

## GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS, AND PROJECT MANUAL, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL WITH ALL TRADES. ALL WORK PERFORMED SHALL COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF THE PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND FINAL SIGN OFFS REQUIRED BY THE PUBLIC AUTHORITIES GOVERNING THE WORK.
3. THE DRAWINGS AND PROJECT MANUAL ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE ORGANIZATION OF THE DRAWINGS AND PROJECT MANUAL SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK PERFORMED BY ANY TRADE.
4. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN ON THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD.
5. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS AND/OR CHANGES TO THE ARCHITECT, IN WRITING, FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
6. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES AND USE OF ELEVATORS AS TO MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
7. OWNER WILL PROVIDE WORK NOTED AS "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS FOR DURATION OF WORK IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
9. MAINTAIN WORK AREAS SECURE AND LOCKABLE FOR THE DURATION OF WORK AND COORDINATE WITH OWNER TO ENSURE SECURITY.
10. PROVIDE A DULY AUTHORIZED FULL-TIME REPRESENTATIVE ON THE JOB SITE AT ALL TIMES FOR SUPERVISION OF CONSTRUCTION.
11. SUBMIT SAMPLES, DATA SHEETS AND SHOP DRAWINGS AS OUTLINED IN THE CONTRACT DOCUMENTS.
12. MAINTAIN THE CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION.
13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT.

## GENERALL DEMOLITION NOTES

1. GC TO INSTALL CONSTRUCTION FILTERS ON THE MAIN HVAC UNIT, AS REQUIRED BY OWNER.
2. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
3. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK
4. REMOVE ABANDONED ELECTRICAL, TELEPHONE DATA, SECURITY AND SIMIL AROTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
5. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
6. REMOVE EXISTING WORK AS REQUIRED TO ACCOMODATE NEW WORK, EVEN WEHERENOT EXPRESSLY INDICATED ON DEMOLITION PLAN.
7. REMOVE ABANDONED ELECTRICAL, TELEPHONE DATA, SECURITY AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
8. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
9. REMOVE DESIGNATED PARTITIONS, CEILING COMPONENTS, BUILDING EQUIPMENT AND FIXTURES
10. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
11. CONTRACTOR SHALL FURNISH ALL SHORING, BRACING, AND PATCHING NECESSSARY AND REQUIRED FOR THE PROPER SUPPORT AND SAFETY OF ALL WALLS, FLOORS, CEILINGS, AND UTILITIES AFFECTED BY DEMOLITION INCLUDED IN THIS SCOPE OF WORK.
12. ALL ELECTRICAL WORK IN WALLS AND CEILINGS ARE EXISTING TO REMAIN AND SHALL BE PROTECTED DURING DEMOLITION OF PARTITIONS AND OTHER COMPONENTS.
13. REPAIR AND/OR RESTORE ALL EXISTING WATERPROOFING DAMAGED DUE TO DEMOLITION AND NEW WORK. FIREPROOFING SHALL BE AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.
14. PATCH AND REPAIR ALL EXISTING AND/OR NEW PENETRATIONS THROUGH EXISTING FIRE RATED SLABS AND PARTITIONS, AS REQUIRED, TO MAINTAIN EXISTING FIRE PROTECTION RATING.
15. PATCH AND REPAIR ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVEN TO RECEIVE NEW SCHEDULED FINISHES. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
16. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE RESIDENCE ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
17. GENERAL CONTRACTOR TO PROVIDE ALL TEMPORARY PROVISIONS AND PROTECTION, IE EXIT SIGNAGE, SIGNAGE, OVERHEAD PROTECTION ETC., REQUIRED FOR MEANS OF EGRESS REMAIN IN OPERATION. IF WORK PROHIBITS ACCESS TO EGRESS PROVIDE ALTERNATIVE ROUTE WITH APPROPRIATE PROVISIONS.
18. DEMOLITION WORK CONSISTS OF SELECTIVE DEMOLITION OF EXISTING ELEMENTS AS SHOWN OR NOTED.
19. GENERAL CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND JOB SITE CONDITIONS INVOLVING DEMILUTION WORK. ANY DISCREPANCIES OR UNFORESEEN CONDITIONS SHALL BE REPORTED IN WRITHING TO THE ARCHITECT/ENGINEER FOR CLARIFICATION, OR APPROVAL OF MODIFICATION PRIOR COMMENCEMENT OF WORK.
20. GENERAL CONTRACTOR SHALL SECURE THE SITE AND PROVIDE PROTECTION DURING DEMOLITION ACTIVITIES IN COMPLIANCE WITH CHAPTER 13 EXISTING BUILDING OF THE FBC EDITION 2017 AND LATEST AMENDMENTS.
21. PROTECT FROM DAMAGE EXISTING STRCTURE THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
22. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE REMOVE PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
23. ALL ELECTRICAL DEMOLITION WORK TO BE PPERFORMED BY A LICENSED ELECTRICAL CONTRATOR, UNFORESEEN CONDITIONS SHALL BE REPORTED IN WRITING TO THE ARCHITECT/ENGINEER FOR CLARIFICATION, OR APROVAL OF MODIFICATION PRIOR COMMENCEMENT OF WORK.
24. THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO.
25. GC SHALL WORK TAKE MEASURES TO CONTROL MINIMIZE NOISE, DUST, OR OTHER DISRUPTIONS TO ADJACENT PROPERTIES.
26. CUT, REMOVE, PATCH, ALTER AND RE-FINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
27. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR NEW WORK AS REQUIRED TO MATCH ADJECENT SURFACES.
28. ALL FINISHES AND SURFACES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION AND NEW COSNTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITEC AT NO ADDITIONAL COST TO OWNER
29. WHEN REMOVING PLUMBING FIXTURES, CAP LINES AS NECESSARY.
30. ALL DEMOLITION DEBRIS TO BE REMOVED OFF-SITE AND DISPOSED OF AT AN APROVED, LEGAL DUMP SITE.

## SCOPE STATMENT

THE SCOPE OF WORK INCLUDES THE REMODELING OF THE EXISTING HISTORICALLY DESIGNATED RESIDENCE AND AN ADDITION ON THE GROUND FLOOR, AND OTHER MODIFICATIONS AS FOLLOWS:

A GROUND FLOOR ADDITION OF ABOUT 1,000 SQ.FT+-. THE SCOPE OF WORK INCLUDES THE CONSTRUCTION OF NEW PARTITIONS, CEILINGS, FLOORING, FINISHES, MECHANICAL, ELECTRICAL, AND PLUMBING AS INDICATED ON DRAWINGS.

• THE EXISTING INTERIOR WALLS AND FLOORING ON THE FIRST FLOOR WILL BE REMOVED, AND WILL BE RECONFIGURED TO INCLUDE THE COMMON AREAS OF THE HOUSE.

• ALL EXISTING EXTERIOR DOORS AND WINDOWS ON THE FIRST FLOOR WILL REMAIN, AS THEY ARE IMPACT RATED AND WERE RECENTLY REPLACED.

• A NEW SEPTIC TANK AND DRAIN FIELD WILL BE RELOCATED TO THE FRONT YARD, FACING OBISPO AVENUE. IN ORDER TO ALLOW FOR A SWIMMING POOL TO BE BUILT IN THE BACK YARD. POOL WILL BE BUILT BY SEPARATE PERMIT.

• THE EXISTING OVERHEAD ELECTRICAL AND TV SERVICE WILL BE REMOVED AND ROUTED UNDERGROUND AWAY FROM THE AREA WHERE THE NEW SWIMMING POOL WILL BE LOCATED.

THE DRAWINGS ALONG WITH THE PROJECT MANUAL COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE INTENT OF THE ARCHITECT.

THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISE TO READ AND FAMILIARIZED THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE "G" SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATION AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

## APPLICABLE BUILDING CODES

**BUILDING:**  
- BUILDING FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENTIAL  
- BUILDING FLORIDA BUILDING CODE 7TH EDITION (2020) - EXISTING BUILDING

**STRUCTURE**  
STRUCTURE FLORIDA BUILDING CODE 7TH EDITION (2020)

**ENERGY**  
ENERGY CODE FLORIDA BUILDING CODE 7TH EDITION (2020) - ENERGY CONSERVATION

**PLUMBING**  
PLUMBING FLORIDA BUILDING CODE 7TH EDITION (2020)

**MECHANICAL**  
MECHANICAL FLORIDA BUILDING CODE 7TH EDITION (2020)

**ELECTRICAL**  
ELECTRICAL FLORIDA BUILDING CODE 7TH EDITION (2020)  
2014 NATIONAL ELECTRICAL CODE (NEC)

**FIRE / LIFE SAFETY**  
FIRE/LIFE SAFETY FLORIDA FIRE PREVENTION CODE 6TH EDITION  
NFPA 101, NFPA 1

**ACCESSIBILITY**  
ACCESSIBILITY FLORIDA BUILDING CODE 7TH EDITION (2020) - ACCESSIBILITY 2012 DOJ ADAAG

**ZONING:**  
CITY OF CORAL GABLES ZONING CODE

## CLASSIFICATION OF WORK

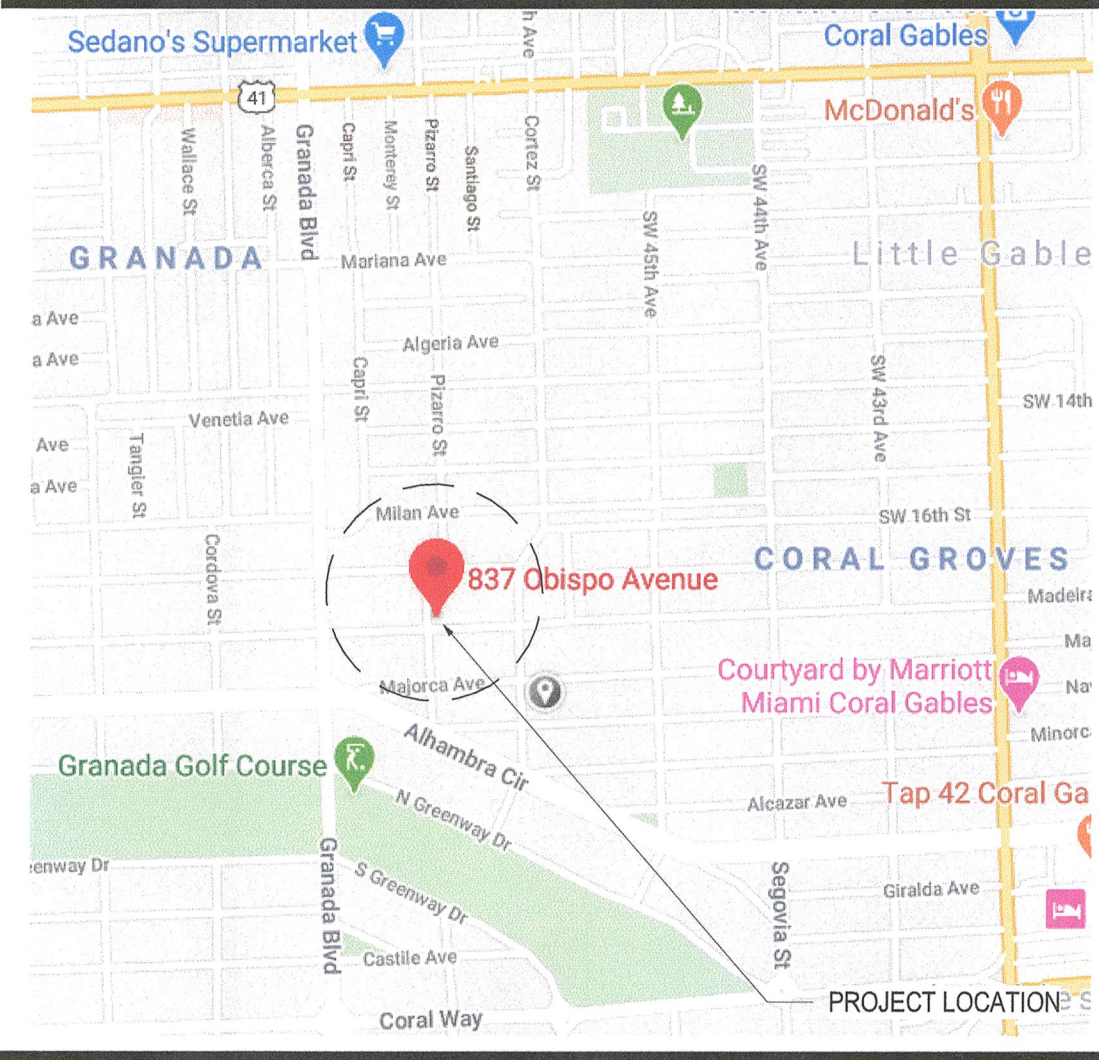
THE CLASSIFICATION OF WORK PROPOSED IS LEVEL-3 AS PER FBC 2020, 7TH EDITION EXISTING BUILDING, SECTION 505, AND HISTORICAL BUILDING AS PER FBC 2020, 7TH EDITION, SECTION 508

## PROJECT INFORMATION

BUILDING ADDRESS: 837 Obispo Ave. Coral Gables. Fl, 33134

BUILDING DATE: CONSTRUCTION 1926

## VICINITY MAP



## LOCATION MAP



## CONSTRUCTION CLASSIFICATION

THE CONSTRUCTION CLASSIFICATION OF THE SUBJECT PROPERTY IS TYPE III B

## PROJECT NOA’S USED

(NOAs PROVIDED AS BASIS OF DESIGN, CONTRACTOR TO CHECK FOR APPROVED REVISIONS AND RENEWALS.

**WINDOWS:**  
CGI AND DOORS,

## DRAWINGS INDEX

SHEET NUMBER	SHEET NAME	09/01/2020 HISTORICAL RESOURCES PRELIMINARY REVIEW	09/29/2020 HISTORICAL RESOURCES 2ND REVISION	10/13/2020 HISTORICAL RESOURCES 3RD REVIEW	10/23/2020 PRELIMINARY BOARD OF ARCHITECTS REVIEW	8/24/2021 ZONING COMMENTS

### 01 GENERAL

G0.00	COVER SHEET	•		•	•	•
G0.01	DRAWING INDEX, PROJECT INFORMATION & GENERAL NOTES	•		•	•	•
G0.02	SYMBOLS, ABBREVIATIONS AND NOTES	•		•	•	•
G0.03	BOUNDARY SURVEY - SITE PLAN	•		•	•	•

### 02 ARCHITECTURE

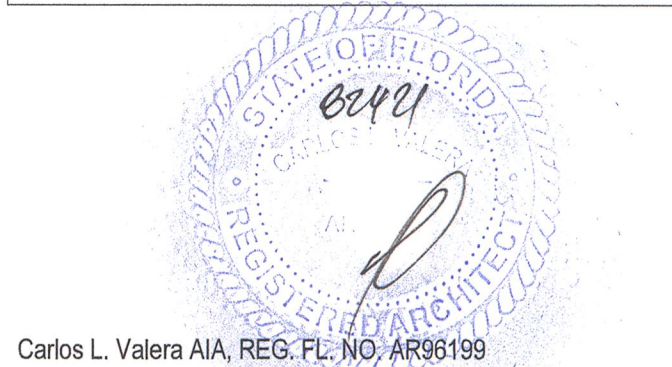
A0.00	DEMOLITION SITE PLAN	•		•	•	•
A0.01	DEMOLITION GROUND FLOOR PLAN	•		•	•	•
A0.03	EXISTING ELEVATIONS	•		•	•	•
A1.00	SITE PLAN	•	•	•	•	•
A1.01	GROUND FLOOR PLAN	•		•	•	•
A3.01	NEW ELEVATIONS	•		•	•	•
A3.02	EXTERIOR PERSPECTIVES	•		•	•	•
A3.03	DISTRICT / AREA PHOTOS				•	•

# VALERA RESIDENCE

837 Obispo Ave. Coral Gables. FL, 33134

△	Date	Description
A	09/01/2020	HISTORICAL RESOURCES PRELIMINARY REVIEW
C	10/13/2020	HISTORICAL RESOURCES 3RD REVIEW
D	10/23/2020	PRELIMINARY BOARD OF ARCHITECTS REVIEW
E	8/24/2021	ZONING COMMENTS

Seal / Signature



Carlos L. Valera AIA, REG. FL. NO. AR36199

Project Name

Remodeling & Addition

Project Number

Description

DRAWING INDEX, PROJECT INFORMATION & GENERAL NOTES

Scale

12" = 1'-0"

Ref North



# G0.01



LEGAL DESCRIPTION:

LOT 20, Block 28 of CORAL GABLES SECTION B, according to the Plat thereof, as recorded in Plat Book 5, at Page 111 of the public records of Miami-Dade County, Florida

SURVEYOR'S NOTES:

DATE OF FIELD SURVEY:

The date of completion of the original field Survey was on July 02, 2020.

PROPERTY INFORMATION:

837 Obispo Avenue, Coral Gables, Florida 33134

Containing 7,500.00 sq. ft. or 0.17 acres, more or less, by calculations.

Folio No.: 03-4108-001-4800

ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Minimum Technical Standards requirement for Suburban Area (Linear: 1 foot in 7,500 feet) as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

PERTINENT INFORMATION USED FOR SURVEY:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Centerline of Obispo Avenue with an assumed bearing of S89°31'23"E, said line to be considered a well established and monumented line.

This project area appears to be located in Flood Zone "X", with a Base Flood Elevation being "no determinate", as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120639 (City of Coral Gables), Map No. 12086C0294, Suffix L, Map Revised Date: September 11, 2009.

For Vertical Control:

All elevations shown hereon are based on the National Geodetic Vertical Datum of 1929 (N.G.V.D. '29), and a Benchmark supplied by the Public Works and Waste Management Department of Miami-Dade County, Florida.

Benchmark: P-510 Elevation: + 11.78 (N.G.V.D. '29)  
Located SW 24 ST --- 60' SOUTH OF C/L GRANADA BLVD (APPROX 49 AVE) --- 50' EAST OF C/L

Plat of "CORAL GABLES" according to the Plat thereof as recorded in Plat Book 5 at Page 111 of the Public Records of Miami-Dade County, Florida.

Warranty Deed recorded on July 29, 2013, in official Record Book 28745, Page 926 of the Public Records of Miami-Dade County, Florida.

RESTRICTIONS:

Since no other information were furnished other than that is cited under pertinent information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

PURPOSE OF SURVEY:

The purpose of this survey is for design.

CLIENT INFORMATION:

This Boundary/Tree Survey was prepared at the insistence of and certified to:

CARLOS VARELA

SURVEYOR'S CERTIFICATE:

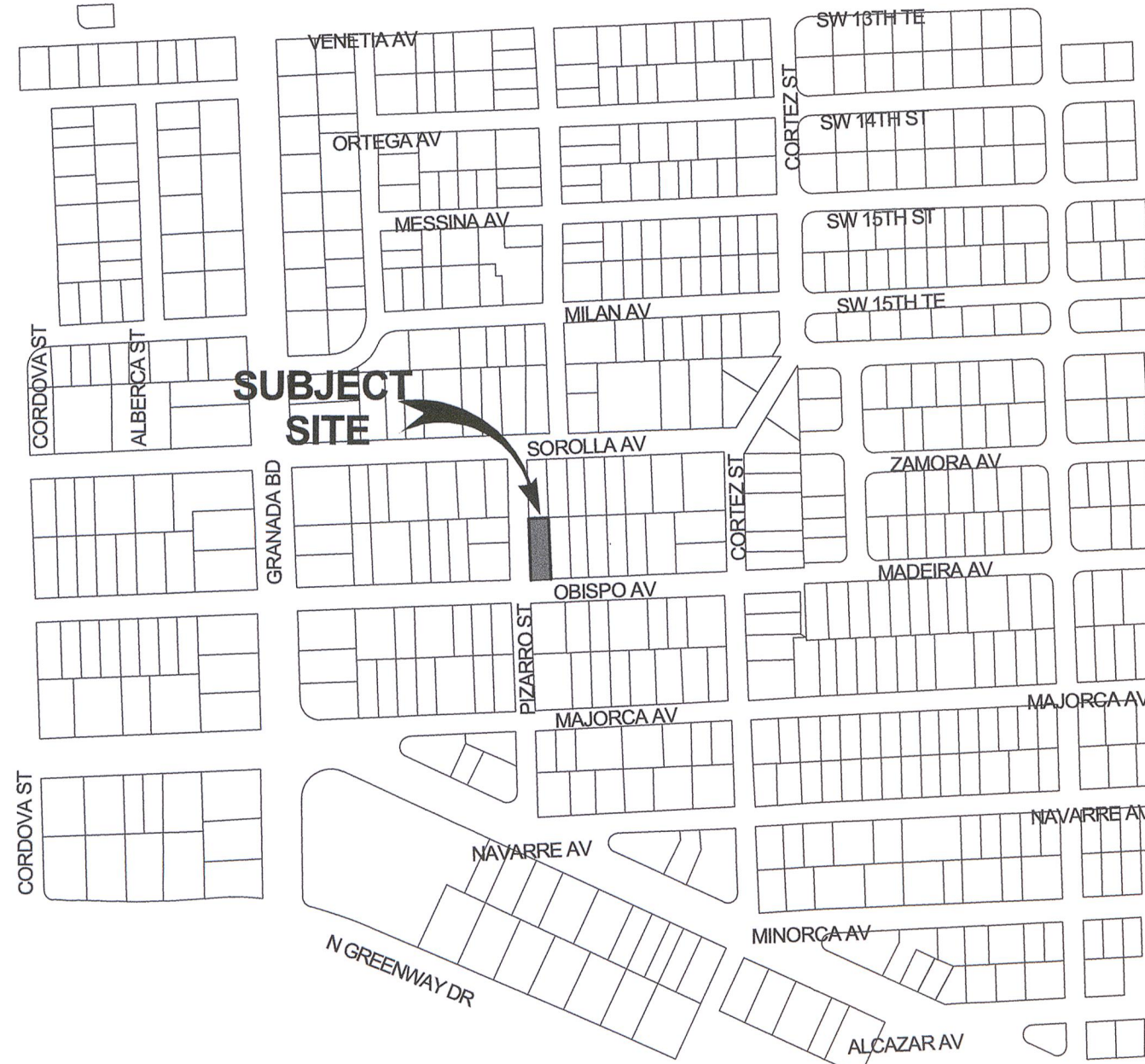
I hereby certify: That this "Boundary/Tree Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary/Tree Survey" meets the intent of the applicable provisions of the Standards of Practice for Land Surveying in the State of Florida, pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS LLC., a Florida Limited Liability Company  
Florida Certificate of Authorization Number LB7335

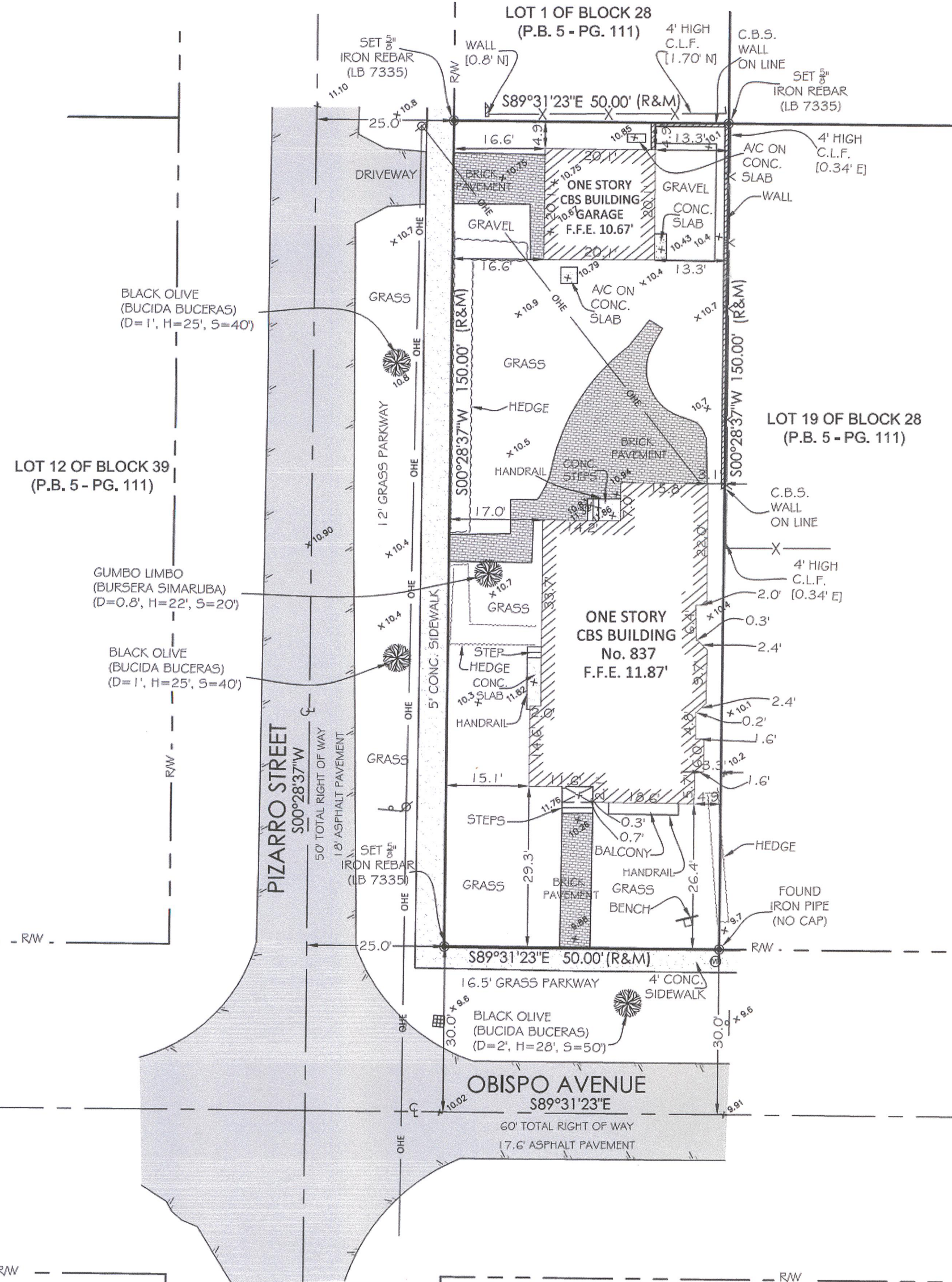
By: Eduardo M. Suarez, PSM  
Registered Surveyor and Mapper LS6313  
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

SECTION 7 TOWNSHIP 54 SOUTH - RANGE 41 EAST  
LYING AND BEING IN THE MIAMI-DADE COUNTY, FLORIDA



LOCATION MAP  
(NOT TO SCALE)



Legend and abbreviations	
	= PALM TREE
	= TREE
	= ORNAMENTAL TREE
	= TEMPORARY SITE BENCHMARK
	= INVERT
	= ELEVATION
	= SPOT ELEVATION
	= CONCRETE BLOCK STUCCO
	= CHAIN LINK FENCE
	= WOOD FENCE
	= METAL FENCE
	= CENTERLINE
	= BASELINE
	= MONUMENT LINE
	= RECORD
	= CALCULATED
	= MEASURED
	= RIGHT-OF-WAY
	= PLAT BOOK
	= PLAT PAGE
	= CONCRETE
	= DIAMETER OF TREE (TAKEN AT BREAST HEIGHT)
	= HEIGHT OF TREE
	= SPREAD (CANOPY OF TREE)
	= WOODEN UTILITY POLE
	= CATCH BASIN
	= SIGN
	= WATER METER
	= FINISH FLOOR ELEVATION
	= COVERED AREA
	ASPHALT
	BRICK
	PAVER
	CONCRETE
	UNIMPROVED
	TILE
	GRAVEL
	STAMPED CONCRETE



VALERA  
RESIDENCE

837 Obispo Ave. Coral Gables, FL, 33134

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C 10/13/2020	HISTORICAL RESOURCES 3RD REVIEW
D 10/23/2020	PRELIMINARY BOARD OF ARCHITECTS REVIEW
E 8/24/2021	ZONING COMMENTS

Seal / Signature

Carlos L. Valera AIA, REG. FL. NO. AR96199

Project Name

Remodeling & Addition

Project Number

Description

BOUNDARY SURVEY - SITE PLAN

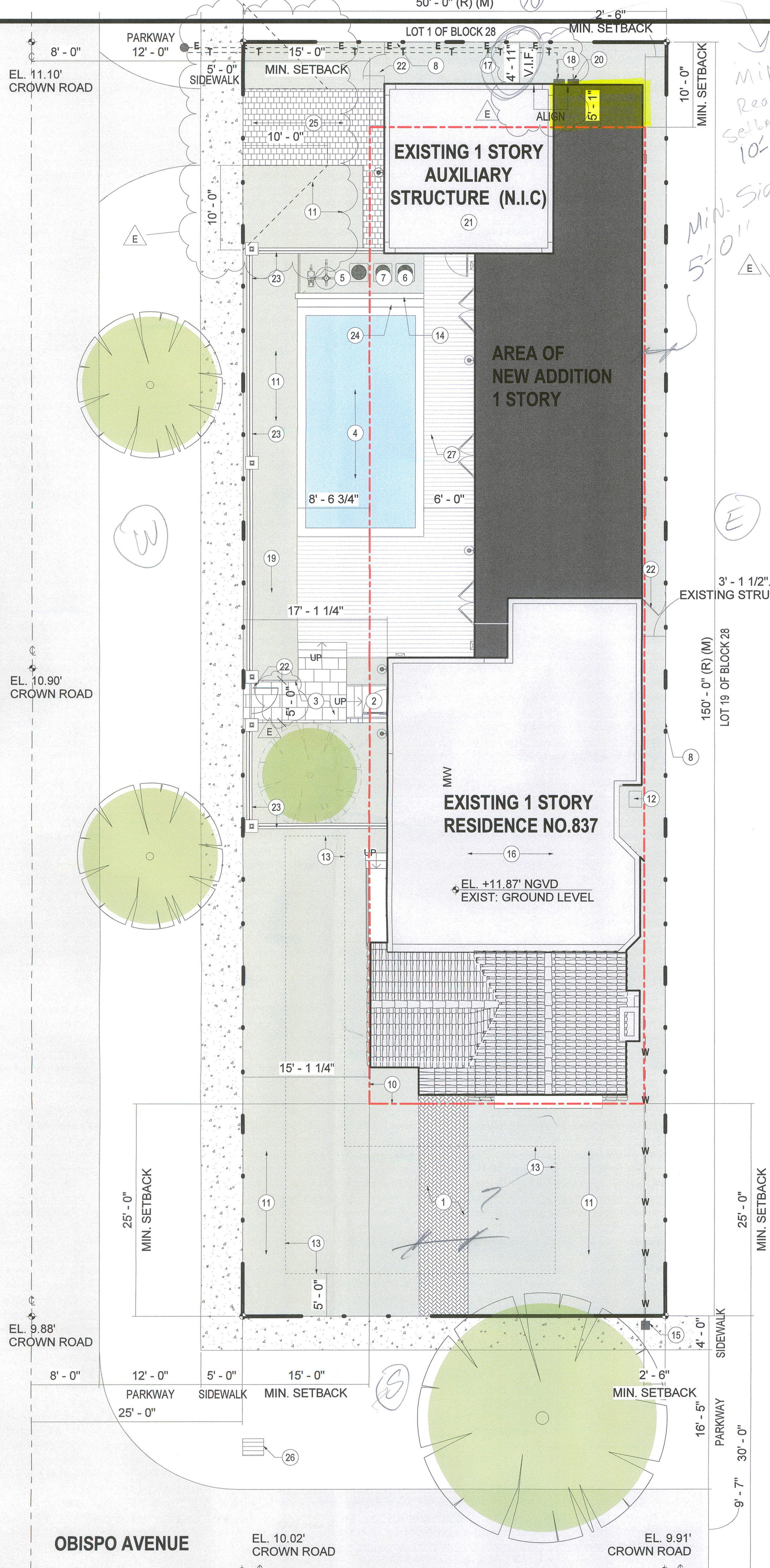
Scale

As indicated

G0.03



PIZARRO STREET



## ZONING DATA

**ZONING DISTRICT DESIGNATION - ARTICLE 4 & 5:**

SINGLE-FAMILY RESIDENTIAL DISTRICT SFR

**PROJECT AREAS SQ. FT.:**

	PROVIDED
GROSS EXISTING: (MAIN BDLG & AUX STRUCT.)	1,940 SQ. FT
GROSS ADDITION: (ADDITION TO MAIN BDLG.)	1,037 SQ. FT
TOTAL:	2,977 SQ.FT.

**GROUND COVERAGE:**

	MAXIMUM ALLOWED	PROVIDED
FIRST FLOOR: (MAIN BDLG.)	3,600 SQ.FT. 48%	2,577 SQ.FT. 34.36%
AUXILIARY STRUCTURE: (NOT IN SCOPE)		400 SQ.FT. (EXISTING)
NEW POOL		325 SQ.FT.
TOTAL:	4,350 SQ.FT. 58%	2,302 SQ.FT. 44%

LANDSCAPE / OPEN SPACE 40% REQ'D. 56% PROVIDED

ARTICLE 5 - SECTION 5-503-B -  
TOTAL MAX GROUND COVERAGE ALLOWED = 58%

**MAXIMUM FAR:**

	MAXIMUM ALLOWED	PROVIDED
FIRST FLOOR: (MAIN HOUSE)		1,540 SQ.FT.
ADDITION: (GROUND LEVEL)		1,037 SQ.FT.
AUXILIARY STRUCTURE: (NOT IN SCOPE)		400 SQ.FT.
TOTAL:	3,275 SQ.FT.	2,977 SQ.FT.

LOT SIZE:  
7,500 SQ.FT.  
1st 5,000 SQ.FT. @ 48% = 2,400 SQ.FT.  
2nd 2,500 SQ.FT. @ 35% = 875 SQ.FT.  
3,275 SQ.FT.

**SETBACK REQUIREMENTS (ARTICLES 4 & 5):**

	REQ. MIN.	PROVIDED (EXISTING)
FRONT SETBACK (S):	25' @ OBISPO AVE	26' / EXISTING
SIDE STREET (W):	15' @ PIZARRO ST	15.1' / EXISTING
SIDE SETBACK (E):	2' - 6"	5' (FRONT M. HOUSE) 3.1' (BACK M. HOUSE) COMBINED: 20' @ FRONT 20.1' @ BACK
REAR SETBACK:	10' (ONE STORY)	EXISTING STRUCTURE 4.9'

NOTE: ALL SET BACKS ARE EXISTING - REMAIN UNCHANGED

ARTICLE 5 - SECTION 5-503-A SETBACKS:  
NEW ADDITION UTILIZES THE SAME SETBACK AND EXTENDS TO  
THE PROPERTY LINE AS THE MAIN WALLS OF THE EXISTING  
CORAL GABLES COTTAGE:

	REQ. MIN.	PROVIDED
SIDE SETBACK (E)	2' - 6"	3' 1 1/2"
SIDE YARD:	250 SQ.FT.	377 SQ.FT.
FRONT YARD:	750 SQ.FT.	1,282 SQ.FT.
REAR YARD:	150 SQ.FT.	163 SQ.FT.

## LEGEND

	PROPERTY LINE		CHAIN-LINK FENCE
	EXISTING CMU FENCE TO REMAIN		EXISTING OVERHEAD ELECTRIC LINE
	SETBACK LINE		EXISTING OVERHEAD TELEPHONE NETWORK LINE
	INDICATES EXISTING BUILDING AREA TO REMAIN		EXISTING WATER METER AND WATER LINE (V.I.F)
	PROPOSED CONSTRUCTION AREA FOR NEW SECOND FLOOR		INDICATES EXISTING CHICAGO BRICK TO REMAIN

**SEPTIC TANK NOTE:**  
SEPTIC TANK AND DRAINFIELD SHALL BE 5' - 0" FROM THE BUILDING. 10' - 0" FROM THE WATER LINE SERVICE. 5' - 0" FROM PROPERTY LINES. 100' - 0" FROM ALL WELLS AND 50' - 0" FROM ANY WATERWAY.

**TREE NOTE**  
EXISTING TREES THAT REMAIN WITHIN 20' - 0" OF ANY CONSTRUCTION SHALL BE PROTECTED AS FOLLOWS:  
- TREE WITH LESS THAN 18" DIAMETER SHALL BE PROTECTED WITH PLASTIC MESH BARRIER OF 6' - 0" TO 8' - 0" AROUND IT.  
- TREE WITH 18" DIAMETER OR GREATER SHALL BE PROTECTED WITH PLASTIC MESH BARRIER OF 10' - 0" TO 12' - 0" AROUND IT.

## LEGAL DESCRIPTION

LOT: 20

BLOCK: 28

SUB-DIVISION: CORAL GABLES SECTION B

PLAT BOOK: 5

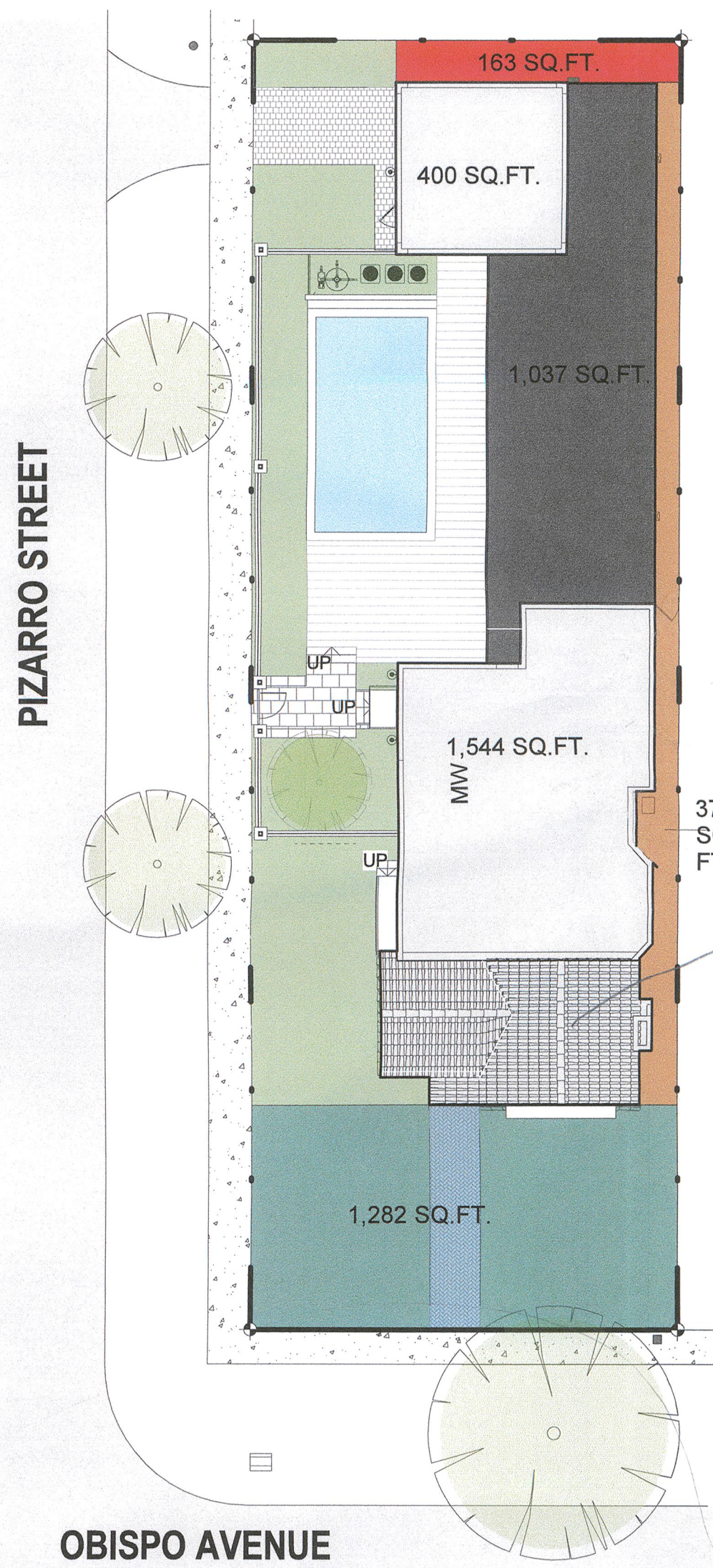
PAGE: 11 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY- FL.

FOLIO NUMBER: 03-4108-001-4800

PROPERTY ADDRESS: 837 Obispo Ave. Coral Gables, Fl, 33134

PROPERTY BUILT: 1926 (HISTORICAL DESIGNATED COTTAGE HOUSE - SINGLE STORY)

## SETBACKS - ARTICLE 5 & FAR



## SHEET NOTES

- EXISTING CHICAGO BRICK TO REMAIN. SAVE AND REPAIR AS NECESSARY DUE TO SEPTIC TANK WORK
- NEW CONCRETE LANDING AND STAIR
- NEW CORAL STONE TILE AT NEW POOL AREA
- NEW POOL UNDER A SEPARATE PERMIT
- NEW POOL EQUIPMENT, FILTRATION, AND WATER HEATER
- NEW A/C CONDENSING UNIT ON NEW CONCRETE SLAB
- EXISTING A/C CONDENSING UNIT TO REMAIN
- EXISTING CHAIN LINK FENCE TO REMAIN (TYP)
- SETBACK LINE
- LANDSCAPE AREA TO REMAIN (SOD)
- TRASH LOCATION TO REMAIN
- NEW SEPTIC TANK AND DRAIN FIELD LOCATION BY PLUMBING SITE PLAN
- NEW 4" CMU WALL TO CONVER A/C CONDENSING UNITS AND NEW POOL EQUIPMENT (VISUAL SCREENING)
- EXISTING WATER METER LOCATION WITH WATER LINE
- EXISTING MAIN BUILDING AREA
- NEW UNDERGROUND ELECTRIC SERVICE FROM POWER POLE BY F.P.L.
- NEW ELECTRIC METER LOCATION BY F.P.L.
- NEW UNDERGROUND TELEPHONE / CABLE LINE
- NEW TELEPHONE / CABLE BOX
- EXISTING COTTAGE HOUSE TO REMAIN. NOT IN SCOPE
- NEW GATE, GATES TO BE SELF-CLOSING 7 SELF-LATCHING
- NEW CMU WALL FENCE 4' - 0" HIGH. WITH 2' - 0" ORNAMENTAL FENCE ABOVE IT.
- NEW WATER FEATURE. UNDER SEPARATE PERMIT
- EXISTING CONCRETE PAVEMENT DRIVEWAY TO REMAIN. N.I.C. SAVE EXISTING MATERIAL AS NEEDED AND REPAIR DUE TO NEW UNDERGROUND SERVICES AS NEEDED
- EXISTING CATCH BASIN
- NEW POOL DECK

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B 9/29/2020	HISTORICAL RESOURCES 2ND REVIEW
C 10/13/2020	HISTORICAL RESOURCES 3RD REVIEW
D 10/23/2020	PRELIMINARY BOARD OF ARCHITECTS REVIEW
E 8/24/2021	ZONING COMMENTS

Seal / Signature

Carlos L. Valera AIA, REG. FL. NO. AR96199

Project Name

Remodeling & Addition

Project Number

Description

SITE PLAN

Scale

As indicated


A1.00



837 Obispo Ave. Coral Gables. FL, 33134

837 Obispo Ave. Coral Gables. FL, 33134



Seal / Signature	
	
Carlos L. Valera AIA, REG FL. NO. AR96199	
Project Name	
Remodeling & Addition	
Project Number	
Description	
DISTRICT / AREA PHOTOS	
Scale	

### A3.03



AB-20-11-5279

CITY OF CORAL GABLES  
Development Services Department  
Zoning Division  
Reviewed for Code Compliance  
Reviewed by [Signature] Date 8/26/21

- Hist. Dept. review required.
- See zoning comments on Eden. (u)

Notes: 10/7/21.

Property: 837 Obispo Ave.

Folio# 03-4108-001-4800

- This property is not a "Cottage" verified by the Historical Dept. (u)

10/15/21 New review as a: Single-Family Residence (u)

10/15/21

CITY OF CORAL GABLES  
Development Services Department  
Zoning Division  
Reviewed for Code Compliance  
Reviewed by (u) Date 10/15/21 (u) See Eden for zoning comments.





# VALERA RESIDENCE

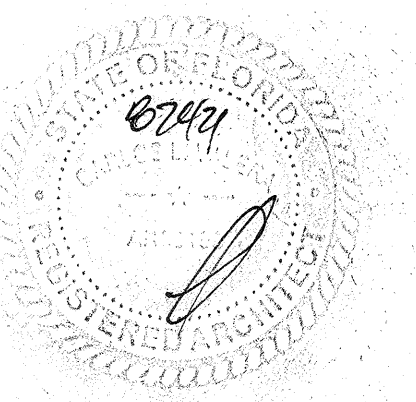
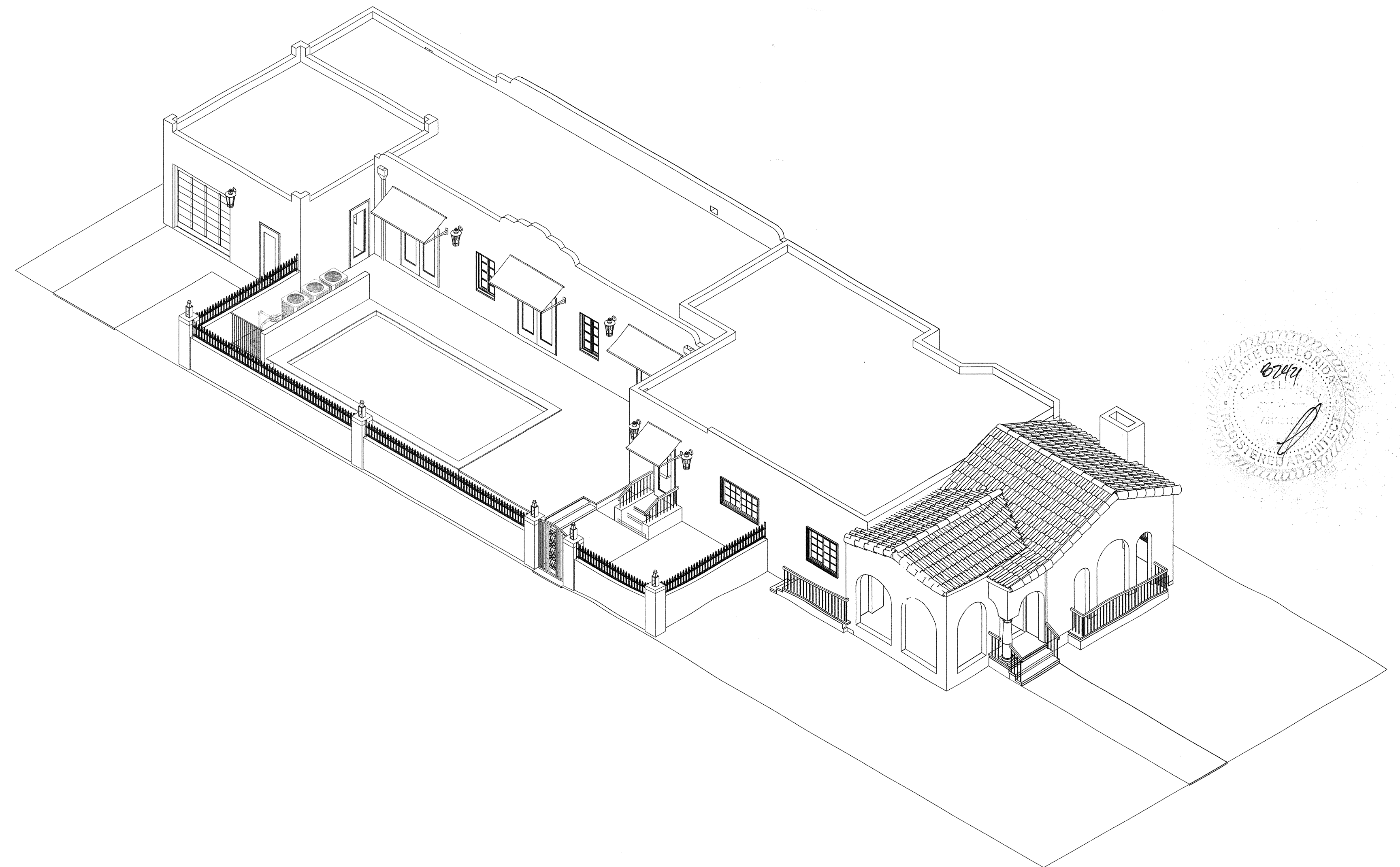
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## Remodeling & Addition

### Preliminary Board of Architects Review

Rev 8/24/2021

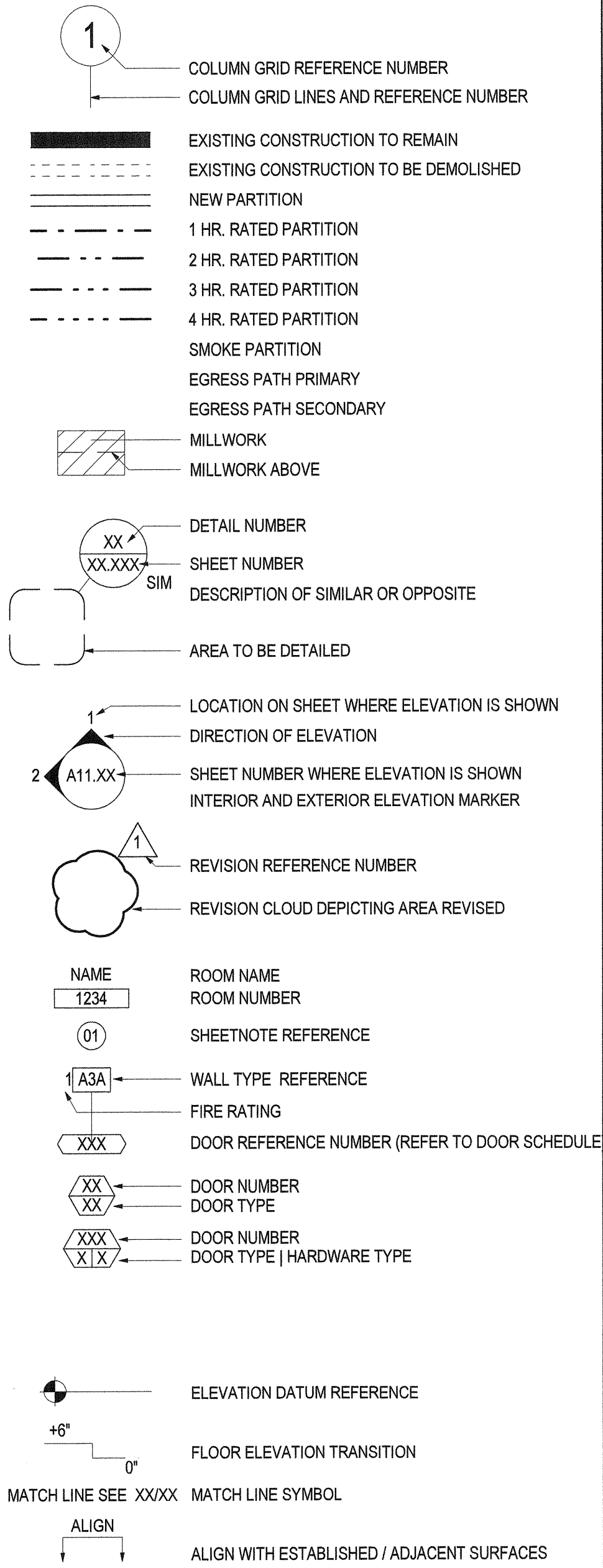
837 Obispo Ave. Coral  
Gables. FL, 33134



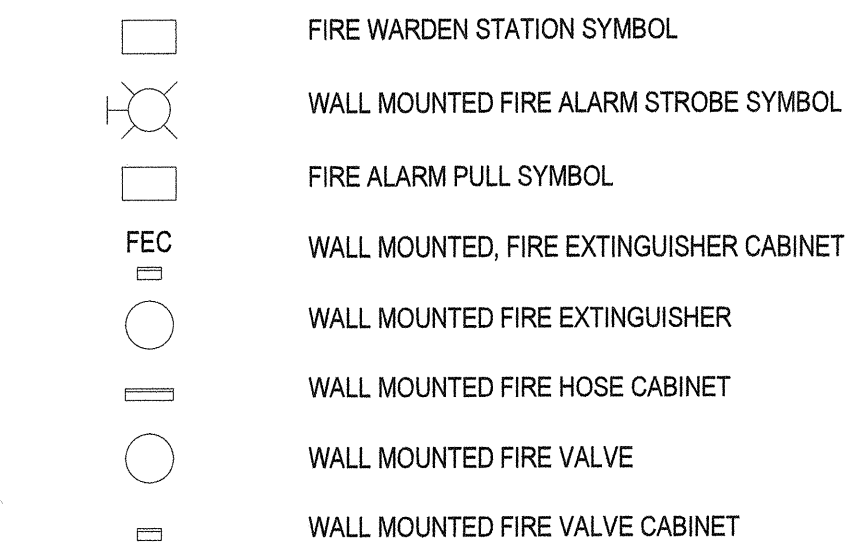


## GRAPHIC SYMBOLS

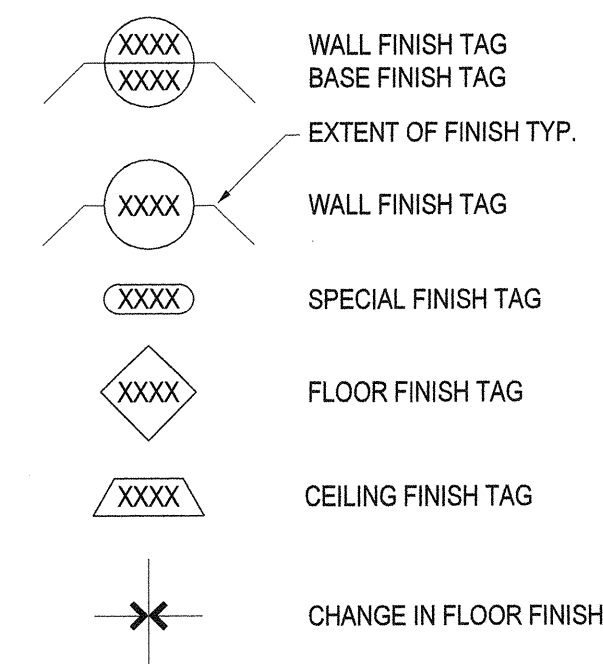
### CONSTRUCTION



### WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES

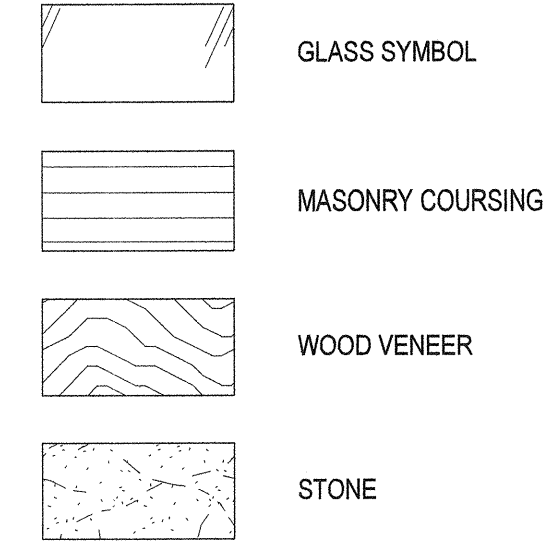


### FINISH

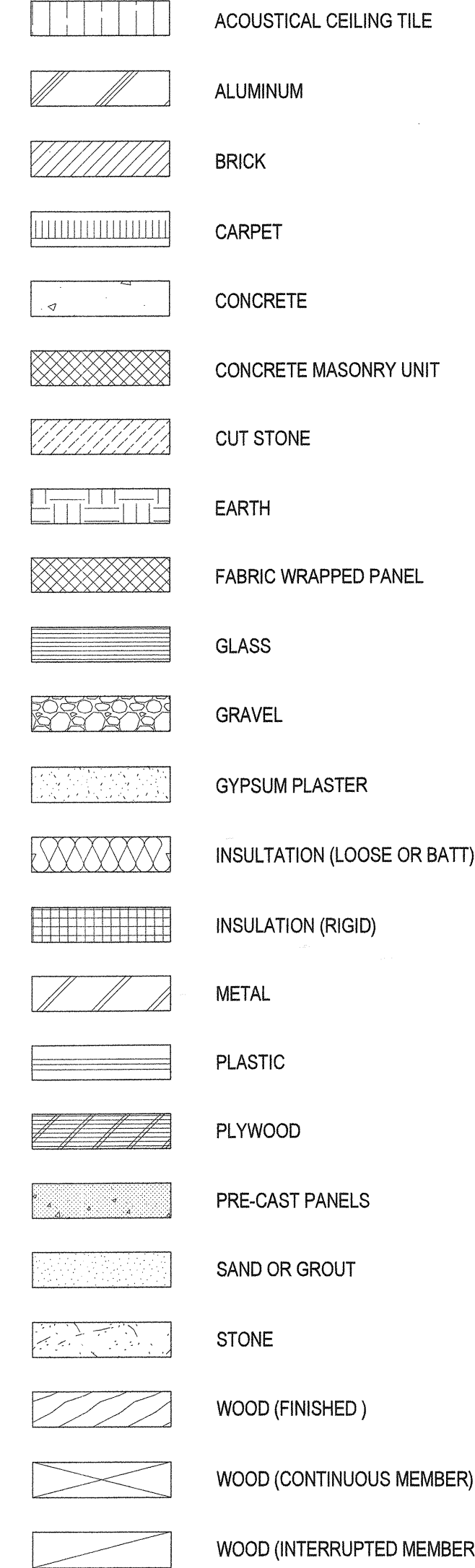


## GRAPHIC SYMBOLS (CONT.)

### ELEVATION INDICATION

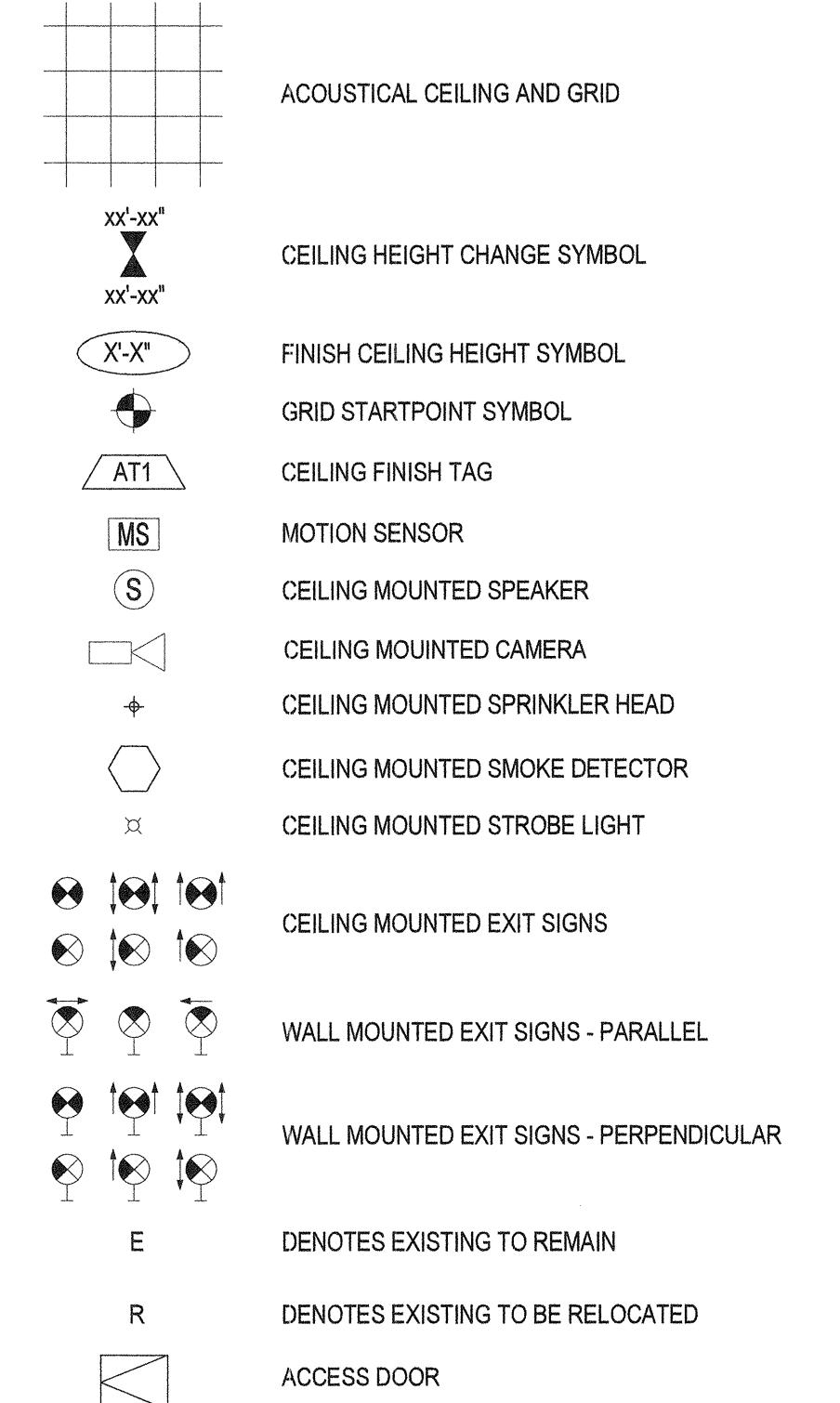


### SECTION INDICATIONS

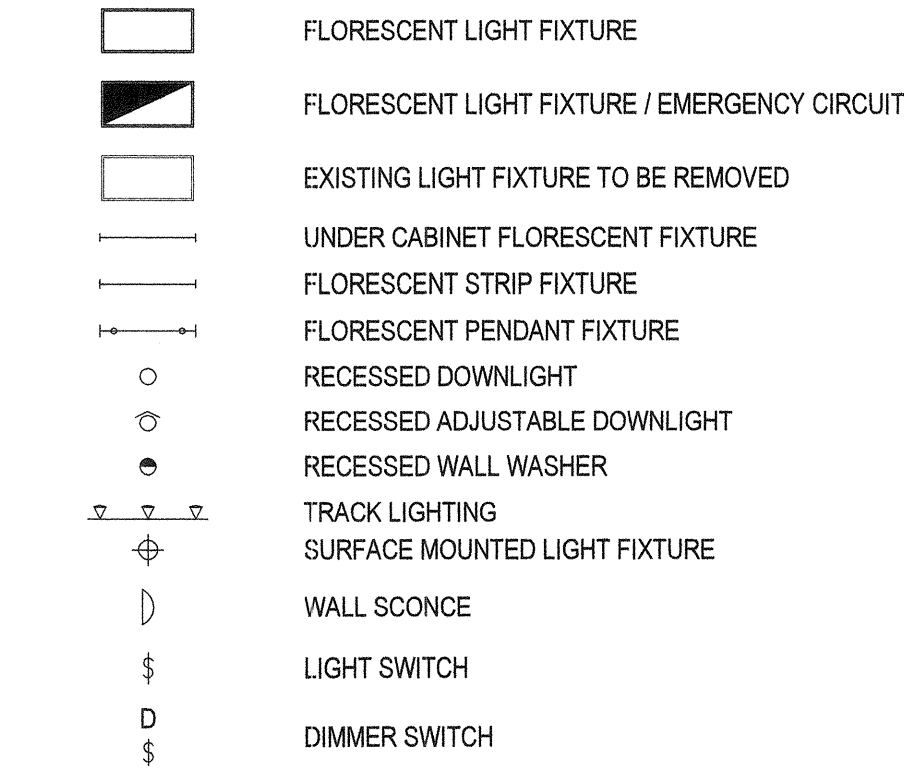


## GRAPHIC SYMBOLS (CONT.)

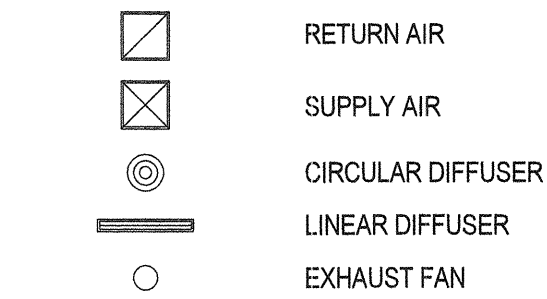
### REFLECTED CEILING



### LIGHT FIXTURES

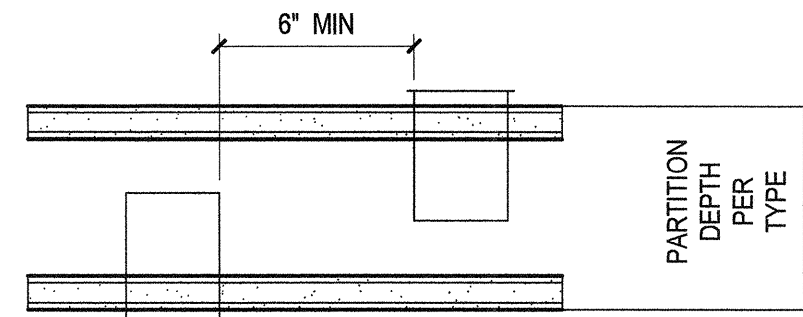


### MECHANICAL FIXTURES



## ABBREVIATIONS

PLT	PLATE	L	LT	LIGHT
		L	LVLG	LEVELING
		L	LVT	LOUVER
A	&	AND		
A	ACCESS	ACCESSORY		
A	ACOUS	ACOUSTIC(AL)	M	MAX
A	AFF	ABOVE FINISHED FLOOR	M	MECH
A	AL	ALUMINUM	M	MEMB
A	ALT	ALTERNATE	M	MFD
A	ANOD	ANODIZED	M	MFR
A	ARCH	ARCHITECT(URAL)	M	MIN
A	AUTO	AUTOMATIC	M	MISC
A	AVG	AVERAGE	M	MLWK
			M	MOIST
			M	MTD
B	BD	BOARD		
B	BLDG	BUILDING	N	NIC
B	BLKG	BLOCKING	N	NO
			N	NTS
C	CAB	CABINET	O	OPNG
C	CEM	CEMENT(ITIOUS)	O	OPR
C	CER	CERAMIC	O	ORNA
C	CIP	CAST-IN-PLACE	O	OVFL
C	CLG	CEILING	O	OVHD
C	COATG	COATING		
C	CONC	CONCRETE		
C	CONSTR	CONSTRUCTION	P	PBD
C	CONT	CONTINUOUS(ATION)	P	PEDR
			P	PLAM
D	DBL	DOUBLE	P	PLAS
D	DEPT	DEPARTMENT	P	PLSTC
D	DET	DETAIL	P	PLYWD
D	DIA	DIAMETER	P	PNL
D	DIFF	DIFFUSER	P	PORT
D	DIM	DIMENSION	P	PREFAB
D	DISP	DISPENSER	P	PREFIN
D	DIV	DIVISION	P	PT
D	DN	DOWN	P	PTN
D	DR	DOOR		
D	DSCON	DISCONNECT	R	RD
D	DWG	DRAWING	R	RDL
			R	RDR
E	ELAST	ELASTOMERIC	R	RECES
E	ELEC	ELECTRICAL	R	RECPT
E	EMBED	EMBEDDED(ING)	R	REF
E	ENGR	ENGINEER(ED)	R	REFL
E	ENTR	ENTRANCE	R	REFR
E	EQ	EQUAL	R	REINF
E	EQUIP	EQUIPMENT		
E	EXIST	EXISTING	R	REQD
E	EXPS	EXPOSED(D)	R	RESIL
E	EXT	EXTERIOR	R	RESIS
			R	RM
			R	RO
F	FAB	FABRICATION	S	SCR
F	FD	FLOOR DRAIN	S	SECU
F	FE	FIRE EXTINGUISHER	S	SF
F	FEC	FIRE EXTINGUISHER CABINET	S	SG
F	FHC	FIRE HOSE AND CABINET	S	SIM
F	FIN	FINISH	S	SST
F	FLDG	FOLDING	S	STD
F	FLR	FLOOR(ING)	S	STL
F	FPLC	FIREPLACE	S	STRUCT
F	FR	FIRE RAT(ING)(ED)	S	SURF
F	FWC	FABRIC WALL COVERING	S	SUSP
			S	SYS
G	GA	GAUGE	T	THK
G	GFRC	GLASS FIBER REINFORCED CONCRETE	T	TLT
G	GFRG	GLASS FIBER REINFORCED GYPSUM	T	TRANS
G	GFRP	GLAS FIBER REINFORCED PLASTER	T	TYP
G	GL	GLASS		
G	GR	GRAD(E)(ING)	U	UNDRLAY
G	GYP	GYPSUM	U	UNO
			U	UTIL
H	HD	HEAD	V	VERT
H	HDWD	HARDWOOD	V	VIF
H	HDWE	HARDWARE		
H	HM	HOLLOW METAL	W	WI
H	HORIZ	HORIZONTAL	W	W/O
H	HP	HIGH POINT	W	WC
H	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	W	WD
			W	WT
I	INFO	INFORMATION		
I	INSUL	INSULATION		
I	INT	INTERIOR		
J	JAN	JANITOR		
L	LAV	LAVATORY		
L	LB	POUND		
L	LP	LOW POINT		

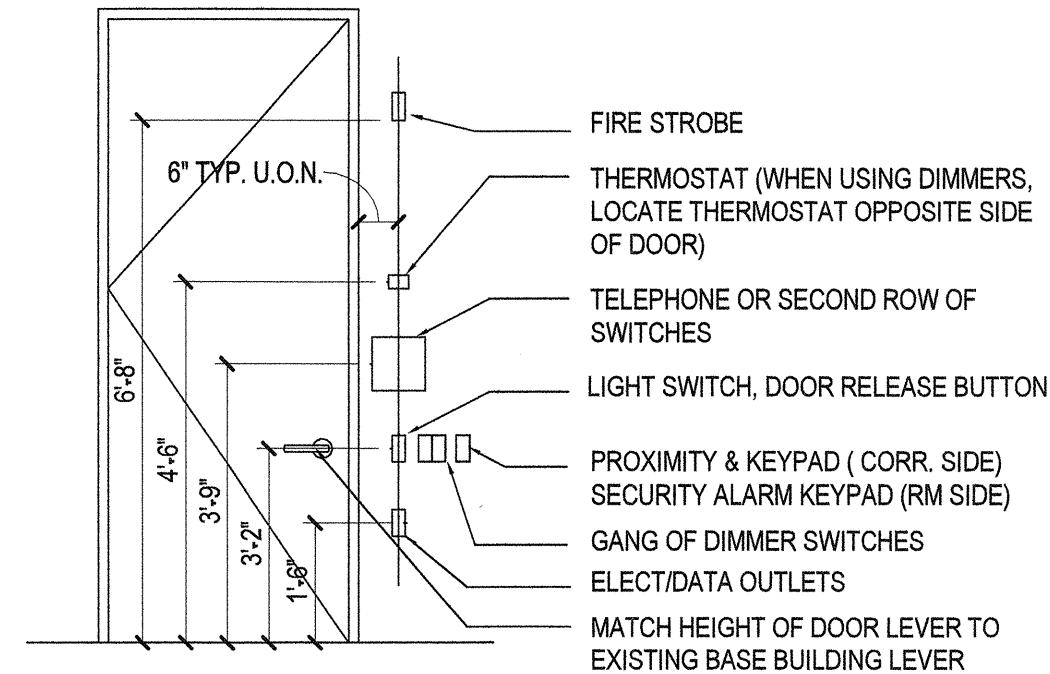


NOTE: CONTRACTOR TO COORDINATE LOCATION OF STUDS IN PARTITION TO ACHIEVE INTENT. PROVIDE ADDITIONAL STUDS/BRACING AS NEEDED. PROVIDE SOUNDLINERS AT DEVICE BACK BOXES WHERE DEVICES ARE LOCATED IN PARTITIONS WITH INSULATION.

NOTE: DIMENSIONS ARE TO CENTER LINE OF DEVICES, TYP. FIRE STROBE DIMENSION IS TO THE BOTTOM OF THE DEVICE.

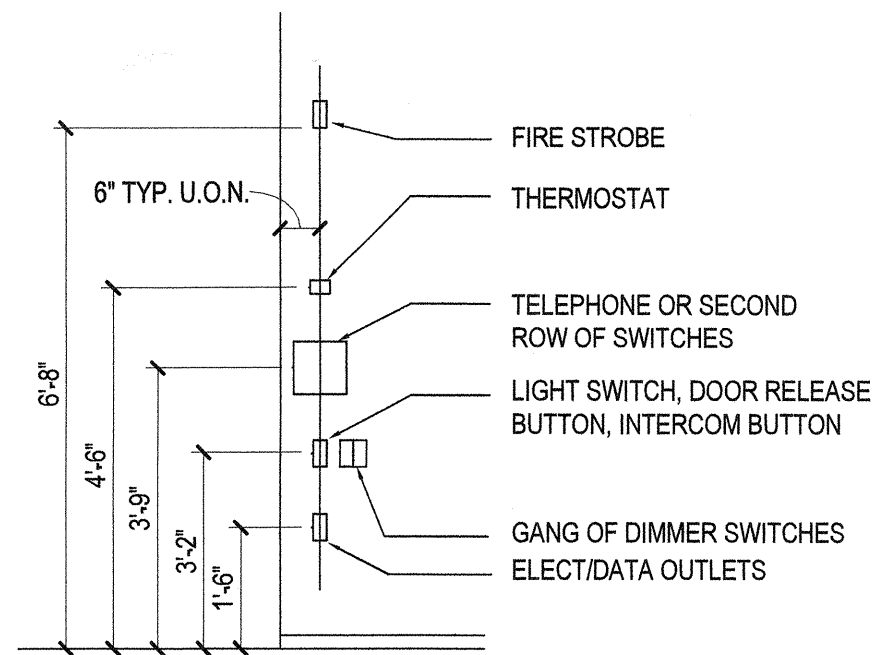
### 1 TYP. BACK TO BACK DEVICES

SCALE: 1 1/2" = 1'-0"



### 2 TYPICAL DEVICES @ DOOR

SCALE: 1 1/2" = 1'-0"



### 3 TYPICAL DEVICES @ EDGE CONDITION

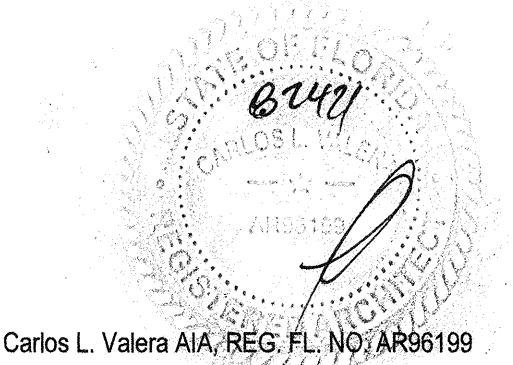
SCALE: 1 1/2" = 1'-0"

# VALERA RESIDENCE

837 Obispo Ave. Coral Gables, FL, 33134

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Seal / Signature



Carlos L. Valera AIA, REG. FL. NO. AR96199

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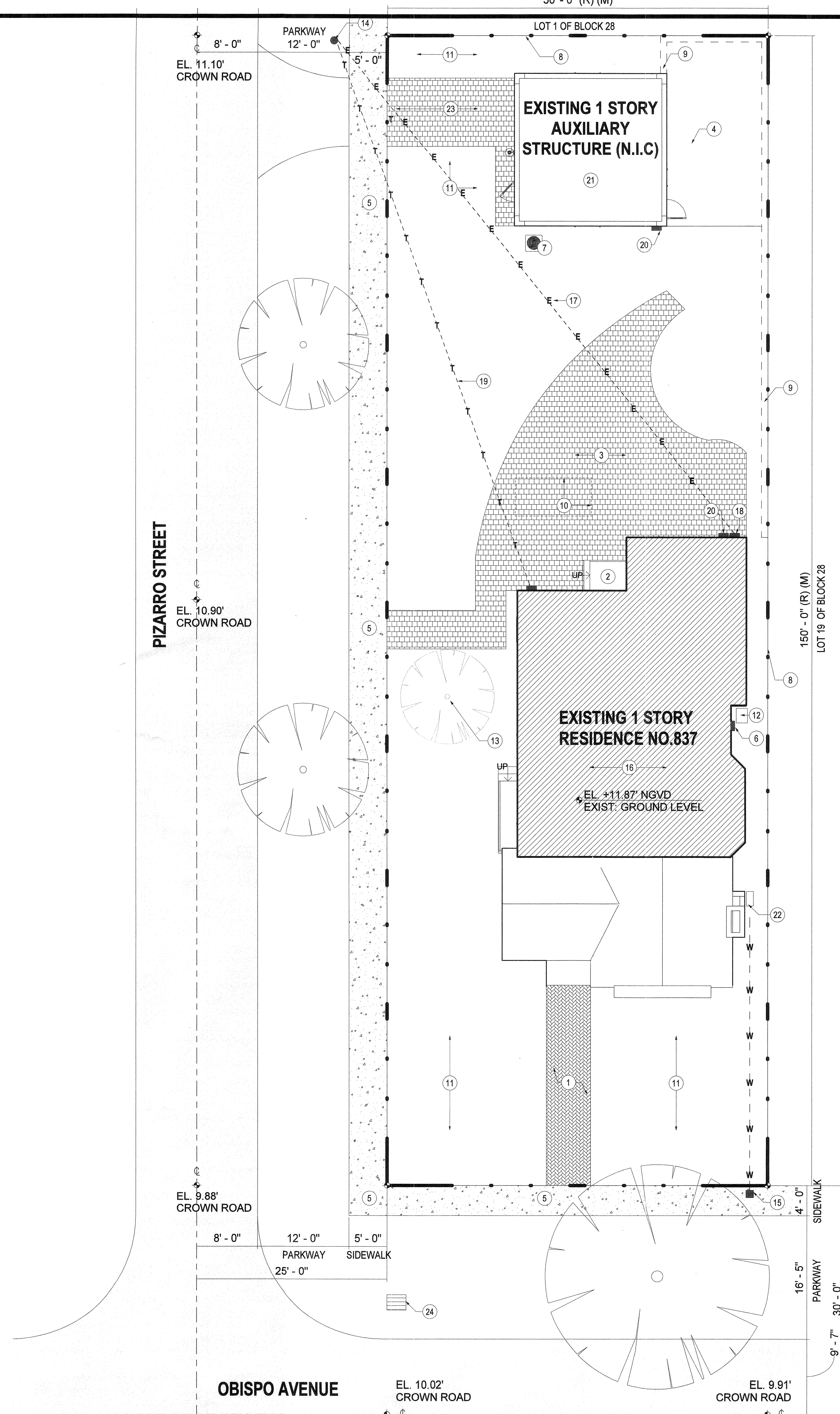
SYMBOLS, ABBREVIATIONS AND NOTES

Scale

1 1/2" = 1'-0"


G0.02






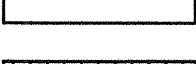
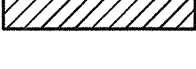

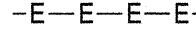
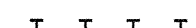

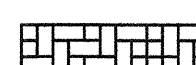


## SHEET NOTES

- |    |   |
|----|---|
| 1  | EXISTING CHICAGO BRICK TO REMAIN. SAVE AND REPAIR AS NECESSARY DUE TO NEW SEPTIC TANK WORK  |
| 2  | DEMO EXISTING CONCRETE LANDING, STEPS, AND HANDRAIL   |
| 3  | DEMO EXISTING CONCRETE PAVERS   |
| 4  | EXISTING GRAVEL TO REMAIN   |
| 5  | EXISTING SIDEWALK TO REMAIN   |
| 6  | EXISTING CRAWL ACCESS PANEL TO REMAIN   |
| 7  | EXISTING A/C CONDENSING UNIT TO REMAIN  |
| 8  | EXISTING CHAIN LINK FENCE TO REMAIN (TYP)   |
| 9  | EXISTING CBS WALL FENCE TO BE REMOVED   |
| 10 | APPROXIMATE LOCATION OF EXISTING SEPTIC TANK AND DRAIN FIELD TO BE REMOVED.   |
| 11 | LANDSCAPE AREA TO REMAIN (SOD)  |
| 12 | TRASH LOCATION TO REMAIN  |
| 13 | EXISTING GUMBO LIMBO TREE (9.6" DIAMETER) TO BE REMOVED   |
| 14 | EXISTING POWER POLE AND TV-NETWORK POLE   |
| 15 | EXISTING WATER METER LOCATION WITH WATER LINE   |
| 16 | NEW ADDITION AREA   |
| 17 | EXISTING ELECTRIC OVERHEAD SERVICE TO BE RELOCATED BY F.F.L   |
| 18 | EXISTING ELECTRIC METER   |
| 19 | EXISTING OVERHEAD NETWORK AND TV CABLES TO BE RELOCATED   |
| 20 | EXISTING ELECTRICAL PANEL TO BE RELOCATED   |
| 21 | EXISTING AUXILIARY STRUCTURE TO REMAIN. NOT IN SCOPE.   |
| 22 | EXISTING IRRIGATION SYSTEM PUMP LOCATION 7 EQUIPMENT TO REMAIN  |
| 23 | EXISTING CONCRETE PAVEMENT DRIVEWAY TO REMAIN. N.I.C. SAVE EXISTING MATERIAL AS NEEDED AND REPAIR DUE TO NEW UNDERGROUND SERVICES AS NEEDED |
| 24 | EXISTING CATCH BASIN  |

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## LEGEND

- |   |   |
|---|---|
|  | PROPERTY LINE                                   |
|  | EXISTING CMU FENCE TO REMAIN                    |
|  | SETBACK LINE                                    |
|  | INDICATES EXISTING BUILDING AREA TO REMAIN      |
|  | PROPOSED CONSTRUCTION AREA FOR NEW SECOND FLOOR |
|  | CHAIN-LINK FENCE                                |
|  | EXISTING OVERHEAD ELECTRIC LINE                 |
|  | EXISTING OVERHEAD TELEPHONE NETWORK LINE        |
|  | EXISTING WATER METER AND WATER LINE (V.I.F)     |
|  | INDICATES EXISTING CHICAGO BRICK TO REMAIN      |

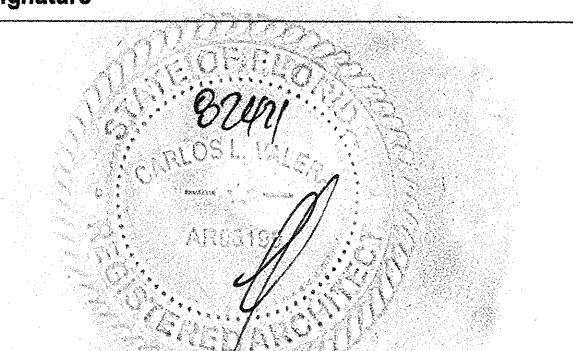
**TREE NOTE**

**TREE NOTE**  
EXISTING TREES THAT REMAIN  
WITHIN 20' - 0" OF ANY  
CONSTRUCTION SHALL BE  
PROTECTED AS FOLLOWS:  
- TREE WITH LESS THAN 18"  
DIAMETER SHALL BE PROTECTED  
WITH PLASTIC MESH BARRIER OF  
6' - 0" TO 8' - 0" AROUND IT.  
- TREE WITH 18" DIAMETER OR  
GREATER SHALL BE PROTECTED  
WITH PLASTIC MESH BARRIER OF  
10' - 0" TO 12' - 0" AROUND IT.

# VALERA RESIDENCE

837 Obispo Ave. Coral Gables. FL, 33134

Seal / Signature



Carlos L. Valera AIA, REG. FL. NO. AR96199

Project Name

## Remodeling & Addition

Project Number

ID	Description	Status	Priority	Assignee	Due Date	Created At	Updated At
1	Task 1	Open	High	John	2023-10-25	2023-10-25	2023-10-25
2	Task 2	Open	Medium	John	2023-10-25	2023-10-25	2023-10-25
3	Task 3	Open	Low	John	2023-10-25	2023-10-25	2023-10-25
4	Task 4	Open	High	John	2023-10-25	2023-10-25	2023-10-25
5	Task 5	Open	Medium	John	2023-10-25	2023-10-25	2023-10-25
6	Task 6	Open	Low	John	2023-10-25	2023-10-25	2023-10-25
7	Task 7	Open	High	John	2023-10-25	2023-10-25	2023-10-25
8	Task 8	Open	Medium	John	2023-10-25	2023-10-25	2023-10-25
9	Task 9	Open	Low	John	2023-10-25	2023-10-25	2023-10-25
10	Task 10	Open	High	John	2023-10-25	2023-10-25	2023-10-25

DEMOLITION SITE PLAN

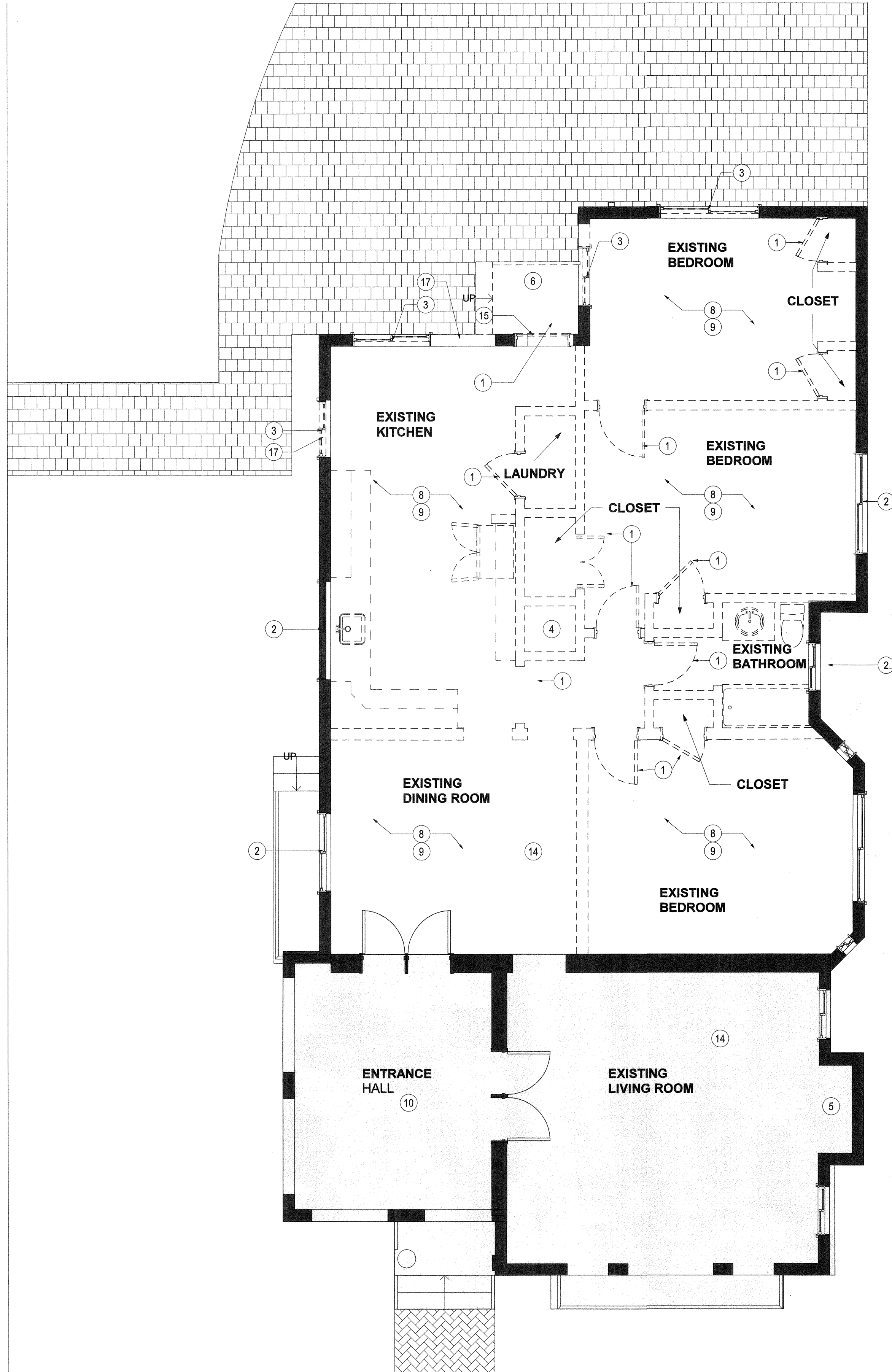
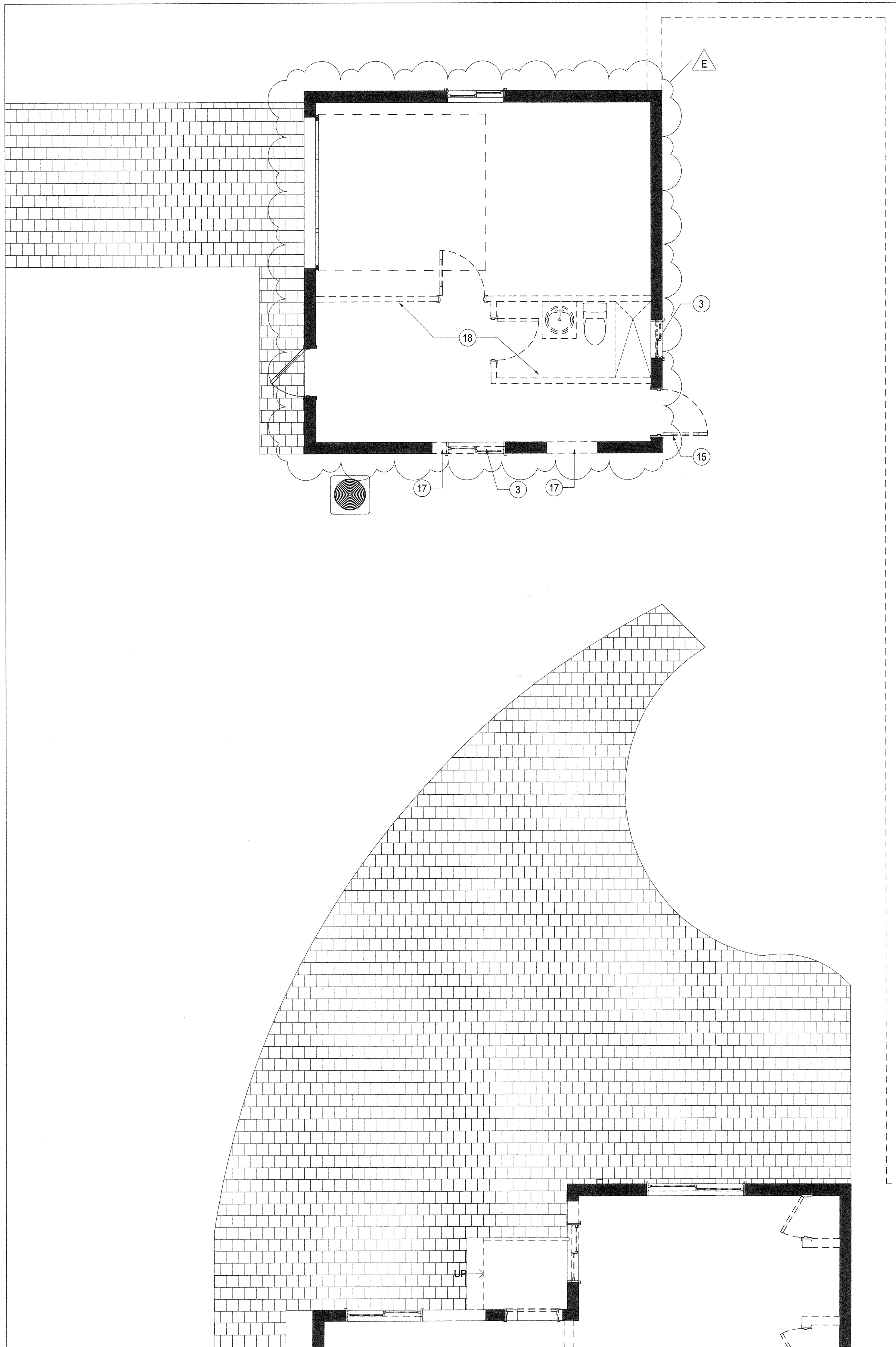
Scale

As indicated

Ref North

**A0.00**





## SHEET NOTES

- 1 EXISTING DOOR TO BE REMOVED
- 2 EXISTING WINDOW TO BE REMAIN
- 3 EXISTING WINDOW TO BE REMOVED
- 4 EXISTING A/C CONDENSING UNIT TO BE RELOCATED
- 5 EXISTING FIREPLACE TO REMAIN
- 6 REMOVE EXISTING CONCRETE SLAB, STEPS, AND RAILS
- 7 REMOVE EXISTING WINDOW AND REMOVE PORTION OF ADJACENT CMU WALL AS REQUIRED FOR THE NEW MASONRY REINFORCEMENT
- 8 FLOOR WOOD JOISTS TO REMAIN. REPAIR AS NEEDED
- 9 REMOVE EXISTING WOOD DECKING
- 10 EXISTING CUBAN TILE ON CONCRETE SLAB TO REMAIN
- 11 LINE OF FOOTING WALL TO REMAIN (EXISTING FLOOR WOOD JOISTS SUPPORT TO REMAIN)
- 12 CUT AND REMOVE EXISTING CMU WALL AS REQUIRED FOR NEW TIE COLUMN
- 13 CUT 8" X 8" EXISTING CMU WALL FOR NEW REINFORCE
- 14 REMOVE EXISTING FLOOR AND SUB-FLOOR
- 15 REMOVE EXISTING DOOR. SAFE FOR RE-USE
- 17 DEMO FOR NEW OPENING TO BE COORDINATED WITH NEW WINDOW / DOOR. SEE ELEVATIONS AND CONSTRUCTION PLANS
- 18 EXISTING WALLS, DOORS AND BATHROOM TO BE DEMOLISHED

## VALERA RESIDENCE

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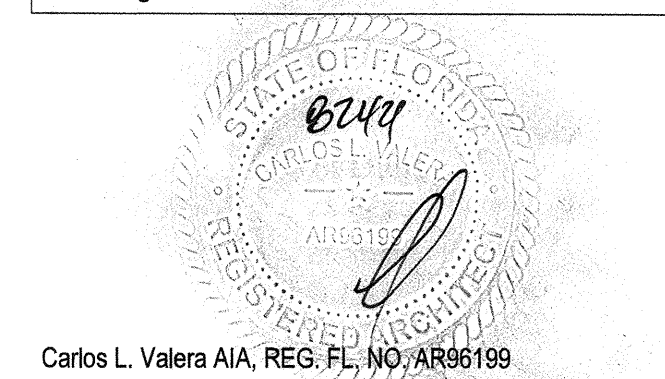
## GENERAL NOTES

A. G.C. TO CHECK AND REPLACE ALL DAMAGED FLOOR WOOD JOISTS, FLOOR WOOD RAFTERS, WOOD FRAMING AND TOUNCUTE & GROOVE ROOF

## DEMOLITION LEGEND

- PROPERTY LINE
- EXISTING CMU FENCE TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- REMOVE EXISTING DOOR AND FRAME

Seal / Signature



Carlos L. Valera AIA, REG. FL. NO. AR96199

Project Name

Remodeling & Addition

Project Number

Description

DEMOLITION GROUND FLOOR PLAN

Scale

As indicated

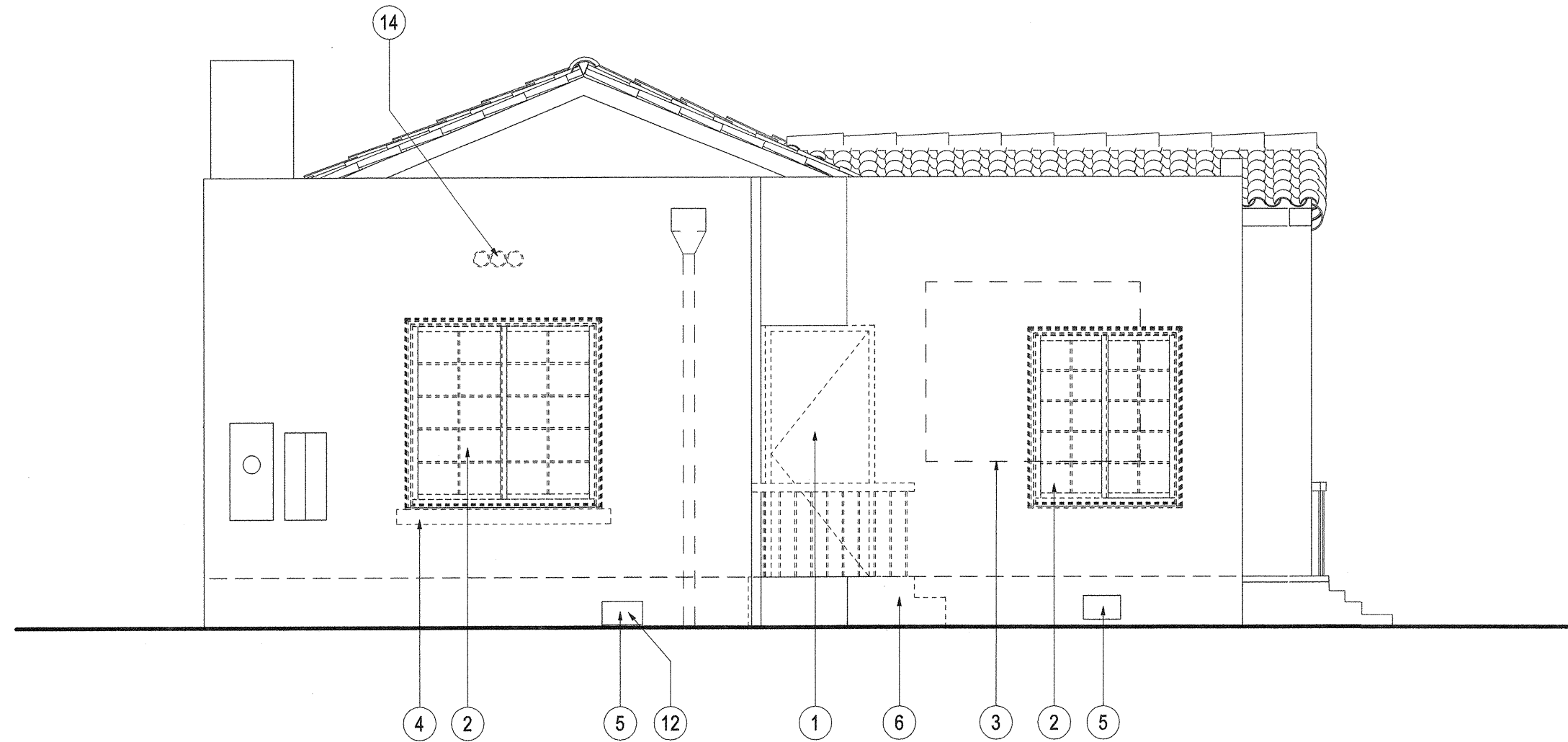
Ref North



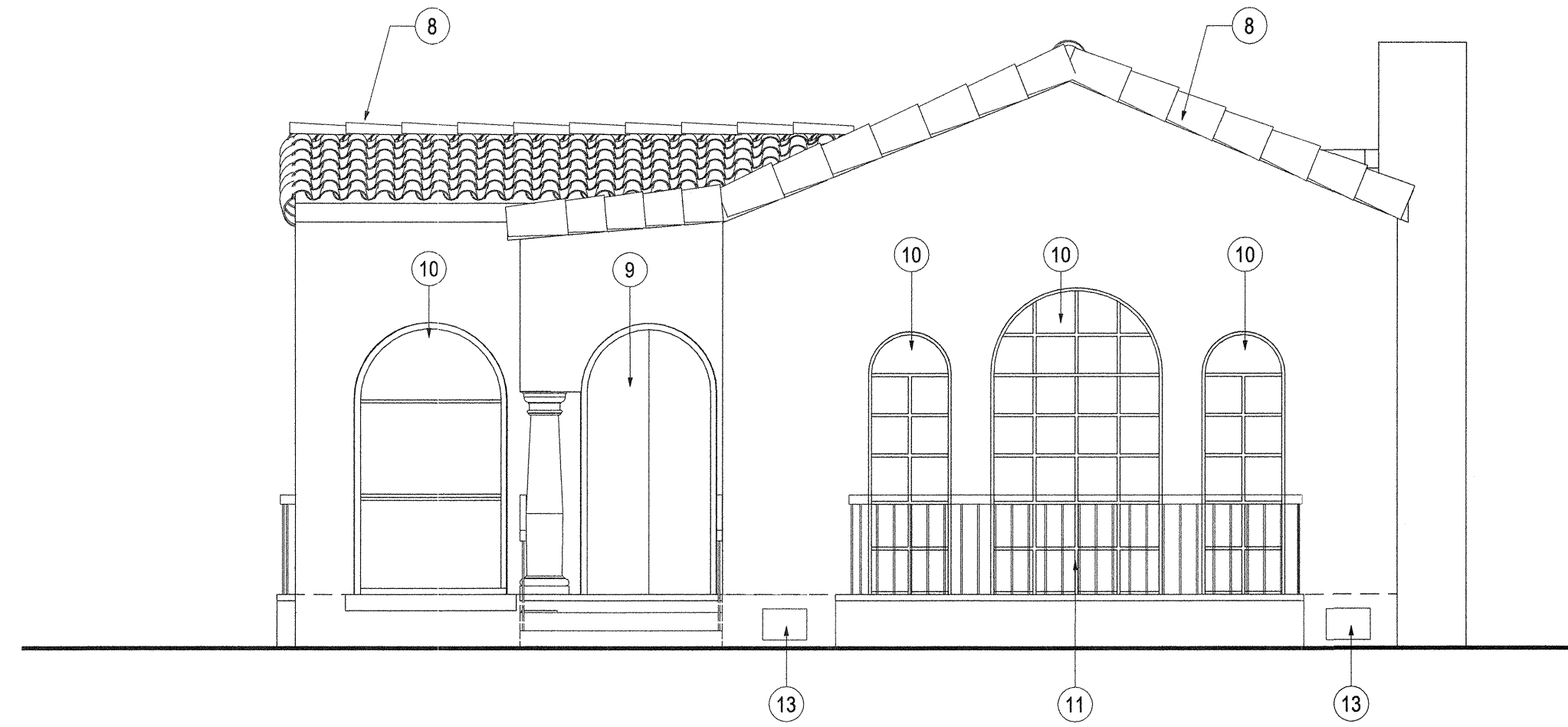
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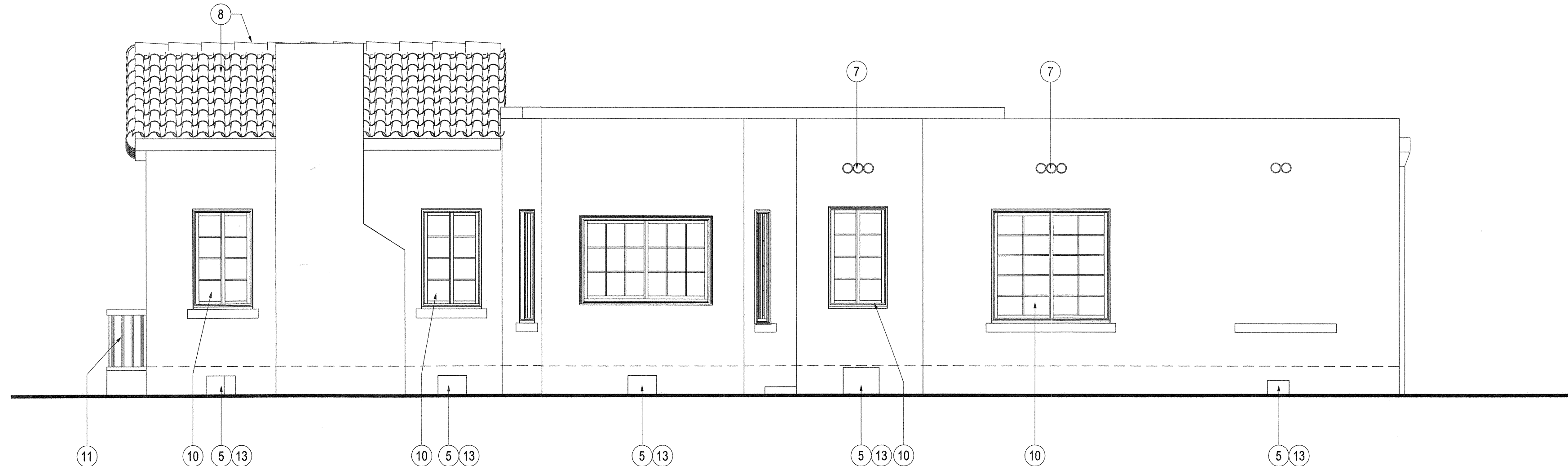
8/22/2021 2:06:38 PM E:\August 20th 2021\Portal\12 Personal\Assess\Real Estate\837 Obispo\Castilla 2020 - H.rvt



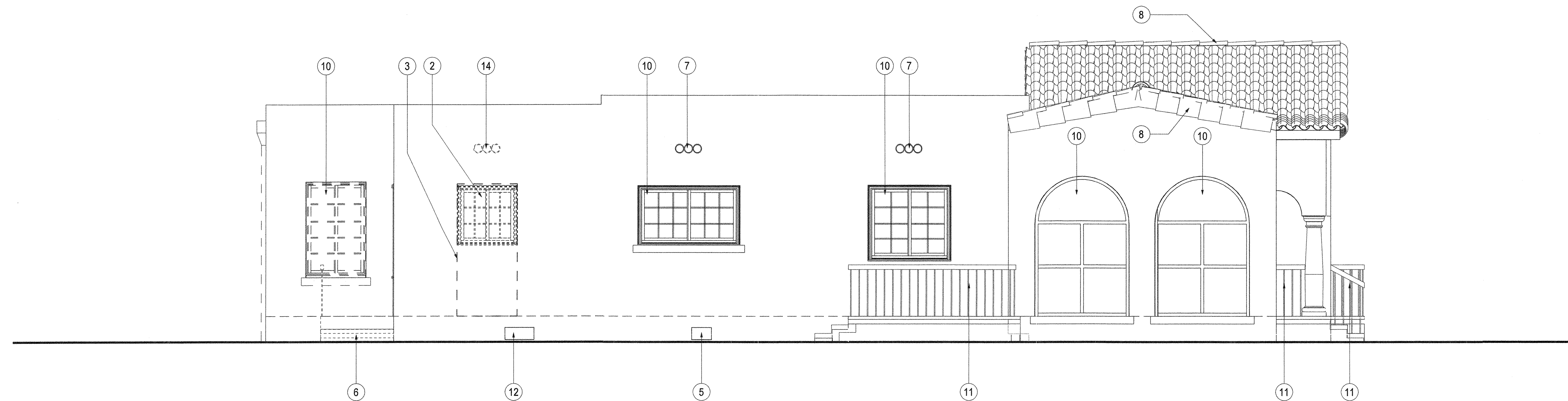
2 EXISTING NORTH ELEVATION - BACK YARD  
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION - OBISPO AVE  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION - SIDE  
SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION - PIZARRO STREET  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

- 1 REMOVE EXISTING DOOR
- 2 REMOVE EXISTING WINDOW
- 3 REMOVE EXISTING WALL AREA. RE NEW CONSTRUCTION PLANS AND NEW ELEVATIONS
- 4 REMOVE EXISTING CONCRETE MOLDING AROUND OPENING
- 5 REMOVE EXISTING CRAWL VENT COVER.
- 6 REMOVE EXISTING LANDING, STEPS, AND RAILINGS
- 7 EXISTING SPANISH CLAY VENT TUBES TO REMAIN
- 8 EXISTING SPANISH ROOF TILE TO REMAIN
- 9 EXISTING DOOR TO REMAIN
- 10 EXISTING WINDOW TO REMAIN
- 11 EXISTING RAILING TO REMAIN
- 12 EXISTING CRAWL VENT TO BE RELOCATED
- 13 EXISTING CRAWL VENT TO REMAIN. REMOVE COVER.
- 14 EXISTING SPANISH CLAY VENT TUBES TO BE REMOVED AND RELOCATED AT THE CENTER OF NEW DOOR. RE. CONSTRUCTION PLANS AND NEW ELEVATIONS

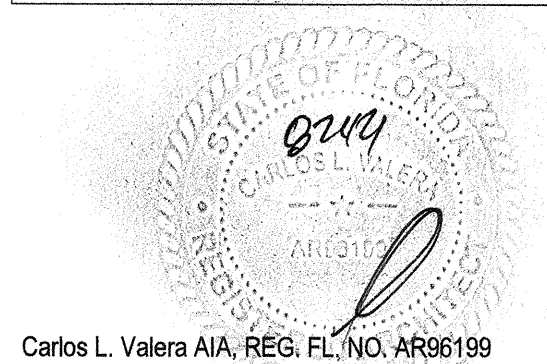
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## GENERAL NOTES

Seal / Signature



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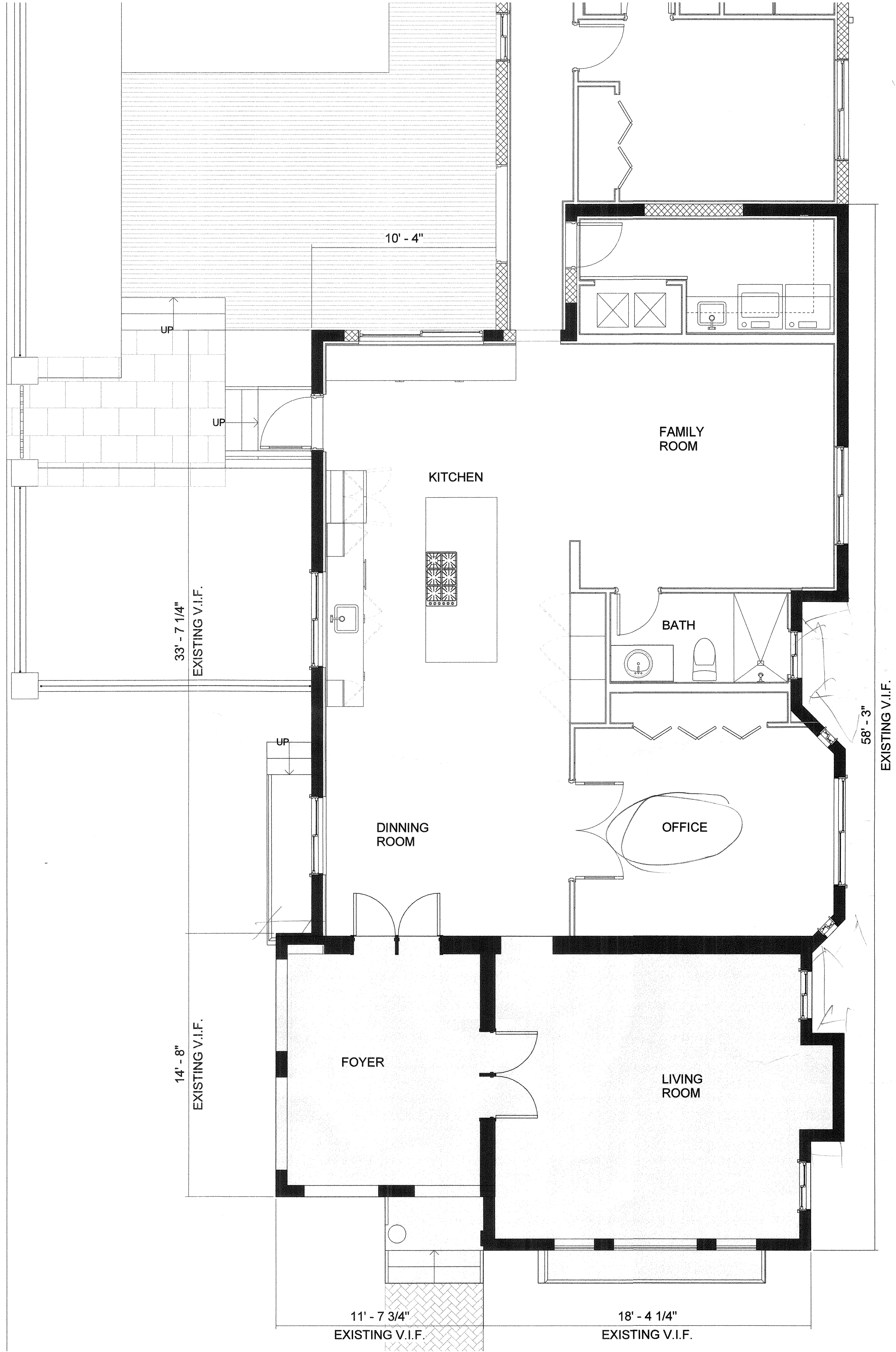
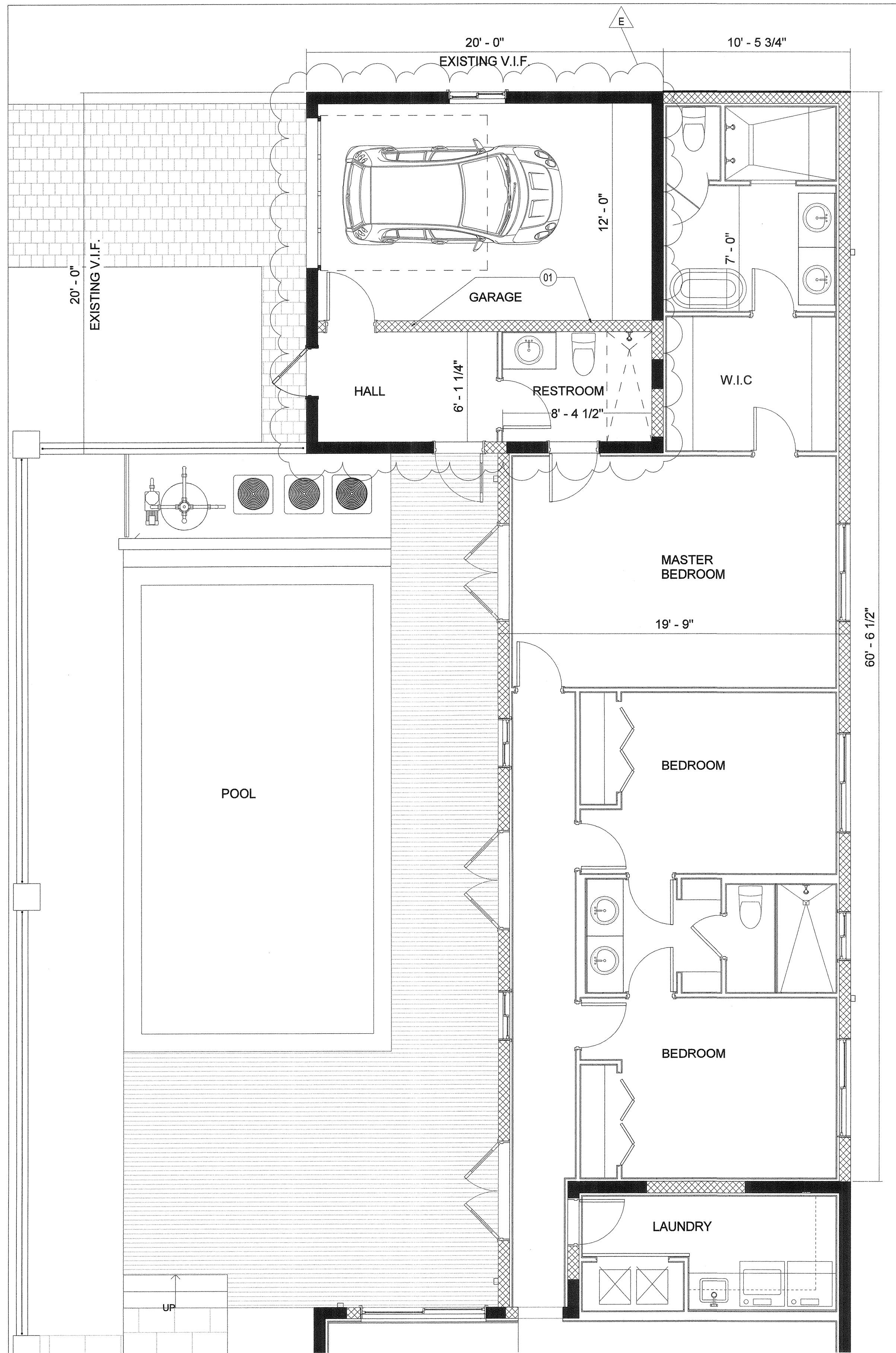
EXISTING ELEVATIONS

Scale

1/4" = 1'-0"

A0.03





## SHEET NOTES

01 NEW MASONRY WALL CONSTRUCTION TO SEPARATE LIVING AREA FROM THE GARAGE

# VALERA RESIDENCE

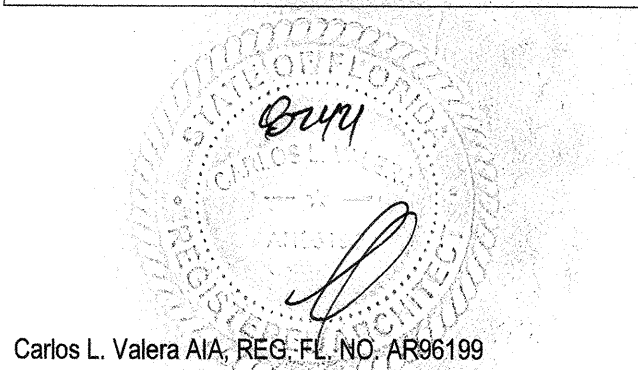
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## GENERAL NOTES

- AREAS TONED IN GRAY ARE NOT IN CONTRACT.
- REFER TO SHEET G0.102 FOR SYMBOLS.
- REFER TO SHEETS G0.501 AND G0.502 FOR PARTITION TYPES. REFER TO SHEETS G0.410 FOR DOOR, FRAME & HARDWARE GROUP SCHEDULE, DOOR TYPES AND DOOR HARDWARE GROUPS.
- ALL PARTITION TYPES TO BE 'A2X' U.N.O.
- MAINTAIN 4" CLEARANCE BETWEEN EDGE OF DOOR FRAME & INTERSECTING PARTITION, U.N.O.
- DIMENSIONS AND ALIGNMENTS ARE FROM FACE OF FINISH TO FACE OF FINISH. PROVIDE FURRING AS NECESSARY TO ACHIEVE ALIGNMENTS SHOWN.
- VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." DURING LAYOUT OF WORK. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
- PROVIDE MIN. FURRING @ ALL EXPOSED COLUMNS & BUILDING CORE WALL AS REQ. TO COVER EXPOSED CONCRETE, U.N.O.
- COORDINATE ALL WORK AT PERIMETER CONDITIONS TO INSTALL WITHOUT MECH. FASTENERS. DO NOT DEFACE/PENETRATE/DAMAGE ANY BASE BUILDING MATERIALS. REFER TO DETAIL 13/G0.502 FOR TYPICAL CONDITIONS OF NEW PARTITION AT EXIST. PERIMETER MULLION.
- PROVIDE BLOCKING IN ALL PARTITIONS TO ACCOMMODATE MILLWORK INSTALLATIONS & OTHER WALL & CEILING HUNG ELEMENTS AS REQUIRED. REFER TO FURNITURE PLANS TO COORDINATE LOCATION OF OVERHEAD UNITS.
- REFER TO ELEVATIONS FOR PARTITION HEIGHTS & ADDITIONAL DIMENSIONS.
- AT ALL NEW PARTITIONS ADJACENT TO EXISTING WALLS, PATCH & REPAIR EXIST. AS REQUIRED. PREPARE SURFACES FOR NEW FINISH. TAPE, SPACKLE & SAND ALL JOINTS. NO JOINTS VISIBLE @ NEW / EXISTING WALL LOCATIONS.
- AT ALL EXIST. PARTITIONS TO REMAIN: PATCH & REPAIR PARTITION AS REQUIRED. PREPARE SURFACE FOR NEW FINISH.
- PROVIDE MOISTURE AND MOLD RESISTANT TYPE GYP. BD. AT ALL WET AREAS SCHEDULED.
- FIRESAFE ALL FLOOR OPENINGS TO MEET PROPER FIRE RATING AT STRUCTURAL FLOORS. MAINTAIN FIRE RATING WHERE PENETRATIONS OCCUR AT RATED ASSEMBLIES.
- OFFICE FRONTS TO BE DEMOUNTABLE SYSTEM.
- PROVIDE WATER PROOFING ON FLOOR 9 18" UP WALL. PUT ON POTENTIAL WET AREAS.

Seal / Signature



Project Name

Remodeling & Addition

Project Number

Description

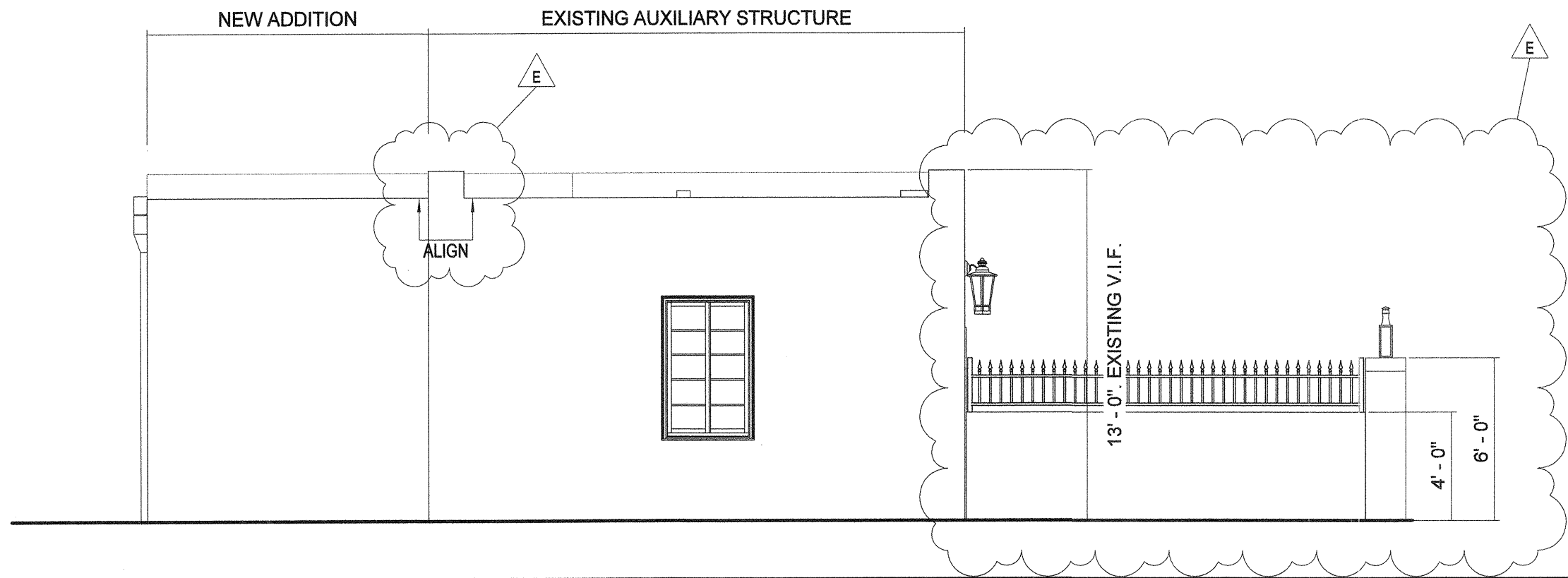
GROUND FLOOR PLAN

Scale

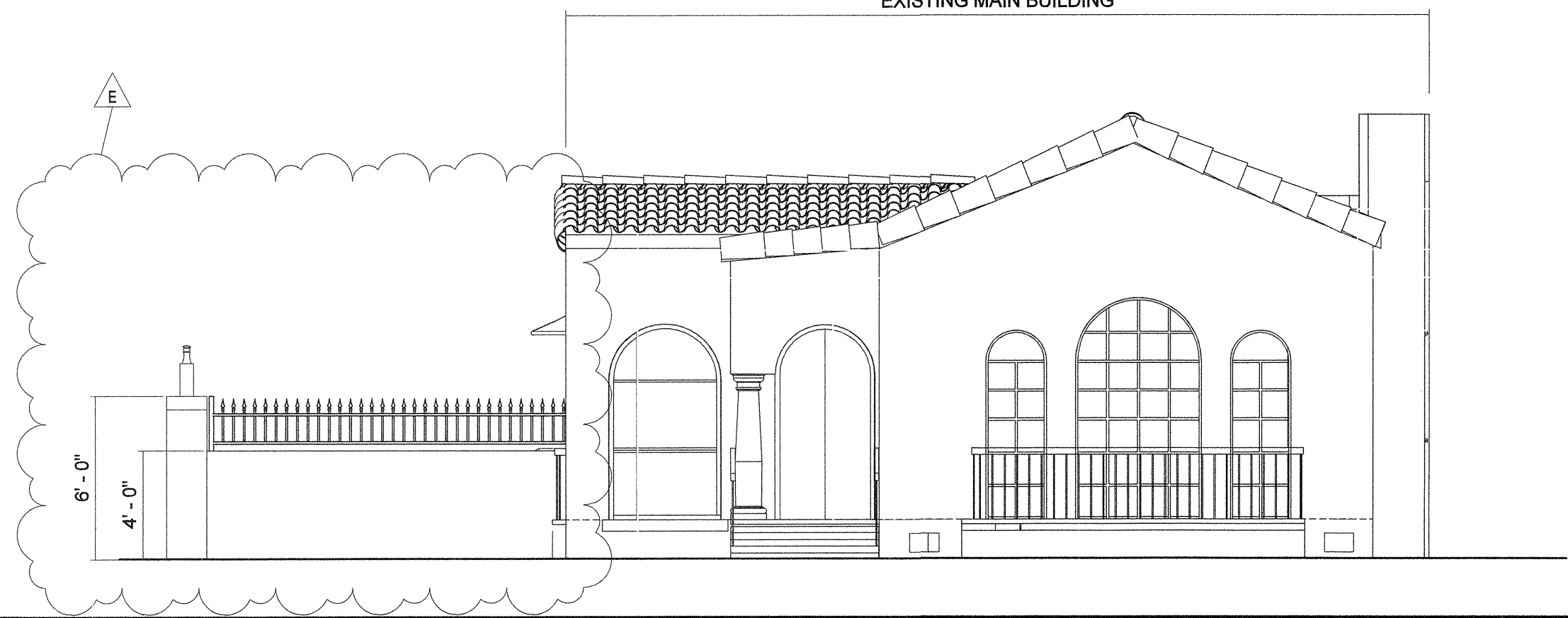
1/4" = 1'-0"

A1.01

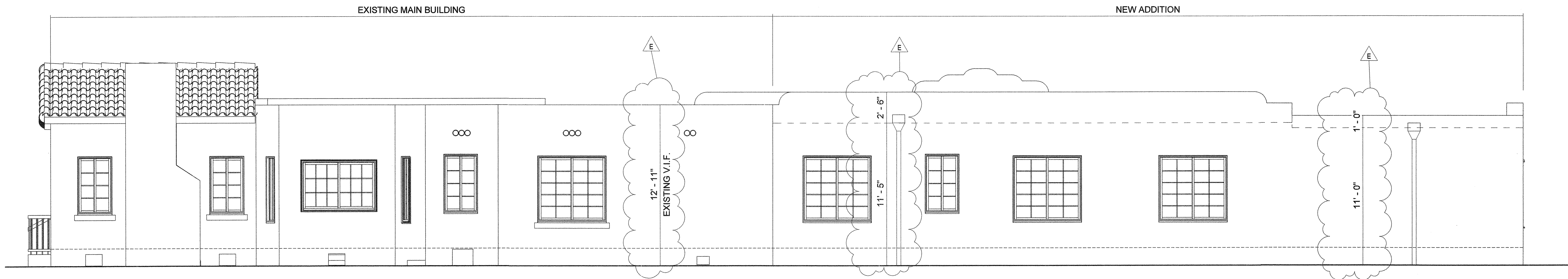




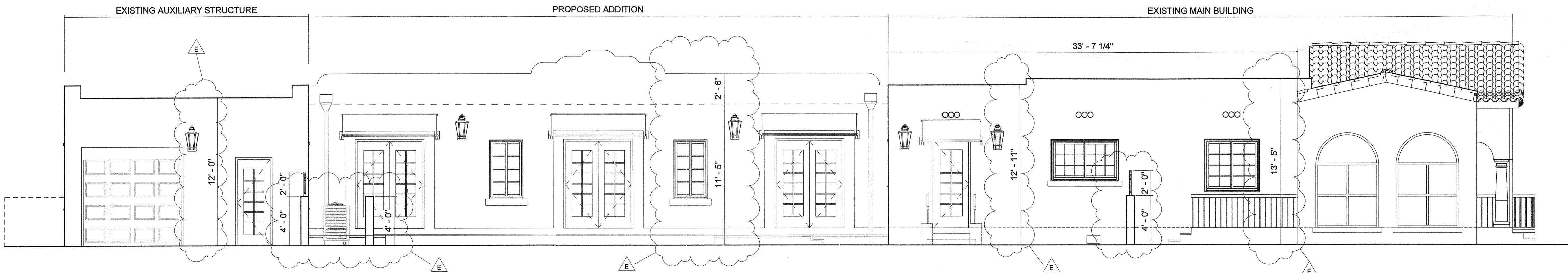
5 NEW NORTH ELEVATION - REAR  
SCALE: 1/4" = 1'-0"



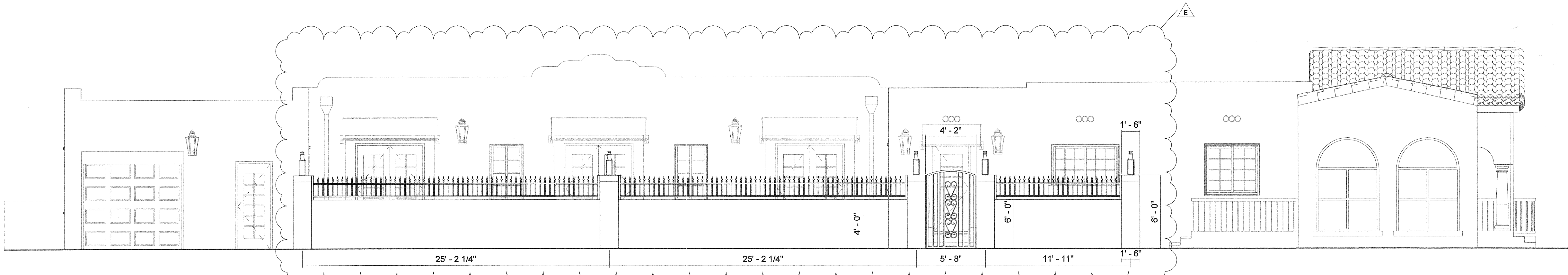
4 NEW SOUTH ELEVATION - OBISPO AVE  
SCALE: 1/4" = 1'-0"



3 NEW EAST ELEVATION - SIDE  
SCALE: 1/4" = 1'-0"



2 NEW WEST ELEVATION - PIZARRO STREET  
SCALE: 1/4" = 1'-0"



1 NEW PIZARRO ST ELEVATION - FENCE / COLUMN ELEVATION  
SCALE: 1/4" = 1'-0"

Date	Description
A 08/01/2020	HISTORICAL RESOURCES PRELIMINARY REVIEW
C 10/13/2020	HISTORICAL RESOURCES 3RD REVIEW
D 10/23/2020	PRELIMINARY BOARD OF ARCHITECTS REVIEW
E 9/24/2021	ZONING COMMENTS

Seal / Signature

Carlos L. Valera AIA, REG. FL. NO. AR86199

Project Name

Remodeling & Addition

Project Number

Description

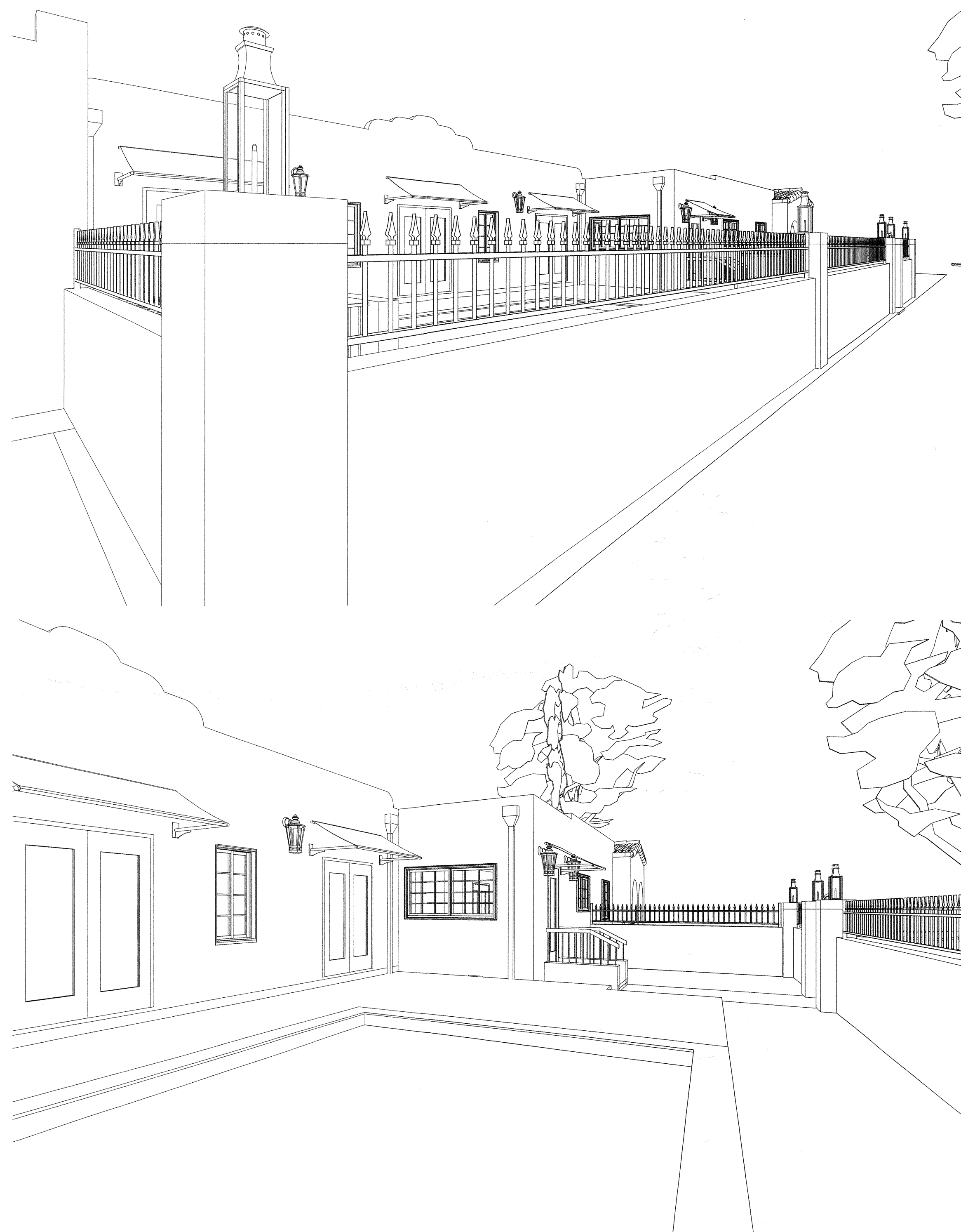
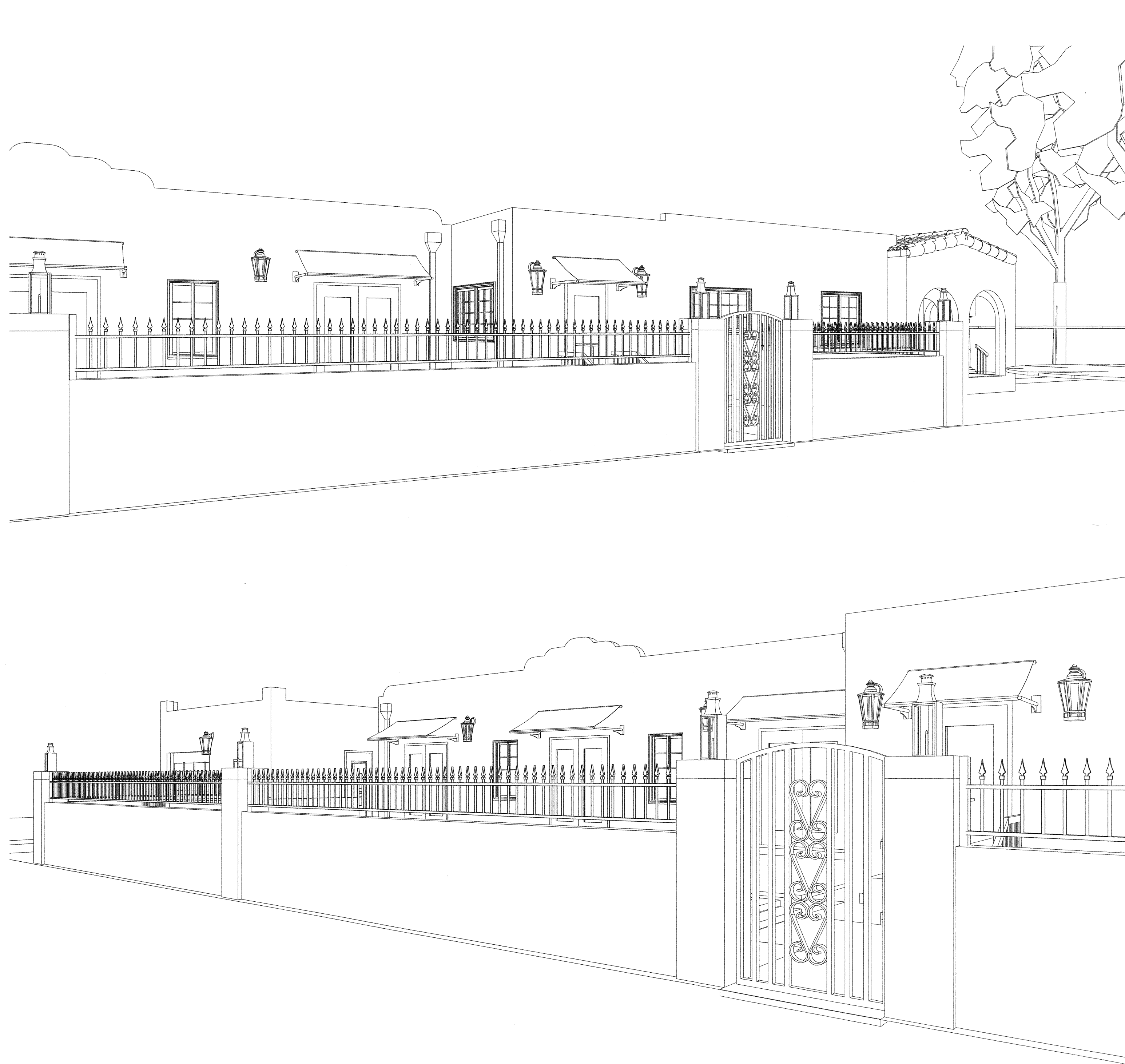
NEW ELEVATIONS

Scale

1/4" = 1'-0"

A3.01



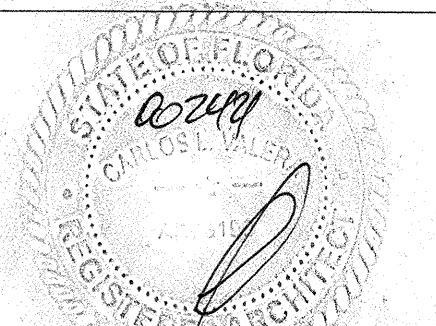


# VALERA RESIDENCE

837 Obispo Ave. Coral Gables, FL, 33134

△ Date	Description
A 09/01/2020	HISTORICAL RESOURCES PRELIMINARY REVIEW
C 10/13/2020	HISTORICAL RESOURCES 3RD REVIEW
D 10/23/2020	PRELIMINARY BOARD OF ARCHITECTS REVIEW
E 8/24/2021	ZONING COMMENTS

Seal / Signature



Carlos L. Valera AIA, REG. FL. NO. AR96199

Project Name

Remodeling & Addition

Project Number

Description

EXTERIOR PERSPECTIVES

Scale

A3.02