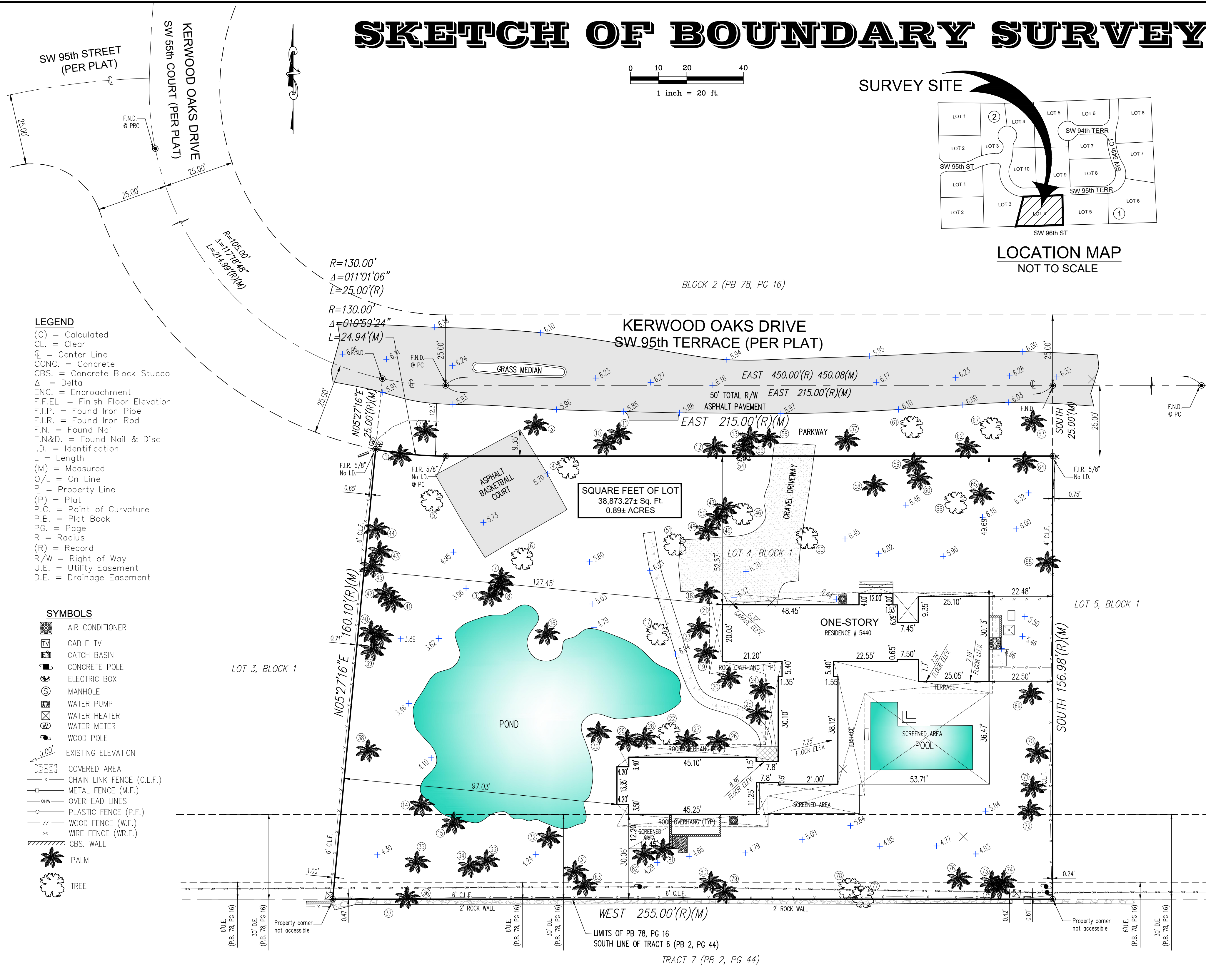


SKETCH OF BOUNDARY SURVEY



JAIN RESIDENCE

5440 KERWOOD OAKS DRIVE | CORAL GABLES, FLORIDA, 33156

FOLIO: 03-5106-017-0040



BOA SET

JULY 30, 2021

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PROJECT NAME:
MAIN RESIDENCE



A



E



B



F



C



G



D



H



CONTEXT PHOTOS KEY



I

Images taken November 19, 2020 by MSA

SURROUNDING CONTEXT



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CORAL GABLES, FL 33156

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33146

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
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PROJECT NAME:
JAIN RESIDENCE

PROFESSIONAL SEAL(S):

⚠	07-30-21	PRELIM ZONING
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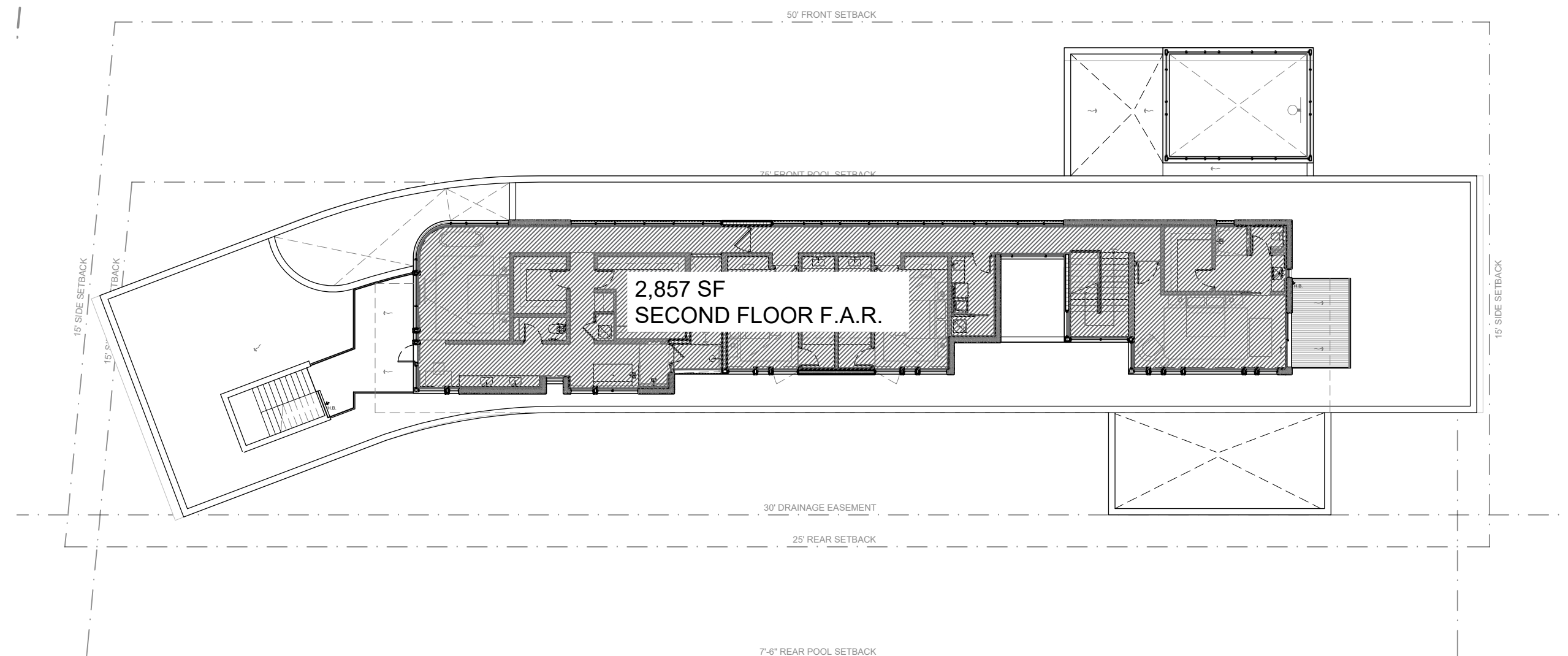
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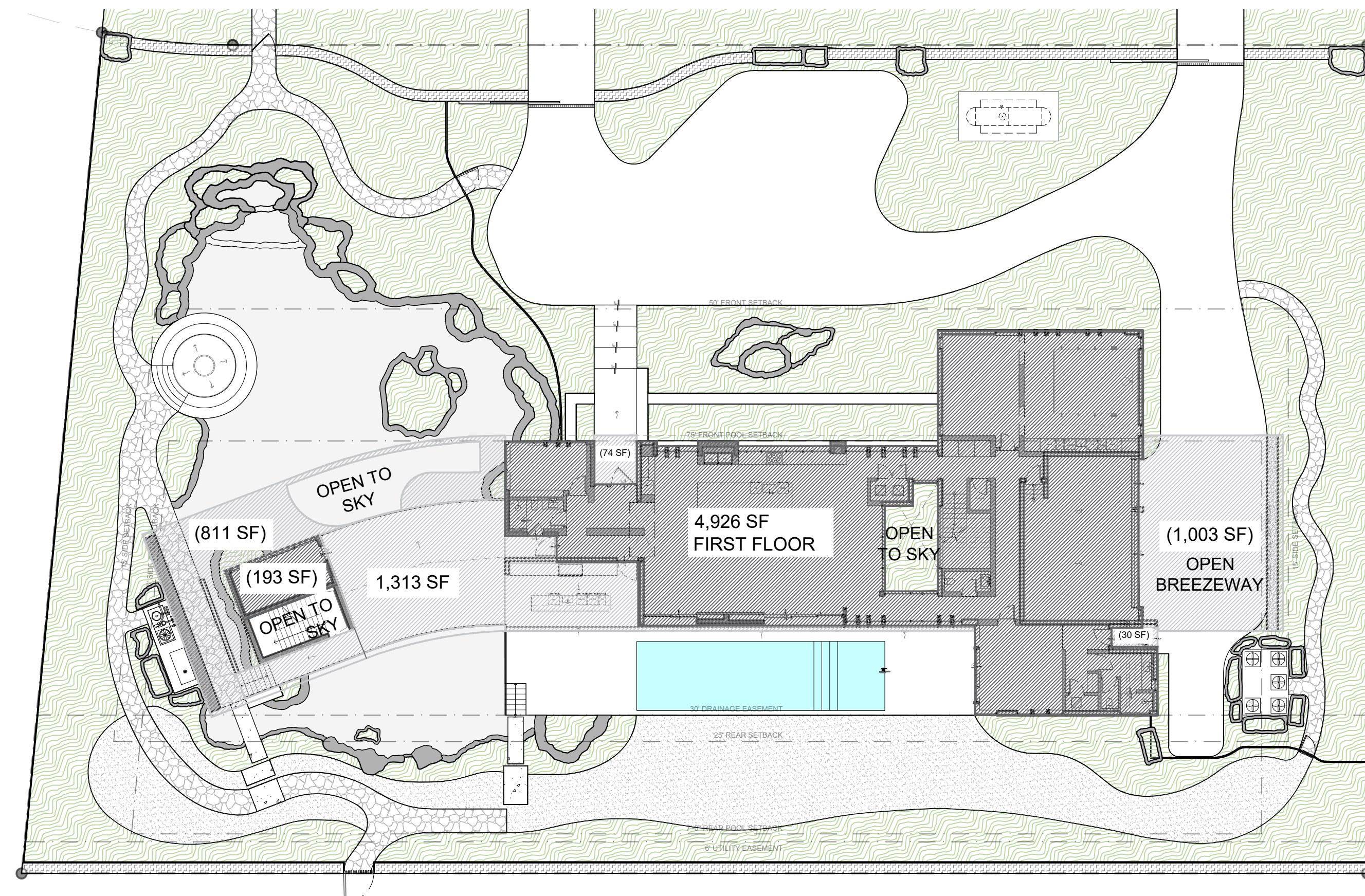
CONTEXT
PHOTOGRAPHS

Sheet No:

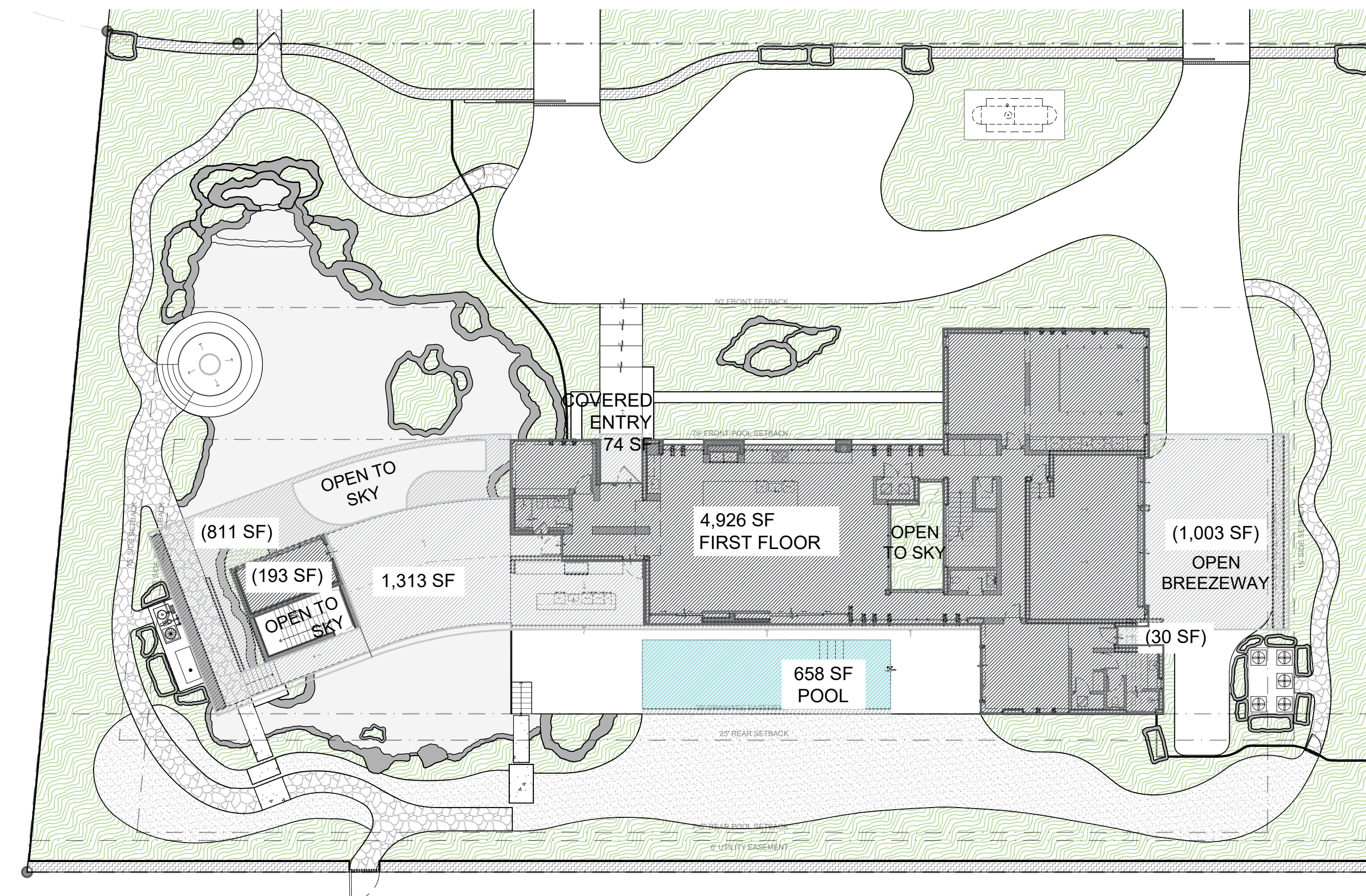
A-003



FIRST FLOOR = 4,988 SF
SECOND FLOOR = 2,857 SF
PROPOSED = 7,575 SF



9,718.25 = 25% MAX. ALLOWED
8,350 = 21.5%



11,662 = 30% MAX ALLOWED
9,008 = 23% PROPOSED

A-005

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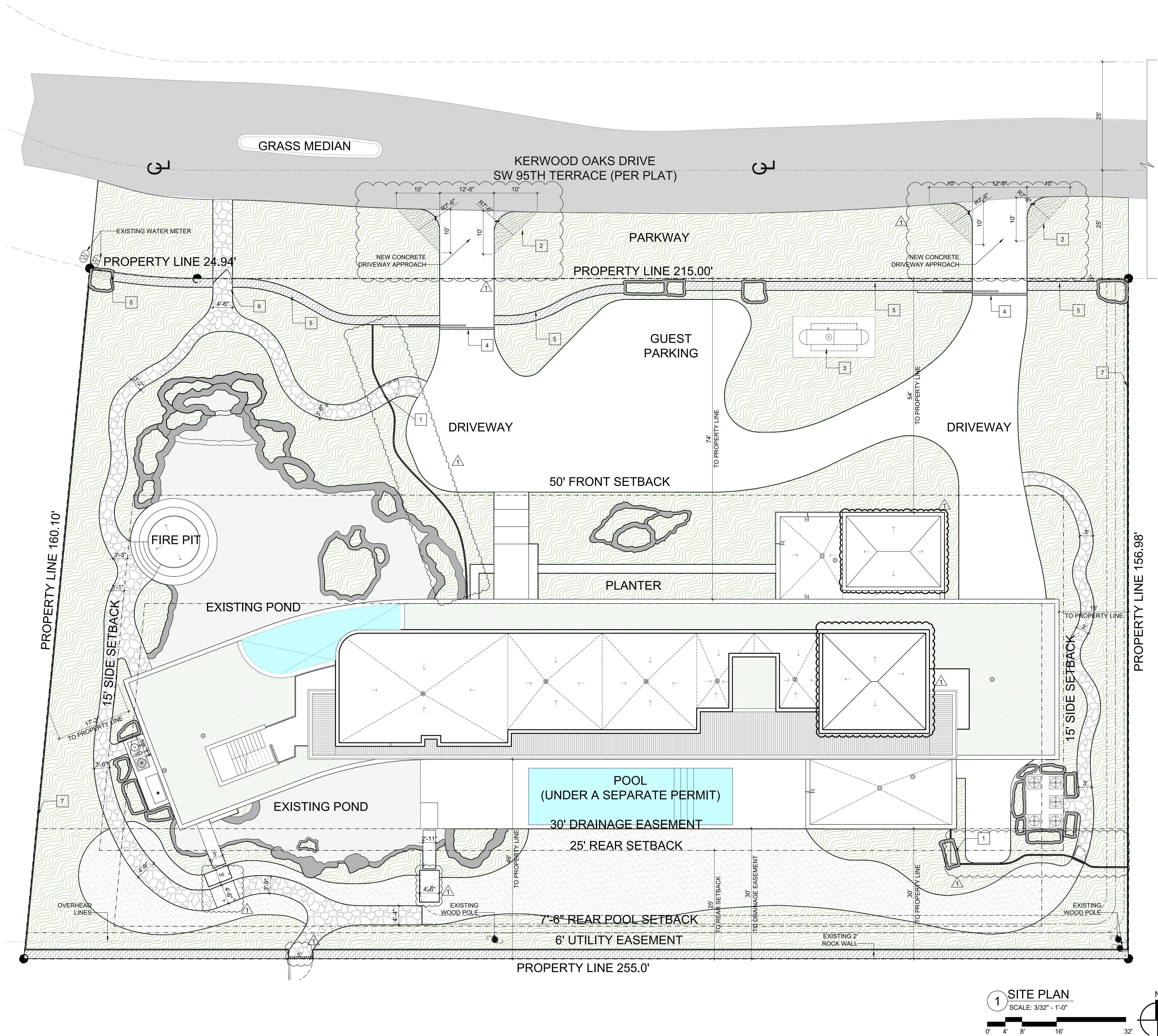
Sheet Title:

Sheet No:

A-100

1. Refer to Landscape plan, L-series sheets for hardscape and planting information.
2. All requirements for Landscape as listed in zoning code Article 5, Division II will be complied with.
3. All rainwater must be retained within private property.
4. All construction and finish material below Design Flood Elevation shall be Flood Damage resistant material(ASCE 24-14 CH. 5.0) per FBCR 322.1.6
5. All utilities, equipment, and accessories servicing the building shall be installed above the Design Flood Elevation per FBCR 322.1.6
6. Enclosed areas below Design Flood Elevation shall be used solely for parking of vehicles, building access, or storage; and shall obey all further requirements of FBCR 322.2.2
7. All exterior stairs shall be constructed per FBCR 322.2.2
8. General Contractor shall submit an under-construction elevation certificate upon placement of the lowest floor and prior to further vertical construction for review and approval.
9. Final elevation certificate for finished construction must be submitted before a Certificate of Occupancy, Temporary Certificate of Occupancy, or Partial Certificate of Occupancy can be issued.
10. Windows / doors/ roofing / waterproofing / railings / fences /pools / water features / prefabricated stairs require a separate permit.
11. All exterior balconies to slope 1/8" per 12" minimum per AC308. Coordinate with Plumbing Drawings for drain location and sizes.
12. Terminate project shall be provided per FBCR 321.8

1. 48" high mechanically self-closing, self-latching, and self-locking gate.
2. The triangle of visibility shall be kept clear of visual obstructions between a height of two and a half (2 ½) feet to eight (8) feet above the established grade.
3. Underground LP gas tank, see plumbing drawings
4. Linear trench drain, refer to Civil drawings.
5. 4 feet tall Oolite stone wall, see landscape drawings.
6. 4 feet tall x 4 feet wide metal and wood pedestrian gate, see landscape drawings.
7. 48" high Metal privacy fence at property line to act as pool enclosure barrier, see landscape drawings.

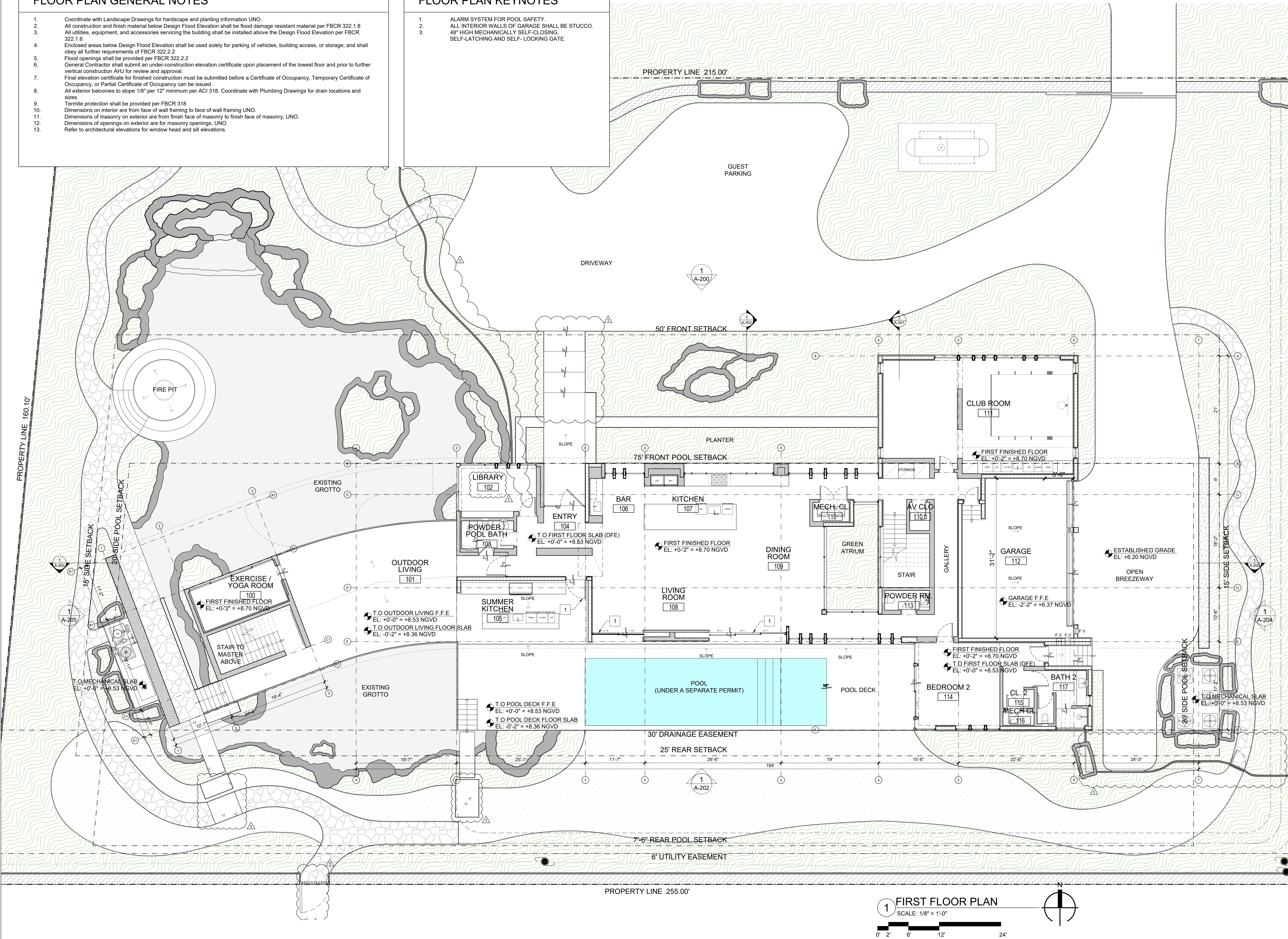


FLOOR PLAN GENERAL NOTES

- Coordinate with Landscape Drawings for hardscape and planting information UNO.
- All construction and finish material below Design Flood Elevation shall be flood damage resistant material per FBCR 322.1.8
- All utilities, equipment, and accessories servicing the building shall be installed above the Design Flood Elevation per FBCR 322.1.6
- Enclosed areas below Design Flood Elevation shall be used solely for parking of vehicles, building access, or storage; and shall obey all further requirements of FBCR 322.2.2
- Flood openings shall be provided per FBCR 322.2.2
- General Contractor shall submit an under-construction elevation certificate upon placement of the lowest floor and prior to further vertical construction AHJ for review and approval.
- Final elevation certificate for finished construction must be submitted before a Certificate of Occupancy, Temporary Certificate of Occupancy, or Partial Certificate of Occupancy can be issued.
- All exterior balconies to slope 1/8" per 12" minimum per ACI 318. Coordinate with Plumbing Drawings for drain locations and sizes.
- Termite protection shall be provided per FBCR 318
- Dimensions on interior are from face of wall framing to face of wall framing UNO.
- Dimensions of masonry on exterior are from finish face of masonry to finish face of masonry, UNO.
- Dimensions of openings on exterior are for masonry openings, UNO.
- Refer to architectural elevations for window head and sill elevations.

FLOOR PLAN KEYNOTES

- ALARM SYSTEM FOR POOL SAFETY.
- ALL INTERIOR WALLS OF GARAGE SHALL BE STUCCO.
- 48" HIGH MECHANICALLY SELF-CLOSING, SELF-LATCHING AND SELF- LOCKING GATE.



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DAVIE, FL 33328

GENERAL CONTRACTOR:
MOCCA CONSTRUCTION
3080 SW 38TH CT.
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33146

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
2964 AVIATION AVENUE
MIAMI, FL 33133

PROJECT NAME:
JAIN RESIDENCE

PROFESSIONAL SEAL(S):

	07-30-21	PRELIM ZONING
	04-12-21	BOA SET
No.	DATE	DESCRIPTION

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Sheet Title:
**FIRST FLOOR
PLAN**

Sheet No:
A-101

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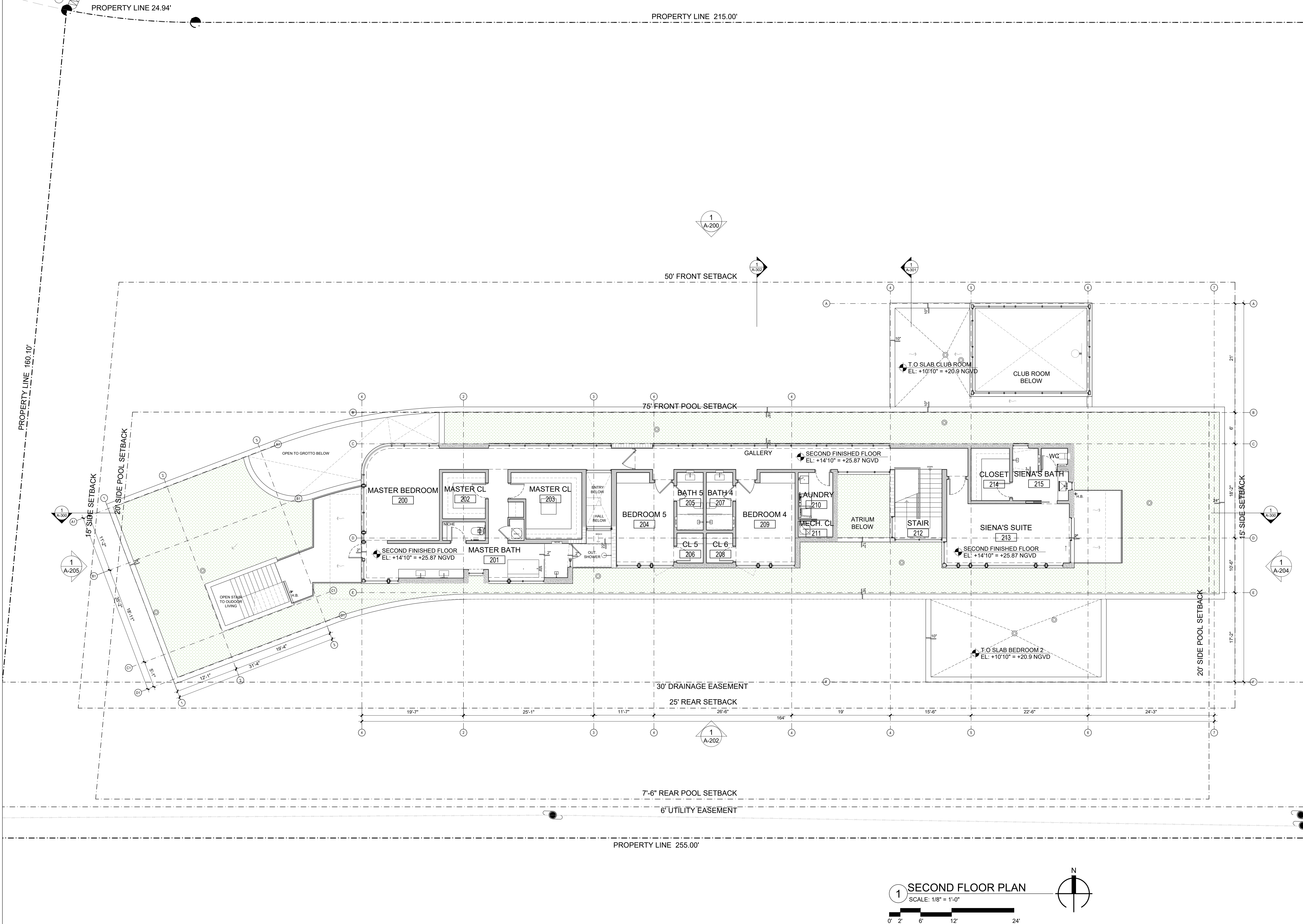
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MAIN RESIDENCE

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SECOND FLOOR PLAN

A-102



A. The residence has a flat roof with a parapet and with a pitched roof area that is lesser in size and proportion to the flat roof area. For residences in flood hazard districts with a maximum height of thirty nine (39) feet above established grade, the roof deck of the flat roof with a maximum thirty (30) inch high parapet shall not exceed thirty four (34) feet above established grade and the top of the parapet shall not exceed thirty six (36) feet and six (6) inches above established grade. The roof shall be pitched in accordance with the provisions of the Florida Building Code.

Section 5-503. Flat roofs with a parapet.

A. The residence has a flat roof with a parapet and with a pitched roof area that is lesser in size and proportion to the flat roof area. For residences in flood hazard districts with a maximum height of thirty nine (39) feet above established grade, the roof deck of the flat roof with a maximum thirty (30) inch high parapet shall not exceed thirty four (34) feet above established grade and the top of the parapet shall not exceed thirty six (36) feet and six (6) inches above established grade. The roof shall be pitched in accordance with the provisions of the Florida Building Code.

The site plan illustrates a residence with a flat roof and parapet, situated on a property with a 160.10' front setback and a 255.00' rear setback. The plan includes a 50' front setback, a 75' front pool setback, and a 30' drainage easement. The residence features a flat roof with a parapet and a pitched roof area. Key elevations and setbacks are marked, including a 15' side setback, a 20' side pool setback, and a 10' side pool setback. The plan also shows a 7'6" rear pool setback and a 6' utility easement. The residence is located on a property with a 160.10' front setback and a 255.00' rear setback. The plan includes a 50' front setback, a 75' front pool setback, and a 30' drainage easement. The residence features a flat roof with a parapet and a pitched roof area. Key elevations and setbacks are marked, including a 15' side setback, a 20' side pool setback, and a 10' side pool setback. The plan also shows a 7'6" rear pool setback and a 6' utility easement.

PROPERTY LINE 255.00

1 ROOF PLAN
SCALE: 1/8" = 1'-0"

0' 2' 6' 12' 24'

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GENERAL CONTRACTOR:
MOCCA CONSTRUCTION
3080 SW 38TH CT.
MIAMI, FL
33146

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
2964 AVIATION AVENUE
MIAMI, FL 33133

PROJECT NAME:
JAIN RESIDENCE

PROFESSIONAL SEAL(S)

A	07-30-21	PRELIM ZONING
No.	04-12-21	BOA SET
	DATE	DESCRIPTION

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Sheet Title:

ROOF PLAN

Sheet No:

A-103

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LANDSCAPE ARCHITECT:
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MIAMI, FL 33133

PROFESSIONAL SEAL(S):

A	07-30-21	PRELIM ZONING
C.	04-12-21	BOA SET
	DATE	DESCRIPTION

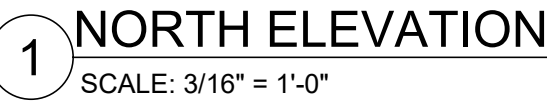
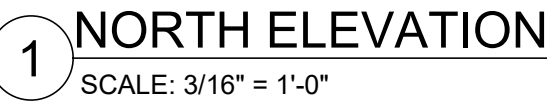
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ELEVATIONS

Sheet No:

A-200



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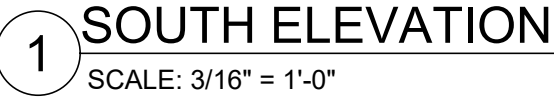
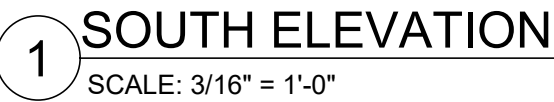
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ELEVATIONS

Sheet No:

A-202





1 SOUTH ELEVATION MATERIALITY
N.T.S.



2 SOUTH ELEVATION MATERIALITY
N.T.S.

[STRANG]

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LANDSCAPE ARCHITECT:
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MIAMI, FL 33133

PROJECT NAME:
JAIN RESIDENCE

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ELEVATIONS

Sheet No:
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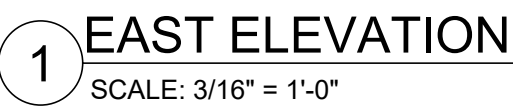
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MIAMI,FL
33146

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RAYMOND JUNGLES INC.
2964 AVIATION AVENUE
MIAMI, FL 33133

PROJECT NAME:
MAIN RESIDENCE

PROFESSIONAL SEAL(S):

1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

[illegible]

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ELEVATIONS

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A-205

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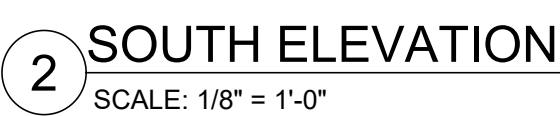
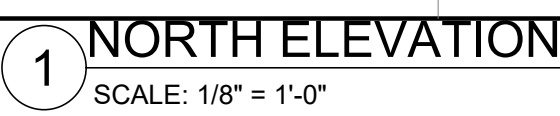
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MAIN RESIDENCE

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OVERALL ELEVATIONS

Sheet No: **A-206**



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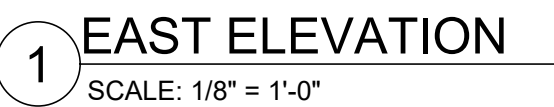
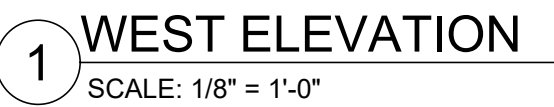
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ELEVATIONS

Sheet No: **A-207**



A close-up photograph of a highly textured, weathered surface, likely stone or concrete. The surface is characterized by a network of irregular, deep cracks and fissures that create a complex, fragmented pattern. The color palette is earthy, ranging from light beige and tan to dark brown and grey, suggesting varying mineral compositions or the effects of aging and environmental exposure. The lighting appears to come from the upper right, casting shadows that emphasize the three-dimensional quality of the cracks and the unevenness of the texture.

A black and white photograph showing a close-up of a wooden surface with horizontal planks. The wood grain is visible, and there are some dark spots and knots on the surface.

A close-up photograph of a wooden wall or ceiling. The image shows several horizontal wooden planks with a dark, weathered, and textured finish. The wood grain is visible, and the planks are arranged in a staggered pattern. The lighting is dramatic, with strong shadows and highlights that emphasize the texture of the wood.

- 1 OOLITE STONE
- 2 BOARDFORM CONCRETE
- 3 PAINTED STUCCO
- 4 BRAKE METAL, TO MATCH WINDOW FRAME COLOR (SUNSTORM ARCADIA SILVER)
- 5 WOOD FIN

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LANDSCAPE ARCHITECT:
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2964 AVIATION AVENUE
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PROFESSIONAL SEAL(S):

	07-30-21	PRELIM ZONING
No.	04-12-21	BOA SET
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EXTERIOR MATERIALS

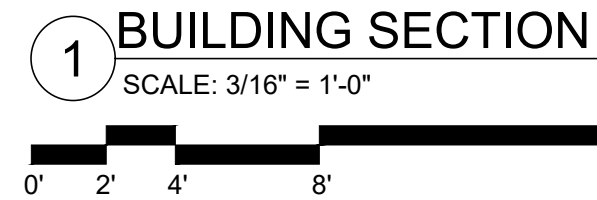
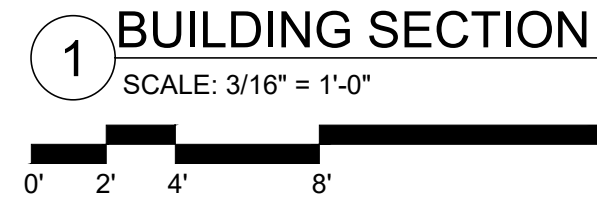
A-208

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BUILDING SECTIONS

Sheet No:

A-300

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Sheet Title:

PERSPECTIVES

Sheet No: **A-900**



PERSPECTIVE
SCALE: NTS

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PERSPECTIVES

Sheet No: **A-901**



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Sheet No: **A-903**



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Sheet Title:

PERSPECTIVES

Sheet No: **A-904**



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PERSPECTIVES

Sheet No: **A-905**



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SCALE: NTS

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SCALE: NTS

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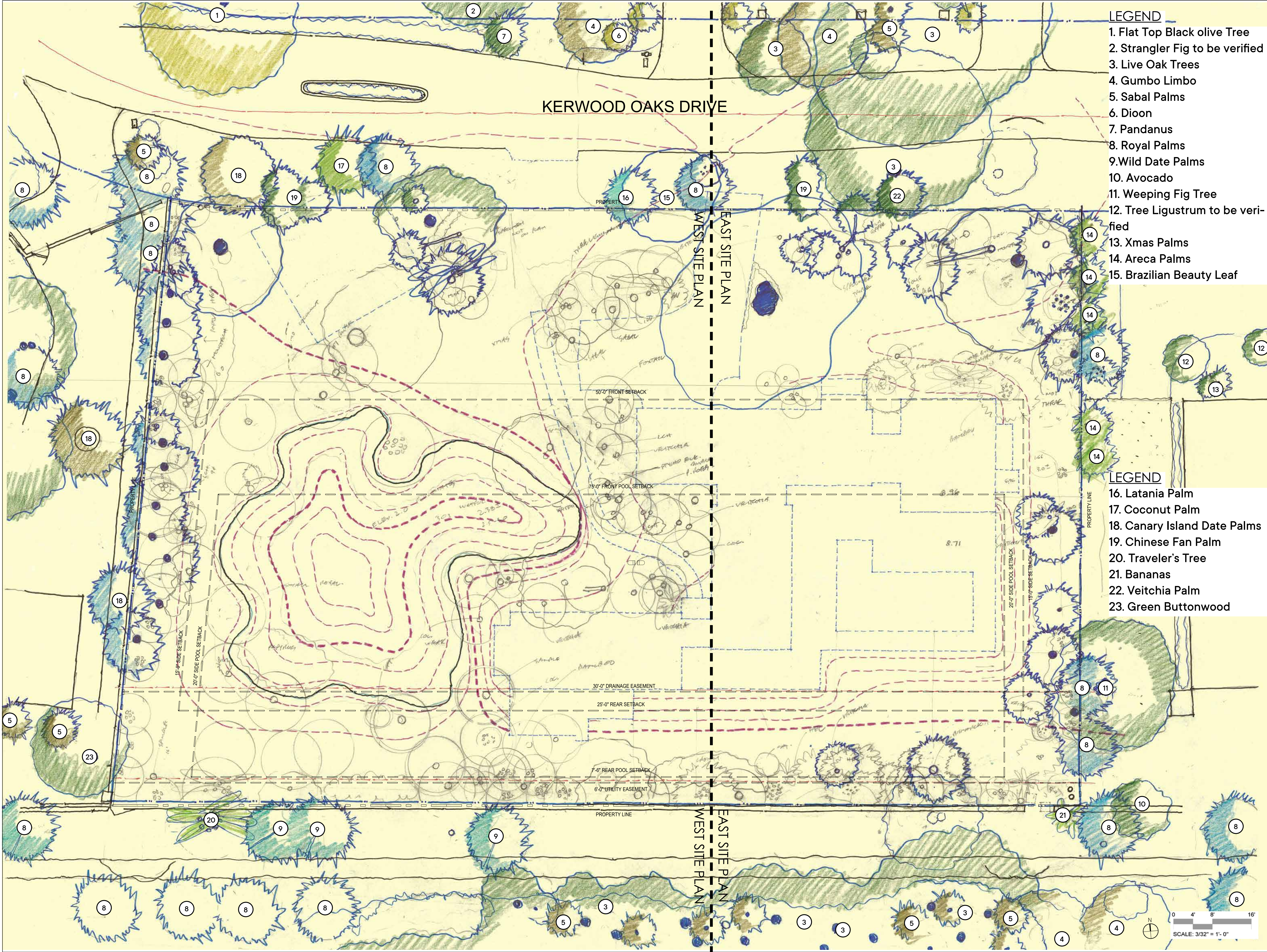
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Sheet Title:

PERSPECTIVES

Sheet No:

A-907



LEGEND

1. Flat Top Black olive Tree
2. Strangler Fig to be verified
3. Live Oak Trees
4. Gumbo Limbo
5. Sabal Palms
6. Dioon
7. Pandanus
8. Royal Palms
9. Wild Date Palms
10. Avocado
11. Weeping Fig Tree
12. Tree Ligustrum to be verified
13. Xmas Palms
14. Areca Palms
15. Brazilian Beauty Leaf

LEGEND

16. Latania Palm
17. Coconut Palm
18. Canary Island Date Palms
19. Chinese Fan Palm
20. Traveler's Tree
21. Bananas
22. Veitchia Palm
23. Green Buttonwood

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STRUCTURAL ENGINEERING:
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MEP ENGINEERING:
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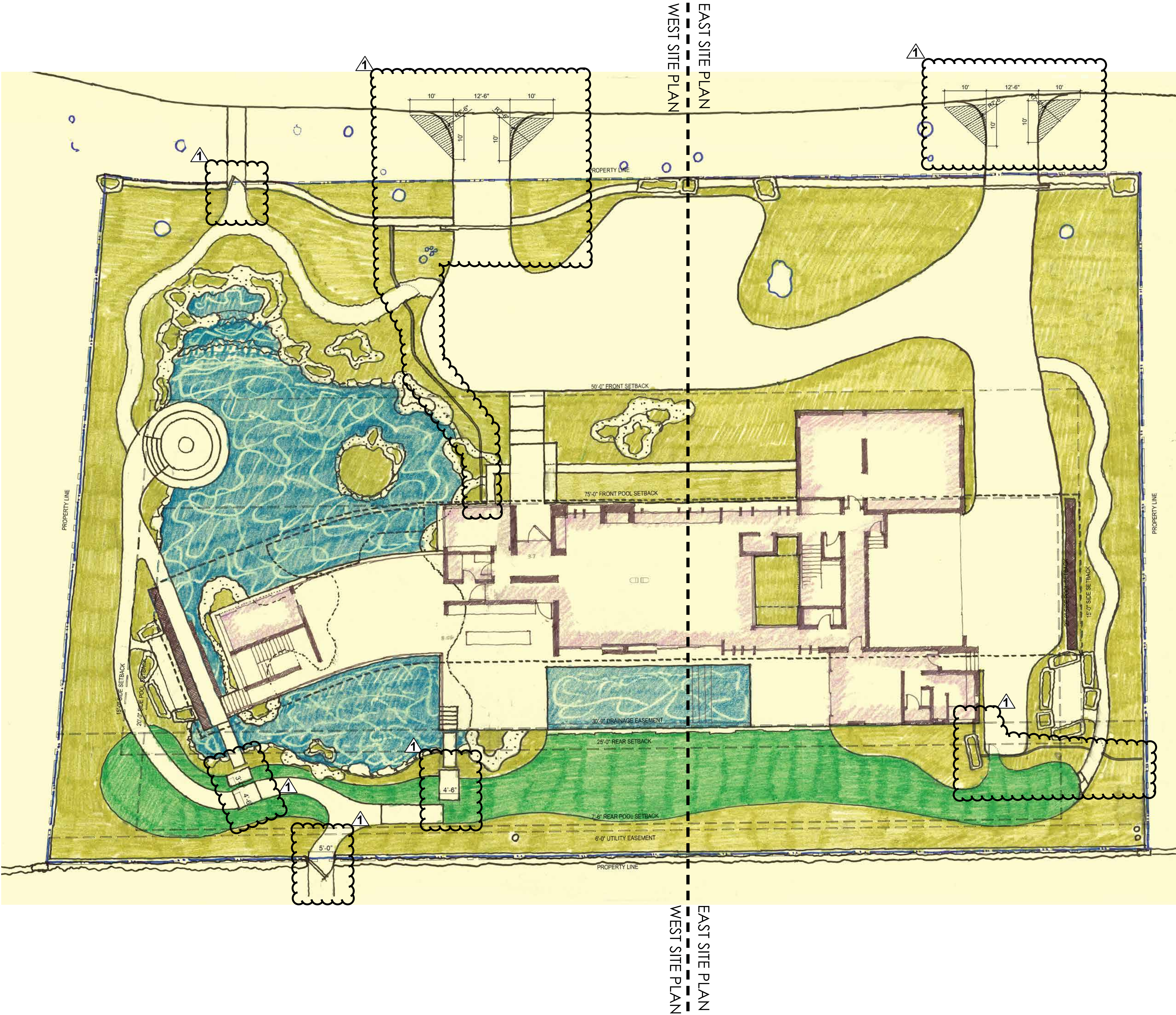
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Sheet Title:
OVERALL SITE PLAN -
EXISTING CONDITIONS

Sheet No:
L-1



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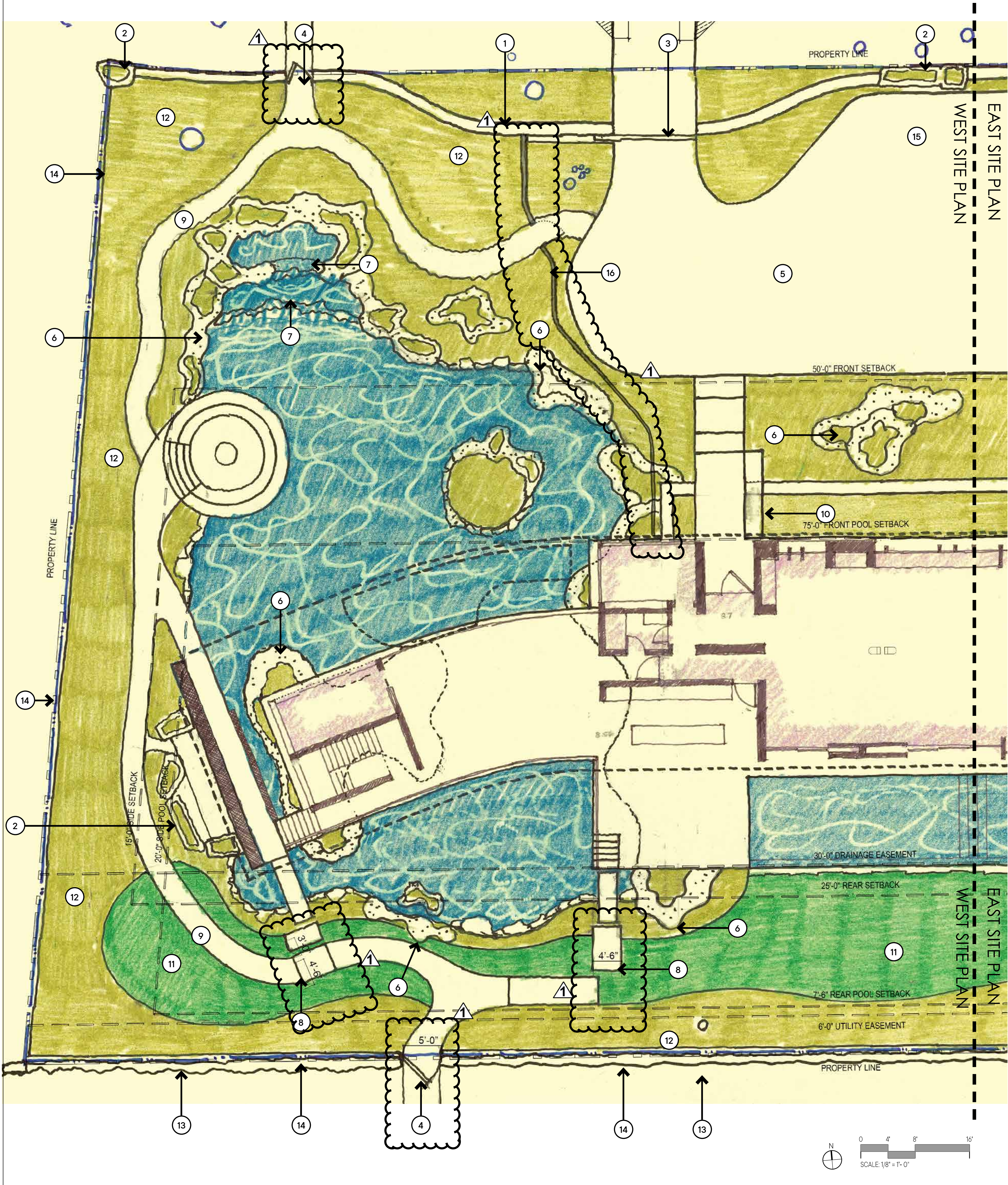
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Sheet Title:
OVERALL SITE PLAN -
HARDSCAPE

Sheet No:
L-2



Planting Area

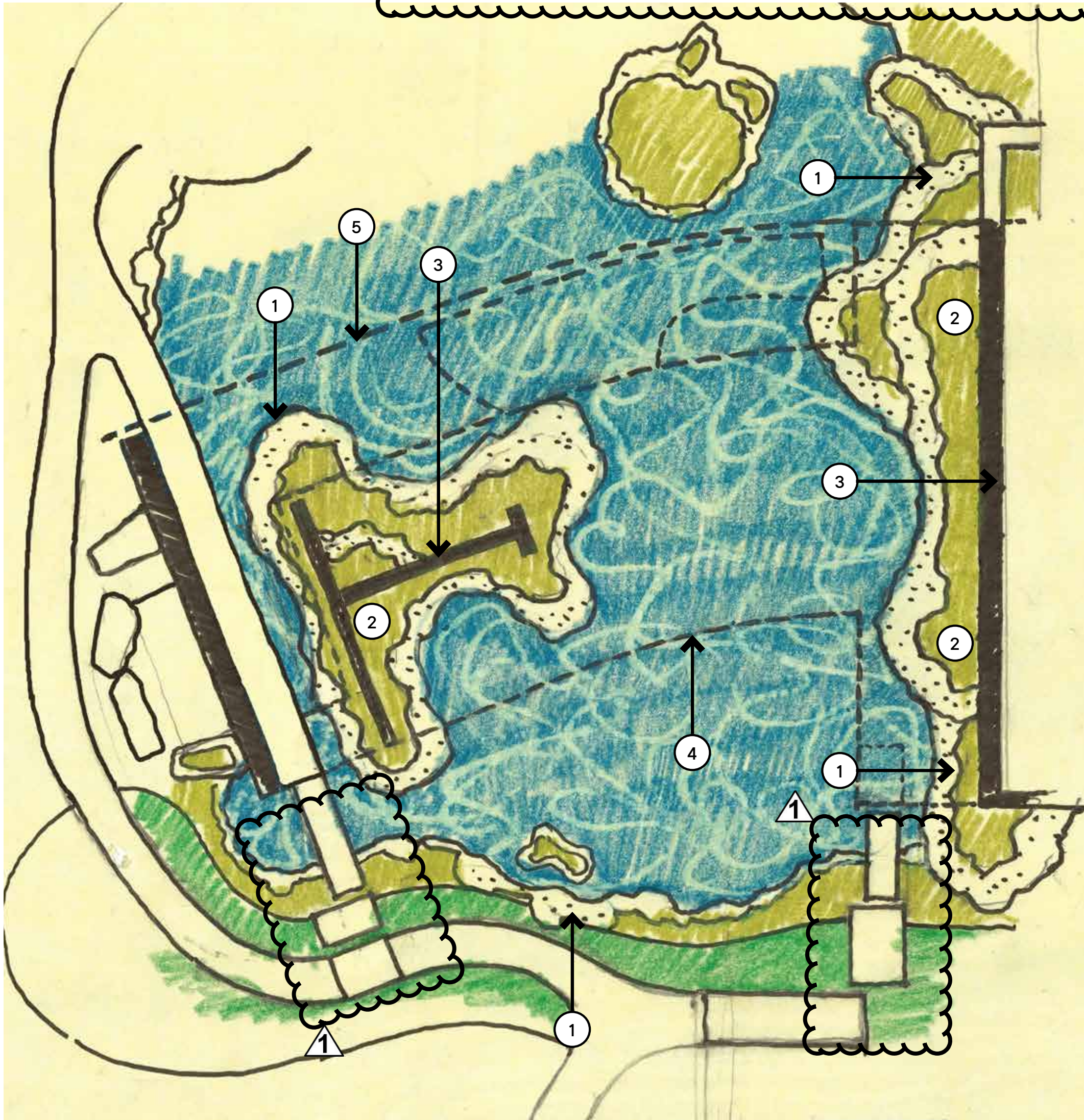
Water

Lawn

Interior

LEGEND

- Four Foot Tall Oolite Stone Wall
- Oolite monolith planters tall as allowed.
- Four foot tall x twelve foot wide metal and wood sliding vehicular gate.
- 4 Foot Tall x 4 foot wide metal and wood pedestrian gate to be mechanically self-closing, self-locking & self-latching
- Driveway material and pattern TBD.
- Oolite boulder formation typical.
- Cascades from elevated pond basins.
- Stepping pads. Stone or concrete to match pool deck.
- Stone flagging garden path.
- Floating wood bench.
- Lawn or lawn substitute.
- Planting typical.
- Existing oolite rubble wall to remain.
- Metal privacy fence painted to disappear as tall as allowed.
- Guest Parking area
- Pool Enclosure; 48" tall gate to be mechanically self-closing, self locking & self-latching



LEGEND

- Oolite Boulder Formations with planters.
- Planting areas.
- Structure see architecture.
- Overhead edge of first floor .
- Overhead edge of second level.

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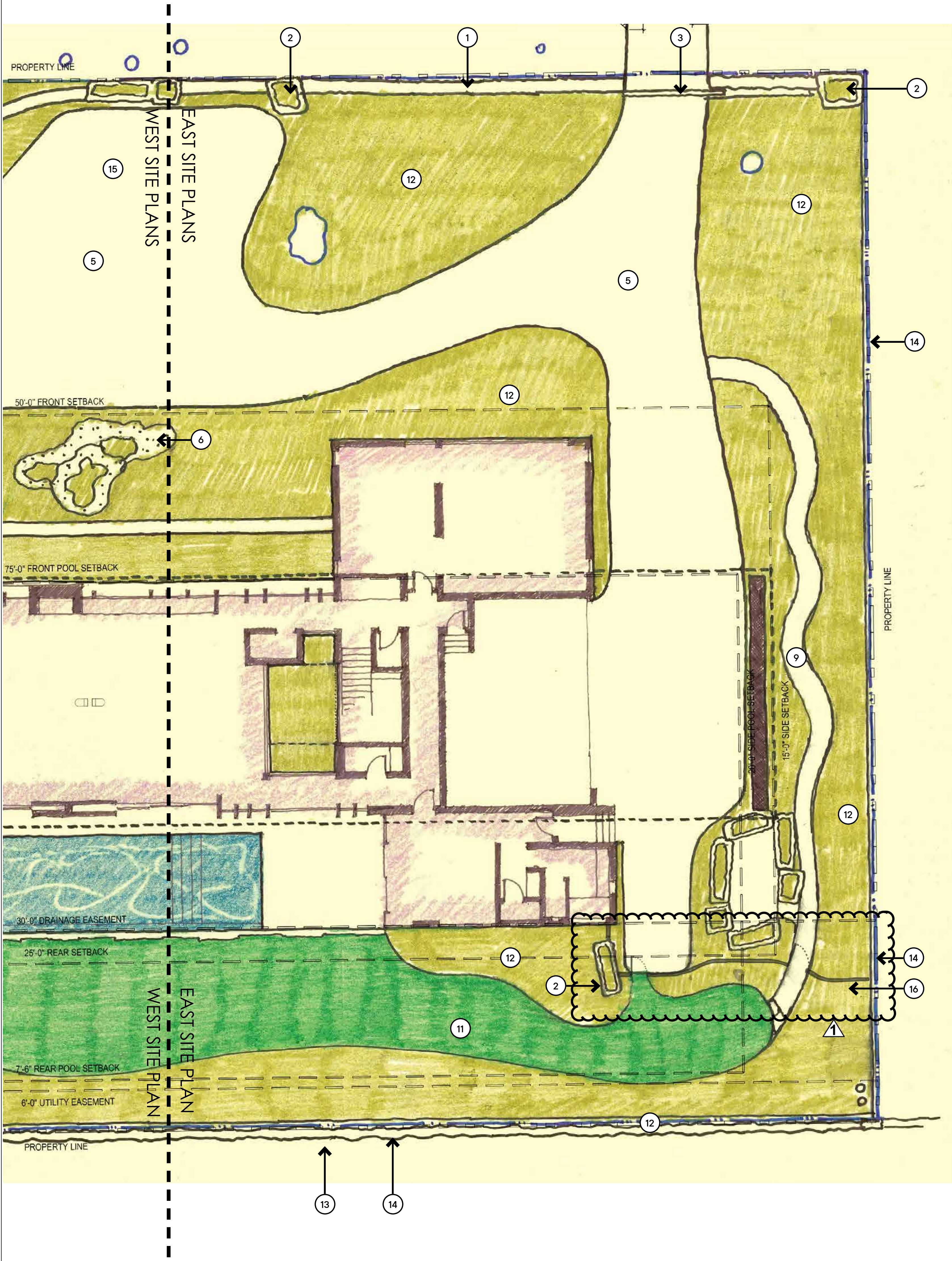
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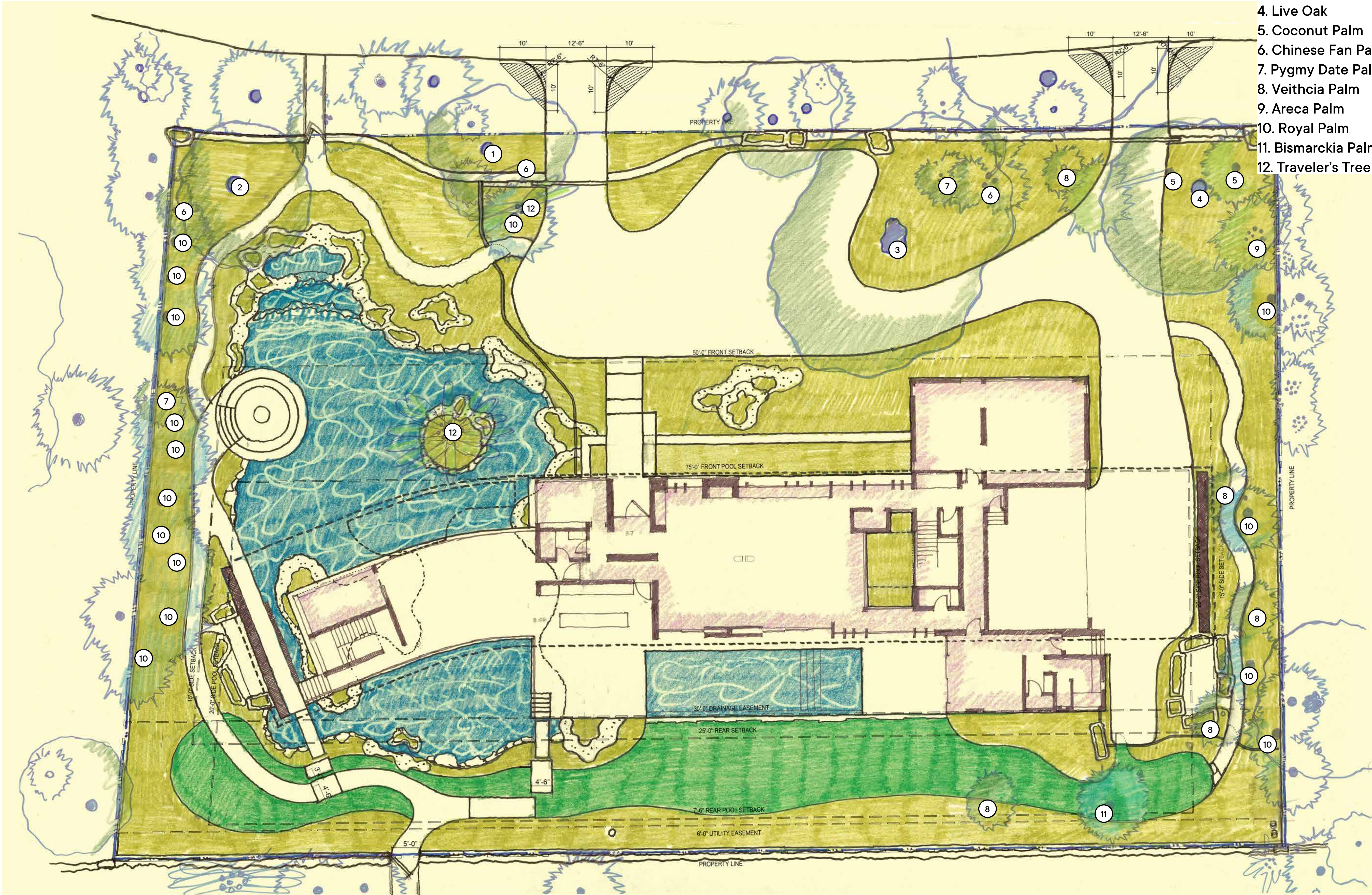
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Sheet Title:
WEST SITE PLAN -
HARDSCAPE

Sheet No:
L-3





LEGEND

1. Live Oak
2. Melaleuca species to be verified. To be removed if it is an invasive exotic
3. Strangler Fig
4. Live Oak
5. Coconut Palm
6. Chinese Fan Palm
7. Pygmy Date Palms
8. Veithcia Palm
9. Areca Palm
10. Royal Palm
11. Bismarckia Palm
12. Traveler's Tree

[STRANG]

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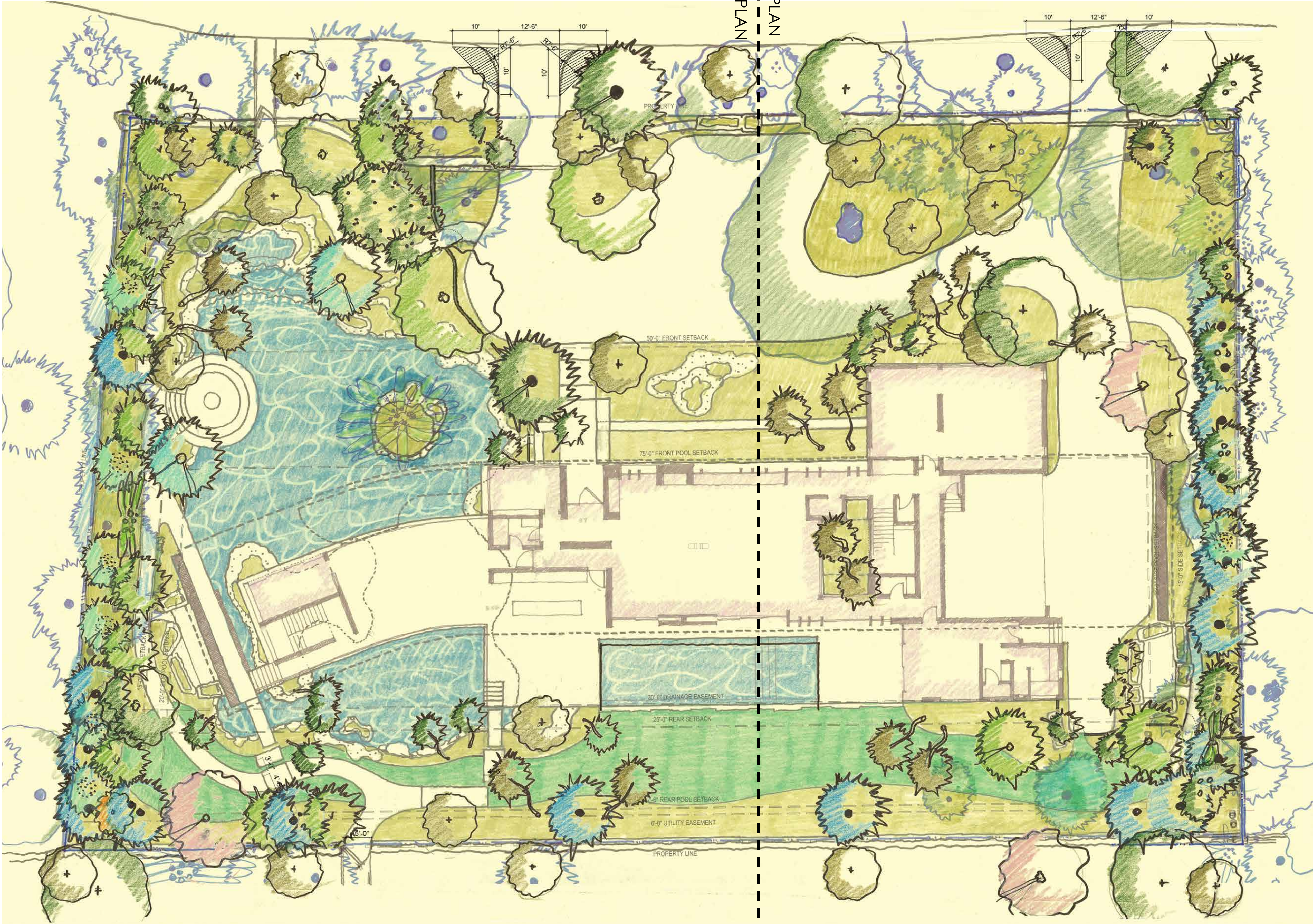
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Sheet Title:
OVERALL SITE PLAN -
EXISTING PLANTING

Sheet No:
L-5



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CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S):
AGAM AND JENNIFER JAIN

ARCHITECT:
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LICENSE # AR0017183
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MIAMI, FL 33133
STRUCTURAL ENGINEERING:
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MEP ENGINEERING:
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GENERAL CONTRACTOR:
MOCCA CONSTRUCTION
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MIAMI, FL
33146

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
2964 AVIATION AVENUE
MIAMI, FL
33133

PROJECT NAME:
JAIN RESIDENCE

PROFESSIONAL SEAL(S):

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04-09-21	BOA SET
No.	DATE DESCRIPTION

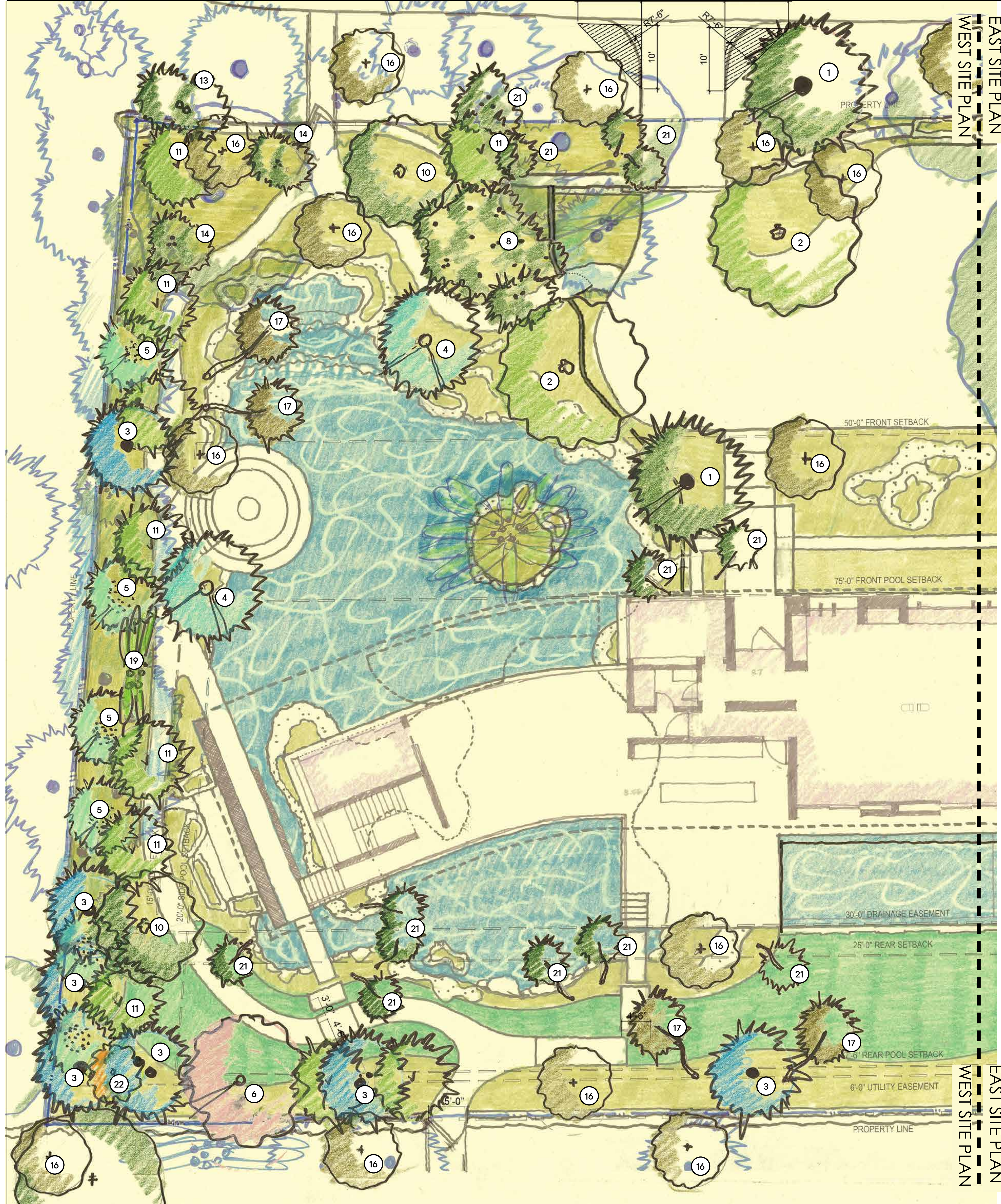
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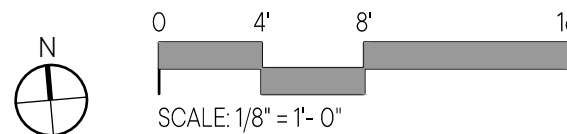
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Sheet Title:
OVERALL SITE PLAN -
PROPOSED PLANTING

Sheet No:
L-6



1. American Oil Palm
2. Bridal-veil Trees
3. Relocated Royal Palms
4. *Copernicia fallense*
5. Relocated Bamboo
6. *Cassia bakeriana*
7. Relocated Coconut Palms
8. Relocated Xmas Palms
9. Relocated Solitaire Palms
10. Relocated Mango Trees
11. Relocated *Veitchia* Palms
12. Relocated Xmas Palm from Right of Way
13. Relocated Chinese Fan Palms from Right of Way
14. Relocated Chinese Fan Palms
15. Misc. Native Canopy Trees
16. Misc. Native Understory Trees
17. Character Sabal Palms
18. Relocated Sabal Palms
19. Relocated Traveler's Tree
20. Relocated White Bird of Paradise
21. *Coccothrinax* and *Thrinax* Palms
22. Relocated Song Of India





LEGEND

1. American Oil Palm
2. Bridal-veil Trees
3. Relocated Royal Palms
4. Copernicia fallense
5. Relocated Bamboo
6. Cassia bakeriana
7. Relocated Coconut Palms
8. Relocated Xmas Palms
9. Relocated Solitaire Palms
10. Relocated Mango Trees
11. Relocated Veitchia Palms
12. Relocated Xmas Palm from Right of Way
13. Relocated Chinese Fan Palms from Right of Way
14. Relocated Chinese Fan Palms
15. Misc. Native Canopy Trees
16. Misc. Native Understory Trees
17. Character Sabal Palms
18. Relocated Sabal Palms
19. Relocated Traveler's Tree
20. Relocated White Bird of Paradise
21. Coccothrinax and Thrinax Palms
22. Relocated Song Of India

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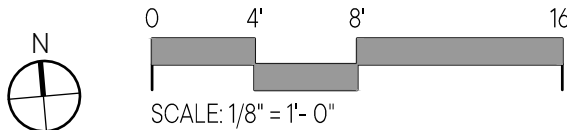
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Sheet Title:

EAST SITE PLAN -
PROPOSED PLANTING

Sheet No:

L-8



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Sheet Title:

PLANTING PLAN - PROPOSED & EXISTING

Sheet No:

L-9

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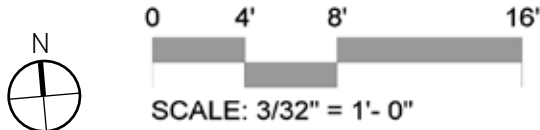
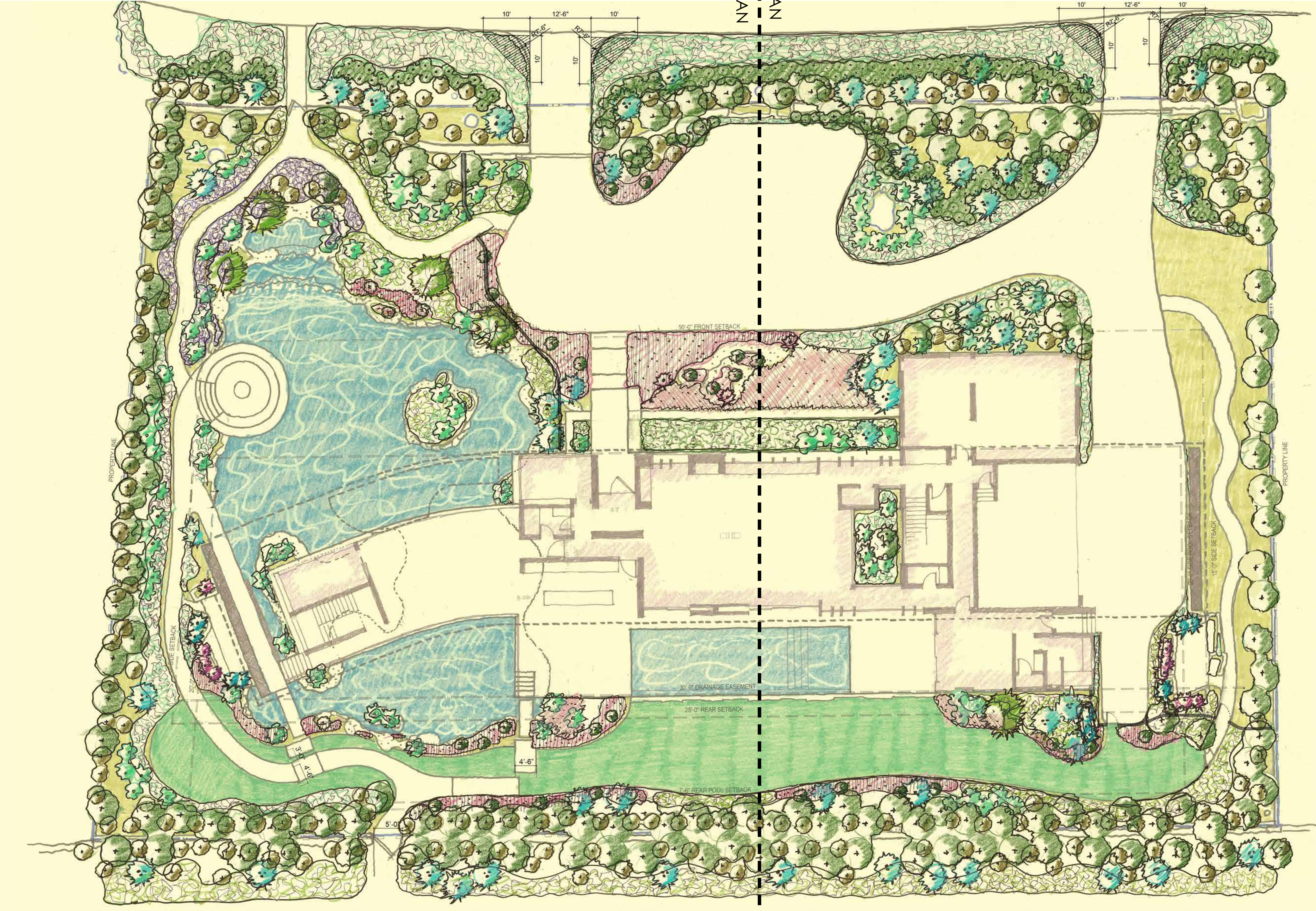
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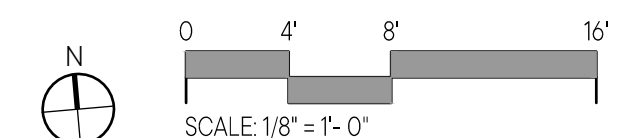
Sheet Title:

OVERALL SITE PLAN -
UNDERSTORY PLANTING

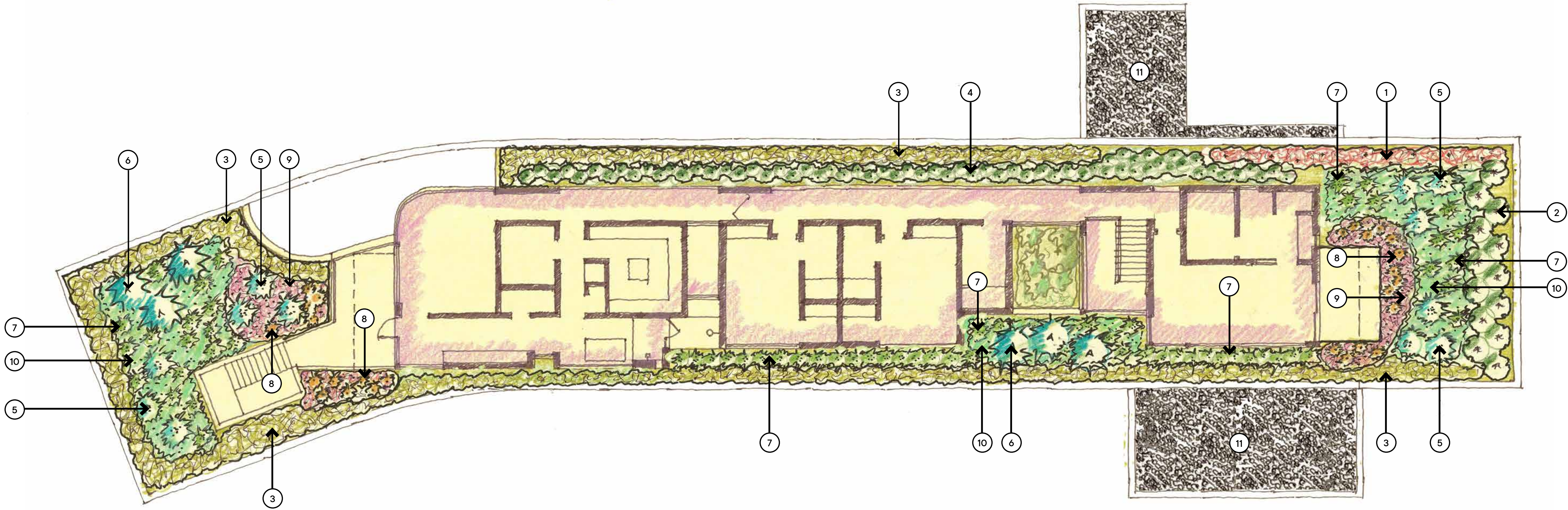
Sheet No:

L-10





L-11



LEGEND

1. Native Passion Vine and Clerodendron splendens
2. Monstera deliciosa
3. Golden Creeper
4. Philodendron Burle Marx
5. Fackahatchee Grass
6. Agave wercklei
7. Gamma Grass
8. Aloe vera
9. Sunshine Mimosa
10. Silver Love Grass
11. Mexican River Rock

Planting Area

Interior

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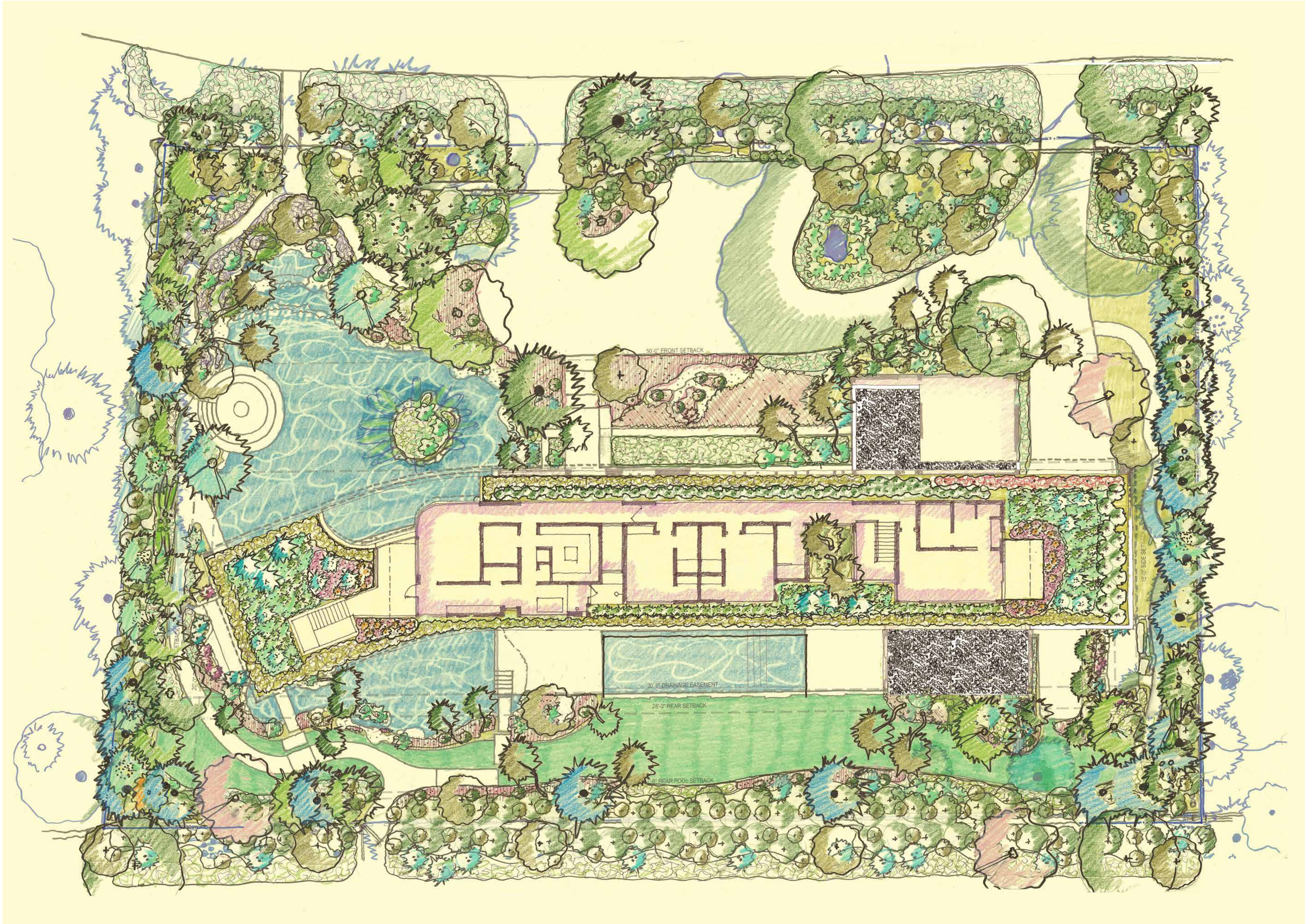
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Sheet Title:
**SECOND LEVEL -
PROPOSED PLANTING**

Sheet No:

L-13



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Sheet Title:
OVERALL SITE PLAN -
PROPOSED PLANTING

Sheet No:
L-14



SECOND LEVEL PLANTING CONCEPT

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PROJECT NAME:
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Sheet Title:
OVERALL TREE
DISPOSITION PLAN
& SCHEDULE

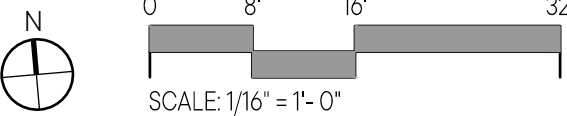
Sheet No:

L-16

5440 KERWOOD OAKS DRIVE, CORAL GABLES, FL 33156

EXISTING TREE SCHEDULE
Per Tree Arborist Report dated 12/17/20

Existing Trees and Palms								
Iden.	Symbol	Scientific Name	D.B.H. (inch)	O.A. Height (feet)	Canopy Diameter (feet)	T.P.Z.	CONDITION	REMARKS
#1	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#2	PCA	Phoenix canariensis	24	28	20	10' x 10'	Good	Remain
#3	RRE	Roystonea regia	18	36	20	10' x 10'	Good	Remain
#4	QVI	Quercus virginiana	18	22	18	10' x 10'	Good	Remain
#5	MOU	Melaleuca quinquenervia	18	30	26	N.A.	Good	Remove
#6	FAU	Ficus aurea	36	28	24	N.A.	Poor	Remove
#7	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#8	RRE	Roystonea regia	18	32	20	10' x 10'	Good	Relocate
#9	CNU	Cocos nucifera	12	18	18	10' x 10'	Good	Relocate
#10	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Relocate
#11	LCH	Livistonia chinensis	16	24	12	10' x 10'	Good	Relocate
#12	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#13	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#14	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#15	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#16	RMA	Ravenala madagascariensis	18	24	18	10' x 10'	Good	Remain
#17	CCI	Callistemon citrinus	36	28	24	10' x 10'	Good	Remove
#18	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Remove
#19	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Remove
#20	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#21	PSA	Pseudophoenix sargentii	18	26	20	10' x 10'	Good	Remove
#22	LLU	Ligustrum lucidum	18	26	20	10' x 10'	Good	Remove
#23	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remove
#24	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#25	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#26	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#27	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#28	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#29	CNU	Cocos nucifera	12	18	18	10' x 10'	Good	Relocate
#30	RRE	Roystonea regia	18	35	20	10' x 10'	Good	Relocate
#31	RRE	Roystonea regia	18	32	20	10' x 10'	Good	Relocate
#32	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#33	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#34	RRE	Roystonea regia	18	26	20	10' x 10'	Good	Relocate
#35	RRE	Roystonea regia	18	28	20	10' x 10'	Good	Relocate
#36	RRE	Roystonea regia	18	24	20	10' x 10'	Good	Relocate
#37	RMA	Ravenala madagascariensis	18	24	18	10' x 10'	Good	Relocate
#38	RRE	Roystonea regia	18	34	20	10' x 10'	Good	Remain
#39	RRE	Roystonea regia	18	36	20	10' x 10'	Good	Remain
#40	RRE	Roystonea regia	18	34	20	10' x 10'	Good	Remain
#41	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#42	LCH	Livistonia chinensis	16	18	12	10' x 10'	Good	NOT FOUND ON SITE
#43	LCH	Livistonia chinensis	16	22	12	10' x 10'	Good	Remain
#44	LCH	Livistonia chinensis	16	18	12	10' x 10'	Good	Remain
#45	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#46	TCA	Terminalia catappa	22	28	24	N.A.	Poor	Remove
#47	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#48	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#49	VAR	Veitchia arecina	18	26	20	10' x 10'	Good	Relocate
#50	CNU	Cocos nucifera	18	26	20	10' x 10'	Good	Relocate
#51	FAU	Ficus aurea	60	42	38	10' x 10'	Good	NOT FOUND ON SITE
#52	CNU	Cocos nucifera	12	18	10	10' x 10'	Good	NOT LABELLED ON SITE
#53	SPA	Sabal Palmetto	14	15	10	10' x 10'	Good	PLAN BY SURVEYOR / TREE
#54	CBR	Calophyllum brasiliense	8	22	12	10' x 10'	Good	Remain
#55	BNO	Bismarkia nobilis	8	15	10	10' x 10'	Good	Remain
#56	RRE	Roystonea regia	18	20	20	10' x 10'	Good	Remain
#57	LCH	Livistonia chinensis	16	24	12	10' x 10'	Good	Remain
#58	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Remain
#59	LCH	Livistonia chinensis	16	18	12	10' x 10'	Good	Relocate
#60	LCH	Livistonia chinensis	16	20	12	10' x 10'	Good	Relocate
#61	QVI	Quercus virginiana	28	35	30	10' x 10'	Good	Remain
#62	VAR	Veitchia arecina	8	26	20	10' x 10'	Good	Relocate
#63	VAR	Veitchia arecina	8	26	20	10' x 10'	Good	Remain
#64	VAR	Veitchia arecina	8	26	20	10' x 10'	Good	Relocate
#65	CNU	Cocos nucifera	12	22	18	10' x 10'	Good	Remain
#66	QVI	Quercus virginiana	18	26	20	10' x 10'	Good	TREE DEAD Relocate
#67	SAC	Schefflera actinophylla	36	26	24	N.A.	Poor	Remove
#68	RRE	Roystonea regia	18	28	20	10' x 10'	Good	Remain
#69	RRE	Roystonea regia	18	36	20	10' x 10'	Good	Remain
#70	RRE	Roystonea regia	18	34	20	10' x 10'	Good	Remain
#71	VAR	Veitchia arecina	8	26	20	10' x 10'	Good	Remain
#72	RRE	Roystonea regia	18	34	20	10' x 10'	Good	Remain
#73	BNO	Bismarkia nobilis	8	10	10	10' x 10'	Good	Remain
#74	RRE	Roystonea regia	18	22	20	N.A.	Poor	Remove
#75	RRE	Roystonea regia	18	24	20	N.A.	Poor	Remove
#76	RRE	Roystonea regia	18	24	20	N.A.	Poor	TREE DEAD
#77	PAM	Persea americana	20	22	20	10' x 10'	Good	Relocate
#78	PAM	Persea americana	18	20	15	10' x 10'	Good	Relocate
#79	RRE	Roystonea regia	18	15	15	10' x 10'	Good	Remove
#80	RRE	Roystonea regia	18	15	15	10' x 10'	Good	Relocate
#81	RRE	Roystonea regia	18	15	15	10' x 10'	Good	Relocate
#82	RRE	Roystonea regia	18	12	15	10' x 10'	Good	Relocate
#83	RRE	Roystonea regia	18	26	15	10' x 10'	Good	Relocate



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ARCHITECT:
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MIAMI, FL 33133

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MOCCA CONSTRUCTION
3080 SW 38TH CT.
MIAMI, FL
33146

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
2964 AVIATION AVENUE
MIAMI, FL
33133

PROJECT NAME:
MAIN RESIDENCE

PROFESSIONAL SEAL(S):

	07-30-21	PRELIM ZONING
	04-09-21	BOA SET
	DATE	DESCRIPTION

SHEET ISSUE / REVISION LOG

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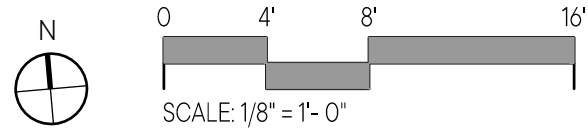
Project ID: AIN RES	Drawn By: RR
Print Date: 7.29.2021	Scale: AS NOTED

Sheet Title:

DETAILED TREE
DISPOSITION PLAN
- WEST

Sheet No:

L-17



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COCONUT GROVE, FLORIDA 33133
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PROJECT CLIENT(S) / OWNER(S):
AGAM AND JENNIFER JAIN

EP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
RAYMOND JUNGLES INC.
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PROFESSIONAL SEAL(S):

A	07-30-21	PRELIM ZONING
C.	04-09-21	BOA SET
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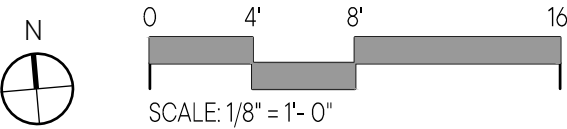
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Project ID: MAIN RES	Drawn By: RR
Print Date: 07.29.2021	Scale: AS NOTED

Sheet No:

L-18



Narrative of Revisions

PROJECT: 5440 KERWOOD OAKS DR.

Prepared for: Agam Jaim

Date: 07/30/2021

Purpose: BOA SUBMITTAL

Note:

The revised drawings are in response to comments received from the City of Coral Gables. The responses below reflect revisions or clarifications in response to the comments received on May, 19, 2021.

All changes described below are based upon design drawings prepared by Raymond Jungles, Inc. The revisions have been noted as REV-1 on amended drawings.

Comment	Comment
#1	PLANS THAT SHOW A POOL MUST SHOW A ZONING CODE APPROVED POOL WITH FOUR (4) FEET HIGH WITH FENCES AND ALL GATES TO BE MECHANICALLY SELF-CLOSING AND SELF-LOCKING AS PART OF PERMIT. SEE ZONING CODE, SECTION 5-108 SWIMMING POOL AND DIVISION 24 FOR WALL AND FENCES REGULATIONS. HEIGHT OF WALLS AND FENCES ALLOWED FOR THIS AREA IS 6 FEET.
Response / Revision Narrative	
Four (4) 48" High mechanically self-closing, self-latching, and self-locking gates were added to the site plans. Please refer to sheets L-3 and L-4.	
Comment	Comment
#2	PER ZONING CODE WALKWAYS SHALL BE PERMITTED IN THE REQUIRED SETBACK AREA NOT EXCEEDING FIVE (5) FEET IN WIDTH. SEE ARTICLE 5, SECTION 5-118 PAVERS AND WALKWAYS.
Response / Revision Narrative	
The paths in the setbacks were modified to not exceed 5' in width. Please refer to sheet L-3.	
Comment	Comment
#3	PROVIDE A SECTION DETAIL FOR PROPOSED GATES. SOLID GATES SHALL BE REVIEWED AND APPROVED BY THE BOARD OF ARCHITECTS. SEE ZONING CODE, SECTION 5-2401 MATERIALS AND SPECIFICATIONS
Response / Revision Narrative	
Please refer to sheet L-4 for a reference image illustrating the design intent for the vehicular & pedestrian gates.	
Comment	Comment
#4	AS PER SECTION 4-101, #13, DRIVEWAYS AND ASSOCIATED CURB-CUTS SHALL NOT EXCEED ELEVEN (11) FEET IN WIDTH WITHIN THE PUBLIC RIGHT-OF-WAY. A MAXIMUM INCREASE SIZE OF EIGHTEEN (18) FEET WILL BE ALLOWED WITH BOARD OF ARCHITECTS APPROVAL INDICATE DRIVEWAY WIDTH. Driveways and associated curb-cuts shall only be permitted when providing access to a garage, carport or porte-cochere. Building sites less than one hundred (100) feet of street frontage shall be limited to one (1) curb-cut. To accommodate street trees and minimal sidewalk disruption, driveways and curb-cuts shall not exceed eleven (11) feet in width within the public right-of-way. Where an alley or side street is present, curb-cuts or driveways with access provided from the front property line shall be reviewed by the Board of Architects. NOTE: DRIVEWAY AS PROPOSED CREATES EXTRA PARKING SPACE AREAS. CLARIFY GUEST PARKING AND GUEST HOUSE PARKING AREA.
Response / Revision Narrative	
Driveways are consistent at 12'-6" width in the public R.O.W. A note was added to clarify guest parking area. Please refer to sheets L-3 and L-4.	
Comment	Comment
#5	PROVIDE THE TRIANGLE OF VISIBILITY FOR THE DRIVEWAY. IF THERE IS NO SIDEWALK LOCATED BETWEEN THE PROPERTY LINE AND THE STREET, THEN THE LEGS OF THE TRIANGLE OF VISIBILITY SHALL BE TEN (10) FEET LONG; AND MEET AT THE POINT OF INTERSECTION OF A LINE THAT EXTENDS FROM THE EDGE OF THE DRIVEWAY AND A LINE THAT EXTENDS FROM THE EDGE OF

	PAVEMENT OF THE ABUTTING STREET (FLARE OUTS ARE INCLUDED WITHIN THE TRIANGLE OF VISIBILITY). SEE ZONING CODE, ARTICLE 5, SECTION 5-1406 VISIBILITY TRIANGLES.
Response / Revision Narrative	
Visibility triangles were added to the Site Plan. Please refer to sheet L-2.	
Comment	Comment
#6	PROVIDE AREA AND DEPTH OF PROPOSED WATER FEATURES. IF PROPOSED WATER FEATURES AREA IS MORE THAN TWO HUNDRED FIFTY (250) SQUARE FEET AND A DEPTH OF MORE THAN 18 INCHES IT HAS TO COMPLY WITH POOL ENCLOSURE REQUIREMENTS. SEE ZONING CODE, DEFINITIONS FOR SWIMMING POOL.
Response / Revision Narrative	
The pond feature is deeper than 18". The pond feature does comply with pool enclosure requirements. Please refer to sheets L-3 and L-4.	
Comment	Comment
#7	ARCHITECTURAL MODIFICATIONS
Response / Revision Narrative	
As per the latest architecture, the path through the breezeway has been added to the Site Plan.	
Comment	Comment
#8	CIVIL ENGINEER PROPOSAL
Response / Revision Narrative	
There is a future Septic Tank proposed along the east part of the site. The Septic Tank location influenced the change of the driveway layout. Canopy planting required the removal of a proposed Sabal Palm. Understory planting required the removal of certain groundcovers and shrubs as well.	