



# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

## Summary Report

Generated On: 07/07/2025

PROPERTY INFORMATION	
<b>Folio</b>	03-4108-009-3310
<b>Property Address</b>	1414 GALIANO ST CORAL GABLES, FL 33134-4110
<b>Owner</b>	CREH GALIANO LLC
<b>Mailing Address</b>	6400 GRANADA BLVD CORAL GABLES, FL 33146
<b>Primary Zone</b>	3801 MULTI-FAMILY MED DENSITY
<b>Primary Land Use</b>	0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS
<b>Beds / Baths /Half</b>	5 / 3 / 0
<b>Floors</b>	2
<b>Living Units</b>	3
<b>Actual Area</b>	2,824 Sq.Ft
<b>Living Area</b>	2,824 Sq.Ft
<b>Adjusted Area</b>	2,272 Sq.Ft
<b>Lot Size</b>	7,150 Sq.Ft
<b>Year Built</b>	1934

ASSESSMENT INFORMATION			
Year	2025	2024	2023
<b>Land Value</b>	\$1,287,000	\$934,000	\$933,075
<b>Building Value</b>	\$163,947	\$1,000	\$1,000
<b>Extra Feature Value</b>	\$0	\$0	\$0
<b>Market Value</b>	\$1,450,947	\$935,000	\$934,075
<b>Assessed Value</b>	\$1,028,500	\$935,000	\$934,075

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
<b>Non-Homestead Cap</b>	Assessment Reduction	\$422,447		
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

SHORT LEGAL DESCRIPTION	
CORAL GABLES DOUGLAS SEC	
PB 25-69	
LOT 12 & E15FT LOT 13 BLK 32	
LOT SIZE 65.000 X 110	
OR 19672-1755 05/2001 1	



TAXABLE VALUE INFORMATION			
Year	2025	2024	2023
<b>COUNTY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,028,500	\$935,000	\$934,075
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,450,947	\$935,000	\$934,075
<b>CITY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,028,500	\$935,000	\$934,075
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,028,500	\$935,000	\$934,075

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
02/03/2023	\$1,100,000	33572-0933	Qual by exam of deed
04/01/2001	\$300,000	19672-1755	Sales which are qualified
10/01/1979	\$85,000	10533-0846	Sales which are qualified

The Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

City's Exhibit #1

1414 Galiano St

<b><u>Owner (deed address)</u></b> CREH GALIANO LLC 6400 GRANADA BLVD CORAL GABLES, FL 33146-3427	<b><u>Owner (Sunbiz principal, mailing, and RA address)</u></b> CREH GALIANO LLC c/o DANIELLE GONZALEZ REGISTERED AGENT GREENBERG TRAUIG 333 SE 2ND AVE, STE 4400 MIAMI, FL 33131-2184
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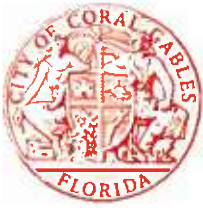
Permit#:	App. Date	Street Address	Type	Description	Status	Issue Date	Final Date	Fees Due
<a href="#">CE-16-07-7661</a>	07/28/2016	1414 GALIANO ST	CODE ENF BOARD/MITIGATION	Admin Fee - CE256721	final	07/28/2016	07/28/2016	0.00
<a href="#">RC-15-10-5494</a>	10/22/2015	1414 GALIANO ST	BLDG RECERT / CRB	CONSTRUCTION REGULATION BOARD CASE #15-4408 UNSAFE STRUCTURES FEE	final	12/02/2015	12/02/2015	0.00
<a href="#">RC-15-10-5477</a>	10/22/2015	1414 GALIANO ST	BLDG RECERT / CRB	40 RECERTIFICATION REPORT 2014 CONSTRUCTION REGULATION BOARD CASE #15-4408	final	11/25/2015	12/02/2015	0.00
<a href="#">CE-14-04-3373</a>	04/23/2014	1414 GALIANO ST	CODE ENF WARNING PROCESS	POSTED WARNING NOTICE WT10806	final	04/23/2014	04/23/2014	0.00
<a href="#">CE-14-04-3295</a>	04/22/2014	1414 GALIANO ST	CODE ENF WARNING PROCESS	WT10806 SEC CH 62-133 CITY CODE (ORW) TREE BRANCHES/LIMBS ARE EXTENDING PAST SIDEWALK HANGING LOW OVER SIDEWALK (ON THE MENORES SIDE)	final	04/22/2014	04/22/2014	0.00
<a href="#">CE-11-09-5725</a>	09/07/2011	1414 GALIANO ST	CODE ENF TICKET PROCESS - NO RUNNING FINE	T41102 SEC 54-153 CITY CODE (DAY) TRASH ON RIGHT OF WAY 2 DAYS PRIOR TO SCHEDULED PICK UP. MUST REMOVE. ***NEW OWNERS - CANCEL****	canceled	09/07/2011	01/29/2013	0.00
<a href="#">CE-11-06-5569</a>	06/01/2011	1414 GALIANO ST	CODE ENF TICKET PROCESS - NO RUNNING FINE	T37313 SEC 62-133 CITY CODE (ORW) CONSTRUCTION DEBRIS ON R/W - POSSIBLE DANGER TO LIFE SAFETY. MUST REMOVE REPEAT OFFENDER	final	06/01/2011	02/27/2013	0.00
<a href="#">BL-11-04-5889</a>	04/12/2011	1414 GALIANO ST	ROOF / LIGHT WEIGHT CONC	RE ROOF \$7,800 HANSON CHALET SHAKE LT GREY TILE	final	04/14/2011	07/14/2011	0.00

City's Exhibit #3

<a href="#">AB-11-04-5794</a>	04/11/2011	1414 GALIANO ST	BOA COMPLETE (LESS THAN \$75,000)	RE ROOF HANSON ROOF TILE HANSON FLAT TILE( TO MATCH EXISTING TILE) \$7800	final	04/11/2011	10/19/2022	0.00
<a href="#">CE-10-12-3833</a>	12/08/2010	1414 GALIANO ST	CODE ENF TICKET PROCESS - NO RUNNING FINE	**CANCEL PER LEGAL DEPT - LACK OF PROPER SERVICE ON TICKET - EMAIL ATTACHED FROM DEPUTY CITY ATTY***** T42074 SEC 54- 153 CC (DAY) TRASH ON SWALE 2 DAYS PRIOR TO SCHEDULED P/U (PHONE BOOKS AND BAG OF GARBAGE). MUST REMOVE. PREVIOUSLY WARNED 10/19/10.	canceled	12/08/2010	01/28/2013	0.00
<a href="#">CE-10-11-4392</a>	11/23/2010	1414 GALIANO ST	CODE ENF WARNING PROCESS	WT8818 SEC 62- 133 CC (ORW) MUST REMOVE BAGS OF CONSTRUCTION DEBRIS FROM R/W.	final	11/23/2010	11/23/2010	0.00
<a href="#">CE-10-10-5099</a>	10/19/2010	1414 GALIANO ST	CODE ENF WARNING PROCESS	WT14628 SEC 54- 153 CC (DAY) TRASH ON SWALE 3 DAYS PRIOR TO SCHEDULED P/U. MUST REMOVE. ALSO CITED 110 SALAMANCA AVE.	final	10/19/2010	10/19/2010	0.00
<a href="#">CE-08-06-1097</a>	06/19/2008	1414 GALIANO ST	CODE ENF WARNING PROCESS	WT#00961 SEC54- 149 CC (CLO) TRASH/RECYCLING CONTAINERS MUST BE KEPT ON SIDE OF PROPERTY AT ALL TIMES. ie.Two (2) black plastic containers out on the swale. Attendant of 1412 Galiano	final	06/19/2008	08/25/2022	0.00
<a href="#">CE-08-06-1096</a>	06/19/2008	1414 GALIANO ST	CODE ENF WARNING PROCESS	WT#00960 SEC 54-153 CC (DAY) TRASH OUT PRIOR TO 6PM BEFORE SCHEDULED P/U DAY. Tendant @1412 Galiano	final	06/19/2008	08/25/2022	0.00

The City's online services are protected with an **SSL encryption certificate**. For technical assistance, please call 305-569-2448 (8am-5pm, M-F).

CODE CASES (16)		INSPECTIONS (28)	PERMITS (4)	PLANS (2)				
Permit Num... ↑	Permit Type	Permit Wor...	Permit Status	Application ...	Expiration D...	Final Date	Description	Main Addre...
<a href="#">BLDR-24-08-6048</a>	FBC Residential	Repair Only	Denied	08/26/2024			Repair of existing exterior stairwell and deck landing	1414 GALIANO ST
<a href="#">PWKS-23-04-1617</a>	Public Works Permit	Utilities	Denied	04/11/2023			Comcast JB000106 3686 DBORE 456' & TRENCH 14'	1414 GALIANO ST
<a href="#">RECT-24-07-0363</a>	Building Recertification	Recertification	Denied	07/02/2024			TIME EXTENSION REQUEST-BUILDING RECERTIFICATION (YEAR BUILT 1934)	1414 GALIANO ST
<a href="#">ZONR-24-05-1972</a>	Zoning Residential	Private Prop. Tree Removal/ Relocation/ Trimming	Issued	05/04/2024	10/21/2025		After the fact tree removal of one 20ft black olive 4ft away from structure. Mitigation can be added to new plans. ***48" DBH BLACK OLIVE TO BE REPLACED PER CITY CODE 6:1 AT THE END OF CONSTRUCTION. MITIGATION TO BE INCLUDED IN THE PROPOSED BUILDING PLANS***	1414 GALIANO ST



## The City of Coral Gables

Development Services Department  
CITY HALL 405 BILTMORE WAY  
CORAL GABLES, FLORIDA 33134

December 2, 2015

Nicolas F. Trujillo & Brenda Trujillo  
5160 Alton Road  
Miami Beach, Florida 33140

### **LETTER OF BUILDING RECERTIFICATION IN ACCORDANCE WITH SECTION 8-11(f) OF THE CODE OF MIAMI-DADE COUNTY**

**PROPERTY FOLIO: # 03-4108-009-3310**

**ADDRESS: 1414 Galiano Street**

Dear Property Owner/Manager:

This Office is in receipt of your structural and electrical report stating that the above referenced building has been examined and found to be structurally and electrically safe for its continued occupancy.

Based on acceptance of this report, we herewith grant this LETTER OF RECERTIFICATION for the above subject premises in accordance with Section 8-11(f) of the Code of Miami-Dade County.

The expiration date of this approval, as stated in said Code, is 10 years from 2014. This recertification letter does not exclude the building from subsequent inspections as deemed necessary by the Building Official, as specified in the Florida Building Code.

As a routine matter, and in order to avoid possible misunderstanding, nothing in this letter should be construed directly, or indirectly as a guarantee of the safety of any portion of this structure. However, based on the term stated in Section 8-11(f) of the Code, continued occupancy of the building will be permitted in accordance with the minimum procedural guidelines for the recertification structural/electrical report on file with this office.

Yours truly,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez", is written over a blue circular stamp.

Manuel Z. Lopez, P.E.  
Building Official

**City's Exhibit #4**



CITY OF CORAL GABLES  
Development Services Department

CITY HALL 405 BILTMORE WAY  
CORAL GABLES, FL 33134

1/31/2024

**VIA CERTIFIED MAIL**

7021 2720 0001 4959 1394

CREH GALIANO LLC  
6400 GRANADA BLVD  
CORAL GABLES, FL 33146

**RE:** 1414 GALIANO ST  
**FOLIO #** 03-4108-009-3310

Notice of Required Inspection For Recertification of Building  
Process Number: **TBD**

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is thirty (30) years old, or older, having been built in 1934. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a qualified individual must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

Threshold buildings (i.e. buildings greater than 3 stories or greater than 50 ft tall, or with an Assembly Occupancy > 5000 s.f. & Occupant load > 500 people) shall be recertified by Structural and Electrical Professional Engineers only. Self-qualification letters will be required with proof of DBPR structural and electrical specialization.

Any buildings that are not threshold buildings may be recertified by any Florida Registered Architect or Professional Engineer and self-qualification letters will not be required.

If no deficiencies are identified, the structure will only be recertified once the reports and forms have been submitted and approved.

If deficiencies are identified, they shall be reported to the Building Official within 10 days, or within 24 hours if there is an immediate danger identified. A completed report shall be submitted to this Department. In addition, a structural and/or electrical affidavit from the inspector will be required, with additional affidavits every 180 days, as needed so that the building can continue to be occupied while repairs are carried out. The Building Official is able to grant an extension of one hundred fifty (150) calendar days from the due date or the date the deficiencies were identified (whichever is sooner) to allow time to obtain the necessary permits and perform the repairs. The structure will only be recertified once a *revised* report and all required information is submitted and approved, and all required permits are closed.

Proprietary or modified recertification forms from the inspectors will not be accepted. Only current municipal recertification forms will be accepted. The Architect or Engineer shall obtain the required Forms from the following link:

<https://www.miamidade.gov/global/economy/building/recertification.page>.

**City's Exhibit #5**

If this is your first time using the online system, please register at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/selfservice/CoralGablesFLProd#/register>

You can access your online process using the process number provided above at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/myWork?tab=MyPermits>

**The Recertification Report fee of \$500.00 and additional document and filing fees shall be paid online at the following link:**

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/payinvoice>

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice and a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

Please contact Douglas Ramirez at [dramirez@coralgables.com](mailto:dramirez@coralgables.com) regarding any questions concerning building recertification.  
Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read 'Manuel Z. Lopez'.

Manuel Z. Lopez, P.E.  
Building Official



## CITY OF CORAL GABLES

DEVELOPMENT SERVICES DEPARTMENT  
427 BILTMORE WAY  
CORAL GABLES, FL 33134

5/10/2024

### VIA CERTIFIED MAIL

7022 2410 0002 9144 6387

CREH GALIANO LLC  
6400 GRANADA BLVD  
CORAL GABLES, FL. 33146

**RE:** 1414 GALIANO ST  
**FOLIO #** 03-4108-009-3310

Notice of Required Inspection For Recertification of Building – **OVERDUE NOTICE**  
Process Number **RECT-xx-xxxx**

Dear Property Owner:

In a certified letter dated 1/31/2024, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a qualified individual within ninety (90) calendar days certifying the structure meets the requirements for recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as being subject to other penalties as provided in the Code. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

See original notice for additional information.

**Failure to submit the completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination. A \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.**





CITY OF CORAL GABLES

7019 1640 0001 2647 4637

DEVELOPMENT SERVICES DEPARTMENT

427 BILTMORE WAY

CORAL GABLES, FL 33134

CREH GALIANO LLC

6400 GRANADA BLVD

CORAL GABLES, FL 33146

6/17/2024

**RE:** 1414 GALIANO ST

**FOLIO #** 03-4108-009-3260

Notice of Required Inspection For Recertification of Building – **FINAL NOTICE**

Dear Property Owner:

In a certified letter dated 1/31/2024, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). A Second Notice dated 5/10/2024, informed you it was necessary to submit to this Department a completed Report prepared by a qualified individual within thirty (30) calendar days certifying the structure meets the requirements for recertification.

See previous correspondence for additional information.

As of this date, the completed Report has not been submitted and the **structure remains unsafe** due to non-compliance. Please be advised the matter will be forwarded to the City's Construction Regulation Board ("Board"); a \$600.00 Administrative Fee will be imposed once the Case is scheduled. The Board may impose additional fines of \$250.00 for each day the violation continues, may also enter an order of revocation of the Certificate of Occupancy and/or demolition and assess all costs of the proceedings along with the cost of demolition and any other required action for which the City shall have a lien against the Property Owner and the Property. The completed Report may be submitted Monday through Friday, 7:30am to 2:30pm to this Department. Contact Virginia Goizueta at [vgoizueta@coralgables.com](mailto:vgoizueta@coralgables.com) if any questions regarding building recertification.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.  
Building Official

**BEFORE THE CONSTRUCTION REGULATION BOARD**  
**FOR THE CITY OF CORAL GABLES**

CITY OF CORAL GABLES,  
Petitioner,

Case No. 25-9337  
RECT-24-07-0363

vs.  
CREH GALIANO LLC  
6400 GRANADA BLVD  
CORAL GABLES, FL 33146-3427

Return receipt number:  
7020 2450 0001 8406 0744

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY  
AND NOTICE OF HEARING**

Date: June 27, 2025

Re: 1414 GALIANO ST, legally described as set forth in the attached Exhibit "A" and bearing Property Appraiser's folio number 03-4108-009-3310 ("Property"), and the two-story residential apartment building on the Property, built in 1934 ("Structure").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-89 (10)(m) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code; as follows:

To date, the Owner has not submitted an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report"), stating that the Structure now meets the minimum code requirements ("Required Action").

**Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1<sup>st</sup> floor, Coral Gables, Florida 33134, on July 14, 2025, at 2:00 p.m.**

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Analyn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5383. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that

**City's Exhibit #6**

the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.

*Analyn Hernandez*

Analyn Hernandez  
Secretary to the Board

#### NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Human Resources (E-mail: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com), Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com), Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

**Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.**

cc: CREH GALIANO LLC , c/o Danielle Gonzalez, Greenberg Traurig, Registered Agent, 333 SE 2<sup>nd</sup> Ave, Ste. 4400, Miami, FL 33131-2184 (7020 2450 0001 8406 0751)

## **EXHIBIT "A"**

### **LEGAL DESCRIPTION**

Lot 12 and the East 15 feet of Lot 13, in Block 32 of the revised plat of CORAL GABLES DOUGLAS SECTION, according to the Plat thereof, as recorded in Plat Book 25, at Page 69 of the Public Records of Miami-Dade County, Florida.

BEFORE THE CONSTRUCTION REGULATION BOARD  
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,  
Petitioner,

Case No. 25-9337  
RECT-24-07-0363

vs.  
CREH GALLIANO LLC  
6400 GRANADA BLVD  
CORAL GABLES, FL 33146-3427

Return receipt number:  
7070 2430 0001 8406 0744

NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY  
AND NOTICE OF HEARING

Date: June 27, 2025

Re: 1414 GALLIANO ST., legally described as set forth in the attached Exhibit "A" and bearing Property Appraiser's folio number 03-4108-009 3310 ("Property"), and the two-story residential apartment building on the Property, built in 1934 ("Structure").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-89 (1)(n) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code, as follows:

To date, the Owner has not submitted an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report"), stating that the Structure now meets the minimum code requirements ("Required Action").

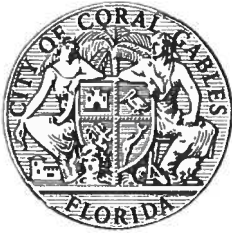
Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1<sup>st</sup> floor, Coral Gables, Florida 33134, on July 14, 2025, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to: Anaelys Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez@cmgables.com, tel: (305) 460-5383. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

Jul 2, 2025 at 11:29 AM







CITY OF CORAL GABLES  
DEVELOPMENT SERVICES DEPARTMENT  
Affidavit of Posting

Title of Document Posted: Notice of Unsafe Structure Violation

I, ANGELICA LUGO, DO HEREBY SWEAR/AFFIRM THAT  
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE  
ADDRESS OF 1414 Galiano St, ON July 2<sup>nd</sup> '25 AT 11:29 AM.

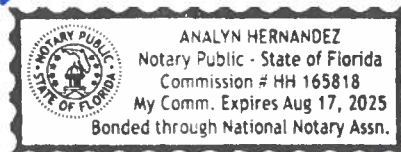
ANGELICA LUGO  
Employee's Printed Name

Angelica Lugo  
Employee's Signature

STATE OF FLORIDA )  
ss.  
COUNTY OF MIAMI-DADE )

Sworn to (or affirmed) and subscribed before me this 2 day of July, in the year 2025,  
by Angelica Lugo who is personally known to me.

My Commission Expires:



Analyn Hernandez  
Notary Public



Return to:

Danielle M. Gonzalez, Esq.  
Greenberg Trauring, P.A.  
333 SE 2nd Ave  
Miami FL 33131  
305-579-0633

Prepared by :

Jorge Luis Lopez-Garcia, P.A.  
1450 Madruga Avenue Suite 408  
Coral Gables, FL 33146  
305-662-2525  
File Number: 23-2687-RE  
Will Call No.:

Parcel Identification No. 03-4108-009-3310

\_\_\_\_\_[Space Above This Line For Recording Data]\_\_\_\_\_

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 3 day of FEB., 2023 between Nicolas F. Trujillo, a married man and Brenda Langford, a single woman whose post office address is 6039 Collins Ave, Unit 1620, Miami Beach, FL 33140 of the County of Miami-Dade, State of Florida, grantor\*, and CREH GALIANO LLC, a Delaware limited liability company whose post office address is 6400 Granada Blvd, Coral Gables, FL 33146 of the County of Miami-Dade, State of Florida, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida, to-wit:

**Lot 12 and the East 15 feet of Lot 13, Block 32, Revised Plat Of Coral Gables Douglas Section, according to the plat thereof as recorded in Plat Book 25, Page 69, Public Records of Miami-Dade County, Florida.**

**Subject to taxes for 2023 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any, which are not hereby being re-imposed.**

**Grantor Nicolas F. Trujillo warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantor's residence and homestead address is: 9300 Fountainbleau Blvd, Unit 302, Miami FL 33172.**

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

City's Exhibit #7

Return to:

Danielle M. Gonzalez, Esq.  
 Greenberg Trauring, P.A.  
 333 SE 2nd Ave  
 Miami FL 33131  
 305-579-0633

Prepared by :

Jorge Luis Lopez-Garcia, P.A.  
 1450 Madruga Avenue Suite 408  
 Coral Gables, FL 33146  
 305-662-2525  
 File Number: 23-2687-RE  
 Will Call No.:

Parcel Identification No. 03-4108-009-3310

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 3rd day of February, 2023 between Nicolas F. Trujillo, a married man and Brenda Langford, a single woman whose post office address is 6039 Collins Ave, Unit 1620, Miami Beach, FL 33140 of the County of Miami-Dade, State of Florida, grantor\*, and CREH GALIANO LLC, a Delaware limited liability company whose post office address is 6400 Granada Blvd, Coral Gables, FL 33146 of the County of Miami-Dade, State of Florida, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida, to-wit:

**Lot 12 and the East 15 feet of Lot 13, Block 32, Revised Plat Of Coral Gables Douglas Section, according to the plat thereof as recorded in Plat Book 25, Page 69, Public Records of Miami-Dade County, Florida.**

**Subject to taxes for 2023 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any, which are not hereby being re-imposed.**



**Grantor Nicolas F. Trujillo warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantor's residence and homestead address is: 9300 Fountainbleau Blvd, Unit 302, Miami FL 33172.**

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness Name: Daniel W Sigafos  
  
Witness Name: Darla Provencio

Nicolas F. Trujillo (Seal)  
Nicolas F. Trujillo

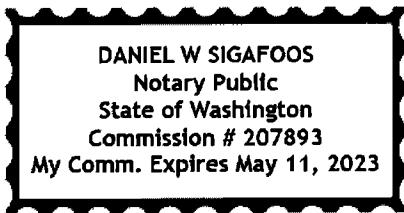
Witness Name: \_\_\_\_\_  
Witness Name: \_\_\_\_\_


\_\_\_\_\_  
Brenda Langford (Seal)

State of Washington  
County of Snohomish

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☒ online notarization, this 3 day of February, 2023 by Nicolas F. Trujillo, who ☐ is personally known or ☒ has produced Passport as identification.

[Notary Seal]



  
Notary Public  
Printed Name: Daniel W Sigafos  
My Commission Expires: 5/11/2023

State of \_\_\_\_\_ Completed via Remote Online Notarization using 2 way Audio/Video technology.  
County of \_\_\_\_\_

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 2023 by Brenda Langford, who ☐ is personally known or ☒ has produced \_\_\_\_\_ as identification.

[Notary Seal]

\_\_\_\_\_  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: \_\_\_\_\_ (Seal)  
Nicolas F. Trujillo

Witness Name: \_\_\_\_\_  
Brenda Langford (Seal)

Witness Name: Jorge L. Lopez Garcia  
Witness Name: Marcos Villatoro

State of \_\_\_\_\_  
County of \_\_\_\_\_

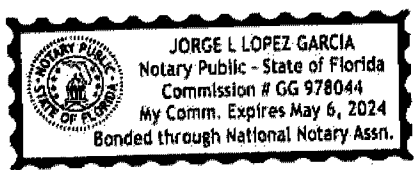
The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☒ online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 2023 by Nicolas F. Trujillo, who ☐ is personally known or ☒ has produced \_\_\_\_\_ as identification.

[Notary Seal] Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

State of Florida  
County of Miami Dade

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 3 day of FEB, 2023 by Brenda Langford, who ☐ is personally known or ☒ has produced DRIV LIC as identification.

[Notary Seal] Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Foreign Limited Liability Company  
CREH GALIANO LLC

### Filing Information

<b>Document Number</b>	M23000001403
<b>FEI/EIN Number</b>	N/A
<b>Date Filed</b>	02/01/2023
<b>State</b>	DE
<b>Status</b>	ACTIVE

### Principal Address

C/O GREENBERG TRAUIG  
333 SE 2ND AVE STE 4400  
MIAMI, FL 33131

### Mailing Address

C/O GREENBERG TRAUIG  
333 SE 2ND AVE STE 4400  
MIAMI, FL 33131

### Registered Agent Name & Address

GONZALEZ, DANIELLE  
C/O GREENBERG TRAUIG  
333 SE 2ND AVE, STE 4400  
MIAMI, FL 33131

### Authorized Person(s) Detail

#### **Name & Address**

Title P

GONZALEZ, DANIELLE  
6400 GRANADA BLVD  
CORAL GABLES, FL 33146

Title VP

RUBINSTEIN, TODD  
6400 GRANADA BLVD  
CORAL GABLES, FL 33146

Annual Reports

Report Year	Filed Date
2024	03/16/2024
2025	01/06/2025

Document Images

<a href="#">01/06/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/16/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/01/2023 -- Foreign Limited</a>	<a href="#">View image in PDF format</a>

Florida Department of State, Division of Corporations

7/2/2024

City of Coral Gables Development Services Department  
427 Biltmore Way  
Coral Gables, Florida 33134

Dear Virginia,

I am writing today to request from the city an extension to obtain the Building Recertification Letter for 1414 Galiano Street, as when I received the two-initial letters from the city to complete the inspection, the folio number was wrong each time, and I thought it was a mistake from the Development Services Department to even do the inspection for this particular property based on a conflict of the folio number and the property address.

After communicating with you regarding the final notice, it was made clear that an error took place and that yes, in fact, the 10-Year Building Recertification inspection needed to take place for my property. Once this was made clear, I immediately reached out to a multitude of companies who provide the recertification inspection based on the Miami-Dade County Code and retained Eastern Engineering Corp, who is starting the inspection process July 11, 2024.

I am asking the City of Coral Gables to please use your discretion and extend the 30-day deadline to complete the report, as I am doing everything in my power to remain compliant and to get the completed inspection report to you in an expedited manner, which I was told by the engineering company should be the last week of July at the latest.

Thank you for your understanding in this manner and if you have any questions, please let me know.

*Todd Rubinstein*

Todd Rubinstein, COO  
Crawford Real Estate Holdings, LLC  
todd@crawfordrealestateholdings.com

REF: 1414 Galiano Street  
Coral Gables, Florida 33134  
CREH Galiano, LLC

City's Exhibit #8



7/29/2024

City of Coral Gables Development Services Department  
427 Biltmore Way  
Coral Gables, Florida 33134

Dear Manuel & Virginia,

Upon receiving the building certification report for 1414 Galiano, the inspection noted multiple repairs which I must make to remain compliant so the building may receive a “passing” grade. Though the repairs can be completed with the tenants still living there, I’m asking if you can please use your discretion and extend my 60-day limit to complete such repairs, as there is no way I will be able to complete these repairs in the allotted timeframe stemming from the extensive scope of work.

Being as such, I have started the process of making the repairs to show that I am serious about being compliant, but again, it’s going to take beyond the 60-day limit as there are numerous facets of this progression which are out of my control, i.e.- permits, drawings, and retaining contractors for example.

Thank you for your understanding and I appreciate your consideration in this manner.

*Todd Rubinstein*

Todd Rubinstein, COO  
Crawford Real Estate Holdings, LLC  
todd@crawfordrealestateholdings.com

REF: 1414 Galiano Street  
Coral Gables, Florida 33134  
CREH Galiano, LLC

CC: Mario Garcia-Serra  
Danielle Gonzalez



# Eastern Engineering Group

3401 NW 82nd Ave.  
Suite 370  
Doral, FL. 33122  
(305) 599-8133  
info@easterneg.com  
www.easterneg.com

**TO:** Building Department Official

**FROM:** Gonzalo A. Paz  
Structural Engineer, FL Reg. No. 60734

**DATE:** July 12nd, 2024

**RE:** **40-Year Structural Recertification**  
**1414 Galiano Street, Coral Gables, Florida 33134**

---

On February 19<sup>th</sup>, 2024, I performed an inspection of the building at the above-mentioned address to assess them for a 40-year structural recertification.

Based on the visual inspection of exposed structural members, **the building is safe for its continued use and occupancy, however repairs will be needed to comply with the 40-year recertification.**

There was no destructive testing done at the buildings and none of the covered structural members could be visually inspected. As a routine matter, to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the buildings based upon careful evaluation of observed conditions, to the extent reasonably possible.

## Repairs Required:

Item 1-Picture No. 1A&1B: Building No.1 Stair framing of wood elements with sign of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing it with a new one with the current minimum FBC requirements.

Item 2-Picture No. 2A&2B: Building No.1 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted.

Item 3-Picture No. 3A: Building No.1 Caulk with sign of damage. Sealant shall be replaced.

Item 4-Picture No. 4A: Building No.1 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

Item 5-Picture No. 5A: Building No.1 Roof Soffit rotted with wood damage. Wood soffit shall be replaced.

Item 6-Picture No. 6A&6b: Building No.2 Stair framing of wood elements with sign of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing it with a new one with the current minimum FBC requirements.

Item 7-Picture No. 7A: Building No.2 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted.

Item 8-Picture No. 8A: Building No.2 Caulk with sign of damage. Sealant shall be replaced.

Item 9-Picture No. 9A&9B: Building No.2 Signs of water infiltration through the roof. The roofing shall be repaired. We recommend hiring a contractor specialized in this type of work.

Item 10-Picture No. 10A: Building No.2 Steel windows Shutter shall be repaired and brought back to its original condition.

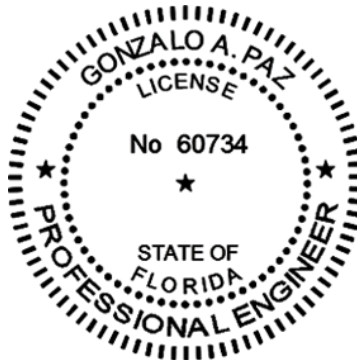
Item 11-Picture No. 11A: Building No.2 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

If you have any additional questions or comments, please do not hesitate to contact me at:

(305) 599-8133.

Sincerely,

Gonzalo A. Paz  
Structural Engineer  
Eastern Engineering Group



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY **GONZALO A. PAZ, PE** ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

***Rodriguez & Anglin Professional Design, Inc.***  
***12735 SW 42<sup>nd</sup> Terrace***  
***Miami, Fl 33175***  
***Phone: (305) 510 7322***  
***Fax: (305) 222 8855***

*July 16<sup>th</sup>, 2024*

*Miami-Dade County Building Department*  
*11805 SW 26<sup>th</sup> Street*  
*Miami, Florida 33175-2474*

*In reference to: 40 Year Electrical Re-certification*  
*Building Address: 1414 Galiano St Building #1*  
*Coral Gables, Florida 33134*  
***Folio: 03-4108-009-3310***

*Dear Building Official:*

*In accordance with Section §8-11(f) of the Code of Miami-Dade County, I have performed an inspection of the above referenced buildings and determined, that the building is "**electrically safe for its use and present occupancy, however some repairs are required.**"*

*The findings of my inspection are summarized in this written report that follows the Minimum Inspection Procedural Guidelines for Building Recertification. This report does not preclude the building from subsequent inspections as deemed necessary by the Building Official.*

*To avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. Should you have any questions concerning this report, please feel free to contact me at (305) 510-7322.*

***Repairs Required:***

- 1) Apartment unit ground floor missing main circuit breaker.***
- 2) Remove illegal double tapping on circuit breakers 1 and 7 in "Electrical Panel" apartment unit ground floor.***

*Sincerely,*

---

*Carlos M. Rodriguez P.E.*  
*Electrical Engineer*  
*P.E. # 55488*

***Rodriguez & Anglin Professional Design, Inc.***  
***12735 SW 42<sup>nd</sup> Terrace***  
***Miami, Fl 33175***  
***Phone: (305) 510 7322***  
***Fax: (305) 222 8855***

*July 16<sup>th</sup>, 2024*

*Miami-Dade County Building Department*  
*11805 SW 26<sup>th</sup> Street*  
*Miami, Florida 33175-2474*

*In reference to: 40 Year Electrical Re-certification*  
*Building Address: 1414 Galiano St. Building #2*  
*Coral Gables, Florida 33134*  
***Folio: 03-4108-009-3310***

*Dear Building Official:*

*In accordance with Section §8-11(f) of the Code of Miami-Dade County, I have performed an inspection of the above referenced buildings and determined, that the building is "**electrically safe for its use and present occupancy.**"*

*The findings of my inspection are summarized in this written report that follows the Minimum Inspection Procedural Guidelines for Building Recertification. This report does not preclude the building from subsequent inspections as deemed necessary by the Building Official.*

*To avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. Should you have any questions concerning this report, please feel free to contact me at (305) 510-7322.*

*Sincerely,*

---

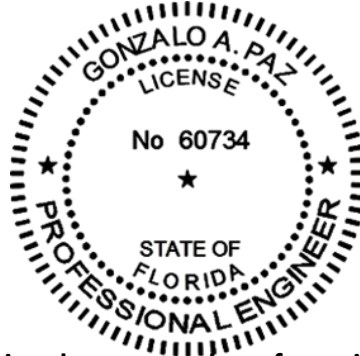
*Carlos M. Rodriguez P.E.*  
*Electrical Engineer*  
*P.E. # 55488*



## MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION

CASE REFERENCE NUMBER:

JURISDICTION NAME:



LICENSEE NAME: Gonzalo A. Paz, PE

TITLE: Structural Engineer

ADDRESS: 3401 NW 82nd Ave., Suite-370., Doral, FL, 33122

SIGNATURE:

\*Use separate sheets for additional responses by referencing the report section number.

### 1. DESCRIPTION OF BUILDING

a. Name on Title: 1414 GALIANO ST

b. Building Street Address: 1414 Galiano Street, Coral Gables, Florida 33134

Bldg. #:

c. Legal Description: see attached addendum

Attached: ☐

d. Owner's Name: CREH GALIANO LLC

e. Owner's Mailing Address: 6400 GRANADA BLVD CORAL GABLES, FL 33146

f. Folio Number of Property on which Building is Located: 03-4108-009-3310

g. Building Code Occupancy Classification: Residential Group R-2

h. Present Use: 0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS

i. General Description of building (overall description, structural systems, special features):

Building No.1&2: Two story CBS. Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter). Building No.2 slab on grade. Both structures has wood stair on the outside.

j. Number of Stories: 2

k. Is this a Threshold Building<sup>1</sup> as per 553.71(12) F.S. (Yes/No): No

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:

Stair framing of wood elements. the framing has been reinforced and shored, probably for reasons of allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GONZALO A. PAZ, PE ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

n. Additions to original structure:	
N/A	
o. Total Actual Building Area of all floors: 2824	S.F.

2. INSPECTIONS	
a. Date of Notice of Required Inspection: N/A	
b. Date(s) of actual inspection: 07/12/2024	
c. Name, license number, discipline of practice, and qualifications of licensee submitting report:	
Gonzalo A. Paz (FL P.E. No. 60734) Structural Engineer, Eastern Engineering Group	
d. Description of laboratory or other formal testing, if required, rather than manual or visual procedures:	N/A: <input checked="" type="checkbox"/>
N/A	
e. Are Any Structural Repairs Required? (YES/NO): Yes	
1. If required, describe, and indicate acceptance:	
See addendum for deficiencies & repairs	
f. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO):	
1. Explanation/Conditions:	
g. Is it recommended that the building be vacated? (YES/NO): No	
h. Has the property record been researched for violations or unsafe cases? (YES/NO): Yes	
1. Explanation/Comments:	
No Violation found	



### 3. SUPPORTING DATA (Reference all photos indicated in report with corresponding section number)

- a. 14 Number of Additional sheets of written data
- b. 43 Number of Photographs provided (plus each building elevation)
- c. 1 Number Drawings or sketches provided (aerial, site, footprint, etc.)
- d. 0 Number of Test reports attached

### 4. FOUNDATION

a. Describe the building foundation:

Foundation to be presumably wall footing for exterior masonry wall, bearing partition walls and spread footing for interior concrete piers.

b. Is wood in contact or near soil? (Yes/No): No

c. Signs of differential settlement? (Yes/No): No

d. Describe any cracks or separation in the walls, columns, or beams that signal differential settlement:

PROVIDE PHOTO 4d

None visible

e. Is water drained away from the foundation? (Yes/No/Needs Repair): Yes

f. Is there additional sub-soil investigation required? (Yes/No): No

1. Describe:

None required.

### 5. PRESENT CONDITION OF OVERALL STRUCTURE

a. General alignment: (Note: good, fair, needs attention, explain if significant)

PROVIDE PHOTO 5a

1. Bulging: Good

2. Settlement: Good

3. Deflections: Good

4. Expansion: Good

5. Contraction: Good

b. Portion showing distress: (Note, beams, columns, structural walls, floor, roofs, other)	PROVIDE PHOTO 5b
See addendum for deficiencies & repairs.	
c. Surface conditions: Describe general conditions of finishes, cracking, spalling, peeling, signs of moisture penetration and stains.	PROVIDE PHOTO 5c
<p>Building No.1: There are no signs of moisture penetration. Finishes are in good condition and were observed throughout the structure.</p> <p>Building No.2: Signs of water infiltration through the roof. Roofing shall be repaired. We recommend hiring a contractor specialized in this type of work.</p>	
d. Cracks: Note location in significant members. Identify crack size as <b>HAIRLINE</b> if barely discernible; <b>FINE</b> if less than 1 mm in width; <b>MEDIUM</b> if between 1- and 2-mm width; <b>WIDE</b> if over 2 mm.	PROVIDE PHOTO 5d
<p>Hairline (Barely Discernable)      Hairline visible. In fair condition.</p>	
e. General extent of deterioration: Cracking or spalling of concrete or masonry, oxidation of metals; rot or borer attack in wood.	PROVIDE PHOTO 5e
See addendum for deficiencies & repairs.	
f. Previous patching or repairs (Provide description and identify location):	PROVIDE PHOTO 5f
Signs of previous patching on stucco.	
g. Nature of present loading: (Indicate residential, commercial, storage, other.)	
Residential      Residential 40 psf. Typical loading for this type of structure.	
h. Signs of overloading? (Yes/No): No	
1. Describe:	
N/A	

<b>6. MASONRY BEARING WALL:</b> (Indicate good, fair, needs repair on appropriate lines)		This Section is N/A: <input type="checkbox"/>	<b>PROVIDE PHOTO 6</b>
a. Concrete masonry units: <b>Good</b>			
b. Clay tile or terra cotta units: <b>N/A</b>			
c. Reinforced concrete tie columns: <b>Good</b>			
d. Reinforced concrete tie beams: <b>Good</b>			
e. Lintel: <b>Good</b>			
f. Other type bond beams: <b>N/A</b>			<b>PROVIDE PHOTO 6f</b>
g. Exterior masonry finishes (choose those that apply):			
1. Stucco: <b>Good</b>			
2. Veneer: <b>N/A</b>			
3. Paint only: <b>Good</b>			
4. Other (describe): <b>N/A</b>			
h. Interior masonry finishes (choose those that apply):			<b>PROVIDE PHOTO 6h</b>
1. Vapor barrier: <b>N/A</b>			
2. Furring and plaster: <b>Good</b>			
3. Paneling: <b>N/A</b>			
4. Paint only: <b>Good</b>			
5. Other (describe): <b>N/A</b>			
i. Cracks:			<b>PROVIDE PHOTO 6i</b>
1. Location (note beams, columns, other): <b>None visible</b>			
2. Description:			
<b>N/A</b>			
j. Spalling <b>As Noted Below</b>			<b>PROVIDE PHOTO 6j</b>
1. Location (note beams, columns, other): <b>See addendum for deficiencies</b>			
2. Description:			
<b>See addendum for deficiencies.</b>			

k. Rebar corrosion (indicate worst case by selecting one from lines 1-4):	PROVIDE PHOTO 6k
1. None visible: <input checked="" type="checkbox"/>	
2. Minor (patching will suffice): <input type="checkbox"/> N/A	
3. Significant (but patching will suffice): <input type="checkbox"/> N/A	
4. Significant (structural repairs required) <input type="checkbox"/> N/A	
l. Samples chipped out for examination in spalled areas (Yes/No): No	
1. Yes – describe color, texture, aggregate, general quality:	
N/A	

7. FLOOR AND ROOF SYSTEM	
a. Roof (Must access and provide)	
1. Describe (roof shape, type roof covering, type roof deck, framing system, condition):	PROVIDE PHOTO 7a1
Building No.1&2: Two story CBS. Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter).	
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports:	PROVIDE PHOTO 7a2
N/A.	
3. Describe roof drainage system, main and overflow, and indicate condition:	PROVIDE PHOTO 7a3
Building No.1: Free fall. Building No.2: Scuppers, in fair condition	
4. Describe parapet build and current conditions:	PROVIDE PHOTO 7a4
Building No.2: Concrete masonry walls. In fair condition.	
5. Describe mansard build and current conditions:	PROVIDE PHOTO 7a5
N/A	

6. Describe roofing membrane/covering and current conditions:	PROVIDE PHOTO 7a6
Building No.1: Concrete roof tile. See addendum for deficiencies. Building No.2: Roofing of built-up asphalt bituminous membrane. See addendum for deficiencies.	
7. Describe any roof framing member with obvious overloading, overstress, deterioration or excessive deflection:	PROVIDE PHOTO 7a7
None visible.	
8. Note any expansion joints and condition:	PROVIDE PHOTO 7a8
N/A	
b. Floor system(s):	
1. Describe the floor system at each level, framing, material, typical spans and indicate condition:	PROVIDE PHOTO 7b1
Building No.1&2: Two story CBS. Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter). Building No.2 slab on grade.	
2. Balconies: Indicate location, framing system, material, and condition:	N/A: <input checked="" type="checkbox"/> PROVIDE PHOTO 7b2
N/A	
3. Stairs and escalators: indicate location, framing system, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b3
Interior stair framing of wood elements. In good condition. Exterior stair, The framing has been reinforced and shored, probably for reasons of allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.	
4. Ramps: indicate location, framing type, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b4
N/A	
5. Guardrails and handrails: describe type, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b5
Wood Interior handrail in good condition. Exterior wood railing and guardrail with sign of damage and rotten allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.	
c. Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.	
Roof framing were accessible through a hatch. Second floor framing was covered by hard-ceiling. Ground floor framing was accessible through opening in the walls. Roof, second and ground floors framing were inspected for levelness and serviceability throughout to the best extent possible, paying particular attention to deflections, weaknesses, and warping.	

8. STEEL FRAMING SYSTEM		This Section is Not Applicable: <input checked="" type="checkbox"/>
a. Description of system at each level:	PROVIDE PHOTO 8a	
N/A		
b. Steel members: describe condition of paint and degree of corrosion:	PROVIDE PHOTO 8b	
N/A		
c. Steel connections: describe type and condition:	PROVIDE PHOTO 8c	
N/A		
d. Concrete or other fireproofing: note any cracking or spalling of encased member and note where any covering was removed for inspection:	PROVIDE PHOTO 8d	
N/A		
e. Identify any steel framing member with obvious overloading, overstress, deterioration, or excessive deflection (provide location):	PROVIDE PHOTO 8e	
N/A		
f. Elevator sheave beams and connections, and machine floor beams: note condition:	N/A: <input checked="" type="checkbox"/>	PROVIDE PHOTO 8f
N/A		

9. CONCRETE FRAMING SYSTEM		This Section is Not Applicable: <input type="checkbox"/>
a. Full description of concrete structural framing system:	PROVIDE PHOTO 9a	
Concrete masonry stem walls (at shell perimeter). In fair condition.		
b. Cracking	PROVIDE PHOTO 9b	
1. Significant <input type="checkbox"/> or Not significant <input type="checkbox"/> : None visible		
2. Location and description of members affected and type cracking:		
N/A		

c. General condition		
Fair		
d. Rebar corrosion – check appropriate line		
1. None visible: <input checked="" type="checkbox"/>		
2. Location and description of members affected and type cracking:	N/A <input checked="" type="checkbox"/>	PROVIDE PHOTO 9d2
N/A		
3. Significant but patching will suffice:	N/A <input checked="" type="checkbox"/>	PROVIDE PHOTO 9d3
N/A		
4. Significant: structural repairs required (describe):	N/A <input checked="" type="checkbox"/>	PROVIDE PHOTO 9d4
N/A		
e. Samples chipped out in spall areas:		
1. No: <input checked="" type="checkbox"/>		PROVIDE PHOTO 9e
2. Yes, describe color, texture, aggregate, general quality:		
f. Identify any concrete framing member (e.g. slabs and transfer elements) with obvious overloading, overstress, deterioration (e.g. efflorescence at underside of slab or at base of column or wall), or excessive deflection:		PROVIDE PHOTO 9f
N/A		

<b>10. WINDOWS, STOREFRONTS, CURTAINWALLS AND EXTERIOR DOORS</b>	
a. Windows/Storefronts/Curtainwalls/Skylights	PROVIDE PHOTO 10
1. Type (Wood, steel, aluminum, vinyl, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other):	
Awning. In fair condition. Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted	
2. Anchorage: type and condition of fasteners and latches:	
Self-driving concrete screws. In fair condition.	

3. Sealant: type and condition of perimeter sealant and at mullions:	
Caulk in fair condition	
4. Interiors seals: type and condition at operable vents:	
Caulk in fair condition	
5. General condition:	
In fair condition	
6. Describe any repairs needed:	
None required.	
b. Structural Glazing on the exterior envelope of Threshold Buildings (Yes/No): No	
1. Previous Inspection Date: N/A	
2. Description of Curtain Wall Structural Glazing and adhesive sealant:	
N/A	
3. Describe Condition of System:	
N/A	
c. Exterior Swing and Overhead Doors	PROVIDE PHOTO 10c
1. Type (Wood, Steel, Aluminum, Sliding Glass Door, other):	
Wood Entry doors. In fair condition. Wood Garage Door. In fair condition.	
2. Anchorage: type and condition of fasteners and latches:	
Self-driving concrete screws. In fair condition.	
3. Sealant: type and condition of sealant: Needs Repair	
Caulk with sign of damage. See addendum for deficiencies and repairs	



4. General condition: <b>Good</b>
In fair condition.
5. Describe any repairs needed: <b>Repairs Required</b>
See addendum for deficiencies and repairs

<b>11. WOOD FRAMING</b>	This Section is Not Applicable: <input type="checkbox"/>
a. Fully describe wood framing system:	<b>PROVIDE PHOTO 11a</b>
Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter). Both structures has wood stair on the outside.	
b. Indicate the condition of the following:	<b>PROVIDE PHOTO 11b</b>
1. Walls:	
N/A	
2. Floors:	
Second floor framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter).In fair condition.	
3. Roof member, roof trusses:	
Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. In fair condition.	
c. Note metal connectors (i.e., angles, plates, bolts, split pintles, other, and note condition):	<b>PROVIDE PHOTO 11c</b>
Not visible	
d. Joints: note if well fitted and still closed:	<b>PROVIDE PHOTO 11d</b>
N/A	

e. Drainage: note accumulations of moisture	PROVIDE PHOTO 11e
Building No.1: There are no signs of water penetration through roof or floors. Building No.2: Signs of water infiltration through the roof. Roofing shall be repaired. We recommend hiring a contractor specialized in this type of work.	
f. Ventilation: note any concealed spaces not ventilated:	PROVIDE PHOTO 11f
N/A.	
g. Note any concealed spaces opened for inspection:	PROVIDE PHOTO 11g
N/A.	
h. Identify any wood framing member with obvious overloading, overstress, deterioration, or excessing deflection):	PROVIDE PHOTO 11h
Stair framing of wood elements. the framing has been reinforced and shored, probably for reasons of allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.	

<b>12. BUILDING FAÇADE INSPECTION (Threshold Buildings)</b>		This Section is N/A:	<input checked="checked" type="checkbox"/>	PROVIDE PHOTO 12
a. Identify and describe the exterior walls and appurtenances on all sides of the building. (Cladding type, corbels, precast appliques, etc.)				
N/A				
b. Identify the attachment type of each appurtenance type (mechanically attached or adhered):				
N/A				
c. Indicate the condition of each appurtenance (distress, settlement, splitting, bulging, cracking, loosening of metal anchors and supports, water entry, movement of lintel or shelf angles, or other defects):				
N/A				

<b>13. SPECIAL OR UNUSUAL FEATURES IN THE BUILDING</b>	This Section is N/A <input type="checkbox"/>	<b>PROVIDE PHOTO 13</b>
a. Identify and describe any special or unusual feature (i.e. cable suspended structures, tensile fabric roof, large sculptures, chimneys, porte-cochere, retaining walls, seawalls, signs, etc.)		
Stairs framing of wood elements. the framing has been reinforced and shored, probably for reasons of allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.		
b. Indicate condition of the special feature, its supports, connections, and if repairs are required:		
In poor condition. See addendum for deficiencies.		

<b>14. UNDERGROUND OR LOWER-LEVEL PARKING GARAGES</b>	This Section is N/A: <input checked="" type="checkbox"/>	<b>PROVIDE PHOTO 14</b>
<b>CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:</b>		
14A. CURRENT BFE: _____ ft. (Select Datum)		
<b>Note: All elevation datums provided must be in the same datum as the Flood Insurance Rate Map (FIRM).</b>		
1. What is the wet season <sup>2</sup> ground water elevation (water table): _____ ft. (Select Datum)		
2. What is the elevation of lowest parking garage finished floor: _____ ft. (Select Datum)		
3. What is the elevation of the parking garage entrance: _____ ft. (Select Datum)		
4. Is the wet season ground water elevation (water table) higher than the lowest floor elevation? Select (Yes or No)		
Explanation:		
5. Is the garage entrance elevation lower than the base flood elevation? <span style="float: right;">Select: (Yes or No)</span>		
Explanation:		
6. List use of structure above the underground portion of the parking garage. (e.g. parking, terrace, occupiable space):		
Describe:		
7. Does underground parking structure show any evidence of bulging, settlement, cracking or deflection? Describe:		
Describe:		

8. Describe general surface conditions (cracking, spalling, peeling, or staining)
Explanation:
<b>14B.</b>
1. Do the parking garage slabs (overhead and floor slabs) and/or walls show evidence of leakage (efflorescence at the underside of slab or at base of column)? (Yes or No):
Explanation:
2. Is there any evidence of previous patching or repairs? (Yes or No):
Explanation:

<sup>1</sup> **THRESHOLD BUILDING:** In accordance with *Florida Statute*, any building which is greater than 3 stories or 50 feet in height, or which has an assembly occupancy classification that exceeds 5,000 square feet in area and an occupant content of greater than 500 persons.

<sup>2</sup> **WET SEASON:** Compare the current Base Flood Elevation (BFE) on the latest FEMA Flood Insurance Rate Map (FIRM) with the October water table elevation shown in the Miami-Dade County Average Ground Water October maps available with the Miami-Dade Department of Environmental Resource Management (DERM)



## MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION

### ADDENDUM

Legal Description: CORAL GABLES DOUGLAS SEC  
PB 25-69 LOT 12 & E15FT LOT 13 BLK 32 LOT SIZE 65.000 X 110 OR 19672-1755 05/2001 1

#### Repairs Required:

Item 1-Picture No. 1A&1B: Building No.1 Stair framing of wood elements with sign of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.

Item 2-Picture No. 2A&2B: Building No.1 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted.

Item 3-Picture No. 3A: Building No.1 Caulk with sign of damage. Sealant shall be replaced.

Item 4-Picture No. 4A: Building No.1 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

Item 5-Picture No. 5A: Building No.1 Roof Soffit rotted with wood damage. Wood soffit shall be replaced.

Item 6-Picture No. 6A&6b: Building No.2 Stair framing of wood elements with sign of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.

Item 7-Picture No. 7A: Building No.2 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted.

Item 8-Picture No. 8A: Building No.2 Caulk with sign of damage. Sealant shall be replaced.

Item 9-Picture No. 9A&9B: Building No.2 Signs of water infiltration through the roof. Roofing shall be repaired. We recommend hiring a contractor specialized in this type of work.

Item 10-Picture No. 10A: Building No.2 Steel windows Shutter shall be repaired and brought back to its original condition.

Item 11-Picture No. 11A: Building No.2 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

AERIAL



Building Being Certified  
Building No.1

Building Being Certified  
Building No.2



Pictures



Picture No. 1: Building No.1 front-side elevation



Picture No. 2: Building No.1 front-side elevation

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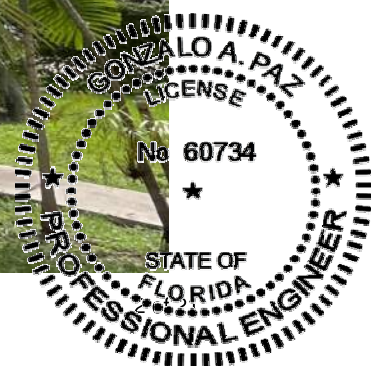
Picture No. 3: Building No.1 Rear-side elevation



Picture No. 4: Building No.1 Rear-side elevation

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Picture No. 5: Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter). In fair condition.



Picture No. 6: Building No.1 Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. In fair condition.

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Picture No. 7: Building No.1 Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. In fair condition.



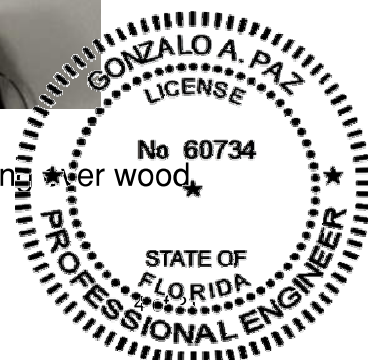
Picture No. 8: Building No.1 Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. In fair condition.

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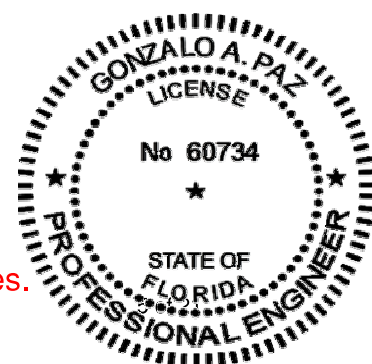
Picture No. 9: Building No.1 Interior stair framing of wood elements. In good condition.



Picture No. 10: Building No.1 Exterior stair, See addendum for deficiencies.

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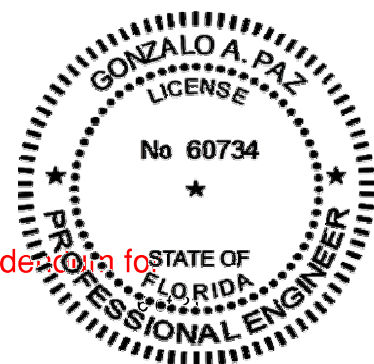
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Picture No. 11: Building No.1 Rear stair wood framing of wood members supported on steel and wood columns. See addendum for deficiencies and repairs.



Picture No. 12: Building No.1 Steel and Aluminum glass windows. See addendum for deficiencies and repairs.



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Picture No. 13: Building No.1 Entry Wood doors. See addendum for deficiencies & repairs



Picture No. 14: Building No.1 Concrete roof tile. See addendum for deficiencies.

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Picture No. 15: Building No.2 front-side elevation



Picture No. 16: Building No.2 front-side elevation

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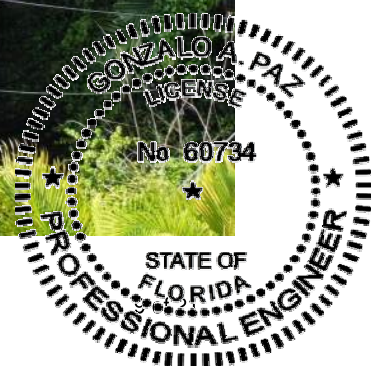
Picture No. 17: Building No.2 Rear-side elevation



Picture No. 18: Building No.2 Rear-side elevation

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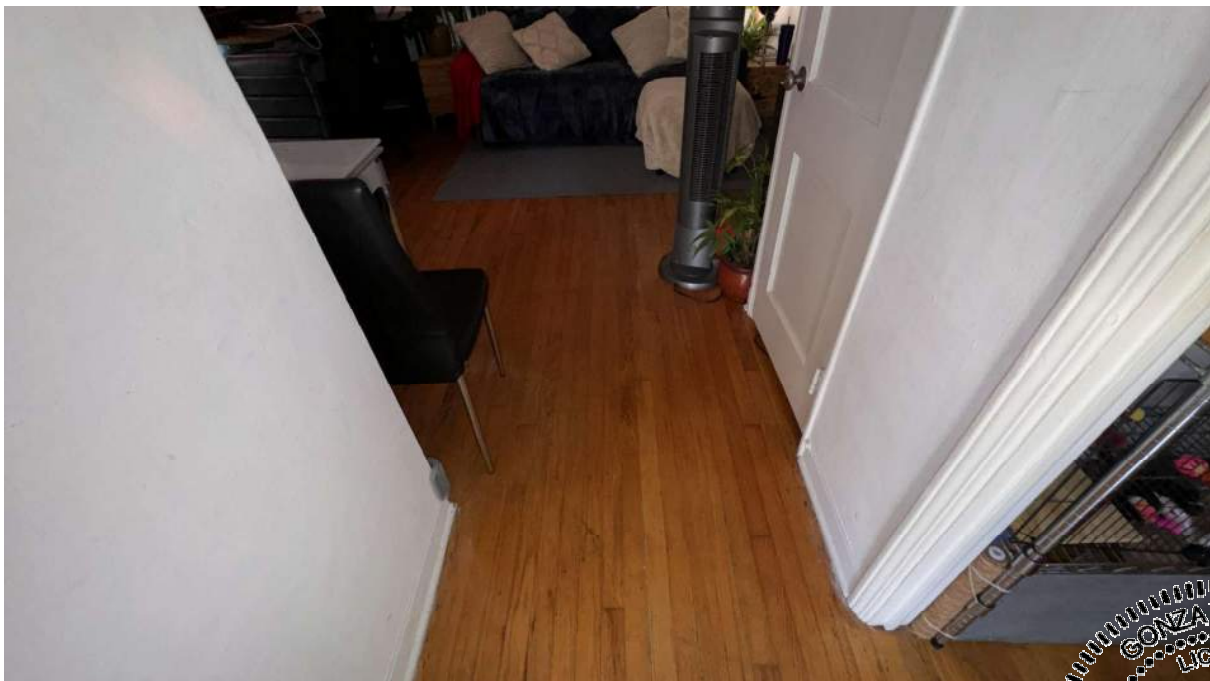
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Picture No. 19: Building No.2 Ground floor Slab on grade. In fair condition.



Picture No. 20: Building No.2 Second floor framing of wood planks sheathing over wood joists bearing on concrete masonry perimeter walls. In fair condition.

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Picture No. 21: Building No.2 Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. **See addendum for deficiencies.**



Picture No. 22: Building No.2 Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. **In fair condition.**

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Picture No. 23: Building No.2 Exterior stair, See addendum for deficiencies.

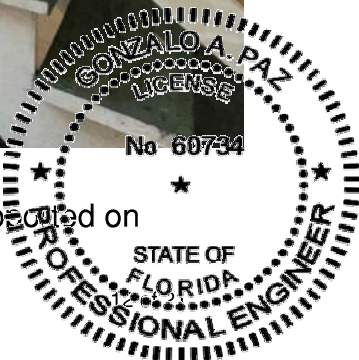


Picture No. 24: Building No.2 Rear stair wood framing of wood members supported on wood columns. See addendum for deficiencies and repairs.

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Picture No. 25: Building No.2 Steel and Aluminum glass windows. See addendum for deficiencies and repairs.



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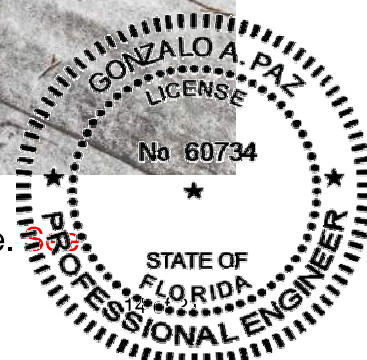
Picture No. 26: Building No.2 Entry Wood doors. See addendum for deficiencies & repairs.

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Picture No. 27: Building No.2 Wood Garage doors. In good condition.



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Picture No. 28: Building No.2 Roofing of built-up asphalt bituminous membrane. **addendum for deficiencies.**

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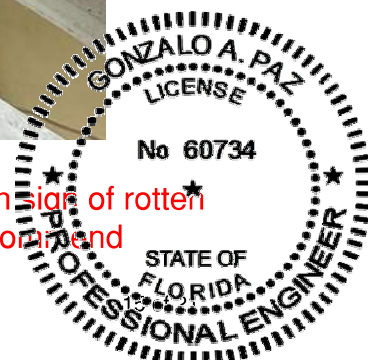
## Appendix "A" Deficiencies



Item 1-Picture No. 1A&1B: Building No.1 Stair framing of wood elements with signs of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.

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## Appendix "A" Deficiencies



Item 2-Picture No. 2A&2B: Building No.1 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted



Item 3-Picture No. 3A: Building No.1 Caulk with sign of damage. Sealant shall be replaced.

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## Appendix "A" Deficiencies



Item 4-Picture No. 4A: Building No.1 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

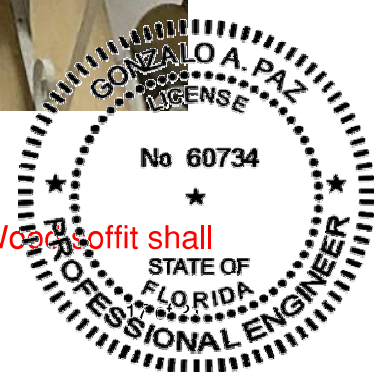


Item 5-Picture No. 5A: Building No.1 Roof Soffit rotted with wood damage. Wood soffit shall be replaced.

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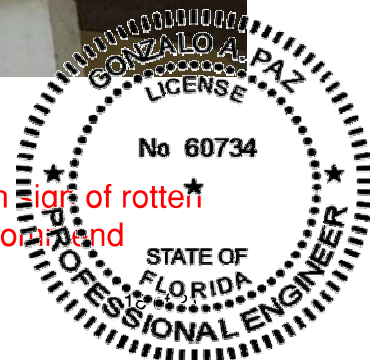
## Appendix "A" Deficiencies



Item 6-Picture No. 6A&6b: Building No.2 Stair framing of wood elements with sign of rotten and missing anchor allowing excessive movements and deflections. We recommend replacing with a new one with the current minimum FBC requirements.

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## Appendix "A" Deficiencies



Item 7-Picture No. 7A: Building No.2 Steel casement windows with sign of corrosion. Corrosion shall be removed, and steel painted.



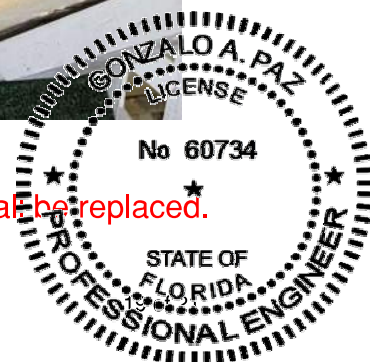
Item 8-Picture No. 8A: Building No.2 Caulk with sign of damage. Sealant shall be replaced.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GONZALO A. PAZ, PE ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

08-4-108-409-3310

1414 Galiano Street, Coral Gables, Florida 33134



## Appendix "A" Deficiencies



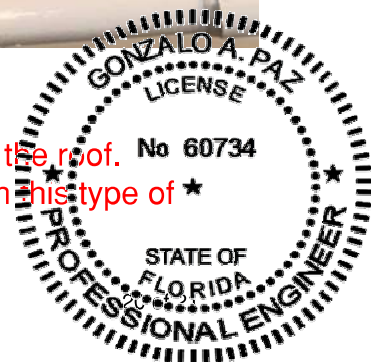
Item 9-Picture No. 9A&9B: Building No.2 Signs of water infiltration through the roof. Roofing shall be repaired. We recommend hiring a contractor specialized in this type of work

THIS ITEM HAS BEEN INSPECTED, SIGNED AND SEALED BY GONZALO A. PAZ, PE ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

08-4108-909-3310

1414 Galiano Street, Coral Gables, Florida 33134





## Appendix "A" Deficiencies



Item 10-Picture No. 10A: Building No.2 Steel windows Shutter shall be repaired and brought back to its original condition.



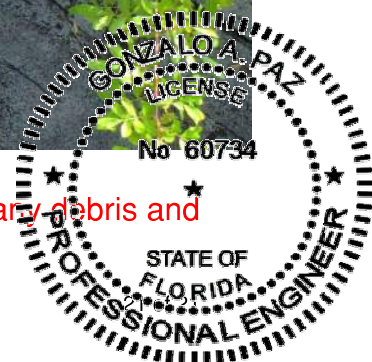
Item 11-Picture No. 11A: Building No.2 Roof and roofing shall be cleaned of any debris and loose roofing granule particles, etc.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GONZALO A. PAZ, P.E. ON 08/08/2023 ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

08-4108-909-3310

1414 Galiano Street, Coral Gables, Florida 33134





## MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

CASE REFERENCE NUMBER:

LICENSEE NAME: Carlos M. Rodriguez

TITLE: Professional Engineer, #55488

JURISDICTION NAME:

ADDRESS: 12735 SW 42nd Terrace

Miami, FL 33175

Coral Gables

SIGNATURE:

\*Use separate sheets for additional responses by referencing the report section number.

### 1. DESCRIPTION OF BUILDING

a. Name on Title: 1414 Galiano St

b. Building Street Address: 1414 Galiano St, Coral Gables, FL 33134

Bldg. #: 1

c. Legal Description: See addendum.

Attached: ☒

d. Owner's Name: CREH GALIANO LLC

e. Owner's Mailing Address: 6400 GRANADA BLVD, CORAL GABLES, FL 33146

f. Folio Number of Property on which Building is Located: 03-4108-009-3310

g. Building Code Occupancy Classification: Multi Family Apartment Building

h. Present Use: Apartment Building

i. General Description of building (overall description, structural systems, special features):

Built in 1934. Adjusted Area 2,272 Sq.Ft.

j. Number of Stories: 2

k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No): No

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:

## 2. INSPECTIONS

a. Date of Notice of Required Inspection:

b. Date(s) of actual inspection: July 15th, 2024

c. Name and qualifications of licensee submitting report:

Carlos M. Rodriguez, P.E. #55488

d. Are Any Electrical Repairs Required? (YES/NO): Yes

1. If required, describe, and indicate acceptance:

1- Apartment Unit in ground floor missing main circuit breaker.  
2- Remove illegal double tapping in circuit breakers 1 & 7 of the Electrical Panel of the ground floor Apartment Unit .

e. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO): Yes

1. Explanation/Conditions:

## 3. ELECTRICAL SERVICE

PROVIDE PHOTO 3

a. Size: Voltage ( 240/1 ) Amperage ( 150 ) Type: Fuses ( ) Breakers ( X )

b. Phase: Three-Phase ( ) Single Phase ( ● )

c. Condition: Good ( ) Fair ( ) Needs Repair ( ● )

Comments:

Apartment Unit in ground floor missing main circuit breaker.

## 4. METERING EQUIPMENT

PROVIDE PHOTO 4

1. Clearances: Good ( ● ) Fair ( ) Needs Correction ( )

Comments:

Meters located outside.

<b>5. ELECTRIC ROOMS</b>				Not Applicable: <input checked="" type="checkbox"/>	PROVIDE PHOTO 5
1. Clearances:	Good ( <input type="radio"/> )	Fair ( <input type="radio"/> )	Needs Correction ( <input type="radio"/> )		
Comments:					

<b>6. GUTTERS</b>				Not Applicable: <input checked="" type="checkbox"/>	PROVIDE PHOTO 6
1. Location:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )			
2. Taps and Fill:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )			
Comments:					

<b>7. ELECTRICAL PANELS</b>				PROVIDE PHOTO 7
1. Panel # ( 1 )	Location: Apartment Unit ground floor.	Good ( <input type="radio"/> )	Needs Repair ( <input checked="" type="radio"/> )	
2. Panel # ( 2 )	Location: Apartment Unit second floor.	Good ( <input checked="" type="radio"/> )	Needs Repair ( <input type="radio"/> )	
3. Panel # (     )	Location:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	
4. Panel # (     )	Location:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	
5. Panel # (     )	Location:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	
Use separate sheets for additional panels.				

Comments:
Remove illegal double tapping in circuit breakers 1 & 7 of the Electrical Panel of the ground floor Apartment Unit .

8. BRANCH CIRCUITS (Exiting panel enclosure)				PROVIDE PHOTO 8
1. Identified:	Yes	( <input checked="" type="radio"/> )	Must be Identified	( <input type="radio"/> )
2. Conductors:	Good	( <input checked="" type="radio"/> )	Deteriorated	( <input type="radio"/> )
			Must be Replaced	( <input type="radio"/> )
Comments:				

9. GROUNDING OF SERVICE		PROVIDE PHOTO 9
	Good	( <input checked="" type="radio"/> )
	Needs Repair	( <input type="radio"/> )
Comments:		
Grounding point of connection not visible.		

10. BRANCH CIRCUIT EQUIPMENT GROUNDING SYSTEM		PROVIDE PHOTO 10
	Good	( <input checked="" type="radio"/> )
	Needs Repair	( <input type="radio"/> )
Comments:		

**11. SERVICE CONDUIT/RACEWAYS****PROVIDE PHOTO 11**Good ( ☒ )Needs Repair ( ☐ )

Comments:

Overhead Electrical Service.

**12. GENERAL CONDUIT/RACEWAYS****PROVIDE PHOTO 12**Good ( ☒ )Needs Repair ( ☐ )

Comments:

**13. WIRE AND CABLES****PROVIDE PHOTO 13**Good ( ☒ )Needs Repair ( ☐ )

Comments:

**14. BUSWAYS**Not Applicable: ☒**PROVIDE PHOTO 14**Good ( ☐ )Needs Repair ( ☐ )

Comments:



**15.THERMOGRAPHY INSPECTION RESULTS**Not Applicable: ☒**PROVIDE PHOTO 15**

Design Professional to summarize results below. Attach thermography report by certified thermographer.

Are there any anomalies reported in the thermography report? (Yes/No):

Comments: N/A. Building under 400 Amps.

**16.OTHER CONDUCTORS****PROVIDE PHOTO 16**Good ( ☒ ) Needs Repair ( ☐ )

Comments:

**17.TYPES OF WIRING METHODS****PROVIDE PHOTO 17**

- |                               |   |  |  |
|-------------------------------|---|--|--|
| 1. Conduit Raceways Metallic: | Good ( <input checked="" type="radio"/> ) | Needs Repair ( <input type="radio"/> ) | N/A ( <input type="radio"/> )            |
| 2. Conduit PVC:               | Good ( <input checked="" type="radio"/> ) | Needs Repair ( <input type="radio"/> ) | N/A ( <input type="radio"/> )            |
| 3. NM Cable:                  | Good ( <input type="radio"/> )            | Needs Repair ( <input type="radio"/> ) | N/A ( <input checked="" type="radio"/> ) |
| 4. Other Conductors/Cables:   | Good ( <input type="radio"/> )            | Needs Repair ( <input type="radio"/> ) | N/A ( <input checked="" type="radio"/> ) |

a. Other Conductors/Cables (Specify):

Comments:

**18.EMERGENCY LIGHTING****PROVIDE PHOTO 18**Good ( ☐ ) Needs Repair ( ☐ ) N/A ( ☒ )

Comments:

**19.BUILDING EGRESS ILLUMINATION****PROVIDE PHOTO 19**Good ( ☒ )Needs Repair ( ☐ )N/A ( ☐ )

Comments:

**20.FIRE ALARM SYSTEM****PROVIDE PHOTO 20**Good ( ☐ )Needs Repair ( ☐ )N/A ( ☒ )

Comments:

**21.SMOKE DETECTORS (Part of a fire alarm system only)**Not Applicable: ☒**PROVIDE PHOTO 21**Good ( ☐ )Needs Repair ( ☐ )N/A ( ☒ )

Comments:

**22.EXIT LIGHTS****PROVIDE PHOTO 22**Good ( ☐ )Needs Repair ( ☐ )N/A ( ☒ )

Comments:

<b>23.EMERGENCY GENERATOR</b>	<b>PROVIDE PHOTO 23</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )
N/A ( <input checked="" type="radio"/> )	
Comments:	

<b>24.WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS</b>	<b>PROVIDE PHOTO 24</b>
Good ( <input checked="" type="radio"/> )	Requires Additional Illumination( <input type="radio"/> )
N/A ( <input type="radio"/> )	
Comments:	

<b>25.OPEN OR UNDER COVER PARKING GARAGE AND EGRESS ILLUMINATION</b>	<b>PROVIDE PHOTO 25</b>
Good ( <input checked="" type="radio"/> )	Requires Additional Illumination( <input type="radio"/> )
N/A ( <input type="radio"/> )	
Comments:	

<b>26.SWIMMING POOL WIRING</b>	<b>PROVIDE PHOTO 26</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )
N/A ( <input checked="" type="radio"/> )	
Comments:	
Building not provided with swimming pool.	

**27. WIRING TO MECHANICAL EQUIPMENT****PROVIDE PHOTO 27**Good ( ☒ )Needs Repair ( ☐ )N/A ( ☐ )

Comments:

**28. UNDERGROUND OR LOWER-LEVEL PARKING GARAGES**N/A: ☒**PROVIDE PHOTO 28**

CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:

Number of Levels Below Grade Plane:

A. Are the sump pumps operational? Select: (Yes/Need Repair/N/A)

Explanation:

B. If the elevator(s) travel below grade plane:

1. Are they programmed to return to a level at or above BFE plus freeboard:

Select: (Yes, No, Needs Repair, Will Retrofit):

Explanation:

2. Are they equipped with sensors that prevent the cab from descending into a flooded hoistway?

Select: (Yes, No, Needs Repair, Will Retrofit):

Explanation:

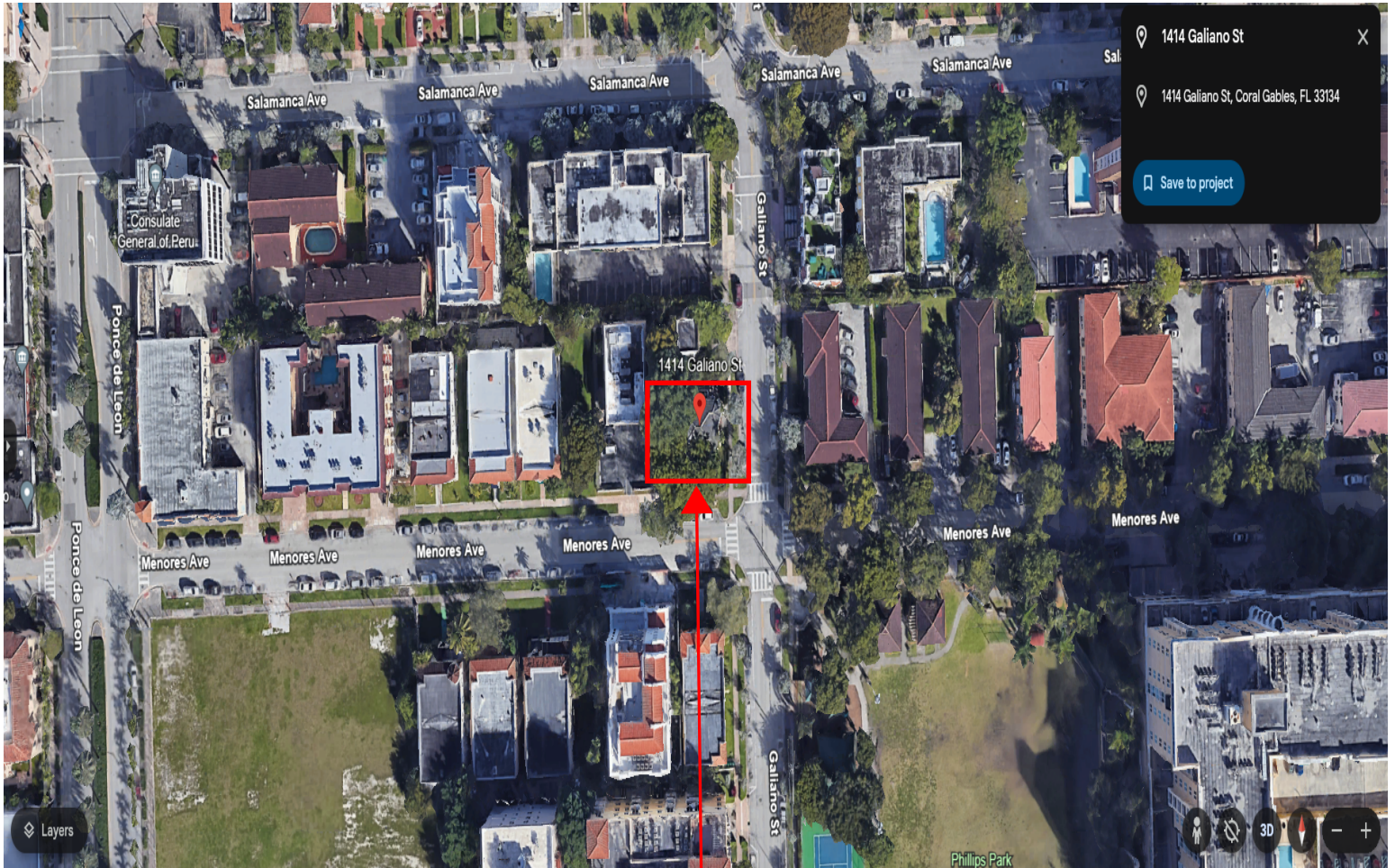
C. Are the branch electrical circuits feeding devices below grade plane protected by a Ground Fault Circuit Interrupter (GFCI) breaker?

Select: (Yes, No, Needs Repair, Will Retrofit):

Explanation:

**29. GENERAL ADDITIONAL COMMENTS****Reset Form**

Aerial View  
1414 Galiano Street Building #1  
Coral Gables, FL 33134  
Folio: 03-4108-009-3310



Building being certified



# OFFICE OF THE PROPERTY APPRAISER

## Summary Report

Generated On: 07/16/2024

PROPERTY INFORMATION	
<b>Folio</b>	03-4108-009-3310
<b>Property Address</b>	1414 GALIANO ST CORAL GABLES, FL 33134-4110
<b>Owner</b>	CREH GALIANO LLC
<b>Mailing Address</b>	6400 GRANADA BLVD CORAL GABLES, FL 33146
<b>Primary Zone</b>	3801 MULTI-FAMILY MED DENSITY
<b>Primary Land Use</b>	0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS
<b>Beds / Baths /Half</b>	5 / 3 / 0
<b>Floors</b>	2
<b>Living Units</b>	3
<b>Actual Area</b>	2,824 Sq.Ft
<b>Living Area</b>	2,824 Sq.Ft
<b>Adjusted Area</b>	2,272 Sq.Ft
<b>Lot Size</b>	7,150 Sq.Ft
<b>Year Built</b>	1934

ASSESSMENT INFORMATION			
Year	2024	2023	2022
<b>Land Value</b>	\$1,072,500	\$933,075	\$858,000
<b>Building Value</b>	\$163,947	\$1,000	\$153,701
<b>Extra Feature Value</b>	\$0	\$0	\$0
<b>Market Value</b>	\$1,236,447	\$934,075	\$1,011,701
<b>Assessed Value</b>	\$1,236,447	\$934,075	\$855,518

BENEFITS INFORMATION			
Benefit	Type	2024	2023
<b>Non-Homestead Cap</b>	Assessment Reduction		\$156,183
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).			

SHORT LEGAL DESCRIPTION	
CORAL GABLES DOUGLAS SEC	
PB 25-69	
LOT 12 & E15FT LOT 13 BLK 32	
LOT SIZE 65.000 X 110	
OR 19672-1755 05/2001 1	



TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
<b>COUNTY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$1,011,701
<b>CITY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
02/03/2023	\$1,100,000	33572-0933	Qual by exam of deed
04/01/2001	\$300,000	19672-1755	Sales which are qualified
10/01/1979	\$85,000	10533-0846	Sales which are qualified

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>





**MINIMUM INSPECTION PROCEDURAL GUIDELINES  
FOR BUILDING ELECTRICAL RECERTIFICATION**

**CASE REFERENCE NUMBER:**

**LICENSEE NAME:** Carlos M. Rodriguez

**TITLE:** Professional Engineer, #55488

**JURISDICTION NAME:**

**ADDRESS:** 12735 SW 42nd Terrace

Miami, FL 33175

Coral Gables

**SIGNATURE:**

**\*Use separate sheets for additional responses by referencing the report section number.**

**1. DESCRIPTION OF BUILDING**

a. Name on Title: 1414 Galiano St

b. Building Street Address: 1414 Galiano St, Coral Gables, FL 33134

Bldg. #: 2

c. Legal Description: See addendum.

Attached: ☒

d. Owner's Name: CREH GALIANO LLC

e. Owner's Mailing Address: 6400 GRANADA BLVD, CORAL GABLES, FL 33146

f. Folio Number of Property on which Building is Located: 03-4108-009-3310

g. Building Code Occupancy Classification: Multi Family Apartment Building

h. Present Use: Apartment Building

i. General Description of building (overall description, structural systems, special features):

Built in 1934. Adjusted Area 2,272 Sq.Ft. Apartment Unit above parking garage.

j. Number of Stories: 2

k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No): No

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:



## 2. INSPECTIONS

a. Date of Notice of Required Inspection:

b. Date(s) of actual inspection: July 15th, 2024

c. Name and qualifications of licensee submitting report:

Carlos M. Rodriguez, P.E. #55488

d. Are Any Electrical Repairs Required? (YES/NO): No

1. If required, describe, and indicate acceptance:

e. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO): Yes

1. Explanation/Conditions:

## 3. ELECTRICAL SERVICE

PROVIDE PHOTO 3

a. Size: Voltage ( 240/1 ) Amperage ( 60 ) Type: Fuses ( ) Breakers ( X )

b. Phase: Three-Phase ( ) Single Phase ( ● )

c. Condition: Good ( ● ) Fair ( ) Needs Repair ( )

Comments:

Main located at Electrical Panel.

## 4. METERING EQUIPMENT

PROVIDE PHOTO 4

1. Clearances: Good ( ● ) Fair ( ) Needs Correction ( )

Comments:

Meter located outside

<b>5. ELECTRIC ROOMS</b>				Not Applicable: <input checked="" type="checkbox"/>	<b>PROVIDE PHOTO 5</b>
1. Clearances:	Good ( <input type="radio"/> )	Fair ( <input type="radio"/> )	Needs Correction ( <input type="radio"/> )		
Comments:					

<b>6. GUTTERS</b>				Not Applicable: <input checked="" type="checkbox"/>	<b>PROVIDE PHOTO 6</b>
1. Location:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )			
2. Taps and Fill:	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )			
Comments:					

<b>7. ELECTRICAL PANELS</b>				<b>PROVIDE PHOTO 7</b>
1. Panel # ( A )	Location: Garage			
	Good ( <input checked="" type="radio"/> )	Needs Repair ( <input type="radio"/> )		
2. Panel # ( B )	Location: Garage			
	Good ( <input checked="" type="radio"/> )	Needs Repair ( <input type="radio"/> )		
3. Panel # ( )	Location:			
	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )		
4. Panel # ( )	Location:			
	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )		
5. Panel # ( )	Location:			
	Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )		
Use separate sheets for additional panels.				

Comments:

8. BRANCH CIRCUITS (Exiting panel enclosure)				PROVIDE PHOTO 8
1. Identified:	Yes	( <input checked="" type="radio"/> )	Must be Identified	( <input type="radio"/> )
2. Conductors:	Good	( <input checked="" type="radio"/> )	Deteriorated	( <input type="radio"/> )
			Must be Replaced	( <input type="radio"/> )
Comments:				

9. GROUNDING OF SERVICE		PROVIDE PHOTO 9
	Good	( <input checked="" type="radio"/> )
	Needs Repair	( <input type="radio"/> )
Comments:		
Grounding point of connection not visible.		

10. BRANCH CIRCUIT EQUIPMENT GROUNDING SYSTEM		PROVIDE PHOTO 10
	Good	( <input checked="" type="radio"/> )
	Needs Repair	( <input type="radio"/> )
Comments:		

**11. SERVICE CONDUIT/RACEWAYS****PROVIDE PHOTO 11**Good ( ☒ )Needs Repair ( ☐ )

Comments:

**12. GENERAL CONDUIT/RACEWAYS****PROVIDE PHOTO 12**Good ( ☒ )Needs Repair ( ☐ )

Comments:

**13. WIRE AND CABLES****PROVIDE PHOTO 13**Good ( ☒ )Needs Repair ( ☐ )

Comments:

**14. BUSWAYS**Not Applicable: ☒**PROVIDE PHOTO 14**Good ( ☐ )Needs Repair ( ☐ )

Comments:

**15.THERMOGRAPHY INSPECTION RESULTS**Not Applicable: ☒**PROVIDE PHOTO 15**

Design Professional to summarize results below. Attach thermography report by certified thermographer.

Are there any anomalies reported in the thermography report? (Yes/No):

Comments: N/A. Building under 400 Amps.

**16.OTHER CONDUCTORS****PROVIDE PHOTO 16**Good ( ☒ ) Needs Repair ( ☐ )

Comments:

**17.TYPES OF WIRING METHODS****PROVIDE PHOTO 17**

- |                               |   |  |  |
|-------------------------------|---|--|--|
| 1. Conduit Raceways Metallic: | Good ( <input checked="" type="radio"/> ) | Needs Repair ( <input type="radio"/> ) | N/A ( <input type="radio"/> )            |
| 2. Conduit PVC:               | Good ( <input checked="" type="radio"/> ) | Needs Repair ( <input type="radio"/> ) | N/A ( <input type="radio"/> )            |
| 3. NM Cable:                  | Good ( <input type="radio"/> )            | Needs Repair ( <input type="radio"/> ) | N/A ( <input checked="" type="radio"/> ) |
| 4. Other Conductors/Cables:   | Good ( <input type="radio"/> )            | Needs Repair ( <input type="radio"/> ) | N/A ( <input checked="" type="radio"/> ) |

a. Other Conductors/Cables (Specify):

Comments:

**18.EMERGENCY LIGHTING****PROVIDE PHOTO 18**Good ( ☐ ) Needs Repair ( ☐ ) N/A ( ☒ )

Comments:

<b>19.BUILDING EGRESS ILLUMINATION</b>			<b>PROVIDE PHOTO 19</b>
Good ( <input checked="" type="radio"/> )	Needs Repair ( <input type="radio"/> )	N/A ( <input type="radio"/> )	
Comments:			

<b>20.FIRE ALARM SYSTEM</b>			<b>PROVIDE PHOTO 20</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	N/A ( <input checked="" type="radio"/> )	
Comments:			

<b>21.SMOKE DETECTORS (Part of a fire alarm system only)</b>		Not Applicable: <input checked="" type="checkbox"/>	<b>PROVIDE PHOTO 21</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	N/A ( <input checked="" type="radio"/> )	
Comments:			

<b>22.EXIT LIGHTS</b>			<b>PROVIDE PHOTO 22</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )	N/A ( <input checked="" type="radio"/> )	
Comments:			



<b>23.EMERGENCY GENERATOR</b>	<b>PROVIDE PHOTO 23</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )
N/A ( <input checked="" type="radio"/> )	
Comments:	

<b>24.WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS</b>	<b>PROVIDE PHOTO 24</b>
Good ( <input checked="" type="radio"/> )	Requires Additional Illumination( <input type="radio"/> )
N/A ( <input type="radio"/> )	
Comments:	

<b>25.OPEN OR UNDER COVER PARKING GARAGE AND EGRESS ILLUMINATION</b>	<b>PROVIDE PHOTO 25</b>
Good ( <input checked="" type="radio"/> )	Requires Additional Illumination( <input type="radio"/> )
N/A ( <input type="radio"/> )	
Comments:	

<b>26.SWIMMING POOL WIRING</b>	<b>PROVIDE PHOTO 26</b>
Good ( <input type="radio"/> )	Needs Repair ( <input type="radio"/> )
N/A ( <input checked="" type="radio"/> )	
Comments:	
Building not provided with swimming pool.	

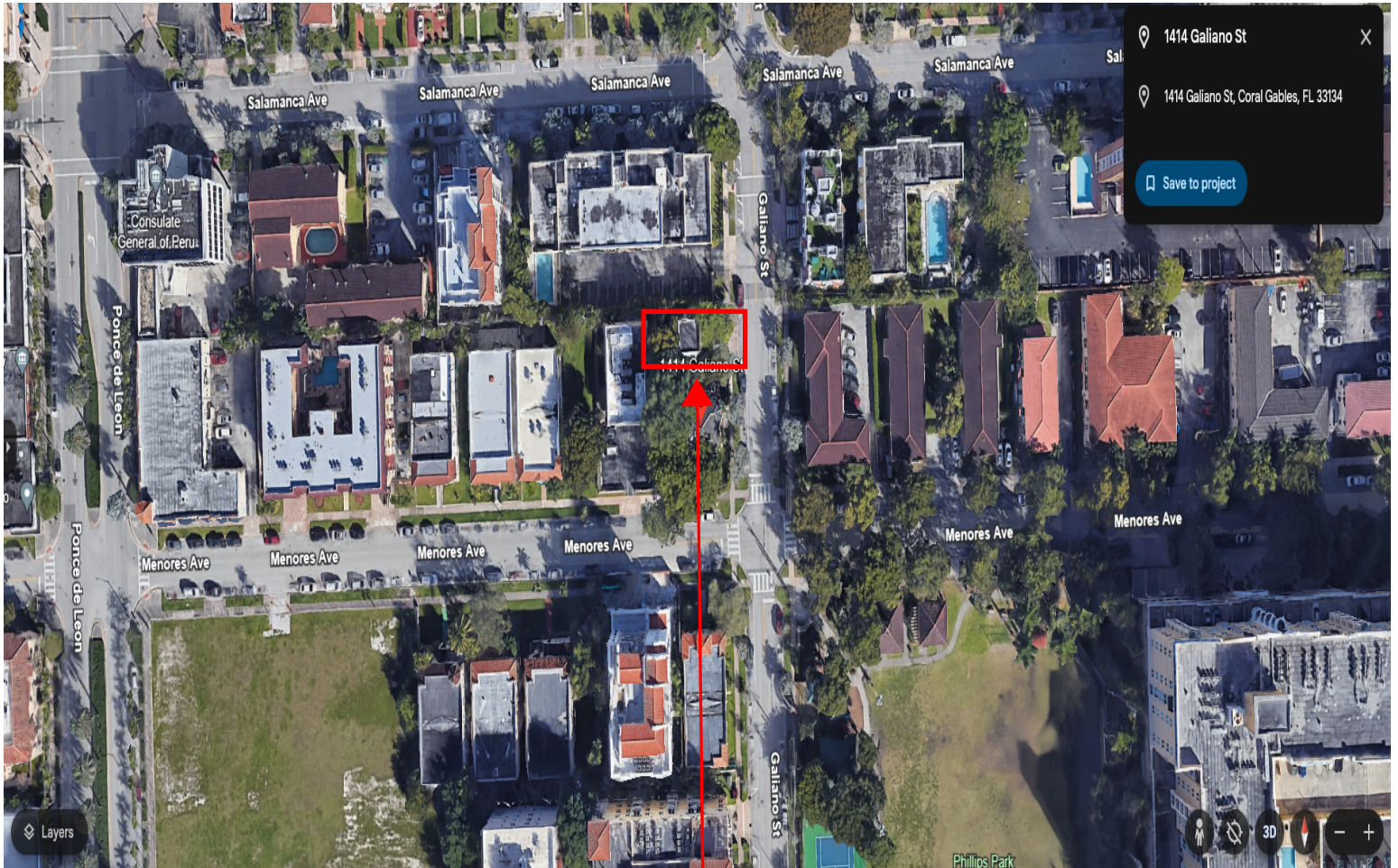
<b>27. WIRING TO MECHANICAL EQUIPMENT</b>	<b>PROVIDE PHOTO 27</b>
Good ( <input checked="" type="radio"/> )         Needs Repair ( <input type="radio"/> )         N/A ( <input type="radio"/> )	
Comments:	

<b>28. UNDERGROUND OR LOWER-LEVEL PARKING GARAGES</b>	N/A: <input checked="" type="checkbox"/>	<b>PROVIDE PHOTO 28</b>
CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:		
Number of Levels Below Grade Plane:		
A. Are the sump pumps operational? Select: (Yes/Need Repair/N/A)		
Explanation:		
B. If the elevator(s) travel below grade plane:		
1. Are they programmed to return to a level at or above BFE plus freeboard:		
Select: (Yes, No, Needs Repair, Will Retrofit):		
Explanation:		
2. Are they equipped with sensors that prevent the cab from descending into a flooded hoistway?		
Select: (Yes, No, Needs Repair, Will Retrofit):		
Explanation:		
C. Are the branch electrical circuits feeding devices below grade plane protected by a Ground Fault Circuit Interrupter (GFCI) breaker?		
Select: (Yes, No, Needs Repair, Will Retrofit):		
Explanation:		

<b>29. GENERAL ADDITIONAL COMMENTS</b>

**Reset Form**

Aerial View  
1414 Galiano Street Building #2  
Coral Gables, FL 33134  
Folio: 03-4108-009-3310



Building being certified



# OFFICE OF THE PROPERTY APPRAISER

## Summary Report

Generated On: 07/16/2024

PROPERTY INFORMATION	
<b>Folio</b>	03-4108-009-3310
<b>Property Address</b>	1414 GALIANO ST CORAL GABLES, FL 33134-4110
<b>Owner</b>	CREH GALIANO LLC
<b>Mailing Address</b>	6400 GRANADA BLVD CORAL GABLES, FL 33146
<b>Primary Zone</b>	3801 MULTI-FAMILY MED DENSITY
<b>Primary Land Use</b>	0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS
<b>Beds / Baths /Half</b>	5 / 3 / 0
<b>Floors</b>	2
<b>Living Units</b>	3
<b>Actual Area</b>	2,824 Sq.Ft
<b>Living Area</b>	2,824 Sq.Ft
<b>Adjusted Area</b>	2,272 Sq.Ft
<b>Lot Size</b>	7,150 Sq.Ft
<b>Year Built</b>	1934

ASSESSMENT INFORMATION			
Year	2024	2023	2022
<b>Land Value</b>	\$1,072,500	\$933,075	\$858,000
<b>Building Value</b>	\$163,947	\$1,000	\$153,701
<b>Extra Feature Value</b>	\$0	\$0	\$0
<b>Market Value</b>	\$1,236,447	\$934,075	\$1,011,701
<b>Assessed Value</b>	\$1,236,447	\$934,075	\$855,518

BENEFITS INFORMATION			
Benefit	Type	2024	2023
<b>Non-Homestead Cap</b>	Assessment Reduction		\$156,183
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).			

SHORT LEGAL DESCRIPTION	
CORAL GABLES DOUGLAS SEC	
PB 25-69	
LOT 12 & E15FT LOT 13 BLK 32	
LOT SIZE 65.000 X 110	
OR 19672-1755 05/2001 1	



TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
<b>COUNTY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$1,011,701
<b>CITY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$1,236,447	\$934,075	\$855,518

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
02/03/2023	\$1,100,000	33572-0933	Qual by exam of deed
04/01/2001	\$300,000	19672-1755	Sales which are qualified
10/01/1979	\$85,000	10533-0846	Sales which are qualified

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



**Electrical Photos  
1414 Galiano Street  
Coral Gables, FL 33134  
Folio: 03-4108-009-3310**



**Front of building (p-1)**



**Electrical Meters (p-2)**

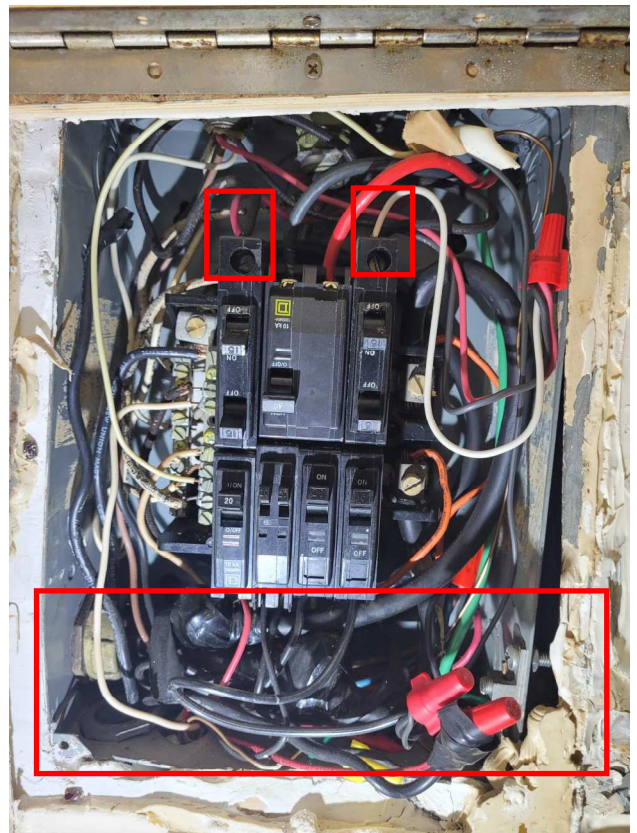


**Electrical Service Drop (p-3)**





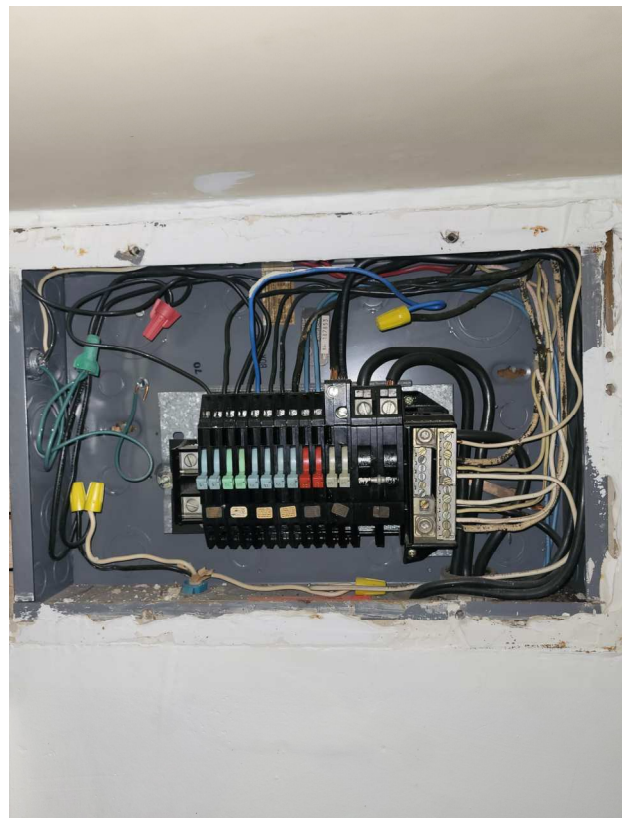
Panel Apt. Unit Ground Floor  
(p-4)



Panel Apt. Unit Ground Floor Open  
Missing main circuit breaker  
Double tapping in breakers 1 & 7  
(p-5)



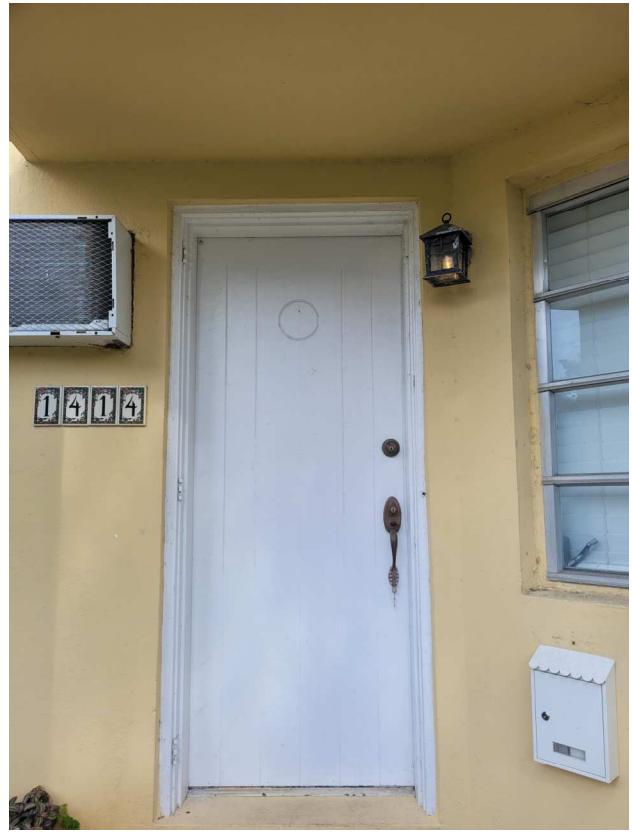
Panel Apt. Unit Second Floor  
(p-6)



Panel Apt. Unit Second Floor Open  
with Main disconnect (p-7)



**Mechanical Equipment Disconnect  
(p-8)**



**Egress Lighting (p-9)**



**Egress Lighting (p-10)**



**Electrical Photos**  
**1414 Galiano Street Building #2**  
**Coral Gables, FL 33134**  
**Folio: 03-4108-009-3310**



**Front of building (p-1)**



**Electrical Meter (p-2)**

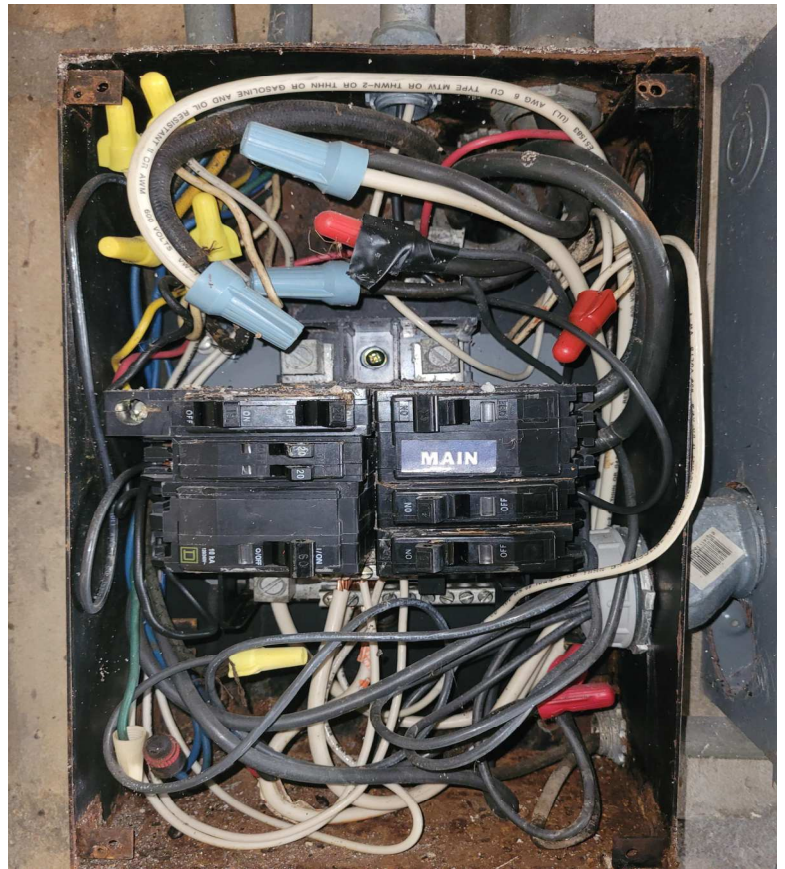


**Electrical Service Drop (p-3)**

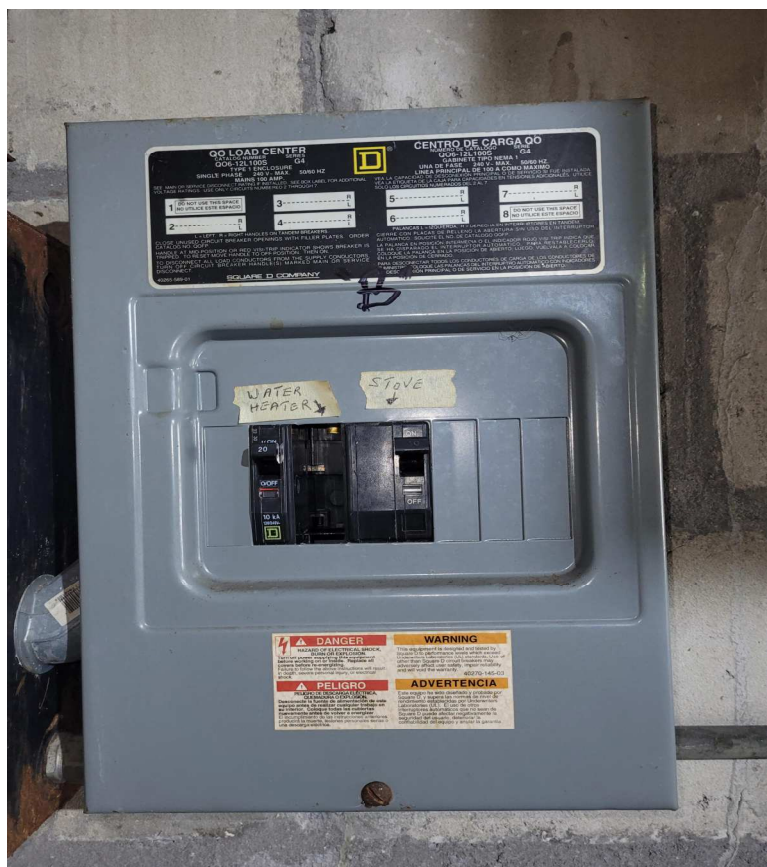




Panel A (p-4)



Panel A Open (p-5)



Panel B (p-6)

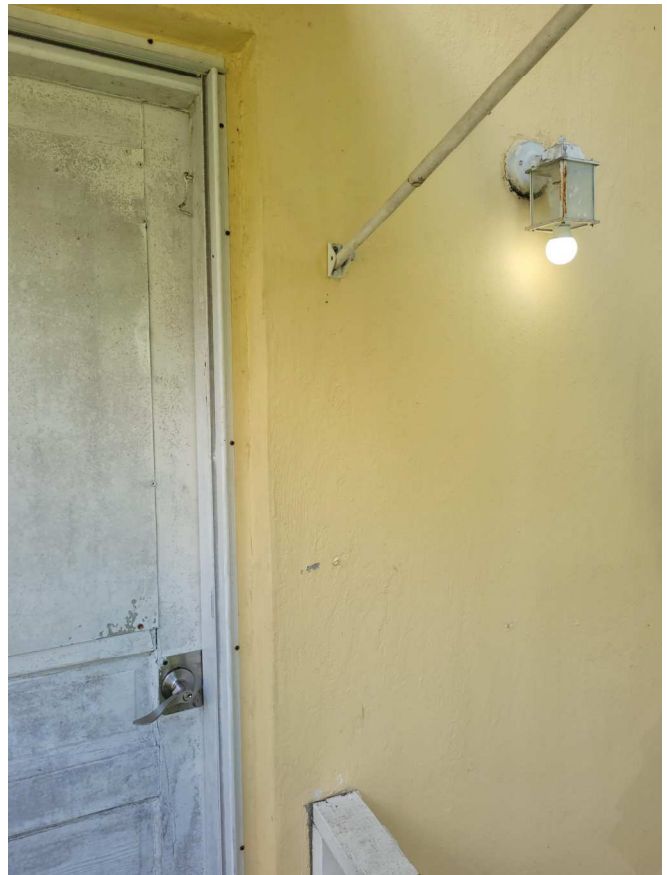


Panel B Open (p-7)





**General Electrical Conduit  
(p-8)**



**Egress Lighting (p-9)**

## **CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS**

Re: Case No. \_\_\_\_\_ FYear 2024  
Property Address: 1414 Galiano Street, Coral Gables, Florida 33134, Bldg. No.: 1&2, Sq. Ft.: 2824  
Building Description: See Below

Building No.1&2: Two story CBS. Roof framing of wood planks sheathing over wood trusses bearing on concrete masonry perimeter walls. Second floor framing of wood planks sheathing over wood rafters bearing on concrete masonry perimeter walls. Building No.1 Ground floor framing of wood planks sheathing over wood rafters bearing on main wood beams supported on isolate concrete piers (at interior spans) and/or concrete masonry stem walls (at shell perimeter). Building No.2 slab on grade. Both structures has wood stair on the outside.

I am a Florida registered professional ☒ engineer ☐ architect with an active license.

On 07/12 2024, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):



The parking lot(s) is not adjacent to or abutting a canal, lake, or other body of water.



The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami- Dade County Code.



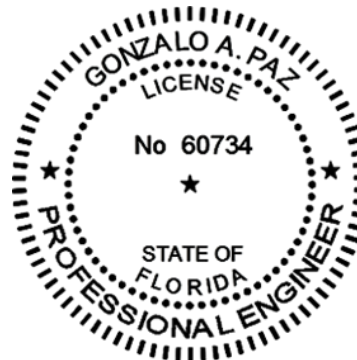
The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles **are not** protected by a guardrail that complies with Section 8C-6 of Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.

\_\_\_\_\_  
Signature and Seal of Architect or Engineer

\_\_\_\_\_  
Print Name

**07/24/2024**

\_\_\_\_\_  
Date



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GONZALO A. PAZ, PE ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION  
STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY**

Date: July 16th, 2024

Case No. \_\_\_\_\_ FYear 2024

Property Address: 1414 Galiano St, Bldg. No.: 1, Sq. Ft.: 2,272

Folio Number: 03-4108-009-3310

Building Description: Two story residential building (Duplex)

1. I am a Florida registered professional ☒ engineer ☐ architect with an active license.
2. On, 20 24, July 15th at 9.00 ☐ AM ☒ PM, I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum 2.4 foot candle  
Minimum 1.0 foot candle  
Maximum to Minimum Ratio 2.4 : 1.0, foot candle
4. The level of illumination provided in the parking lot ☒ meets ☐ does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of Miami-Dade County Code.

\_\_\_\_\_  
Signature and Seal of Professional

Carlos M. Rodriguez

\_\_\_\_\_  
Print Name Engineer or Architect