



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Summary Report

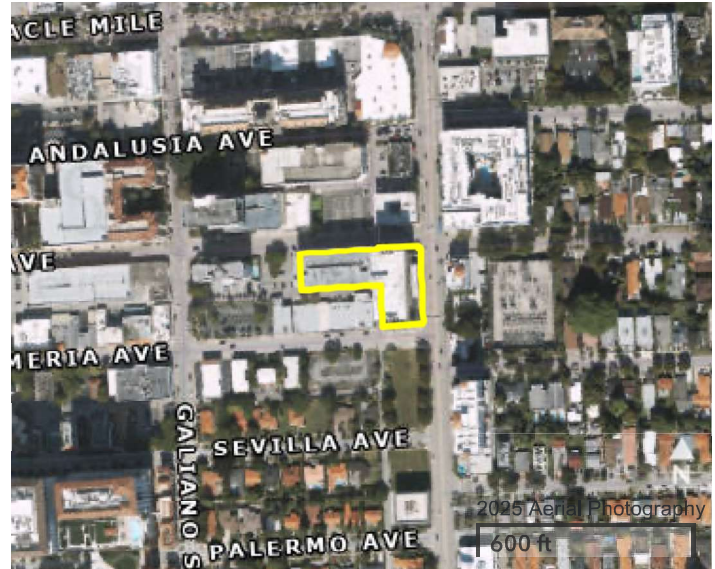
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PROPERTY INFORMATION	
Folio	03-4117-005-3200
Property Address	2600 DOUGLAS RD CORAL GABLES, FL 33134-0000
Owner	2600 DOUGLAS CENTRE LLC
Mailing Address	2600 S DOUGLAS RD STE 400 CORAL GABLES, FL 33134
Primary Zone	5005 MIXED-USE 3
Primary Land Use	1813 OFFICE BUILDING - MULTISTORY : OFFICE BUILDING
Beds / Baths /Half	0 / 0 / 0
Floors	12
Living Units	78
Actual Area	416,075 Sq.Ft
Living Area	416,075 Sq.Ft
Adjusted Area	412,930 Sq.Ft
Lot Size	47,300 Sq.Ft
Year Built	1972

ASSESSMENT INFORMATION			
Year	2025	2024	2023
Land Value	\$16,555,000	\$16,555,000	\$16,555,000
Building Value	\$32,245,000	\$26,356,000	\$26,302,000
Extra Feature Value	\$0	\$0	\$0
Market Value	\$48,800,000	\$42,911,000	\$42,857,000
Assessed Value	\$47,202,100	\$42,911,000	\$42,857,000

BENEFITS INFORMATION			
Benefit	Type	2025	2024
Non-Homestead Cap	Assessment Reduction		\$1,597,900
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).			

SHORT LEGAL DESCRIPTION	
C GABLES CRAFTS SEC PB 10-40	
LOTS 13 THRU 28 BLK 12 & THAT	
PORT OF N-S ALLEY LYG E OF LOT 20	
& W OF LOTS 21 THRU 23 & N15FT	
LOT 24 PER 69R-1784	



TAXABLE VALUE INFORMATION			
Year	2025	2024	2023
COUNTY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$47,202,100	\$42,911,000	\$42,857,000
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$48,800,000	\$42,911,000	\$42,857,000
CITY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$47,202,100	\$42,911,000	\$42,857,000
REGIONAL			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$47,202,100	\$42,911,000	\$42,857,000

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
12/22/2023	\$0	34023-4687	Affiliated parties
07/31/2017	\$100	30644-0139	Corrective, tax or QCD; min consideration

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>

City's Exhibit #1

2600 Douglas Rd – The property appraiser has the owner listed as a condominium association, which incorrect. Please see the correct owner name below. Until the property appraiser updates the information or the property manager responds by providing an address that the owner would like the City to use, the City should continue to send notices to the address on the property appraiser’s website.

<u>OWNER (Property Manager provided address (see email of 2-22-23) and RA address)</u> 2600 DOUGLAS CENTRE, LLC A/K/A DOUGLAS CENTRE RB-GEM, LLC C/O SETH HELLER REGISTERED AGENT DEMETREE REAL ESTATE SERVICES 941 W. MORSE BLVD., SUITE # 315 WINTER PARK, FL 32789-3781	<u>Owner (Property Appraiser mailing address):</u> 2600 DOUGLAS CENTRE, LLC 2600 S. DOUGLAS RD STE 400 CORAL GABLES, FL 33134-6134
<u>Owner (incorrect)(Property Appraiser mailing address)</u> Douglas Centre Condominium Association a/k/a Douglas Centre RB- GEM, LLC 941 W Morse Blvd, Ste 315 Winter Park, FL 32789-3781	<u>Owner (incorrect)(Sunbiz principal address, also Sunbiz principal and mailing address for deed owner)</u> Douglas Centre Condominium Association a/k/a Douglas Centre RB- GEM, LLC c/o Seth Heller, Receiver 2600 Douglas Rd, Ste 204 Coral Gables, FL 33134-6125
<u>Owner (incorrect)(Sunbiz mailing and Registered Agent address)</u> Douglas Centre Condominium Association a/k/a Douglas Centre RB- GEM, LLC c/o Dresi LLC Registered Agent 1350 N. Orange Ave., Ste 100 Winter Park, FL 32789-4932	<u>Owner (deed address)</u> Douglas Centre RB- GEM, LLC 4937 SW 75 St Miami, FL 33155-4440
<u>Owner (Sunbiz Registered Agent address)</u> Douglas Centre RB- GEM, LLC c/o Bast Amron LLP Registered Agent Suntrust International Center 1 SE 3RD Ave, Ste 1440 Miami, FL 33131-1714	<u>First mortgagee (BankFind address)</u> Wells Fargo Bank, N.A., as successor to Wells Fargo Bank Minnesota, N.A., as Trustee for Morgan Stanley Dean Witter Capital I, Inc., Commercial Mortgage Pass- Through Certificates, Series 2001-IQ 101 N Phillips Ave Sioux Falls, SD 57104-6738
<u>Second mortgagee (mortgage and BankFind address)</u> Keybank, N.A. 127 Public Sq Cleveland, OH 44114-1217	<u>Third mortgagee (mortgagee and BankFind address)</u> City National Bank of Florida 25 W Flagler St Miami, FL 33130-1712

<u>Owner (landlord address from memorandum of lease)</u> 2600 Douglas Centre, LLC Madelyn Boelter 941 W. Morse Blvd, Ste 315 Winter Park, FL 32789-3781	<u>Tenant</u> Bard, RAO and Athanas Consulting Engineers, LLC Marco DiRenzo Registered Agent 2600 Douglas Rd, Ste 1100 Coral Gables, FL 33134-6143
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Permit num	Permit description	Permit Address	Customer Last Name	Issue date	Approval state
AB-08-02-1032	SIGN FACE CHANGE TO EXISTING WALL SIGN "BANK OF AMERICA"\$2000 GREGORY #1-800	2600 DOUGLAS RD	THOMAS SIGN & AWWNING	2/26/2008	final
AB-12-11-1017	ATM ADDITION \$20000 (BANK OF AMERICA)	2600 DOUGLAS RD	GOLDEN SANDS GENERAL	11/16/2012	final
AB-14-03-3472	COMMERCIAL *REV PER PERF DATE 06/08/18 (RESPONSE TO COMMENTS) *REV TO PERM	2600 DOUGLAS RD	DOUGLAS CENTRE CONDO	4/21/2014	final
AB-15-09-3842	WINDOW @ COMMON AREA AT 2ND FLOOR \$7,400	2600 DOUGLAS RD	GLASS TECH ENGINEERING	9/4/2015	final
AB-15-12-5334	PRELIMINARY *COMMERCIAL* EXTERIOR CLADDING OF EXISTING STAIRCASE POSTED \$750	2600 DOUGLAS RD	ZYSOVICH ARCHITECTS	12/14/2015	canceled
AB-17-12-1395	COMMERCIAL* BANK OF AMERICA* RELOCATE AND ADD ATMS IN THE DRIVE THRU \$7400	2600 DOUGLAS RD	SEANUS BYRNES	12/8/2017	final
AB-18-05-3096	COMMERCIAL*GROUND FLOOR PARKING RECONFIGURATION & RESTRIPIING \$24,100	2600 DOUGLAS RD	AVO FOODS INC	5/15/2018	final
AB-18-08-3916	COMMERCIAL *ADDITIONAL SCOPE OF WORK -NON ELECTRICAL DIRECTIONAL SIGN/ BLAD	2600 DOUGLAS RD	CARLOS BLANCO	8/27/2018	final
BL-08-03-0004	INTERIOR ALTERATIONS (1,610 SF) SUITE#910 \$120,000	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO	12/16/2008	final
BL-08-03-0261	SIGN FACE CHANGE TO EXISTING WALL SIGN "BANK OF AMERICA"\$2,000	2600 DOUGLAS RD	THOMAS SIGN & AWWNING	4/7/2008	final
BL-08-05-0175	CANCELLED***INTERIOR ALTERATIONS COMMERCIAL \$18,000 CONTRACTOR CANCELLED P	2600 DOUGLAS RD	WHITE SHORES BUILDERS	7/23/2009	final
BL-08-05-1274	COMMERCIAL INTERIOR ALTERATIONS (1,400 SF) STE #1004 \$28,000	2600 DOUGLAS RD S	CONSTRUCTIVE CONSULT	7/10/2008	final
BL-09-09-1677	DRYWALL ENCLOSURE DUCT @ EXISTING PIPE IN STAIRWELL \$4,000	2600 DOUGLAS RD	NEWMAN BROTHERS COI	9/30/2009	final
BL-09-12-2668	COMMERCIAL INTERIOR ALTERATIONS (1,040SF) SUITE 801 \$90,000	2600 DOUGLAS RD	BORRELLI & PARTNERS	1/20/2010	final
BL-10-04-5019	CANCELLED - COMM INTER ALTER @ SUITE 1000 (SCAGLIONE & QUESADA) \$	2600 DOUGLAS RD	DOUGLAS CENTRE RB GEN		canceled
BL-11-03-6052	COMM INTER ALTER @ STE 1003 \$5000	2600 DOUGLAS RD	NEWMAN BROTHERS COI	4/26/2011	final
BL-11-05-6767	COMM INTER ALTER @ SUITES 301-303 (BR&A EXPANSION) \$30,000	2600 DOUGLAS RD	TEAMWORK CONSTRUCT	8/1/2011	final
BL-12-02-6279	CANCELLED *** INTERIOR ALTERATIONS (1,610 SF) SUITE#910 \$120,000	2600 DOUGLAS RD	CABALLEIROS CORP		canceled
BL-12-03-7764	COMMERCIAL INTERIOR ALTERATIONS (FCP MIAMI, LLC) PH-1 \$168,000	2600 DOUGLAS RD	FORTUNE CAPITAL PARTN	4/13/2012	final
BL-12-11-1246	ATM ADDITION \$20,000 (BANK OF AMERICA)...	2600 DOUGLAS RD	GOLDEN SANDS GENERAL	12/14/2012	final
BL-14-05-3788	COMMERCIAL INTERIOR ALTERATIONS & RENOVATIONS LEVELS 1 THRU 12 (COMMON ARI	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC	9/26/2014	final
BL-14-10-2956	COMM INTERIOR DEMO @ STE #502 \$5,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	11/17/2014	final
BL-14-11-3945	COMMERCIAL INTERIOR ALTERATIONS STE# 900 (JRPJA) \$80,000	2600 DOUGLAS RD	GMP CONTRACTORS	12/29/2014	final
BL-14-12-4584	INTERIOR ALTERATIONS TO SUITE 600 (MWH AMERICAS INC) \$80,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/18/2015	final
BL-15-01-0168	COMM INTER ALTER @ STE 913 (RESTREPO LAW OFFICE) \$3000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/11/2015	final
BL-15-01-0251	COMMERCIAL INTERIOR ALTERATIONS @ STE#717 \$2,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/2/2015	final
BL-15-03-3772	*** CANCELLED - CHANGE OF CONTRACTOR TO BL19013399 *** SPECIAL INSPECTOR - ALE	2600 DOUGLAS RD	TORRE CONSTRUCTION &	6/23/2016	canceled
BL-15-03-5097	COMMERCIAL INTERIOR ALTERATIONS (MICOCOS TENANT, SUITE 102) \$17,000	2600 DOUGLAS RD	GMP CONTRACTORS	6/3/2015	final
BL-15-03-5101	INTERIOR RENOVATIONS (FORSHEE & LOCKWOOD SUITE 406) \$30,000	2600 DOUGLAS RD	GMP CONTRACTORS	5/19/2015	final
BL-15-07-6041	COMMERCIAL INTERIOR ALTERATIONS (MEDIATRAX) \$99,800	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/2/2015	final
BL-15-08-4806	COMM INTER ALTER @ SUITE 411 (FLIGHT CENTRE) \$150,000	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/6/2015	final
BL-15-09-4205	REPLACEMENT OF WINDOW @ COMMON AREA AT 2ND FLOOR \$7,400	2600 DOUGLAS RD	GLASS TECH ENGINEERING	11/12/2015	final
	INSPECTIONS UNDER BL-14-05-3788				
BL-15-12-5574	*** CANCELLED - CHANGE OF CONTRACTOR TO BL17032714 *** SPECIAL INSPECTOR - E.O	2600 DOUGLAS RD	DOUGLAS CENTRE CONDO	1/12/2016	canceled
BL-16-01-2892	COMM INTER ALTER SUITE 700 (GEICO) \$123,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	3/14/2016	final
BL-16-03-6787	COMMERCIAL INTERIOR ALTERATIONS (SOLUNA MD) @ STE#311 - \$50,000	2600 DOUGLAS RD	GMP CONTRACTORS	6/1/2016	final
BL-16-05-6765	INTERIOR ALTERATIONS ONLY / ADA COMPLIANCE @ CUSTOMER AREAS. (\$30,000)	2600 DOUGLAS RD	SOUTHEAST GENERAL COI	7/6/2016	final
BL-16-10-6230	NEW FLAT ROOF-GAF ROOF SYSTEM W/ GAF EVERGUARD TPO 60 MIL WHITE TOPSHEET	2600 DOUGLAS RD	J QUINTERO ROOFING CC	10/17/2016	final
BL-17-03-2714	*** CHANGE OF CONTRACTOR FROM BL15125574 *** SPECIAL INSPECTOR - E.O.R. - JOSE	2600 DOUGLAS RD	ADVANCED STRUCTURAL I	3/30/2017	final
BL-17-03-2866	COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES) \$200,000	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	7/6/2017	final
BL-17-12-2159	RELOCATE AND ADD ATMS IN THE DRIVE THRU @ BANK OF AMERICA \$74,000	2600 DOUGLAS RD	CAL DEVELOPMENT INC	2/27/2018	final
BL-18-01-2399	COMMERCIAL INTERIOR ALTERATION ONLY - (DEMETREE REAL ESTATE SERVICES) STE 204	2600 DOUGLAS RD	HOME INTERIOR SERVICE	5/25/2018	final
BL-18-05-3858	GROUND FLOOR PARKING RECONFIGURATION & RESTRIPIING \$24,100	2600 DOUGLAS RD	ADVANCED STRUCTURAL I	10/5/2018	final
BL-18-09-2062	**PLANS DISCARDED - SIGNATURES EXPIRED**	2600 DOUGLAS RD	DONATE ELECTRICAL SERV		canceled
	NON-ILLUMINATED BLADE SIGN (2) NON ELECTRICAL DIRECTIONAL SIGN ("ENTRANCE" AND				
BL-18-09-2459	COMM INTERIOR ALTERATIONS @ SUITE 800 (GEMCO)\$90,000	2600 DOUGLAS RD	BRIJAC BUILDERS LLC	10/22/2018	final
BL-18-10-2678	INT ALTERATIONS ONLY 12TH FLOOR STE # PH5 & PH7 (CE NORTH AMERCA) - \$300,000	2600 DOUGLAS RD	GMP CONTRACTORS	2/26/2019	final
BL-19-01-3399	CHANGE OF CONTRACTOR TO BL20124878*** CHANGE OF CONTRACTOR FROM BL15033	2600 DOUGLAS RD	ALL TROPICAL SERVICES L	1/17/2019	canceled
BL-20-12-4878	CHANGE OF CONTRACTOR TO BL-21-05-7998 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL1	2600 DOUGLAS RD	TORRE CONSTRUCTION &		canceled
BL-21-01-6164	*COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$793,	2600 DOUGLAS RD	SKYCON GROUP LLC	5/3/2021	final
BL-21-03-8082	***ABANDONED STATUS - OVER 6 MONTHS OF NO ACTION *** OK TO CANCEL PER DEV. SERVICES DIRECTOR SURAMY CABRERA	2600 DOUGLAS RD	THOMAS B MENHOUSE		canceled
	COMMERCIAL *ILLUMINATED SIGNS, ON EAST SIDE ON BUILDING "BANK OF AMERICA" (1 f				
BL-21-05-7998	CHANGE OF CONTRACTOR TO ENERGVOV PERMIT NO. EDEN-23-02-0054 CHANGE OF CONTRACTOR FROM BL-20-12-4878 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL1	2600 DOUGLAS RD	GMP CONTRACTORS	5/25/2021	canceled
CE-10-08-4807	WT14041 38-29 CITY CODE (UNO) RUNNING PRESSURE CLEANER AT 555AM	2600 DOUGLAS RD	RSB I INC	8/27/2010	final
CE-10-11-4475	CASE #7300-F MITIGATE TO \$325.00	2600 DOUGLAS RD	ADVANCED REAL ESTATE F	11/24/2010	final

City's Exhibit #3

CE-10-12-3249	CASE #7300-F MITIGATED AMOUNT OF \$325	2600 DOUGLAS RD	ADVANCED REAL ESTATE #		final
CE-11-03-6194	LIEN SEARCH (2600 DOUGLAS ROAD UNIT PH-8)	2600 DOUGLAS RD	RAPID LIENS	3/21/2011	final
CE-11-09-6300	LIEN SEARCH	2600 DOUGLAS RD	FLORIDA LIEN SEARCH IN	9/15/2011	final
CE-11-09-7004	LIEN SEARCH	2600 DOUGLAS RD	RELIABLE LIEN SEARCH IN	9/26/2011	final
CE-12-08-0749	CASE #11076 PAYING ADMIN. FEE	2600 DOUGLAS RD	DOUGLAS CENTRE RB GEN	8/13/2012	final
CE-12-09-0623	CASE #11076 PAYING ADMIN. FEE	2600 DOUGLAS RD	DOUGLAS CENTRE RB-GE		final
CE-12-11-1225	WT11805 3-209 ZONING CODE (CUV) FAILURE TO RENEW CERT OF USE #15660	2600 DOUGLAS RD	DOUGLAS CENTRE RB GEN	11/19/2012	final
CE-13-04-0663	CASE #12822 PAYING ADMIN. COST OF \$108.75	2600 DOUGLAS RD	RICARDO C GONZALEZ DM		final
CE-13-05-1001	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1002	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1003	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1005	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1006	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1007	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1008	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1010	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1011	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1012	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-05-1014	LIEN SEARCH REQUEST	2600 DOUGLAS RD	RAPID LIENS	5/17/2013	final
CE-13-08-1792	LIEN SEARCH REQUEST	2600 DOUGLAS RD	CLEAR CHOICE TAX & LIEN	8/29/2013	final
CE-13-09-0125	WT11073 CITY CODE (CUV) FAILURE TO RENEW CERT OF USE #15579 FOR ANIA INSURANCE GROUP SUITE 713	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/4/2013	final
CE-13-09-0163	VERBAL WARNING CUV PH-10 SCAGLIONE - CHRISTINA	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/4/2013	final
CE-13-09-1455	WT16881 SEC 3-209 ZONING CODE (CUV) FAILURE TO OBTAIN CERTIFICATE OF USE - VERBAL WARNING 9/4/13	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/26/2013	final
CE-13-09-1460	WT16882 SEC 3-209 ZONING CODE (CUV) FAILURE TO OBTAIN CERTIFICATE OF USE (ZORRILLA & ASSOCIATES PI)	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/26/2013	final
CE-13-10-0118	T44132 SEC 3-209 CITY CODE (CUV) FAILURE TO OBTAIN CERTIFICATE OF USE. PREVIOUSLY WARNING 9/4/13 & 9/26/13.	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	3/20/2014	final
CE-13-10-0121	T16882 SEC 3-209 ZONING CODE (CUV) FAILURE TO OBTAIN CERTIFICATE OF USE (ZORRILLA & ASSOCIATES)	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	4/23/2014	final
CE-13-12-2373	LIEN SEARCH FOR 2600 DOUGLAS	2600 DOUGLAS RD	WINDERWEEDLE, HAINES	12/16/2013	final
CE-13-12-2525	T55409 3-209 ZONING CODE (CUV) FAILURE TO RENEW CERTIFICATE OF USE (EXPIRED ON 8/3/13) FOR NATIONAL HOME MAN	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/12/2014	final
CE-14-01-1928	LIEN SEARCH FOR 12 UNITS - \$145 EACH	2600 DOUGLAS RD	DEBORAH SIEFFERT, WIN	1/14/2014	final
CE-14-07-2863	LIEN SEARCH	2600 DOUGLAS RD	A-1 TITLE SUPPORT SERVI	7/15/2014	final
CE-15-08-4848	Gov QA CE256620/T55536	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L		pending
CE-15-08-5067	Gov QA Ticket - 256620/T55536	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	9/2/2015	final
CE-15-08-5405	LIEN SEARCH	2600 DOUGLAS RD	RELIABLE LIEN SEARCH IN	9/11/2015	final
CE-16-01-1638	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1657	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1695	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1749	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1750	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1762	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1784	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1789	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1793	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1797	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1804	DUPLICATE LIEN SEARCH CANCEL (VOID)	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF		canceled
CE-16-01-1805	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1879	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-1913	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/13/2016	final
CE-16-01-2102	LIEN SEARCH	2600 DOUGLAS RD	PROFESSIONAL LIEN SEAF	1/21/2016	final
CE-17-08-1208	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	8/11/2017	final
CE-18-08-3498	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	8/14/2018	final
CE-19-06-4706	lien search	2600 DOUGLAS RD	PROPLOGIX	6/5/2019	final
CE-19-06-4707	lien search	2600 DOUGLAS RD	PROPLOGIX	6/5/2019	final

CE-19-08-5668	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	8/22/2019	final
CE-19-09-3763	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	9/12/2019	final
CE-19-09-3771	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	9/11/2019	final
CE-19-12-3768	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	12/4/2019	final
CE-19-12-3769	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	12/4/2019	final
CE-19-12-3790	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	12/4/2019	final
CE-20-06-7054	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	6/26/2020	final
CE-20-08-6967	LIEN SEARCH	2600 DOUGLAS RD	PROPLOGIX	8/26/2020	final
EL-08-09-0428	INSTALL LIGHT FIXTURES & WIRING OUTLETS FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD S	ALL PHASE ELECTRIC CORP	9/11/2008	final
EL-08-09-0512	INSTALL TELEPHONE & COMMUNICATION FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD S	SUNSHINE ELEC CONTRAC	9/12/2008	final
EL-08-10-0665	INSTALL FIRE ALARM FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD S	EDWARDS SERVICE	10/13/2008	final
EL-09-04-2889	CANCELLED DUE TO CHANGE OF CONTRACTOR ONLY - INSTALL SERVICE & WIRING OUTLETS	2600 DOUGLAS RD	TROPIC ELECTRICAL CON	4/27/2009	final
EL-09-06-2410	PRE-WIRING INSTALLATION FOR THE INTERIOR ALTERATIONS SUITE #910	2600 DOUGLAS RD	WICOMM CORP	6/15/2009	canceled
EL-09-07-1852	CANCELLED *** ALL FIRE ALARM FOR THE INTERIOR ALTERATIONS (SUITE#910)	2600 DOUGLAS RD	EDWARDS SERVICE	7/14/2009	canceled
EL-09-09-1565	INSTALL EQUIPMENT OUTLET FOR THE WATER HEATER	2600 DOUGLAS RD 2	CARLY ELECTRICAL SERV	9/2/2009	final
EL-10-01-3386	DEMO CIRCUIT; 48 LOGHT FIX SOCKETS; 63 ROUGH IN OUTLETS;	2600 DOUGLAS RD	KENDALL ELECTRIC INC	1/22/2010	final
EL-10-02-3117	PHONE & DATE LOW VOLT	2600 DOUGLAS RD	PRO TECH INTERNATIONAL	2/16/2010	final
EL-10-02-3211	BURGLAR ALARM	2600 DOUGLAS RD	PRO TECH INTERNATIONAL	2/16/2010	final
EL-10-03-3246	INSTALL FIRE ALARM FOR THE COMMERCIAL INTERIOR ALTERATIONS (SUITE 801)	2600 DOUGLAS RD	KENDALL ELECTRIC INC	3/5/2010	final
EL-10-07-4120	LOW VOLT BURGLAR ALARM \$ 500.00 THIS IS FOR PH # 6	2600 DOUGLAS RD P	ADT SECURITY SERVICES	7/15/2010	final
EL-11-03-5618	CHANGE OF CONTRACTOR TO INSTALL SERVICE & WIRING OUTLETS	2600 DOUGLAS RD	RAY & REY INC	3/11/2011	final
EL-11-03-6218	5-ELECTRICAL OUTLETS AND RELOCATE 2 LIGHT FIXTURES	2600 DOUGLAS RD	ACE ELECTRIC OF SOUTH	4/26/2011	final
EL-11-06-5489	20 ROUGH IN OUTLETS AND 3 LIGHT SOCKETS	2600 DOUGLAS RD	NEW WORLD ELECTRIC	8/2/2011	final
EL-11-11-6514	BURGLAR ALARM UNIT 506 \$199	2600 DOUGLAS RD	DEVCON SECURITY	12/2/2011	final
EL-12-03-8964	67 LIGHT SOCKETS; 52 ROUGH IN OUTLETS AND 1 COMMERCIAL OUTLET	2600 DOUGLAS RD	CARLY ELECTRICAL SERV	4/20/2012	final
EL-12-05-8943	ALARM SYSTEM	2600 DOUGLAS RD	CARTER BROTHERS FIRE &	5/25/2012	final
EL-12-06-9599	LOW VOLT PERMIT	2600 DOUGLAS RD	XTREME POWER ELECTRIC	6/22/2012	final
EL-12-11-1591	ATM ADDITION \$20000 (BANK OF AMERICA) 1 DEDICATED CIRCUIT AND 2 LIGHTS	2600 DOUGLAS RD	ECOELECTRIC COMPANY	12/17/2012	final
EL-13-02-0437	LOW VOLT FOR ONE DOOR CONTROL \$1250	2600 DOUGLAS RD	ADT SECURITY SERVICES	2/11/2013	final
EL-13-03-0444	REMOVE AND REPLACE TWO 7.5 HP WATER PUMPS \$1000	2600 DOUGLAS RD	BELIN ELECTRIC INC	3/12/2013	final
EL-13-08-1259	ELEVATOR MODERNIZATION (ELECTRICAL) \$17,000 20LIGHT SOCKETS AND 4 ROUGH IN OUTLETS	2600 DOUGLAS RD	EXCEL ELECTRICAL GROUP	8/22/2013	final
EL-13-08-1901	ACCESS CONTROL	2600 DOUGLAS RD	ADT LLC	9/12/2013	final
EL-13-10-1607	LOW VOLT PERMIT FOR CAMERAS - ELECTRICAL CONTRACTOR REQUIRED TO REPLACE GATE	2600 DOUGLAS RD	IWATCH STYSTEMS LLC	10/30/2013	final
EL-13-11-1968	ELECTRICAL FEEDER FOR PARKING GATES	2600 DOUGLAS RD	AE TECH CORPORATION	11/6/2013	final
EL-14-02-2542	STREAMLINED LOW VOLTAGE ALARM PERMIT	2600 DOUGLAS RD	ADT SECURITY SERVICES	2/18/2014	final
EL-14-05-3861	166 NEW LIGHTS; 5 COMMERCIAL OUTLETS; 2 - 1 TON MINI SPLITS A/C; 15 KVA TRANSFORMER	2600 DOUGLAS RD	CLARKE ELECTRICAL CO IN	10/7/2014	final
EL-14-07-2351	FIRE ALARM FOR ALL 13 FLOORS OF THE ENTIRE BUILDING	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	7/8/2014	final
EL-14-10-3085	NOT REQUIRED	2600 DOUGLAS RD	BANK OF AMERICA NA		canceled
EL-14-11-4217	COMMERCIAL INTERIOR ALTERATIONS STE# 900 68 LIGHT SOCKET; 49 ROUGH IN OUTLETS; 60 AMPS SERVICE 30 KVA TRANSFORMER AM/N	2600 DOUGLAS RD	GMP CONTRACTORS	12/30/2014	final
EL-15-01-0041	INTERIOR ALTERATIONS TO SUITE 600 MWH AMERICAS INC 104 LIGHT SOCKETS; 65 ROUGH IN OUTLETS; 5 COMMERCIAL OUTLET AND 2 I TON MINIPL	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/18/2015	final
EL-15-01-0294	NOT REQUIRED DEMO	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L		canceled
EL-15-01-0746	INSTALLATION OF FIRE ALARM SUITE 900 \$4000	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	1/30/2015	final
EL-15-01-0749		2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S		canceled
EL-15-01-0750		2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S		canceled
EL-15-01-0751	INSTALLATION OF NEW FIRE ALARM SUITE 900	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	1/30/2015	final
EL-15-02-0410	LOW VOLT DATA DROPS	2600 DOUGLAS RD	M&D ELECTRICAL SERVICE	2/10/2015	final
EL-15-02-1222	INTERIOR ALTERATIONS TO SUITE 600 (MWH AMERICAS INC) \$80,000	2600 DOUGLAS RD	MILLER ELECTRIC COMPA	2/25/2015	final
EL-15-03-4043	COMMERCIAL EXTERIOR RENOVATIONS W/ STOREFRONT REPLACEMENT CANOPY AND EXTERIOR LIGHTING 45 LIGHT SOCKETS AND PHOTOCELLS	2600 DOUGLAS RD	VI ELECTRICAL CONTRACT	8/4/2016	final
EL-15-03-5181	COMMERCIAL INTERIOR ALTERATIONS (FUTURE TENANT SUITE 102) \$17,000 22 OUTLETS, 2	2600 DOUGLAS RD	FIALLO MJ ELECTRIC CORP	6/5/2015	final
EL-15-03-5259	INTERIOR RENOVATIONS (FORSHEE & LOCKWOOD SUITE 406) 50 OUTLETS, 60 SOCKETS	2600 DOUGLAS RD	FIALLO MJ ELECTRIC CORP	5/21/2015	final

EL-15-05-4554	DOUBLE PERMIT CREATED- (ELECTRICAL)	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L		canceled
EL-15-06-5224	INTERIOR RENOVATIONS (FORSHEE & LOCKWOOD SUITE 406) LOW VOLTAGE - DATA	2600 DOUGLAS RD	FIALLO MJ ELECTRIC CORP	6/22/2015	final
EL-15-08-4879	COMM INTER ALTER (MEDIATRAX) 34 LIGHT SOCKETS; 35 ROUGH IN OUTLETS AND 1 COMMERCIAL OUTLET	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/8/2015	final
EL-15-09-3598	COMM INTER ALTER @ SUITE 411 (FLIGHT CENTRE) 76 LIGHT SOCKETS; 32 ROUGH IN OUTLETS; 16 COMMERCIAL OUTLETS; 30 KW TRANSFOR	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/7/2015	final
EL-15-10-5225	LOW VOLTAGE (DATA CABLES)	2600 DOUGLAS RD	ASK CABLE COMMUNICA	11/17/2015	final
EL-15-10-5392	LOW VOLT PERMIT FOR FIRE ALARM	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	10/26/2015	final
EL-15-10-5394	COMM INTER ALTER @ SUITE 411 (FLIGHT CENTRE) LOW VOLT FOR FIRE ALARM	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	10/26/2015	final
EL-15-12-4943	MAGLOCKS & CARD READERS \$ 84,852 FOR 13 FLOORS	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	3/3/2016	final
EL-16-02-1497	COMM INTER ALTER SUITE 700 (GEICO) 123 LIGHTS; 129 ROUGH OUTLETS AND 11 COMMERCIAL OUTLETS	2600 DOUGLAS RD	HOME INTERIOR SERVICE	3/21/2016	final
EL-16-03-6899	COMMERCIAL INTERIOR ALTERATIONS STE#311 41 LIGHTS; 35 ROUGH IN OUTLETS; 5 COMMERCIAL OUTLETS; 30 KVA TRANSF AND 100 AV	2600 DOUGLAS RD	GMP CONTRACTORS	6/7/2016	final
EL-16-03-7092	CAT 5 CABINET VOICE & DATA SUITE 700 (GEICO)	2600 DOUGLAS RD	SEMNAC TECHNOLOGIES	4/1/2016	final
EL-16-05-6146	COMM INTER ALTER SUITE 700 (GEICO) \$123,000 (FIR ALARM)	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	5/11/2016	final
EL-16-05-6900	INTERIOR ALTERATIONS ONLY / ADA COMPLIANCE BATHROOMS & CUSTOMER AREAS. RELOCATE OUTLETS AND DATA FOR ADA COMPLIANCE	2600 DOUGLAS RD	INTERCOASTAL ELECTRIC	7/26/2016	final
EL-16-08-6771	COMMERCIAL INTERIOR ALTERATIONS (SOLUNA MD) @ STE#311 - LOW VOLT FOR FIRE ALARM	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	8/29/2016	final
EL-16-09-5162	COMMERCIAL INTERIOR ALTERATIONS (SOLUNA MD) @ STE#311 - \$50,000	2600 DOUGLAS RD	MBM ELECTRIC INC	9/6/2016	final
EL-17-03-2901	COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES) 40 LIGHTS; 43 OUTLETS; 11 COMMERCIAL OUTLETS; 30 KVA TRANSFORMER AND 100 PANE	2600 DOUGLAS RD	FOSTER & SON ELECTRICA	7/12/2017	final
EL-17-07-1878	NEW 30 KVA,NEW 100 AMP PANEL 5 NEW MINI-SPLIT FOR RV17071698	2600 DOUGLAS RD	JCYH ELECTRIC CORP	3/15/2018	final
EL-17-07-2021	COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES) \$200,000	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	8/17/2017	final
EL-17-08-2015	COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES) \$200,000	2600 DOUGLAS RD	FOSTER & SON ELECTRICA	8/29/2017	final
EL-17-11-1697	INSTALL HIGH/ LOW VOLTAGE POWER FOR PARKING GARAGE EQUIPMENT (GATES, TICKET THIS ARE REPAIRS TO EXISING GATES AND EQUIPMENT	2600 DOUGLAS RD	WAYNES ELECTRIC	11/15/2017	final
EL-17-12-2247	RELOCATE AND ADD ATMS IN THE DRIVE THRU @ BANK OF AMERICA \$74000	2600 DOUGLAS RD	INDUSTRIAL ELECTRICAL S	3/6/2018	final
EL-18-01-2581	COMMERCIAL INTERIOR ALTRERATION ONLY - (DEMETREE REAL ESTATE SERVICES) STE 204	2600 DOUGLAS RD	MFH 2001 INC	7/13/2018	final
EL-18-01-2601	ELECTRICAL FOR AN EXACT REPLACEMENT OF AC UNIT ON ROOF TOP	2600 DOUGLAS RD	POWER ENTERPRISE COR	1/31/2018	final
EL-18-02-2546	ADDING 2 CAMERA OVERLOOKIUNG PARKING ENTERANCE \$2,244	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	2/28/2018	final
EL-18-02-2917	PERMIT TRANSFERRED TO ENERGGOV ADDITIONAL ELECTRICAL FEES TO RV-18-02-2851-NEW ATM AND FRONT WORK	2600 DOUGLAS RD	TORRE CONSTRUCTION &		canceled
EL-18-09-1952	COMMERCIAL INTERIOR ALTRERATION ONLY - (DEMETREE REAL ESTATE SERVICES) STE 204	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	9/25/2018	final
EL-18-09-2564	COMM INTERIOR ALTERATIONS @ SUITE 800 (GEMCO) 50 OUTLETS AND 28 LIGHTS	2600 DOUGLAS RD	CARIBE ELECTRICAL CONT	10/25/2018	final
EL-18-10-2701	INT ALTERATIONS ONLY 12TH FLOOR STE # PH5 & PH7 30 KVA, 100 AMP, 62 RECP, 10 SPE	2600 DOUGLAS RD	TESLA ENGINEERING INC	2/27/2019	final
EL-18-10-3797	DATA CABLING	2600 DOUGLAS RD	CUSTOM CALL CENTERS II	10/25/2018	final
EL-18-11-3405	FIRE ALARM @ SUITE 800 (GEMCO)	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	11/20/2018	final
EL-19-04-4871	FIRE ALARM	2600 DOUGLAS RD	GMP CONTRACTORS	4/24/2019	final
EL-19-04-5761	INT ALTERATIONS ONLY 12TH FLOOR STE # PH5 & PH7 (CE NORTH AMERCA) - \$300,000	2600 DOUGLAS RD	GMP CONTRACTORS	4/30/2019	final
EL-21-01-6223	*COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$730,	2600 DOUGLAS RD	FISK ELECTRIC COMPANY	5/7/2021	final
EL-21-03-8669	COMMERCIAL *ILLUMINATED SIGNS, ON EAST SIDE ON BUILDING "BANK OF AMERICA" (1	2600 DOUGLAS RD	THOMAS B MENHOUSE	4/1/2021	stop work
EL-21-05-7481	DATA ***SUITE 410-411***	2600 DOUGLAS RD	CUSTOM CALL CENTERS II	5/12/2021	final
EL-21-05-7482	SPEAKERS	2600 DOUGLAS RD	CUSTOM CALL CENTERS II	5/12/2021	final
EL-21-05-7495	*ACCESS CONTROL SYSTEM \$ 3925.00 FD-21-05-7459 *COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$793,	2600 DOUGLAS RD	DST SECURITY LLC	6/1/2021	final
EL-21-05-7558	COMMERCIAL FIRE ALARM \$3500.00 FD-21-05-7519 *COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$793,	2600 DOUGLAS RD	FISK ELECTRIC COMPANY	7/9/2021	final
EX-11-01-4782	PERMIT EXTENSION FOR INTERIOR ALTERATIONS SUITE #910	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO	1/20/2011	final
EX-15-06-4784	PERMIT RENWAL EL-14-02-2542	2600 DOUGLAS RD	ADT LLC	6/8/2015	final
EX-15-07-5880	EXTENSION FOR PERMIT ME-15-01-0718	2600 DOUGLAS RD	DEBONAIR MECHANICAL	7/27/2015	final
EX-15-10-5750	RENEWAL PERMIT ME-15-02-1382	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final
EX-15-10-5751	RENEWAL PERMIT ME-15-02-0875	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final
EX-15-10-5752	RENEWAL PERMIT ME-15-02-0873	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final
EX-15-10-5753	RENEWAL PERMIT ME-15-02-0872	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final
EX-15-10-5754	RENEWAL PERMIT ME-15-02-0284	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final
EX-15-10-5756	RENEWAL PERMIT ME-15-02-111	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	10/27/2015	final

EX-15-10-5898	EXTENSION BL-15-01-0251, COMMERCIAL INTERIOR ALTERATIONS @ STE#717 \$2,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	10/29/2015	final
EX-15-10-5900	EXTENSION BL-14-10-2956, COMM INTERIOR DEMO @ STE #502 \$5,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	10/29/2015	final
EX-16-06-6651	PERMIT EXTENSION FOR BL-15-03-5097	2600 DOUGLAS RD	GMP CONTRACTORS	6/7/2016	final
EX-18-02-3021	*** CHANGE OF CONTRACTOR FROM BL15125574 *** SPECIAL INSPECTOR - E.O.R. - JOSE	2600 DOUGLAS RD	ADVANCED STRUCTURAL	2/28/2018	final
EX-22-09-6769	EXTENSION FOR BL-17-03-2714	2600 DOUGLAS RD	ADVANCED STRUCTURAL	9/23/2022	final
FD-08-09-1159		2600 DOUGLAS RD 1	AMERICAN FIRE SPRINKLE	9/24/2008	final
FD-08-10-0364		2600 DOUGLAS RD 1	EDWARDS SERVICE	10/10/2008	final
FD-09-03-2486	INTERIOR ALTERATIONS (1,610 SF) SUITE#910 \$120,000	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO		canceled
FD-09-03-2487	INTERIOR ALTERATIONS (1,610 SF) SUITE#910 \$120,000	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO		canceled
FD-09-03-2488	DR. RICK GONZALEZ	2600 DOUGLAS RD	CENTURY FIRE PROTECTIO	3/30/2009	final
FD-09-06-3381	DR. RICK GONZALEZ	2600 DOUGLAS RD	EDWARDS SERVICE	7/1/2009	final
FD-09-12-2722	BORRELLI & PARTNERS	2600 DOUGLAS RD	CENTURY FIRE PROTECTIO	12/22/2009	final
FD-10-03-3197	BORRELLI PARTNERS	2600 DOUGLAS RD	KENDALL ELECTRIC INC	3/4/2010	final
FD-11-04-5563	SUITE 1003	2600 DOUGLAS RD	CENTURY FIRE PROTECTIO	4/7/2011	final
FD-12-05-8431	PH1 - FCP MIAMI, LLC	2600 DOUGLAS RD	SOLRAC, INC.	6/19/2012	final
FD-12-05-8904	PH-1 - FCP MIAMI	2600 DOUGLAS RD	CARTER BROTHERS FIRE &	5/23/2012	final
FD-13-08-1782	FIRE ACCESS CONTROL PERMIT 8-28-13	2600 DOUGLAS RD	ADT LLC	8/28/2013	issued
FD-14-06-4359	FIRE ALARM PERMIT 6-30-14 (Winston 954-918-0025)	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	6/30/2014	final
FD-15-01-0057	RELOCATING SPRINKLER HEADS SUITE 900	2600 DOUGLAS RD	UV FIRE PROTECTION	1/20/2015	final
FD-15-01-0706	INSTALLATION OF NEW FIRE ALARM \$4000 SUITE 600	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	1/30/2015	final
FD-15-01-0713	INSTALLATION OF FIRE ALARM \$4000 SUITE 900	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	1/30/2015	final
FD-15-02-1034	ADDITION OF 1 SPRINKLER HEAD	2600 DOUGLAS RD	ER FIRE PROTECTION ENC	3/4/2015	final
FD-15-02-1116	RELOCATION OF 47 SPRINKLER HEADS	2600 DOUGLAS RD	ER FIRE PROTECTION ENC	3/4/2015	final
FD-15-05-5690	INSTALLATION / RELOCATION OF FIRE SPRINKLER SYSTEM (19 HEADS) #400	2600 DOUGLAS RD	UV FIRE PROTECTION	5/29/2015	final
FD-15-07-4327	FIRE SPRINKLER RELOCATION	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIO	7/10/2015	final
FD-15-10-4586	FIRE SPRINKLER (MEDIATRAX) #1200	2600 DOUGLAS RD	LIFESAFETY MANAGEMEN	10/13/2015	final
FD-15-10-4590	FIRE SPRINKLER @ SUITE 411 (FLIGHT CENTRE)	2600 DOUGLAS RD	LIFESAFETY MANAGEMEN	10/13/2015	final
FD-15-10-5378	FIRE ALARM FOR COMMERCIAL INTERIOR ALTERATIONS SUITE PH10 (MEDIATRAX) \$2,500	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	10/26/2015	final
FD-15-10-5380	FIRE ALARM FOR COMM INTER ALTER @ SUITE 411 (FLIGHT CENTRE) \$3,000	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	10/26/2015	final
FD-15-12-4840	MAGLOCKS & CARD READERS \$ 84,852	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	3/3/2016	final
FD-16-05-6055	RELOCATION OF FIRE SPRINKLER HEADS SUITE 700	2600 DOUGLAS RD	ER FIRE PROTECTION ENC	5/11/2016	final
FD-16-05-6100	COMM INTER ALTER SUITE 700 (GEICO) \$123,000	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	5/11/2016	final
FD-16-07-6227	RELOCATE FIRE SPRINKLER HEADS #300	2600 DOUGLAS RD	UV FIRE PROTECTION	7/13/2016	final
FD-16-08-6754	FIRE ALARM SYSTEM SOLUNA MD STE#311	2600 DOUGLAS RD	GMP CONTRACTORS	8/29/2016	final
FD-16-09-6020	NEW FIRE SPRINKLER @ DRIVEWAY CANOPY	2600 DOUGLAS RD	ARFRAN INC	9/27/2016	final
FD-16-10-6292	RELOCATE AND/ ADD FIRE SPRINKLERS \$500	2600 DOUGLAS RD	UV FIRE PROTECTION	11/30/2016	final
FD-16-10-6293	***3-15-23 CANCELLED THIS IS A DUPLICATE SEE APPROVED SPRINKLER PERMIT FD-16-11-	2600 DOUGLAS RD	UV FIRE PROTECTION		canceled
FD-16-11-7555	RELOCATE AND ADD FIRE SPRINKLERS \$500	2600 DOUGLAS RD	UV FIRE PROTECTION	11/30/2016	final
FD-16-11-7556	RELOCATE ONE SPRINKLER HEAD @ CUSTOMER AREAS. SUITE 100	2600 DOUGLAS RD	UV FIRE PROTECTION	11/30/2016	final
FD-17-07-1604	RELOCATE FIRE SPRINKLER HEAD STE#906 (INFINITY DENTAL ASSOCIATES) \$200,000	2600 DOUGLAS RD	UV FIRE PROTECTION	8/16/2017	final
FD-17-07-1984	STE#906 (INFINITY DENTAL ASSOCIATES)	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	8/17/2017	final
FD-18-03-3668	FIRE SPRINKLER SYSTEM. \$7,000	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	3/20/2018	final
FD-18-06-4247	CANCELED REPLACED BY FD-18-06-4415	2600 DOUGLAS RD	USV FIRE PROTECTION LL		canceled
FD-18-06-4415	FIRE SPRINKLER	2600 DOUGLAS RD	USV FIRE PROTECTION LL	9/5/2018	final
FD-18-08-4549	FIRE ALARM SYSTEM - (DEMETREE REAL ESTATE SERVICES) STE 204	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	9/25/2018	final
FD-18-10-3916	FIRE SPRINKLER FOR COMM INTERIOR ALTERATIONS @ SUITE 800 (GEMCO)\$90,000	2600 DOUGLAS RD	ASAP FIRE SPRINKLER PRI	11/2/2018	final
FD-18-11-3402	FIRE ALARM	2600 DOUGLAS RD	BRIJAC BUILDERS LLC	11/20/2018	final
FD-19-02-3224	FIRE SPRINKLERS RELOCATION FOR INT ALTERATIONS ONLY 12TH FLOOR STE # PH5 & PH7	2600 DOUGLAS RD	GMP CONTRACTORS	3/13/2019	final
FD-19-04-4841	FIRE ALARM	2600 DOUGLAS RD	GMP CONTRACTORS	4/24/2019	final
FD-21-05-7459	*ACCESS CONTROL SYSTEM \$ 3925.00	2600 DOUGLAS RD	DST SECURITY LLC	6/4/2021	final
	*COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$793,				
FD-21-05-7519	COMMERCIAL FIRE ALARM \$3500.00	2600 DOUGLAS RD	FISK ELECTRIC COMPANY	7/1/2021	final
	*COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$793,				
FD-21-05-7710	***CANCELLED LOGGED IN INCORRECTLY - SEE FD21058185_FIRE SPRINCKERS FOR COMM	2600 DOUGLAS RD	ALL AROUND FIRE PROTEI		canceled
FD-21-05-8185	FIRE SPRINCKERS FOR COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @	2600 DOUGLAS RD	ALL AROUND FIRE PROTEI	6/14/2021	final
ME-08-09-0322	RELOCATING DUCT WORK FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD S	RESULTS AIR SERVICES CC	9/19/2008	final

ME-08-12-1451	INSTALL A/C DUCT WORK FOR THE INTERIOR ALTERATIONS (1,610 SF) SUITE#910	2600 DOUGLAS RD	CABALLEIROS CORP	12/22/2008	final
ME-09-01-2409	INSTALL AIR CONDITIONER \$1,300	2600 DOUGLAS RD 8	A COOL WORLD AIR CON	1/28/2009	final
ME-09-06-2850	INSTALL AIR CONDITIONER \$50,000	2600 DOUGLAS RD 1	SUNSHINE STATE A/C INC	6/25/2009	final
ME-10-01-3930	INTALL A/C DUCT WORK FOR THE COMMERCIAL INTERIOR ALTERATIONS (SUITE 801)	2600 DOUGLAS RD	A & D A/C & REFRIGERATI	2/1/2010	final
ME-11-03-6085	RELOCATE 2 RETURN GRILLS IN REMODELED OFFICE.	2600 DOUGLAS RD	AIR QUICK CORP	4/27/2011	final
ME-12-04-7585	IINSTALL 7 NEW DUCTS INCLUDING RETURN GRILLS	2600 DOUGLAS RD	ET AIR CONDITIONER INC	4/24/2012	final
ME-14-06-2150	REPLACE AIR HANDLER 5TH FLOOR \$37,138	2600 DOUGLAS RD	DEBONAIR MECHANICAL	7/10/2014	final
ME-14-06-2151	**OK TO CLOSE/CANCEL**REPLACE AIR HANDLER 8TH FLOOR \$37,138	2600 DOUGLAS RD	DEBONAIR MECHANICAL		canceled
ME-14-06-3284	INSTALL ONE 1 TON A/C MINI- SPLIT AND VENTILATION DUCTWORK FOR ALL 12 FLOORS	2600 DOUGLAS RD	TRINITY AIR COND CO INI	10/29/2014	final
ME-14-06-3829	COOLING TOWER REPAIRS \$20,000	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	6/25/2014	final
ME-14-12-4141	REWORK ALL DUCTWORK FOR ENTIRE SPACE, FROM EXISTING MAINS.ONE EXHAUST FAN.	2600 DOUGLAS RD	GMP CONTRACTORS	12/30/2014	final
ME-15-01-0077	REMODEL ENTIRE DUCT DROPS, AND ADD ONE 1 TON MINISPLIT TO SPACE.	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/18/2015	final
ME-15-01-0718	REPLACE THE SELF CONTAINED INDOOR UNIT 50 TONS	2600 DOUGLAS RD	DEBONAIR MECHANICAL	1/23/2015	final
ME-15-02-0111	EXACT REPLACEMENT OF WATER COOLED PACKAGE UNIT 7TH FLOOR COMMON AREA \$17,	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/5/2015	final
ME-15-02-0284	EXACT REPLACEMENT OF WATER COOLED PACKAGE UNIT 9TH FLOOR COMMON AREA \$17,	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/10/2015	final
ME-15-02-0872	5TH FLOOR BUILDING NORTH, EXACT UNIT REPLACEMENT \$17,000	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/19/2015	final
ME-15-02-0873	11TH FLOOR BUILDING NORTH, EXACT UNIT REPLACEMENT \$17,000	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/19/2015	final
ME-15-02-0875	3RD FLOOR BUILDING SOUTH, EXACT UNIT REPLACEMENT \$17,000	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/19/2015	final
ME-15-02-1382	EXACT REPLACEMENT OF WATER COOLED PACKAGE UNIT 9TH FLOOR SOUTH \$17,000	2600 DOUGLAS RD	KAR & LARRABEE MECHAI	2/27/2015	final
ME-15-03-5343	INSTALL ONE NEW KITCHEN SUPPLY FAN AND ASSOCIATED DUCTWORK TO EXISTINF SPACE,	2600 DOUGLAS RD	GMP CONTRACTORS	6/5/2015	final
ME-15-05-4968	REWORK DUCTWORK TO EXISTING MAINS FOR ENTIRE SPACE.	2600 DOUGLAS RD	GMP CONTRACTORS	5/20/2015	final
ME-15-08-4192	REPLACE 1.5 TON A/C UNIT, HEATING \$15,283	2600 DOUGLAS RD	GEORGIA MECHANICAL IN	8/6/2015	final
ME-15-08-4934	INSTALL SOME SUPPLY DUCTS AND FIRE DAMPERS TO SPACE PER PLAN.	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/7/2015	final
ME-15-09-3683	COMM INTER ALTER @ SUITE 411 REWORK DUCTWORK .	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/7/2015	final
ME-16-02-1582	COMM INTER ALTER SUITE 700 (GEICO) INSTALL NEW DUCTWORK TO ENTIRE SPACE.	2600 DOUGLAS RD	HOME INTERIOR SERVICE	3/29/2016	final
ME-16-03-7094	COMMERCIAL INTERIOR ALTERATIONS STE#311 INSTALL NEW DUCTWORK	2600 DOUGLAS RD	GMP CONTRACTORS	6/7/2016	final
ME-17-04-1650	COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES)	2600 DOUGLAS RD	AVATAR TECH SOLUTIONS	7/12/2017	final
ME-17-09-1635	INSTALL 5 MIN SPLIT INITIS IN EACH GARAGE FLOOR AREA OF 5 FLOORS.	2600 DOUGLAS RD	HAVANA AIR CONDITIONI	10/5/2017	final
ME-18-01-2004	EXACT REPLACEMENT OF AC UNIT ON ROOF TOP \$3,500	2600 DOUGLAS RD	GMP CONTRACTORS	1/18/2018	final
ME-18-02-1757	Adding new ductwork to existing system	2600 DOUGLAS RD	SERGES HOME INSPECTIC	8/21/2018	final
ME-18-10-2620	COMM INTERIOR ALTERATIONS @ SUITE 800 (GEMCO)\$90,000	2600 DOUGLAS RD	METROPOLITAN AIR CON	10/25/2018	final
ME-18-10-2715	INSTALLATION OF NEW DIFFUSERS AS PER APPROVED PLAN	2600 DOUGLAS RD	GMP CONTRACTORS	2/27/2019	final
ME-21-01-6426	*COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY) @ STE. 410-411 \$730,	2600 DOUGLAS RD	VIKING AIR MECHANICAL	5/12/2021	final
PL-08-09-0676	INSTALL SINK FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD 5	CORAL REEF PLUMBING II	9/17/2008	final
PL-08-12-0696	REPLACE SEWER LINE (OUTLET OF GREASE TRAP) \$700	2600 DOUGLAS RD 1	JC PLUMBING SERVICES II	12/11/2008	final
PL-08-12-1638	11 ROUGH & SET ONLY	2600 DOUGLAS RD 9	ALL AROUND PLUMBING I	12/30/2008	final
PL-09-04-1644	INSTALL MEDICAL GAS PIPING & OUTLETS FOR THE INTERIOR ALTERATIONS SUITE # 910	2600 DOUGLAS RD	ALLSTATE PLUMBING COM	4/1/2009	final
PL-09-08-2948	1 ROUGH & SET (WATER HEATER) \$550	2600 DOUGLAS RD 2	METROPOLITAN PLUMBII	8/27/2009	final
PL-09-10-2471	THIS IS A SUPPLEMENT TO PL-09-08-2948 ADDING (2) ROUGH/SET & (2) ROUGH	2600 DOUGLAS RD 2	METROPOLITAN PLUMBII	10/9/2009	final
PL-11-10-6995	INSTALL 4" BACKFLOW PREVENTOR \$6,800	2600 DOUGLAS RD	BIONIC PLUMBING	10/27/2011	final
PL-12-01-6120	EMERGENCY RE-PIPING OF DOMESTIC WATER LINE \$12,000	2600 DOUGLAS RD	METROPOLITAN PLUMBII	1/6/2012	final
PL-12-02-7551	NEW WATER SERVICE FOR IRRIGATION	2600 DOUGLAS RD	METROPOLITAN PLUMBII	2/21/2012	final
PL-12-03-9005	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS PH-1	2600 DOUGLAS RD	METROPOLITAN PLUMBII	4/24/2012	final
PL-13-03-0376	INSTALLATION OF NEW DOMESTIC WATER BOOSTER PUMP \$6000	2600 DOUGLAS RD	BIONIC PLUMBING	3/7/2013	final
PL-14-05-4014	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS TO BATHROOMS FROM LEV	2600 DOUGLAS RD	MOKHER PLUMBING CO	10/20/2014	final
PL-14-10-3097	***CANCELLED***	2600 DOUGLAS RD	BANK OF AMERICA NA		canceled
PL-14-11-4290	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS STE# 900	2600 DOUGLAS RD	GMP CONTRACTORS	12/30/2014	final
PL-15-01-0061	PLUMBING WORK FOR INTERIOR ALTERATIONS TO SUITE 600	2600 DOUGLAS RD	HOME INTERIOR SERVICE	2/18/2015	final
PL-15-03-5376	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS (FUTURE TENANT SUITE 102	2600 DOUGLAS RD	GMP CONTRACTORS	6/5/2015	final
PL-15-04-3918	PLUMBING WORK FOR INTERIOR RENOVATIONS (FORSHEE & LOCKWOOD SUITE 406)	2600 DOUGLAS RD	GMP CONTRACTORS	5/20/2015	final
PL-15-08-5071	PLUMBING WORK FOR COMM INTER ALTER (MEDIATRAX) UNIT 1200	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/7/2015	final
PL-15-09-3729	PLUMBING WORK FOR COMM INTER ALTER @ SUITE 411	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/7/2015	final
PL-16-01-2304	PLUMBING WORK FOR COMMERCIAL EXTERIOR RENOVATIONS RUN STORM COLLECTOR LI	2600 DOUGLAS RD	AGE OF EMPIRE INC	9/28/2016	final
PL-16-02-1638	PLUMBING WORK FOR COMM INTER ALTER SUITE 700 (GEICO)	2600 DOUGLAS RD	HOME INTERIOR SERVICE	3/17/2016	final
PL-16-03-7111	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS STE#311	2600 DOUGLAS RD	GMP CONTRACTORS	6/7/2016	final
PL-17-07-1181	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS @ STE#906 (INFINITY DEN'	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	7/12/2017	final
PL-17-09-1729	*** SUPPLEMENT PERMIT *** { PLUMBING WORK FOR NEW CONDENSATE RISER FROM LE	2600 DOUGLAS RD	TORRE CONSTRUCTION &	1/18/2018	final

PL-18-02-2042	PLUMBING WORK FOR COMMERCIAL INTERIOR ALTERATIONS @ (DEMETREE REAL ESTATE	2600 DOUGLAS RD	V AND D PLUMBING SERV	7/13/2018	final
PL-19-01-2986	PLUMBING WORK FOR COMM. INTERIOR ALTERATIONS @ [12TH FL -PH-5 & PH-7] (CE NORTH AMERICA)	2600 DOUGLAS RD	GMP CONTRACTORS	2/27/2019	final
PL-21-01-6254	PLUMBING WORK FOR *COMMERCIAL *INTERIOR ALTERATIONS/RENOVATIONS (BAKERLY)	2600 DOUGLAS RD	FIAT PLUMBING & GENER	5/7/2021	final
PU-11-01-4950	REQ CERT COPY OF PERMIT BL08030004 CRM INV 012328	2600 DOUGLAS RD	OSCAR BUSTAMANTE	1/20/2011	final
PU-13-06-1858	REQ COPY OF CO'S	2600 DOUGLAS RD	GREENBURG TRAUIG PA	6/28/2013	final
PU-13-07-1282	REQ COPY OF CERTIFICATE OF OCCUPANCY/COMPLETION FOR INTERIOR ALTERATIONS ONLY CERTIFICATE OF USE FOR AVAILABLE UNITS	2600 DOUGLAS RD	ZONING INFO INC	7/18/2013	final
PU-14-11-3985	REQ COPY OF ADA RENOVATIONS	2600 DOUGLAS RD	BETTER BUILDING SOLUTI	11/12/2014	final
PU-15-03-4652	REQ COPY PERMITS 24948 24770 AND A CD	2600 DOUGLAS RD	BETTER BUILDING SOLUTI	3/17/2015	final
PU-16-06-7285	REQUEST FOR STRUCTURAL INFORMATION AND PERMIT/PLANS FOR PARKING GARAGE FOI	2600 DOUGLAS RD	KETTERBUILT HOMES INC	12/21/2021	final
PU-16-07-6474	REQUEST FOR DUPLICATE SET OF PLANS BL-15-03-5097 (20 PAGES) 24 X 36	2600 DOUGLAS RD	GMP CONTRACTORS	7/8/2016	final
PU-16-09-5530	REQUEST FOR 2 DUPLICATE CERTIFIED SETS OF THE MASTER PLAN *** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. *** *** COMMERCIAL EXTERIOR REN	2600 DOUGLAS RD	TORRE CONSTRUCTION &	9/9/2016	final
PU-17-07-1375	REQUEST BY CONTRACTOR FOR DUPLICATE SET OF PLANS COMMERCIAL INTERIOR ALTERATIONS STE#906 (INFINITY DENTAL ASSOCIATES) \$200,000	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	7/11/2017	final
PU-17-11-2112	REQUEST FOR DUPLICATE COPIES OF 2 REVISIONS RV17101020 AND RV17071698 *** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. *** *** COMMERCIAL EXTERIOR REN	2600 DOUGLAS RD	TORRE CONSTRUCTION &	11/21/2017	final
PU-21-12-6223	Certified copy for fd21057519	2600 DOUGLAS RD	FISK ELECTRIC COMPANY	12/10/2021	final
PU-24-09-6864	certified copy for rv22068832	2600 S DOUGLAS RD	GMP CONTRACTORS	9/27/2024	final
PW-10-07-4690	EMERGENCY PERMIT RESTORATION AS PER CITYS SPECS LEAK ON MAIN	2600 DOUGLAS RD	MIAMI DADE WATER AND	7/20/2010	final
PW-11-12-5625	WATER SERVICE INSTALLATION	2600 DOUGLAS RD	MIAMI DADE WATER AND	12/20/2011	final
PW-13-02-0266	INSTALLATION OF 1-4" CONDUIT W/CATV ALONG GALIANO TREET SOUTH OF MIRACLE MII	2600 S DOUGLAS RD	COMCAST	3/6/2013	final
PW-14-02-2744	INSTALL (2) 1.25" HDPE EQUIPPED WITH (1) 24CT FOC and (1) LOCATE WIRE BY DIRECTIO NO SOFT DIG ON VALENCIA AVE MUST NOTIFY ADJACENT NEIGHBORS AT LEAST 5 DAYS PR	2600 S DOUGLAS RD	LEVEL 3 TELECOMMUNICA	3/5/2014	final
PW-14-06-3160	INSTALL 3-1/4" HDPE CONDUITS & PULL 1 FIBER OPTIC CABLE \$1040	2600 S DOUGLAS RD	FIBERLIGHT LLC	7/1/2014	final
PW-16-07-7331	OBSTRUCTION OF ROW ONLY FOR PEDESTRIAN RESUBMITTED 7-28-16 RESUBMITTED 8-1-16	2600 DOUGLAS RD	TORRE CONSTRUCTION &	9/26/2016	final
PW-16-11-6718	OBSTRUCTION OF ROW ONLY FOR PEDESTRIAN RENEWAL OF PW16077331 RESUBMITTED 7-28-16 BOND UNDER PW16077331 RESUBMITTED 8-1-16	2600 DOUGLAS RD	TORRE CONSTRUCTION &	12/13/2016	final
PW-18-03-3710	SEWAGE REPLACEMENT	2600 DOUGLAS RD	TORRE CONSTRUCTION &	3/29/2019	final
PW-19-04-4938	FIBEROPTIC FACILITIESPERMIT APPLICATION DISCARDED NO ACTION HAS TAKEN PLACE FC	2600 S DOUGLAS RD	FIBERNET DIRECT		canceled
PW-20-01-4943	INSTALL 1003' HDPE SDR11 CONDUITS AND PULL 1 FIBER OPTIC CABLE. (36" MIN GROUND	2600 DOUGLAS RD	COMCAST		canceled
PW-20-12-4880	SIDEWALK CLOSURE. CITY PERMIT PANEL MOCKUP.	2600 DOUGLAS RD	TORRE CONSTRUCTION &	12/9/2020	canceled
RV-08-10-0875	REVISION (BUILDING, INTERIOR)	2600 DOUGLAS RD S	CONSTRUCTIVE CONSULT	10/30/2008	final
RV-09-04-2285	REVISION TO PLANS	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO	5/6/2009	final
RV-09-05-2893	REVISION (MECHANICAL & PLUMBING)	2600 DOUGLAS RD	GLASHEEN CONSTRUCTIO	5/27/2009	final
RV-10-01-2885	REVISION (UL - DETAIL)	2600 DOUGLAS RD	NEWMAN BROTHERS COI	2/8/2010	final
RV-14-10-2558	ELECTRICAL,MECHANICAL,PLUMBING,FIRE PROTECTION REVISION	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC	10/28/2014	final
RV-14-12-4128	REVISION (BUILDING, MECHANICAL, ELECTRICAL, PLUMBING)	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC	3/27/2015	final
RV-15-07-4757	REVISION (BUILDING)	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC	8/7/2015	final
RV-15-10-5117	REVISION-AS BUILT REVISION TO ADD TENANT NAME(MICOCOS) (TO SATISFY DERM REQU	2600 DOUGLAS RD	GMP CONTRACTORS	8/16/2016	final
RV-15-10-5562	MECHANICAL REVISION	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/26/2015	final
RV-15-10-5563	MECHANICAL REVISION	2600 DOUGLAS RD	FLORIDA COASTAL CONST	10/26/2015	final
RV-15-12-5383	REVISION TO FD-14-06-4359 (FIRE ALARM & ELECTRICAL REVISION)	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC	12/28/2015	final
RV-16-04-7152	REVISION-MECHANICAL,PLUMBING & ELECTRICAL	2600 DOUGLAS RD	HOME INTERIOR SERVICE	5/10/2016	final
RV-16-10-6533	REVISION-	2600 DOUGLAS RD	SOUTHEAST GENERAL COI	12/27/2016	final
RV-16-11-7149	REVISION (STRUCTURAL @ METAL CANPOY)	2600 DOUGLAS RD	TORRE CONSTRUCTION &	11/29/2016	final
RV-17-07-1698	REVISION- DEMOLITION, ARCHITECTURAL, STRUCTURAL,MECHANICAL, ELECTRICAL, PLUMB	2600 DOUGLAS RD	TORRE CONSTRUCTION &	9/27/2017	final
RV-17-08-2680	REVISION TO FD-17-07-1984	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	9/18/2017	final

RV-17-08-2695	REVISION TO FIRE SPRINKLER PERMIT FD16096020	2600 DOUGLAS RD	ARFRAN INC	9/14/2017	final
RV-17-10-1020	REVISION- ARCHITECTURAL PAGES	2600 DOUGLAS RD	TORRE CONSTRUCTION &	2/6/2018	final
RV-17-11-2084	REVISION-PLUMBING AS BUILT	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	11/30/2017	final
RV-18-02-2851	CANCELLED - PLANS CONDENSED TO RV-18-03-3891 *** REVISION TO STOREFRONT & AD	2600 DOUGLAS RD	TORRE CONSTRUCTION &		canceled
RV-18-03-3891	REVISION- ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING PAGES	2600 DOUGLAS RD	ALL TROPICAL SERVICES L	3/15/2019	final
RV-18-10-2978	REVISIN (MECHANICAL)	2600 DOUGLAS RD	SERGES HOME INSPECTIC	10/17/2018	final
RV-18-10-3987	REVISION - FIRE ALARM DEVICES	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	11/27/2018	final
RV-18-12-3084	REVISION TO FIRE ALARM FD-18-11-3402	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	12/21/2018	final
RV-19-05-5597	REVISION TO FIRE ALARM	2600 DOUGLAS RD	FIRE ALARM SYSTEMS & S	5/30/2019	final
RV-21-02-6787	REVISION TO *	2600 DOUGLAS RD	UV FIRE PROTECTION	3/24/2021	final
	FIRE SPRINKLER SYSTEM. \$7,000				
RV-21-08-8118	REVISION TO FD-21-05-7519 - ADDING DEVICE TO FIRE LARM	2600 DOUGLAS RD	SKYCON GROUP LLC	9/13/2021	final
RV-22-06-8832	CHANGE OF ARCHITECT	2600 DOUGLAS RD	GMP CONTRACTORS	2/8/2023	final
SD-15-07-6057	CANCELLED- SHOULD BEEN SEPARTE PERMIT WITH BOA APPROAL	2600 DOUGLAS RD	OVERHOLT CONSTRUCTIC		canceled
SD-16-09-5243	SHOP DRAWINGS ENTRY CANOPY	2600 DOUGLAS RD	TORRE CONSTRUCTION &	12/2/2016	final
SD-16-09-6109	SHOP DRAWING (GUARD, & HAND RAIL)	2600 DOUGLAS RD	TORRE CONSTRUCTION &	10/10/2016	final
SD-17-07-1983	SHOP DRAWINGS STOREFRONT WINDOWS & DOORS	2600 DOUGLAS RD	TORRE CONSTRUCTION &	10/27/2017	final
SD-17-07-1985	SHOP DRAWINGS EXTERIOR CEILING FRAMING	2600 DOUGLAS RD	TORRE CONSTRUCTION &	10/4/2017	final
SD-17-07-1986	SHOP DRAWINGS EXTERIOR CLADDING	2600 DOUGLAS RD	TORRE CONSTRUCTION &	9/19/2017	final
SD-18-03-3815	*** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. *** SHOP DRAWING (STOREFRONT @	2600 DOUGLAS RD	ALL TROPICAL SERVICES L		pending
SD-21-09-6504	***SHOP DRAWINGS, RAILINGS AND HANDRAILS***	2600 DOUGLAS RD	GMP CONTRACTORS	11/17/2021	final
	CHANGE OF CONTRACTOR FROM BL-20-12-4878				
	CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL1				
SE-20-02-5070	CARNIVAL ON THE MILE - SATURDAY: 12 PM - 12 AM & SUNDAY: 12 PM - 10 PM FOR: KIWANIS CLUB OF LITTLE HAVANA LOCATION: MIRACLE MILE FROM DOUGLAS RD TO LE JEUNE RD RESOLUTION NO.: 2020-03	2600 DOUGLAS RD	RICARDO C GONZALEZ DM	2/14/2020	final
UP-15-12-5573	STRUCTURAL CONCRETE REPAIRS 1000 SF @ \$197,400	2600 DOUGLAS RD	DOUGLAS CENTRE CONDO	12/17/2015	final
UP-16-01-2893	COMM INTER ALTER SUITE 700 (GEICO) \$123,000	2600 DOUGLAS RD	HOME INTERIOR SERVICE	1/29/2016	final
UP-16-03-6786	UPFRON FEE - COMMERCIAL INTERIOR ALTERATIONS STE#311	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	3/24/2016	final
UP-16-05-6766	*UPFRONT FEE* INTERIOR ALTERATIONS ONLY / ADA COMPLIANCE BATHROOMS & CUSTC	2600 DOUGLAS RD	BANK OF AMERICA NA	5/13/2016	final
UP-17-03-2867	*** UPFRONT FEE FOR BL17032866 *** COMMERCIAL INTERIOR ALTERATIONS STE#906 (I	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	3/30/2017	final
UP-18-01-2002	UPFRONT FEE FOR ME-18-01-200, EXACT REPLACEMENT OF AC UNIT ON ROOF TOP \$3,500	2600 DOUGLAS RD	GMP CONTRACTORS	1/16/2018	final
UP-18-01-2400	*UP FRONT FEE* BL18012399 COMM INTERIOR ALTRERATION ONLY / STE 204	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L	2/8/2018	final
UP-18-09-2460	UPFRONT FEE BOR BL18092459 COMM INTERIOR ALTERATIONS @ SUITE 800 (GEMCO)\$9	2600 DOUGLAS RD	BRIJAC BUILDERS LLC	9/13/2018	final
UP-21-01-6165	***CANCELLED UNPAID AT TIME OF INVOICING***UPFRONT FEE FOR BL21016164 *COMM	2600 DOUGLAS RD	2600 DOUGLAS CENTRE L		canceled
UP-21-03-8317	UPFRONT FEE FOR: COMMERCIAL *ILLUMINATED SIGNS, ON EAST SIDE ON BUILDING "BANK OF AMERICA" (1 f	2600 DOUGLAS RD	THOMAS B MENHOUSE		pending
ZN-08-01-0243	COVER PIPES AT SOUTH STAIRS WITH FIRE RATED SHEET ROCK (FLOORS 8 & 10) \$2,450	2600 DOUGLAS RD 1	RESTORE PAINTING & W/	2/14/2008	final
ZN-08-10-0548	DUMPSTER FOR THE COMMERCIAL INTERIOR ALTERATIONS STE #1004	2600 DOUGLAS RD S	WASTE SERVICES USA	10/8/2008	final
ZN-08-12-1492	DUMPSTER	2600 DOUGLAS RD	LOPEFRA CORP	12/29/2008	final
ZN-10-01-3479	DUMPSTER	2600 DOUGLAS RD 7	S&S NATIONAL WASTE	1/21/2010	final
ZN-14-11-4237	DUMPSTER	2600 DOUGLAS RD	SOUTHERN WASTE SYSTE	11/17/2014	final
ZV-13-05-1071	ZONING VERIFICATION/INFORMATION LETTER	2600 DOUGLAS RD	GREENBERGTRAURIG	5/17/2013	final
ZV-14-01-2098	ZONING VERIFICATION LETTER	2600 DOUGLAS RD	WINDERWEEDLE, HAINES		pending

BLDB-22-01-0279	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Expired	01/04/2022	06/11/2025		Parking garage concrete restoration SPECIAL INSPECTOR FORM FOR ALL STRUCTURAL WORK FROM ELIAS LOUIE KOKKORIS P.E. EOR	2600 DOUGLAS RD	
BLDB-22-05-0673	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Finalized	05/01/2022	10/16/2023	04/19/2023	Interior tenant build-out/remodel of dentist office, suite 907	2600 DOUGLAS RD	
BLDB-22-06-0792	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Finalized	06/07/2022	10/16/2023	04/19/2023	INTERIOR TENANT OFFICE BUILD OUT (ATLANTIC MEN CLINIC) ST E#604 Medical Office (One Doctor)	2600 DOUGLAS RD	
BLDB-22-07-0914	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Finalized	07/26/2022	12/27/2023	06/30/2023	Interior buildout of existing space #700	2600 DOUGLAS RD	
BLDB-22-07-0922	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Finalized	07/28/2022	02/06/2024	08/10/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
BLDB-24-01-2295	FBC Building (Commercial)	Addition/ Exterior Renovations	Issued	01/23/2024	02/05/2026		EXTERIOR BUILDING REPAIRS (CONCRETE WALL REPAIR, STUCCO, PAINT, BEAM REPAIR, AND COLUMN REPAIR). NO ADDITION WORK.	2600 DOUGLAS RD	
BLDB-25-06-3483	FBC Building (Commercial)	Signs	In Review	06/23/2025			Illuminated Blade sign (doble face) - Conde	2600 DOUGLAS RD	
BLDB-25-06-3504	FBC Building (Commercial)	Signs	In Review	06/30/2025			Illuminated sign channel letter over raceway reading CONDE (main sign)	2600 DOUGLAS RD	
CHON-23-01-0067	Change of Contractor	Building	Finalized	01/13/2023		03/03/2023	Change of contractor for BL-21-05-7998	2600 DOUGLAS RD	
CHON-23-06-0204	Change of Contractor	Building	Finalized	06/14/2023		07/07/2023	CHANGE OF CONTRACTOR TO AMERICAN CONSTRUCTION & ENGINEERING Parking garage concrete restoration SPECIAL INSPECTOR FORM FOR ALL STRUCTURAL WORK FROM ELIAS LOUIE KOKKORIS P.E. EOR	2600 DOUGLAS RD	
CHON-25-09-0823	Change of Contractor	Building	Denied	09/22/2025			Change of Qualifier to Richard Reyes for same Construction Company American Construction and Engineering Parking garage concrete restoration SPECIAL INSPECTOR FORM FOR ALL STRUCTURAL WORK FROM ELIAS LOUIE KOKKORIS P.E. EOR CHANGE OF CONTRACTOR FROM EDEN PERMIT NO. BL-21-05-7998 - CHANGE OF CONTRACTOR FROM BL-20-12-4878 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL15033772 *** SPECIAL INSPECTOR - ALEZANDER ROCHELL PE *** COMMERCIAL EXTERIOR RENOVATIONS W/ STOREFRONT REPLACEMENT \$1,818,230 REVISION-RV-18-03-3891- CHANGES TO STOREFRONT & ADDING ATM & NIGHT DEPOSIT TO SCOPE OF WORK	2600 DOUGLAS RD	
EDEN-23-02-0054	EDEN Legacy Permit	EDEN Legacy Building	Issued	02/08/2023	10/22/2025			2600 DOUGLAS RD	
ELEC-22-11-0867	Electrical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Finalized	11/10/2022	11/06/2023	05/09/2023	Interior buildout of existing space #700	2600 DOUGLAS RD	
ELEC-22-11-0868	Electrical Commercial	New Construction	Finalized	11/10/2022	09/13/2023	03/17/2023	Interior tenant build-out/remodel of dentist office, suite 907	2600 DOUGLAS RD	
ELEC-22-12-0957	Electrical Commercial	New Construction	Finalized	12/19/2022	08/28/2023	02/28/2023	INTERIOR TENANT OFFICE BUILD OUT (ATLANTIC MEN CLINIC) ST E#604 Medical Office (One Doctor)	2600 DOUGLAS RD	
ELEC-23-02-1065	Electrical Commercial	Low Voltage	Finalized	02/09/2023	10/24/2023	04/27/2023	SUITE 700	2600 DOUGLAS RD	
ELEC-23-02-1066	Electrical Commercial	Low Voltage	Finalized	02/09/2023	08/28/2023	02/28/2023	SUITE 604	2600 DOUGLAS RD	
ELEC-23-02-1067	Electrical Commercial	Low Voltage	Finalized	02/09/2023	09/13/2023	03/17/2023	SUITE 907	2600 DOUGLAS RD	
ELEC-23-02-1102	Electrical Commercial	Low Voltage	Finalized	02/23/2023	10/09/2023	04/12/2023	Install (2) Strobes and (1) Heat detector Master Permit BLD-22-06-0792 Our Permit Fire-22-12-0313	2600 DOUGLAS RD	
ELEC-23-02-1103	Electrical Commercial	Low Voltage	Finalized	02/23/2023	10/09/2023	04/12/2023	Install (1) Strobe unit 907 Master Permit BLD-22-06-0792 our Permit Fire-23-01-0344	2600 DOUGLAS RD	
ELEC-23-03-1143	Electrical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Finalized	03/05/2023	12/27/2023	06/30/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
ELEC-23-03-1196	Electrical Commercial	Low Voltage	Finalized	03/22/2023	11/13/2023	05/17/2023	SUITE 700 - AUDIO VISUAL CAMARAS	2600 DOUGLAS RD	
ELEC-23-03-1213	Electrical Commercial	Other	Finalized	03/28/2023	11/10/2025	05/14/2025	Replacement of electrical fixtures in a parking garage	2600 DOUGLAS RD	
ELEC-23-04-1306	Electrical Commercial	Low Voltage - Fire Alarm	Finalized	04/27/2023	11/15/2023	05/19/2023	Fire Alarm alteration for suite 700	2600 DOUGLAS RD	
ELEC-23-05-1311	Electrical Commercial	Low Voltage - Fire Alarm	Finalized	05/01/2023	12/04/2023	06/05/2023	Master Permit BLDB-22-07-0922 Fire alarm alteration. Install one new strobe and two speaker strobes and relocate two strobes & relocate one speaker strobe.	2600 DOUGLAS RD	
ELEC-23-09-1683	Electrical Commercial	Low Voltage - Fire Alarm	Cancelled	09/01/2023		11/15/2023	Cancelled - See Elec-23-10-1799 - replace fire pump controller panel	2600 DOUGLAS RD	
ELEC-23-10-1799	Electrical Commercial	Other	Issued	10/10/2023	04/13/2026		Building electrical work for 40 year recertification - (Low Voltage - Fire Pump)	2600 DOUGLAS RD	
ELEC-24-02-2140	Electrical Commercial	Signs	Denied	02/06/2024			CONDE HAIR- New electrical sign / Hook up to existing electrical	2600 DOUGLAS RD	
ELEC-24-04-2367	Electrical Commercial	Signs	Denied	04/16/2024			New Blade sign / hook up to existing electrical. All cables and conduits will be hidden from view. Suite104	2600 DOUGLAS RD	104
ELEC-24-07-2691	Electrical Commercial	Signs	Issued	07/31/2024	11/20/2025		Install one (1) interior 13.5 SF illuminated under canopy sign behind the glass Final connection to existing electrical	2600 DOUGLAS RD	
ELEC-25-01-3149	Electrical Commercial	Other	Cancelled	01/17/2025		03/07/2025	CANCELLED, APPLIED INCORRECTLY. THEY WILL APPLY FOR A REVISION UNDER THE ELEC-23-03-1213.—Revision requested by inspector	2600 DOUGLAS RD	
ELEC-25-02-3265	Electrical Commercial	Other	Cancelled	02/25/2025		02/26/2025	CANCELLED FILED IN ERROR SEE ELEC-25-01-3149—Permit Renewal	2600 DOUGLAS RD	

ELEC-25-05-3505	Electrical Commercial	Addition/ Exterior Renovations	Denied	05/06/2025			CHANGE OF LIGHTS	2600 DOUGLAS RD	
ELEC-25-06-3651	Electrical Commercial	Signs	Denied	06/23/2025			Illuminated Blade sign (doble face) - Conde. Master Permit BLDB-25-06-3483	2600 DOUGLAS RD	
ELEC-25-06-3667	Electrical Commercial	Signs	Denied	06/30/2025		07/08/2025	CANCELLED SEE BLDB-25-06-3504 Illuminated sign cahnnel letter o ver raceway reading CONDE (Main sign)	2600 DOUGLAS RD	
FIRE-22-07-0144	Fire	Fire Sprinkler	Submitted - Online	07/01/2022			Relocation of 8 existing fire sprinkler heads. Addition of 1 new fire sp rinkler head.	2600 DOUGLAS RD	
FIRE-22-10-0250	Fire	Fire Alarm	Finaled	10/18/2022	10/09/2023	06/20/2023	Fire Alarm alteration for suite 700	2600 DOUGLAS RD	
FIRE-22-10-0254	Fire	Fire Sprinkler	Finaled	10/19/2022	10/17/2023	04/25/2023	Install 19 new fire sprinkler heads	2600 DOUGLAS RD	
FIRE-22-10-0255	Fire	Fire Sprinkler	Finaled	10/19/2022	09/06/2023	03/10/2023	Install 1 new fire sprinkler head, relocate 8 fire sprinkler heads	2600 DOUGLAS RD	
FIRE-22-10-0256	Fire	Fire Sprinkler	Finaled	10/19/2022	09/05/2023	03/09/2023	Relocate 2 existing fire sprinkler head, install 1 fire sprinkler head	2600 DOUGLAS RD	
FIRE-22-11-0269	Fire	Fire Sprinkler Repair	Issued	11/01/2022			Replace fire pump controller panel	2600 DOUGLAS RD	
FIRE-22-12-0313	Fire	Fire Alarm	Finaled	12/16/2022	10/09/2023	04/12/2023	Install (2) Strobes and (1) Heat detector under master permit BLDB-22-06-0792	2600 DOUGLAS RD	
FIRE-23-01-0344	Fire	Fire Alarm	Finaled	01/17/2023	10/09/2023	04/12/2023	Install 1 strobe in unit #907. Under master permit BLDB-22-05-0673	2600 DOUGLAS RD	
FIRE-23-03-0434	Fire	Fire Sprinkler	Finaled	03/29/2023	10/16/2023	08/02/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
FIRE-23-04-0459	Fire	Fire Alarm	Finaled	04/23/2023		08/09/2023	Master Permit BLBD-22-07-0922 Fire alarm alteration. Install one ne w strobe and two speaker strobes and relocate two strobes & reloca te one speaker strobe.	2600 DOUGLAS RD	
MECB-22-05-0239	Mechanical Commercial	New Construction	Finaled	05/13/2022	09/11/2023	03/14/2023	Interior tenant build-out/remodel of dentist office, suite 907	2600 DOUGLAS RD	
MECB-22-11-0424	Mechanical Commercial	Other	Cancelled	11/14/2022		01/04/2023	new ductwork	2600 DOUGLAS RD	
MECB-22-11-0427	Mechanical Commercial	Other	Cancelled	11/16/2022		01/04/2023	ductwork	2600 DOUGLAS RD	
MECB-22-11-0435	Mechanical Commercial	New Construction	Finaled	11/22/2022	09/11/2023	03/13/2023	New duct work .	2600 DOUGLAS RD	
MECB-23-03-0524	Mechanical Commercial	Interior Build-Out/ Interi or Alteration/Remodel	Finaled	03/29/2023	01/02/2024	07/06/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
PEXT-23-08-0226	Permit Extension/ Renewal	Building	Finaled	08/17/2023		08/29/2023	CHANGE OF CONTRACTOR FROM EDEN PERMIT NO. BL-21-05-7998 - CHANGE OF CONTRACTOR FROM BL-20-12-4878 CHANGE OF CO NTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FR OM BL15033772 **** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. **** COMMERCIAL EXTERIOR RENOVATIONS W/ STOREFRONT REPLACEMENT \$1,818,230 REVISION-RV-18-03-3891- CHANGES T O STOREFRONT & ADDING ATM & NIGHT DEPOSIT TO SCOPE OF W ORK	2600 DOUGLAS RD	
PEXT-24-02-0536	Permit Extension/ Renewal	Building	Finaled	02/15/2024		02/21/2024	***02/20/2024***EDEN-23-02-0054****CHANGE OF CONTRACTOR FROM EDEN PERMIT NO. BL-21-05-7998 - CHANGE OF CONTRACTO R FROM BL-20-12-4878 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL15033772 **** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. **** COMMERCIAL E XTERIOR RENOVATIONS W/ STOREFRONT REPLACEMENT \$1,818,2 30 REVISION-RV-18-03-3891- CHANGES TO STOREFRONT & ADDING ATM & NIGHT DEPOSIT TO SCOPE OF WORK	2600 DOUGLAS RD	
PEXT-24-07-1053	Permit Extension/ Renewal	Electrical	Finaled	07/23/2024		08/15/2024	***08/13/2024***Replacement of electrical fixtures in a parking gar age	2600 DOUGLAS RD	
PEXT-24-10-1270	Permit Extension/ Renewal	Building	Finaled	10/03/2024		10/08/2024	***10/07/2024***EDEN-23-02-0054-- CHANGE OF CONTRACTOR F ROM EDEN PERMIT NO. BL-21-05-7998 - CHANGE OF CONTRACTOR FROM BL-20-12-4878 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL15033772 **** SPECIAL INSPECTOR - ALEZANDER ROCHELL P.E. **** COMMERCIAL EXTE RIOR RENOVATIONS W/ STOREFRONT REPLACEMENT \$1,818,230 R EVISION-RV-18-03-3891- CHANGES TO STOREFRONT & ADDING AT M & NIGHT DEPOSIT TO SCOPE OF WORK	2600 DOUGLAS RD	
PEXT-24-11-1375	Permit Extension/ Renewal	Electrical	Finaled	11/05/2024		11/13/2024	****11/12/2024****Building electrical work for 40 year recertificatio n - (Low Voltage - Fire Pump)	2600 DOUGLAS RD	
PEXT-25-03-1746	Permit Extension/ Renewal	Electrical	Finaled	03/20/2025		03/28/2025	***03/26/2025***Replacement of electrical fixtures in a parking gara ge. Permit extension.	2600 DOUGLAS RD	
PEXT-25-04-1816	Permit Extension/ Renewal	Building	Finaled	04/11/2025		04/23/2025	***04/22/2025***CHANGE OF CONTRACTOR FROM EDEN PERMIT NO. BL-21-05-7998 - CHANGE OF CONTRACTOR FROM BL-20-12-48 78 CHANGE OF CONTRACTOR FROM BL19013399 * *** CHANGE OF CONTRACTOR FROM BL15033772 **** SPECIAL INSPECTOR - ALEZ ANDER ROCHELL P.E. **** COMMERCIAL EXTERIOR RENOVATION S W/ STOREFRONT REPLACEMENT \$1,818,230 REVISION-RV-18-03-3891- CHANGES TO STOREFRONT & ADDING ATM & NIGHT DEPOSI T TO SCOPE OF WORK	2600 DOUGLAS RD	

PEXT-25-05-1910	Permit Extension/ Renewal	Electrical	Finalied	05/15/2025		05/22/2025	*****05/20/2025**Install one (1) interior 13.5 SF illuminated under canopy sign behind the glass Final connection to existing electrical	2600 DOUGLAS RD	
PEXT-25-08-2115	Permit Extension/ Renewal	Building	Finalied	08/01/2025		08/11/2025	***08/05/2025***EXTERIOR BUILDING REPAIRS (CONCRETE WALL REPAIR, STUCCO, PAINT, BEAM REPAIR, AND COLUMN REPAIR). NO ADDITION WORK. CANCELLED FOR A CHANGE OF CONTRACTOR. YOU MUST APPLY UNDER THE MASTER PERMIT BLDB-22-01-0279. THIS PERMIT EXTENSION WILL BE CANCELLED*****PERMIT RENEWAL - Parking garage concrete restoration SPECIAL INSPECTOR FORM FOR ALL STRUCTURAL WORK FROM ELIAS LOUIE KOKKORIS P.E. EOR	2600 DOUGLAS RD	
PEXT-25-09-2232	Permit Extension/ Renewal	Building	Cancelled	09/03/2025		09/17/2025		2600 DOUGLAS RD	
PLUB-22-09-0342	Plumbing Commercial	Interior Build-Out/ Interior Alteration/Remodel	Finalied	09/14/2022	10/04/2023	04/07/2023	Interior buildout of existing space #700	2600 DOUGLAS RD	
PLUB-22-10-0358	Plumbing Commercial	Other	Cancelled	10/11/2022		10/24/2022	Relocate one existing sink, vent, and drain	2600 DOUGLAS RD	
PLUB-22-11-0379	Plumbing Commercial	Interior Build-Out/ Interior Alteration/Remodel	Cancelled	11/03/2022		11/16/2022	CANCEL*** SEE PLUB-22-11-0381	2600 DOUGLAS RD	
PLUB-22-11-0381	Plumbing Commercial	Other	Finalied	11/08/2022	09/20/2023	03/24/2023	Rough & Fixture set, compressed airlines **Interior tenant build-out/remodel of dentist office, suite 907	2600 DOUGLAS RD	
PLUB-22-12-0403	Plumbing Commercial	Other	Finalied	12/19/2022	08/17/2023	02/18/2023	Rough in and install (1) Lab sink, run water line for fridge in lab. Rough in and install (1) kitchen sink, run water line for fridge in kitchen.	2600 DOUGLAS RD	
PLUB-23-03-0449	Plumbing Commercial	Interior Build-Out/ Interior Alteration/Remodel	Finalied	03/01/2023	12/20/2023	06/23/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
PWKS-22-02-0348	Public Works Permit	Utilities	Cancelled	02/07/2022		06/30/2022	COMCAST - DBORE 1003'. CANCELLED - over 90 days no files uploaded.	2600 DOUGLAS RD	
PWKS-22-03-0456	Public Works Permit	Utilities	Denied	03/15/2022			COMCAST - Directional bore 1003'	2600 DOUGLAS RD	
PWKS-22-09-0995	Public Works Permit	Utilities	Expired	09/14/2022	12/12/2022		Comcast, DBORE 14'. Comcast must notify and secure permission from property owner of 66 Valencia Avenue prior to boring under their property.	2600 DOUGLAS RD	
PWKS-22-10-1055	Public Works Permit	Utilities	Finalied	10/06/2022	11/28/2022	10/25/2022	Allocation letter	2600 DOUGLAS RD	
PWKS-22-10-1105	Public Works Permit	Sewer Allocation Letter/ Calculations/ Agreement	Finalied	10/24/2022		10/25/2022	Sewer Capacity Certification Letter	2600 DOUGLAS RD	
PWKS-23-11-2156	Public Works Permit	Sewer Allocation Letter/ Calculations/ Agreement	Denied	11/06/2023			Medical office	2600 DOUGLAS RD	
PWKS-24-05-2698	Public Works Permit	Temporary ROW Obstruction	Issued	05/28/2024	02/05/2026		TEMPORARY ROW OBSTRUCTION Request for closures of the parking lanes along Almeria Avenue and Valencia Avenue for facade work WITH COVERED WALKWAY	2600 DOUGLAS RD	
RECT-23-03-0115	Building Recertification	Recertification	Denied	03/06/2023			BUILDING RECERTIFICATION (YEAR BUILT 1972) CASE #23-5374	2600 DOUGLAS RD	
REVR-23-06-0902	Revision to Permit	Commercial	Finalied	06/01/2023		07/01/2023	Interior remodel commercial unit to convert into a hair salon (STE# 104) (CONDE HAIR SALON)	2600 DOUGLAS RD	STE# 104
REVR-23-07-1028	Revision to Permit	Commercial	Finalied	07/12/2023		07/24/2023	fire alarm revision, as per inspector request, two smoke detectors installed in break and office room.	2600 DOUGLAS RD	STE# 104
REVR-23-08-1097	Revision to Permit	Commercial	Finalied	08/01/2023		08/05/2023	As per inspector request, relay to shut down music for the fire alarm have been install. Revision to the fire alarm.	2600 DOUGLAS RD	STE# 104
REVR-25-05-3742	Revision to Permit	Commercial	Cancelled	05/20/2025		05/22/2025	*** CANCELLED - FIRE-23-04-0459 IS CLOSED ALONG WITH THE MASTER PERMIT BLDB-22-07-0922 *** NEED A NEW SUBMITTAL ***	2600 DOUGLAS RD	
REVR-25-05-3748	Revision to Permit	Commercial	Finalied	05/22/2025		07/07/2025	Replace fire pump controller panel	2600 DOUGLAS RD	
REVR-25-08-4129	Revision to Permit	Commercial	Finalied	08/25/2025		10/07/2025	Revision of plans for permit ELEC-23-10-1799. Removal of fire pump scope of work from the original set of plans since their is now a separate revision permit solely for the scope of work. (REVR-25-05-3748)	2600 DOUGLAS RD	



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

1/3/2022

VIA CERTIFIED MAIL

7020 3160 0001 1022 1086

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
C/O DRESI LLC
1350 N ORANGE AVENUE, SUITE 100
WINTER PARK,, FL 32789

RE: 2600 DOUGLAS RD
FOLIO # 03-4117-055-0001

Notice of Required Inspection For Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1972. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) cover letter(s) stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form. Note all paperwork submitted must be the original signed and sealed documents (**no copies**). Submittal of the Report does not constitute recertification; it must be **approved** by this Department and the Letter of Recertification must be issued.

Once a completed Report is submitted to this Department and repairs or modifications are found to be necessary, the Building Official is able to grant an extension of one hundred fifty (150) calendar days from the date of this letter to obtain the necessary permits and perform the repairs. The structure will be recertified once a *revised* Report is submitted and approved, and all required permits are closed.

The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: http://www.miamidade.gov/pa/property_recertification.asp. **The Recertification Report fee of \$500.00 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays submit in person in order to calculate the fees accordingly.**

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The completed Report may be submitted Monday through Friday, 7:30am to 3:20pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Thank you for your prompt attention to this matter.

Manuel Z. Lopez, P.E.
Building Official

City's Exhibit #4

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FAQs



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

1/18/2022

VIA CERTIFIED MAIL

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
941 W MORSE BLVD STE 315
WINTER PARK,, FL 32789-3781

7020 3160 0001 1022 1284

RE: 2600 DOUGLAS RD
FOLIO # 03-4117-055-0001

Notice of Required Inspection For Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1972. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) cover letter(s) stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form. Note all paperwork submitted must be the original signed and sealed documents (no copies). Submittal of the Report does not constitute recertification; it must be **approved** by this Department and the Letter of Recertification must be issued.

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The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: http://www.miamidade.gov/pa/property_recertification.asp. **The Recertification Report fee of \$500.00 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays submit in person in order to calculate the fees accordingly.**

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The completed Report may be submitted Monday through Friday, 7:30am to 3:20pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official

Tracking Number:

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FAQs



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

3/14/2022

VIA CERTIFIED MAIL

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
1000 PINE HOLLOW POINT
ALTAMONTE SPRINGS, FL 32714

7020 3160 0001 1022 1529

RE: 2600 DOUGLAS RD
FOLIO # 341170550001

Notice of Required Inspection For Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1972. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) cover letter(s) stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form. Note all paperwork submitted must be the original signed and sealed documents (**no copies**). Submittal of the Report does not constitute recertification; it must be **approved** by this Department and the Letter of Recertification must be issued.

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The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: http://www.miamidade.gov/pa/property_recertification.asp. **The Recertification Report fee of \$500.00 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays submit in person in order to calculate the fees accordingly.**

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The completed Report may be submitted Monday through Friday, 7:30am to 3:20pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Thank you for your prompt attention to this matter.

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official

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Delivered, Left with Individual

ALTAMONTE SPRINGS, FL 32714

March 24, 2022, 1:43 pm

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less ^

Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

6/9/2022

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.

1000 PINE HOLLOW POINT

ALTAMONTE SPRINGS, FL 32714

7021 1970 0000 4016 1623

RE: 2600 DOUGLAS RD

FOLIO # 03-4117-055-0001

Notice of Required Inspection For Recertification of 40 Years or Older Building – **FINAL NOTICE**

Dear Property Owner:

In a certified letter dated 3/14/2022, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). A Second Notice, dated 6/12/2022, informed you it was necessary to submit to this Department a completed Report prepared by a licensed architect or engineer within thirty (30) calendar days certifying the structure meets the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

As of this date, the completed Report has not been submitted and the **structure remains unsafe** due to non-compliance. Please be advised the matter will be forwarded to the City's Construction Regulation Board ("Board"); a \$600.00 Administrative Fee will be imposed once the Case is scheduled. The Board may impose additional fines of \$250.00 for each day the violation continues, may also enter an order of revocation of the Certificate of Occupancy and/or demolition and assess all costs of the proceedings along with the cost of demolition and any other required action for which the City shall have a lien against the Property Owner and the Property. The completed Report may be submitted Monday through Friday, 7:30am to 2:30pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official

Tracking Number:

Remove X

70211970000040161623

Copy

Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your package is moving within the USPS network and is on track to be delivered to its final destination. It is currently in transit to the next facility.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Moving Through Network
In Transit to Next Facility

June 17, 2022

Departed USPS Regional Facility

LAKE MARY FL DISTRIBUTION CENTER
June 13, 2022, 12:38 am

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less ^

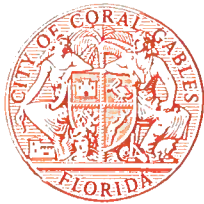
Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

7/15/2022

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
1000 PINE HOLLOW POINT
ALTAMONTE SPRINGS, FL. 32714

7021 1970 0000 4016 0114

RE: 2600 DOUGLAS RD
FOLIO # 341170550001

Notice of Required Inspection For Recertification of 40 Years or Older Building – **SECOND NOTICE**

Dear Property Owner:

In a certified letter dated 3/14/2022, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a licensed architect or engineer within ninety (90) calendar days certifying the structure meets the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code. A completed Report includes: 1) cover letter(s) stating the structure meets the electrical and structural requirements for recertification from a Florida Registered Architect or Professional Engineer that inspects said building, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form; no additional documents or photographs are necessary. Note all paperwork submitted must be the original signed and sealed documents (no copies). **Additionally you will need to register in the new permitting system to submit report, see the instructions attached.**

Failure to submit the completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination. The completed Report may be submitted Monday through Friday, 7:30am to 2:30pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official

Tracking Number:

Remove X

70211970000040160114

Copy Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your item was delivered to an individual at the address at 2:14 pm on July 27, 2022 in ALTAMONTE SPRINGS, FL 32714.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Delivered

Delivered, Left with Individual

ALTAMONTE SPRINGS, FL 32714
July 27, 2022, 2:14 pm

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less ^

Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

1/18/2022

VIA CERTIFIED MAIL

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
941 W MORSE BLVD STE 315
WINTER PARK,, FL 32789-3781

7020 3160 0001 1022 1284

RE: 2600 DOUGLAS RD
FOLIO # 03-4117-055-0001

Notice of Required Inspection For Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1972. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) cover letter(s) stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form. Note all paperwork submitted must be the original signed and sealed documents (no copies). Submittal of the Report does not constitute recertification; it must be **approved** by this Department and the Letter of Recertification must be issued.

Once a completed Report is submitted to this Department and repairs or modifications are found to be necessary, the Building Official is able to grant an extension of one hundred fifty (150) calendar days from the date of this letter to obtain the necessary permits and perform the repairs. The structure will be recertified once a *revised* Report is submitted and approved, and all required permits are closed.

The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: http://www.miamidade.gov/pa/property_recertification.asp. **The Recertification Report fee of \$500.00 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays submit in person in order to calculate the fees accordingly.**

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The completed Report may be submitted Monday through Friday, 7:30am to 3:20pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

3/14/2022

VIA CERTIFIED MAIL

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
1000 PINE HOLLOW POINT
ALTAMONTE SPRINGS, FL 32714

7020 3160 0001 1022 1529

RE: 2600 DOUGLAS RD
FOLIO # 341170550001

Notice of Required Inspection For Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1972. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) cover letter(s) stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form. Note all paperwork submitted must be the original signed and sealed documents (**no copies**). Submittal of the Report does not constitute recertification; it must be **approved** by this Department and the Letter of Recertification must be issued.

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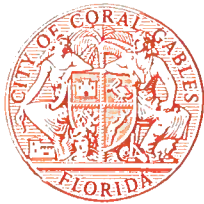
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Manuel Z. Lopez, P.E.
Building Official



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

7/15/2022

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.
1000 PINE HOLLOW POINT
ALTAMONTE SPRINGS, FL. 32714

7021 1970 0000 4016 0114

RE: 2600 DOUGLAS RD
FOLIO # 341170550001

Notice of Required Inspection For Recertification of 40 Years or Older Building – **SECOND NOTICE**

Dear Property Owner:

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Please govern yourself accordingly.

Sincerely,

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Manuel Z. Lopez, P.E.
Deputy Building Official



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

6/9/2022

DOUGLAS CENTRE CONDOMINIUM ASSOCIATION INC.

1000 PINE HOLLOW POINT

ALTAMONTE SPRINGS, FL 32714

7021 1970 0000 4016 1623

RE: 2600 DOUGLAS RD

FOLIO # 03-4117-055-0001

Notice of Required Inspection For Recertification of 40 Years or Older Building – **FINAL NOTICE**

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Please govern yourself accordingly.

Sincerely,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official

Tracking Number:

Remove X

70203160000110221086

Copy Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your item has been delivered and is available at a PO Box at 12:10 pm on January 8, 2022 in MIAMI, FL 33134.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Delivered

Delivered, PO Box

MIAMI, FL 33134

January 8, 2022, 12:10 pm

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USPS Tracking Plus®



Product Information



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Need More Help?

Contact USPS Tracking support for further assistance.

FAQs

Tracking Number:

Remove X

70203160000110221284

Copy Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your item has been delivered to the original sender at 10:06 am on February 18, 2022 in MIAMI, FL 33134.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Delivered

Delivered, To Original Sender

MIAMI, FL 33134

February 18, 2022, 10:06 am

See All Tracking History

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Text & Email Updates



USPS Tracking Plus®



Product Information



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Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs

Tracking Number:

Remove X

70203160000110221529

Copy Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your item was delivered to an individual at the address at 1:43 pm on March 24, 2022 in ALTAMONTE SPRINGS, FL 32714.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Delivered

Delivered, Left with Individual

ALTAMONTE SPRINGS, FL 32714

March 24, 2022, 1:43 pm

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



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Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs

Tracking Number:

Remove X

70211970000040161623

Copy

Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your package is moving within the USPS network and is on track to be delivered to its final destination. It is currently in transit to the next facility.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Moving Through Network
In Transit to Next Facility

June 17, 2022

Departed USPS Regional Facility

LAKE MARY FL DISTRIBUTION CENTER
June 13, 2022, 12:38 am

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less ^

Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs

Tracking Number:

Remove X

70211970000040160114

Copy Add to Informed Delivery (<https://informedelivery.usps.com/>)

Latest Update

Your item was delivered to an individual at the address at 2:14 pm on July 27, 2022 in ALTAMONTE SPRINGS, FL 32714.

Get More Out of USPS Tracking:

USPS Tracking Plus®

Delivered

Delivered, Left with Individual

ALTAMONTE SPRINGS, FL 32714

July 27, 2022, 2:14 pm

See All Tracking History

Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less ^

Track Another Package

Enter tracking or barcode numbers

Need More Help?

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FAQs

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 23-5374
RECT-23-03-0115

vs.

2600 Douglas Centre LLC
Douglas Centre RB-GEM, LLC
C/O Seth Heller (Registered Agent)
Demetree Real Estate Services
941 W. Morse Blvd, Ste. 315
Winter Park, FL 32789-3781
Respondent.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 1290 0001 5682 9136

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: October 09, 2025

Re: 2600 Douglas Rd., Coral Gables, Fl. 33134, LOTS 13 THRU 28 BLK 12 & THAT PORT. OF N-S ALLEY LYG E OF LOT 20 & W OF LOTS 21 THRU 23 & N15FT LOT 24 PER 69R-1784, C GABLES CRAFTS SEC PB 10-40, and Folio: 03-4117-005-3200 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-89 10 (m) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1st floor, Coral Gables, Florida 33134, on October 20, 2025 at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Analyn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

City's Exhibit #5

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.

Analyn Hernandez

Analyn Hernandez
Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Human Resources (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

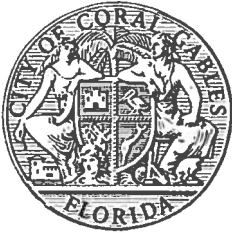
c. 2600 Douglas Centre LLC, 2600 S. Douglas Rd, Ste. 400, Coral Gables, FL 33134-6134 7020 1290 0001 5682 9143

Wells Fargo Bank, N.A., as successor to Wells Fargo Bank Minnesota, N.A., as Trustee for Morgan Stanley Dean Witter Capital I, Inc., Commercial Mortgage Pass-Through Certificates, Series 2001-IQ,
101 N Phillips Ave, Sioux Falls, SD 57104- 6738 7020 2450 0001 8406 1260

Keybank, N.A., 127 Public Sq, Cleveland, OH 44114-1217 7020 1290 0001 5682 9150

City National Bank of Florida, 25 W Flagler St, Miami, FL 33130-1712 7020 1290 0001 5682 9167

Bard, RAO and Athanas Consulting Engineers, LLC, Marco DiRenzo Registered Agent, 2600 Douglas Rd, Ste 1100, Coral Gables, FL 33134-6143 7020 1290 0001 5682 9174



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Title of Document Posted: Notice of Unsafe Structure Violation for Failure to Recertify & Notice of Hearing

I, Sebastian Ramos, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 2600 Douglas Rd. ON 10/9/25 AT
11:27 am.

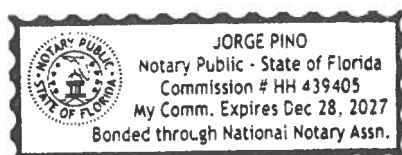
Sebastian Ramos
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 10 day of OCT, in
the year 2025, by S. RAMOS who is personally known to
me.

My Commission Expires:



[Signature]
Notary Public

City's Exhibit #6

**BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES**

CITY OF CORAL GABLES,
Petitioner,

Case No. 23-5374
RECT-23-03-0115

vs.

2600 Douglas Centre LLC
Douglas Centre RB-GEM, LLC
C/O Seth Heller (Registered Agent)
Demetree Real Estate Services
941 W. Morse Blvd, Ste. 315
Winter Park, FL 32789-3781
Respondent.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 1290 0001 5682 9136

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: October 09, 2025

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ALLEY LYG E OF LOT 20 & W OF LOTS 21 THRU 23 & N15FT LOT 24 PER 69R-1784, C
GABLES CRAFTS SEC PB 10-40, and Folio: 03-4117-005-3200 ("Property").

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You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Analyn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

Oct 9, 2025

City's Exhibit #7





Oct 9, 2025



CFN 2017R0453743
OR BK 30644 Pgs 139-140 (2Pgs)
RECORDED 08/07/2017 11:16:58
DEED DOC TAX \$0.60
SURTAX \$0.45
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

THIS INSTRUMENT PREPARED BY
AND SHOULD BE RETURNED TO:
Randolph J. Rush, Esquire
Winderweede, Haines, Ward
& Woodman, P.A.
Post Office Box 880
Winter Park, FL 32790-0880

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 31st day of July, 2017, by **BANK OF AMERICA, NATIONAL ASSOCIATION, a national banking association**, whose address is NC2-150-03-06, 13850 Ballantyne Corporate Place, Charlotte, NC 28277 ("Grantor"), to **2600 DOUGLAS CENTRE, LLC, a Florida limited liability company**, whose address is 941 W. Morse Boulevard, Suite 315, Winter Park, Florida 32789 ("Grantee");

WITNESSETH, that the Grantor, for and in consideration of the sum of \$10.00, in hand paid by the Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quit-claim unto the Grantee forever, all the right, title, interest, claim and demand which the Grantor has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Miami-Dade, State of Florida, to-wit:

Box No's. (Unit Numbers) 1057, 1058, 1073, 1074, 1075, 1092, 1093, 1094, 1111, 1112, 1113, DOUGLAS CENTRE CONDOMINIUM, according to the Declaration of Condominium for Douglas Centre Condominium, as recorded December 27, 2005 under Clerk's File No. 2005R1334578 in Official Records Book 24084, Page 2692, as re-recorded April 24, 2006 under Clerk's File No. 2006R0436225 in Official Records Book 24454, Page 1392, as amended by Amendment to Declaration of Condominium for Douglas Centre Condominium recorded under Clerk's File No. 2007R0054075 in Official Records Book 25283, Page 2250, as further amended by Second Amendment to Declaration of Condominium for Douglas Centre Condominium recorded under Clerk's File No. 8007R1100341 in Official Records Book 26051, Page 3020, in the Public Records of Miami-Dade County, Florida, as amended from time to time.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the Grantor, either in law or equity, to the only proper use, benefit and behoof of the Grantee forever.

THIS DEED IS BEING RECORDED AS THE ABOVE DESCRIBED UNITS ARE COMMON ELEMENTS OF DOUGLAS CENTRE CONDOMINIUM, AND WERE INADVERTENTLY INCLUDED IN THE DEED TO THE GRANTOR RECORDED IN OFFICIAL RECORDS BOOK 26051, PAGE 3038, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND THUS THIS DEED IS CONVEYING ANY INTEREST WHICH THE GRANTOR MAY HAVE IN SUCH UNITS.

City's Exhibit #8

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

**BANK OF AMERICA, A NATIONAL
ASSOCIATION, a national banking association**

Matthew Beachum
Print Name: Matthew Beachum

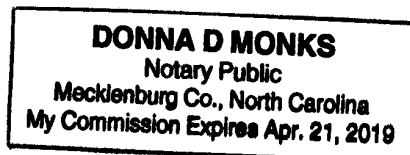
By: Sherry Cronan Watts
Name: Sherry Cronan Watts
Title: Vice President

James Watts
Print Name: James Watts

Address: 13850 Ballantyne Corporate
Place, NC2-150-03-06
Charlotte, NC 28277

STATE OF North Carolina
COUNTY OF Mecklenburg

The foregoing instrument was acknowledged before me this 27th day of July, 2017, by Sherry Cronan Watts as the Vice President of BANK OF AMERICA, NATIONAL ASSOCIATION, a national banking association, who ☒ is personally known to me or ☐ has produced _____ as identification.



Donna D Monks
Notary Public
My Commission Expires: 04.21.2019

R:\Demetree\Douglas Centre, LLC\Purchase of BOA Unit\Closing Docs\QuitClaimDeed.wpd
7/25/17 (2:47 pm)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
2600 DOUGLAS CENTRE, LLC

Filing Information

Document Number	L12000135362
FEI/EIN Number	46-2776149
Date Filed	10/23/2012
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	11/29/2012
Event Effective Date	NONE

Principal Address

941 W. Morse Blvd
Suite 315
Winter Park, FL 32789

Changed: 03/09/2021

Mailing Address

941 W. Morse Blvd
Suite 315
Winter Park, FL 32789

Changed: 03/09/2021

Registered Agent Name & Address

HELLER, SETH
941 W. Morse Blvd
Suite 315
WINTER PARK, FL 32789

Name Changed: 04/29/2025

Address Changed: 02/22/2016

Authorized Person(s) Detail

Name & Address

Title MGR

DEMETREE, MARY L
941 W. Morse Blvd
Suite 315
WINTER PARK, FL 32789

Annual Reports

Report Year	Filed Date
2023	04/16/2023
2024	04/29/2024
2025	04/29/2025

Document Images

04/29/2025 -- ANNUAL REPORT	View image in PDF format
04/29/2024 -- ANNUAL REPORT	View image in PDF format
04/16/2023 -- ANNUAL REPORT	View image in PDF format
04/26/2022 -- ANNUAL REPORT	View image in PDF format
03/09/2021 -- ANNUAL REPORT	View image in PDF format
04/16/2020 -- ANNUAL REPORT	View image in PDF format
04/03/2019 -- ANNUAL REPORT	View image in PDF format
03/02/2018 -- ANNUAL REPORT	View image in PDF format
01/12/2017 -- ANNUAL REPORT	View image in PDF format
02/22/2016 -- ANNUAL REPORT	View image in PDF format
02/24/2015 -- ANNUAL REPORT	View image in PDF format
04/08/2014 -- ANNUAL REPORT	View image in PDF format
04/08/2013 -- ANNUAL REPORT	View image in PDF format
11/29/2012 -- LC Amendment	View image in PDF format
10/23/2012 -- Florida Limited Liability	View image in PDF format

Tuesday, October 7, 2025 at 10:00:41 PM Eastern Daylight Time

Subject: RE: 2600 Douglas Rd - 2600 Douglas Centre
Date: Friday, March 24, 2023 at 9:29:20 AM Eastern Daylight Time
From: Sareska Batista <SBatista@dresi.com>
To: alp@alp-law.com <alp@alp-law.com>
CC: Andres Caicedo <andy@acg-eng.com>, Albrecht, Matthew (PA) <mja1@mdcpa.net>
Attachments: image003.png, image004.png, image005.png

Good morning Mr. Palenzuela,

Thank you for following up on this. I have actually placed a request with the City and was waiting on a response so I appreciate you sending Mr. Albrecht's contact.

Mr. Albrecht – I will send a separate email with the ownership information and back up.

Best,

Sareska Batista
Commercial Leasing & Property Manager
Demetree Real Estate Services
2600 S Douglas Road, Suite 204, Coral Gables, FL 33134
Direct: 786.744.3249 | Mobile: 786.457.0957
[Website](#) | [LinkedIn](#) | [Twitter](#) | [Facebook](#)



From: alp@alp-law.com <alp@alp-law.com>
Sent: Thursday, March 23, 2023 5:04 PM
To: Sareska Batista <SBatista@dresi.com>
Cc: Andres Caicedo <andy@acg-eng.com>; Albrecht, Matthew (PA) <mja1@mdcpa.net>
Subject: Re: 2600 Douglas Rd - 2600 Douglas Centre

Dear Ms. Batista:

I am copying Mr. Albrecht from the property appraiser's office. Please discuss with him updating the owner information for this property. He contacted me after I informed the property appraiser's office, in February, that there may be a problem with the owner's address.

Thank you.

Very truly yours,

Alexander L. Palenzuela
Law Office of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1950
Miami, FL 33131-3298
tel: (305) 333-0467
alp@alp-law.com
www.alp-law.com

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From: Sareska Batista <SBatista@dresi.com>
Date: Friday, February 24, 2023 at 10:53 AM
To: "Law Office of Alexander L. Palenzuela, P.A." <alp@alp-law.com>
Cc: Andres Caicedo <andy@acg-eng.com>
Subject: RE: 2600 Douglas Rd - 2600 Douglas Centre

Thank you. However, considering we have a hearing scheduled for the 13th, we want to make sure we are proactively addressing this issue. Any other way to receive this notice or what would you suggest?

Thanks,

Sareska

From: alp@alp-law.com <alp@alp-law.com>
Sent: Friday, February 24, 2023 9:43 AM
To: Sareska Batista <SBatista@dresi.com>
Cc: Andres Caicedo <andy@acg-eng.com>
Subject: Re: 2600 Douglas Rd - 2600 Douglas Centre

Dear Ms. Batista:

I just forwarded your request to the City and I will let you know what I receive a response. Please note, however, that the responsible person is out until March 1, 2023.

Thank you.

Very truly yours,

Alexander L. Palenzuela
Law Office of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1950
Miami, FL 33131-3298

tel: (305) 333-0467
alp@alp-law.com
www.alp-law.com

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From: Sareska Batista <SBatista@dresi.com>
Date: Thursday, February 23, 2023 at 3:16 PM
To: "Law Office of Alexander L. Palenzuela, P.A." <alp@alp-law.com>
Cc: Andres Caicedo <andy@acg-eng.com>
Subject: RE: 2600 Douglas Rd - 2600 Douglas Centre

Good afternoon Mr. Palenzuela,

Thank you for your time yesterday. Just following up with you regarding receiving a copy of the notices that were returned as undeliverable so we can address. If I should be addressing this request to the City directly I would appreciate your assistance in letting me know who I should contact.

Many thanks,

Sareska Batista
Commercial Leasing & Property Manager
Demetree Real Estate Services
2600 S Douglas Road, Suite 204, Coral Gables, FL 33134
Direct: 786.744.3249 | Mobile: 786.457.0957
[Website](#) | [LinkedIn](#) | [Twitter](#) | [Facebook](#)



From: alp@alp-law.com <alp@alp-law.com>
Sent: Wednesday, February 22, 2023 10:04 AM
To: Sareska Batista <SBatista@dresi.com>
Subject: Re: 2600 Douglas Rd - 2600 Douglas Centre

Please clarify your relationship to the owner. Are you the property manager?

Very truly yours,

Alexander L. Palenzuela
Law Office of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1950
Miami, FL 33131-3298
tel: (305) 333-0467
alp@alp-law.com
www.alp-law.com

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From: Sareska Batista <SBatista@dresi.com>
Date: Wednesday, February 22, 2023 at 10:02 AM
To: "Law Office of Alexander L. Palenzuela, P.A." <alp@alp-law.com>
Subject: FW: 2600 Douglas Rd - 2600 Douglas Centre

Good morning Mr. Palenzuela,

The mailing address is as follows:

2600 Douglas Centre, LLC
c/o Demetree Real Estate Services
941 W. Morse Blvd., Suite # 315
Winter Park, FL 32789

Please don't hesitate to contact me should you need anything else.

Best,

Sareska Batista
Commercial Leasing & Property Manager
Demetree Real Estate Services
2600 S Douglas Road, Suite 204, Coral Gables, FL 33134
Direct: 786.744.3249 | Mobile: 786.457.0957
[Website](#) | [LinkedIn](#) | [Twitter](#) | [Facebook](#)



From: alp@alp-law.com <alp@alp-law.com>
Sent: Tuesday, February 21, 2023 4:54 PM
To: Joseph Ravenelle <JRavenelle@demetreeglobal.com>
Subject: 2600 Douglas Rd - 2600 Douglas Centre

Dear Mr. Ravenelle:

As we discussed, I represent the City of Coral Gables. Please provide a mailing address for service of notices for the above property. The City has sent notices regarding the 10-year recertification for the structure to the addresses of record and they have been returned.

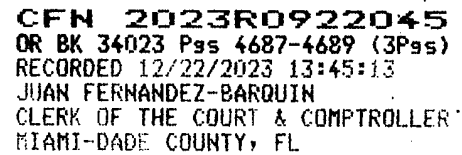
The matter is going to be set for hearing before the City's Construction Regulation Board on 3-13-22 at 2:00 p.m.

Thank you

Very truly yours,

Alexander L. Palenzuela
Law Office of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1950
Miami, FL 33131-3298
tel: (305) 333-0467
alp@alp-law.com
www.alp-law.com

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SPACE ABOVE THIS LINE FOR RECORDING DATA

STATE OF FLORIDA)
) SS:
COUNTY OF Orange)

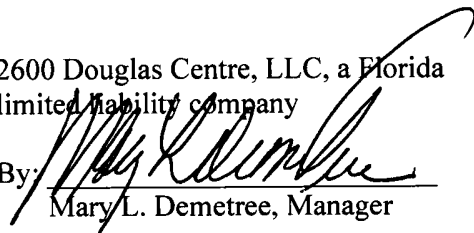
5. To Affiant's knowledge, the Termination was legally effectuated in accordance with the terms of the Declaration and the law in effect when the Declaration was recorded and subsequent changes to the Condominium Act were not applicable. The details of the Termination are more specifically set forth in that certain Termination of Douglas Centre Condominium recorded in Official Records Book 32279, Page 118 of the Public Records of Miami-Dade County, Florida.

6. Pursuant to the Termination and by operation of law, Owner is the sole (*i.e.*, 100%) fee simple owner of the Property, which as of January 08, 2021, the Effective Date of the Termination (*i.e.*, date of recordation of said Termination), is not encumbered by, nor subject to, the Declaration or the Condominium form of ownership.

7. Affiant further states that Affiant is familiar with the nature of an oath, and with the penalties as provided in the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that Affiant has read this Affidavit and understands its content.

FURTHER AFFIANT SAYETH NOT.

2600 Douglas Centre, LLC, a Florida
limited liability company

By: 
Mary L. Demetree, Manager

SWORN TO AND SUBSCRIBED before me by means of ☒ physical presence or ☐ online notarization, this 15 day of November 2023, by Mary L. Demetree as Manager of 2600 Douglas Centre, LLC, a Florida limited liability company, who is personally known to me or produced _____ as identification.

[Notary Seal]



JESSICA A. YESBECK
Commission # HH 248798
Expires April 4, 2026

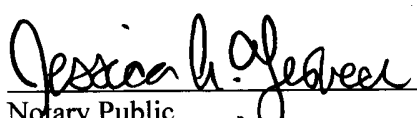

Notary Public
Jessica A. Yesbeck
Name typed, printed or stamped
My Commission Expires: 4/4/2026

Exhibit "A"

Legal Description

The land referred to herein below is situated in the County of Miami-Dade, State of Florida, and described as follows:

Lot 13 through 28 inclusive, together with that portion of the North % portion of the North South Alley lying East of Lot 20 in Block 12, according to the Plat thereof, of CORAL GABLES CRAFTS SECTION, recorded in Plat Book 10, Page 40, of the Public Records of Miami-Dade County, Florida.

FORMERLY KNOWN AS:

All Units of DOUGLAS CENTRE CONDOMINIUM, according to the Declaration of Condominium and the exhibits annexed thereto, recorded in Official Records Book 24084, Page 2692, and re-recorded in Official Records Book 24454, at Page 1392, as amended in the Public Records of Miami- Dade County, Florida, together with an undivided interest in the common elements appurtenant thereto.

For Clerk of Court Use

This Instrument was Prepared By:
Thomas P. Angelo, Esq.
Angelo & Banta, P.A.
515 East Las Olas Boulevard, Suite 850
Fort Lauderdale, Florida 33301

Record and Return To:
Thomas P. Angelo, Esq.
Angelo & Banta, P.A.
515 East Las Olas Boulevard, Suite 850
Fort Lauderdale, Florida 33301

MORTGAGE MODIFICATION AGREEMENT

This MORTGAGE MODIFICATION AGREEMENT (hereafter referred to as "Agreement") made as of December 18, 2023, by and between 2600 DOUGLAS CENTRE, LLC, a Florida limited liability company (the "Mortgagor") in favor of CITY NATIONAL BANK OF FLORIDA (the "Mortgagee").

RECITALS

A. Mortgagor requested and BANKUNITED, N.A., a national banking association ("BankUnited") agreed to make a loan to Mortgagor (the "Original Loan A"), as evidenced by that certain Second Renewal Promissory Note dated as of September 28, 2018, executed by Mortgagor in favor of and payable to BankUnited in the original principal amount of \$27,913,327.44 (the "Original Loan A Note"), which Original Loan A Note is secured, in part, by that certain Notice of Future Advance Amended and Restated Mortgage and Security Agreement dated as of March 11, 2016, from Mortgagor in favor of BankUnited, recorded in Official Records Book 30001, at Page 4309, of the Public Records of Miami-Dade County, Florida, as modified by that certain Mortgage Spreading Agreement dated as of July 31, 2017, from Mortgagor in favor of BankUnited, recorded in Official Records Book 30644, at Page 147, of the Public Records of Miami-Dade County, Florida (as modified, the "Original Mortgage").

B. Mortgagor subsequently requested and BankUnited agreed to assign the Original Mortgage, the Original Loan A Note, and certain other documents executed in connection therewith to Mortgagee, by way of that certain Assignment of Note and Mortgage dated as of February 14, 2019, recorded in Official Records Book 31337, at Page 2003, of the Public Records of Miami-Dade County, Florida (the "Assignment"). Contemporaneously with the execution of the Assignment, Mortgagor also

PROPER FLORIDA DOCUMENTARY STAMP TAXES AND NONRECURRING INTANGIBLE PROPERTY TAXES WERE PREVIOUSLY PAID ON THE INDEBTEDNESS EVIDENCED BY THE ORIGINAL LOAN A NOTE (AS DEFINED IN RECITAL "A" ABOVE), AS REQUIRED BY FLORIDA LAW, AND EVIDENCE OF SUCH PAYMENTS HAVE BEEN AFFIXED TO THE ORIGINAL MORTGAGE (AS DEFINED IN RECITAL "A" ABOVE). ADDITIONAL FLORIDA DOCUMENTARY STAMP TAXES IN THE AMOUNT OF \$42,879.90 AND NONRECURRING INTANGIBLE PROPERTY TAXES IN THE AMOUNT OF \$24,502.73 WERE PAID UPON THE RECORDATION OF THE FIRST AMENDED MORTGAGE (AS DEFINED IN RECITAL "B") IN CONNECTION WITH AN ADDITIONAL INDEBTEDNESS OF \$12,251,362.48, AS EVIDENCED BY THE FIRST AMENDED LOAN A NOTE, THE ORIGINAL LOAN B NOTE AND THE ORIGINAL LOAN C NOTE (EACH AS DEFINED IN RECITAL "B"). NO ADDITIONAL FLORIDA DOCUMENTARY STAMP TAXES OR NONRECURRING INTANGIBLE PROPERTY TAXES ARE DUE UPON THE RECORDATION OF THIS INSTRUMENT.

requested and Mortgagee agreed to (i) modify the Original Loan A and make a future advance to Mortgagor in the amount of \$251,362.48 ("Loan A"), as evidenced by that certain Amended and Restated Promissory Note dated as of February 14, 2019, from Mortgagor in favor of Mortgagee in the principal amount of \$28,000,000.00 (the "First Amended Loan A Note"), which First Amended Loan A Note amended, restated, replaced, increased and superseded the Original Loan A Note, in its entirety, (ii) make a construction loan and future advance to Mortgagor in the amount of \$6,000,000.00 ("Loan B"), as evidenced by that certain Promissory Note dated as of February 14, 2019, from Mortgagor in favor of Mortgagee in the principal amount of \$6,000,000.00 (the "Original Loan B Note") and (iii) make a non-revolving line of credit and future advance to Mortgagor in the amount of \$6,000,000.00 ("Loan C"), as evidenced by that certain Promissory Note dated as of February 14, 2019, from Mortgagor in favor of Mortgagee in the principal amount of \$6,000,000.00 (the "Original Loan C Note"). The First Amended Loan A Note, the Original Loan B Note and the Original Loan C Note are secured, in part, by that certain Third Amended and Restated Mortgage, Assignment of Rents and Security Agreement dated as of February 14, 2019, from Mortgagor in favor of Mortgagee, recorded in Official Records Book 31337, at Page 2009, of the Public Records of Miami-Dade County, Florida, as modified by that certain Mortgage Modification and Spreader Agreement dated as of August 19, 2019, recorded in Official Records Book 31579, at Page 3735, of the Public Records of Miami-Dade County, Florida, that certain Second Mortgage Modification and Spreader Agreement dated as of August 30, 2019, recorded in Official Records Book 31603, at Page 3873, of the Public Records of Miami-Dade County, Florida, that certain Third Mortgage Modification and Spreader Agreement dated as of October 18, 2019, recorded in Official Records Book 31671, at Page 839, of the Public Records of Miami-Dade County, Florida, that certain Fourth Mortgage Modification and Spreader Agreement dated as of December 19, 2019, recorded in Official Records Book 31772, at Page 104, of the Public Records of Miami-Dade County, Florida, that certain Fifth Mortgage Modification and Spreader Agreement dated as of July 31, 2020, recorded in Official Records Book 32038, at Page 433, of the Public Records of Miami-Dade County, Florida and that certain Sixth Mortgage Modification and Spreader Agreement dated as of October 7, 2020, recorded in Official Records Book 32145, at Page 54, of the Public Records of Miami-Dade County, Florida (as modified, the "First Amended Mortgage"), which amended, restated, replaced and superseded the Original Mortgage, as modified and assigned, in its entirety.

C. Mortgagor subsequently requested and Mortgagee agreed to (i) modify Loan A, as evidenced by that certain Second Amended and Restated Promissory Note dated as of December 31, 2020 from Mortgagor in favor of Mortgagee in the principal amount of \$28,000,000.00 (as the same may be amended or modified from time to time, the "Loan A Note"), which Loan A Note amended, restated, replaced and superseded the First Amended Loan A Note, in its entirety, (ii) modify Loan B, as evidenced by that certain Amended and Restated Promissory Note dated as of December 31, 2020 from Mortgagor in favor of Mortgagee in the principal amount of \$6,000,000.00 (as the same may be amended or modified from time to time, the "Loan B Note"), which Loan B Note amended, restated, replaced and superseded the Original Loan B Note, in its entirety, and (iii) modify Loan C, as evidenced by that certain Amended and Restated Promissory Note dated as of December 31, 2020 from Mortgagor in favor of Mortgagee in the principal amount of \$5,669,200.00 (as the same may be amended or modified from time to time, the "Loan C Note"), which Loan C Note amended, restated, replaced and superseded the Original Loan C Note, in its entirety. Loan A, Loan B and Loan C are hereinafter collectively referred to as the "Loans". The Loan A Note, the Loan B Note and the Loan C Note (hereinafter collectively referred to as the "Notes") are secured, in part, by that certain Fourth Amended and Restated Mortgage, Assignment of Rents and Security Agreement dated as of December 31, 2020 from Mortgagor in favor of Mortgagee, recorded in Official Records Book 32286, at Page 213, of the Public Records of Miami-Dade County, Florida (the "Mortgage"), which Mortgage amended, restated, replaced and superseded the First Amended Mortgage, as modified, in its entirety. The Mortgage, as

modified by this Agreement, is hereinafter referred to as the "Mortgage". The Mortgage encumbers the real property more particularly described on **Exhibit "A"** attached hereto.

W I T N E S S E T H :

In consideration of the foregoing premises, Mortgagor and Mortgagee hereby modify the Mortgage and any prior modifications thereof as follows:

1. The Recitals hereinabove contained are true and correct and are made a part hereof.
2. The Mortgage is hereby amended by adding the following as a new definition under Section 1 in its entirety:

Excluded Personal Property: Any item of tangible personal property or Fixtures owned by Mortgagor that would be within the scope of "contents or personal property coverage" as such terms and coverage are defined under the National Flood Insurance Act, as amended (the "Act") and under flood insurance policies issued under the National Flood Insurance Program ("NFIP"). By way of example but not limitation, Excluded Personal Property would include furniture, furnishings, inventory and any portable machinery or equipment that is not permanently affixed to the Land. As a point of clarification, the Lender is not excluding any Personal Property that would not fall under an NFIP personal property flood insurance policy. Examples of Personal Property that will remain subject to Lender's security interest and covered hereunder and under any UCC financing statement include, but are not limited to, accounts, accounts receivable, general intangibles, insurance policies and insurance proceeds, leases and rents, judgments or awards for eminent domain or condemnation proceedings, and certain types of contracts.

3. The Mortgage is hereby amended by deleting Section 1(f) in its entirety and substituting the following in lieu thereof:

(f) Fixtures: All property and equipment now owned or hereafter acquired by Mortgagor and now or hereafter located under, on, or above the Land, whether or not permanently affixed, which, to the fullest extent permitted by applicable law in effect from time to time, shall be deemed fixtures and a part of the Land, excluding, however, any Excluded Personal Property, such as portable appliances, machinery or equipment.

4. The Mortgage is hereby amended by deleting Section 1(jj) in its entirety and substituting the following in lieu thereof:

(jj) Personal Property: All of the following property of Mortgagor whether now owned or existing, or hereafter acquired or arising, whether located in, on, pertaining to, used or intended to be used in connection with or resulting or created from the ownership, development, management, or operation of the Land, excluding, however, any Excluded Personal Property:

(1) all Improvements (to the extent same are not deemed to be real property) and landscaping;

(2) all Fixtures (to the extent same are not deemed to be real property) and goods to become Fixtures;

(3) all accounts, accounts receivable, other receivables, contract rights, chattel paper, instruments and documents; any other obligations or indebtedness owed to Mortgagor from whatever source arising; all rights of Mortgagor to receive any performance or any payments in money or kind; all guaranties of the foregoing and security thereof; all of the right, title and interest of Mortgagor in and with respect to the goods, services, or other property that gave rise to or that secure any of the foregoing, and all rights of Mortgagor as an unpaid seller of goods and services, including, but not limited to, the rights to stoppage in transit, replevin, reclamation, and resale;

(4) all general intangibles, including, without limitation, corporate or other business records and books, computer records whether on tape disc or otherwise stored, blueprints, surveys, architectural or engineering drawings, plans and specifications, trademarks, tradenames, goodwill, telephone numbers, licenses, governmental approvals, franchises, permits, payment and performance bonds, tax refund claims, and agreements with utility companies, together with any deposits, prepaid fees and charges paid thereon;

(5) all Leases and Rents (to the extent same are not deemed to be real property);

(6) all judgments, awards of damages and settlements from any condemnation or eminent domain proceedings regarding the Land, the Improvements or any of the Mortgaged Property;

(7) all insurance policies required by this Mortgage, the unearned premiums therefor and all loss proceeds thereof;

(8) all other personal property, including without limitation, management contracts, construction contracts, architectural contracts, service contracts, advertising contracts, contracts for purchase and sale of any of the Mortgaged Property, purchase orders, equipment leases, monies in escrow accounts, reservation agreements, prepaid expenses, deposits and down payments with respect to the sale or rental of any of the Mortgaged Property, options and agreements with respect to additional real property for use or development of the Mortgaged Property, end-loan commitments, surveys, abstracts of title, all brochures, advertising materials, condominium documents and prospectuses; and

(9) all proceeds, products, replacements, additions, betterments, extensions, improvements, substitutions, renewals and accessions of any and all of the foregoing.

5. Mortgagor acknowledges, represents and confirms to Mortgagee that: (i) the lien of the Mortgage, as same is being modified by this Agreement, secures the Notes and constitutes a valid and existing mortgage lien upon the Mortgaged Property, (ii) there are no defenses, set-offs, counterclaims, cross-actions or equities in favor of Mortgagor to or against the enforcement of the Notes or any other document heretofore executed in connection with the Loans, and (iii) no payments of interest or any other charges have been made to Mortgagee or paid by Mortgagor in connection with any indebtedness evidenced by the Notes which would result in the computation or earning of interest in excess of the maximum rate of interest which is legally permitted under the laws of the State of Florida or federal law, in effect from time to time, whichever is the highest.

6. It is the intent of the parties hereto that this Agreement shall not constitute a novation or in any way adversely affect the lien of the Loan Documents. To the extent this Agreement or any provision hereof shall be construed by a court of competent jurisdiction as operating to subordinate the lien priority of the Loan Documents to any claim which would otherwise be subordinate thereto (and provided that ruling is not appealed or appealable), such provision or provisions shall be void and of no force and effect; except that this Agreement shall constitute, as to any provision so construed, a lien upon the Mortgaged Property subordinate to such third person's claims, incorporating by reference the terms of the Loan Documents as amended by this Agreement. The Loan Documents shall then be enforced pursuant to the terms therein contained, independent of any such provisions; provided, however, that notwithstanding the foregoing, Mortgagor and Mortgagee, as between themselves, shall be bound by all terms and conditions hereof until all indebtedness owing to Mortgagee shall have been paid in full.

7. **RELEASE.** AS A MATERIAL INDUCEMENT FOR MORTGAGEE TO EXECUTE THIS AGREEMENT, MORTGAGOR DOES, TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, HEREBY RELEASE, WAIVE, DISCHARGE, COVENANT NOT TO SUE, ACQUIT, SATISFY AND FOREVER DISCHARGE MORTGAGEE AND ITS OFFICERS, DIRECTORS, EMPLOYEES, AND AGENTS AND ITS AFFILIATES AND ASSIGNS FROM ANY AND ALL LIABILITY, CLAIMS, COUNTERCLAIMS, DEFENSES, ACTIONS, CAUSES OF ACTION, SUITS, CONTROVERSIES, AGREEMENTS, PROMISES AND DEMANDS WHATSOEVER IN LAW OR IN EQUITY WHICH THE MORTGAGOR EVER HAD, NOW HAS, OR WITH RESPECT TO WHICH ANY PERSONAL REPRESENTATIVE, SUCCESSOR, HEIR OR ASSIGN OF MORTGAGOR HEREAFTER CAN, SHALL OR MAY BE ENTITLED TO ASSERT AGAINST MORTGAGEE AND ITS OFFICERS, DIRECTORS, EMPLOYEES, AND AGENTS, AND ITS AFFILIATES AND ASSIGNS, FOR, UPON OR BY REASON OF ANY MATTER, CAUSE OR THING WHATSOEVER THROUGH THE DATE THAT THIS AGREEMENT IS EXECUTED.

8. **WAIVER OF JURY TRIAL.** MORTGAGOR AND MORTGAGEE HEREBY KNOWINGLY, IRREVOCABLY, VOLUNTARILY AND INTENTIONALLY WAIVE ANY RIGHT TO A TRIAL BY JURY IN RESPECT OF ANY ACTION, PROCEEDING, DEFENSE OR COUNTERCLAIM BASED ON THIS AGREEMENT, OR ARISING OUT OF, UNDER OR IN CONNECTION WITH THIS AGREEMENT, THE NOTES, OR ANY OTHER SECURITY DOCUMENT, OR ANY COURSE OF CONDUCT, COURSE OF DEALING, STATEMENTS (WHETHER VERBAL OR WRITTEN) OR ACTIONS OF ANY PARTY HERETO OR TO ANY SECURITY DOCUMENT. THIS PROVISION IS A MATERIAL INDUCEMENT FOR MORTGAGOR AND MORTGAGEE ENTERING INTO THE SUBJECT TRANSACTION.

9. Except as heretofore modified by this Agreement and the documents executed in connection herewith, no term or condition of the Loan Documents shall be deemed to be modified and same shall remain in full force and effect. Mortgagor does hereby agree that all, each, and every of the terms, covenants and conditions set forth in the Loan Documents, as amended, are hereby expressly confirmed, ratified, and declared to be in full force and effect. Mortgagor does hereby unconditionally reaffirm all of its obligations under the Loan Agreements and the other Loan Documents, as amended, such that all affirmative covenants set forth therein are hereby restated as if made as of the date hereof, and reaffirms that such documentation is in full force and effect.

[CONTINUES ON THE FOLLOWING PAGE]

IN WITNESS WHEREOF, Mortgagor and Mortgagee have signed and sealed this instrument as of the day and year first above written.

Signed, sealed and delivered in the presence of:

MORTGAGOR:

2600 DOUGLAS CENTRE, LLC, a Florida limited liability company

Jessica Santoli
Name: Jessica Santoli
Madelyn Boelter
Name: Madelyn Boelter

By: Mary L. Demetree
Mary L. Demetree, Manager

STATE OF FLORIDA)
)SS:
COUNTY OF Orange)

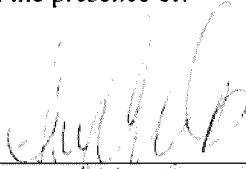
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization on this 12th day of December, 2023, by Mary L. Demetree, as Manager of 2600 DOUGLAS CENTRE, LLC, a Florida limited liability company, on behalf of and as an act of the company, who is personally known to me or has produced a N/A as identification, and took an oath.



Madelyn Boelter
NOTARY PUBLIC
Print Name: Madelyn Boelter
My Commission Expires: 8/9/26

[CONTINUES ON THE FOLLOWING PAGE]

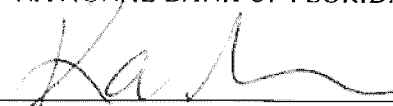
Signed, sealed and delivered
in the presence of:


Name: Alex Carreras


Name: SHONTAE NEGRON

MORTGAGEE:

CITY NATIONAL BANK OF FLORIDA

By: 
Karen Richardson, Senior Vice President

STATE OF FLORIDA)
COUNTY OF Miami Dade)SS:

The foregoing instrument was acknowledged before me by means of ☒ physical presence or [] online notarization on this 13th day of December, 2023, by Karen Richardson, Senior Vice President of CITY NATIONAL BANK OF FLORIDA, on behalf of the bank, who is personally known to me or has produced a N/A as identification, and took an oath.



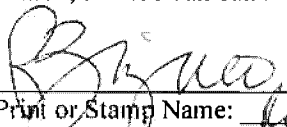

Print or Stamp Name: Rachel Zingaro
Notary Public, State of Florida
Commission No.: HH 207582
My Commission Expires: 12/14/2025

Exhibit "A"

Lots 13 through 28, inclusive, together with that portion of the North 1/2 portion of the North South Alley lying East of Lot 20 in Block 12, according to the Plat thereof, of CORAL GABLES CRAFTS SECTION, recorded in Plat Book 10, Page 40, of the Public Records of Miami-Dade County, Florida.

FORMERLY KNOWN AS:

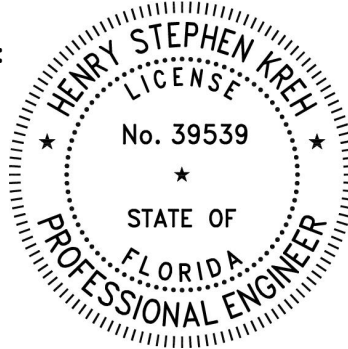
All Units in DOUGLAS CENTRE CONDOMINIUM, a Condominium, according to the Declaration of Condominium thereof, as recorded December 27, 2005 in Official Records Book 24084, Page 2692, re-recorded April 24, 2006 in Official Records Book 24454, Page 1392, of the Public Records of Miami-Dade County, Florida, as amended, together with an undivided share in the common elements appurtenant thereto.



MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION

CASE REFERENCE NUMBER:

JURISDICTION NAME:



LICENSEE NAME: Henry S. Kreh, PE (FL PE#39539/SI #736)

TITLE: Vice President

ADDRESS: ACG Engineering Services, Inc.
8965 Watercrest Circle E., Parkland, FL 33076

SIGNATURE: _____

***Use separate sheets for additional responses by referencing the report number.**

1. DESCRIPTION OF BUILDING

a. Name on Title: Douglas Centre Condominium Assoc., Inc. aka Douglas Center RB-GEM, LLC

b. Building Street Address: 2600 Douglas Road, Coral Gables, FL 33134

Bldg. #:

c. Legal Description: Not available

Attached: ☐

d. Owner's Name: Douglas Centre Condominium Assoc., Inc. aka Douglas Center RB-GEM, LLC

e. Owner's Mailing Address: 941 W. Morse Blvd., Suite 315 Winter Park, FL 32789

f. Folio Number of Property on which Building is Located: 03-4117-005-3200

g. Building Code Occupancy Classification: B

h. Present Use: Commercial offices

i. General Description of building (overall description, structural systems, special features):

A twelve (12) story office building, consisting of a composite precast concrete joist and soffit beam system, supported by reinforced columns and walls, with exterior cmu walls. Additionally, a seven (7) story parking garage consisting of a composite precast concrete joist and soffit beam system, supported by concrete columns and walls.

j. Number of Stories: 12 (office)/7 (garage) k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No): YES

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:

None

City's Exhibit #9

n. Additions to original structure:	
None	
o. Total Actual Building Area of all floors: 248,000 +/- S.F.	

2. INSPECTIONS	
a. Date of Notice of Required Inspection: Not available	
b. Date(s) of actual inspection: February 25th, 2023	
c. Name, license number, discipline of practice, and qualifications of licensee submitting report:	
Henry S. Kreh, P.E. FL PE #39539 / FL SI #736	
d. Description of laboratory or other formal testing, if required, rather than manual or visual procedures:	
None	
e. Are Any Structural Repairs Required? (YES/NO): YES	
1. If required, describe, and indicate acceptance:	
Signs of concrete damage and stucco delamination were observed. Areas exhibiting signs of corrosion are also	
visible. Related concrete damages include sections of walls, columns, slabs floor surfaces, slab ceiling surfaces,	
precast joists, beams, and stair structures.	
f. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO): YES	
1. Explanation/Conditions:	
The damages observed do not appear to have reached a magnitude that has compromised the structural	
integrity of the building to date.	
g. Is it recommended that the building be vacated? (YES/NO): NO	
h. Has the property record been researched for violations or unsafe cases? (YES/NO): YES	
1. Explanation/Comments:	
Case No. 23-5374	

3. SUPPORTING DATA

- a. No additional data Additional sheets of written data
- b. Attached Photographs provided (where required plus each building elevation)
- c. Attached Drawings or sketches (aerial, site, footprint, etc.)
- d. None Test reports

4. FOUNDATION

a. Describe the building foundation:

Not observed

b. Is wood in contact or near soil? (Yes/No): No

c. Signs of differential settlement? (Yes/No): No

d. Describe any cracks or separation in the walls, columns, or beams that signal differential settlement:

PROVIDE PHOTO

Cracks were observed, most of which appear to be related to concrete spalling.

e. Is water drained away from the foundation? (Yes/No): Yes

f. Is there additional sub-soil investigation required? (Yes/No): No

1. Describe:

5. PRESENT CONDITION OF OVERALL STRUCTURE

a. General alignment: (Note: good, fair, poor, explain if significant)

PROVIDE PHOTO

1. Bulging: Good

2. Settlement: Good

3. Deflections: Fair

4. Expansion: Fair

5. Contraction: Fair

b. Portion showing distress: (Note, beams, columns, structural walls, floor, roofs, other)	PROVIDE PHOTO
Signs of concrete damage and stucco delamination were observed. Areas exhibiting signs of corrosion are visible.	
Related concrete damage s have been noted on sections of walls, columns, slab floor surfaces, slab ceiling surfaces, precast concrete joists, soffit beams, and stair structures.	
c. Surface conditions: Describe general conditions of finishes, cracking, spalling, peeling, signs of moisture penetration and stains.	PROVIDE PHOTO
See Section 2 (b) above. Detectable structural damage included breaches in walls, columns, beams, and precast joists, and overhead stucco as well as floor coverings and/or floor coatings.	
There may also be some stucco delamination that is not related to structural damages.	
d. Cracks: Note location in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1 mm in width; MEDIUM if between 1- and 2-mm width; WIDE if over 2 mm.	PROVIDE PHOTO
Cracks were observed, most of which appeared to be related to concrete spalling.	
e. General extent of deterioration: Cracking or spalling of concrete or masonry, oxidation of metals; rot or borer attack in wood.	PROVIDE PHOTO
See Sections 2 (b) through 2 (d).	
f. Previous patching or repairs (Provide description and identify location):	PROVIDE PHOTO
Some previous repairs were observed, most notably in the upper garage areas.	
g. Nature of present loading: (Indicate residential, commercial, storage, other - estimate magnitude for each level)	
Tower - commercial offices; garage - parking	
h. Signs of overloading? (Yes/No): No	
1. Describe:	

6. MASONRY BEARING WALL: (Indicate good, fair, poor on appropriate lines)		PROVIDE PHOTO
a. Concrete masonry units:	Fair	
b. Clay tile or terra cotta units:	Not applicable (N/A)	
c. Reinforced concrete tie columns:	Fair	
d. Reinforced concrete tie beams:	Fair	
e. Lintel:	Fair	
f. Other type bond beams:		PROVIDE PHOTO
g. Exterior masonry finishes (choose those that apply):		
1. Stucco:	Fair	
2. Veneer:	N/A	
3. Paint only:	N/A	
4. Other (describe):		
h. Interior masonry finishes (choose those that apply):		PROVIDE PHOTO
1. Vapor barrier:	Not observed	
2. Furring and plaster:	Not observed	
3. Paneling:	Not observed	
4. Paint only:	Not observed	
5. Other (describe):		
i. Cracks:		PROVIDE PHOTO
1. Location (note beams, columns, other):	Garage slabs, columns, precast joists, and soffit beams.	
2. Description:		
Isolated locations throughout the different floors of the buildings.		
j. Spalling		PROVIDE PHOTO
1. Location (note beams, columns, other):	Garage slabs, columns, precast joists, and soffit beams.	
2. Description:		
See Sections 2 (b) through 2 (d). Isolated spalling is observable throughout the buildings. Repairs must conform		
with ICRI, ACI, and Florida Building Code 2020 standards.		

k. Rebar corrosion (indicate on lines 1-4):	PROVIDE PHOTO
1. None visible: ☐	
2. Minor (patching will suffice):	
3. Significant (but patching will suffice): Yes	
4. Significant (structural repairs required)	
l. Samples chipped out for examination in spalled areas (Yes/No): No	
1. Yes – describe color, texture, aggregate, general quality:	

7. FLOOR AND ROOF SYSTEM	
a. Roof (Must provide)	
1. Describe (roof shape, type roof covering, type roof deck, framing system, condition):	PROVIDE PHOTO
Composite precast concrete joist and soffit beam system; in at least fair condition.	
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports:	PROVIDE PHOTO
There are cooling towers on the roof, specific conditions were not noted.	
3. Describe roof drainage system, main and overflow, and indicate condition:	PROVIDE PHOTO
Storm drains, No scuppers observed.	
4. Describe parapet build and current conditions:	PROVIDE PHOTO
Not available (N/A)	
5. Describe mansard build and current conditions:	PROVIDE PHOTO
N/A	

6. Describe roofing membrane/covering and current conditions:	PROVIDE PHOTO
Fair condition	
7. Describe any roof framing member with obvious overloading, overstress, deterioration or excessive deflection:	PROVIDE PHOTO
None observed.	
8. Note any expansion joints and condition:	PROVIDE PHOTO
None on the roof.	
b. Floor system(s):	
1. Describe the floor system at each level, framing, material, typical spans and indicate condition:	PROVIDE PHOTO
The floor system consists of composite precast concrete joists and soffit beams.	
2. Balconies: Indicate location, framing system, material, and condition:	PROVIDE PHOTO
Not applicable (N/A).	
3. Stairs and escalators: indicate location, framing system, material, and condition:	PROVIDE PHOTO
Reinforced concrete treads and risers. In fair condition.	
4. Ramps: indicate location, framing type, material, and condition:	PROVIDE PHOTO
Ramps in the parking garages are concrete slabs and show some isolated locations of concrete deck and ceiling spalls.	
5. Guardrails: describe type, material, and condition:	PROVIDE PHOTO
Reinforced concrete guardrails in the garage - miscellaneous spalled concrete has been identified at some isolated locations.	
c. Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.	
The entire structure in the parking garage is exposed and available for inspection, while almost none of the office building structure is exposed for inspection.	

8. STEEL FRAMING SYSTEM Not applicable (N/A)	
a. Description of system at each level:	PROVIDE PHOTO
N/A	
b. Steel members: describe condition of paint and degree of corrosion:	PROVIDE PHOTO
N/A	
c. Steel connections: describe type and condition:	PROVIDE PHOTO
N/A	
d. Concrete or other fireproofing: note any cracking or spalling of encased member and note where any covering was removed for inspection:	PROVIDE PHOTO
N/A	
e. Identify any steel framing member with obvious overloading, overstress, deterioration, or excessive deflection (provide location):	PROVIDE PHOTO
N/A	
f. Elevator sheave beams and connections, and machine floor beams: note condition:	PROVIDE PHOTO
Not observed.	

9. CONCRETE FRAMING SYSTEM	
a. Full description of concrete structural framing system:	PROVIDE PHOTO
The office building's structural framing system is believed to be composite precast concrete joists and soffit beams.	
The garage's structural framing system does consist of composite precast concrete joists and soffit beams.	
b. Cracking	
1. Significant or Not significant: Not significant.	
2. Location and description of members affected and type cracking:	
Mostly related to corrosion-induced spalling.	

c. General condition	
Fair.	
d. Rebar corrosion – check appropriate line	
1. None visible: ☐	
2. Location and description of members affected and type cracking:	PROVIDE PHOTO
3. Significant but patching will suffice: Yes.	PROVIDE PHOTO
4. Significant: structural repairs required (describe):	PROVIDE PHOTO
e. Samples chipped out in spall areas:	
1. No: ☒	PROVIDE PHOTO
2. Yes, describe color, texture, aggregate, general quality:	
f. Identify any concrete framing member with obvious overloading, overstress, deterioration, or excessive deflection:	
None observed.	

10. WINDOWS, STOREFRONTS, CURTAINWALLS AND EXTERIOR DOORS	
a. Windows/Storefronts/Curtainwalls	PROVIDE PHOTO
1. Type (Wood, steel, aluminum, vinyl, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other):	
Aluminum, fixed panels.	
2. Anchorage: type and condition of fasteners and latches:	
Not observed.	

3. Sealant: type and condition of perimeter sealant and at mullions:	
Fair.	
4. Interiors seals: type and condition at operable vents:	
Not observed.	
5. General condition:	
Fair.	
6. Describe any repairs needed:	
None identified.	
b. Structural Glazing on the exterior envelope of Threshold Buildings (Yes/No): Yes	
1. Previous Inspection Date: Unknown	
2. Description of Curtain Wall Structural Glazing and adhesive sealant:	
A series of relatively small square panels creating a full glass exterior from the third floor up on the office	
building.	
3. Describe Condition of System:	
It appears to be in fair condition.	
c. Exterior Doors	PROVIDE PHOTO
1. Type (Wood, Steel, Aluminum, Sliding Glass Door, other):	
Some aluminum framed glass doors and some hollow metal doors.	
2. Anchorage: type and condition of fasteners and latches:	
Not observed.	
3. Sealant: type and condition of sealant:	
Not observed.	

4. General condition:
Fair.
5. Describe any repairs needed:
None noted.

11. WOOD FRAMING Not Applicable (N/A)	
a. Fully describe wood framing system:	PROVIDE PHOTO
N/A	
b. Indicate the condition of the following:	PROVIDE PHOTO
1. Walls:	
N/A	
2. Floors:	
N/A	
3. Roof member, roof trusses:	
N/A	
c. Note metal connectors (i.e., angles, plates, bolts, split pintles, other, and note condition):	PROVIDE PHOTO
N/A	
d. Joints: note if well fitted and still closed:	PROVIDE PHOTO
N/A	

e. Drainage: note accumulations of moisture	PROVIDE PHOTO
N/A	
f. Ventilation: note any concealed spaces not ventilated:	PROVIDE PHOTO
N/A	
g. Note any concealed spaces opened for inspection:	PROVIDE PHOTO
N/A	
h. Identify any wood framing member with obvious overloading, overstress, deterioration, or excessing deflection):	PROVIDE PHOTO
N/A	

12. BUILDING FAÇADE INSPECTION (Threshold Buildings)	PROVIDE PHOTO
a. Identify and describe the exterior walls and appurtenances on all sides of the building. (Cladding type, corbels, precast appliques, etc.) Office Building:	
Exterior walls: Structural glazing and stone panels on the North, South, and West elevations from the 1st to 3rd floors.	
Structural glazing and cmu with stucco on the North, South, and West elevations above the 3rd floor.	
Structural glazing on the East elevation from the ground to the roof.	
Garage Exterior Walls: Open with guardrail walls on North and South elevations with stucco-ed cmu walls on West end.	
b. Identify the attachment type of each appurtenance type (mechanically attached or adhered):	
Not applicable (N/A)	
c. Indicate the condition of each appurtenance (distress, settlement, splitting, bulging, cracking, loosening of metal anchors and supports, water entry, movement of lintel or shelf angles, or other defects):	
N/A	

13. SPECIAL OR UNUSUAL FEATURES IN THE BUILDING	PROVIDE PHOTO
a. Identify and describe any special or unusual feature (i.e. cable suspended structures, tensile fabric roof, large sculptures, chimneys, porte-cochere, retaining walls, seawalls, etc.)	
None noted.	
b. Indicate condition of the special feature, its supports, and connections:	
None noted.	

Reset Form

Douglas Centre

Write a description for your map.

Legend

2600 Douglas Rd



2600 S Douglas Road
Coral Gables, FL 33134
Parking Garage

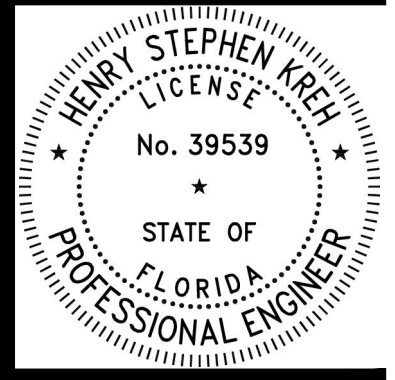


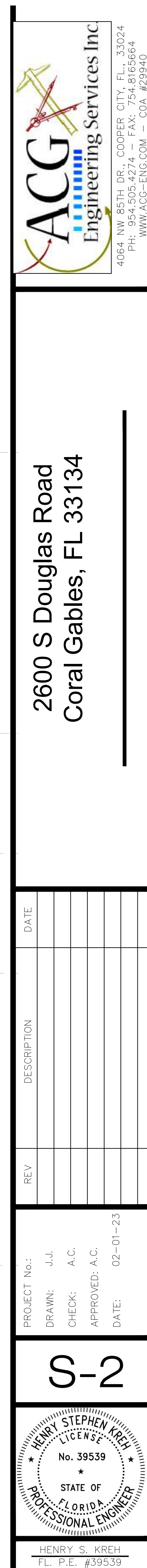
Structural Survey

REV	DESCRIPTION	DATE

PROJECT No.:	J.J.
DRAWN:	A.C.
CHECK:	A.C.
APPROVED:	A.C.
DATE:	02-01-23

S-1

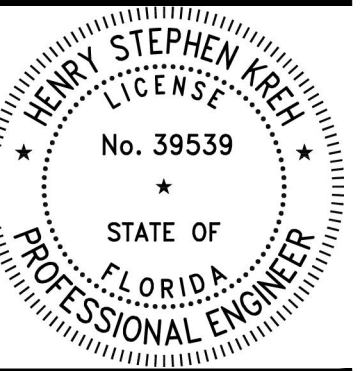




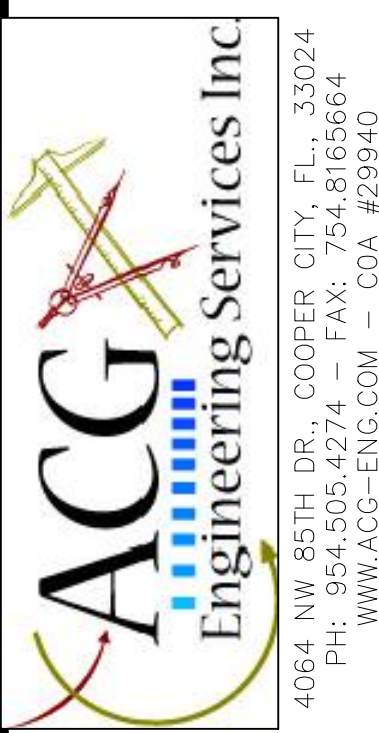
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CHECK: A.C.
APPROVED: A.C.
DATE: 02-

S-3



HENRY S. KREH
FL. P.E. #39539

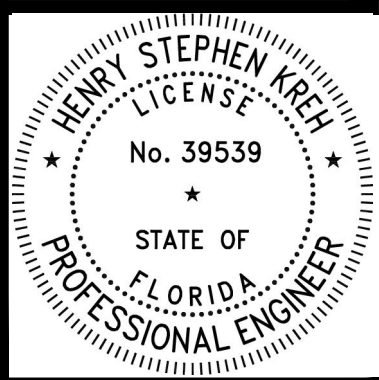


2600 S Douglas Road
Coral Gables, FL 33134

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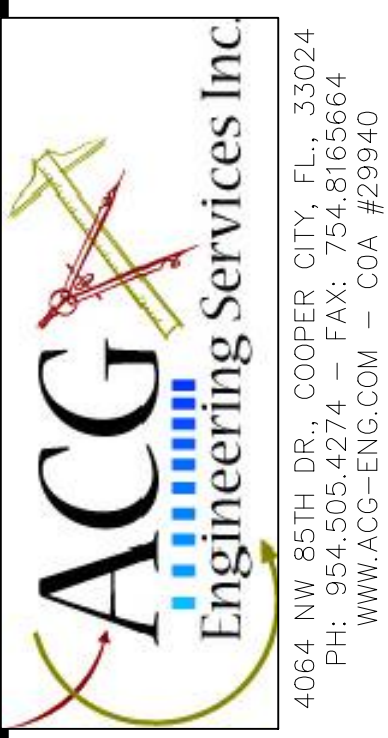
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CHECK: A.C.
APPROVED: A.C.
DATE: 02-

S-5



HENRY S. KREH
L. P.E. #39539



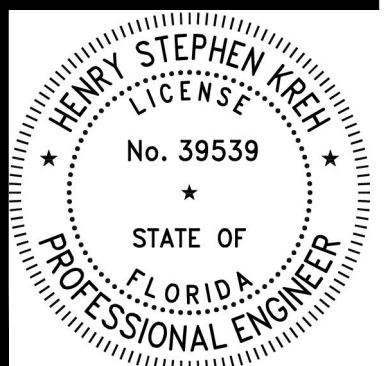


2600 S Douglas Road
Coral Gables, FL 33134

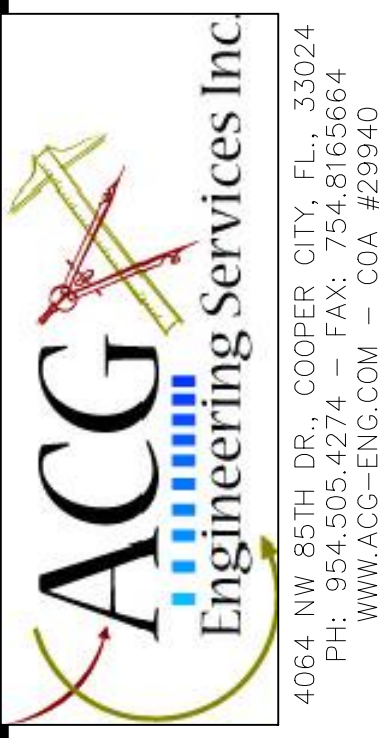
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CHECK: A.C.
APPROVED: A.C.
DATE: 02-

S-7

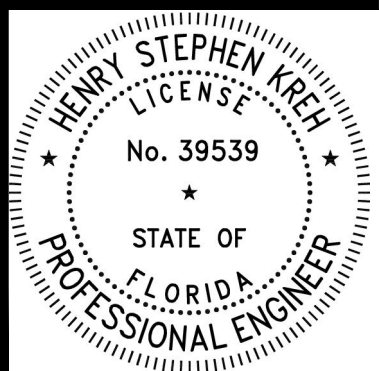


HENRY S. KREH
FL. P.E. #39539

[illegible]

PROJECT No.:
DRAWN: J.J.
CHECK: A.C.
APPROVED: A.C.

S-8



HENRY S. KREH
L. P.E. #39539



Photo 1: Spalled structural column at its base.

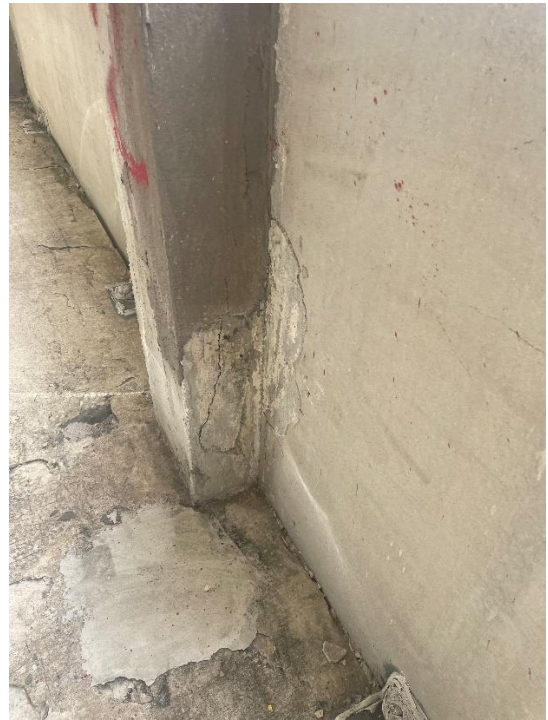


Photo 2: Spalled and previously repaired guard wall column.



Photo 3: Column spall at steel guard.



Photo 4: Column spall at column/beam joint.



Photo 5: Overhead slab ceiling spall and precast joist end spall.



Photo 6: Shear cracks in beams on each side of the supporting column.



Photo 7: Spalling of beam bottom at what appears to be a support corbel.



Photo 8: Spalled perimeter beam bottom.



Photo 9: Previously repaired deck spalls and cracks.



Photo 10: Spalling deck surface at the column.



Photo 11: Spalling of deck surface at previous repair.

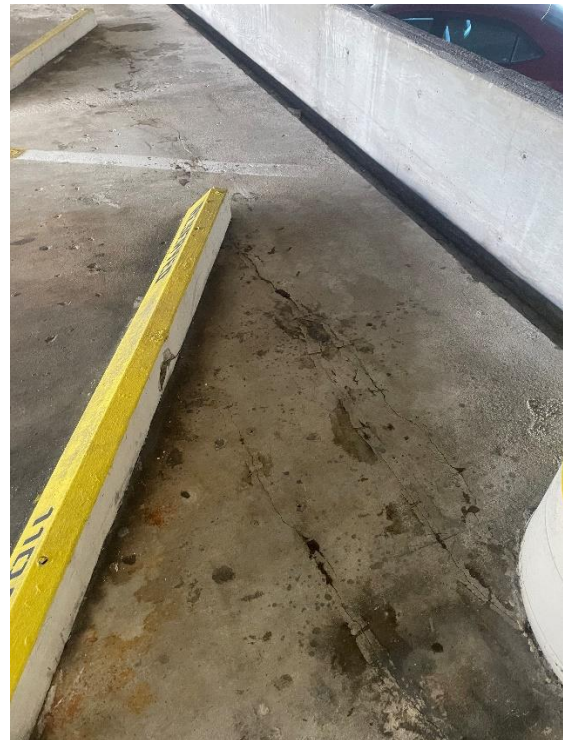


Photo 12: Cracking, likely representative of deck spalling.



Photo 13: Spalling at the top of the guard rail wall.



Photo 14: Spalling of the column at the guard rail wall.



Photo 15: Spalled concrete at the top of a guard rail wall.



Photo 16: Spalling at the top of the guard rail wall.



Photo 17: Spalling of the deck surface adjacent to wall/slab connections.



Photo 18: Spalling of the deck surface adjacent to a wall/slab connection.



Photo 19: Existing waterproofing of the top garage deck.



Photo 20: Overhead slab ceiling spalling.



Photo 21: Overhead slab ceiling spalling with exposed reinforcing steel.



Photo 22: Overhead slab ceiling spalling with exposed reinforcing steel.



Photo 23: Exterior stairway.



Photo 24: Spalled concrete at a ramp guard rail wall.



Photo 24: Spalled concrete at a ramp support beam.



Photo 25: Typical louvered hollow metal door in the garage.



apl 3/9/23

Date: February 24th, 2023

To: Building Official
City of Coral Gables – Building Division
Coral Gables City Hall
405 Biltmore Way
Coral Gables, FL 33134

Re: Structural Integrity Status
Douglas Centre Condominium
2600 Douglas Road
Coral Gables, FL 33134

Dear Building Official:

The Douglas Centre Condominium Association is in receipt of the “Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing” issued earlier today. ACG Engineering Services, Inc. has been retained by the Association and has performed a damage assessment survey. We are in the process of formalizing that survey in the recertification report format and will have that report submitted to the building department prior to the hearing date of March 13th, 2023, that has been set.

While we have observed signs of structural damage, the building’s structural integrity appears be intact and to have not yet been affected by the notable deterioration. The structure appears to be inhabitable and safe, posing no problems for inhabitants or property.

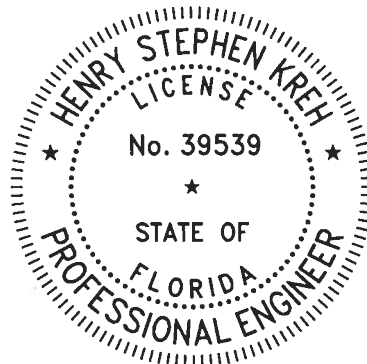
As a routine matter, to avoid any possible misunderstandings, nothing in this report should be considered directly or indirectly as a guarantee for any portion of the structures. To the best of our knowledge and ability and to the extent possible, this report represents an accurate appraisal of the present conditions of the buildings, based upon careful evaluations and observed conditions.

Respectfully submitted,

**Henry S
Kreh**

Henry S. Kreh, P.E.
FL P.E. #39539
FL S.I. #736

Digitally signed by
Henry S Kreh
Date: 2023.02.24
12:08:34 -05'00'





CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS

Re: Case No. _____ FYear _____

Property Address: _____, Bldg. No.: _____, Sq. Ft.: _____

Building Description: _____

I am a Florida registered professional ☐ engineer ☐ architect with an active license.

On _____ 20_____, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):

☐ The parking lot(s) is not adjacent to or abutting a canal, lake, or other body of water.

☐ The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami- Dade County Code.

☐ The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles **are not** protected by a guardrail that complies with Section 8C-6 of Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.

Signature and Seal of Architect or Engineer

Print Name

March 16th, 2023
Date



**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY**

Date: _____

Case No. _____ FYear _____

Property Address: _____, Bldg. No.: _____, Sq. Ft.: _____

Folio Number: _____

Building Description: _____

1. I am a Florida registered professional ☒ engineer ☐ architect with an active license.
2. On, 20 _____ at _____ ☐ AM ☒ PM, I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum _____ foot candle
Minimum _____ foot candle
Maximum to Minimum Ratio _____ : _____, foot candle
4. The level of illumination provided in the parking lot ☐ meets ☒ does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of Miami-Dade County Code.

Signature and Seal of Professional

Print Name Engineer or Architect



Date: February 24th, 2023

To: Building Official
City of Coral Gables – Building Division
Coral Gables City Hall
405 Biltmore Way
Coral Gables, FL 33134

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