

TOWNHOMES
ON
VALENCIA

CORAL GABLES CITY COMMISSION

February 9, 2016



City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: _____

General information

Street address of the subject property: 444 Valencia Ave.

Property/project name: Townhomes on Valencia Phase II

Legal description: Lot(s) 1-4

Block(s) 15 Section(s) Coral Gables Biltmore Section

Property owner(s): 444 Valencia Avenue, Inc.

Property owner(s) mailing address: 733 Biltmore Way Coral Gables, Fla. 33134

Telephone: Business _____ Fax _____

Other _____ Email _____ @ _____



City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Guilford & Associates, P.A.

Applicant(s)/agent(s) mailing address: 400 University Drive #201 Coral Gables, Fla. 33134

Telephone: Business 305-446-8411 Fax 305-445-0563

Other _____ Email zguilford @ guilfordassoc.com

Property information

Current land use classification(s): Residential Multi-Family Low Density

Current zoning classification(s): Multi-Family Special Area District

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



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- Property owners list, notification radius map and two sets of labels.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Warranty Deed.
- Other: _____

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



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5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

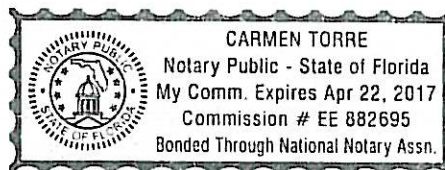
Property owner(s) signature(s): <i>HHH VALENCIA DRIVE INC. BY: F. MENENDEZ</i>	Property owner(s) print name: <i>FERNANDO F. MENENDEZ</i>
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

Address:
733 Biltmore Way, Coral Gables, Fla. 33134

Telephone: Fax: Email:

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
The foregoing instrument was acknowledged before me this 31 day of March by Fernando F. Menendez
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public) *Carmen Torre*
 Personally Known OR Produced Identification; Type of Identification Produced _____



City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:
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NOTARIZATION

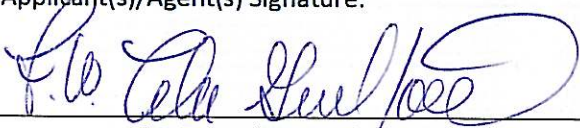
STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this _____ day of _____ by _____

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: F.W. ZERK GUILFORD
---	---

Address: 400 University Drive
Suite 201
Coral Gables, Fla. 33134

Telephone: 305-446-8411	Fax: 305-445-0563	Email: zguilford@guilfordassoc.com
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NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this _____ day of _____ by _____

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Guilford & Associates, P.A.
Attorneys at Law

F.W. ZEKE GUILFORD
E-MAIL: ZGUILFORD@GUILFORDASSOC.COM

400 UNIVERSITY DRIVE
SUITE 201
CORAL GABLES, FLORIDA 33134
TEL (305) 446-8411
FAX (305) 445-0563

April 14, 2015

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way
Coral Gables, FL 33134

Re: 444 Valencia Avenue / Re-plat of Property

Dear Mr. Trias:

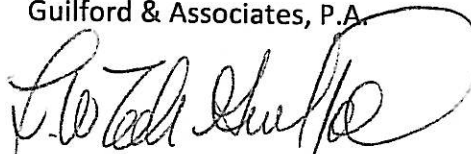
This firm represents 444 Valencia Avenue, Inc., the owner of property located at 444 Valencia Avenue regarding an application to re-plat the property.

The property is currently platted at four lots (Lots 1-4), with three lots being 25 feet in width and the corner lot being approximately thirty feet in the front and thirty three in the rear. We are proposing a minor re-plat of the property reducing the width of the interior lots by less than a foot and increasing the width of the corner lot to thirty five feet.

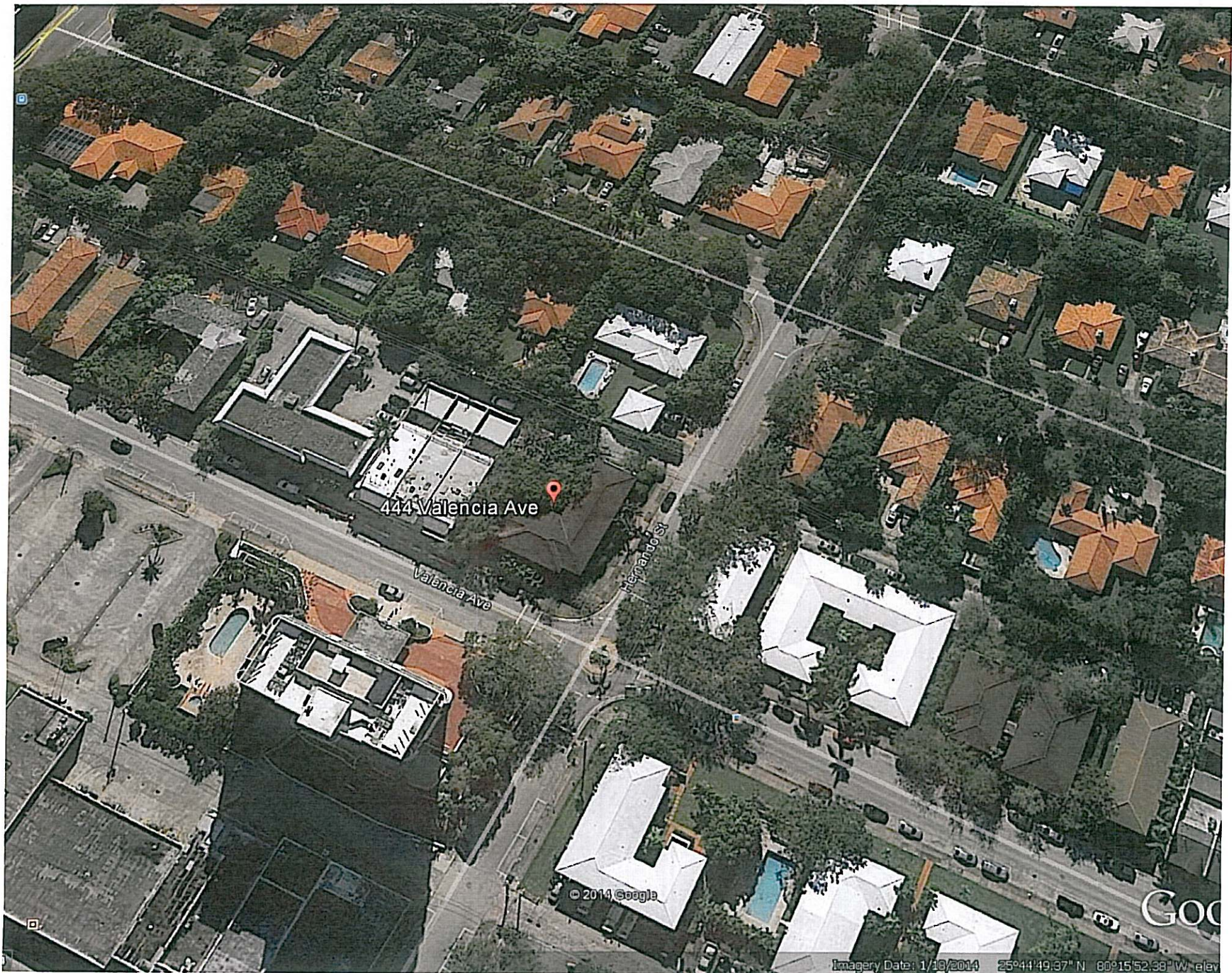
The reason for this request is to allow the developer to sell the proposed townhouses as fee simple units rather than requiring the formation of a condominium for the townhouses. The developer has found that buyer prefer the fee simple ownership. Furthermore, due to the setbacks, it will allow the corner lot to have an adequately sized unit constructed upon it.

If you have any questions or need any additional information, please do not hesitate to contact me.

Very sincerely,
Guilford & Associates, P.A.



F.W. Zeke Guilford, Esq.



444 Valencia Ave

Valencia Ave

Hernando St

© 2014 Google

GOO

Imagery Date: 1/18/2014 25°44'49.37" N 80°15'52.38" W elev



Project Site: view from Valencia Avenue looking west



Project Site: view from Valencia Avenue



Project Site: view from Hernando Street



Project Site: view from Hernando Street



444 Valencia: aerial view



Project Site: view from alley

DRC Submittal: Project Site Photo's
Property: 444 Valencia Avenue
Coral Gables, FL 33146

December 22, 2014

 **LOCUS**
ARCHITECTURE
INCORPORATED



Apartment building across the street: west of property



438 Valencia: neighbor to east side



Neighbor to rear (south side single family residence)



Apartment building across the street: northwest of property



444 Valencia: project site aerial view



441 Valencia: Apartment building across the street

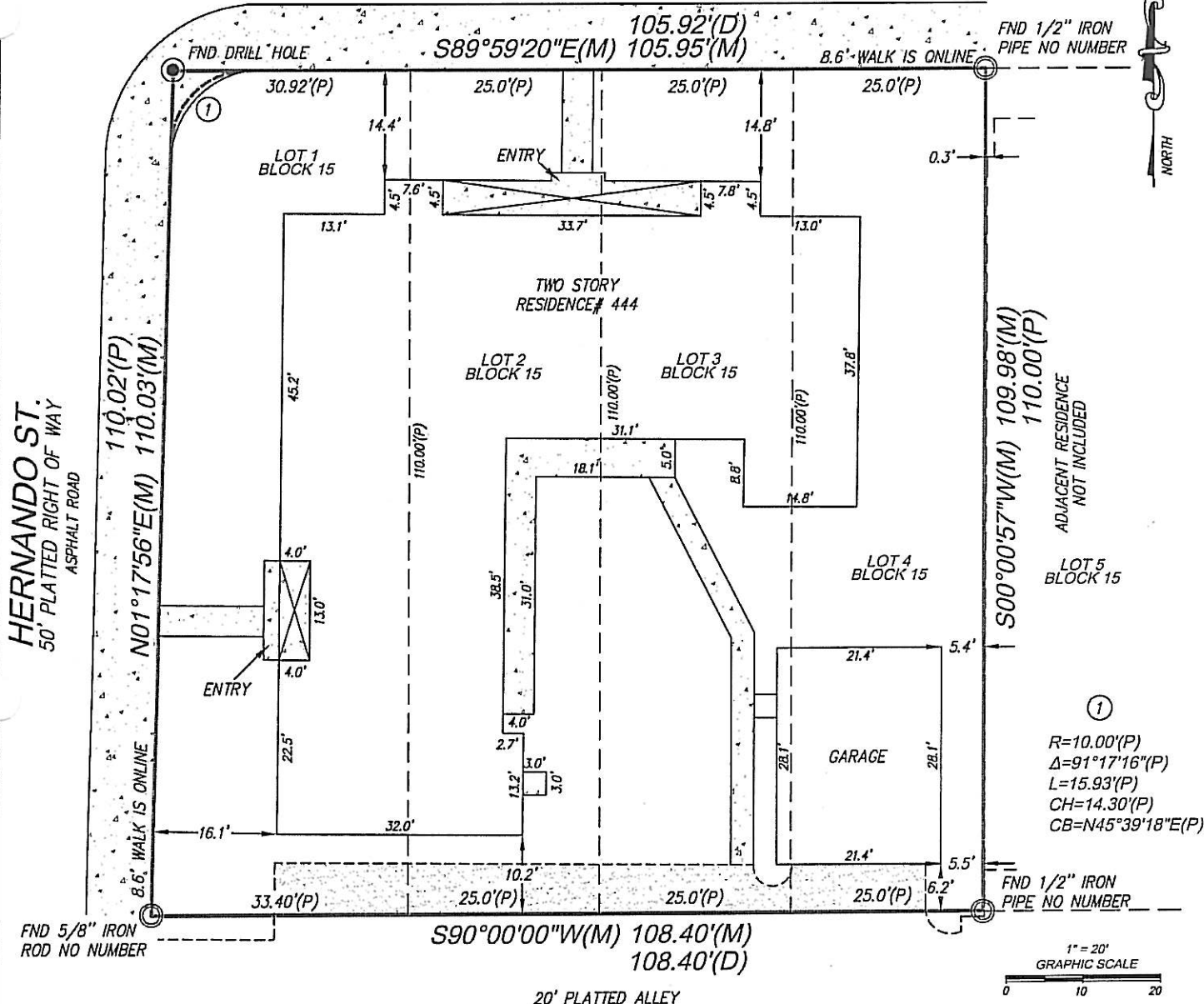
DRC Submittal: Context Photo's
Property: 444 Valencia Avenue
Coral Gables, FL 33146

December 22, 2014






BOUNDARY SURVEY

VALENCIA AVE.
60' PLATTED RIGHT OF WAY
ASPHALT ROAD



①
 $R=10.00'(P)$
 $\Delta=91^{\circ}17'16''(P)$
 $L=15.93'(P)$
 $CH=14.30'(P)$
 $CB=N45^{\circ}39'18''E(P)$

NOTE: BOUNDARY SHOWN HEREON IS BASED ON FOUND MONUMENTATION ON THE FIELD.

-  = CONCRETE
-  = ASPHALT
-  = BRICK

ADDRESS
 444 VALENCIA AVENUE
 CORAL GABLES, FLORIDA 33134
LEGAL DESCRIPTION: (AS FURNISHED)

LOTS 1,2,3,4, BLOCK 15, CORAL GABLES BILTMORE SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE(S) 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE REAR LINE OF LOTS 1-4, BLOCK 15, BEING $S 90^{\circ}00'00'' W$, ASSUMED

CONTROLLING MONUMENTS: THE CONTROLLING MONUMENTS ARE A 1/2" IRF FOR THE SE CORNER AND A 5/8" IRF FOR THE SW CORNER OF LOTS 1-4, BLOCK 15

APPARENT PHYSICAL USE: NONE

RLS #:	R:14-09-0233
CLIENT #:	1312-015
FIELD DATE:	09/16/14
DRAFTER:	SDS
APPROVED:	BRD
SCALE:	1" = 20'

RESIDENTIAL LAND SERVICES

3550 W. Robinson Street, Third Floor
 Norman, Oklahoma 73072
 Main Office Phone No.: 405-253-2444
 www.rlsnow.com



SURVEYOR FILE NUMBER: 14-09-0128
 THE SURVEYING COMPANY:

U.E.: UTILITY EASEMENT
 A/C: AIR CONDITIONER

LEGEND

P.U.E.: PUBLIC UTILITY EASEMENT
 O.U.L.: OVERHEAD UTILITY LINE

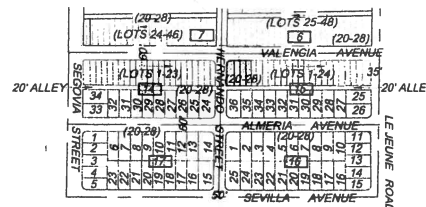
SURVEYOR'S CERTIFICATE

TOWN HOUSE ON VALENCIA

BEING A REPLAT OF LOTS 1,2,3 AND 4 BLOCK 15 OF CORAL GABLES BILTMORE SECTION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SITUATED IN THE NORTHWEST ¼ OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

PREPARED BY:
LANNES & GARCIA, INC.
PROFESSIONAL SURVEYING AND MAPPING
385 ALHAMBRA CIRCLE, SUITE C, CORAL GABLES, FLORIDA 33134

"TOWN HOUSE ON VALENCIA"



LOCATION MAP

SCALE 1" = 300'

LYING IN THE NORTHWEST ¼ OF SECTION 17,
TOWNSHIP 54 SOUTH, RANGE 41 EAST,

KNOW ALL MEN BY THESE PRESENTS:

THAT 444 VALENCIA LLC., AND JENNY DUCRET, MANAGING MEMBER, HAVE CAUSED TO BE MADE THE ATTACHED PLAT ENTITLED "TOWN HOUSE ON VALENCIA" THE SAME BEING A REPLAT OF LOTS 1,2,3 AND 4 BLOCK 15 OF CORAL GABLES BILTMORE SECTION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LEGAL DESCRIPTION:

LOTS 1, 2, 3 & 4, BLOCK 15, "CORAL GABLES BILTMORE SECTION" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

IN WITNESS WHEREOF:

THAT 444 VALENCIA LLC., HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY JENNY DUCRET, ITS MANAGING MEMBER, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED IN THE PRESENCE OF THESE TWO WITNESSES, THIS _____ DAY OF _____ OF 201

WITNESS _____
PRINT NAME:

WITNESS _____
PRINT NAME:

ACKNOWLEDGEMENT:

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS

I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, ITS MANAGING MEMBER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, JENNY DUCRET, AUTHORIZED, DIRECTED AND EMPOWERED TO EXECUTE, ANY AND ALL DOCUMENTS OF 444 VALENCIA LLC., WHO IS PERSONALLY KNOWN TO ME OR PRODUCED THE FOLLOWING AS IDENTIFICATION _____ TO BE THE PERSON HEREIN DESCRIBED AND WHO EXECUTED THE FOREGOING INSTRUMENT AND WHO ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS FREE ACT AND DEED FOR THE PURPOSES HEREIN EXPRESSED AND WHO DID NOT TAKE AN OATH.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A. D. 201

SIGNATURE OF AKNOWLEDGER: _____

PRINTED NAME OF AKNOWLEDGER: _____

NOTARY PUBLIC _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

CITY OF CORAL GABLES PLAT RESTRICTIONS:

THAT VALENCIA AVENUE AND HERNANDO STREET AS SHOWN ON THE ATTACHED PLAT TOGETHER WITH ALL EXISTING AND FUTURE PLANTING, TREES, SHRUBBERY AND FIRE HYDRANTS THEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES, RESERVING TO THE DEDICATORS, THEIR SUCCESSORS OR ASSIGNS, THE REVERSION OR REVERSIONS THEREOF, WHENEVER DISCONTINUED BY LAW.

MIAMI-DADE COUNTY PLAT RESTRICTIONS:

THAT THE USE OF SEPTIC TANKS WILL NOT BE PERMITTED WITHIN THIS SUBDIVISION, UNLESS APPROVED FOR TEMPORARY USE, IN ACCORDANCE WITH COUNTY AND STATE REGULATIONS.

THAT INDIVIDUAL WELLS SHALL NOT BE PERMITTED WITHIN THIS SUBDIVISION EXCEPT FOR SWIMMING POOLS, SPRINKLER SYSTEMS, AND/OR AIR CONDITIONERS.

THAT THE STREET AND AVENUE AS SHOWN ON THE ATTACHED PLAT, TOGETHER WITH ALL EXISTING AND FUTURE PLANTING, TREES, SHRUBBERY, AND FIRE HYDRANTS THEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES, RESERVING TO THE DEDICATORS, THEIR SUCCESSORS OR ASSIGNS THE REVERSION OR REVERSIONS THEREOF, WHENEVER DISCONTINUED BY LAW.

THAT ALL NEW ELECTRIC AND COMMUNICATION LINES, EXCEPT TRANSMISSION LINES WITHIN THIS SUBDIVISION SHALL BE INSTALLED UNDERGROUND.

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

CITY OF CORAL GABLES APPROVALS:

THIS IS TO CERTIFY THAT THIS PLAT APPEARS TO CONFORM TO ALL REQUIREMENTS OF CHAPTER 117 (1-4) OF THE CODE OF ORDINANCES OF THE CITY OF CORAL GABLES AND CHAPTER 28 OF THE MIAMI-DADE COUNTY CODE. FURTHER, THIS PLAT HAS BEEN REVIEWED BY A PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED BY THE CITY OF CORAL GABLES IN ACCORDANCE WITH CHAPTER 177.081 OF THE FLORIDA STATUTES
CERTIFIED THIS _____ DAY OF _____, A.D. 201

BY: _____, DIRECTOR
CITY OF CORAL GABLES
DEPARTMENT OF PUBLIC WORKS

THIS PLAT WILL NOT RESULT IN A REDUCTION IN THE LEVEL OF SERVICES FOR THE AFFECTED PUBLIC FACILITIES BELOW THE LEVEL OF SERVICES PROVIDED IN THE MUNICIPALITIES COMPREHENSIVE PLAN; THEREFORE, IT WAS APPROVED AND THE FOREGOING DEDICATIONS WERE ACCEPTED BY
NUMBER _____ PASSED AND ADOPTED BY THE CITY COMMISSION OF THE
CITY OF CORAL GABLES, FLORIDA. DATED THIS _____ DAY OF _____, A. D. 201

SIGNED: _____ SIGNED: _____
MAYOR CITY CLERK

MIAMI-DADE COUNTY APPROVAL:

THE DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES CERTIFIES THAT THIS PLAT APPEARS TO CONFORM TO ALL THE REQUIREMENTS OF CHAPTER 28 OF THE MIAMI-DADE COUNTY CODE.
CERTIFIED THIS _____ DAY OF _____, A.D. 201

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT OF TOWN HOUSE ON VALENCIA, IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS DESCRIBED HEREON, AS RECENTLY SURVEYED UNDER MY SUPERVISION, ALSO THAT THE PERMANENT REFERENCE MONUMENTS WERE SET. THE SURVEY DATA SHOWN HEREON COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177 (PART I), FLORIDA STATUTES

LANNES & GARCIA, INC. (LB #2098)
PROFESSIONAL SURVEYING AND MAPPING
385 ALHAMBRA CIRCLE, SUITE C, CORAL GABLES, FLORIDA 33134

BY: _____
FRANCISCO F. FAJARDO
PROFESSIONAL SURVEYOR AND MAPPER NO. 4767
STATE OF FLORIDA

RECORDING STATEMENT:

FILED FOR RECORD THIS _____ DAY OF _____, A.D. 201, AT _____ M., IN BOOK _____ OF PLATS, AT PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
THIS PLAT COMPLIES WITH THE LAWS OF THE STATE OF FLORIDA AND MIAMI-DADE COUNTY, FLORIDA.

ATTEST: HARVEY RUVIN,
CLERK OF THE CIRCUIT OF COURT

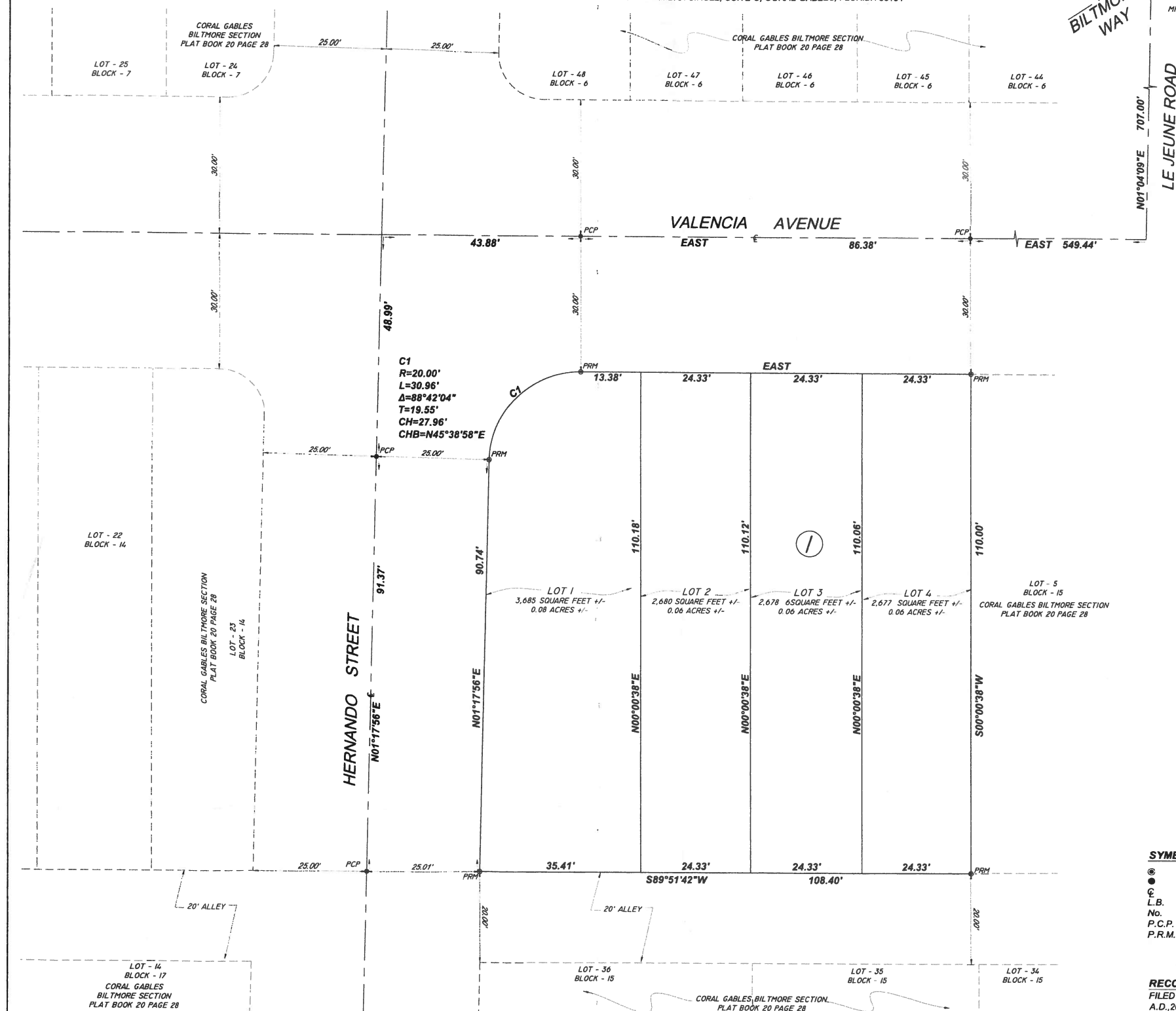
BY: _____ DEPUTY CLERK

TOWN HOUSE ON VALENCIA

BEING A REPLAT OF LOTS 1, 2, 3 AND 4 BLOCK 15 OF CORAL GABLES BILTMORE SECTION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SITUATED IN THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

PREPARED BY:
LANNES & GARCIA, INC.
PROFESSIONAL SURVEYING AND MAPPING
385 ALHAMBRA CIRCLE, SUITE C, CORAL GABLES, FLORIDA 33134

CORAL WAY
BILTMORE WAY
N.W. CORNER OF THE N.E. 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, MIAMI-DADE COUNTY, FLORIDA

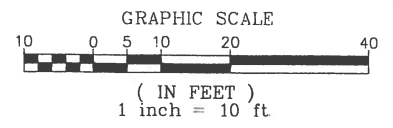


- SYMBOL LEGEND**
- PERMANENT REFERENCE MONUMENT (P.R.M.) L.B. NO. 2098
 - PERMANENT CONTROL POINT (P.C.P.) L.B. NO. 2098
 - ⊙ CENTERLINE
 - L.B. LICENSED BUSINESS NUMBER
 - No. NUMBER
 - P.C.P. PERMANENT CONTROL POINT
 - P.R.M. PERMANENT REFERENCE MONUMENT

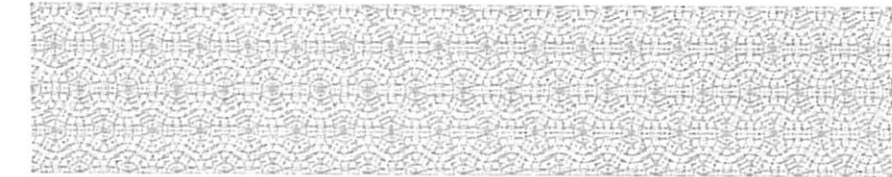
RECORDING STATEMENT:
FILED FOR RECORD THIS _____ DAY OF _____
A.D. 201__ AT _____ M., IN BOOK _____ OF PLATS, AT
PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE
COUNTY, FLORIDA.
THIS PLAT COMPLIES WITH THE LAWS OF THE STATE OF
FLORIDA AND MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:
BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT OF WAY OF VALENCIA AVENUE, HAVING AN ASSUMED BEARING OF "EAST"

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



ATTEST: HARVEY RUVIN,
CLERK OF THE CIRCUIT OF COURT
BY: _____ DEPUTY CLERK



Four New 3-Story Townhouses:
Valencia Townhouses Phase II
 444 Valencia Avenue, Coral Gables, FL 33134

Project Team



500 South Dixie Highway, Suite 307
 Coral Gables, Florida 33146
 Tel: (305) 740-0120
 Fax: (305) 740-0520
 License No. A49002733

ARCHITECTURE

Torre Development

DEVELOPER

500 South Dixie Highway, Suite 301
 Coral Gables, Florida 33146
 Tel.: (305) 740-0057
 Fax: (305) 740-0076
 License No.: 051766

Francisco Cuello Jr., PE, Inc.

STRUCTURAL

147 Alhambra Circle, Ste. 220
 Coral Gables, FL 33134
 Tel.: (305) 567-0125
 Fax: (305) 567-0129
 License No. 40087

ARPE, Engineering Inc.

MECHANICAL / ELECTRICAL / PLUMBING

2655 Le Jeune Road, Suite 1109
 Coral Gables, FL 33134
 Tel.: (305) 444-9809
 Fax: (305) 444-9827
 License No.: 60236

Herbert L. Martin, RLA

LANDSCAPE ARCHITECT

5965 S.W. 35th Street
 Miami, FL 33155
 Tel.: (305) 661-6655
 License No.: LA 0001722

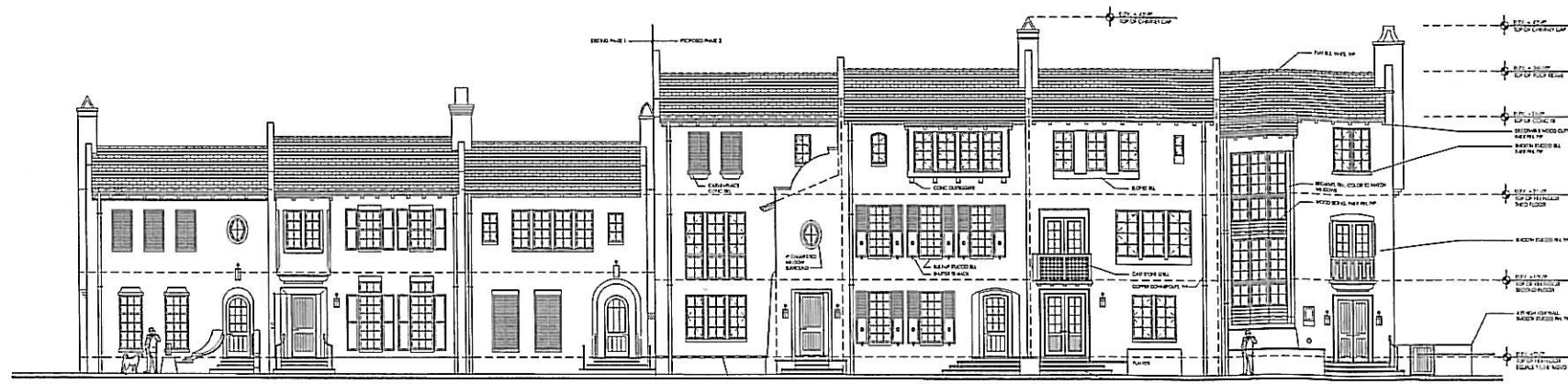
Vicente E. Cossio, P.E.

CIVIL ENGINEER

2440 N.W. 21st Terrace
 Miami, FL 33142
 Tel.: (305) 634-8669
 Fax: (305) 634-2291

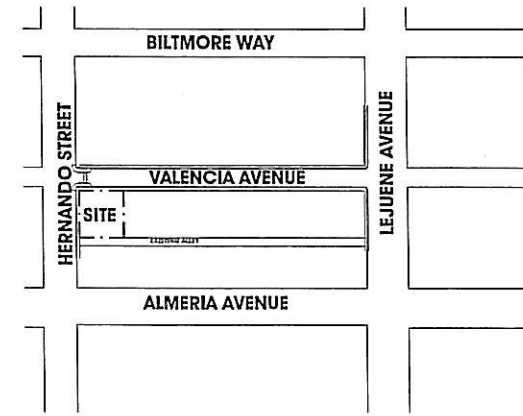
Drawing Contents

SHEET NO.	SHEET CONTENTS	
SURVEY		
SU-1	SURVEY TENTATIVE PLAN	STRUCTURAL
LANDSCAPE		
LA-1	LANDSCAPE PLAN	
LA-2	TREE DISPOSITION PLAN	
CIVIL		
		MECHANICAL
ARCHITECTURE		
A-01	SITE PLAN, ZONING INFORMATION	
A-01.1	3D RENDERING VIEWS	ELECTRICAL
A-01.2	3D VIEW ALONG VALENCIA AVENUE	
A-01.3	3D VIEW AT CORNER OF VALENCIA AVE & HERNANDO STREET	
A-02	FIRST FLOOR PLAN	
A-03	SECOND FLOOR PLAN	
A-04	THIRD FLOOR PLAN	
A-05	ROOF PLAN	
A-06	EXTERIOR ELEVATIONS: NORTH	PLUMBING
A-07	EXTERIOR ELEVATIONS: SOUTH AND EAST	
A-08	BUILDING SECTIONS: A-A, B-B	



NOTE:
SEE CIVIL AND LANDSCAPE DRAWINGS FOR COORDINATION.

PROPOSED STREETSCAPE PLAN
SCALE: 1/8"=1'-0"



LOCATION SKETCH
SCALE: 1/8"

LEGAL DESCRIPTION

LOTS 1-4 IN BLOCK 18 OF "TOWNHOUSE SECTION" ACCORDING TO THE PLAN THEREOF AS RECORDED IN PLAT BOOK 20 AT PAGE 28 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK

THE WORK ENTAILS 4 NEW 3-STORY TOWNHOUSE BUILDINGS, EACH WITH AN OPEN-AIR COURTYARD AND A 2-CAR GARAGE. ADDITIONAL WORK INCLUDES NEW LANDSCAPING AND STREET IMPROVEMENTS PER THE SUBURBAN STREETSCAPE REQUIREMENTS.

ZONING INFORMATION

ZONED: M75A, TOWNHOUSE SECTION 4-164B.71
MULTIFAMILY SPECIAL AREA DISTRICT
FLOOD ZONE: X
LOT SIZE: 11,718 SF (0.269 OF AN ACRE)
CODE: FBC 2010

	REQUIRED/ALLOWED	PROPOSED
F.A.R. ALLOWED	2.0 (FAR): 23,436 SF	22,963 SF
HEIGHT ALLOWED	45'-0" (3-STORY) 35'-0" (2-STORY SETBACK FROM SFH DISTRICT AT REAR)	42'-0" (3-STORY) TOP OF CHIMNEY CAP
LANDSCAPE AREA REQUIRED	SUBURBAN STREETSCAPE SECTION 4-164.D.9	SEE LANDSCAPE PLAN
MIN. FLOOR ELEVATION	1' ABOVE GROUND-WATER TABLE (9.07' + 1.23' = 10.31' MIN)	11.16' TOP OF FIN FLOOR F.L.S.V.D. 10'-0" TOP OF GARAGE HIGHPOINT
PARKING REQUIRED	8	16
DENSITY		4 UNITS

	REQUIRED/ALLOWED	PROPOSED
FRONT:	5'-0"	5'-0"
SIDE: STREET	10'-0"	10'-0"
SIDE: INTERIOR	0'-0" MIN.	0'-1"
REAR:	5'-0"	5'-0"

SETBACK REQUIREMENTS

AREA CALCULATIONS: TOTALS (SEE UNIT BREAKDOWNS BELOW)

AREA CALCULATIONS: UNIT A	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
PROPOSED RESIDENCE:	1113	1393	1336	3844
COVERED ENTRY/PORCH:	74			74
COVERED TERRACE:		352		352
ROOF TERRACE:		551		551
GARAGE:	549			549
CARPORTE:	549			549
TOTALS:	2285	2296	1336	5919

AREA CALCULATIONS: UNIT B	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
PROPOSED RESIDENCE:	1268	1491	1509	4268
COVERED ENTRY/PORCH:	23			23
COVERED TERRACE:		352		352
ROOF TERRACE:		550		550
GARAGE:	550			550
CARPORTE:	551			551
TOTALS:	2392	2393	1509	6294

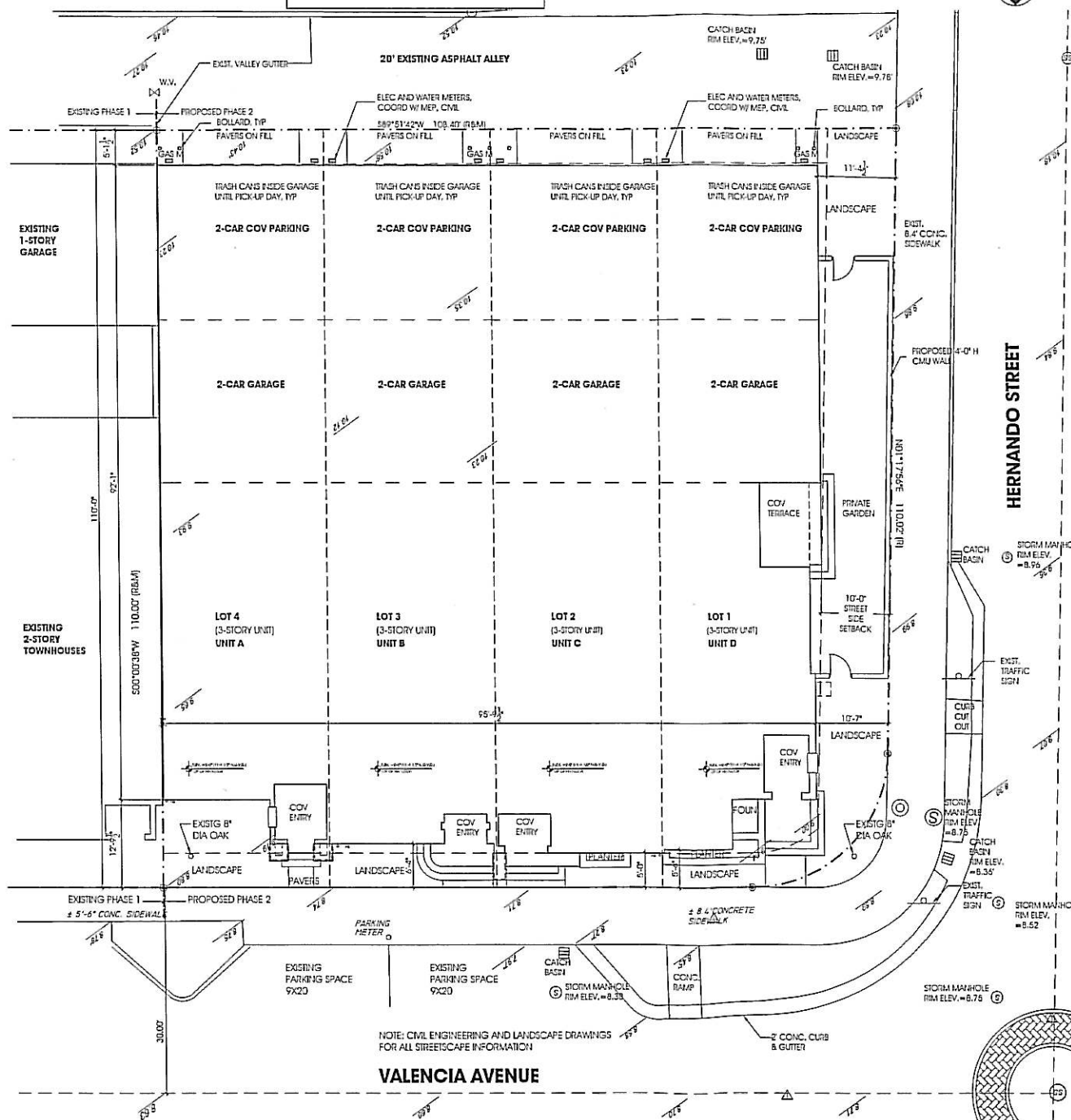
AREA CALCULATIONS: UNIT C	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
PROPOSED RESIDENCE:	1259	1481	1530	4270
COVERED ENTRY/PORCH:	36	42		78
COVERED TERRACE:		352		352
ROOF TERRACE:		550		550
GARAGE:	550			550
CARPORTE:	551			551
TOTALS:	2396	2425	1530	6351

AREA CALCULATIONS: UNIT D	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
PROPOSED RESIDENCE:	955	1579	1923	4457
COVERED ENTRY/PORCH:	69	100		169
COVERED TERRACE:	102	228		330
ROOF TERRACE:		316		316
GARAGE:	550			550
CARPORTE:	544			544
TOTALS:	2220	2223	1923	6366

25% LANDSCAPE AREA CALCULATIONS

REQUIRED: 25% OF LOT = 2,929 SF
LOT SIZE: 11,718 SF (0.269 OF AN ACRE)
PROVIDED: 30% OF LOT (3,586 SF)

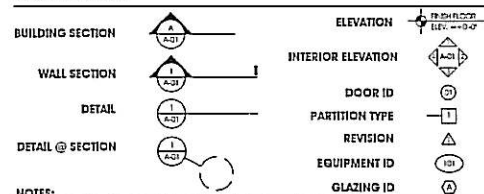
LANDSCAPE SF BREAKDOWN	TOTAL
REAR LANDSCAPE AND PAVEMENT DRIVEWAY (ALLEY SIDE)	100 SF
URBAN STREETSCAPE: LANDSCAPE AND PAVERS (ON LOT), NOT COUNTING STEPS	1,519 SF
ROOF TOP TERRACE:	1,967 SF
LANDSCAPE TOTAL	3,586 SF



VALENCIA AVENUE

PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

SYMBOLS KEY



NOTES:

- TREE REMOVAL BY SEPARATE PERMIT.
- ALL RAINWATER MUST BE RETAINED ON PROPERTY.
- LANDSCAPING MUST COMPLY WITH MIAMI-DADE COUNTY CODES.
- SEE CIVIL LANDSCAPE DRAWINGS FOR SUBURBAN STREETSCAPE AND TREE INFORMATION.
- ANY DAMAGED SIDEWALKS TO BE REPAIRED (POURED NEW) PER CITY OF CORAL GABLES STANDARDS.

LOCUS ARCHITECTURE
1100 S.W. 15th St., Suite 100
Coral Gables, FL 33134
Tel: (305) 442-0000
Fax: (305) 442-0000
License No. AR0222723

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	12-10-14
	DRG SUBMITTAL	01-09-15
	SCA PRELIM SUBMITTAL	01-09-15
	PERMIT SUBMITTAL	

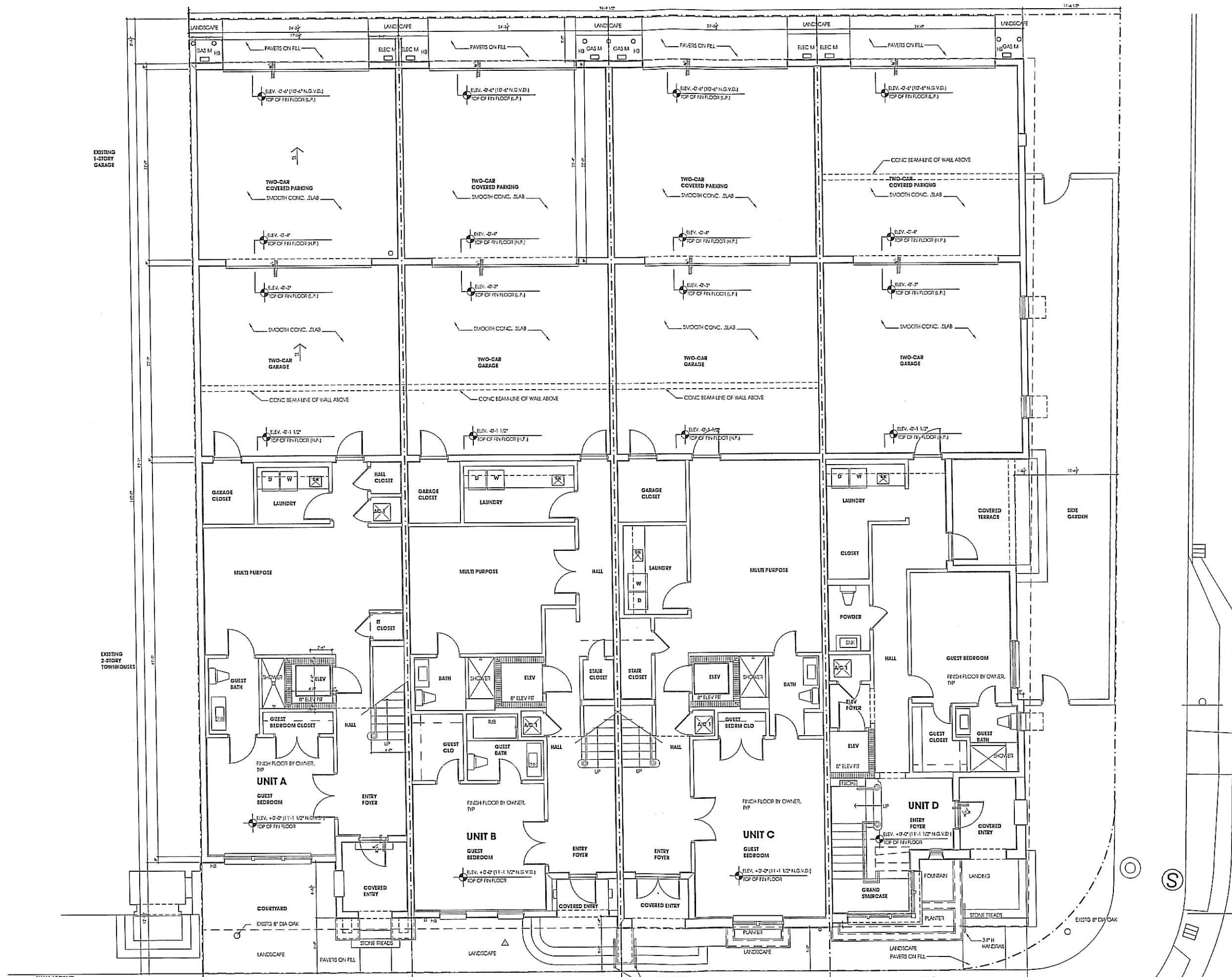
PRODUCT
(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
428 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING
Proposed Site Plan,
Zoning Information

DATE	SCALE
AD 13927	1/8"=1'-0"

DESIGNED	DRAWN	REVIEWED	DATE

Project No. AD 13927
Sheet No. A-01



WALL LEGEND

— NEW INTERIOR PARTITION, PROVIDE MOISTURE RESISTANT BOARD AT ALL WET LOCATIONS

— EXISTING PHASE 1

— NEW CMU WALL: 8" STUCCO ON EXTERIOR TO MATCH 1/2" DRYWALL ON 3-4" PARTISOL WITH R-4.2 INSULATION

— PROPOSED PHASE 2

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

LOCUS ARCHITECTURE INCORPORATED

505 South Dale Highway, Suite 337
 Coral Gables, FL 33143
 PH: (305) 443-0129
 FAX: (305) 443-0130
 LICENSE NO. RA00007313

NO.	REVISION/REVISION	DATE
1	OWNER REVIEW	12-10-14
2	ARCH SUBMITTAL	01-09-15
3	BOA PRELIM SUBMITTAL	01-29-15
4	PERMIT SUBMITTAL	

PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES

224 VALENCIA AVENUE
 CORAL GABLES, FL 33134

DRAWING

First Floor Plan

DATE

1/27/15

DESIGNER

BO, HCL

REVISED

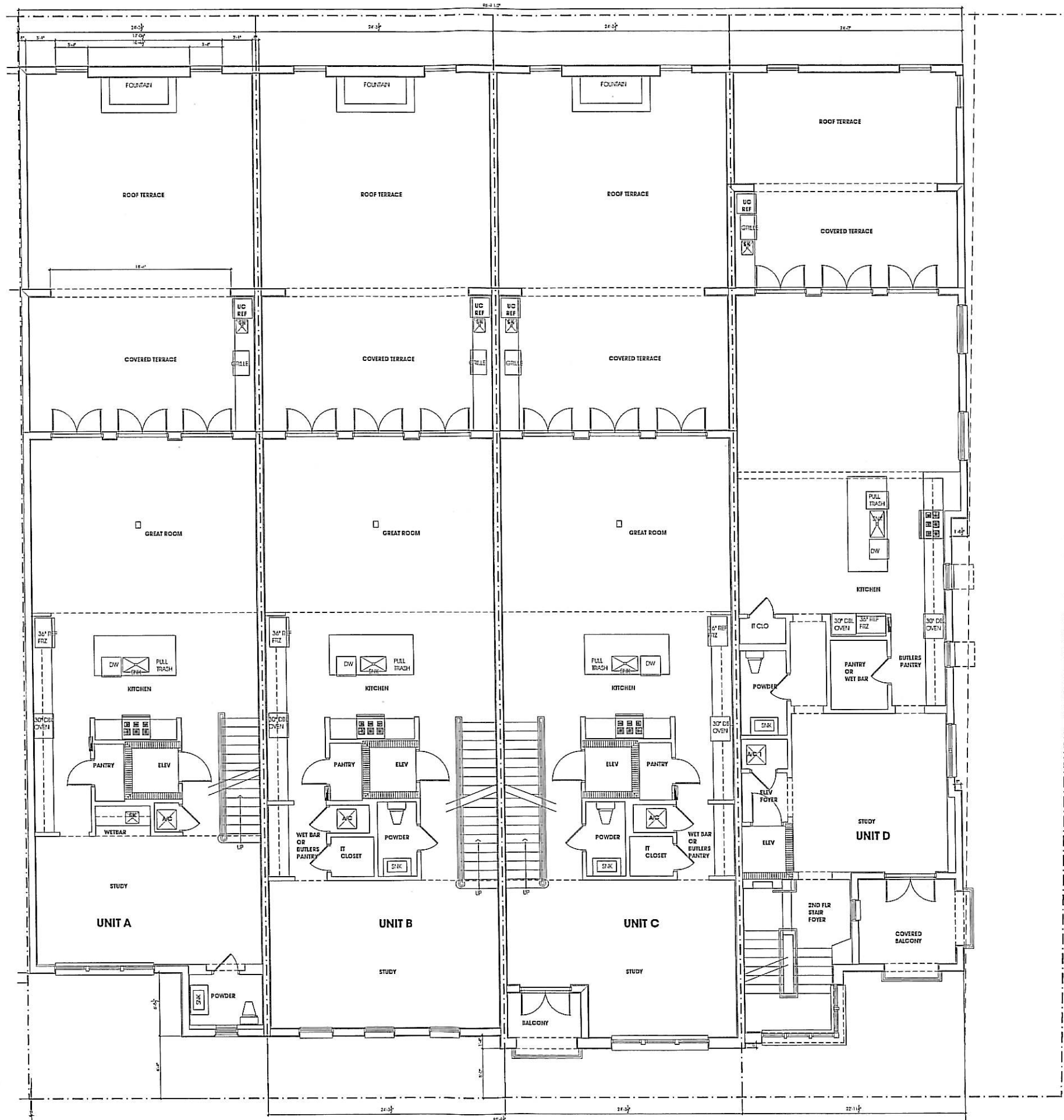
HCL

PROJECT NO.

173.0

SWT NO.

A-02



WALL LEGEND

NEW INTERIOR PARTITION: PROVIDE MOISTURE RESISTANT BOARD IN ALL WET LOCATIONS

NEW CMU WALL: 8" STUCCO ON EXTERIOR TO MATCH, 1/2" DRYWALL ON 3/4" FUTUREG WITH R=4.2 INSULATION

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LOCUS ARCHITECTURE
1400 S.W. 11th St.
Coral Gables, FL 33146
Tel: (305) 442-0000
Fax: (305) 442-0000
Website: www.locusarch.com

NO.	REVISION/DESCRIPTION	DATE
1	OWNER REVIEW	12-10-14
2	CRIC SUBMITTAL	01-07-15
3	BCA PRELIM SUBMITTAL	01-07-15
4	PRELIM SUBMITTAL	

PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
444 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING

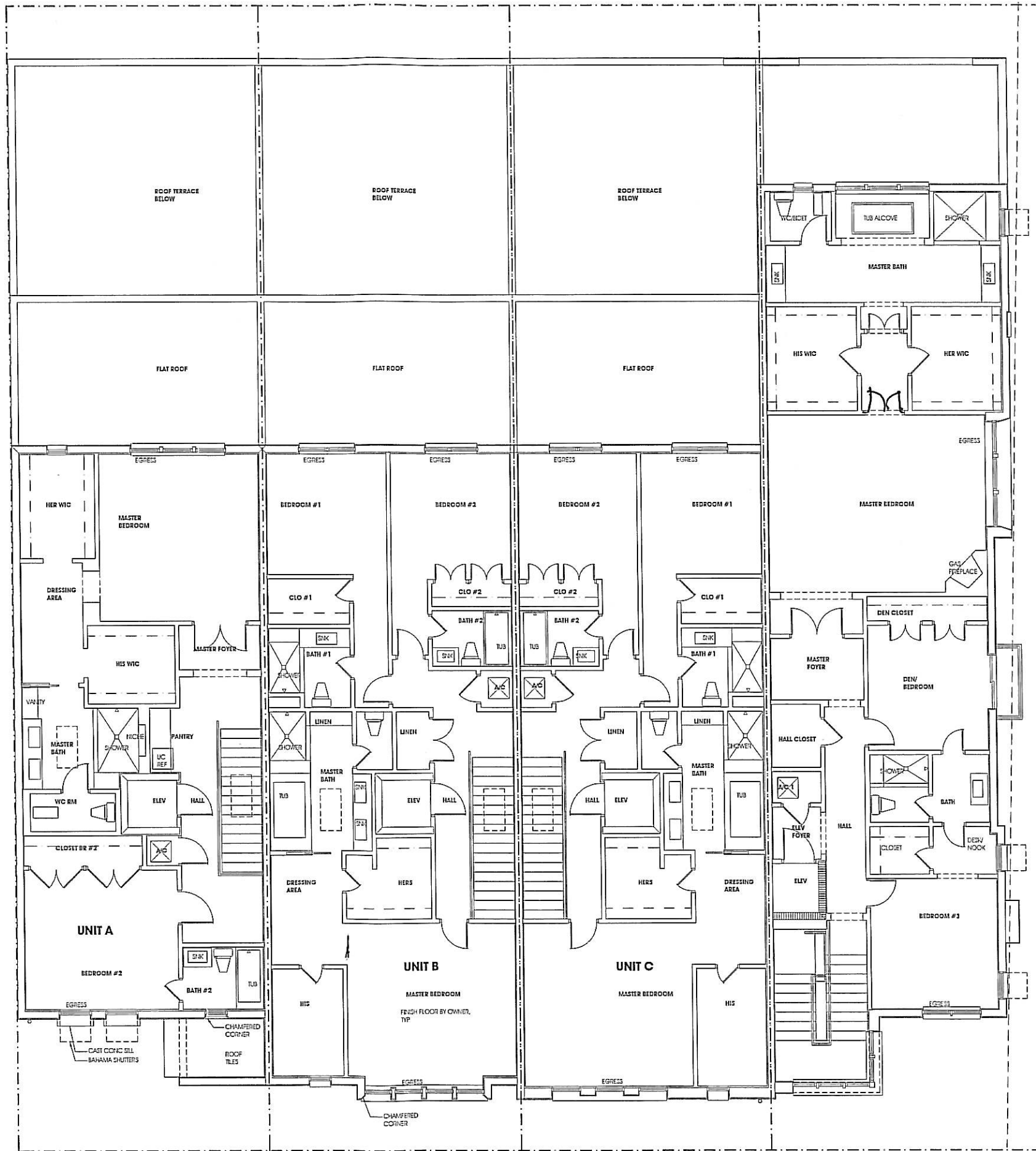
Second Floor Plan

DATE

SCALE: 1/4" = 1'-0"

DRAWN: B.S. MEL
REVIEWED: J.C.L.
PROJECT NO.: AR 12937
SHEET NO.: 172.0

A-03



WALL LEGEND

NEW INTERIOR PARTITION; PROVIDE MOISTURE RESISTANT BOARD IN ALL WET LOCATIONS

NEW CMU WALL; 5/8" STUCCO ON EXTERIOR TO MATCH 1/2" DRYWALL ON 3/4" FURRING WITH R-4.2 INSULATION

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

LOCUS ARCHITECTURE
INCORPORATED
830 So. Dixie Highway, Suite 307
Coral Gables, FL 33148
Tel: (305) 764-0179
Fax: (305) 740-0350
License No. AR0002713

NO.	REVISION/REVISION	DATE
1	OWNER REVIEW	12-10-14
2	DRG SUBMITTAL	01-05-15
3	BICA PERMITS SUBMITTAL	01-09-15
4	PERMITS SUBMITTAL	

PROJECT
**(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES**
434 VALENCIA AVENUE
CORAL GABLES, FL 33134

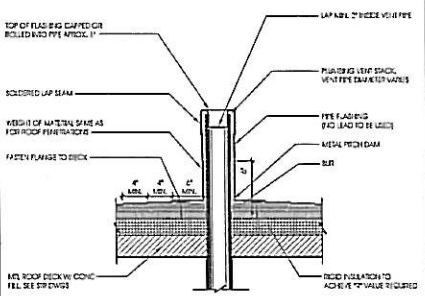
DRAWING
Third Floor Plan

DATE	SCALE
12-10-14	1/4" = 1'-0"
01-05-15	DESIGN
01-09-15	REVISED
	SCALE
Nelson de Leon AR 13937	PROJ. NO. 172.D

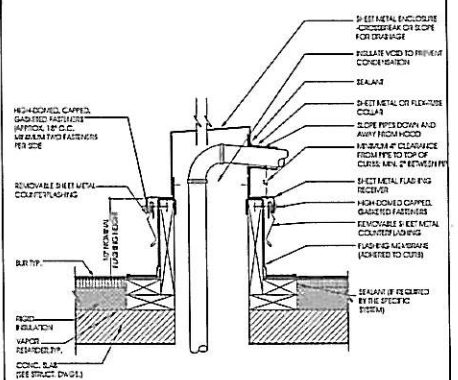
A-04

ROOF ASSEMBLY: SHELL	
INSULATION VALUE	
R-VALUE	COMPONENT
0.17	OUTSIDE AIR FILM
0.00	BURL WHITE
0.43	COVERBOARD
19.0	ROOF INSULATION AND LIGHTWEIGHT CONCRETE
0.05	VAPOR BARRIER
0.80	4" CONC. SLAB (SLAB VARIES 4"-8")
0.93	AIR SPACE
TOTAL R-20.38	

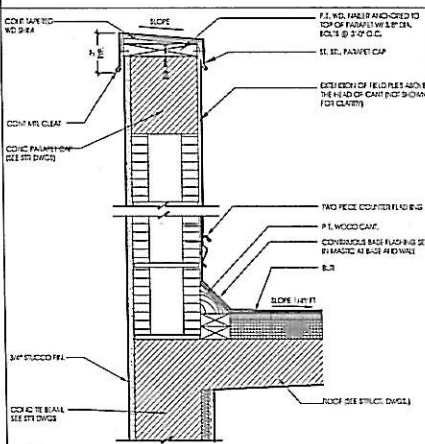
FIRE RATING: FBC 2010 TABLE 4" CONC. SLAB ON CORR. DECK = 1 HR. RUL.



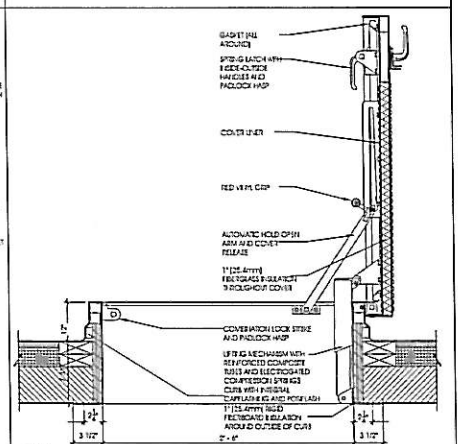
F ROOF SECTION @ VENT SCALE: 1/2" = 1'-0"



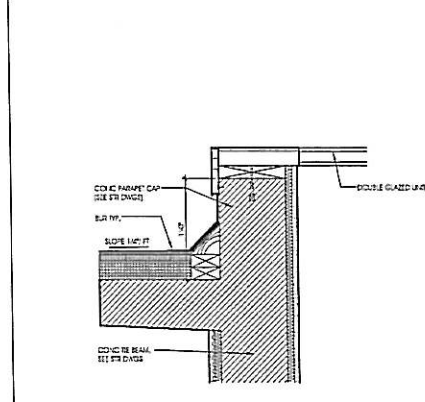
E ROOF SECTION @ VENT SCALE: 1/2" = 1'-0"



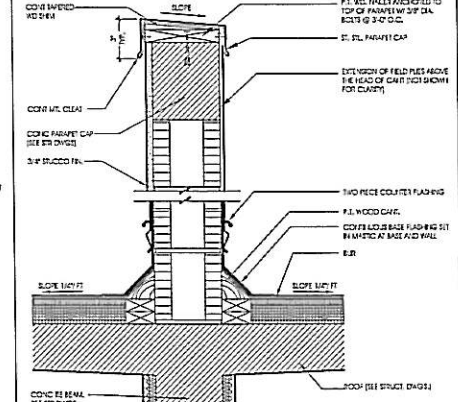
D PARAPET SECTION (TYP) SCALE: 1/2" = 1'-0"



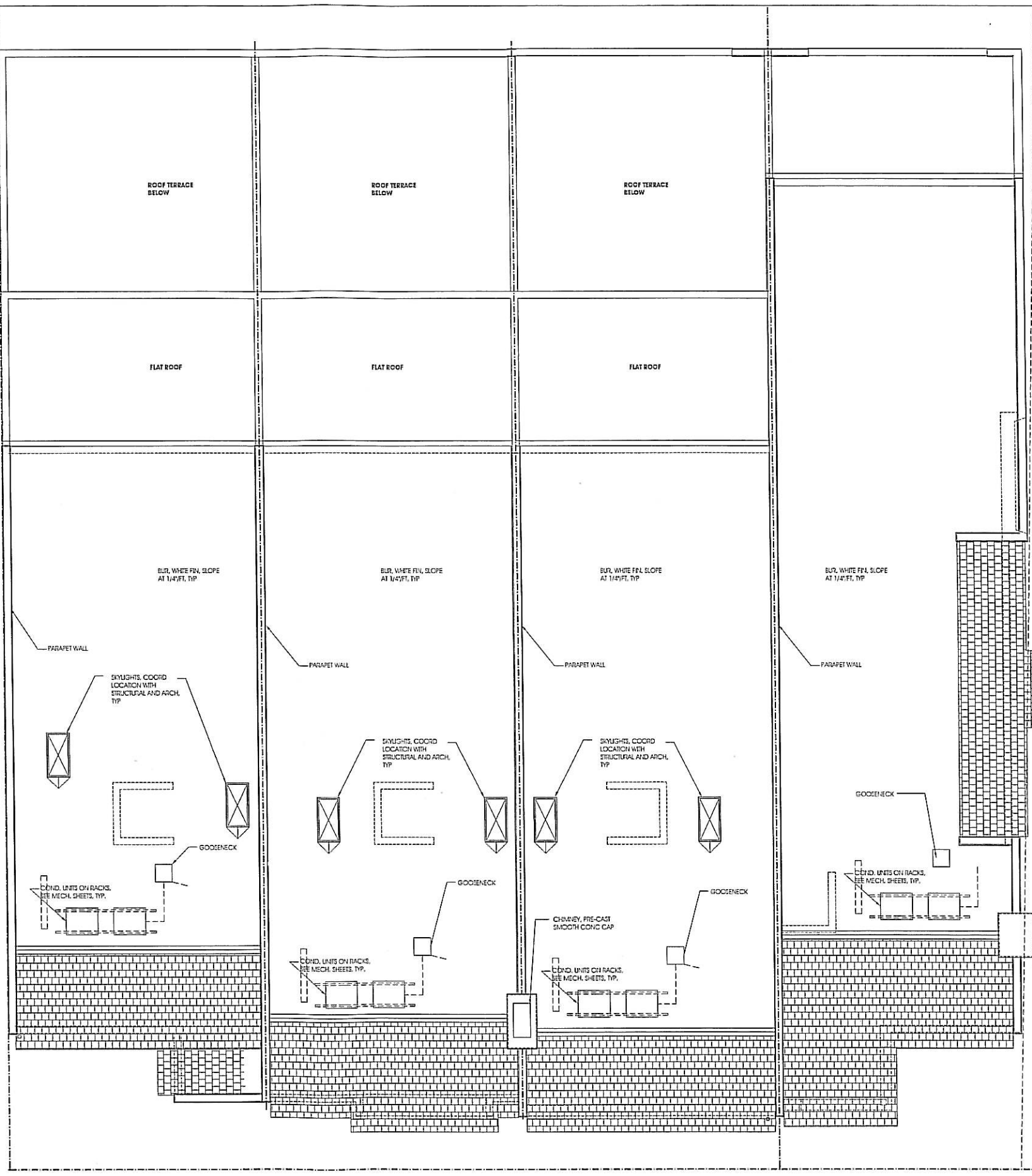
C ROOF SECTION @ ACCESS/VENTILATION HATCH (TYP) SCALE: 1/2" = 1'-0"



B ROOF SECTION @ SKYLIGHT (TYP) SCALE: 1/2" = 1'-0"



A PARAPET SECTION (TYP) SCALE: 1/2" = 1'-0"



ROOF PLAN SCALE: 1/4" = 1'-0"

LOCUS ARCHITECTURE
1 8 0 0 P P A R T P
430 South Green Highway, Suite 317
Coral Gables, FL 33146
Tel: (305) 746-0170
Fax: (305) 746-0170
License No. AA022713
loc@locustat.com

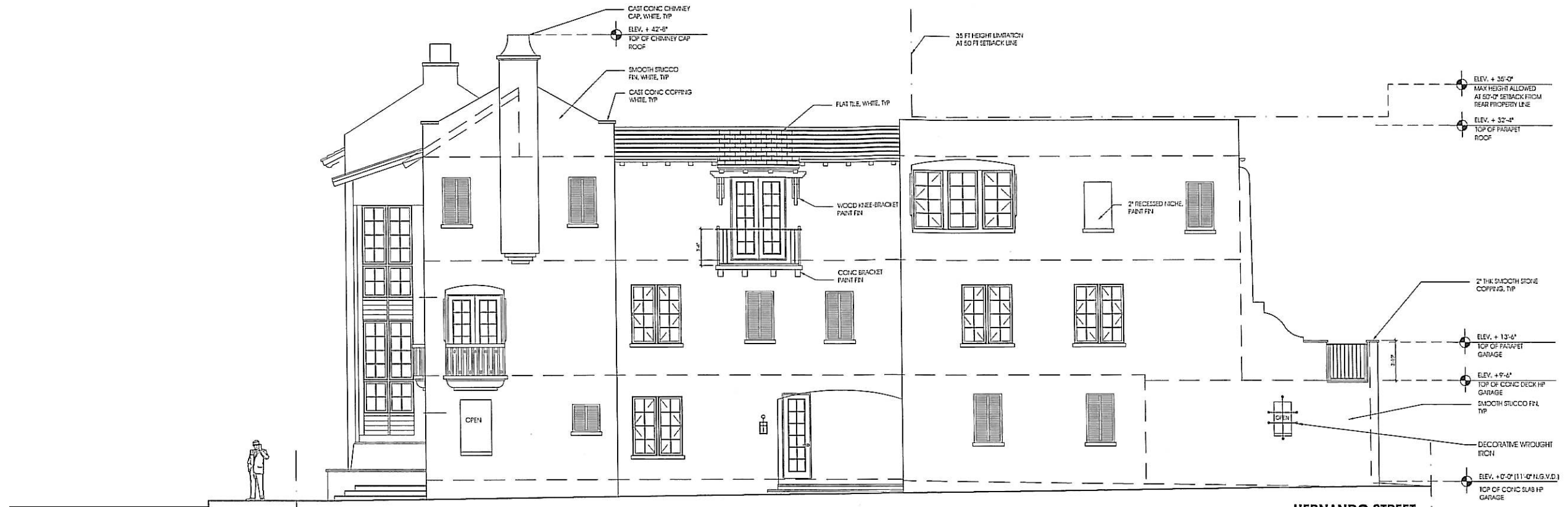
NO.	REVISION/SUBMISSION	DATE
1	CONCEPT REVIEW	12-10-14
2	DRPC SUBMITTAL	01-09-15
3	BCA PERMITS SUBMITTAL	01-09-15
4	PERMITS SUBMITTAL	

PROJECT
**(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES**
464 VIRENIA AVENUE
CORAL GABLES, FL 33134

DRAWING
ROOF PLAN

DATE	SCALE
12-10-14	1/4" = 1'-0"
01-09-15	
01-09-15	
01-09-15	

DESIGNER
Nelson de Leon
AR 13427
SHEET NO.
A-05



**HERNANDO STREET
PROPOSED SIDE ELEVATION: WEST**
SCALE: 1/4" = 1'-0"



**VALENCIA AVENUE
PROPOSED FRONT ELEVATION: NORTH**
SCALE: 1/4" = 1'-0"

**LOCUS
ARCHITECTURE**
1100 S. DIXIE HWY. SUITE 301
CORAL GABLES, FL 33146
TEL: (305) 452-1111
FAX: (305) 745-0833
LICENSE NO. AR0022733

CONSULTANT

NO.	REVISION/DESCRIPTION	DATE
	OWNER REVIEW	12-10-14
	DRIC SUBMITTAL	01-09-15
	BOA PRELIM SUBMITTAL	01-09-15
	PRELIM SUBMITTAL	

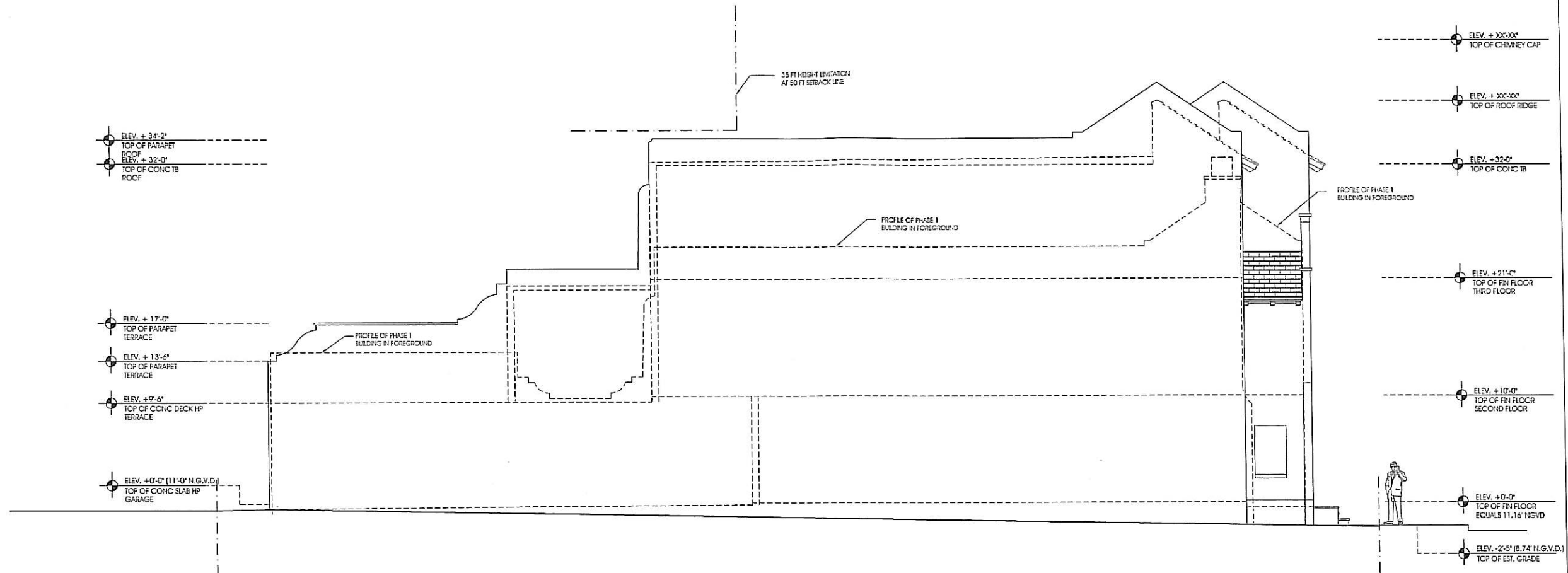
PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
444 VALENCIA AVENUE
CORAL GABLES, FL 33134

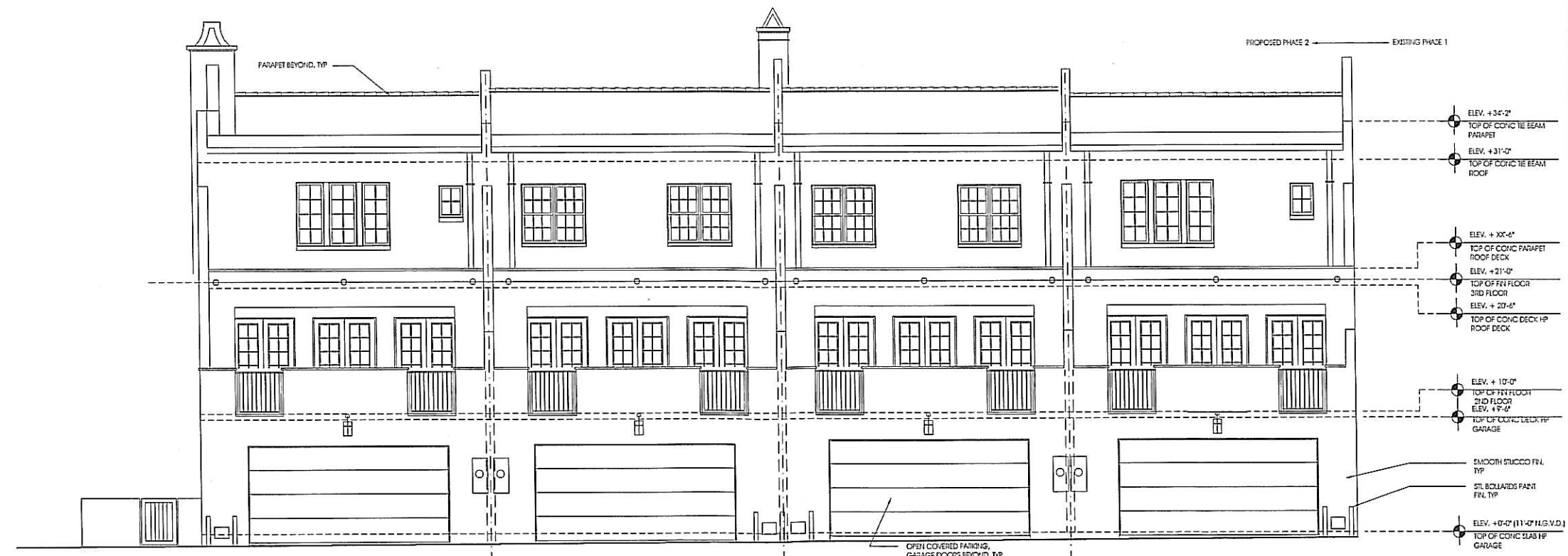
DRAWING
Exterior Elevations,
North & West

TITLE	SCALE
EXTERIOR ELEVATIONS	1/4" = 1'-0"
DESIGNED BY	DRYDEN K. KEL
REVIEWED BY	TRACY
DRAWN BY	AR 13937
DATE	1/20/15

A-06



PROPOSED SIDE ELEVATION: EAST
SCALE: 1/8"=1'-0"



PROPOSED REAR ELEVATION: SOUTH
SCALE: 1/8"=1'-0"

LOCUS ARCHITECTURE
INCORPORATED
500 South Orange Avenue, Suite 207
Coral Gables, FL 33145
Tel: (305) 465-0223
Fax: (305) 745-0320
Licenses No. AR022723

CONSULTANT(S)

NO.	REVISION/DESCRIPTION	DATE
	OWNER REVIEW	12-10-14
	DMC SUBMITTAL	01-09-15
	PCA PRELIM SUBMITTAL	01-07-15
	PERMIT SUBMITTAL	

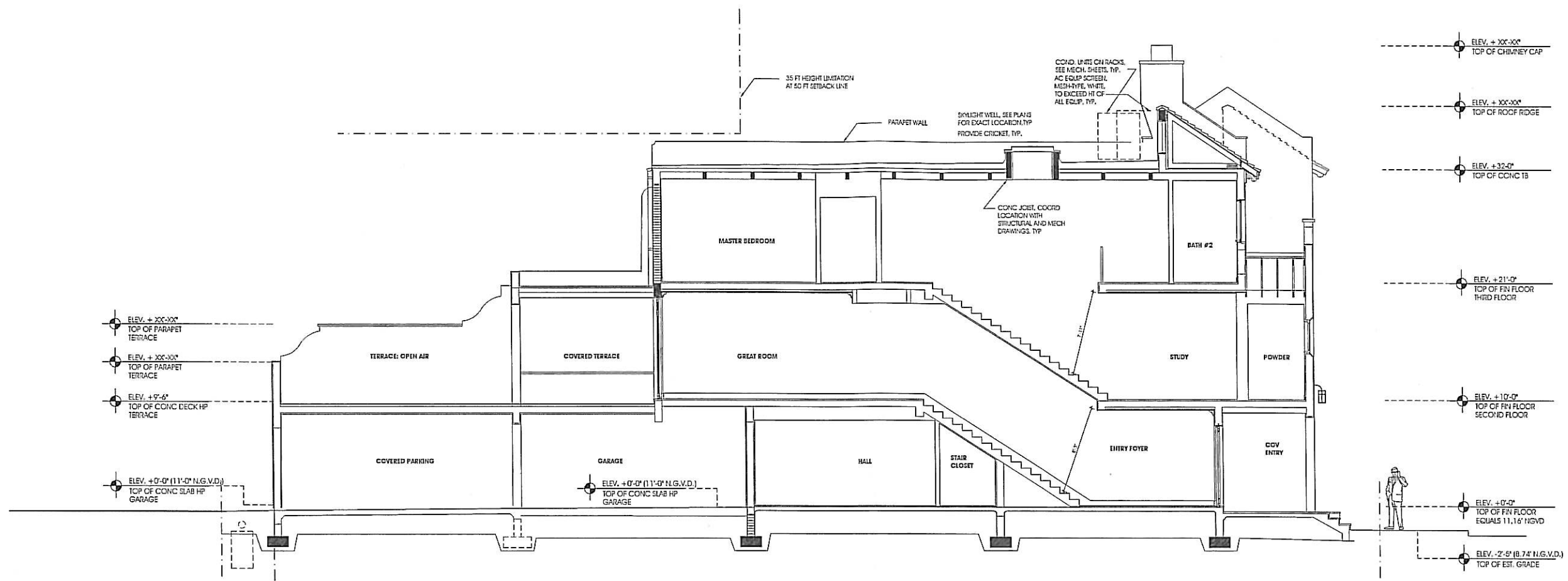
PROJECT

(4) New 2-Story Townhouses: VALENCIA TOWNHOUSES
414 VALENCIA AVENUE
CORAL GABLES, FL 33134

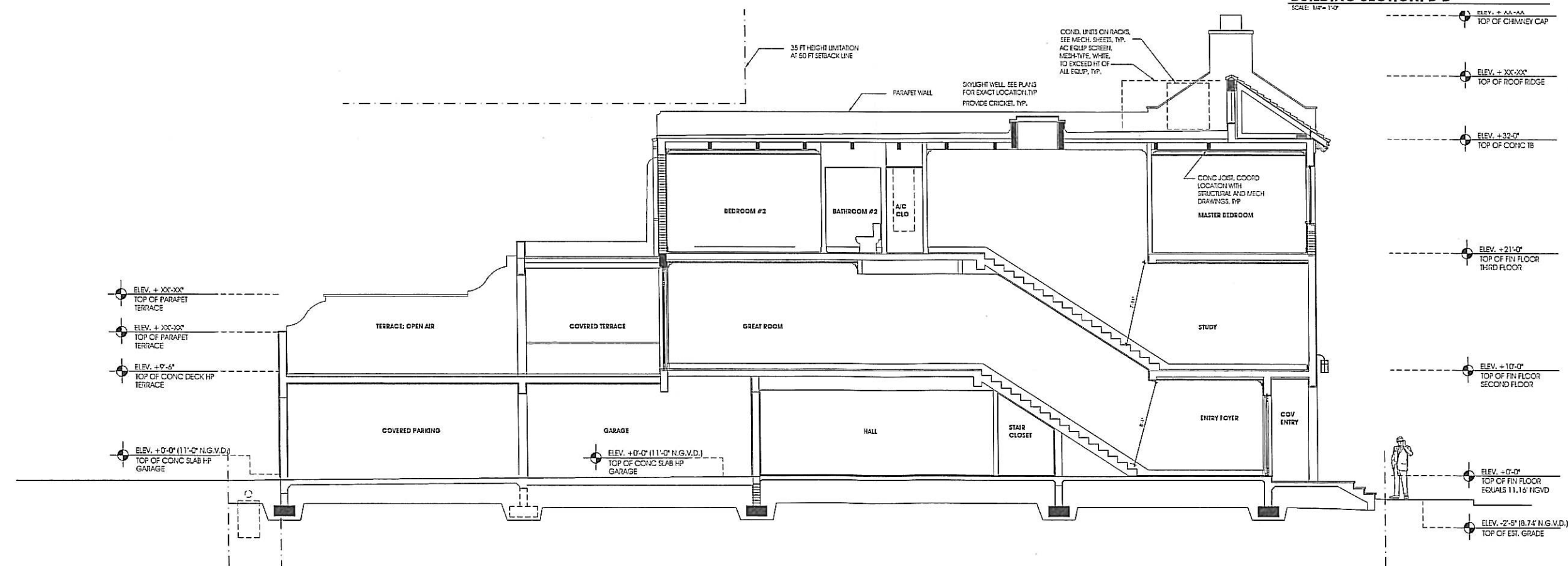
DRAWING

Exterior Elevations,
South & East

SCALE	1/8"=1'-0"
DRAWN	BS/MEL
REVIEWED	LEZ
DATE	1/23/15
DRAWN BY	BS/MEL
DATE	1/23/15
DESIGNED BY	LEZ
DATE	1/23/15
PROJECT NO.	173.D
SHEET NO.	A-07



BUILDING SECTION: B-B
SCALE: 1/4" = 1'-0"



BUILDING SECTION: A-A
SCALE: 1/4" = 1'-0"

LOCUS ARCHITECTURE INCORPORATED
200 South Dale Highway, Suite 207
Coral Gables, FL 33144
Tel: (305) 443-0033
Fax: (305) 443-0029
License No. AA0222733

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	12-10-14
	CDC SUBMITAL	01-09-15
	SDA PERM SUBMITAL	01-09-15
	PERM SUBMITAL	

PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES

444 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING
BUILDING SECTIONS: A & B

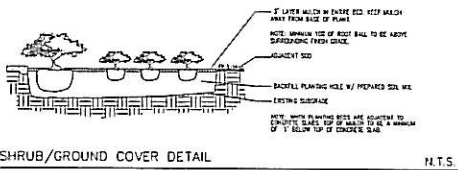
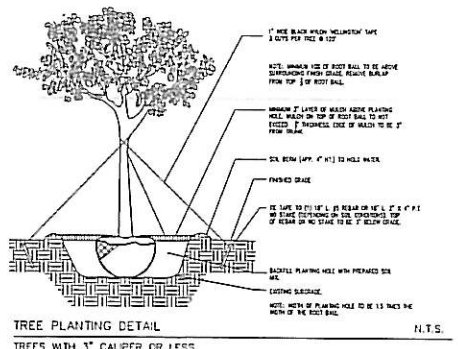
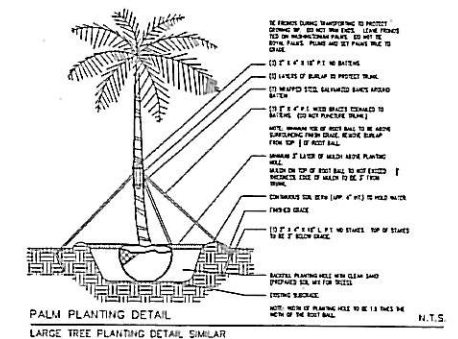
DATE
SCALE
DRAWN
BY: JEL

REVIEWED
L.S.L.

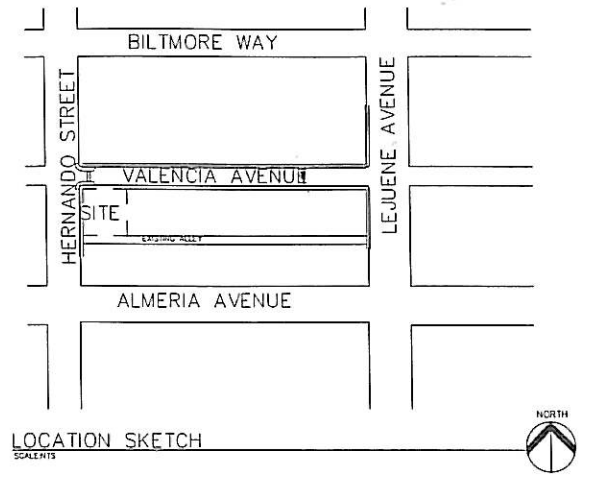
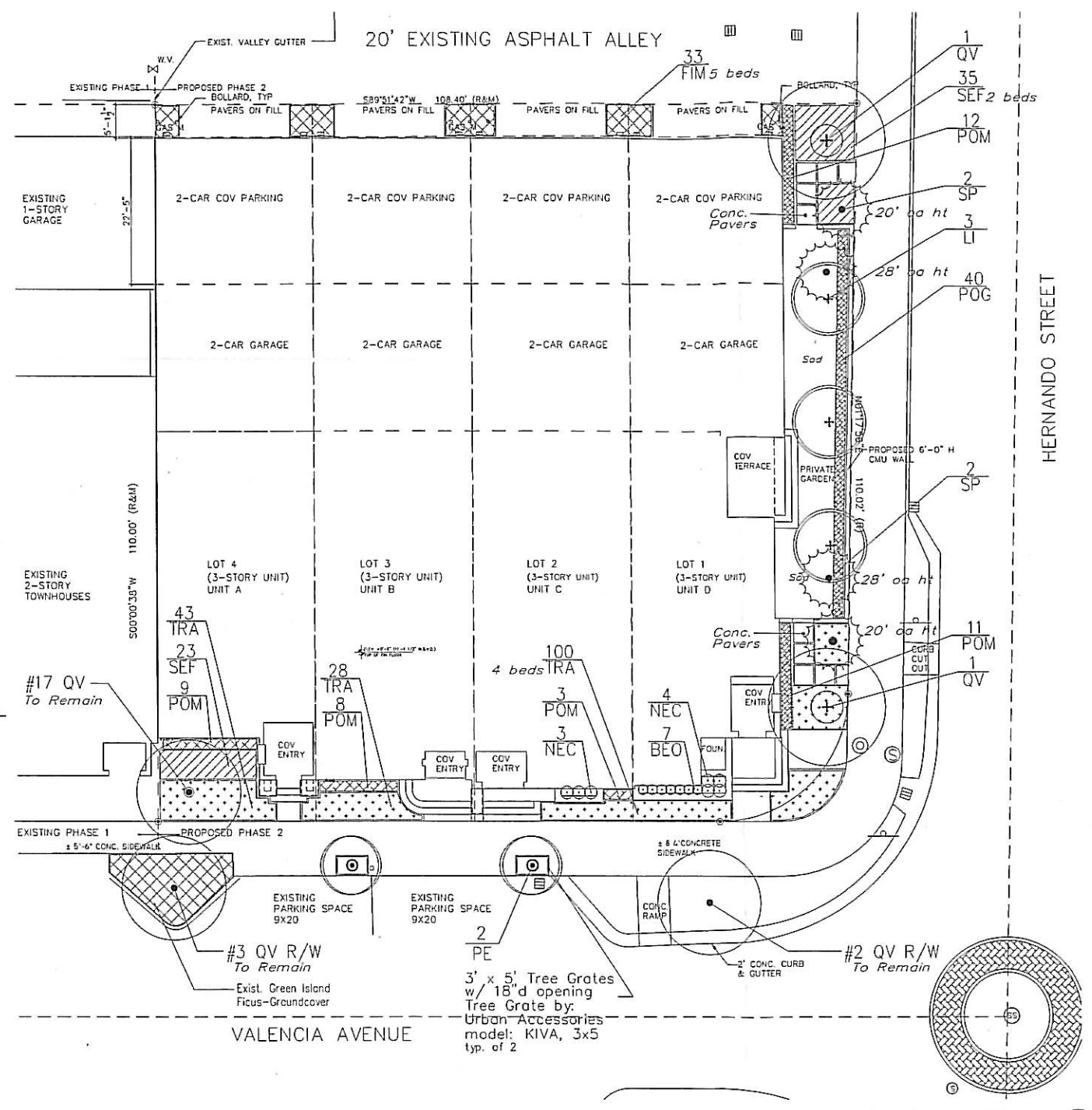
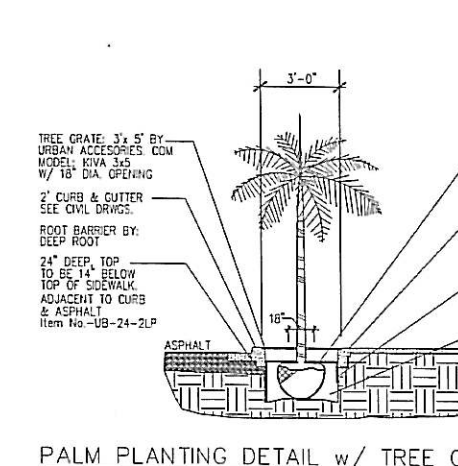
PROJECT NO.
173.0

SHEET NO.

A-08



- PLANT NOTES**
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I AND II, 2ND EDITION, FEBRUARY 1999, RESPECTIVELY.
 - ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/TREE PLANTING DETAIL).
 - ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
 - LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
 - ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ADJOINING JOINTS.
 - ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE OWN QUANTITY COUNTS (PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
 - NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
 - ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.



25% LANDSCAPE AREA CALCULATIONS

REQUIRED: 25% OF LOT=2,929 SF
LOT SIZE: 11,718 SF (0.269 OF PROVIDED)
PROVIDED: 30% OF LOT (3,586 SF)

LANDSCAPE SF BREAKDOWN

REAR LANDSCAPE AND PAVER DRIVEWAY	TOTAL
100 SF	
URBAN STREETSCAPE: LANDSCAPE AND PAVERS (ON LOT), NOT COUNTING STEPS	1,519 SF
ROOF TOP TERRACE:	1,957 SF
LANDSCAPE TOTAL	3,586 SF

City of Coral Gables Zoning Code-Landscape Requirements:
Art. 5 Section 5-1105 (C)

	Required	Provided
ZONING DISTRICT: MFSA Total Site Acreage: 11,718 sf / 0.269 Acres		
1. Landscape Open Space Required:	25% 2929 sf.	30% 3586 sf.
2a. Large shade Trees Required: (28) per acre 28 x 0.269 = 7.5 or 8 Trees Req'd	8	8 1 QV exist 2 QV prop 3 LI prop 1 SP prop (2 trees)
2b. Shrubs: (224) per acre 224 x 0.269 = 60.25 or 60 Shrubs Req'd.	60	83 (18' ht. min.)

LOCUS ARCHITECTURE INCORPORATED
309 South Dixie Highway, Suite 307
Coral Gables, FL 33149
Tel: (305) 745-0120
Fax: (305) 745-0120
www.locusarch.com

REVISION/SUBMISSION DATE

OWNER REVIEW	12-10-14
DRG SUBMITTAL	01-03-15
BOA PRELIM	01-09-15
PERMIT SUBMITTAL	

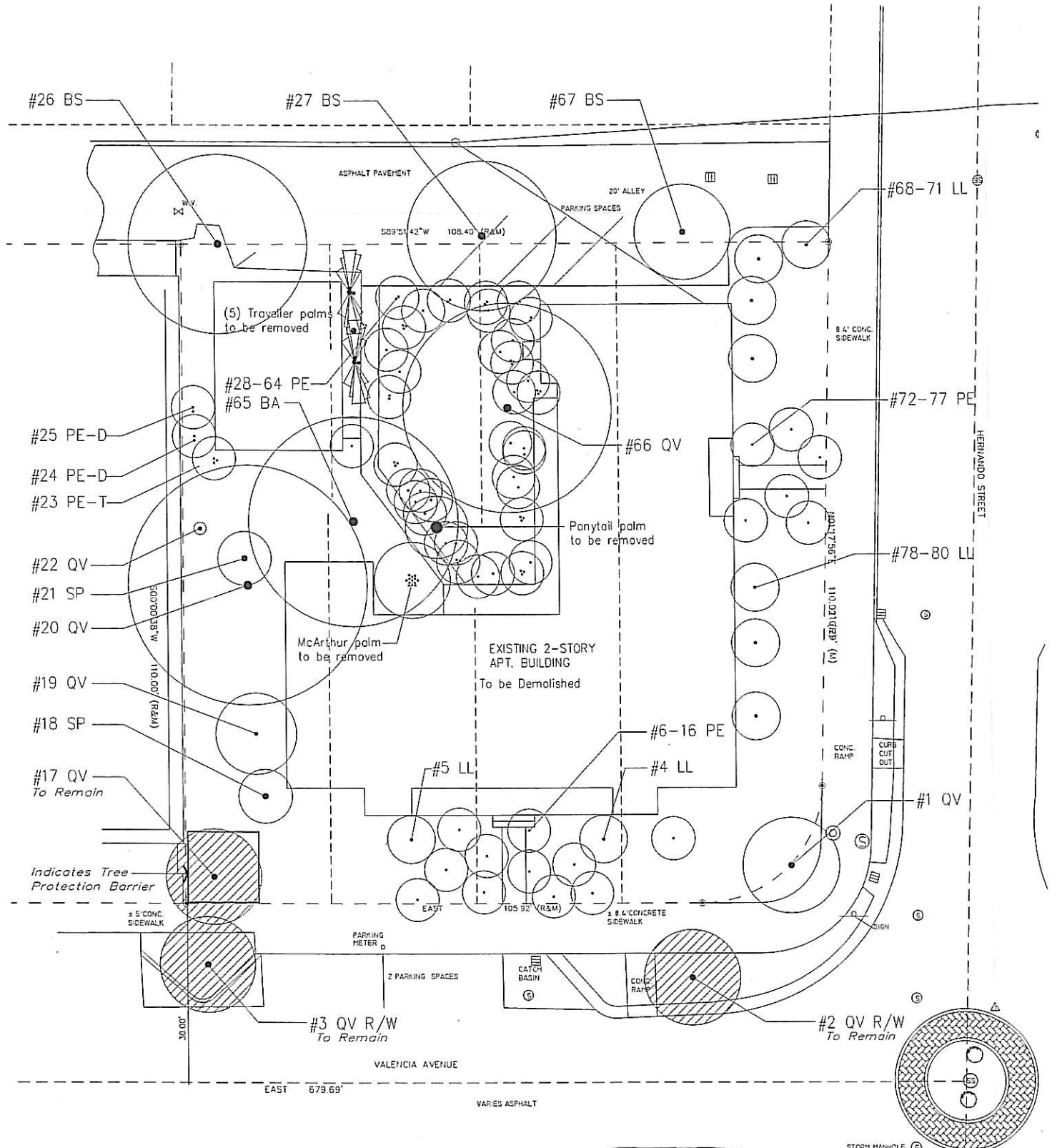
PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
444 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING

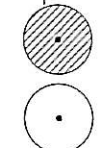
Landscape Plan

SCALE 1/8"=1'-0"
DRAWN HLM
REVIEWED NCL
PROJ. NO. 173.0
SHEET NO. LA-1



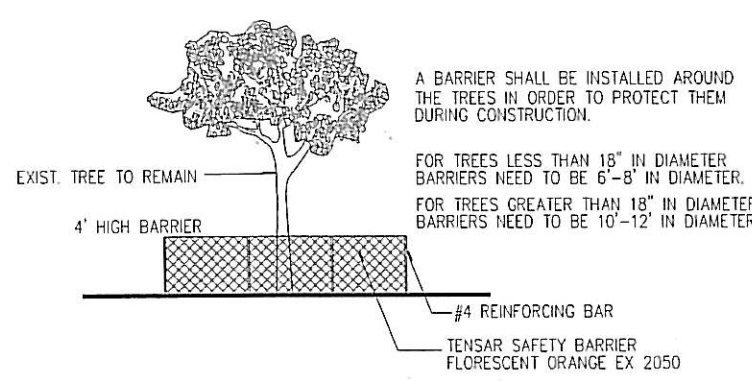
Tree Survey List

Num	Key	Botanical / Common Name	Description: HT / SPR / DBH / Condition / Notes	Disposition
#1	QV	Quercus virginiana / Live Oak	18' ea ht, 18' spr, 6.5" dbh, fair condition.	-Remove-
#2	QV	Quercus virginiana / Live Oak, in Right of Way	16' ea ht, 16' spr, 6.5" dbh, fair condition.	Remain
#3	QV	Quercus virginiana / Live Oak, in Right of Way	24" ea ht, 16' spr, 6.5" dbh, good condition.	Remain
#4	LL	Ligustrum lucidum / Ligustrum	8-10' ea ht, 8-10' spr, multi trunk	-Remove-
#5	LL	Ligustrum lucidum / Ligustrum	8-10' ea ht, 8-10' spr, multi trunk	-Remove-
#5-16	PE	Ptychosperma elegans / Alexander Palms	16-20' ea ht, 8-9' spr, 3" dbh.	-Remove-
#17	QV	Quercus virginiana / Live Oak	25' ea ht, 21' spr, 7.5" dbh, good condition.	Remain
#18	SP	Sabal palmetto / Sabal Palm	15' ea ht, 10' spr, 19" dbh.	-Remove-
#19	QV	Quercus virginiana / Live Oak	40' ea ht, 35' spr, 23.5" dbh.	-Remove-
#20	QV	Quercus virginiana / Live Oak	40' ea ht, 30' spr, 17" dbh, good condition.	-Remove-
#21	SP	Sabal palmetto / Sabal palm	20' ea ht, 10' spr, 13.5" dbh.	-Remove-
#22	QV	Quercus virginiana / Live Oak	20' ea ht, 1' spr, 8" dbh, poor condition. Leader pruned; narrow space.	-Remove-
#23	PE-T	Ptychosperma elegans / Alexander Palm-trp.	20', 16', 12' ea hts, 14' spr, total, 3 @ 3" dbh.	-Remove-
#24	PE-D	Ptychosperma elegans / Alexander Palm-dbl.	2 @ 16' ea ht, 10' spr, total, 2 @ 3" dbh.	-Remove-
#25	PE-D	Ptychosperma elegans / Alexander Palm-dbl.	16', 14' ea hts, 12' spr, combined, 2 @ 3" dbh.	-Remove-
#26	BS	Bursera simaruba / Gumbo Limbo	25' ea ht, 30' spr, 11" dbh, fair / good condition	-Remove-
#27	BS	Bursera simaruba / Gumbo Limbo	25' ea ht, 25' spr, 11" dbh, fair condition.	-Remove-
#28-64	PE	Ptychosperma elegans / Alexander Palm	18"-30" ea hts, 8-9' spr, 3" dbh, single, doubles, triples	-Remove-
#55	BA	Bulnesia arborea / Verawood	35' ea ht, 35' spr, 8", 9" dbh, co-dominant leaders	-Remove-
#56	QV	Quercus virginiana / Live Oak	35' ea ht, 35' spr, 14" dbh.	-Remove-
#57	BS	Bursera simaruba / Gumbo Limbo	15' ea ht, 15' spr, 6" dbh, poor condition	-Remove-
#68-71	LL	Ligustrum lucidum / Ligustrum	8-10' ea ht, 8-10' spr, multi trunk	-Remove-
#72-77	PE	Ptychosperma elegans / Alexander Palm	14-20' ea ht, 8-9' spr, 3" dbh.	-Remove-
#78-80	LU	Ligustrum lucidum / Ligustrum	8-10' ea ht, 8-10' spr, multi trunk	-Remove-



Indicates Existing Tree / Palm To Remain.

Indicates Existing Tree / Palm To Be Removed.



TREE PROTECTION BARRIER DETAIL N.T.S.

Tree Survey / Disposition Plan
SCALE: 1/8" = 1'-0"

NOTES

LOCUS ARCHITECTURE INCORPORATED
300 South Dixie Highway, Suite 307
Coral Gables, FL 33146
Tel: (305) 740-0123
Fax: (305) 740-0220
CONSOLE FAX: (305) 740-0222
Robert E. Marin, Landscape Architect

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	12-10-14
	CIRC SUBMITTAL	01-09-15
	BDA PRELIM	01-09-15
	PERMIT SUBMITTAL	

PROJECT
(4) New 3-Story Townhouses: VALENCIA TOWNHOUSES
444 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING
Tree Survey
Disposition Plan

SCALE 1/8" = 1'-0"

DRAWN: BG, NCL
REVIEWED: NCL
PROJ. NO: 1730
SHEET NO:

LA-2



VIEW ALONG VALENCIA AVENUE

LOCUS
ARCHITECTURE
INCORPORATED

5615 W. 26th Avenue, Suite 317
Coral Gables, FL 33146
Tel: (305) 443-1233
Fax: (305) 443-1233
License No. AA0002133

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	12-10-14
	DRC SUBMITAL	01-05-15
	SCA PRELIM SUBMITAL	01-05-15
	PERM SUBMITAL	

PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
464 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING
3D Rendering View
Along Valencia Avenue

SCALE	SCALE
	DRAWN
	BY: N.E.
	REVIEWED
	T.C.L.
Wesley de Leon AR 13937	PROJ. NO. 1732

SHEET NO.
A-01.2



VIEW AT CORNER OF VALENCIA AVENUE & HERNANDO STREET

LOCUS
ARCHITECTURE
INCORPORATED
5035 W. Chas Highway, Suite 317
Coral Gables, FL 33148
Tel: (305) 740-0123
Fax: (305) 740-0123
License No.: AA0002133
CONSULTANTS

NO.	REVISION/REVISION	DATE
	OWNER REVIEW	12-10-14
	CPC SUBMITTAL	01-09-15
	BCA REVIEW SUBMITTAL	01-09-15
	PERMIT SUBMITTAL	

PROJECT
(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
444 VALENCIA AVENUE
CORAL GABLES, FL 33134

DRAWING
3D Rendering View Corner
of Valencia & Hernando

REAL	SCALE
	DRAWN BG, TEL
	REVIEWED TCL
Melton de Leon AR 13937	PROJ. NO. 1720

SHEET NO.
A-01.3







REAR VIEW



REAR VIEW



VALENCIA VIEW



CORNER VIEW

LOCUS ARCHITECTURE INCORPORATED
 510 S.W. 11th Street, Suite 307
 Coral Gables, FL 33134
 Tel: (305) 442-2222
 Fax: (305) 442-2222
 License No. AR000735

CONTRACT NO.

NO.	REVISION/DESCRIPTION	DATE
01	OWNER REVIEW	12-10-14
02	DCP SUBMITTAL	01-09-15
03	BCA PRELIM SUBMITTAL	01-09-15
04	PERMIT SUBMITTAL	

PROJECT

(4) New 3-Story Townhouses:
VALENCIA TOWNHOUSES
 444 VALENCIA AVENUE
 CORAL GABLES, FL 33134

DRAWING

3D Rendering Views

SCALE	SCALE
DRAWN BY	BC, NEL
REVIEWED BY	TC, EL
PROJECT NO.	PROJ. NO. AR 19927
SHEET NO.	172.0

A-01.1



Florida Power & Light Company

April 13, 2015

Zeke Guilford, Esq.
Guilford & Associates, P.A.
400 University Drive Suite 201
Coral Gables, FL 33134

Reference: Tentative Plat of Town House on Valencia Phase II
Replat of Lots 1, 2, 3, and 4 Block 15 of Coral Gables Biltmore Section according to the
plat thereof as recorder in plat book 20, at page 28, of the public records of Miami-Dade
County, Florida. Sect. 17, Twp. 54S, Rge. 41E

To Whom It May Concern:

Please consider this letter as your notification that satisfactory arrangements for installation of
underground electric service have been made in accordance with Ordinance 68-69.

As per our agreement with you, we would appreciate your making these satisfactory arrangements
contingent on easement requirements as follows:

- Easements necessary for electrical facilities marked on the attached copy of the subject
tentative plat and a duplicate was sent to owner.
- No Additional Easements are required at this time for electrical facilities. Any additional
easements required will be obtained by instrument prior to completion of building
construction.
- Easements have been assured verbally by the owner/developer and will be granted prior to
completion of the building construction.

If there are any questions or you need further information, please call (305) 377-6029 for assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "JS", is written over the typed name and title.

Jason Sanchez
Technical Specialist II



miamidade.gov

Water and Sewer
PO Box 330316 • 3071 SW 38 Avenue
Miami, Florida 33233-0316
T 305-665-7471

June 8, 2015

Zeke Guilford, Esq.
Guilford & Associates, P.A.
400 University Drive
Suite 201
Coral Gables, FL 33134

RE: LETTER OF CONSENT.

TENTATIVE PLAT OF "TOWN HOUSE ON VALENCIA PHASE II" REPLAT.
444 Valencia Ave. / Folio No: 03-4117-008-2440.
Section 17-54-41

To Whom It May Concern:

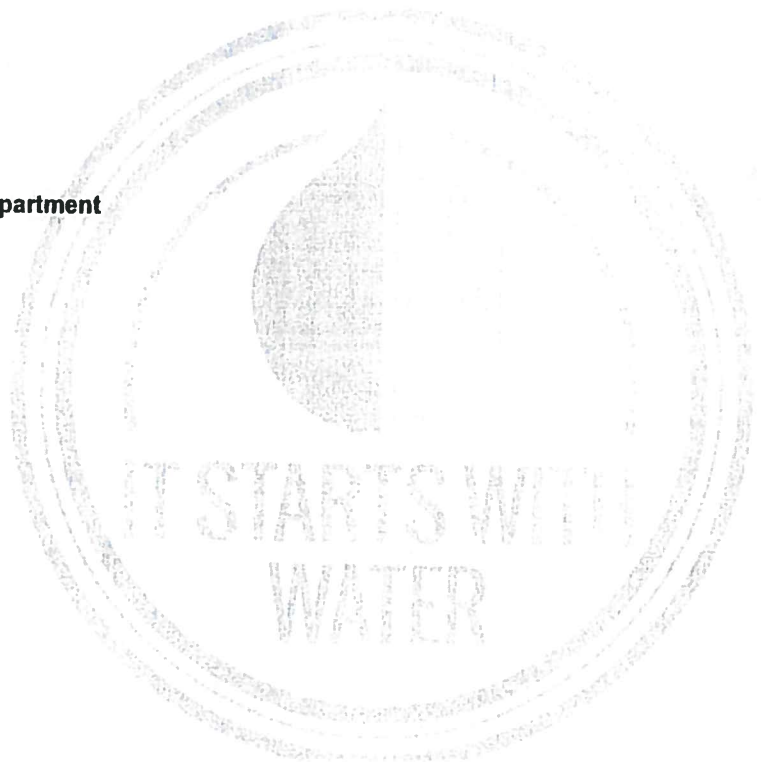
The Miami-Dade Water and Sewer Department (WASD) does not own and/or operate any existing or proposed water/sewer facilities within the boundaries of the above referenced Plat. Therefore, as a utility agency, WASD has **no objections** to this subdivision.

Should you have any question regarding this matter, do not hesitate to contact me.

Very truly yours,

A handwritten signature in blue ink that reads "Pedro Vigil".

**Pedro Vigil, GEC
"SINE LABORE NIHIL"
Construction Manager III
New Customer Division
Miami Dade County Water and Sewer Department
786-268-5172 Office
305-205-5152 Cellular**





AT&T Florida
9101 SW 24 St
Miami, FL 33165

T: 305-222-0941
F: 305-552-5935
RJ3704@att.com

June 1st, 2015

Lina Hickman, PE
City of Coral Gables Public Works
2800 SW 72nd Ave,
Miami, FL 33155

Re: Valencia Townhomes Phase 11 Replat/Folio No: 03-4117008-2440

Being a Replat of Lots 1,2,3 and 4 Block 15 of Coral Gables Biltmore Section according to the Plat thereof as recorded in Plat Book 20, at page 28, of the Public Records of Miami-Dade County, Florida and situated in the Northwest ¼ of Section 17, Township 54 South, Range 41 East. lying and being in the City of Coral Gables, Miami-Dade, Florida

Ms. Hickman,

This letter shall serve as notice of "Non Objection" to Tentative Replat as referenced above . Specific contractual arrangements will be required for recovering costs associated with any relocation or removal of the facilities if so desired.

This information is based on existing AT&T Florida records.

Sincerely,

Richard Johnson,
Mgr OSP Planning/ & Engrg Design
ATT Florida

attachment

cc: Steve Massie, AT&T FL



Engineering – Design Department
2601 SW 145th Ave Miramar, FL 33027

Wednesday, May 27, 2015

Zeke Guilford
Guilford & Associates, P.A.
400 University Drive, Suite 201
Coral Gables, FL 33134

RE: Town House on Valencia Phase II
Request for Review of Tentative Plat
Miami Dade County
Comcast ID # CWSI-M14-2890

Attention Guildford,

Please be advised, in reference to the proposed replat within: **Town House on Valencia Phase II...Comcast has *no objection and approves*** to the proposed replat, as outlined in the above referenced project.

Should it become necessary, Comcast will coordinate with the developer/owners for a separate easement instrument for the provision of Comcast services to the property/properties.

Should you have any further questions, please feel free to call me.



Chris Henning
South Florida Utility Coordinator
Authorized Contractor for Comcast
954-239-8386 (Office)
www.Cable-Wiring.com

cc: Leonard Maxwell-Newbold
cc: Ric Davidson
cc: Jose Martinez



Florida City Gas™

An AGL Resources Company

955 East 25th Street
Hialeah, FL 33013

305 691 8710 phone
www.floridacitygas.com

June 10, 2015

Zeke Guilford, Esq.
Guilford & Associates, P.A.
400 University Drive
Suite 201
Coral Gables, FL, 33134

**Re: Valencia Townhome Phase II Replat at 444 Valencia Ave, Coral Gables,
FL. (Folio No.: 03-4117-008-2440)**

Dear Mr. Guilford:

Florida City Gas (FCG) has received your request to replat the subject property as per your request dated 04/13/2015.

FCG has no objection to the replat of the aforementioned property.

Please be advised that FCG maintains facilities within the 20' alley located adjacent to the subject property and you are required to contact Sunshine State One Call of Florida, Inc. at 811, at least two (2) full business days prior to commencing any excavation in the area.

If you need additional information, please do not hesitate to contact me.

Regards,

Roland Ruiz, E.I.
Associate Engineer
786-457-0937
rruiz@aglresources.com



The City of Coral Gables

Historical Resources Department

October 30, 2014

444 Valencia, LLC
8200 NW 27th Street, Suite #114
Miami, FL 33122

Re: 444 Valencia Avenue, legally described as Lots 1 to 4 INC Block 15, Coral Gables
Biltmore Section, PB 20-28

Dear Sirs:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for six (6) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

444 Valencia Avenue, legally described as Lots 1 to 4 INC Block 15, Coral Gables Biltmore Section, PB 20-28, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.

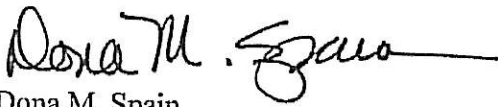
Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of six (6) months. In the case where the Historic Preservation Officer or designee determines that the property does

not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the six-month period.

Upon expiration of the six-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Dona M. Spain
Historic Preservation Officer

cc: Venny Torre, 208 Andalusia Avenue, Coral Gables, FL 33134
Craig Leen, City Attorney
Bridgette Thornton, Deputy City Attorney
Jane Tompkins, Development Services Director
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File