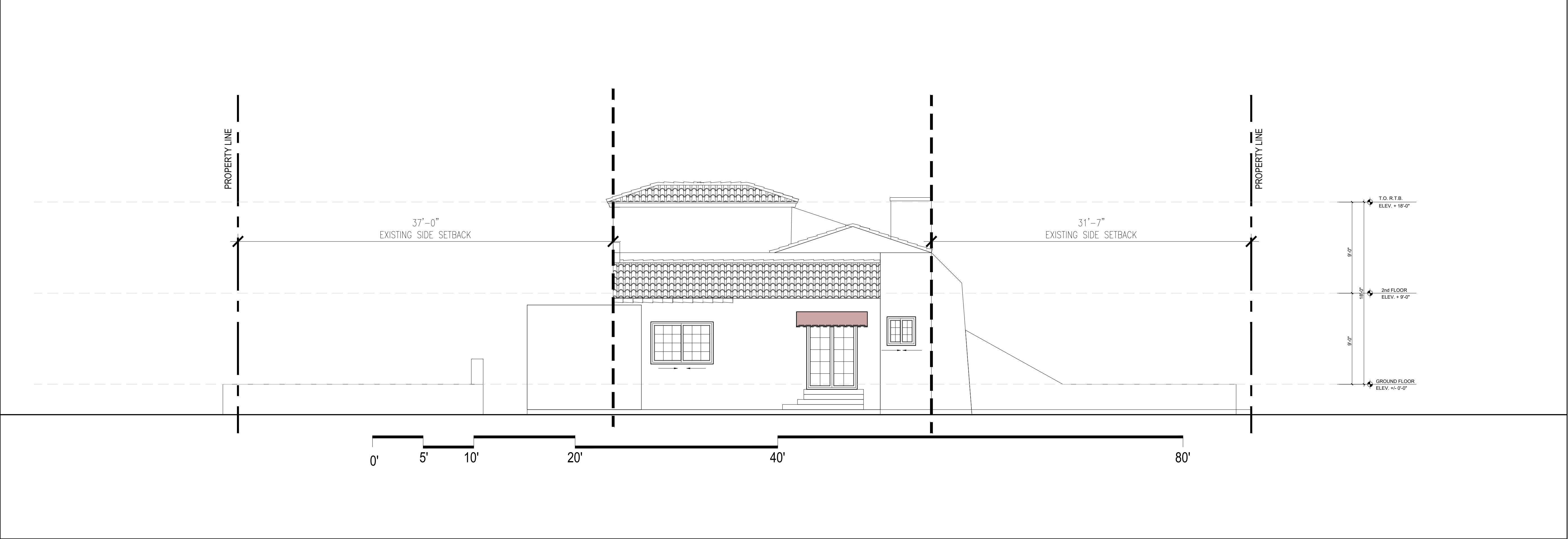
PROPOSED ROOF PLAN

3/16" = 1'-0"





01 EXISTING FRONT ELEVATION (SOUTH)



02 EXISTING REAR ELEVATION (NORTH)

3/16" = 1'-0"

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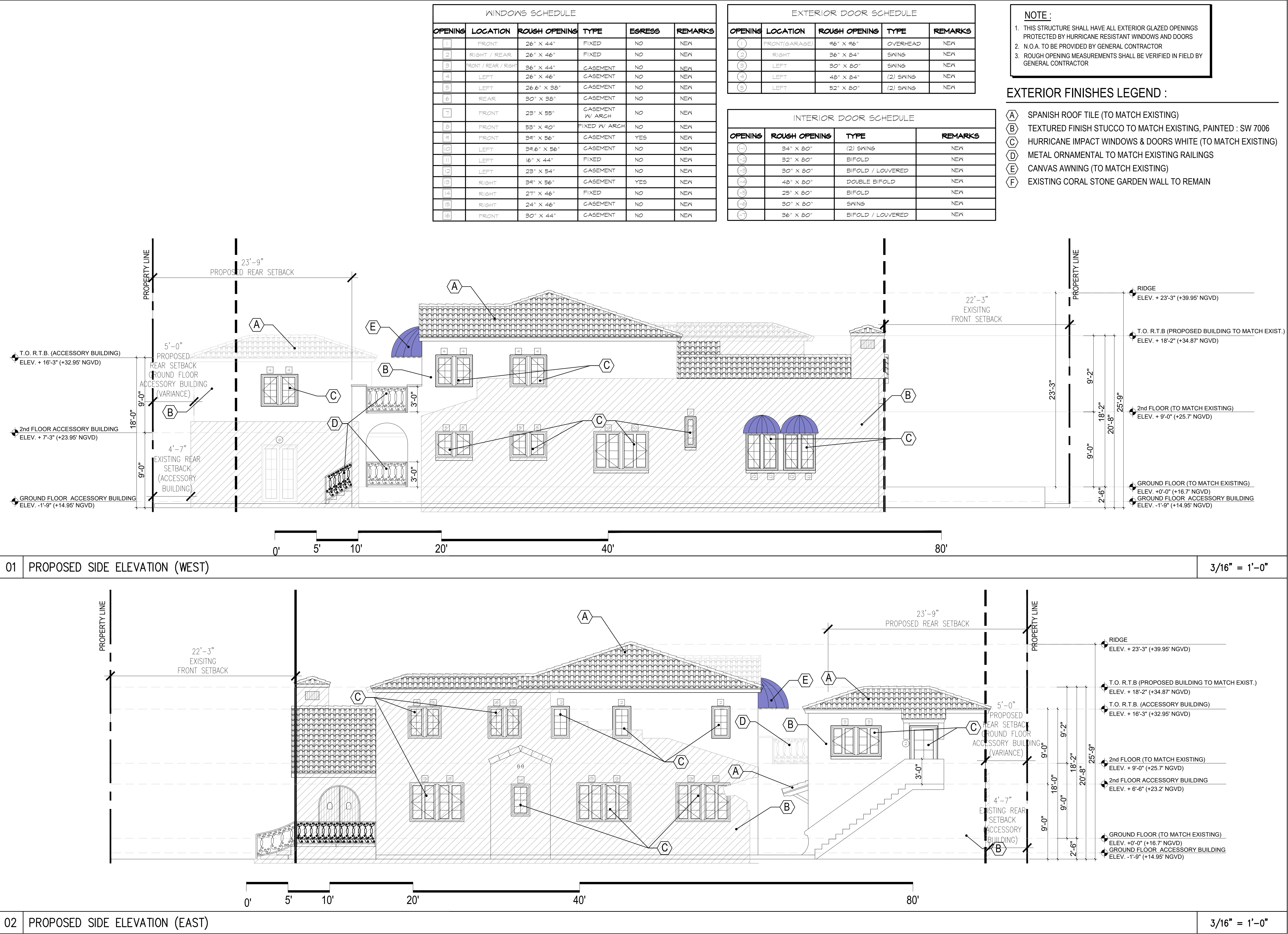
EXISTING FRONT & REAR ELEVATION
(SOUTH & NORTH)

Scale:

AS SHOWN

Drawing Number

A-5E



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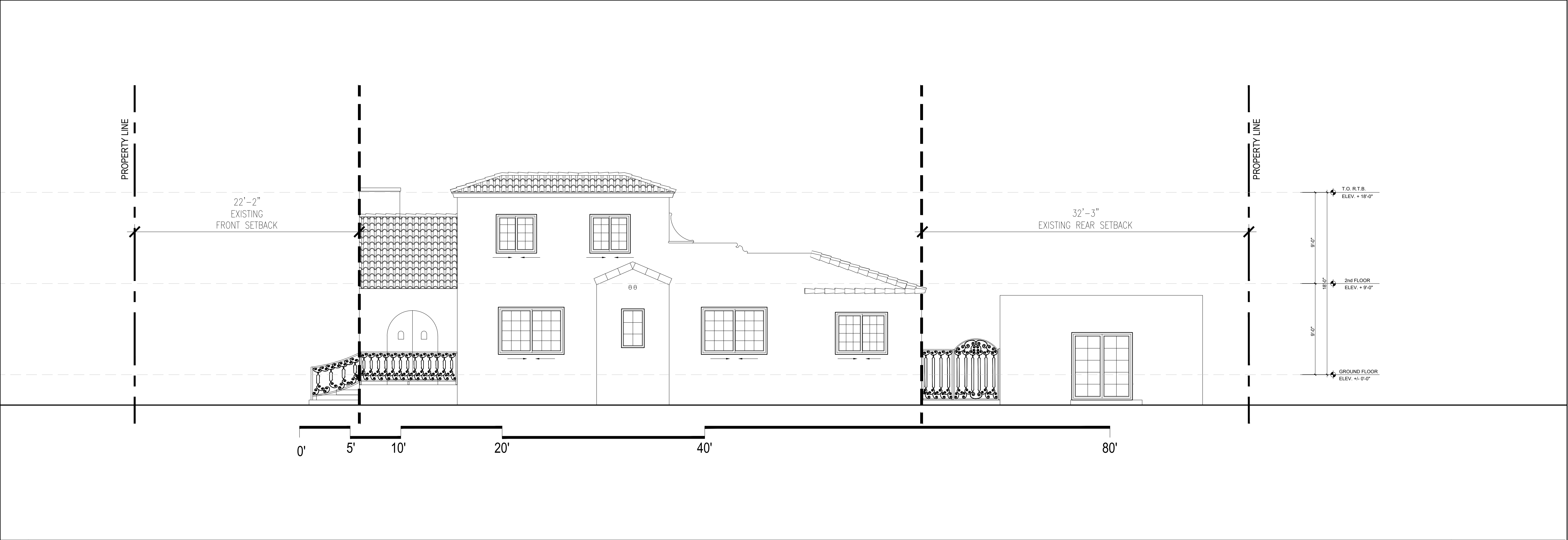
Project Number 2021

Drawing Name

SIDE ELEVATION
(WEST & EAST)

Scale: AS SHOWN

Drawing Number A-5.1



01 | EXISTING SIDE ELEVATION (EAST) 3/16" = 1'-0"



02 | EXISTING SIDE ELEVATION (WEST) 3/16" = 1'-0"

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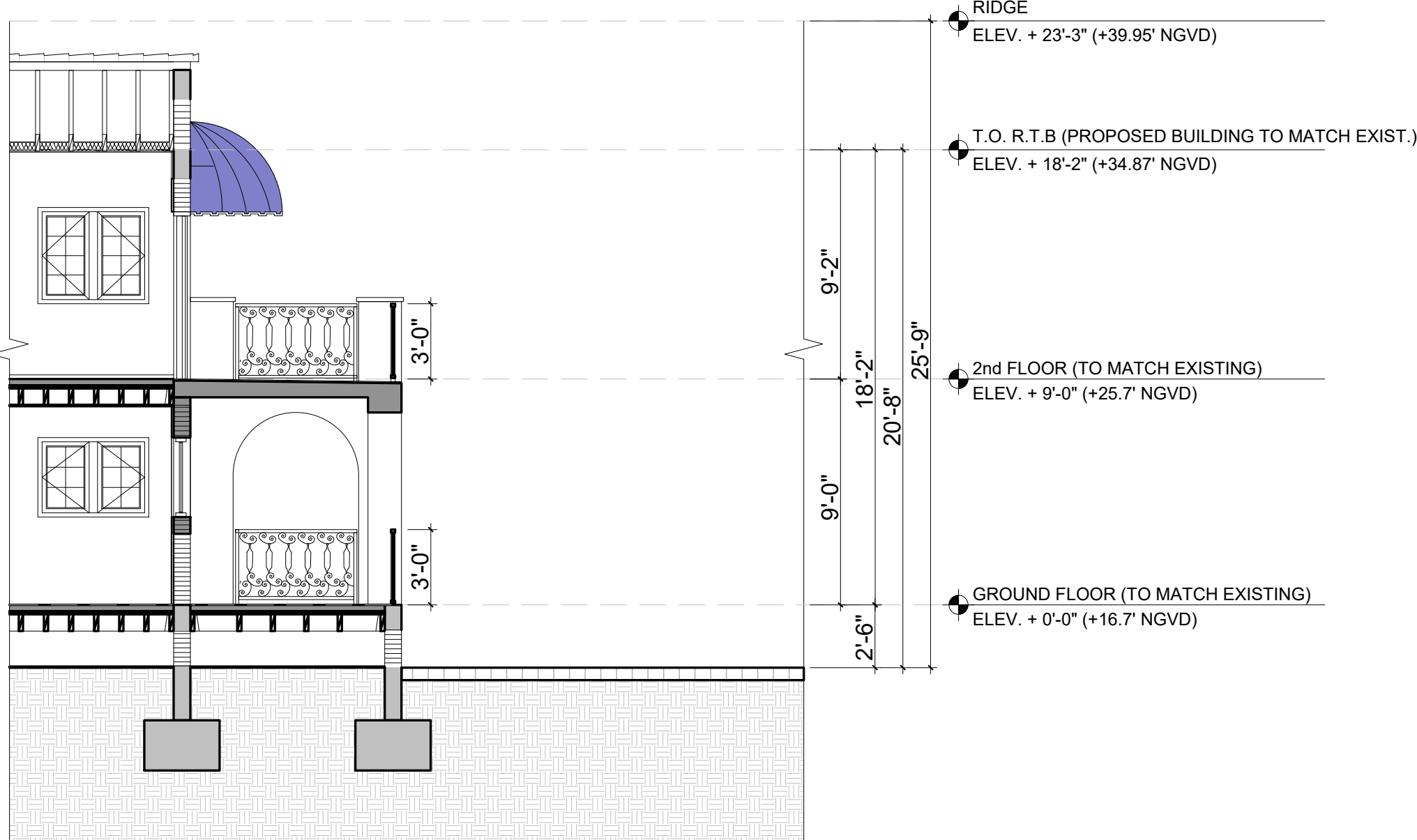
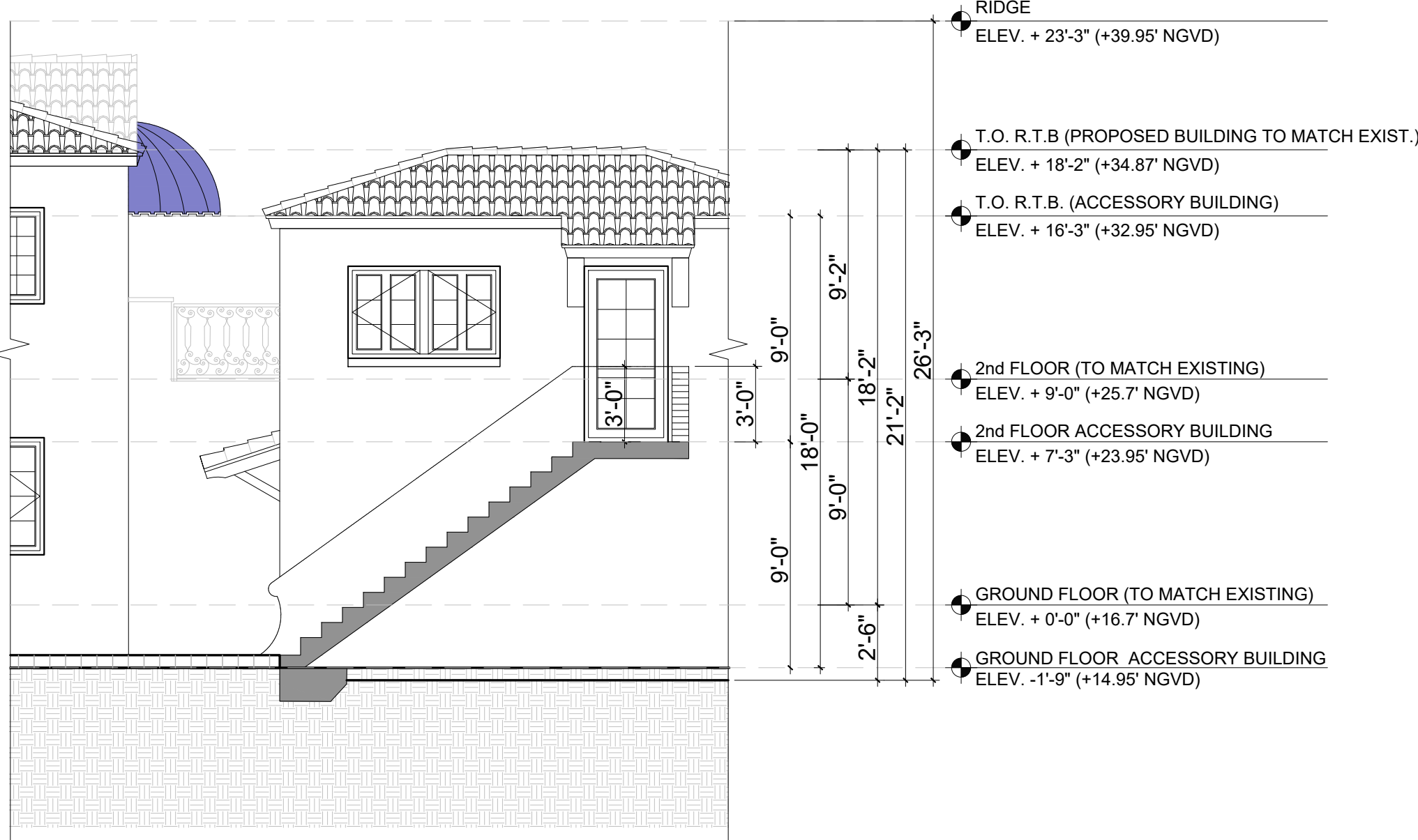
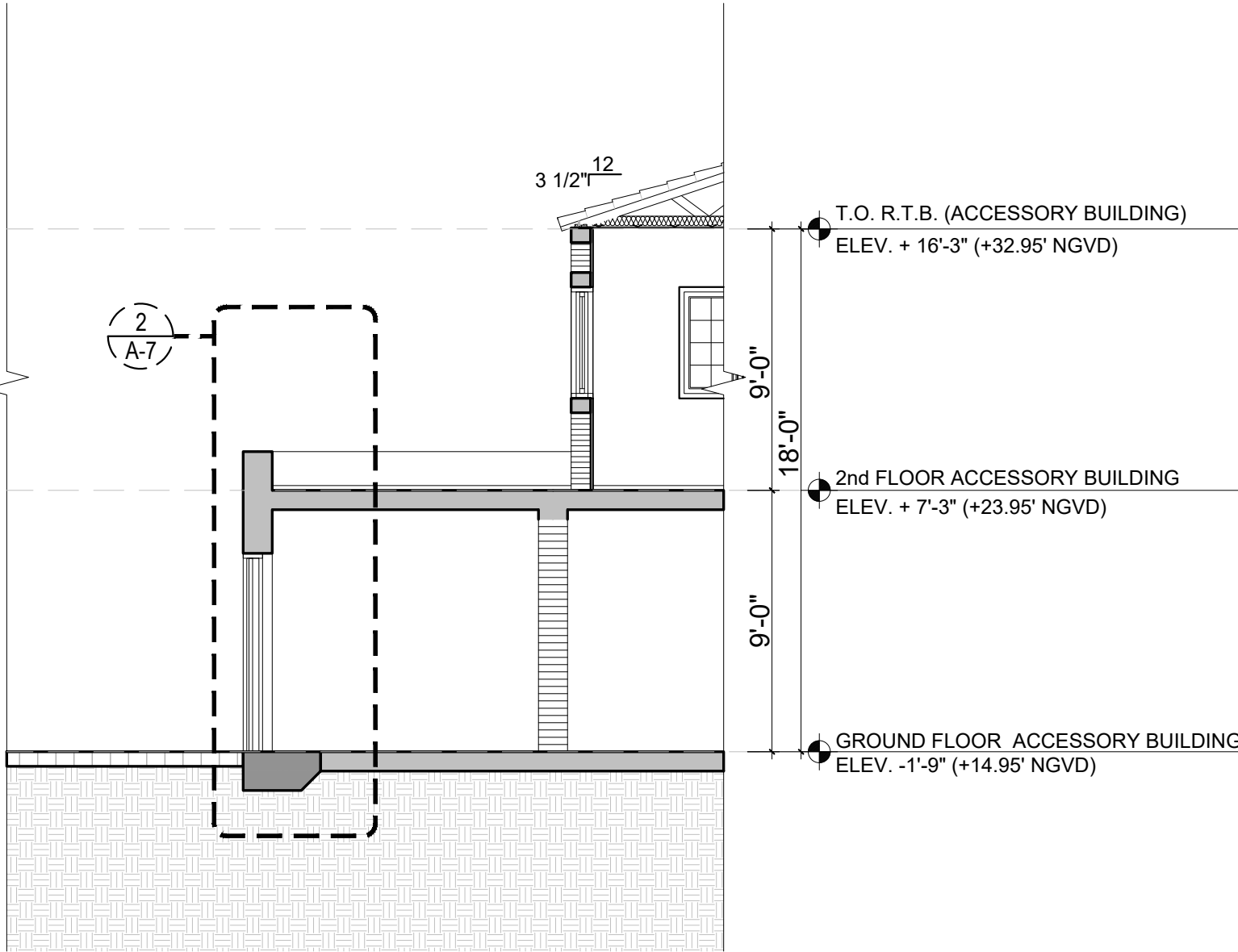
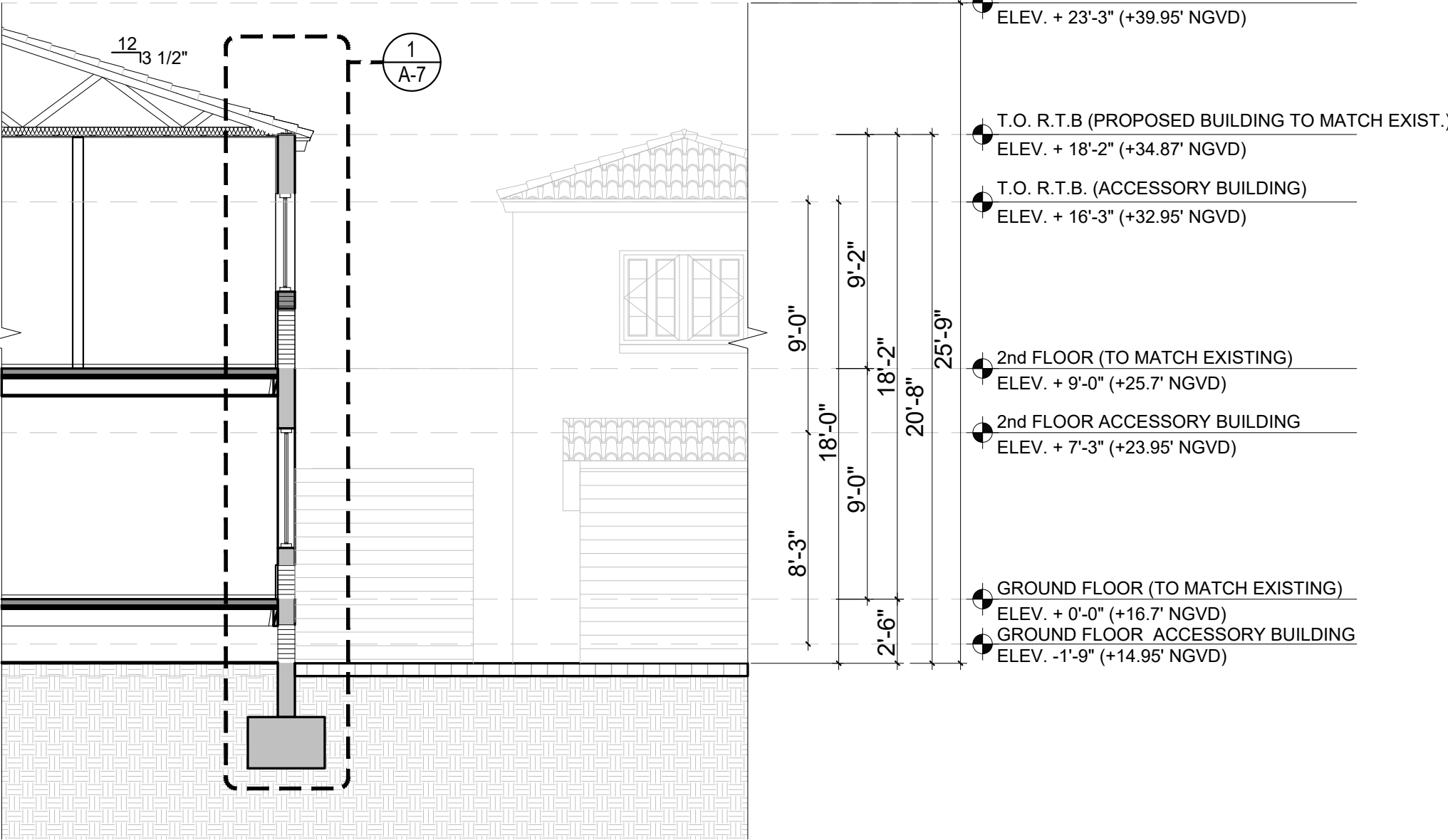
EXISTING SIDE ELEVATION
(WEST & EAST)

Scale:

AS SHOWN

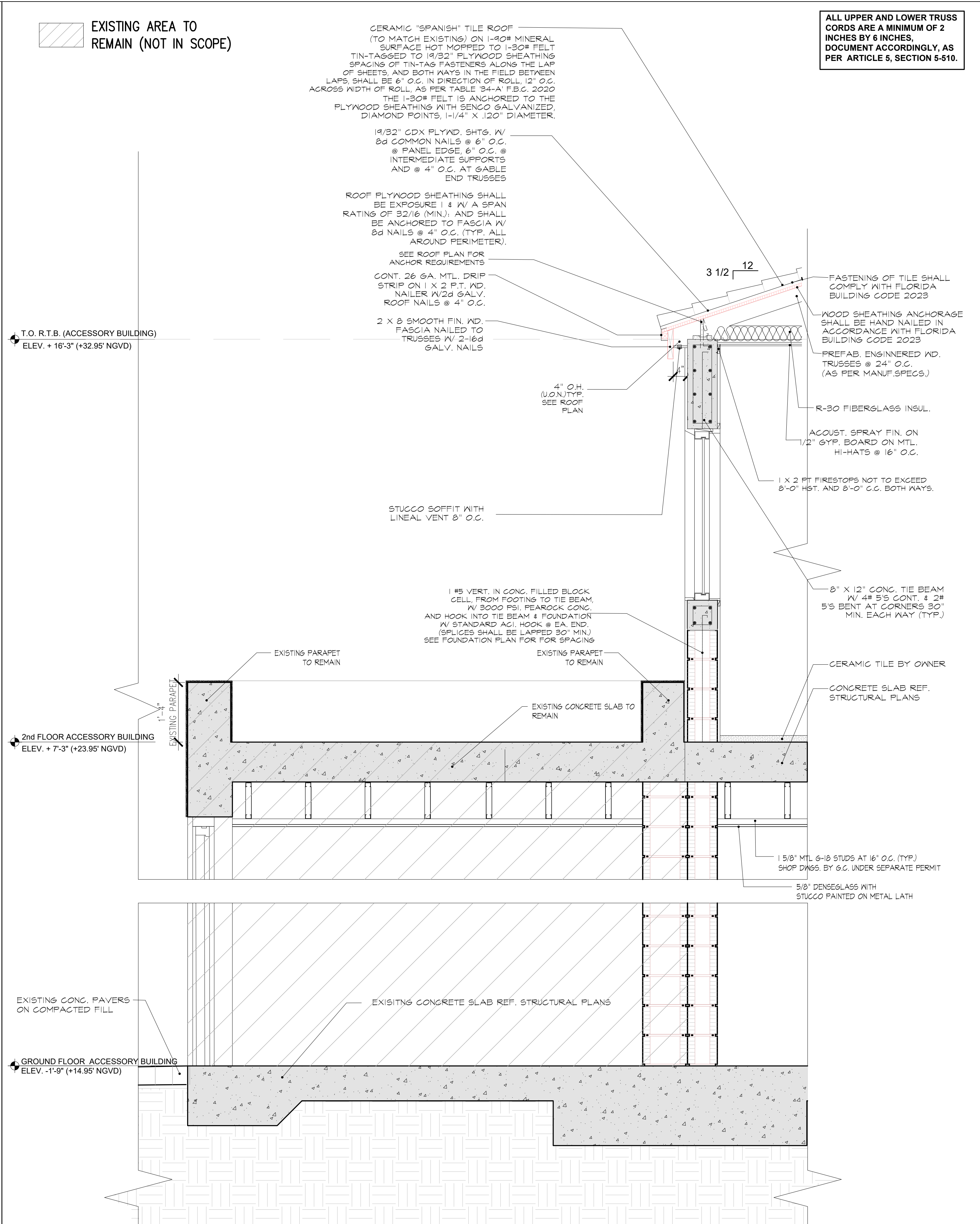
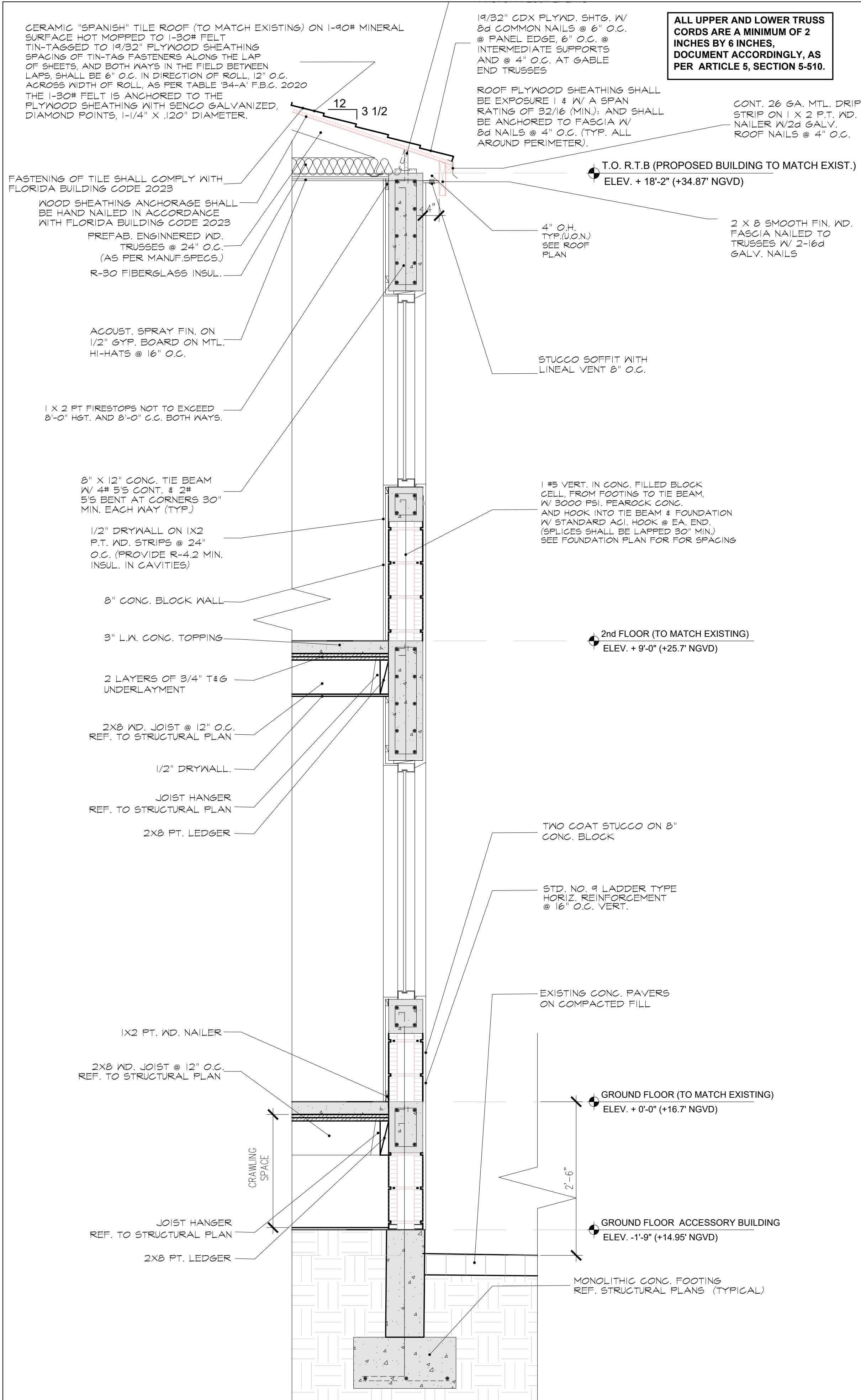
Drawing Number

A-5.1E

			01 SECTION			3/16" = 1'-0"		
			02 SECTION			3/16" = 1'-0"		
			03 SECTION			3/16" = 1'-0"		
			04 SECTION			3/16" = 1'-0"		

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ISSUE DATE: 09-22-2022	
REVISIONS:	
FERREIRO'S RESIDENCE ADDITION 1541 SOPER AVENUE CORAL GABLES, FL 33134	
LESTER PEREZ PIZARRO AR95944	
Project Number 2021	
Drawing Name	
SECTIONS	
Scale:	Drawing Number
AS SHOWN	A-6



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FERREIRO'S RESIDENCE ADDITION

1541 SOPER AVENUE
CORAL GABLES, FL 33134

LESTER PEREZ PIZARRO
AR95944

Project Number 2021

Drawing Name

WALL SECTIONS

Scale:

AS SHOWN

Drawing Number

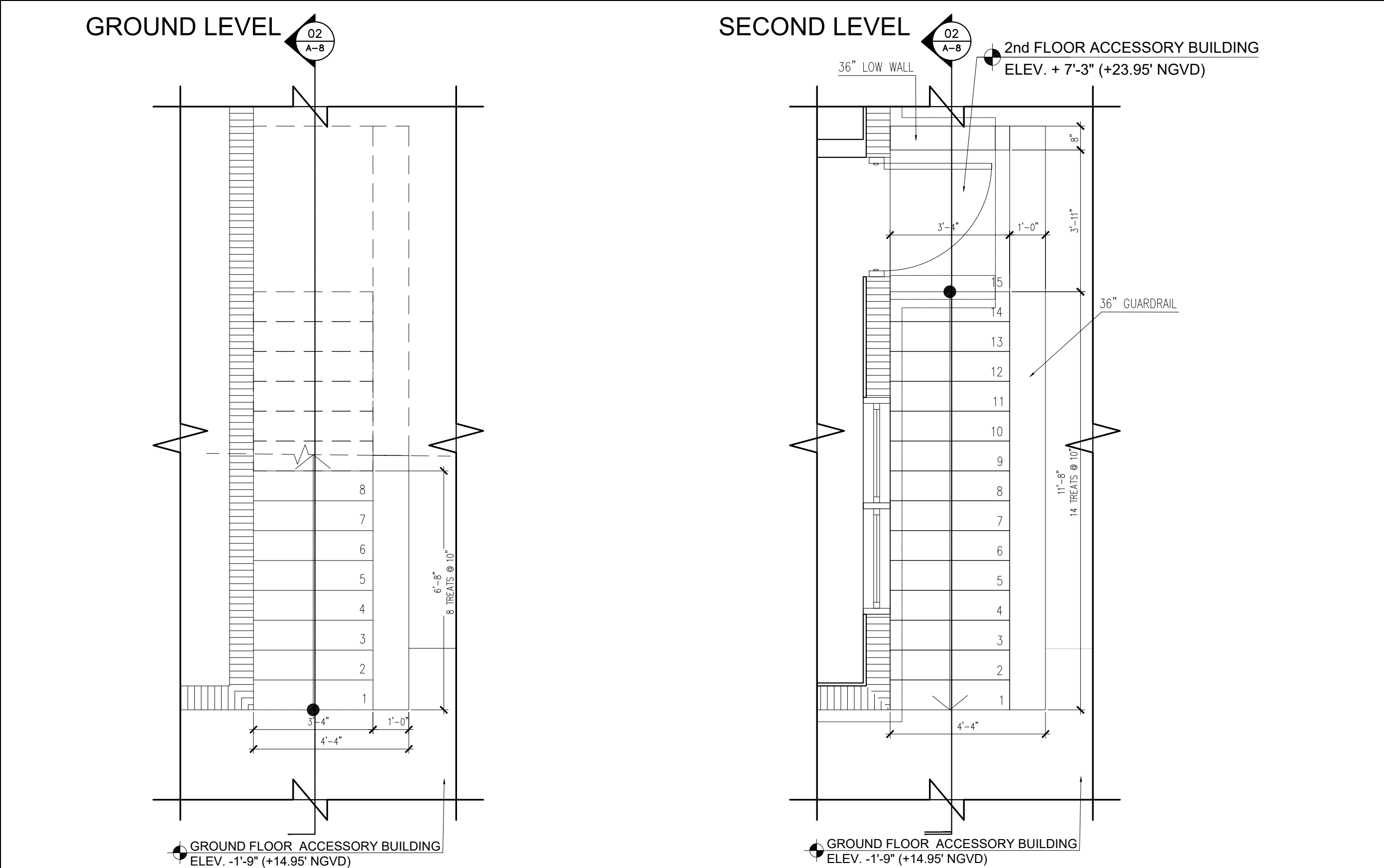
A-7

01 TYPICAL WALL SECTION

3/4" = 1'-0"

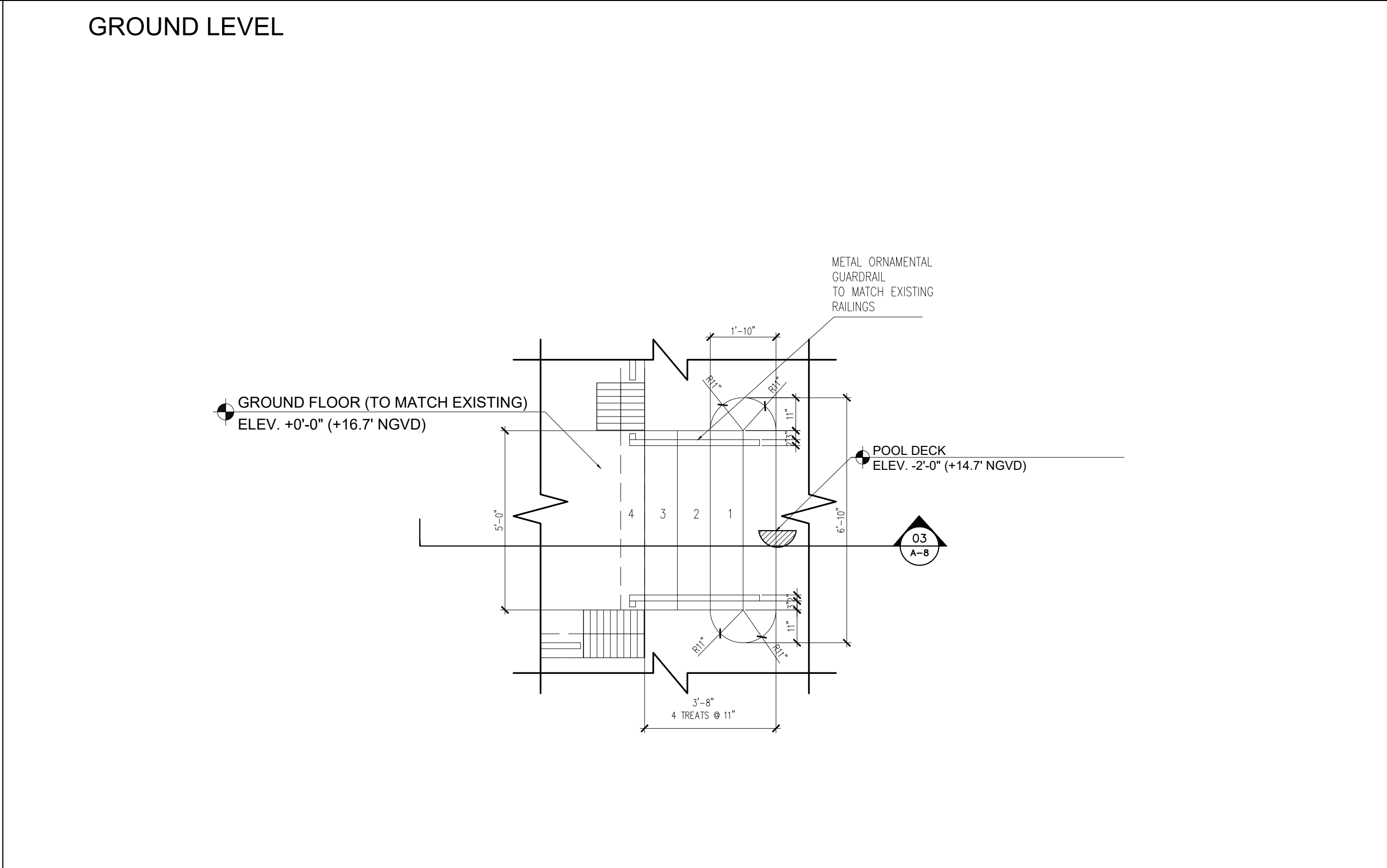
02 TYPICAL WALL SECTION

3/4" = 1'-0"



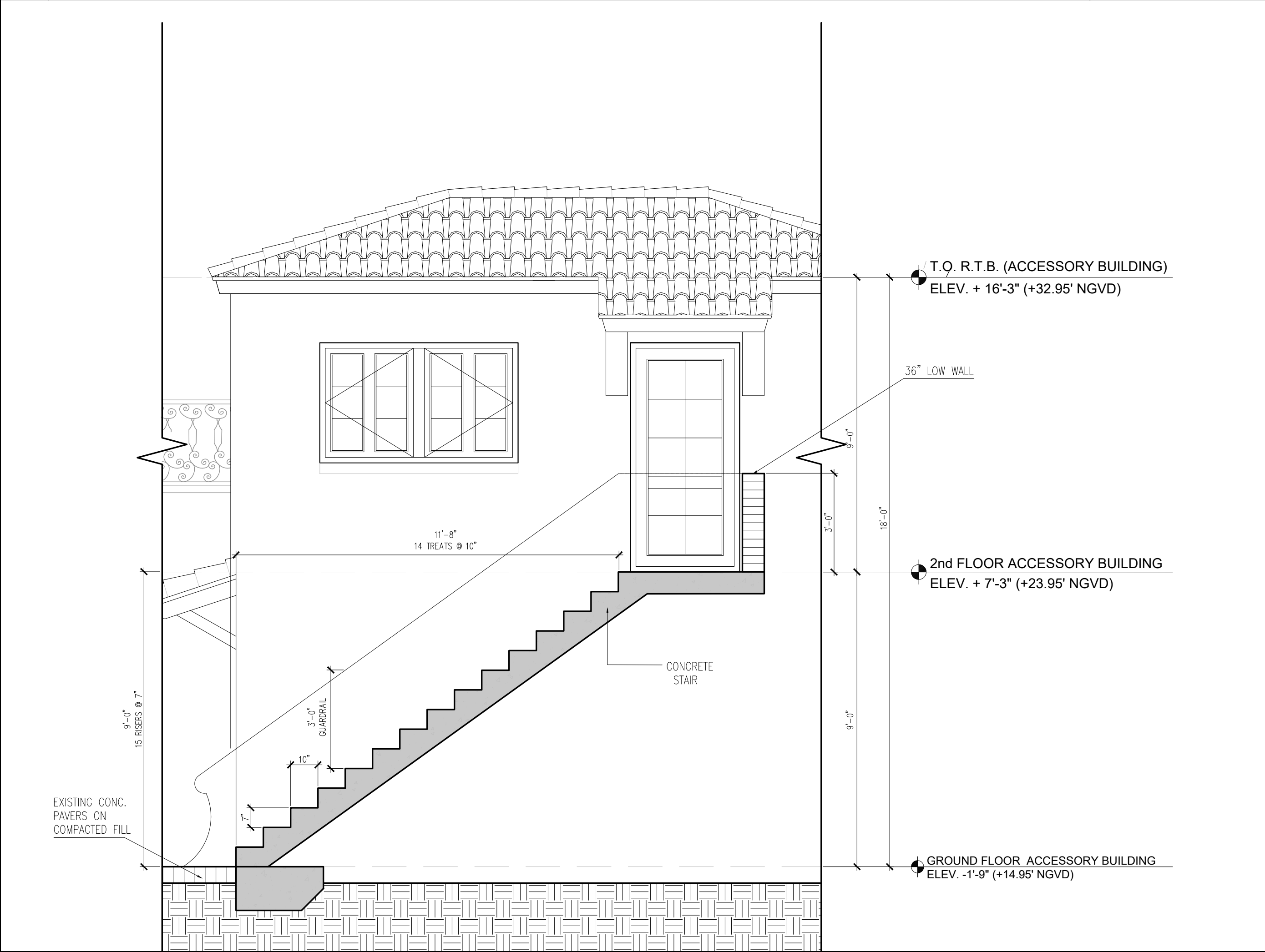
01 STAIRS PLAN

3/8" = 1'-0"



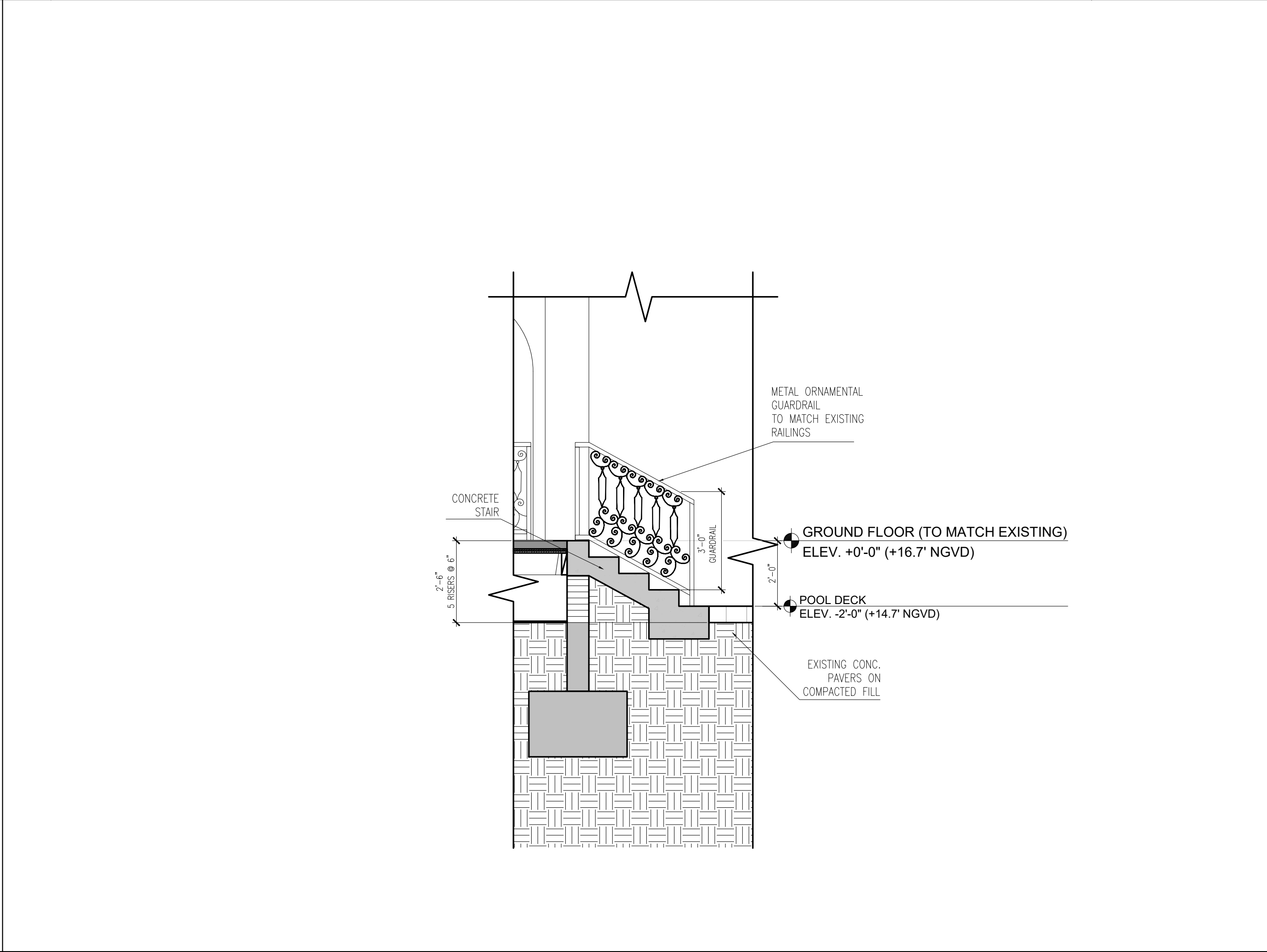
03 STAIRS PLAN

3/8" = 1'-0"



02 STAIRS SECTION

3/8" = 1'-0"



04 STAIRS SECTION

3/8" = 1'-0"

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Project Number 2021

Drawing Name

STAIRS SECTIONS

Scale: AS SHOWN

Drawing Number A-8