

#### PROPERTY ADDRESS: 5440 Kerwood Oaks Drive

Coral Gables, Florida 33156-2143

LEGAL DESCRIPTION: Lot 4, Block 1, of "KERRWOOD OAKS ", according to the Plat thereof, as recorded in Plat Book 78, at Page 16, of the Public Records of Miami-Dade County, Florida.

FOLIO NUMBER: 03 5106 017 0040 (Miami-Dade County Public Records/Property Appraiser's Office)

SURVEYOR'S NOTES: All distances as shown hereon are based on the US Survey foot.

Bearings are based/referred to an assumed meridian where the centerline of Kerrwood Oaks Drive bears EAST as shown on the recorded in Plat Book 78, at Page 16, of the Public Records of Miami-Dade County, Florida.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120639 (City of Coral Gables) 12086 C, 0466 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the described parcel land to be situated within the Special Flood Hazard Area designated by the Federal Emergency Management Agency (FEMA) Subject property lies within Flood Hazard Zone "AH", Base Flood Elevation 7 feet. The Base Flood Elevation "AH" 7' refers to the NGVD (1929) Datum.

All elevations as shown on this survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

DADE COUNTY BENCHMARK REFERENCES:

BM FRAZIER RM #1 - EXISTING BM Name: FRAZIER RM #1 Elevation (NGVD 1929): 8.96 feet

Location 1: SW 88 ST ----Location 2: SW 57 AVE --- 40' WEST OF C/L

Location 3: SNAPPER CREEK CANAL --- 25' NORTH OF NORTH TOP OF BANK Description 1: US C & G BRASS DISC IN CONC BASE OF A TRAFFIC LIGHT POLE.

BM SC-38-A - EXISTING BM Name: SC-38-A

Elevation (NGVD 1929): 10.52 feet

The floor and garage elevations as shown on this survey drawing were taken from the outside of the house only. No access was available to the surveyor to the inside of the house at the time of survey. There may be different levels of elevation inside the house not known to the surveyor.

Only the visible above ground surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. Underground utility references (if any) is based on limited information provided by the utility company or construction as-builts provided to the surveyor. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

0.30' to 0.50' of a foot more or less.

shrubs.

The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within 1 to 2 feet more or less due to the extreme and overgrown vegetation of the site where almost all the trees as shown are surrounded by vines and

The subject property has heavily overgrown vegetation along all boundary lines.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/ Property Appraiser Office and no claims as to ownership are made or implied.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations. Distances from property lines to fences or walls may slightly varies due to their irregularity, width and composition. Fences or walls not always travel on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines, therefore the resultant of said dimensions as shown hereon may vary slightly within

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall

control the location of the improvements over scaled positions. The dimensions and directions shown hereon are in substantial agreement with the legal description and calculated values unless otherwise noted.

Obstructed property corners are witnessed by improvements.

There is no visible evidence of any kind of any earth moving or building construction within recent months. Nor is there any observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.

There is no observable evidence of recent street or sidewalk construction and or repairs within the Public Right of Way.

It is unknown to the surveyor of any changes in street right of way lines or additional dedication for road purposes.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions could be found in the Public Records or Building and Zoning Department of Miami-Dade County, Florida and the City of Coral Gables.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

contents for validity.

Adjacent properties were not investigated at the time of this Survey.

Call 811 or visit www.sunshine811.com before digging.

digital format. This map is intended to be displayed at a scale of 1" = 20'.

CERTIFIED TO: Agam Jain and Jennifer Jain

Herskowitz Shapiro PLLC Old Republic National Title Insurance Company

	TREE T			
SCIENTIFIC NAME	COMMON NAME			
1. Livistonia chinesis	CHINESE FAN PALM TREE	16"	12'	20'
2. Phoenix canariensis	CANARY DATE PALM	24"	20'	28'
3.Roystonea regia	ROYAL PALM TREE	18"	20'	36'
1.Querus virginiana	LIVE OAK TREE	18"	18'	22'
5.Melaleuca quinquenervia	PAPERBARK TREE	18"	26'	30'
5.Ficus aurea	STRANGLER FIG	36"	24'	28'
7.Roystonea regia	ROYAL PALM TREE	18"	20'	26'
3.Roystonea regia	ROYAL PALM TREE	18"	20'	32'
).Coco nucifera	COCONUT PALM	12"	18'	18'
LO.Livistonia chinesis	CHINESE FAN PALM TREE	16"	12'	20'
L1.Livistonia chinesis	CHINESE FAN PALM TREE	16"	12'	24'
12.Livistonia chinesis	CHINESE FAN PALM TREE	16"	12'	20'
L3.Livistonia chinesis	CHINESE FAN PALM TREE 16"	16"	12	20'
	ROYAL PALM TREE	18	20'	20
4.Roystonea regia				
5.Roystonea regia		18"	20'	26'
6.Ravenala madagascariens		(Multi) 18"	18'	24'
7.Callistemon citrinus	BOTTLE BRUSH TREE	36"	24'	28'
8.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
.9.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
0.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
1.Pseudophoenix sargentii	BUCCANEER PALM	18"	20'	26'
2.Ligustrum lucidum	LIGUSTRUM TREE	18"	20'	26'
3.Livistonia chinesis	CHINESE FAN PALM	16"	12'	20'
4.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
5.Veitchia arecina	MONTGOMERY PALM	18	20'	26
6.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
7.Veitchia arecina	MONTGOMERY PALM+A1B13:G30	18"	20'	26'
8.Roystonea regia	ROYAL PALM TREE	18"	20'	26'
9.Coco nucifera	COCONUT PALM	12"	18'	18'
0.Roystonea regia	ROYAL PALM TREE	18"	20'	35'
1.Roystonea regia	ROYAL PALM TREE	18"	20'	32'
2.Roystonea regia	ROYAL PALM TREE	18"	20'	26'
3.Roystonea regia	ROYAL PALM TREE	18"	20'	26'
· ·		18"	20'	26'
4.Roystonea regia				
5.Roystonea regia		18"	20'	28'
6.Roystonea regia	ROYAL PALM TREE	18"	20"	24'
37.Ravenala madagascariens	TRAVELLERS PALM	(multi) 18"	18'	24'
38.Roystonea regia	ROYAL PALM TREE	18"	20'	34'
39.Roystonea regia	ROYAL PALM TREE	18"	20'	36'
10. Roystonea regia	ROYAL PALM TREE	18"	20'	34'
11.Livistonia chinesis	CHINESE FAN PALM	16"	12'	20'
2.Livistonia chinesis	CHINESE FAN PALM	16"	12'	18'
13.Livistonia chinesis	CHINESE FAN PALM	16"	12'	22'
4.Livistonia chinesis	CHINESE FAN PALM	16"	12'	18"
15.Livistonia chinesis	CHINESE FAN PALM	16"	12'	20'
6.Terminalia catappa	ALMOND TREE	22"	24'	28'
17.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
8.Veitchia arecina	MONTGOMERY PALM	18"	20'	26'
l9.Veitchia arecina	MONTGOMERY PALM	18'	20'	26'
60.Coco nucifera	COCONUT PALM	18"	20'	26'
51.Ficus aurea	STRANGLER FIG TREE	60"	38'	42'
52.Coco nucifera	COCONUT PALM	12"	10'	18'
53.Sabal palmetto	CABBAGE PALM	14"	10'	15'
54.Calphyllum brasiliene	BRAZIL BEAUTY LEAF	8"	10	22'
• •		8" 8"		
5.Bismarkia noblilis			10'	15'
6.Roystonea regia		18"	20'	20'
7.Livistonia chinesis	CHINESE FAN PALM	16"	12'	24'
8.Livistonia chinesis	CHINESE FAN PALM	16"	12'	20'
9.Livistonia chinesis	CHINESE FAN PALM	16"	12'	18'
0.Livistonia chinesis	CHINESE FAN PALM	16"	12'	20'
1.Quecus virginiana	OAK TREE	28"	30'	35'
2.Veitchia arecina	MONTGOMERY PALM	8"	20'	26'
3.Veitchia arecina	MONTGOMERY PALM	8"	20'	26'
64.Veitchia arecina		8"	20	26
5.Coco nucifera		12"	18'	22'
6.Quercus virginiana	OAKTREE	18"	20'	26'
7.Shefflera actinophylla	UMBRELLA TREE	36"	24'	26'
8.Roystonea regia	ROYAL PALM TREE	18"	20'	28'
9.Roystonea regia	ROYAL PALM TREE	18"	20'	36'
0.Roystonea regia	ROYAL PALM TREE	18"	20'	34'
0.NUystullea legia	MONTGOMERY PALM	8"	20'	26'
	· · · · · · · · · · · · · · · · · · ·	18"	20'	34'
1.Veitchia arecina	ROYAL PAI M TRFF		20	10'
1.Veitchia arecina 2.Roystonea regia	ROYAL PALM TREE	Q''	10'	
1.Veitchia arecina 2.Roystonea regia 3.Bismarkia noblilis	BISMARK PALM	8"	10'	
1.Veitchia arecina 2.Roystonea regia 3.Bismarkia noblilis 4.Roystonea regia	BISMARK PALM ROYAL PALM TREE	18"	20'	22'
<ol> <li>Veitchia arecina</li> <li>Roystonea regia</li> <li>Bismarkia noblilis</li> <li>Roystonea regia</li> <li>Roystonea regia</li> </ol>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE	18" 18"	20' 20'	22' 24'
21.Veitchia arecina 2.Roystonea regia 3.Bismarkia noblilis 4.Roystonea regia 5.Roystonea regia	BISMARK PALM ROYAL PALM TREE	18" 18" 18"	20'	22'
<ol> <li>Veitchia arecina</li> <li>Roystonea regia</li> <li>Bismarkia noblilis</li> <li>Roystonea regia</li> <li>Roystonea regia</li> <li>Roystonea regia</li> <li>Roystonea regia</li> </ol>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE	18" 18"	20' 20'	22' 24'
<ul> <li>71. Veitchia arecina</li> <li>72. Roystonea regia</li> <li>73. Bismarkia noblilis</li> <li>74. Roystonea regia</li> <li>75. Roystonea regia</li> <li>76. Roystonea regia</li> <li>77. Persea americana</li> </ul>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE ROYAL PALM TREE	18" 18" 18"	20' 20' 20'	22' 24' 24'
<ul> <li>71.Veitchia arecina</li> <li>72.Roystonea regia</li> <li>73.Bismarkia noblilis</li> <li>74.Roystonea regia</li> <li>75.Roystonea regia</li> <li>76.Roystonea regia</li> <li>77.Persea americana</li> <li>78.Persea americana</li> </ul>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE ROYAL PALM TREE AVOCADO TREE AVOCADO TREE	18" 18" 18" 20" 18"	20' 20' 20' 20' 15'	22' 24' 24' 22' 20'
<ul> <li>'1.Veitchia arecina</li> <li>'2.Roystonea regia</li> <li>'3.Bismarkia noblilis</li> <li>'4.Roystonea regia</li> <li>'5.Roystonea regia</li> <li>'6.Roystonea regia</li> <li>'7.Persea americana</li> <li>'8.Persea americana</li> <li>'9.Roystonea regia</li> </ul>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE ROYAL PALM TREE AVOCADO TREE AVOCADO TREE ROYAL PALM TREE	18" 18" 18" 20" 18" 18"	20' 20' 20' 20' 15' 15'	22' 24' 24' 22' 20' 15'
<ul> <li>71.Veitchia arecina</li> <li>72.Roystonea regia</li> <li>73.Bismarkia noblilis</li> <li>74.Roystonea regia</li> <li>75.Roystonea regia</li> <li>76.Roystonea regia</li> <li>77.Persea americana</li> <li>78.Persea americana</li> <li>79.Roystonea regia</li> <li>80.Roystonea regia</li> </ul>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE ROYAL PALM TREE AVOCADO TREE AVOCADO TREE ROYAL PALM TREE ROYAL PALM TREE	18" 18" 18" 20" 18" 18" 18"	20' 20' 20' 20' 15' 15' 15'	22' 24' 24' 22' 20' 15' 15'
<ul> <li>'1.Veitchia arecina</li> <li>'2.Roystonea regia</li> <li>'3.Bismarkia noblilis</li> <li>'4.Roystonea regia</li> <li>'5.Roystonea regia</li> <li>'6.Roystonea regia</li> <li>'7.Persea americana</li> <li>'8.Persea americana</li> <li>'9.Roystonea regia</li> </ul>	BISMARK PALM ROYAL PALM TREE ROYAL PALM TREE ROYAL PALM TREE AVOCADO TREE AVOCADO TREE ROYAL PALM TREE	18" 18" 18" 20" 18" 18"	20' 20' 20' 20' 15' 15'	22' 24' 24' 22' 20' 15'

The Tree Table as shown hereon was prepared by certified Arborist Patrick Hannah, I.S.A. C. A. FL-6275 A NOTES:

- Trees as shown hereon were numbered by the arborist on the field drawing page prepared by him.

- Tree No. 50 is shown twice on the arborist's field drawing page. - Tree No. 52 and Tree No. 53 are not shown on the arborist's field drawing page but are noted on the Tree Table/ Matrix

prepared by him.

The scope of this survey is to define the boundary lines as defined by the deed and referenced plats, and show all the visible above ground improvements.

No underground footings were located and no subsurface investigation was performed at the time of survey.

This survey is intended for the use of the parties to whom this survey is certified to and for. Any reproduction is not an original. This surveyor retains an original to verify these dated

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(3)(b)15.b.ii of 1 foot in 10,000 feet for Commercial / High Risk Areas.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or

LAST REVISION 04/05/2021 JN 20-5557-A

JORGE L. CABRERA Professional Surveyor & Mapper, # 6487



		State of Florida	PLS/PSM License No: 6487	2852 S.W. 149th Place, Miami, Florida 33185	Phone: (305) 302-2522 Fax: (305) 207-9537
Job No. Description	20-5557-A REVISED TO UPDATE ADD TREES	REVISED INTERIOR HOUSE ELEVATIONS			
Job No.	20-5557-A	20-5557-A			

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State of Florida This drawing is the property of Jorge L. Cabrera Professional Surveyor & Mapper Reproductions of this drawing are not valid unless Signed and embossed with the surveyor's



## JAIN RESIDENCE

5440 KERWOOD OAKS DRIVE | CORAL GABLES, FLORIDA, 33156 FOLIO: 03-5106-017-0040



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A	-903	PERSPECTIVES
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( <u>A</u>	-905	PERSPECTIVES
A	-906	PERSPECTIVES
A	-907	PERSPECTIVES
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# [STRANG]

2900 SW 28th Terr, SUITE 301 MIAMI, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, STE 1400 CORAL GABLES FL 33134

MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106 DAVIE, FL 33328

CIVIL ENGINEERING: ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

$\Lambda$	07-30-21	PRELIM ZONING
	04-12-21	BOA SET
No.	DATE	DESCRIPTION
		E / REVISION LOG

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KM / MA Scale: AS NOTED

JAIN RES Print Date: 07.30.2021

Sheet Title:



A-000



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Project ID: JAIN RES Print Date: 07.30.2021

Drawn By: KM / MA Scale: AS NOTED

Sheet Title:

SCALE: N.T.S.



A-001



SCALE: N.T.S.



# [STRANG]

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PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

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MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106 DAVIE, FL 33328

CIVIL ENGINEERING: ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

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$\underline{1}$	07-30-21	PRELIM ZONING		
	04-12-21	BOA SET		
No.	DATE	DESCRIPTION		
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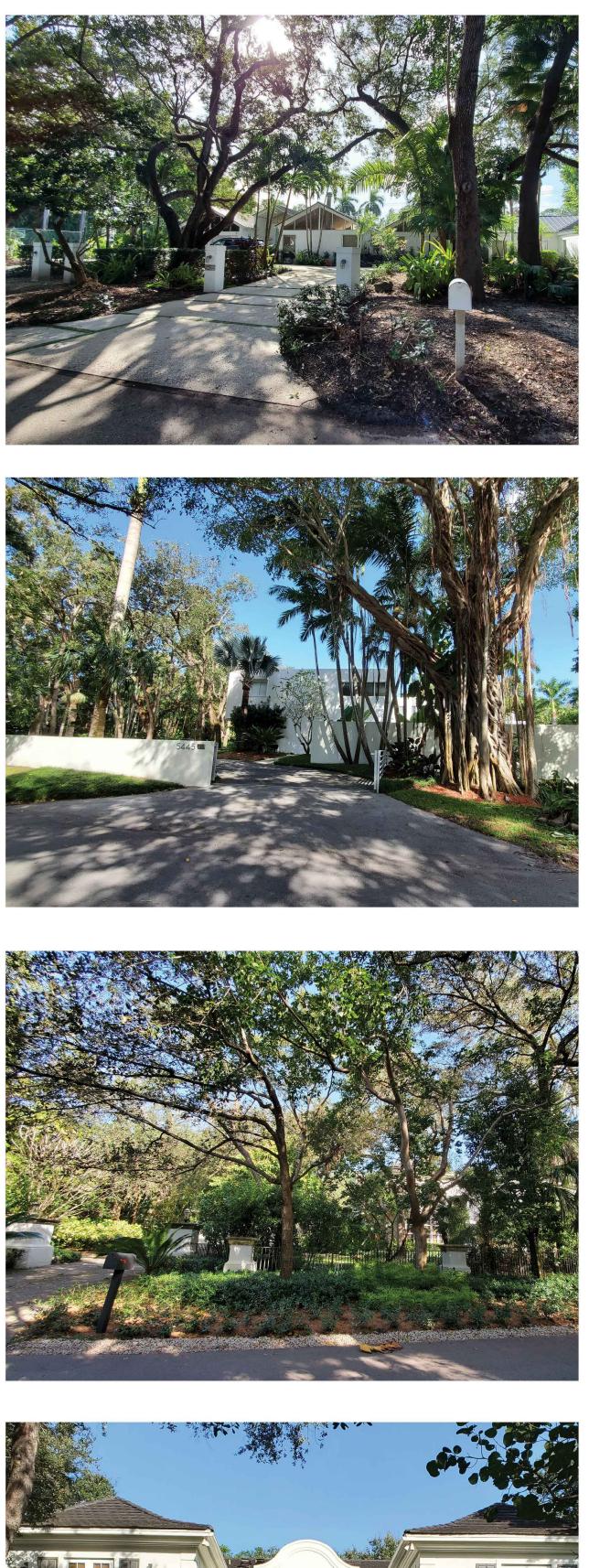
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Sheet Title:



A-002





B

Images taken November 19, 2020 by MSA











CONTEXT PHOTOS KEY



# SURROUNDING CONTEXT



Sheet No:



A-003

Sheet Title:

Project ID: JAIN RES Print Date: 07.30.2021 Drawn By: KM / MA Scale: AS NOTED

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PROJECT NAME: JAIN RESIDENCE				
PROFESSIONAL SEAL(S):				
		1		
	07.00.04			
	07-30-21 04-12-21	PRELIM ZONING BOA SET		

# [STRANG]

2900 SW 28th Terr, SUITE 301 MIAMI, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

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PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301

MIAMI, FL 33133

STRUCTURAL ENGINEERING: KIMLEY-HORN AND ASSOCIATES, INC.

355 ALHAMBRA CIRCLE, STE 1400 CORAL GABLES FL 33134

MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106

DAVIE, FL 33328 CIVIL ENGINEERING:

ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT.

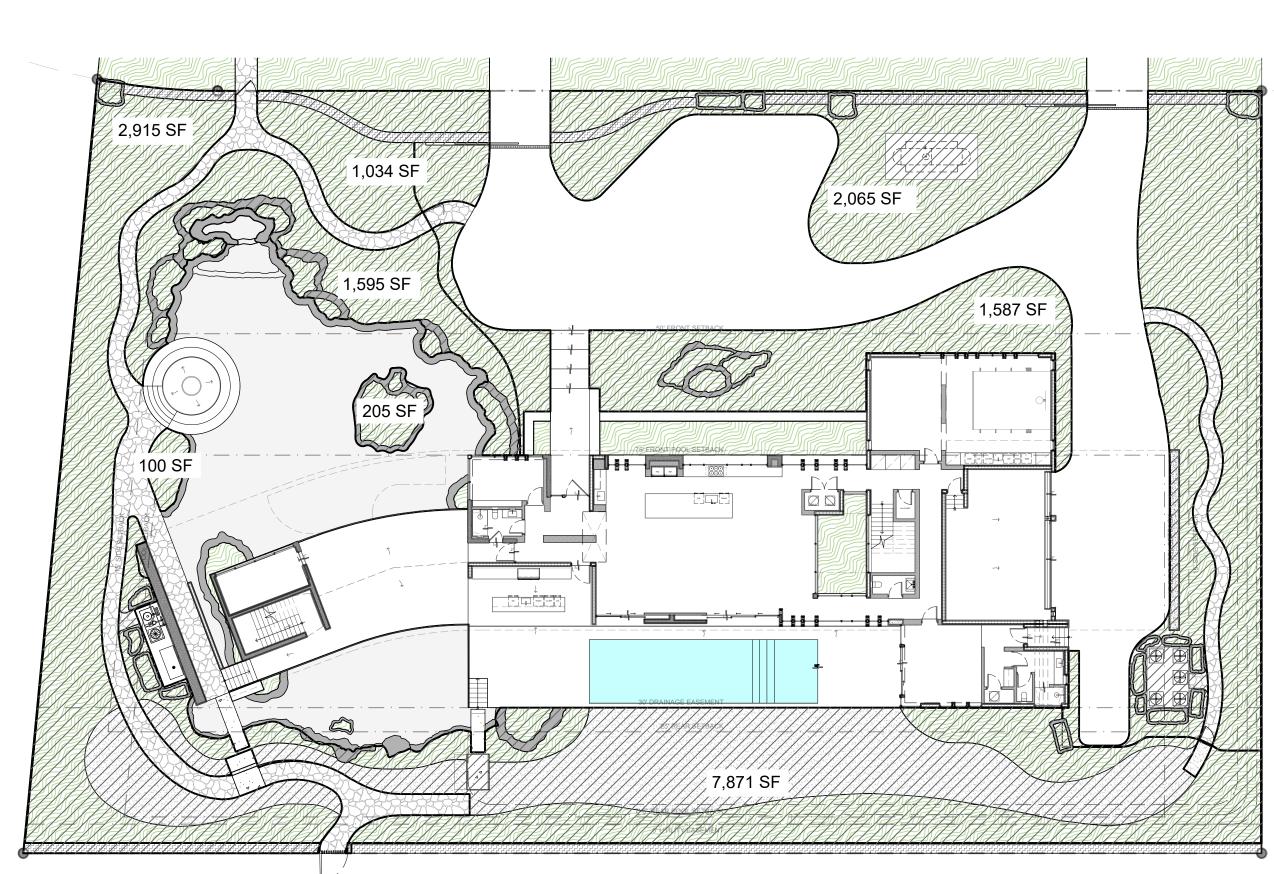
MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE

MIAMI, FL 33133

ZONING DATA				
ADDRESS	5440 KERWOOD OA	KS DRIVE, CORAL GABLES,	FL 33156	
FOLIO NUMBER	03 5106 017 0040	03 5106 017 0040		
LEGAL	KERWOOD OAKS, PB LOT SIZE IRREGULAR, OR 19763-2513 07/20	F/A/U 30-5106-017-0040		
SCOPE OF WORK	NEW 2 STORY SINGLE FAMILY RESIDENCE WITH COVERED TERRACE AND POOL			
ZONING	SFR - SINGLE FAMILY RESIDENTIAL DISTRICT			
FLOOD ZONE	AH / ELEVATION: 7'			
CODES	CITY OF CORAL GABLES ZONING CODE FLORIDA BUILDING CODE			
		REQUIRED	PROPOSED	
BUILDING HEIGHT:		2 STORIES OR 25'**	28'-8"	
SETBACKS:				
FRONT FIRST LEVEL:		50'	56'	
FRONT SECOND LEVE	iL:	N/A	56'	
SIDE 1:		15'	15'-5"	
SIDE 2:		15'	16'	
REAR:		25'	30'	

A. THE RESIDENCE HAS A FLAT ROOF WITH A PARAPET AND WITH A PITCHED ROOF AREA THAT IS LESSER IN SIZE AND PROPORTION TO THE FLAT ROOF AREA. FLOOD HAZARD DISTRICTS WITH A MAXIMUM HEIGHT OF THIRTY NINE (39) FEET ABOVE ESTABLISHED GRADE, THE ROOF DECK OF THE FLAT ROOF WITH A MAXIMUM THIRTY (30) INCH HIGH PARAPET SHALL NOT EXCEED THIRTY FOUR (34) FEET ABOVE ESTABLISHED GRADE AND THE TOP OF THE PARAPET SHALL NOT EXCEED THIRTY SIX (36) FEET AND SIX (6) INCHES ABOVE ESTABLISHED GRADE. THE ROOF SHALL BE PITCHED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE.



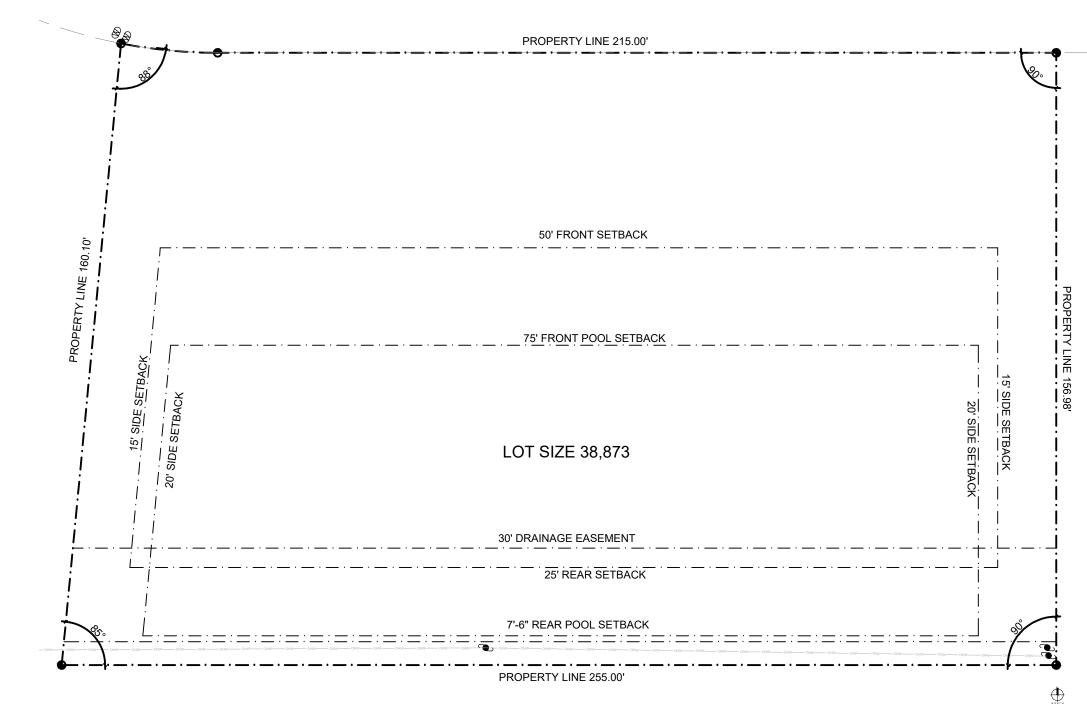
40% MINIMUM LANDSCAPE REQUIREMENT

38,873 X 40% = 15,549.2 SF MINIMUM REQUIRED

### ROPOSED

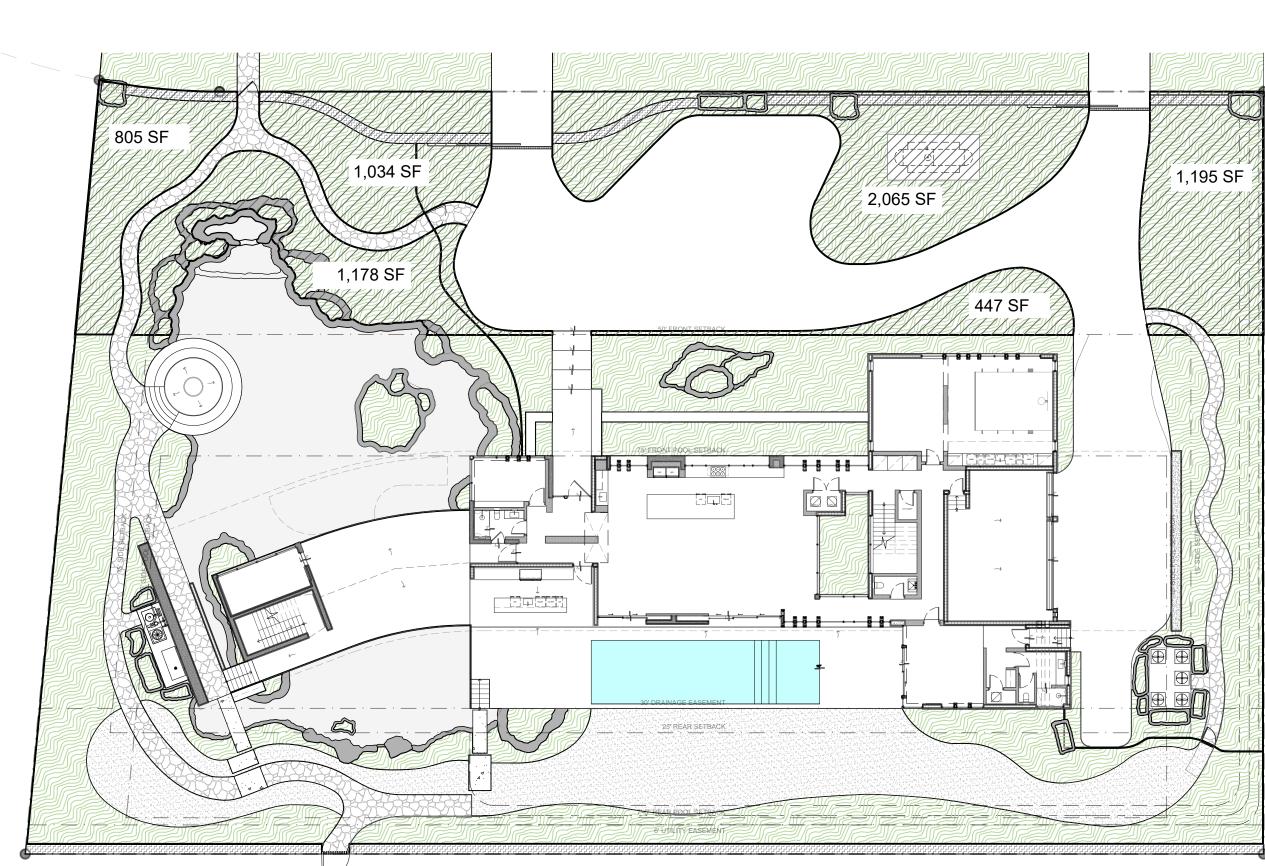
GREEN AREA PROPOSED
2,915
1,034
1,595
2,065
100
1,587
7,871
+ 205
17,372 PROPOSED (44.69%)

## 2 40% LANDSCAPE MINIMUM N.T.S.



1 LOT SIZE N.T.S.

### LOT SIZE : 38,873



3 20% FRONT YARD LANDSCAPE MINIMUM

	[STRANG]
	2900 SW 28th Terr, SUITE 301 MIAMI, FLORIDA 33133 PH: 305-373-4990   FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM
	PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156
	PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN
	ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133 STRUCTURAL ENGINEERING: KIMLEY-HORN AND ASSOCIATES, INC.
	355 ALHAMBRA CIRCLE, STE 1400 CORAL GABLES FL 33134 MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106
	CIVIL ENGINEERING: ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111
	DAVIE, FL 33328 GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL
	33146 LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133
	PROJECT NAME: JAIN RESIDENCE
	PROFESSIONAL SEAL(S):
1,195 SF	
	Image: Addition of the second secon
	SHEET ISSUE / REVISION LOG
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	Project ID:Drawn By:JAIN RESKM / MAPrint Date:Scale:07.30.2021AS NOTED
IREMENT	Sheet Title: ZONING
	CALCULATIONS
	Sheet No:
	A-004

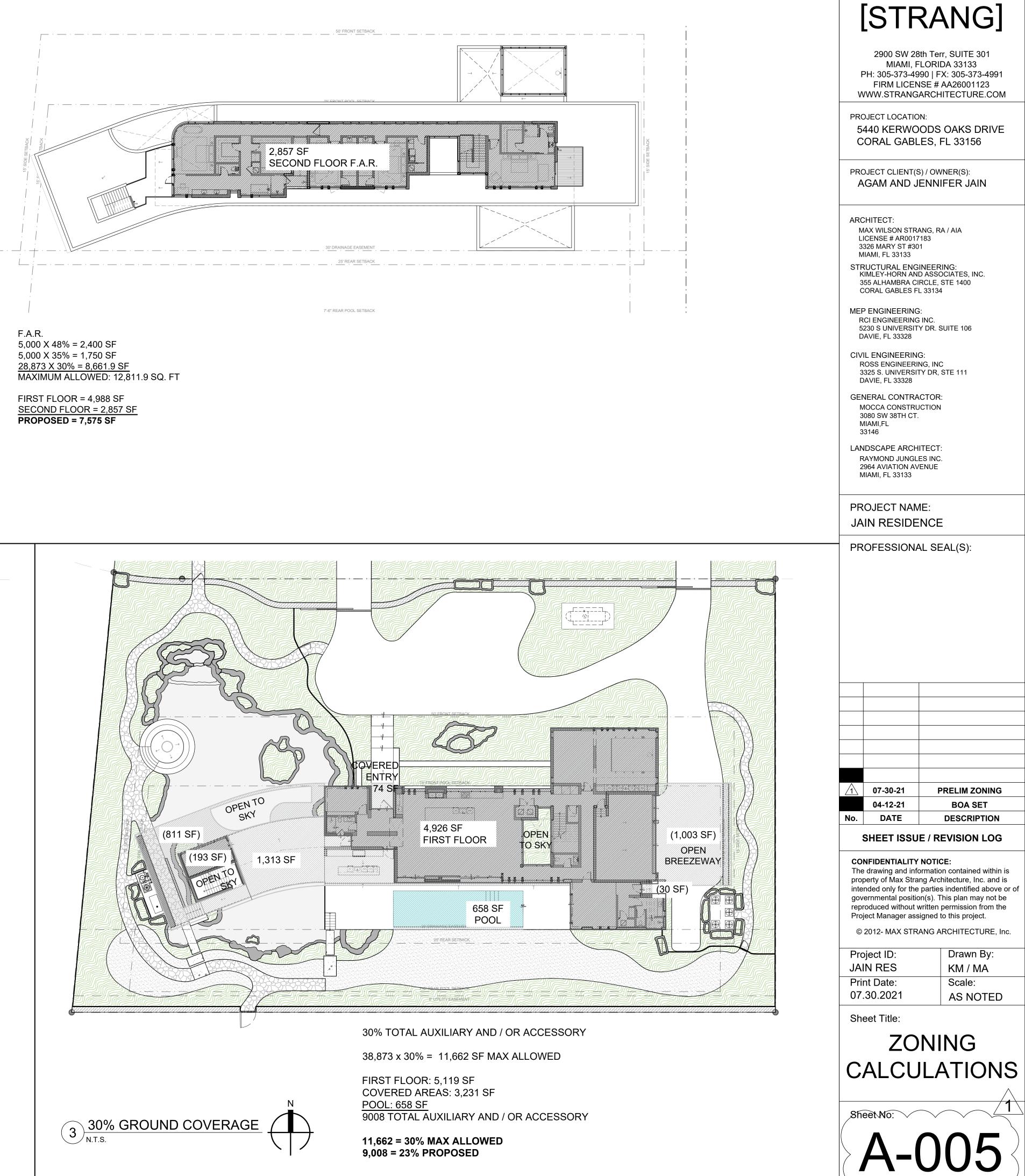
#### 20% MINIMUM LANDSCAPE REQUI

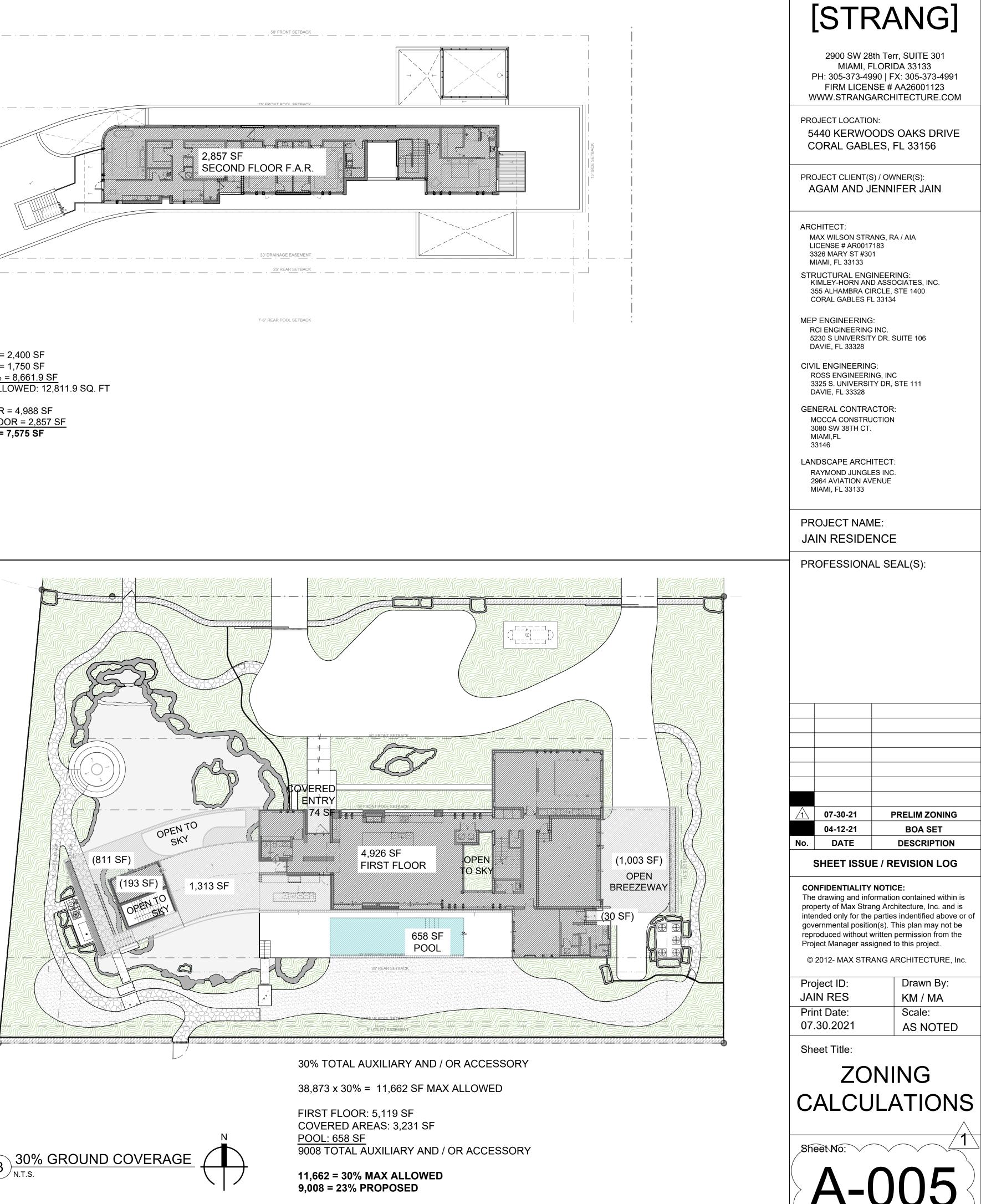
#### 15,549.2 x 20% = 3,109.84 SF MINIMUM REQUIRED

20% GREEN AREA PROPOSED

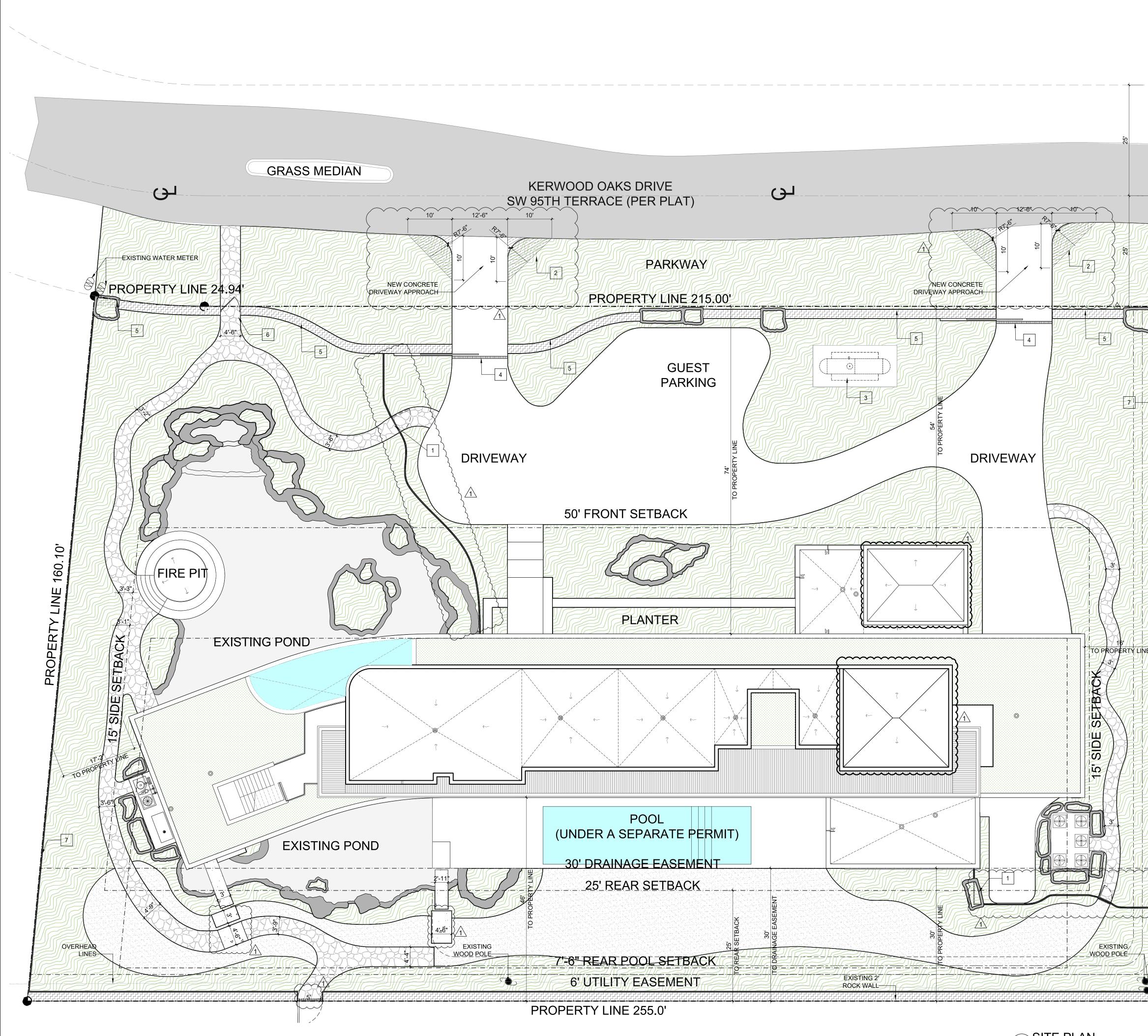
2,065 1,034 1,178 1,195 805 <u>447</u> **6,724 PROPOSED (43.24%)** 

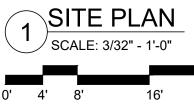




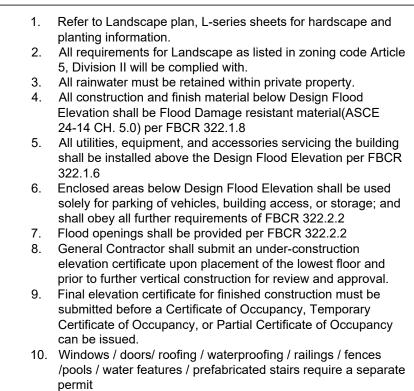








### SITE PLAN GENERAL NOTES



- 11. All exterior balconies to slope 1/8" per 12" minimum per ACI318. Coordinate with Plumbing Drawings for drain locations and sizes.
- 12. Termite protection shall be provided per FBCR 318

### SITE PLAN KEYNOTES

- 1. 48" high mechanically self-closing, self-latching, and self-locking gate.
- 2. The triangle of visibility shall be kept clear of visual obstructions between a height of two and a half (2  $\frac{1}{2}$ ) feet to
- eight (8) feet above the established grade.
- 3. Underground LP gas tank, see plumbing drawings 4. Linear trench drain, refer to Civil drawings.
- 5. 4 feet tall Oolite stone wall, see landscape drawings.
- 6. 4 feet tall x 4 feet wide metal and wood pedestrian gate, see landscape drawings.
- 7. 48" high Metal privacy fence at property line to act as pool enclosure barrier, see landscape drawings.

## [STRANG]

2900 SW 28th Terr, SUITE 301 MIAMI, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT:

MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, STE 1400 CORAL GABLES FL 33134

MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106 DAVIE, FL 33328

CIVIL ENGINEERING: ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

1	07-30-21	PRELIM ZONING
	04-12-21	BOA SET
No.	DATE	DESCRIPTION

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07.30.2021	AS NOTED

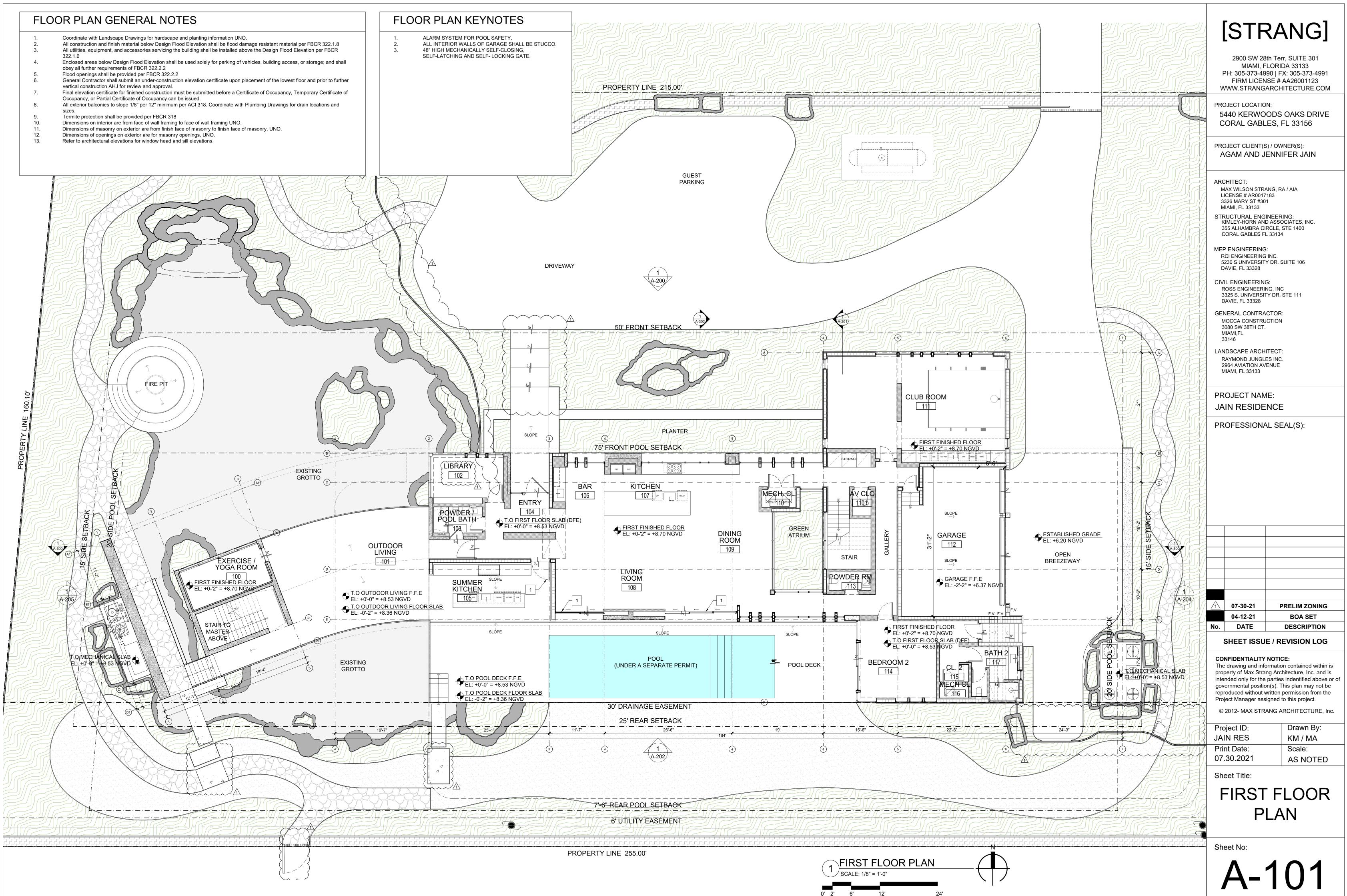
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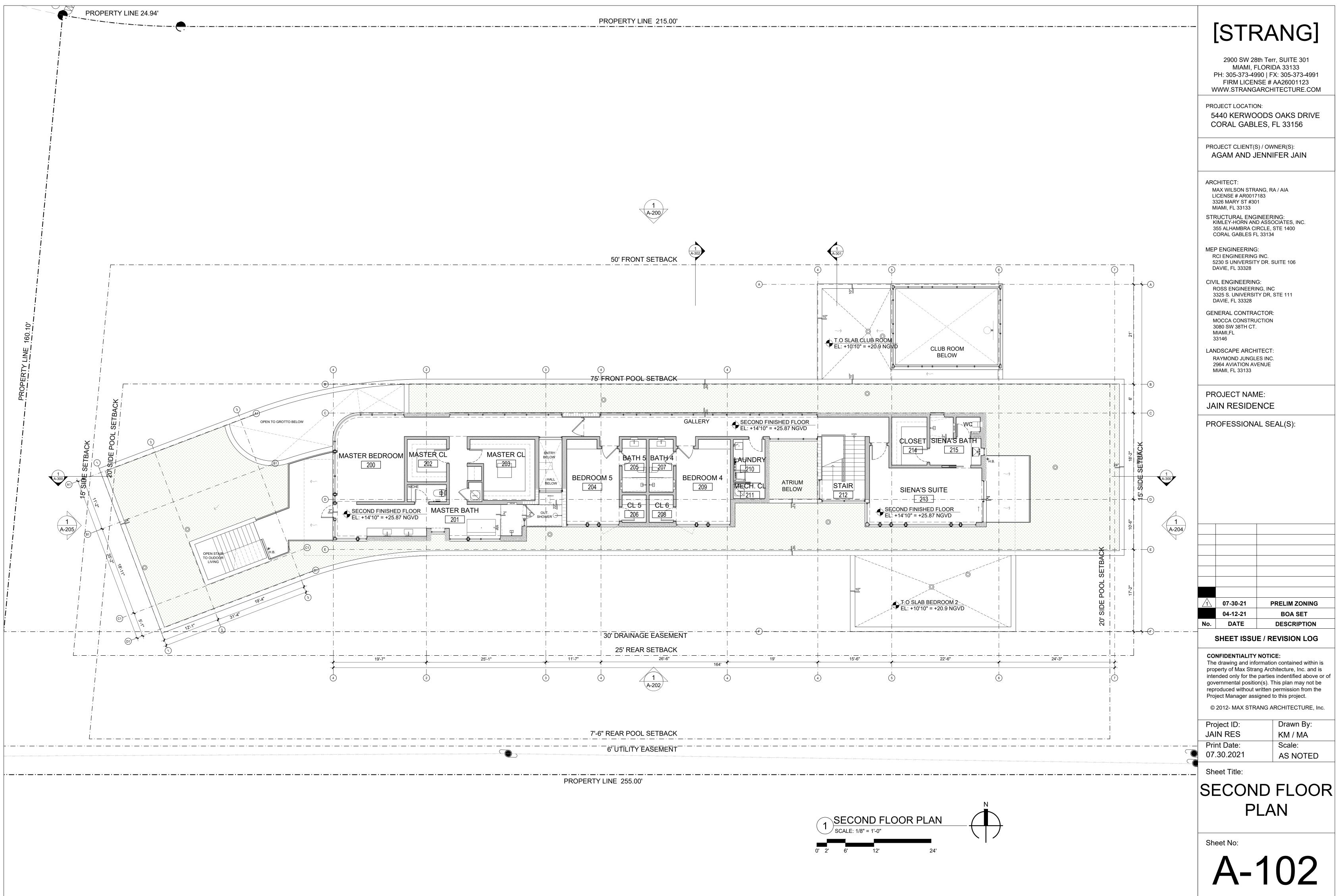
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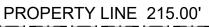
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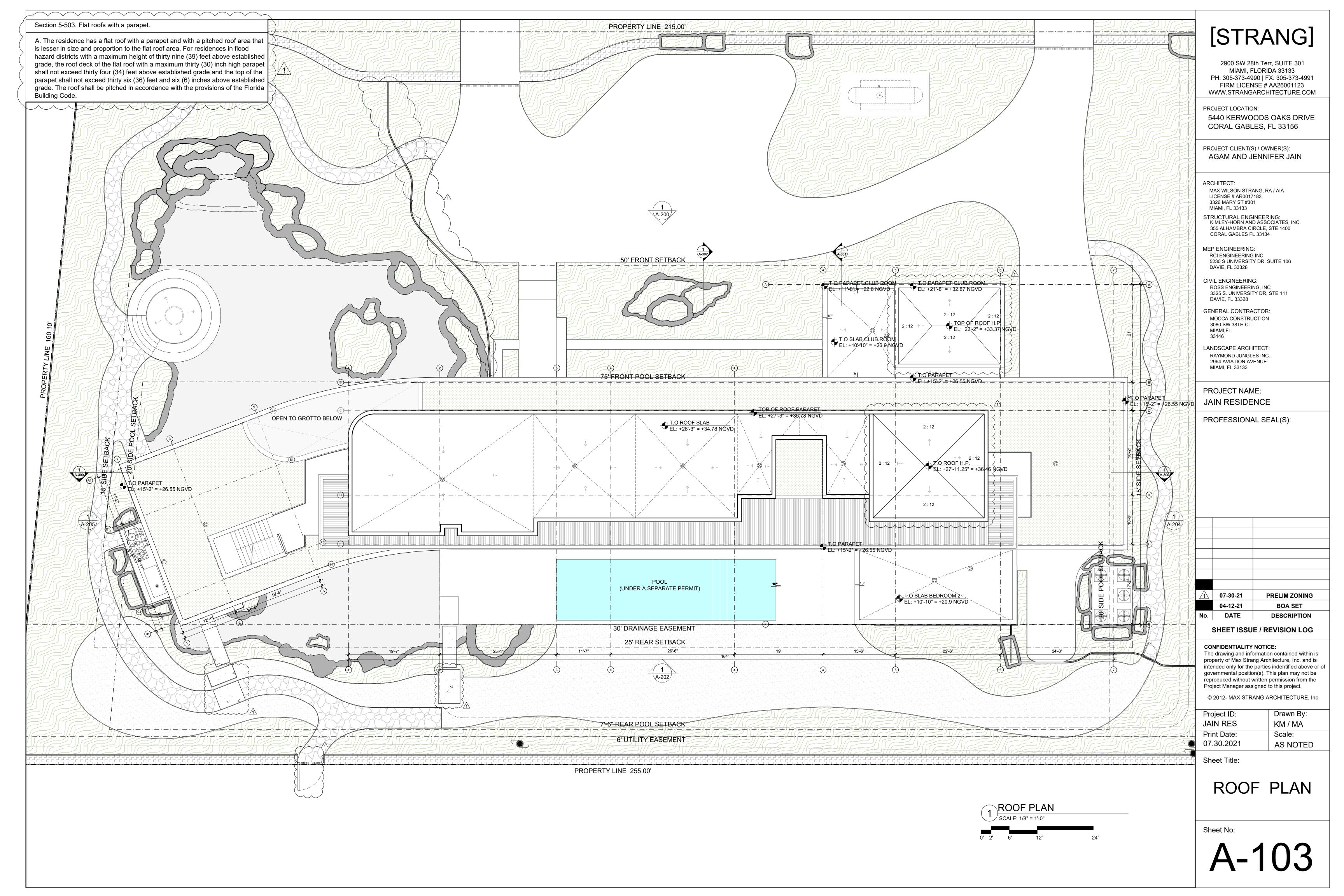
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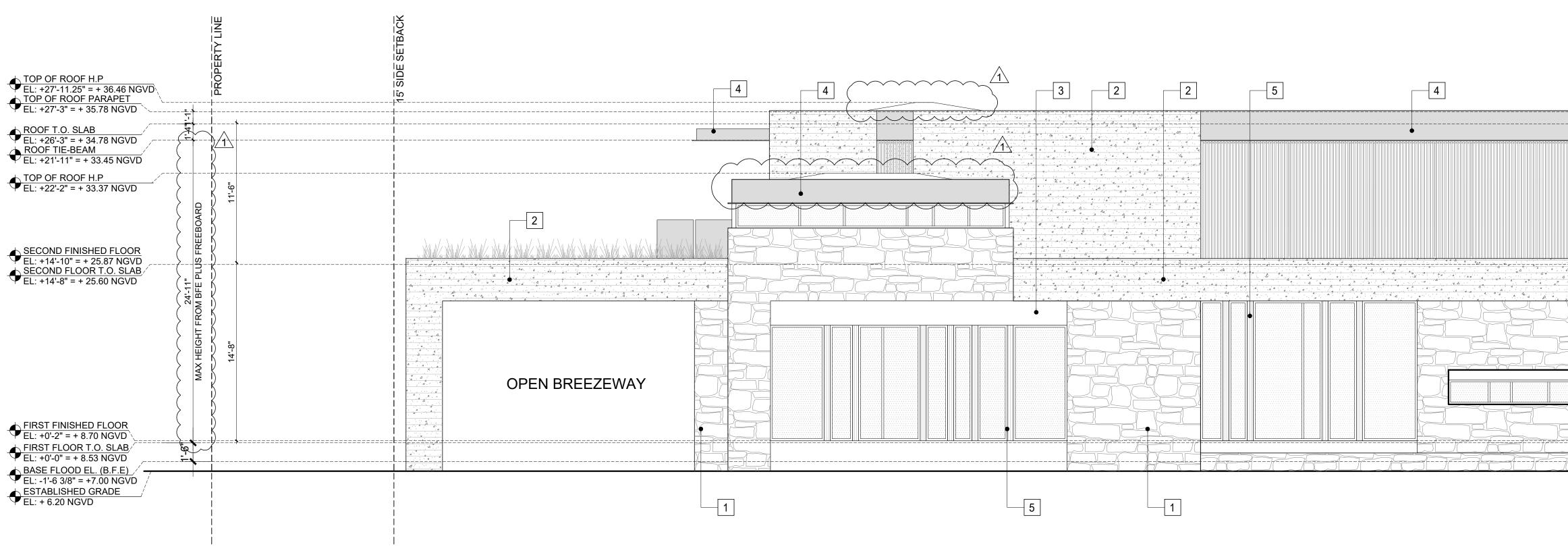


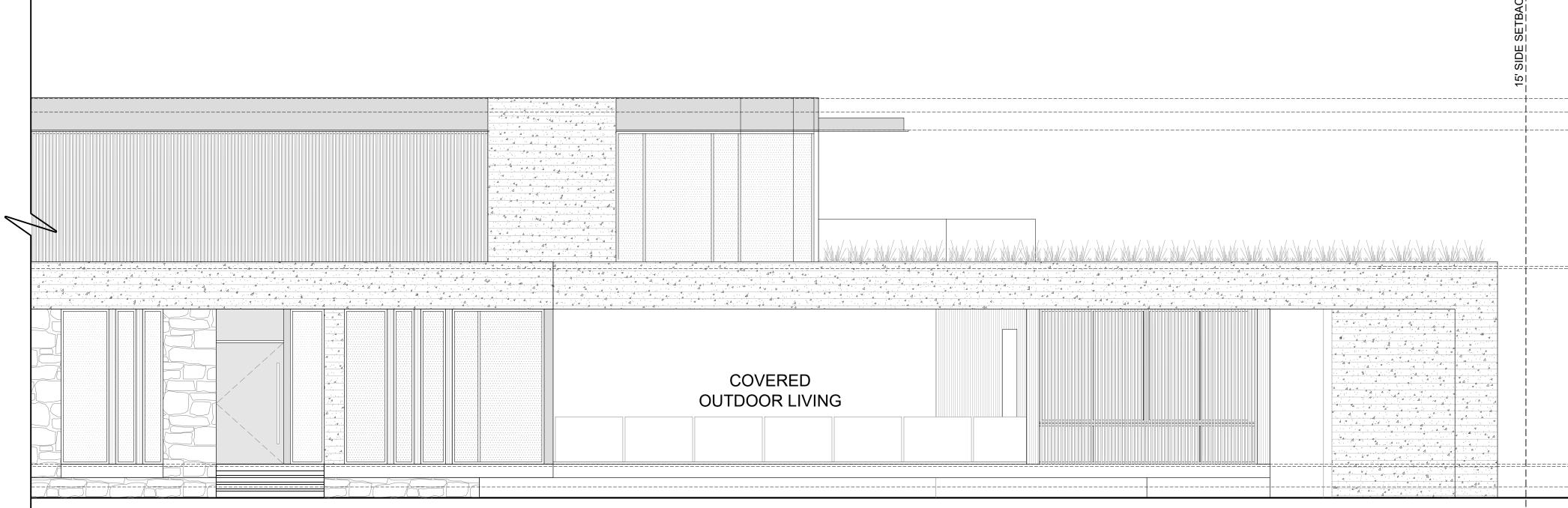
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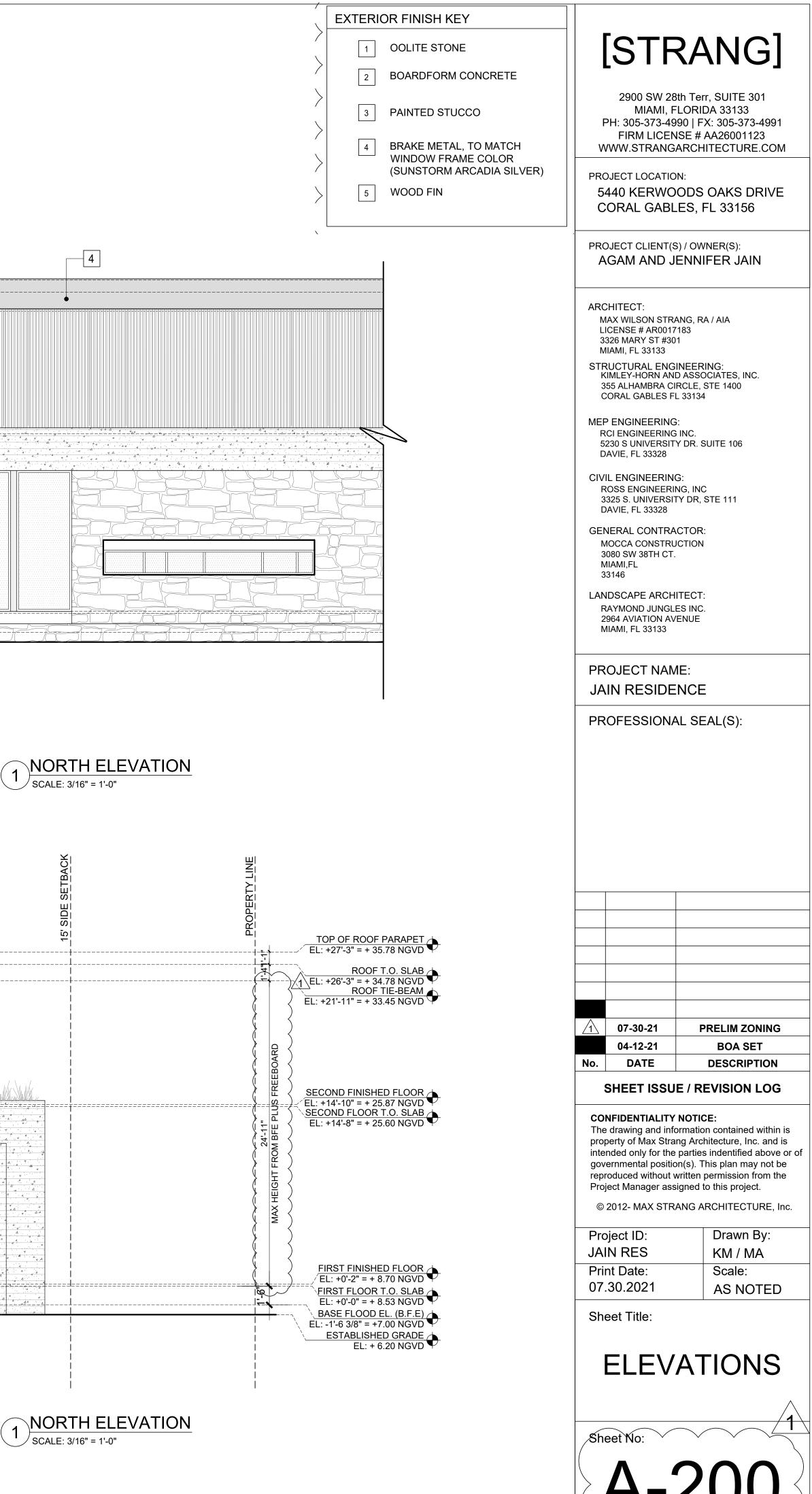






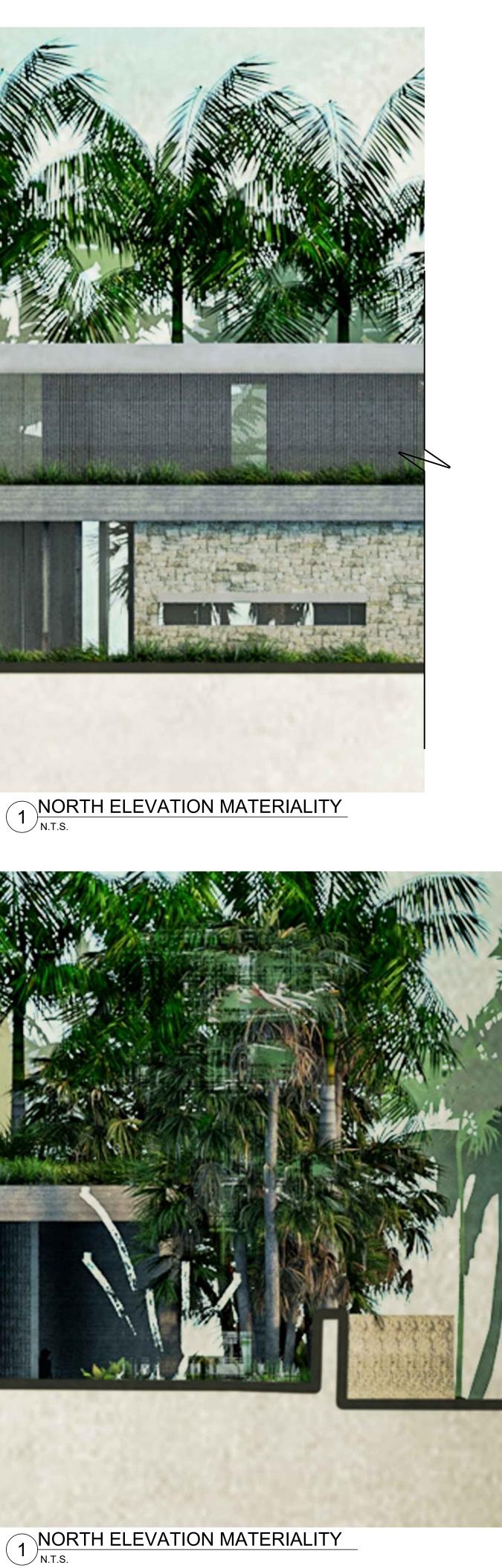




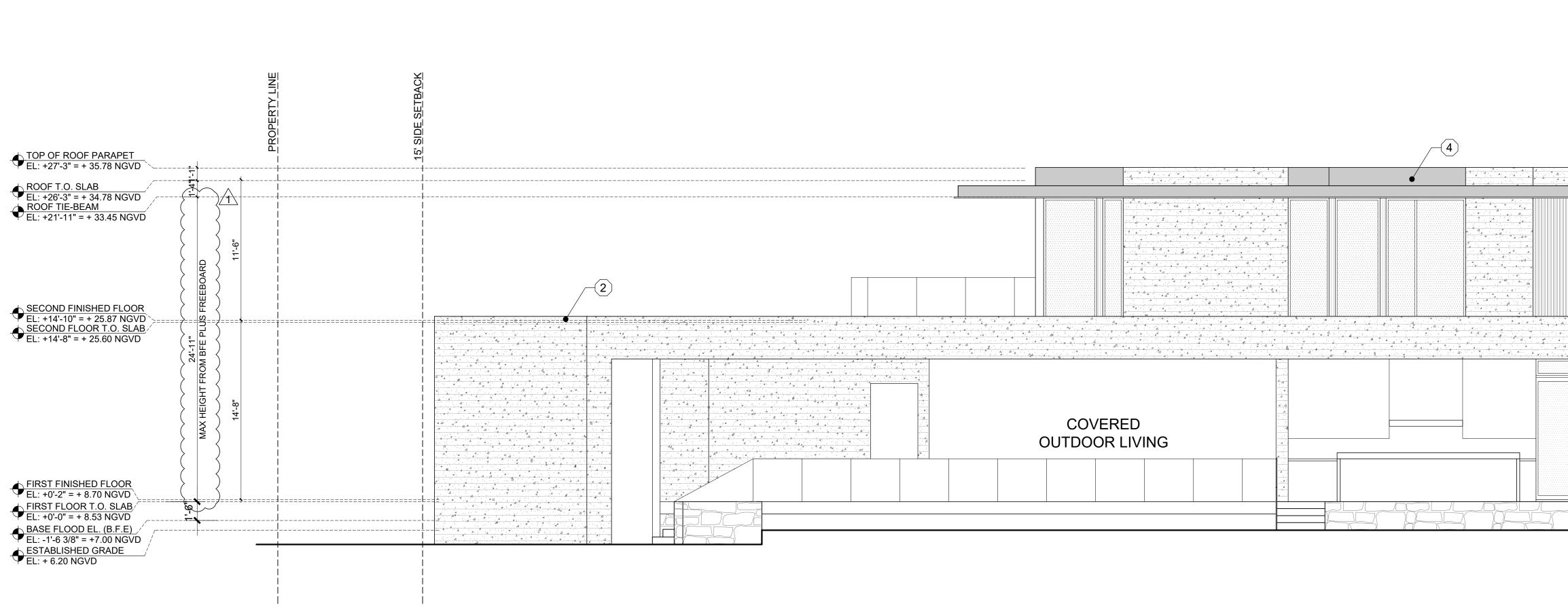


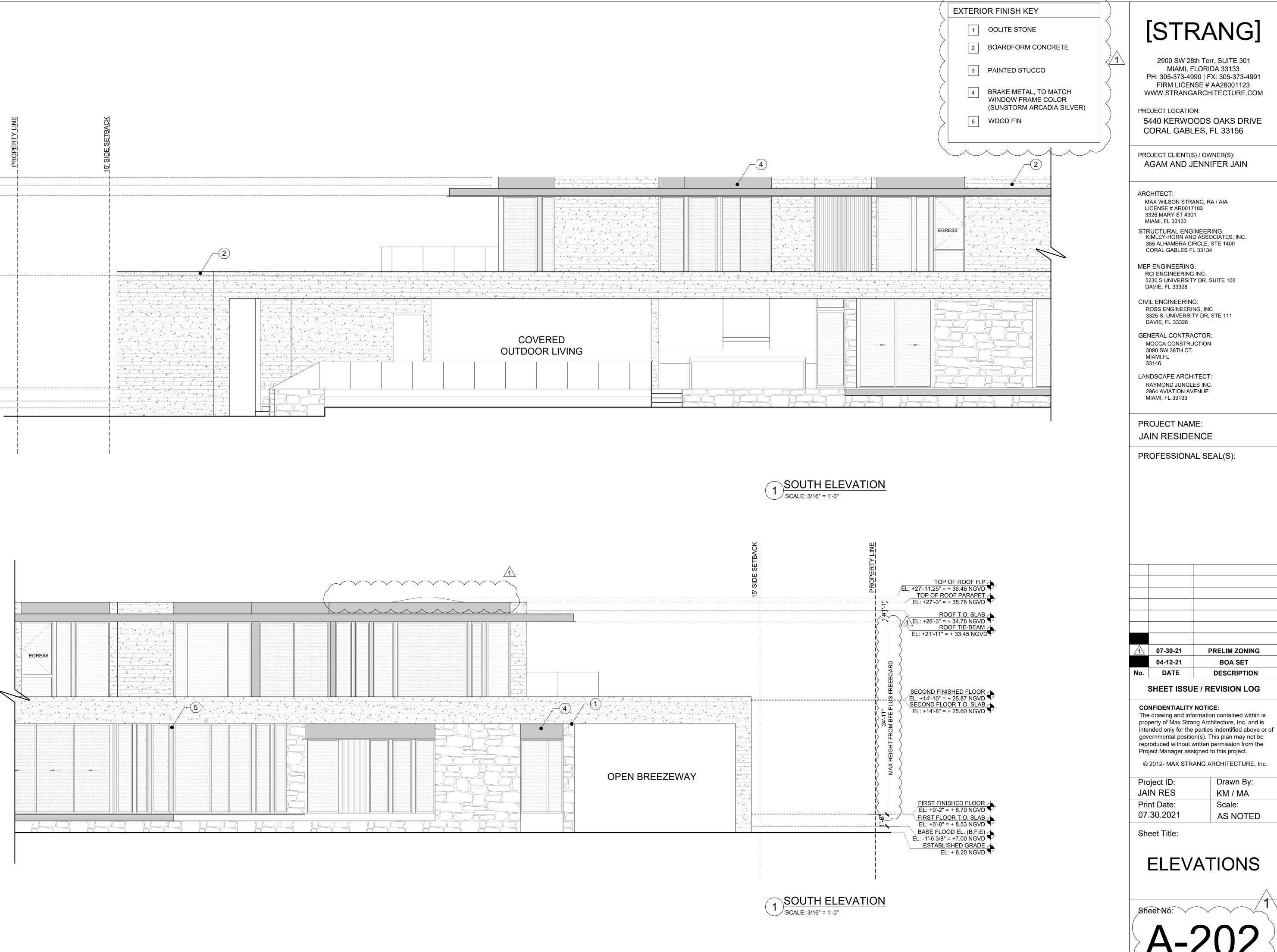


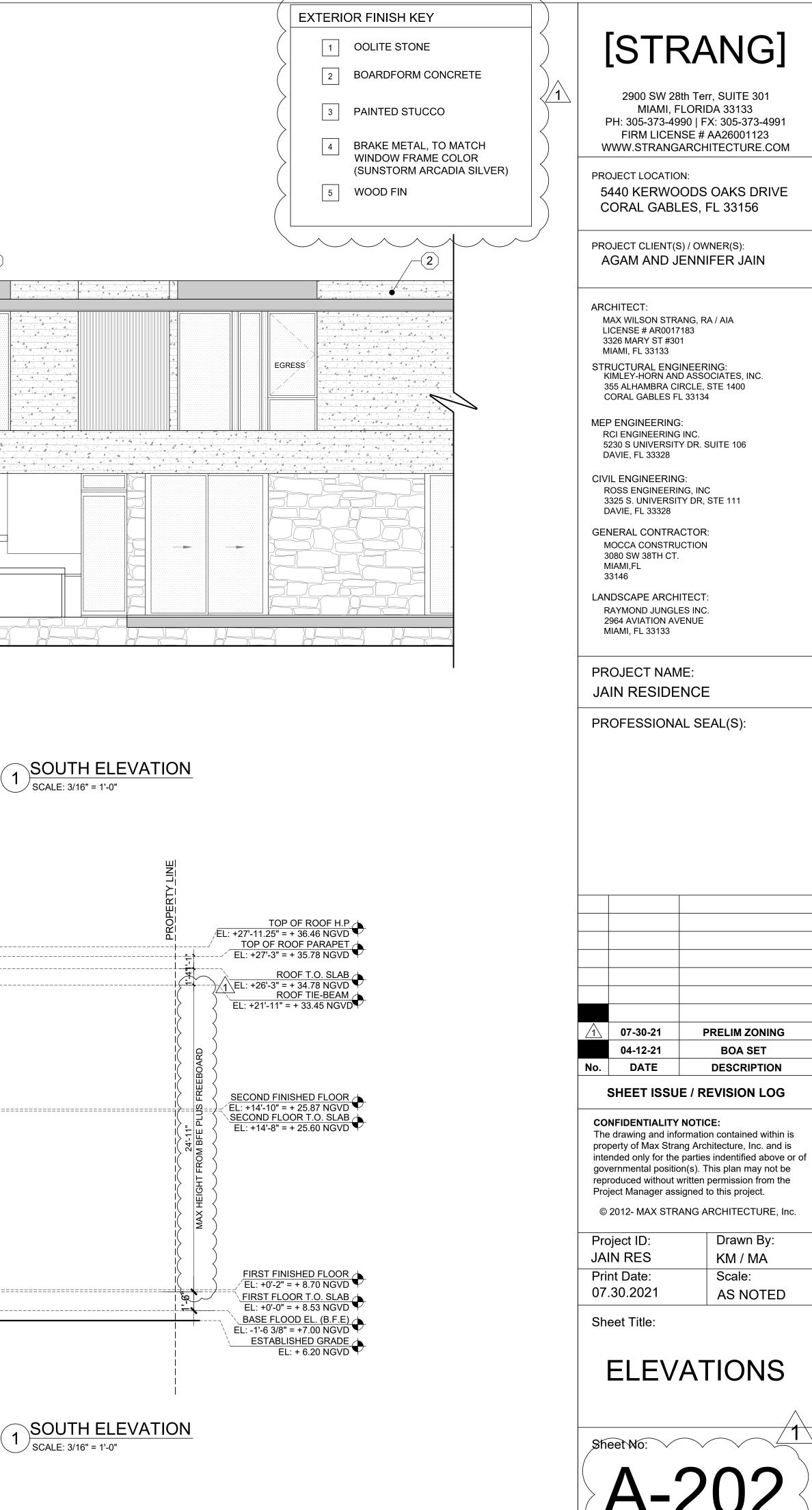




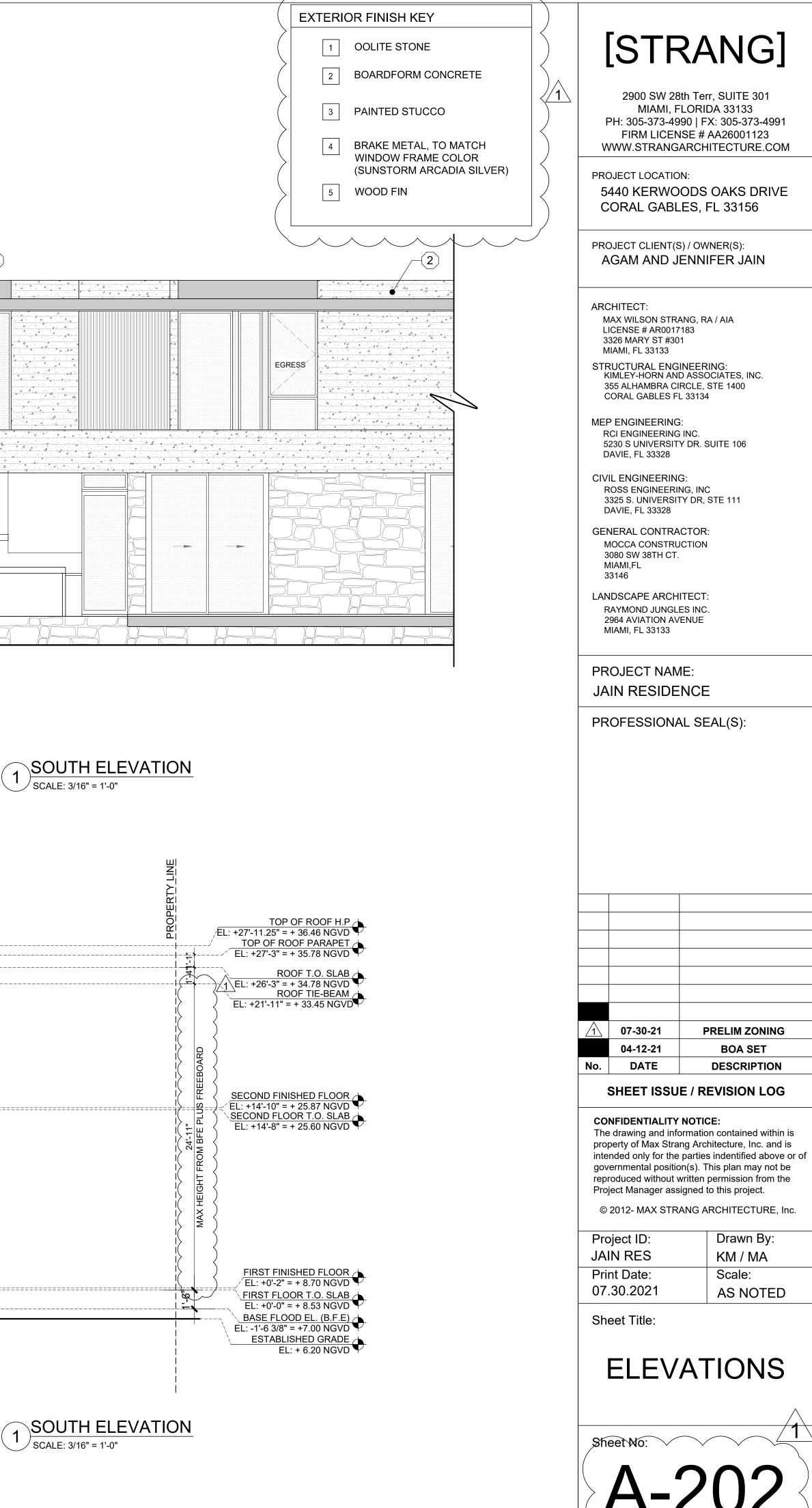
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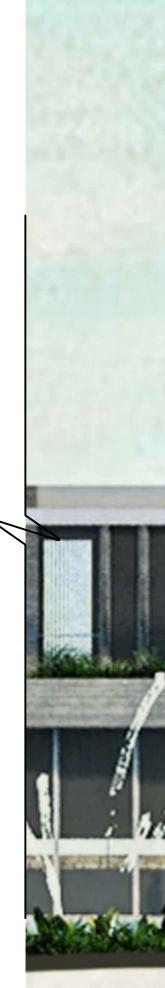




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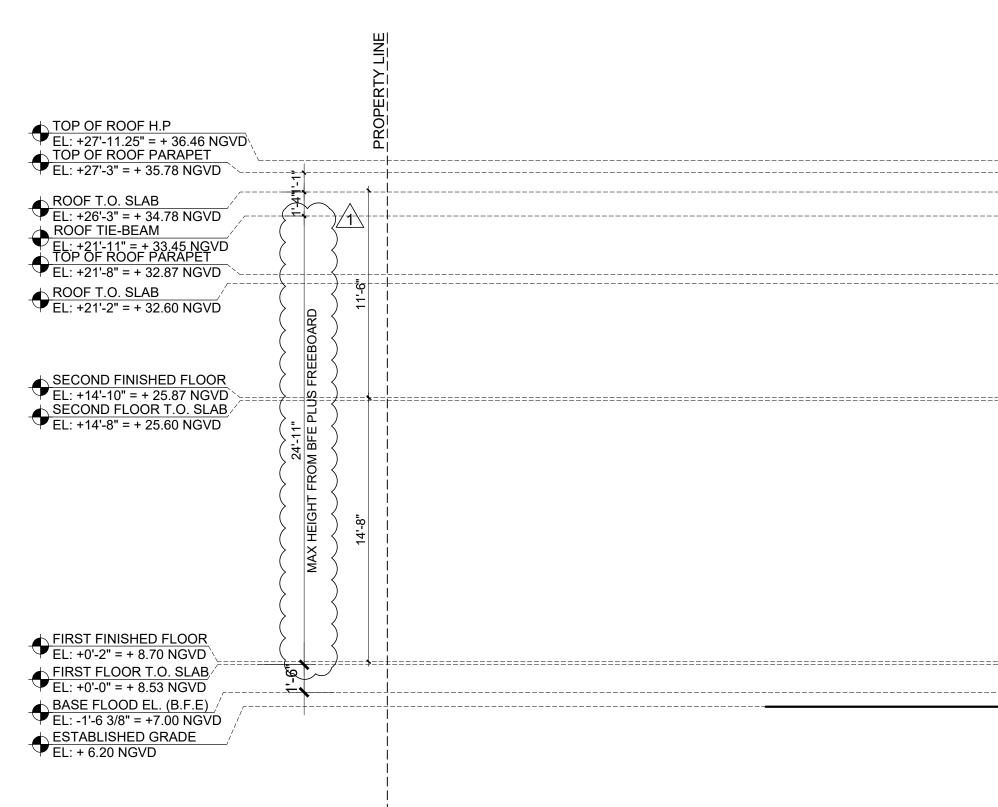




	[ST	RANG]
	MIAMI PH: 305-373- FIRM LIC	28th Terr, SUITE 301 , FLORIDA 33133 4990   FX: 305-373-4991 ENSE # AA26001123 NGARCHITECTURE.COM
5	-	TION: /OODS OAKS DRIVE BLES, FL 33156
		T(S) / OWNER(S): 9 JENNIFER JAIN
N L 3	CHITECT: IAX WILSON S <sup>-</sup> ICENSE # AR0( 326 MARY ST # IIAMI, FL 33133	<b>#</b> 301
K 3	(IMLEY-HORN /	NGINEERING: AND ASSOCIATES, INC. A CIRCLE, STE 1400 S FL 33134
R	P ENGINEERI CI ENGINEERI 230 S UNIVERS AVIE, FL 33328	NG INC. SITY DR. SUITE 106
F 3	IL ENGINEER ROSS ENGINEE 325 S. UNIVER DAVIE, FL 33328	ERING, INC SITY DR, STE 111
GEI M 3 M	NERAL CONT IOCCA CONST 6080 SW 38TH ( IIAMI,FL 63146	RACTOR: RUCTION
F 2	NDSCAPE AR( RAYMOND JUN 1964 AVIATION 1/IAMI, FL 33133	GLES INC. AVENUE
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	07-30-21 04-12-21	PRELIM ZONING           BOA SET
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		assigned to this project. TRANG ARCHITECTURE, Inc.
JA	oject ID: IN RES	Drawn By: KM / MA
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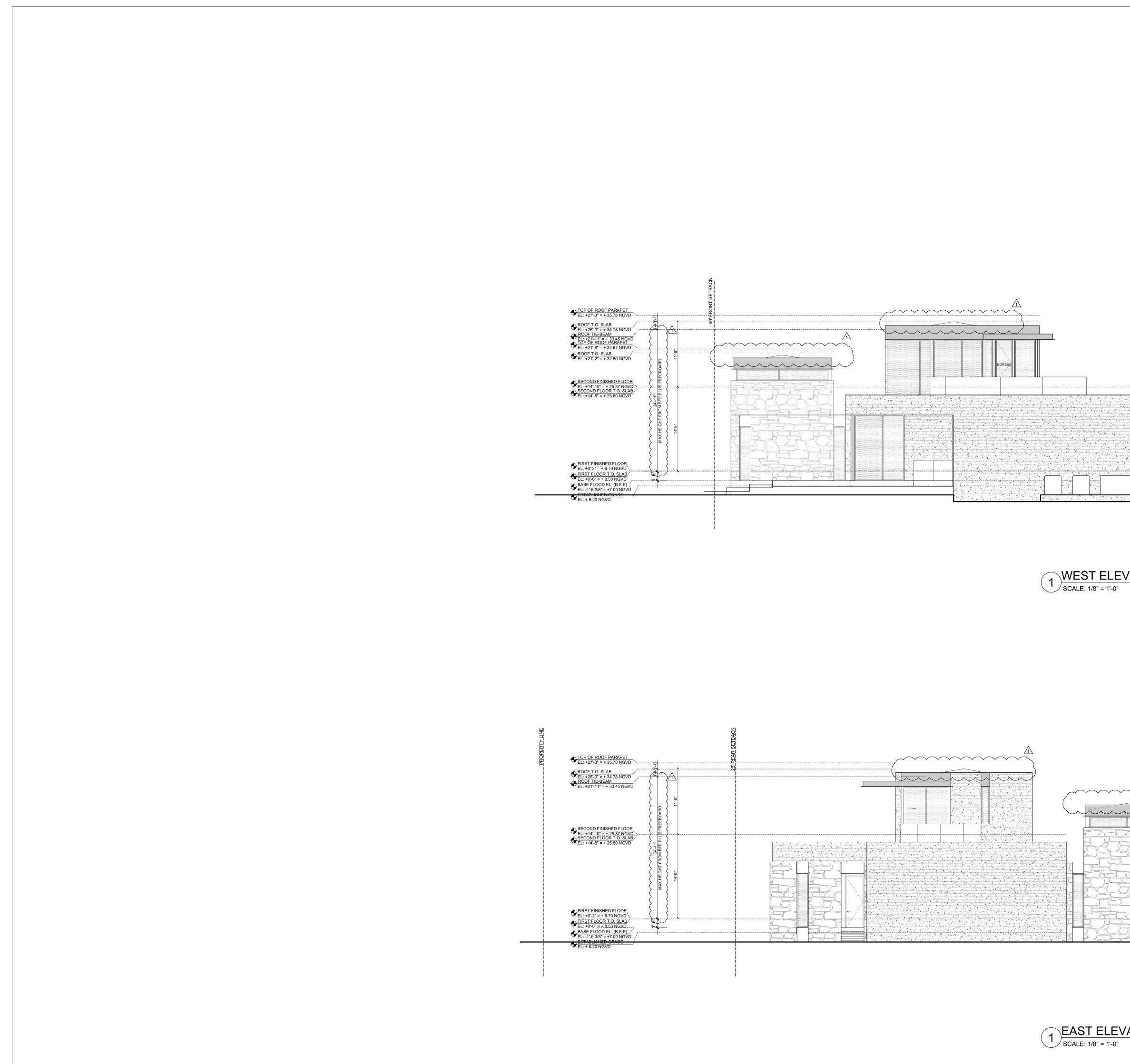












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			[STF	RANG]
			MIAMI, F PH: 305-373-49 FIRM LICEN	th Terr, SUITE 301 LORIDA 33133 90   FX: 305-373-4991 ISE # AA26001123 ARCHITECTURE.COM
		5		<sup>N:</sup> ODS OAKS DRIVE ES, FL 33156
			DJECT CLIENT(S	s) / OWNER(S): ENNIFER JAIN
۲.	۳	N L 3 M STF 8 3	CHITECT: IAX WILSON STRA ICENSE # AR0017 326 MARY ST #30 IIAMI, FL 33133 RUCTURAL ENG COTURAL ENG CORAL GABLES FI	183 1 INEERING: D ASSOCIATES, INC. RCLE, STE 1400
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			oject ID: IN RES	Drawn By: KM / MA
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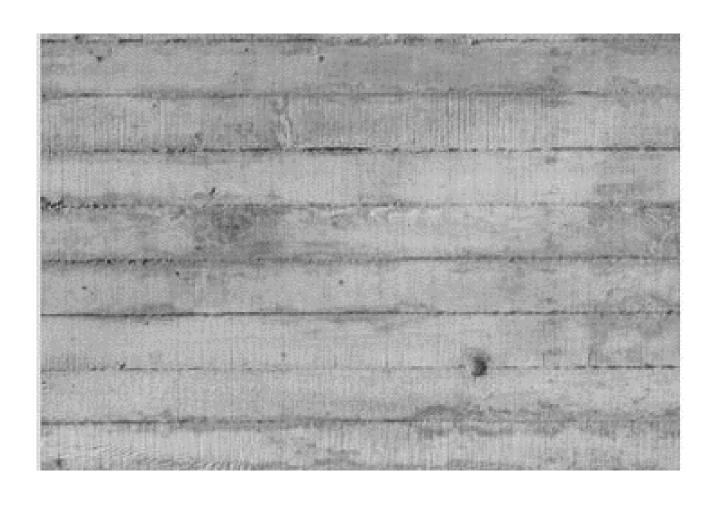
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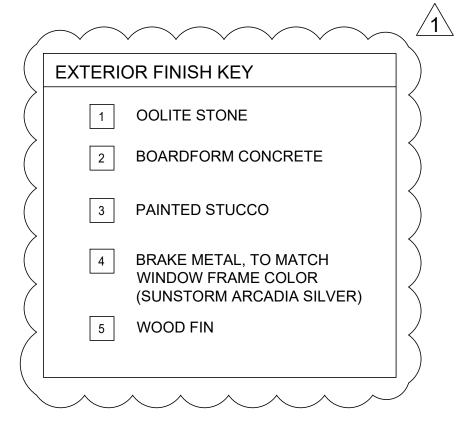






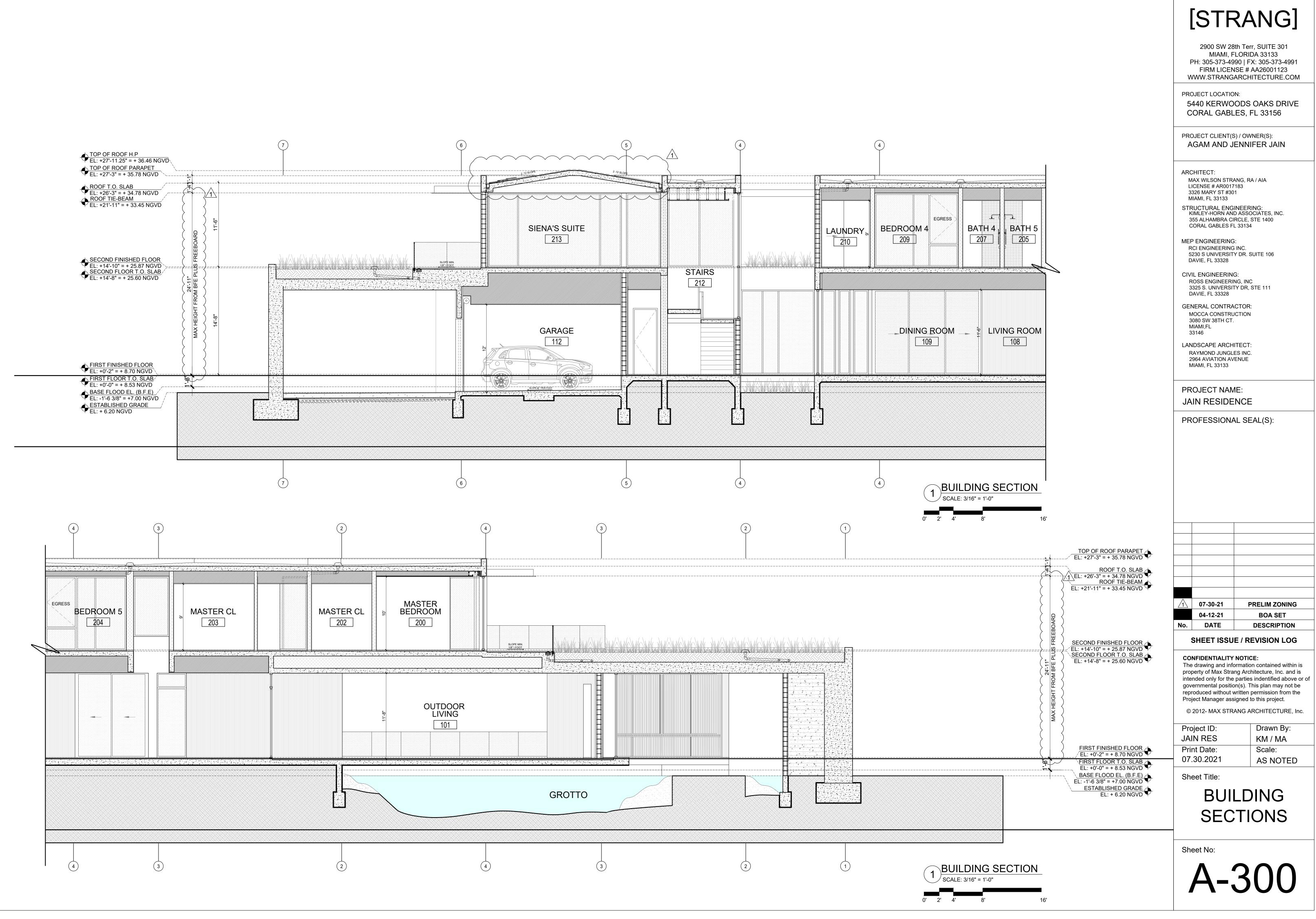


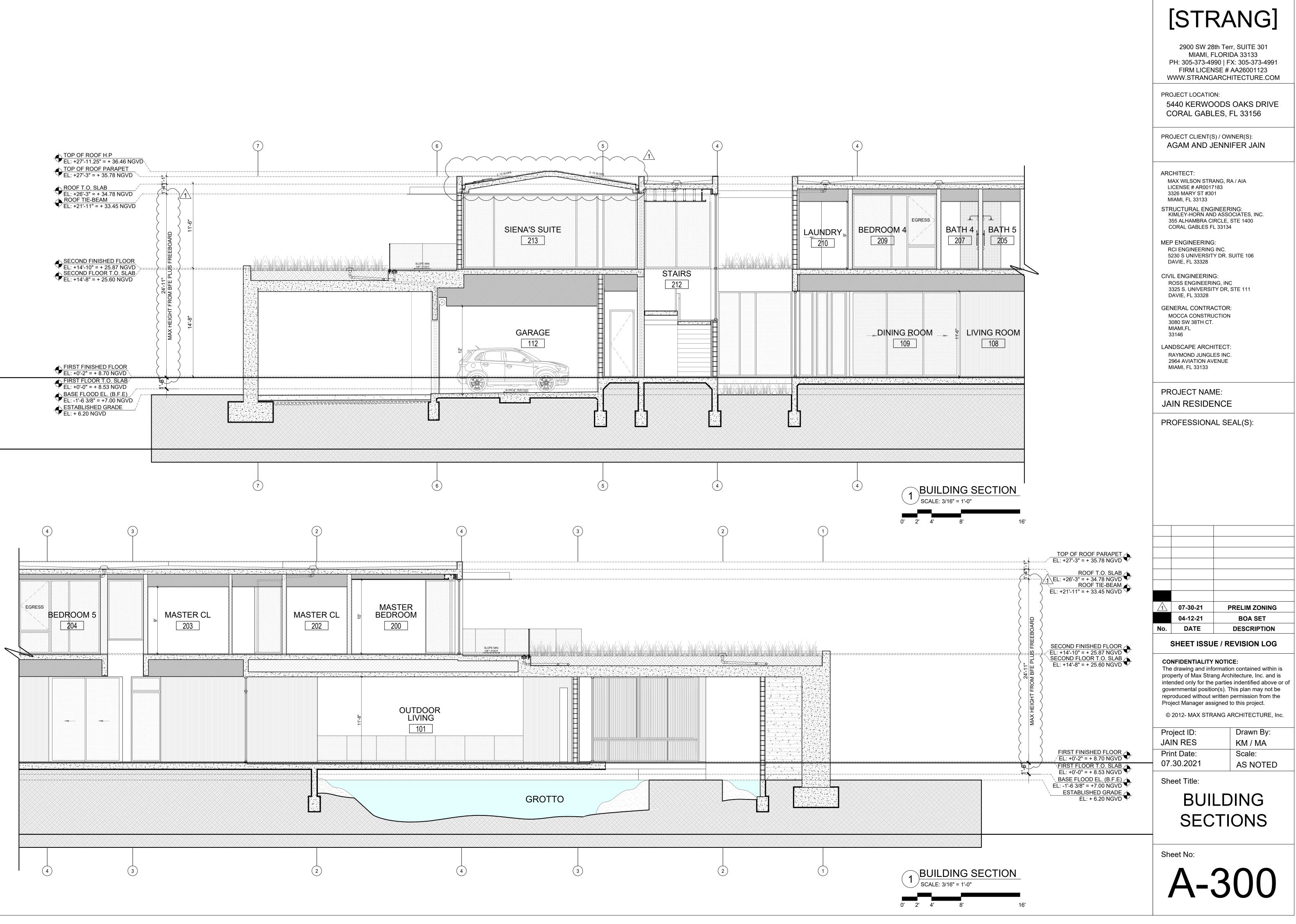
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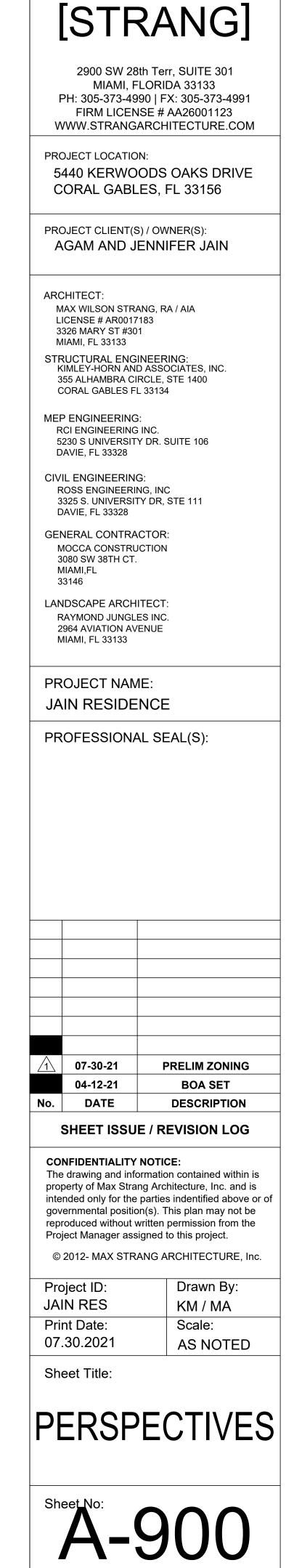
2900 SW 28th Terr, SUITE 301         MIAMI, FLORIDA 33133         PH: 305-373-4990 [FX: 305-373-4991         FIRM LICENSE # AA26001123         WWW.STRANGARCHITECTURE COM         PROJECT LOCATION:         5440 KERWOODS OAKS DRIVE         CORAL GABLES, FL 33156         PROJECT CLIENT(S) / OWNER(S):         AGAM AND JENNIFER JAIN         ARCHITECT:         MAX WILSON STRANG, RA / AIA         LICENSE AROUT783         3220 MARY ST #301         MIAM, FL 33133         STEUCTURAL ENGINEERING:         RCCI ENGINEERING:         RCCI ENGINEERING:         ROSE SOUTES, INC.         3325 S. UNIVERSITY DR. SUITE 106         DAVIE, FL 33228         CIVIL ENGINEERING:         ROSE SOUTES SOUTH STRUCTION         3306 SWISTERTS DR. SUITE 106         DAVIE, FL 33228         CIVIL ENGINEERING:         ROSE SOUTHER STRUCTION         3306 SWISTERT         MAME FL 33133         PROJECT NAME:         JAIN RESIDENCE         PROFESSIONAL SEAL(S):         PROFESSIONAL SEAL(S):         A 7-30-21       PRELIM ZONING         94-12.21       BOA SET         No       DATE       DESCRIP		[STF	RANG]		
5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156         PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN         ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3328 MAY ST #301 MIAM, FL 33133         STEUCHAL ENGINEERING: ROSE ENGINEERING: RCI ENGINERI ENGINERI ENGINEERING: RCI ENGINEERING: RCI ENGINEERI		MIAMI, I PH: 305-373-49 FIRM LICEI	FLORIDA 33133 990   FX: 305-373-4991 NSE # AA26001123		
AGAM AND JENNIFER JAIN  ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #3011 MIAMI, FL 33133 STRUCTURAL ENGINEERING: NCL AND AND ASSOCIATES, INC. 3526 ALMARY AND ASSOCIATES, INC. 3526 ALMARRA CIRCLE, STE 1400 CORAL GABLES FL 33134  MEP ENGINEERING: RCI ENGINEERING: RCI ENGINEERING: INC. 3226 S. UNIVERSITY DR. SUITE 106 DAVIE, FL 33328  CIVIL ENGINEERING: INC. 3325 S. UNIVERSITY DR. STE 111 DAVIE, FL 33328  GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3000 SW 38TH CT. MIAMI, FL 33133  PROJECT NAME: JAIN RESIDENCE  PROFESSIONAL SEAL(S):  AND AVENUE MAMI, FL 33133  PROJECT NAME: JAIN RESIDENCE  PROFESSIONAL SEAL(S):  AND AVENUE MAMI, FL 33133  PROJECT NAME: JAIN RESIDENCE  RCI ENSUE / REVISION LOG CONFIDENTIALITY NOTICE: The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties infontified above or of governmental position. The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties infontified above or of governmental position.  Project ID: Drawn By: KIM / MA Print Date: CIAPACE  STREET ISSUE / REVISION LOG SHEET ITTE:  SEXTERRIOR MAATERRIALS	5	440 KERWC	OODS OAKS DRIVE		
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KIMLEY-HORN AND ASSOCATES, INC.         355 ALHAMBRA CIRCLE, STE 1400         CORAL GABLES FL 33134         MEP ENGINEERING:         RCI ENGINEERING INC.         520 50 UNIVERSITY DR. SUITE 106         DAVIE, FL 3328         GENERAL CONTRACTOR:         MOCCA CONTRACTOR:         MAMI, FL 33133         PROJECT NAME:         JAIN RESIDENCE         PROFESSIONAL SEAL(S):         AVIATION AVENUE         MIAMI, FL 33133         PROFESSIONAL SEAL(S):         ALAND CONTRACTOR:         NO         DATE         DESCRIPTION         SHEET ISSUE / REVISION LOG         COFIDENTIALITY NOTICE:         The drawing and information contained within is property of Max Strang Architecture, inc. and is intended only for the parties indentified above or of governmental position(D). This plan may not be reproduced without written permission from the Project Manager assigned to this project.         © 2012: MAX STRANG ARCHITECTURE, inc.         Project ID:       Drawn By:	N L 3	IAX WILSON STR ICENSE # AR001 326 MARY ST #30	7183		
RCIENGINEERING INC. 5230 SUNVERSITY DR. SUITE 106 DAVIE, FL 33328 CIVIL ENGINEERING: ROSS ENGINEERING: NC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328 GENERAL CONTRACTOR: MOCCA CONSTRUCTION 30808 W38TH CT. MMMI, FL 33146 LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133 PROJECT NAME: JAIN RESIDENCE PROFESSIONAL SEAL(S): PROFESSIONAL SEAL(S): 0 JATE DESCRIPTION SHEET ISSUE / REVISION LOG CONFIDENTIALITY NOTICE: The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties indentified above or of governmental position(s). This plan may not be reproduced without written permission from the Project ID: Q 2012- MAX STRANG ARCHITECTURE, Inc. © 2012- MAX STRANG ARCHITECTURE, Inc. Project ID: JAIN RES KM / MA Print Date: Q 2012 ISSUE / REVISION CON SHEET ISSUE / REVISION CON SHEET ITHE: EXTERNION ASTRENTIALITY NOTE: The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties indentified above or of governmental position(s). This plan may not be reproduced without written permission from the Project ID: Q 2012- MAX STRANG ARCHITECTURE, Inc. Project ID: Sheet Title: Sheet No: A A A A A A A A A A A A A A A A A A A	K 3	(IMLEY-HORN AN 55 ALHAMBRA C	ID ASSOCIATES, INC. IRCLE, STE 1400		
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MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI, FL 33146         LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVATION AVENUE MIAMI, FL 33133         PROJECT NAME: JAIN RESIDENCE         PROFESSIONAL SEAL(S):         PROFESSIONAL SEAL(S):         Image: Strategy of the st	F 3	ROSS ENGINEER 325 S. UNIVERSI	ING, INC		
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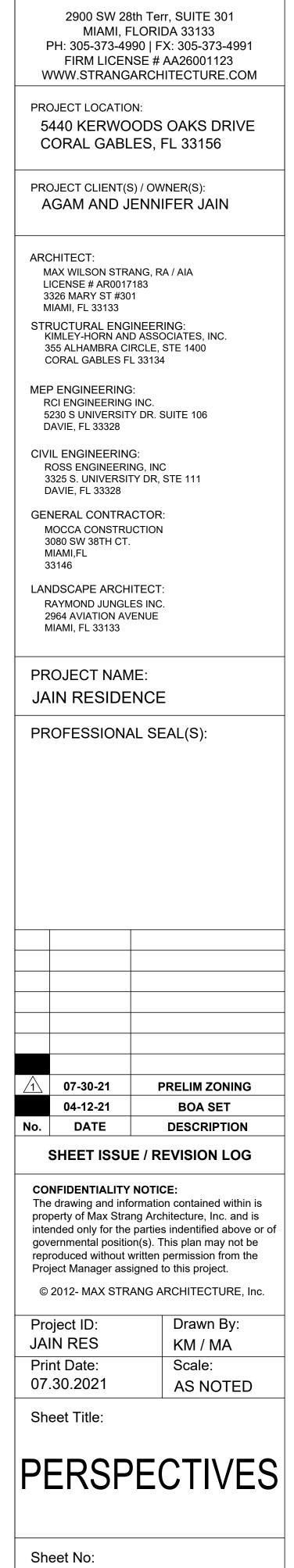












[STRANG]







MIAMI, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, STE 1400 CORAL GABLES FL 33134

MEP ENGINEERING: RCI ENGINEERING INC. 5230 S UNIVERSITY DR. SUITE 106 DAVIE, FL 33328

CIVIL ENGINEERING: ROSS ENGINEERING, INC 3325 S. UNIVERSITY DR, STE 111 DAVIE, FL 33328

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

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No.	DATE	DESCRIPTION

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Project ID: JAIN RES Print Date: 07.30.2021

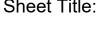
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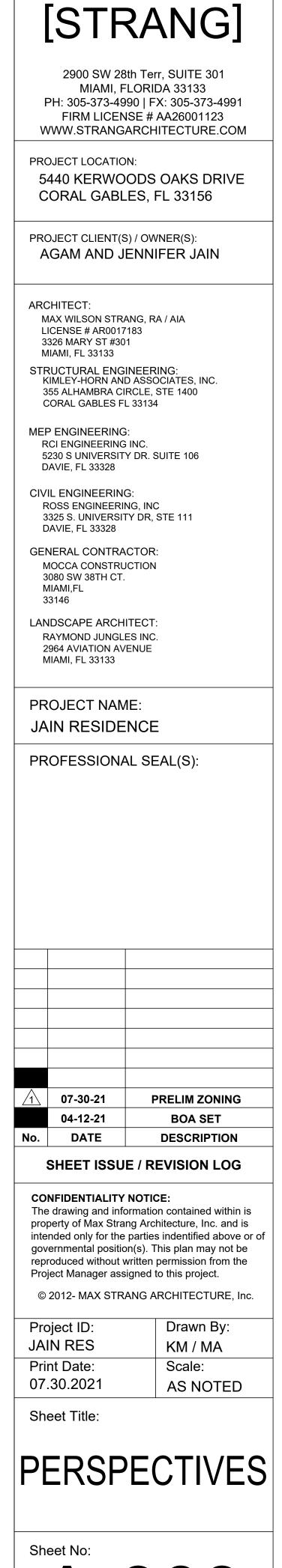
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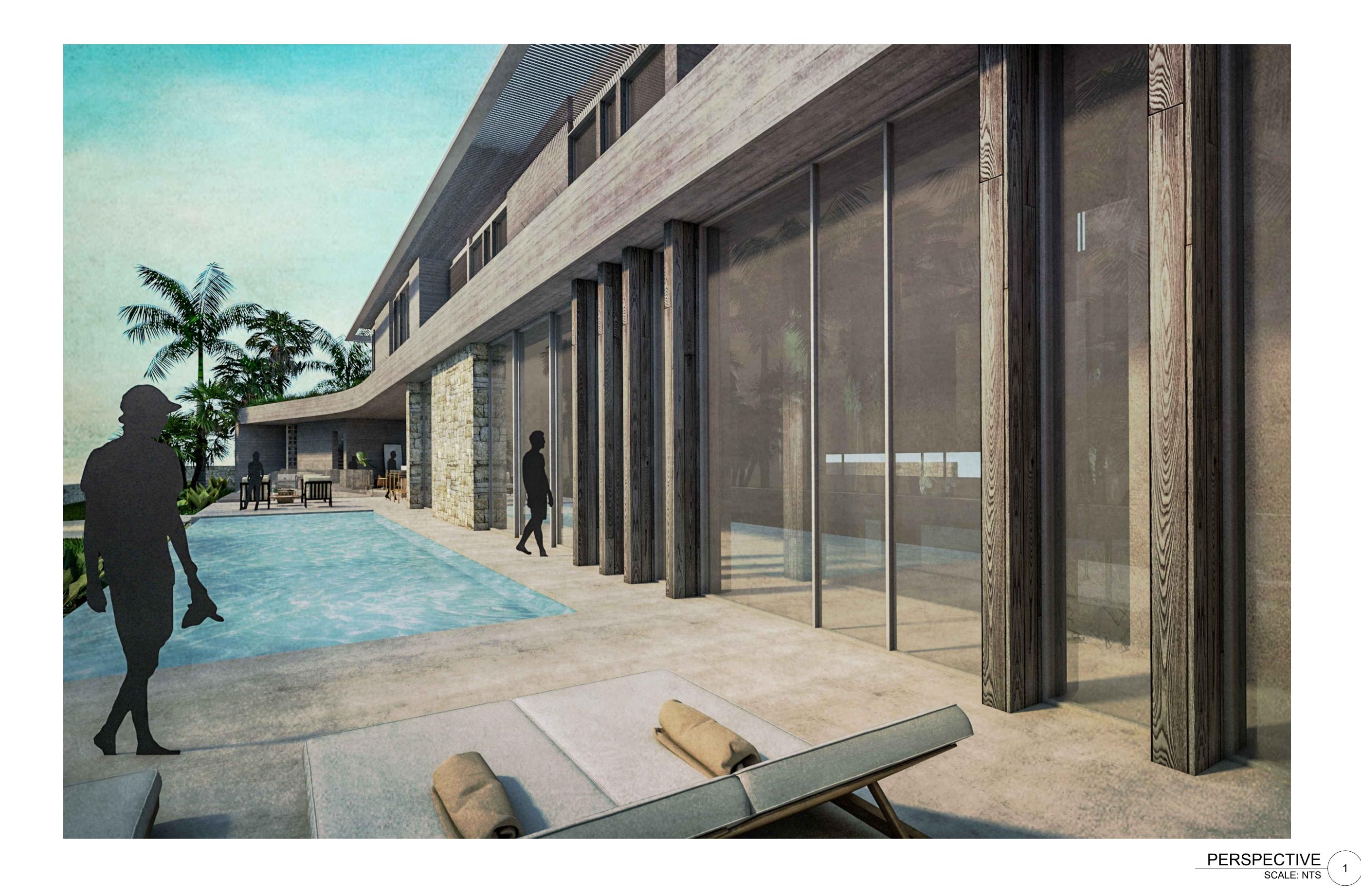
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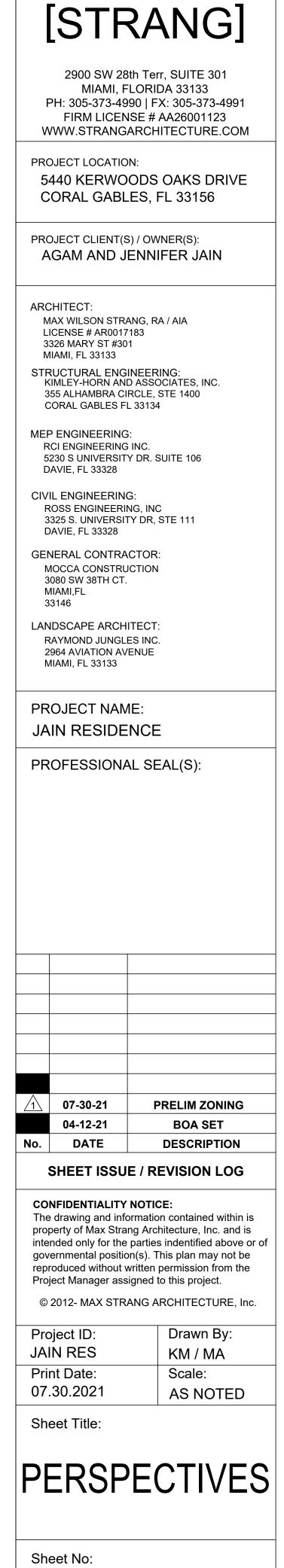






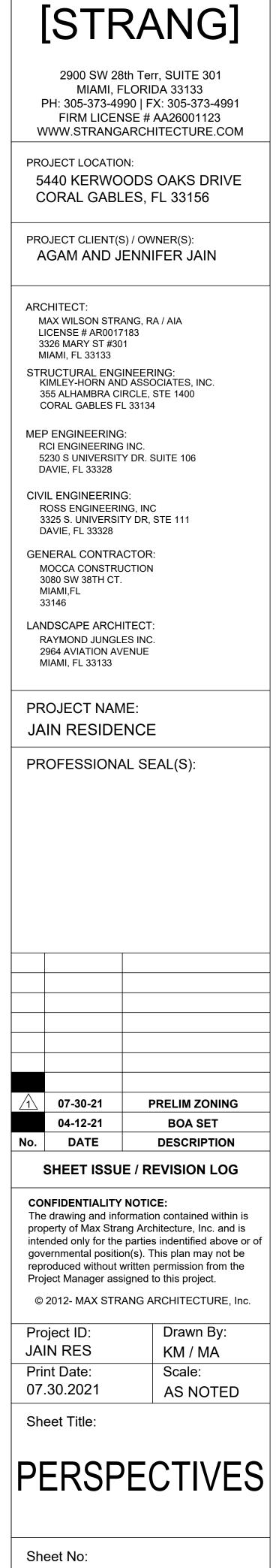
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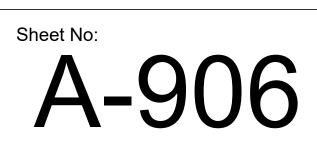


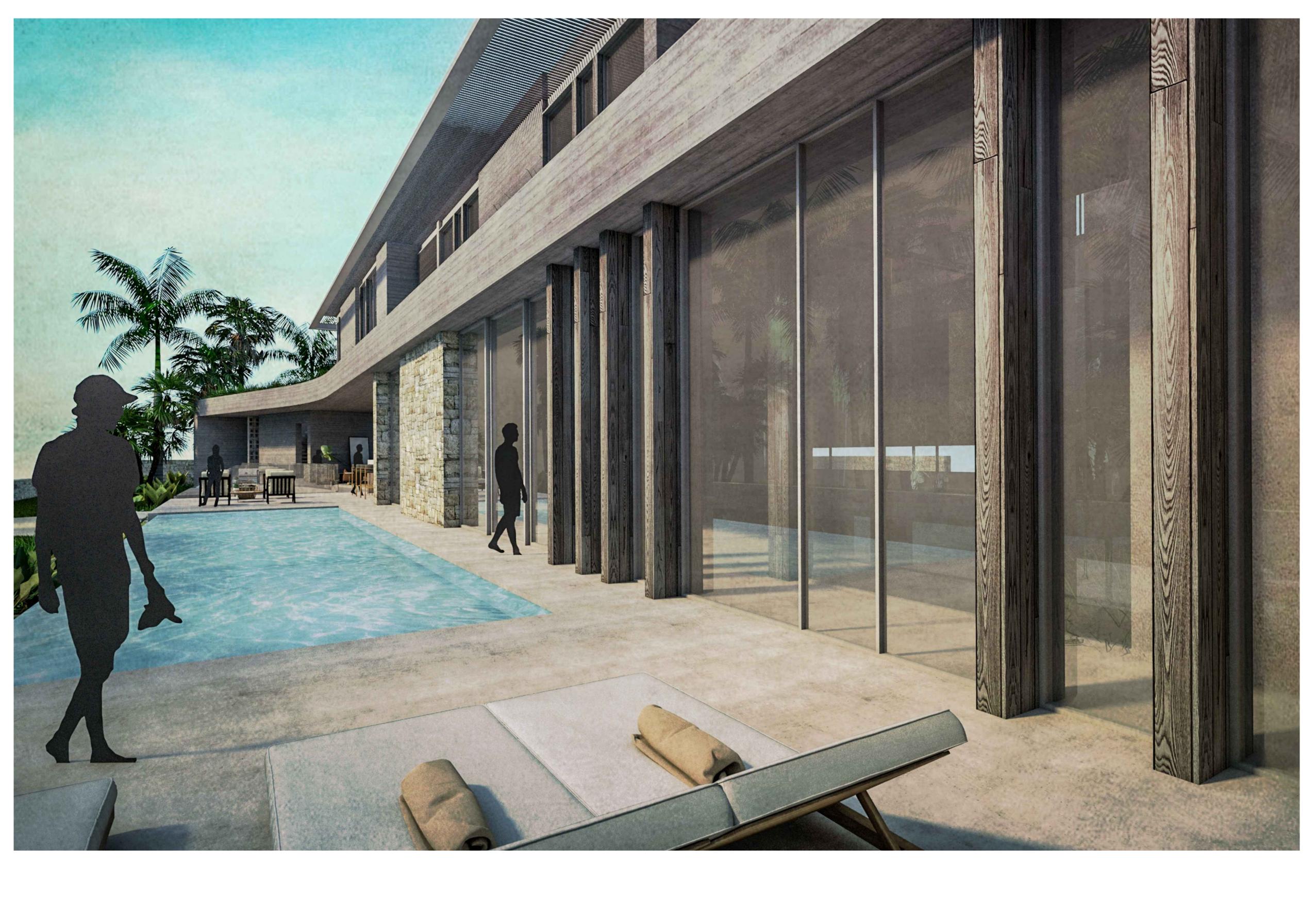






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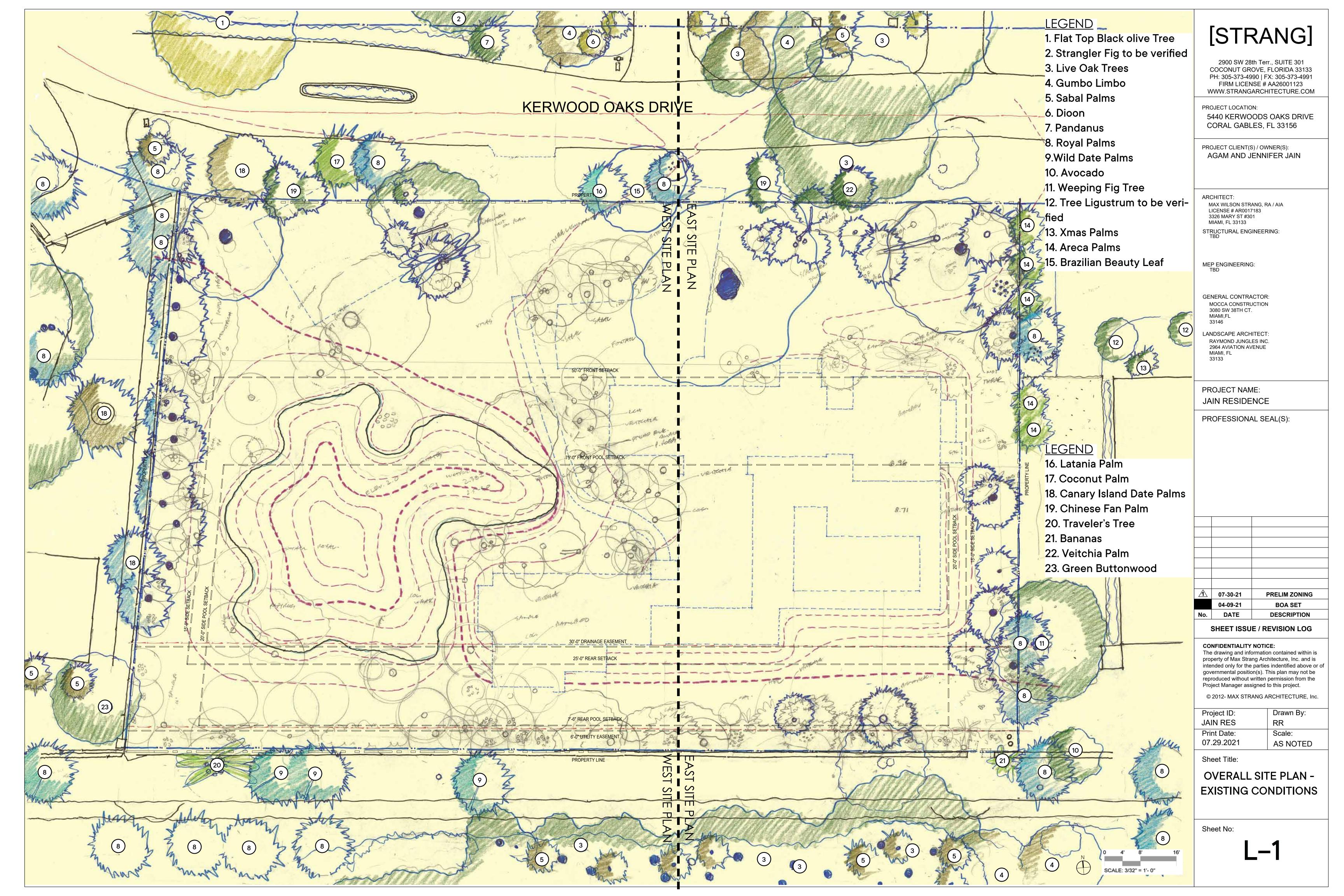


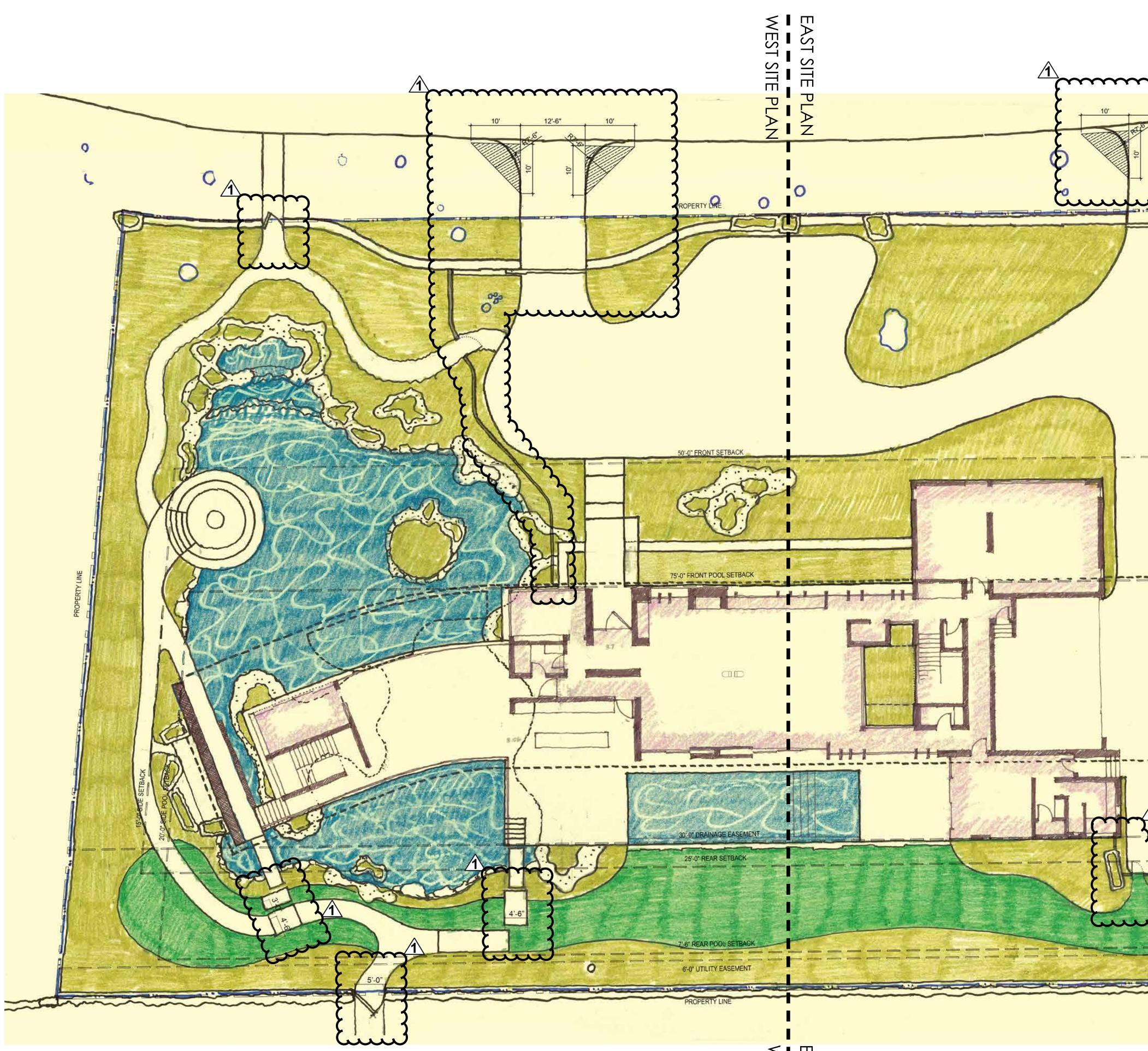




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2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT N	IAME:
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PROFESSIONAL SEAL(S):

Â	07-30-21	PRELIM ZONING
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No.	DATE	DESCRIPTION

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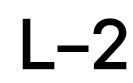
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OVERALL SITE PLAN -HARDSCAPE

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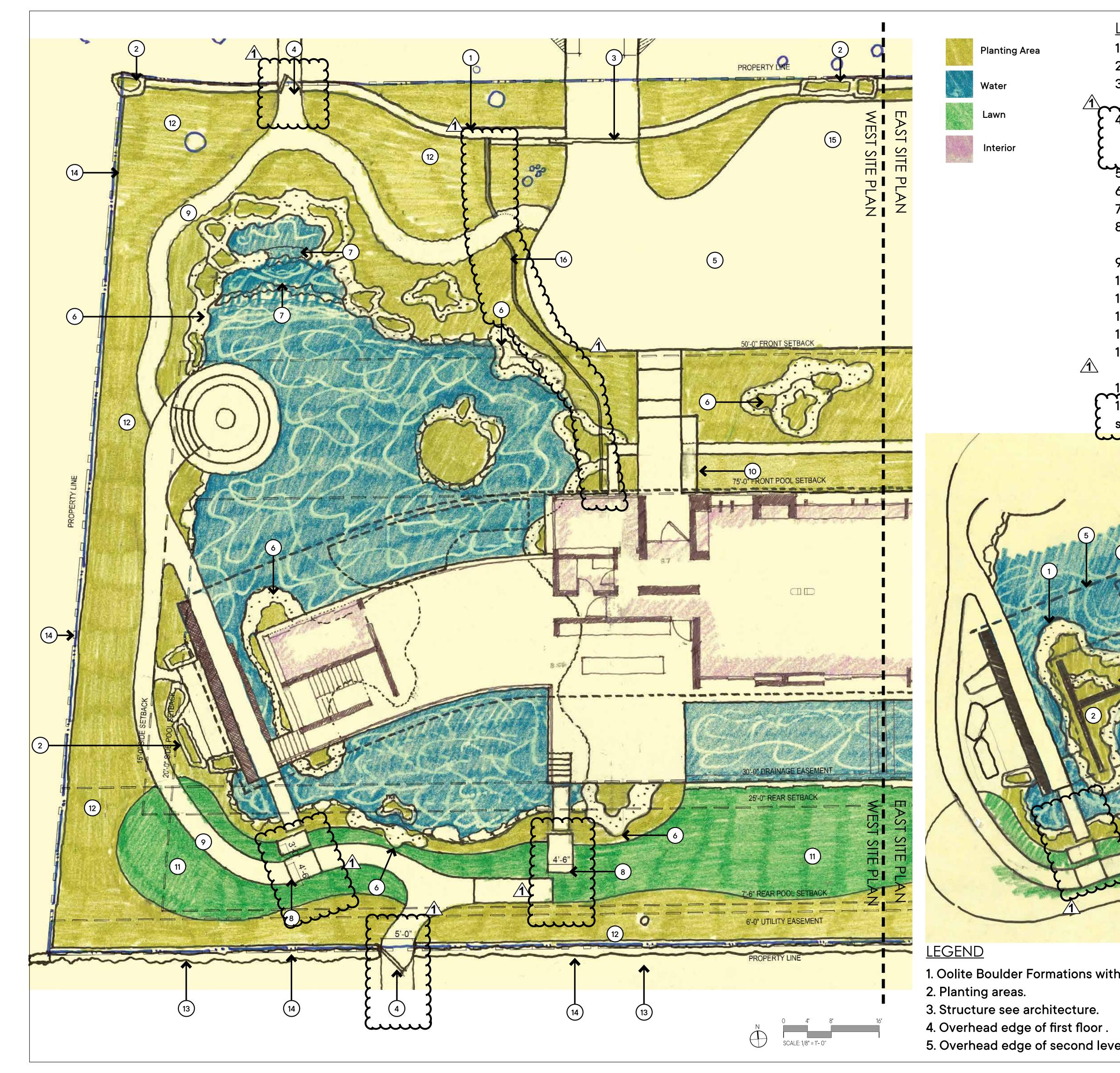
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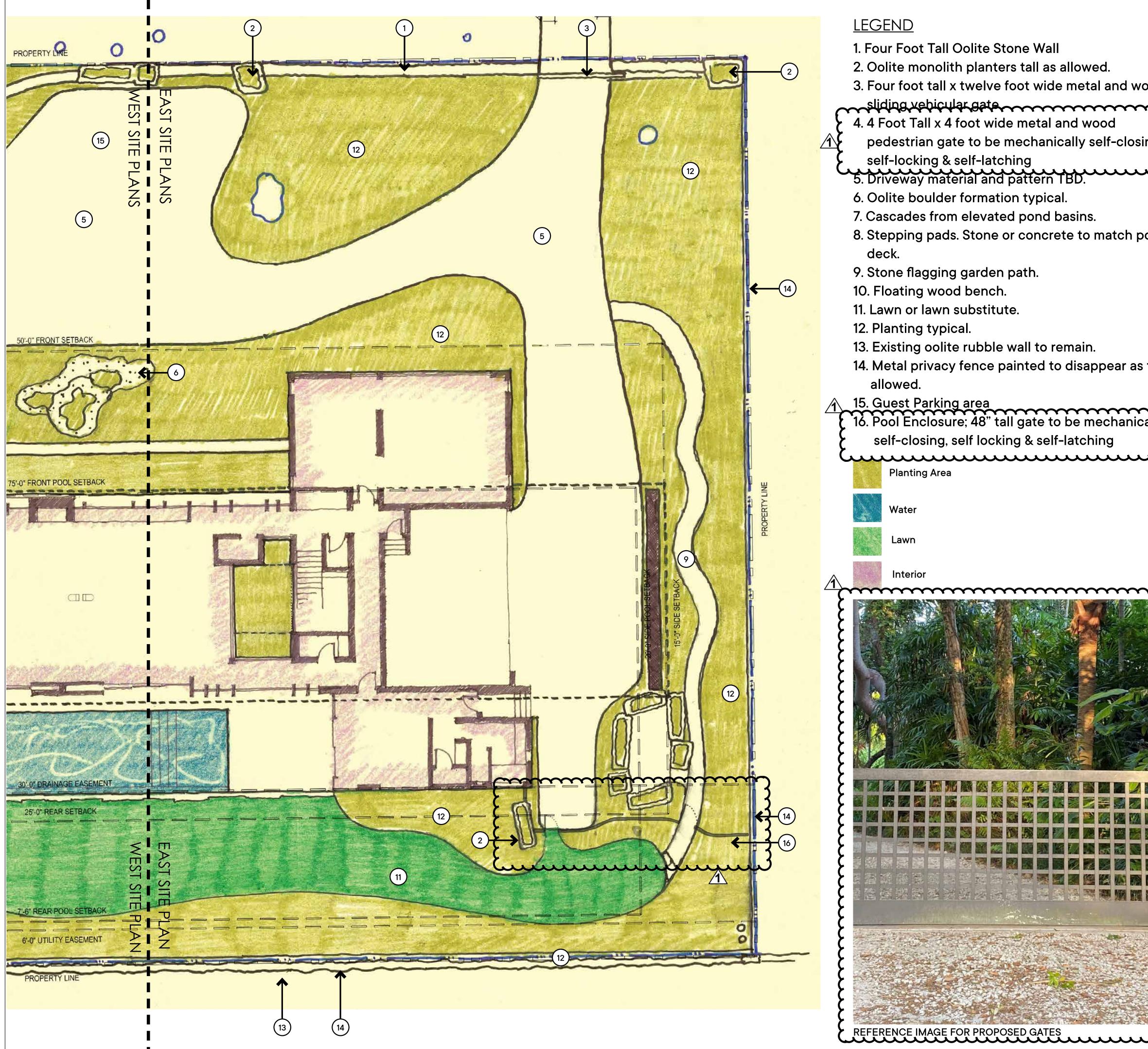


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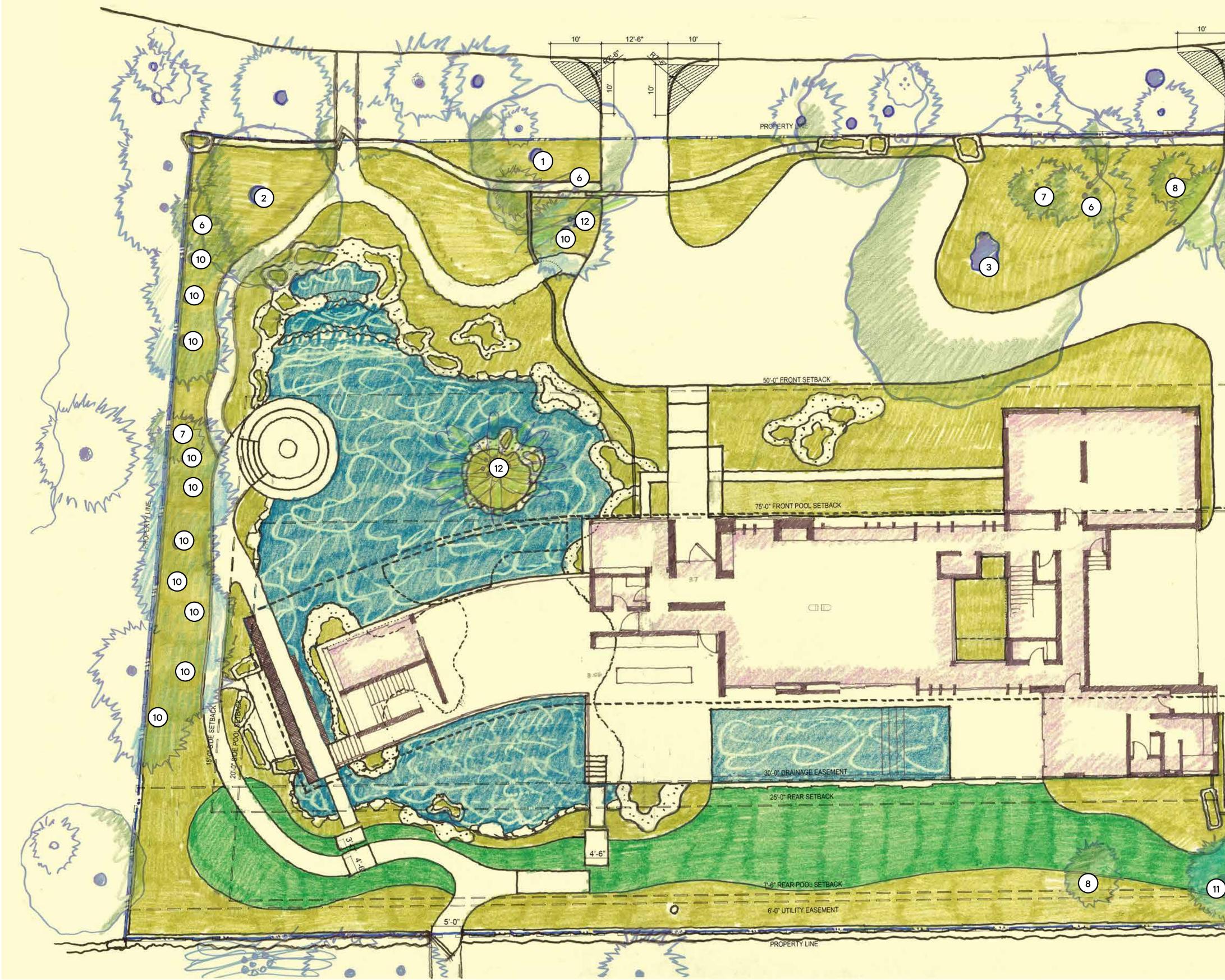
SCALE: 3/32" = 1'- 0"



<u>LEGEND</u> 1. Four Foot Tall Oolite Stone Wall 2. Oolite monolith planters tall as allowed. 3. Four foot tall x twelve foot wide metal and wood sliding vehicular gate.	2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990   FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM		
4. 4 Foot Tall x 4 foot wide metal and wood pedestrian gate to be mechanically self-closing, self-locking & self-latching	PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156		
<ol> <li>Driveway material and pattern TBD.</li> <li>Oolite boulder formation typical.</li> <li>Cascades from elevated pond basins.</li> </ol>	PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN		
8. Stepping pads. Stone or concrete to match pool deck. 9. Stone flagging garden path. 10. Floating wood bench. 11. Lawn or lawn substitute.	ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133 STRUCTURAL ENGINEERING: TBD		
12. Planting typical. 13. Existing oolite rubble wall to remain.	MEP ENGINEERING: TBD		
14. Metal privacy fence painted to disappear as tall as allowed. 15. Guest Parking area	GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146		
16. Pool Enclosure; 48" tall gate to be mechanically self-closing, self locking & self-latching	LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133		
	PROJECT NAME: JAIN RESIDENCE		
	PROFESSIONAL SEAL(S):		
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	Project ID:Drawn By:JAIN RESRRPrint Date:Scale:07.29.2021AS NOTEDSheet Title:WEST SITE PLAN -HARDSCAPE		
<b>h planters.</b> 0 4' 8' 16'	Sheet No:		
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	[STRANG]
od	2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990   FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM
g,)	PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156
3	PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN
ol	ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133 STRUCTURAL ENGINEERING: TBD
	MEP ENGINEERING: TBD
all as	GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146
	LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133
LLI L	PROJECT NAME: JAIN RESIDENCE
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	07.29.2021 AS NOTED Sheet Title:
	EAST SITE PLAN - HARDSAPE
	Sheet No:
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12'-6" 10'	LEGEND 1. Live Oak 2. Melaleuca species to be verified. To be removed if it is an invasive exotic 3. Strangler Fig 4. Live Oak 5. Coconut Palm		<b>EXAMPLE 1 EXAMPLE 1 EXAMPLE 1 EXAMPLE 1 STRAADG SW 28th Terr.</b> , SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990   FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM			
	6. Chinese Fan Pal 7. Pygmy Date Pal 8. Veithcia Palm 9. Areca Palm 10. Royal Palm 11. Bismarckia Paln 12. Traveler's Tree	ms	A ARC M L 3 M STF	CHITECT: IAX WILSON STR ICENSE # AR0017 326 MARY ST #30 IIAMI, FL 33133 RUCTURAL ENG	ANG, R 7183	IFER JAIN
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No.

07-30-21

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DATE

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OVERALL SITE PLAN -
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PH: 305-373-4990 | FX: 305-373-4991

FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

5440 KERWOODS OAKS DRIVE

CORAL GABLES, FL 33156

AGAM AND JENNIFER JAIN

PROJECT CLIENT(S) / OWNER(S):

MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

MIAMI,FL 33146

GENERAL CONTRACTOR:

LANDSCAPE ARCHITECT:

RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME:

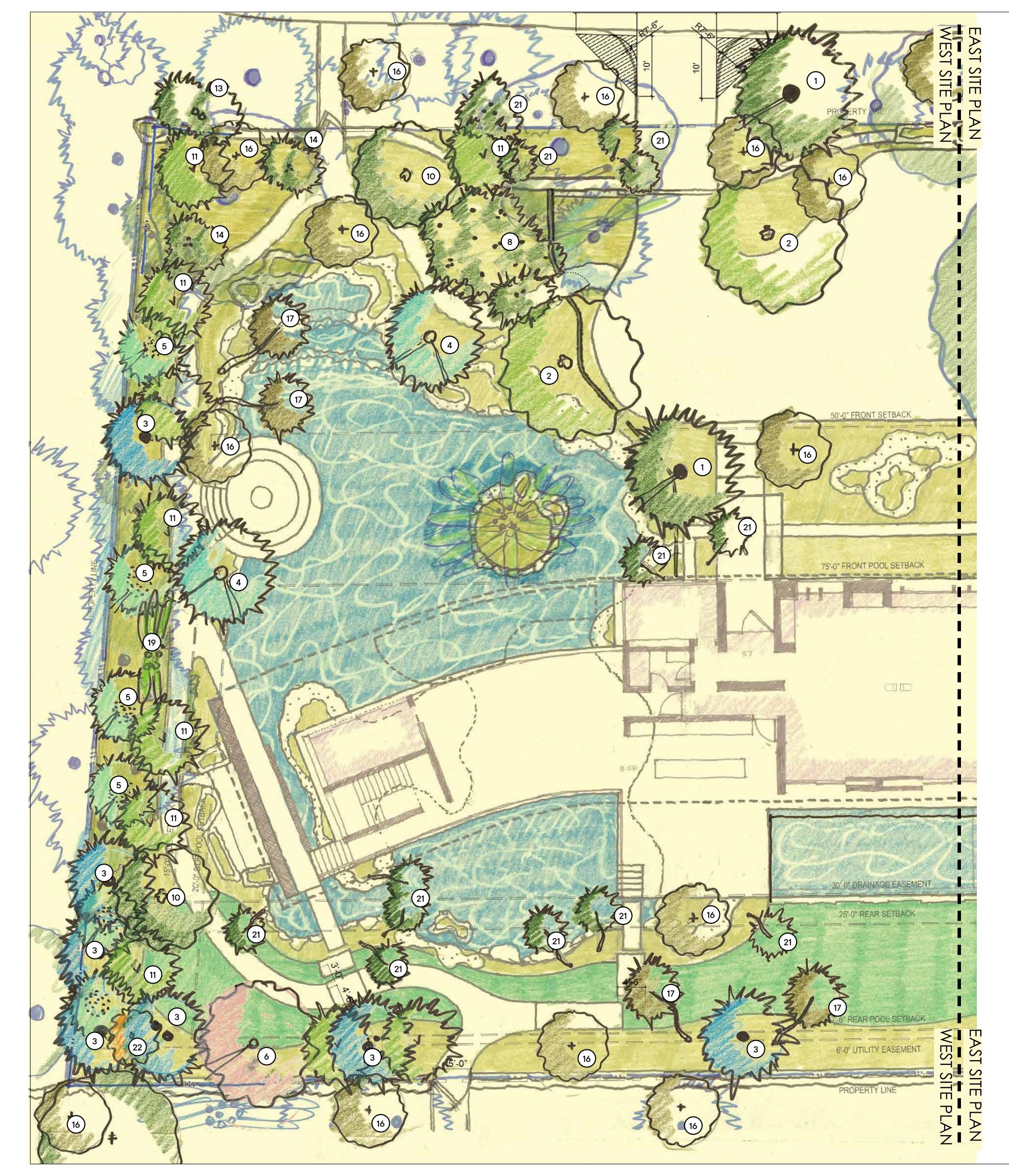
JAIN RESIDENCE

PROFESSIONAL SEAL(S):

MOCCA CONSTRUCTION 3080 SW 38TH CT.

PROJECT LOCATION:

ARCHITECT:



- 1. American Oil Palm
- 2. Bridal-veil Trees
- 3. Relocated Royal Palms
- 4. Copernicia fallense
- 5. Relocated Bamboo
- 6. Cassia bakeriana
- 7. Relocated Coconut Palms
- 8. Relocated Xmas Palms
- 9. Relocated Solitaire Palms
- 10. Relocated Mango Trees
- 11. Relocated Veitchia Palms
- 12. Relocated Xmas Palm from Right of Way
- 13. Relocated Chinese Fan Palms from Right of Way
- 14. Relocated Chinese Fan Palms
- 15. Misc. Native Canopy Trees
- 16. Misc. Native Understory Trees
- 17. Character Sabal Palms
- 18. Relocated Sabal Palms
- 19. Relocated Traveler's Tree
- 20. Relocated White Bird of Paradise
- 21. Coccothrinax and Thrinax Palms
- 22. Relocated Song Of India

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PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING:

MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

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WEST SITE PLAN -

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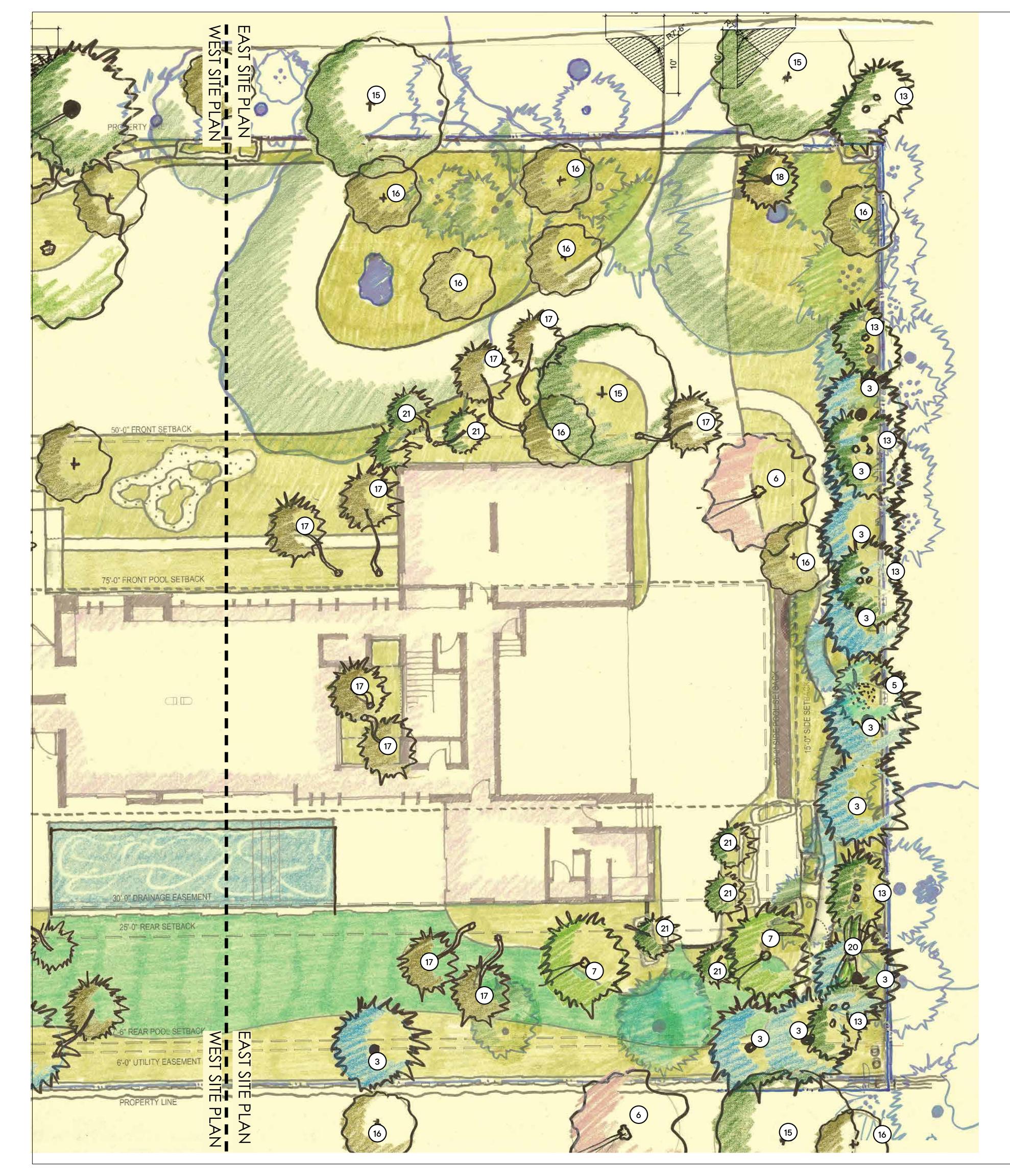
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07.29.2021

Sheet Title:

Sheet No:

SCALE: 1/8" = 1'- 0"



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PROJECT NAME: JAIN RESIDENCE

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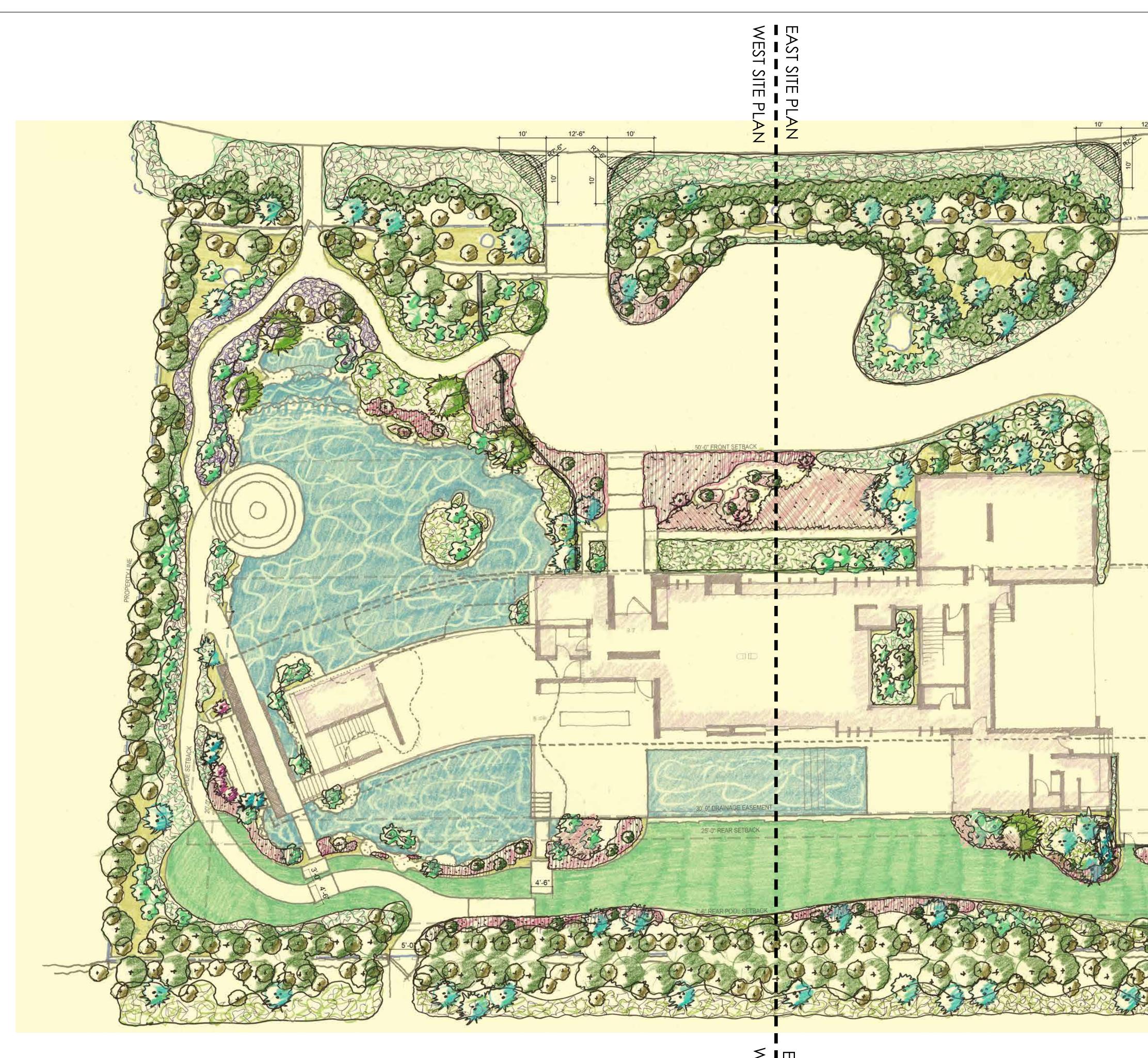
EAST SITE PLAN -PROPOSED PLANTING

Sheet No:

SCALE: 1/8" = 1'- 0"

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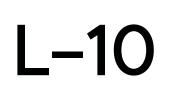




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### OVERALL SITE PLAN -UNDERSTORY PLANTING

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No.	DATE	DESCRIPTION

PROFESSIONAL SEAL(S):

JAIN RESIDENCE

PROJECT NAME:

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

## 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

MEP ENGINEERING: TBD

STRUCTURAL ENGINEERING: TBD

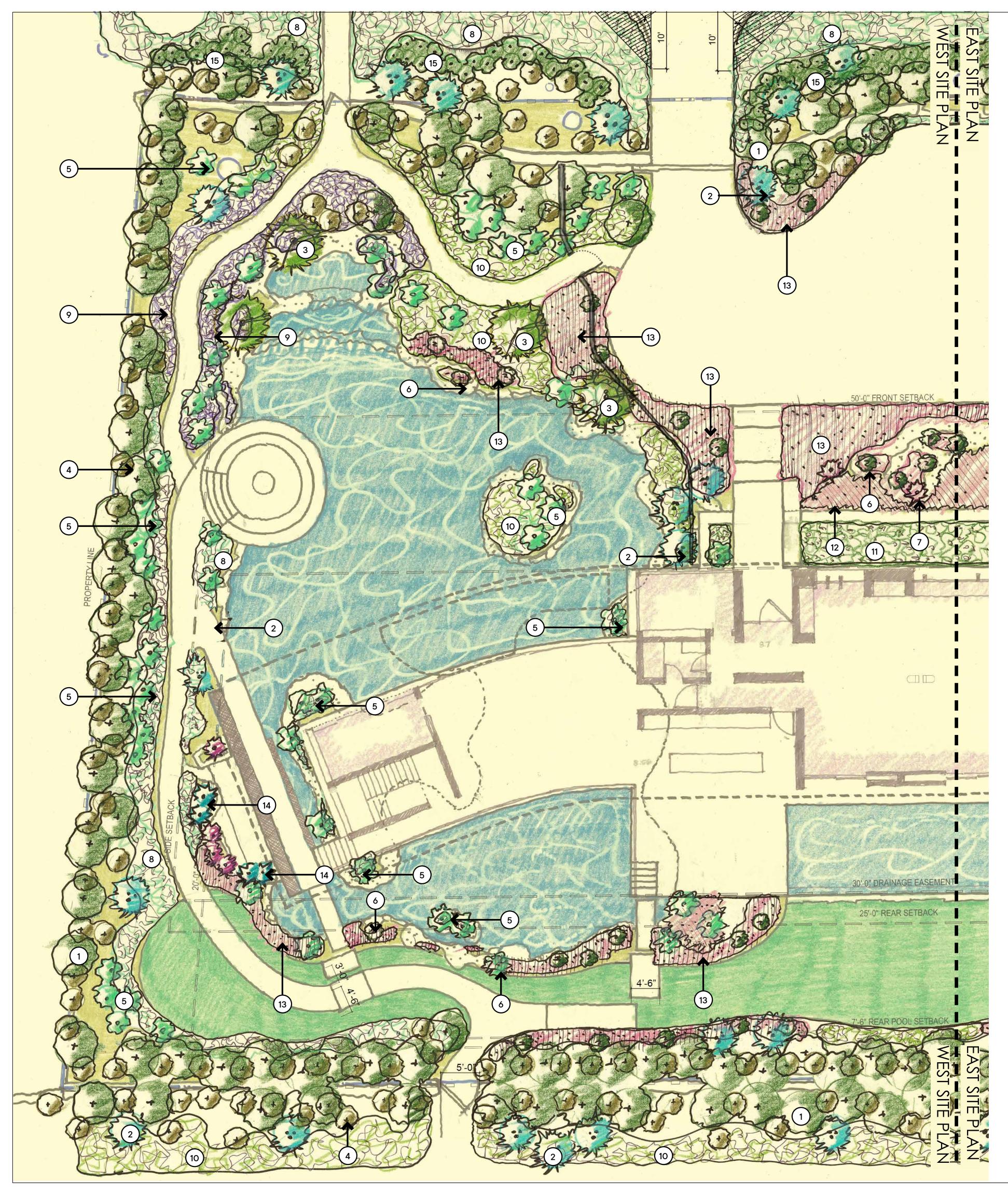
PROJECT LOCATION:

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2900 SW 28th Terr., SUITE 301

COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991

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- 1. Misc. Understory Shrubs
- 2. Silver Saw Palmetto and Sabal Minor
- 3.Misc. Dioon , Encephalartos, and Ceratazamia
- 4. Misc. low understory shrubs
- 5. Misc. Philodendron, Anthurium, Alocasia and Monstera
- 6. Coontie
- 7. Aechmea Dean
- 8. Native Fern Matrix
- 9. Medium height flowering groundcover
- 10. Native Ground cover matrix
- 11. Low Dark Green Ground Cover
- 12. Low native Grasses and wild flowers
- 13. Low flowering ground cover
- 14. Medium Height Dark Green Ground Cover
- 15. Miscellaneous Ground Cover

# [STRANG]

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MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

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WEST SITE PLAN -

UNDERSTORY PLANTING

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Print Date:

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Sheet No:

SCALE: 1/8" = 1'- 0"



- 1. Misc. Understory Shrubs
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PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING:

MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

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No.	DATE	DESCRIPTION

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EAST SITE PLAN -

PROPOSED PLANTING

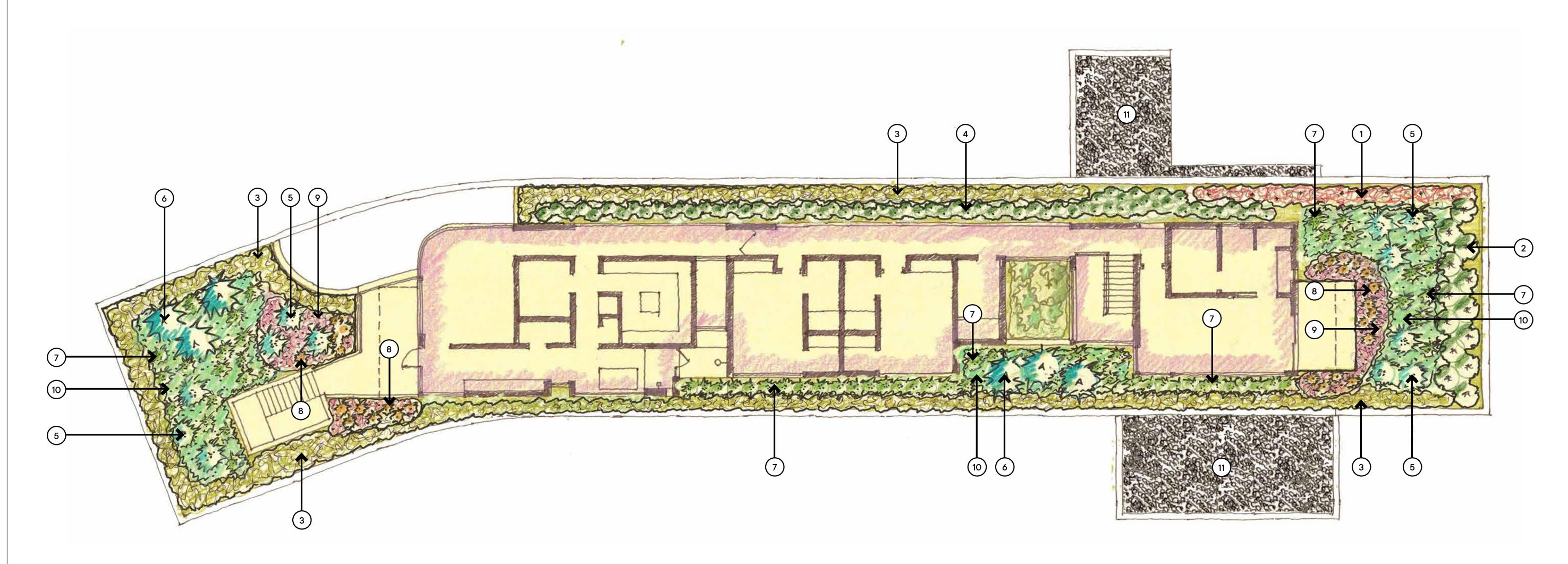
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Project ID: Drawn By:

Scale:

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- 2. Monstera deliciosa
- 3. Golden Creeper
- 4. Philodendron Burle Marx
- 5. Fackahatchee Grass
- 6. Agave wercklei
- 7. Gamma Grass
- 8. Aloe vera
- 9. Sunshine Mimosa 10. Silver Love Grass
- 11. Mexican River Rock



Planting Area



Interior

1. Native Passion Vine and Clerodendron splendens

[STRANG] 2900 SW 28th Terr., SUITE 301

COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL SEAL(S):

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Â	07-30-21	PRELIM ZONING
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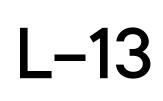
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JAIN RES	RF
Print Date:	Sc
07.29.2021	AS

Drawn By:
RR
Scale:
AS NOTED

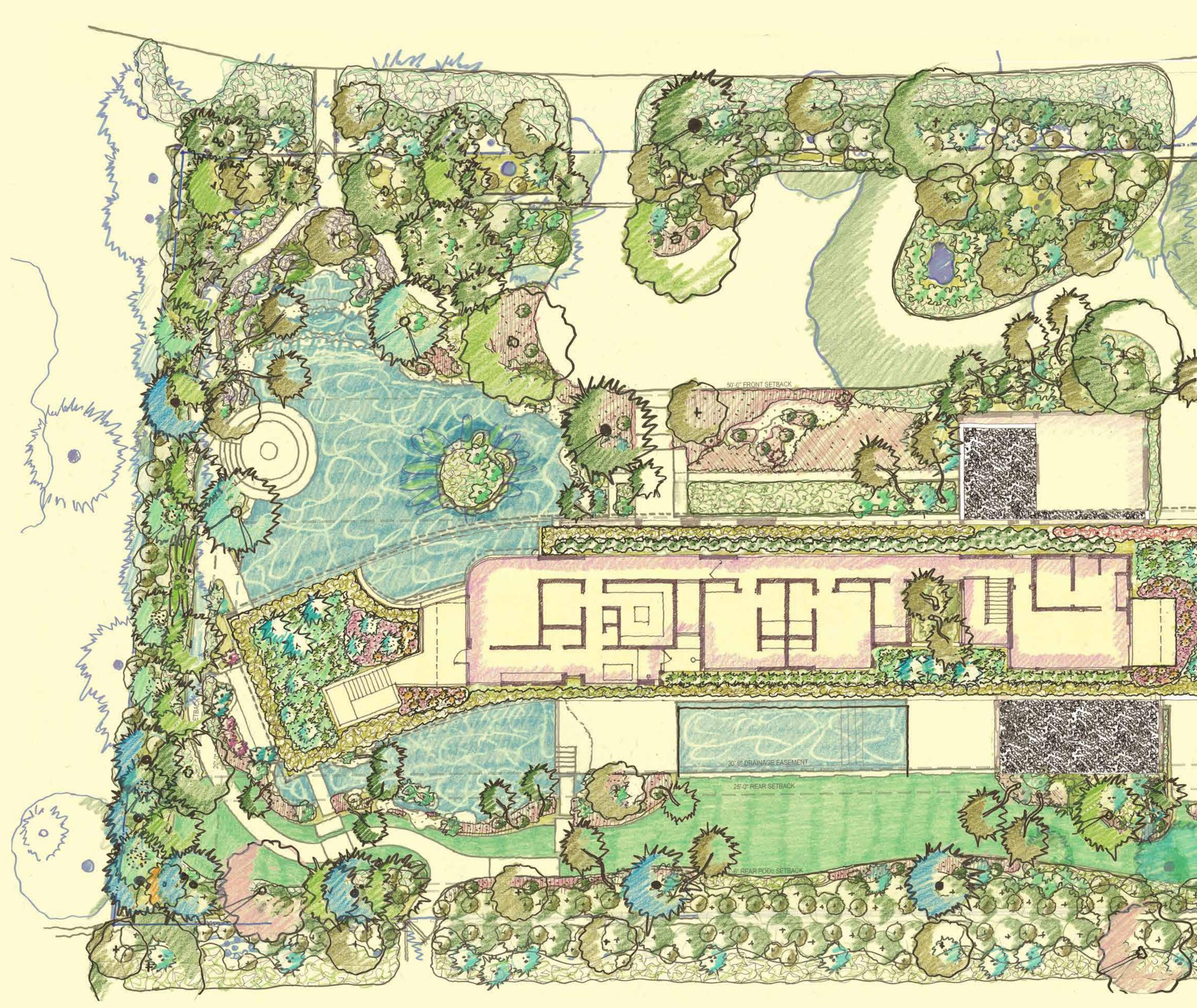
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## SECOND LEVEL -PROPOSED PLANTING

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# FROPOSED FLANTING

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SCALE: 3/32" = 1'- 0"

16'

OVERALL SITE PLAN -
PROPOSED PLANTING

Sheet Title:

Project ID:	
JAIN RES	
Print Date:	
07.29.2021	

Drawn By: RR Scale: AS NOTED

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RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

LANDSCAPE ARCHITECT:

MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

GENERAL CONTRACTOR:

2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123

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PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE

CORAL GABLES, FL 33156

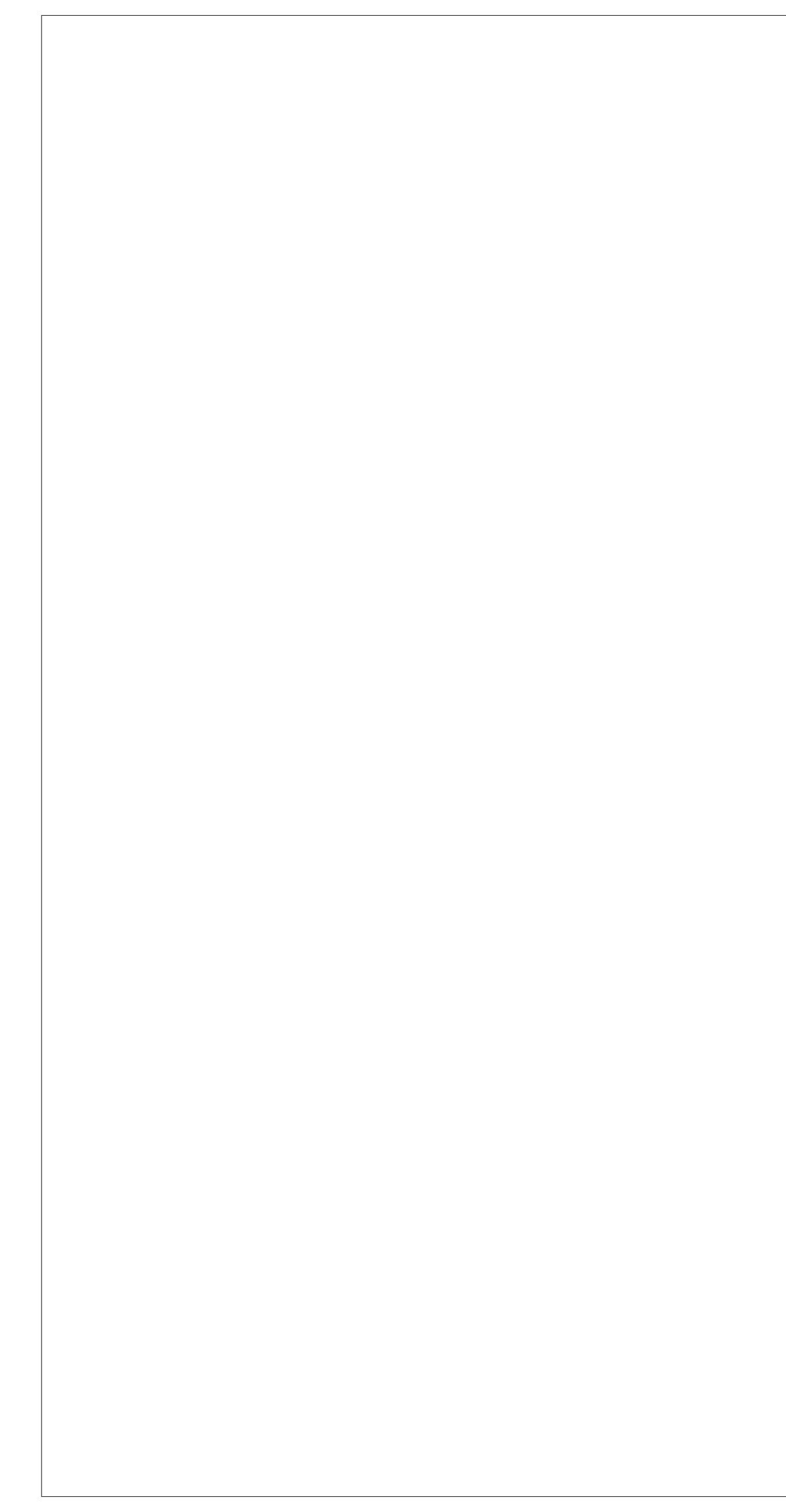
PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

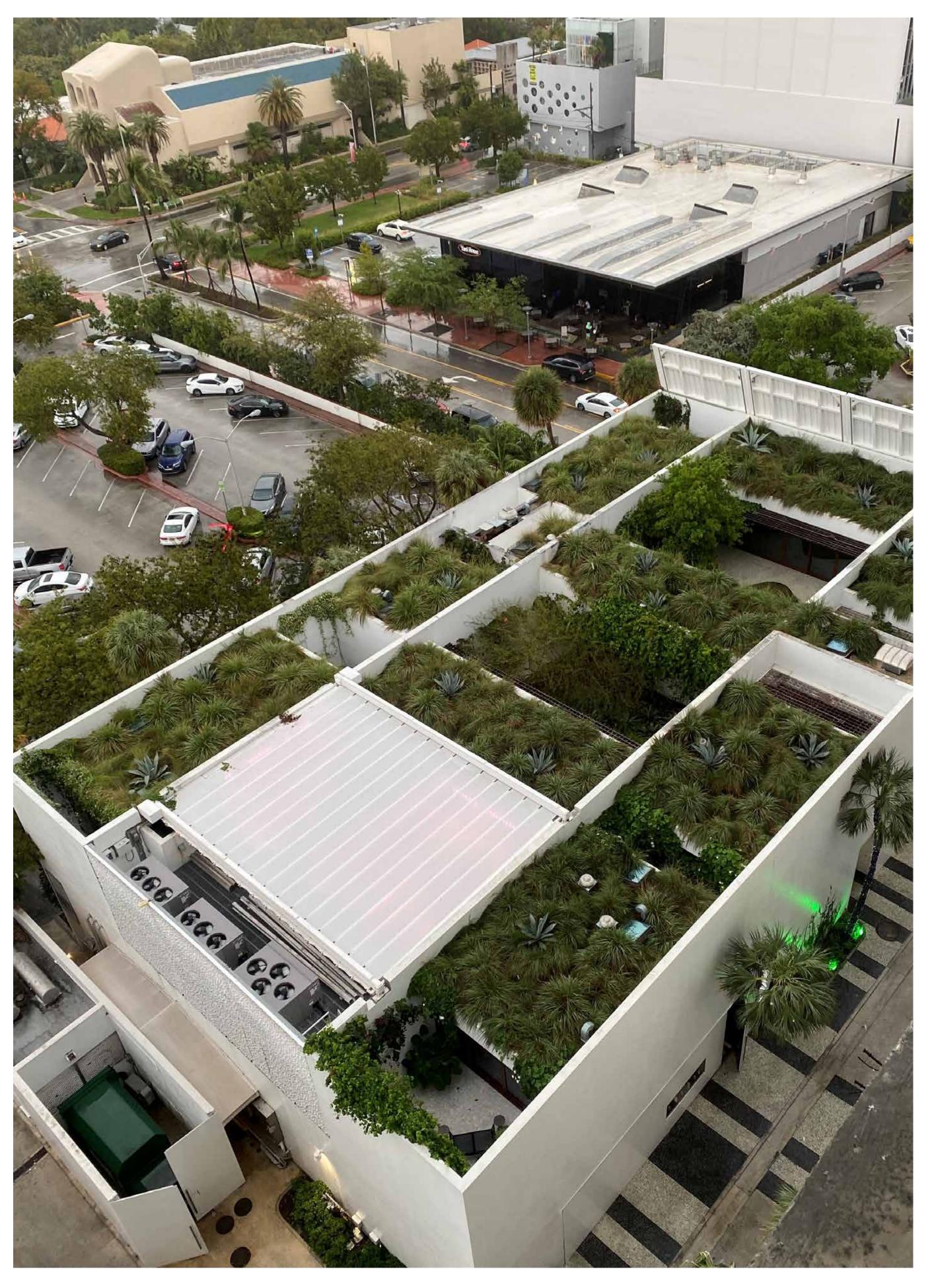
MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

# [STRANG]





SECOND LEVEL PLANTING CONCEPT

# [STRANG]

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MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

## PROJECT NAME:

JAIN RESIDENCE

PROFESSIONAL SEAL(S):

Â	07-30-21	PRELIM ZONING
	04-09-21	BOA SET
No.	DATE	DESCRIPTION

### SHEET ISSUE / REVISION LOG

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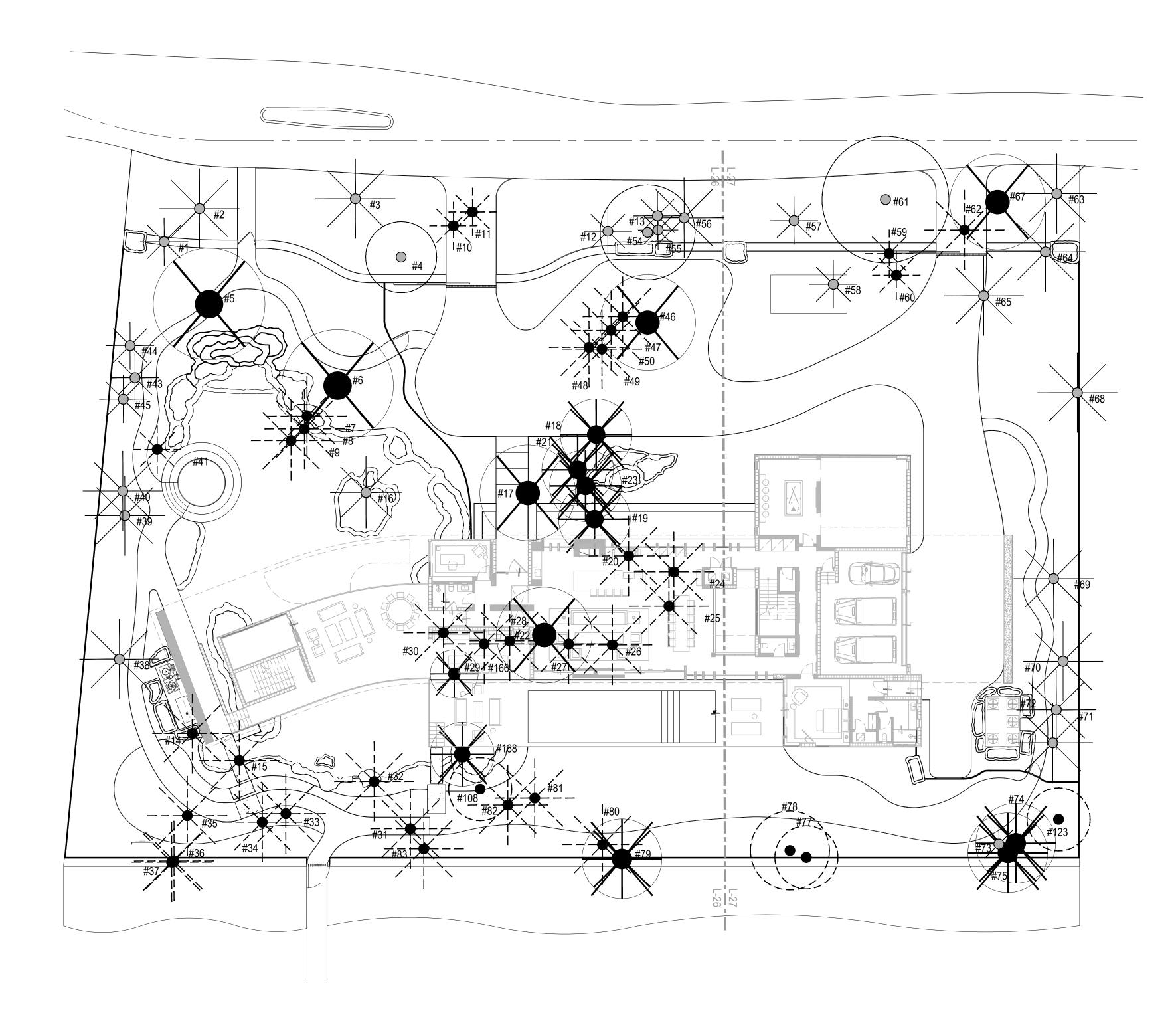
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Scale:



### 5440 KERWOOD OAKS DRIVE, CORAL GABLES, FL 33156 EXISTING TREE SCHEDULE

Per Tree Arborist Report dated 12/17/20

Existing T Iden.	rees and P Symbol	Palms Scientific Name	D.B.H. (inch)	O.A. Height (feet)	Canopy Diameter (feet)	T.P.Z.	CONDITION	REMARKS	Disposition
#1	LCH	Livistonia chinesis	16	20	12	10' x 10'	Good		Remain
#2	PCA	Phoenix canariensis	24	28	20	10' x 10'	Good		Remain
#3	RRE	Roystonea regia	18	36	20	10' x 10'	Good		Remain
#4	QVI	Quercus virginiana	18	22	18	10' x 10'	Good		Remain
#5	MQU	Melaleuca quinquenervia	18	30	26	N.A.	Good		Remove
#6	FAU RRE	Ficus aurea Roystonea regia	36	28	24	N.A.	Poor		Remove
#7 #8	RRE	Roystonea regia	18	26 32	20 20	10' x 10' 10' x 10'	Good Good		Relocate Relocate
#9	CNU	Cocos nucifera	10	18	18	10' x 10'	Good		Relocate
#10	LCH	Livistonia chinesis	16	20	12	10' x 10'	Good		Relocate
#11	LCH	Livistonia chinesis	16	24	12	10' x 10'	Good		Relocate
#12	LCH	Livistonia chinesis	16	20	12	10' x 10'	Good		Remain
#13	LCH	Livistonia chinesis	16	20	12	10' x 10'	Good		Remain
#14	RRE	Roystonea regia	18	26	20	10' x 10'	Good		Relocate
#15 #16	RRE RMA	Roystonea regia Ravenala madagascariensis	18	26 24	20 18	10' x 10' 10' x 10'	Good Good		Relocate Remain
#10	CCI	Callistemon citrinus	36	24	24	10 x 10 10' x 10'	Good		Remove
#18	VAR	Veitchia arecina	18	26	20	10' x 10'	Good		Remove
#19	VAR	Veitchia arecina	18	26	20	10' x 10'	Good		Remove
#20	VAR	Veitchia arecina	18	26	20	10' x 10'	Good		Relocate
#21	PSA	Pseudophoenix sargentii	18	26	20	10' x 10'	Good		Remove
#22	LLU	Ligustrum lucidum	18	26	20	10' x 10'	Good		Remove
#23	LCH	Livistonia chinesis Veitchia arecina	16	20	12	10' x 10'	Good		Remove
#24 #25	VAR VAR	Veitchia arecina Veitchia arecina	18	26 26	20	10' x 10' 10' x 10'	Good Good		Relocate Relocate
#25	VAR	Veitchia arecina	18	26	20	10' x 10' 10' x 10'	Good		Relocate
#27	VAR	Veitchia arecina	18	26	20	10 × 10 10' × 10'	Good		Relocate
#28	RRE	Roystonea regia	18	26	20	10' x 10'	Good		Relocate
#29	CNU	Cocos nucifera	12	18	18	10' x 10'	Good		Relocate
#30	RRE	Roystonea regia	18	35	20	10' x 10'	Good		Relocate
#31	RRE	Roystonea regia	18	32	20	10' x 10'	Good		Relocate
#32	RRE RRE	Roystonea regia Roystonea regia	18	26	20	10' x 10'	Good		Relocate
#33 #34	RRE	Roystonea regia	18	26 26	20 20	10' x 10' 10' x 10'	Good Good		Relocate Relocate
#35	RRE	Roystonea regia	18	28	20	10 × 10 10' × 10'	Good		Relocate
#36	RRE	Roystonea regia	18	24	20	10' x 10'	Good		Relocate
#37	RMA	Ravenala madagascariensis	18	24	18	10' x 10'	Good		Relocate
#38	RRE	Roystonea regia	18	34	20	10' x 10'	Good		Remain
#39	RRE	Roystonea regia	18	36	20	10' x 10'	Good		Remain
#40	RRE LCH	Roystonea regia Livistonia chinesis	18	34	20	10' x 10'	Good		Remain
#41 #42	LCH	Livistonia chinesis	16 16	20 18	12 12	10' x 10' 10' x 10'	Good Good	NOT FOUND ON SITE	Remain
#43		Livistonia chinesis	16	22	12	10' x 10'	Good	NOT FOOND ON SITE	Remain
#44	LCH	Livistonia chinesis	16	18	12	10' x 10'	Good		Remain
#45	LCH	Livistonia chinesis	16	20	12	10' x 10'	Good		Remain
#46	TCA	Terminalia catappa	22	28	24	N.A.	Poor		Remove
#47	VAR	Veitchia arecina	18	26	20	10' x 10'	Good		Relocate
#48	VAR	Veitchia arecina	18	26	20	10' x 10'	Good		Relocate
#49 #50	VAR CNU	Veitchia arecina Cocos nucifera	18	26 26	20 20	10' x 10' 10' x 10'	Good Good		Relocate Relocate
#50	FAU		10	20	38				Relocate
#52	I FAU I	FICUS AUREA	60	42		10' v 10'	Good	NOT FOUND ON SITE	
	CNU	Ficus aurea Cocos nucifera	60 12	42 18		10' x 10' 10' x 10'	Good Good	NOT FOUND ON SITE	
#53			60 12 14	42 18 15	10 10	10' x 10' 10' x 10' 10' x 10'	Good Good Good	NOT FOUND ON SITE NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	
	CNU	Cocos nucifera	12	18	10	10' x 10'	Good	NOT LABELLED ON SITE	Remain
#53 #54 #55	CNU SPA CBR BNO	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis	12 14 8 8 8	18 15 22 15	10 10 12 10	10' x 10' 10' x 10' 10' x 10' 10' x 10'	Good Good Good Good	NOT LABELLED ON SITE	Remain
#53 #54 #55 #56	CNU SPA CBR BNO RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia	12 14 8 8 18	18 15 22 15 20	10 10 12 10 20	10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10'	Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain
#53 #54 #55 #56 #57	CNU SPA CBR BNO RRE LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis	12 14 8 8 8 18 16	18           15           22           15           20           24	10 10 12 10 20 12	10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10'	Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain
#53 #54 #55 #56 #57 #58	CNU SPA CBR BNO RRE LCH LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis	12 14 8 8 18 16 16 16	18           15           22           15           20           24           20	10 10 12 10 20 12 12 12	10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10'	Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Remain
#53 #54 #55 #56 #57 #58 #59	CNU SPA CBR BNO RRE LCH LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis	12 14 8 8 18 18 16 16 16 16	18           15           22           15           20           24           20           18	10 10 12 10 20 12 12 12 12	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Remain Relocate
#53 #54 #55 #56 #57 #58	CNU SPA CBR BNO RRE LCH LCH LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis	12           14           8           18           16           16           16           16           16           16           16           16           16           16	18           15           22           15           20           24           20	10 10 12 10 20 12 12 12	10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10' 10' x 10'	Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Remain
#53 #54 #55 #56 #57 #58 #59 #60	CNU SPA CBR BNO RRE LCH LCH LCH LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis	12 14 8 8 18 18 16 16 16 16	18           15           22           15           20           24           20           18           20	10 10 12 10 20 12 12 12 12 12 12	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Remain Relocate Relocate
#53 #54 #55 #56 #57 #58 #59 #60 #61	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana	12           14           8           18           16           16           16           28	18           15           22           15           20           24           20           18           20           35	10 10 12 10 20 12 12 12 12 12 12 30	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Remain Relocate Relocate Remain
#53 #54 #55 #56 #57 #58 #59 #60 #61 #61 #62 #63 #64	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH UCH VAR VAR VAR	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina	12           14           8           18           16           16           16           16           8           8           8           16           16           16           18           16           16           8           8           8           8           8           8           8	18           15           22           15           20           24           20           18           20           35           26           26           26           26	10 10 12 10 20 12 12 12 12 12 12 30 20 20 20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #64	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH QVI VAR VAR VAR VAR CNU	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Cocos nucifera	12           14           8           18           16           16           16           28           8           8           12	18           15           22           15           20           24           20           18           20           35           26           26           26           26           22	10           10           12           10           20           12           30           20           20           20           20           18	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR QVI	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana	12         14         8         18         16         16         16         16         18         12         18         12         18         18         16         16         16         18         18         12         18	18           15           22           15           20           24           20           18           20           35           26           26           22           26           22           26           26           26           26           26           26           26           26           26           26	10 10 12 10 20 12 12 12 12 12 12 12 20 20 20 20 20 18 20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #66 #67	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR SAC	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla	12         14         8         18         16         16         16         16         16         18         12         18         18         16         16         16         18         18         18         18         18         18         12         18         36	18           15           22           15           20           24           20           18           20           35           26           26           22           26           22           26           26           26           26           26           26           26           26           26           26           26           26           26           26	10         10         12         10         20         12         20         20         20         18         20         24           10          12          13          14          15          16          17          18          20          24 <td>10' x 10' 10' x 10'</td> <td>Good Good Good Good Good Good Good Good</td> <td>NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE</td> <td>Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain</td>	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #67 #68	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR CNU QVI SAC RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia	12         14         8         18         16         16         16         16         16         18         12         18         16         16         16         16         16         18         8         12         18         36         18	18           15           22           15           20           24           20           18           20           35           26           26           22           26           26           26           26           26           26           26           26           26           28	10         10         12         10         20         12         20         20         18         20         24         20           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Renove Remove Remain
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #66 #67 #68 #69	CNU SPA CBR BNO RRE LCH LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR SAC	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla	12         14         8         18         16         16         16         16         16         18         16         16         18         18         16         16         18         8         12         18         36         18         18	18           15           22           15           20           24           20           18           20           35           26           28           36	10         10         12         10         20         12         12         12         12         12         12         12         12         12         12         12         12         12         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         24         20         20         20          20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remove Remain Remain
#53 #54 #55 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #67 #68	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR RRE RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia	12         14         8         18         16         16         16         16         16         18         12         18         16         16         16         16         16         18         8         12         18         36         18	18           15           22           15           20           24           20           18           20           35           26           26           22           26           26           26           26           26           26           26           26           26           28	10         10         12         10         20         12         20         20         18         20         24         20           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Renove Remove Remain
#53         #54         #55         #56         #57         #58         #59         #60         #61         #62         #63         #64         #65         #66         #67         #68         #69         #70	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH QVI VAR VAR VAR VAR VAR VAR CNU QVI SAC RRE RRE RRE RRE RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Veitchia arecina Quercus virginiana Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia Roystonea regia	12           14           8           18           16           16           16           16           16           18           16           18           16           18           16           18           8           8           12           18           36           18           18           18           18	18           15           22           15           20           24           20           18           20           35           26           26           26           26           26           26           26           36           34	10           10           12           10           20           12           12           12           12           12           12           12           12           12           12           12           12           12           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remain Remain Remain
#53         #54         #55         #56         #57         #58         #59         #60         #61         #62         #63         #64         #65         #66         #67         #68         #69         #70         #71         #72         #73	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR CNU QVI SAC RRE RRE RRE RRE RRE BNO	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia Roystonea regia Roystonea regia Roystonea regia Roystonea regia Roystonea regia Roystonea regia Roystonea regia	12         14         8         18         16         16         16         16         16         18	18           15           22           15           20           24           20           18           20           35           26           26           26           26           26           26           36           34           26           34           10	10           10           12           10           20           12           12           12           12           12           12           12           12           12           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remain Remain Remain Remain Remain Remain
#53         #54         #55         #56         #57         #58         #59         #60         #61         #62         #63         #64         #65         #66         #67         #68         #69         #70         #71         #72         #73         #74	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR VAR CNU QVI SAC RRE RRE RRE RRE RRE BNO RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia Roystonea regia Roystonea regia Roystonea regia Roystonea regia Bismarkia nobilis Roystonea regia	12         14         8         18         16         16         16         16         16         18         18         18         16         16         18         36         18	18           15           22           15           20           24           20           18           20           35           26           26           26           26           26           36           34           26           34           20	10           10           12           10           20           12           20           20           20           20           20           20           20           10           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remain Remain Remain Remain Remain Remain Remain Remain
#53         #54         #55         #56         #57         #58         #59         #60         #61         #62         #63         #64         #65         #66         #67         #68         #69         #70         #71         #72         #73         #74         #75	CNU SPA CBR BNO RRE LCH LCH LCH LCH QVI VAR VAR VAR VAR VAR VAR VAR RRE RRE RRE RRE RRE BNO RRE BNO RRE RRE	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia Roystonea regia Roystonea regia Roystonea regia Bismarkia nobilis Roystonea regia Roystonea regia	12         14         8         18         16         16         16         16         16         16         18         18         18         18         12         18         36         18	18           15           22           15           20           24           20           18           20           35           26           26           26           26           26           36           34           26           34           20           22           24	10           10           12           10           20           12           12           12           12           12           12           12           12           12           20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remain Remain Remain Remain Remain Remain
#53         #54         #55         #56         #57         #58         #59         #60         #61         #62         #63         #64         #65         #66         #67         #68         #69         #70         #71         #72         #73         #74         #75         #76	CNU SPA CBR BNO RRE LCH LCH LCH LCH UCH VAR VAR VAR VAR VAR VAR VAR VAR VAR VAR	Cocos nucifera Sabal Palmetto Calophyllum brasiliene Bismarkia nobilis Roystonea regia Livistonia chinesis Livistonia chinesis Livistonia chinesis Livistonia chinesis Quercus virginiana Veitchia arecina Veitchia arecina Veitchia arecina Veitchia arecina Cocos nucifera Quercus virginiana Schefflera actinophylla Roystonea regia Roystonea regia Roystonea regia Roystonea regia Bismarkia nobilis Roystonea regia Roystonea regia	12         14         8         18         16         16         16         16         16         16         18         18         18         8         18	18         15         22         15         20         24         20         18         20         35         26         26         26         26         26         26         36         34         26         34         20         24	10         10         12         10         20         12         12         12         12         12         12         12         12         12         20	10' x 10' 10' x 10'	Good Good Good Good Good Good Good Good	NOT LABELLED ON SITE PLAN BY SURVEYOR / TREE	Remain Remain Remain Relocate Relocate Remain Relocate Remain Relocate Remain Relocate Remain Remain Remain Remain Remain Remain Remain Remain Remain
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# [STRANG]

2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION: 5440 KERWOODS OAKS DRIVE CORAL GABLES, FL 33156

### PROJECT CLIENT(S) / OWNER(S): AGAM AND JENNIFER JAIN

## ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 3326 MARY ST #301 MIAMI, FL 33133

STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

GENERAL CONTRACTOR: MOCCA CONSTRUCTION 3080 SW 38TH CT. MIAMI,FL 33146

LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

### PROJECT NAME: JAIN RESIDENCE

PROFESSIONAL	SEAL(S)
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		1
Â	07-30-21	PRELIM ZONING
	04-09-21	BOA SET
No.	DATE	DESCRIPTION

### SHEET ISSUE / REVISION LOG

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Project JAIN RE

Project ID:	Drawn By:
JAIN RES	RR
Print Date:	Scale:

Scale:
AS NOTED

Sheet Title: OVERALL TREE

07.29.2021

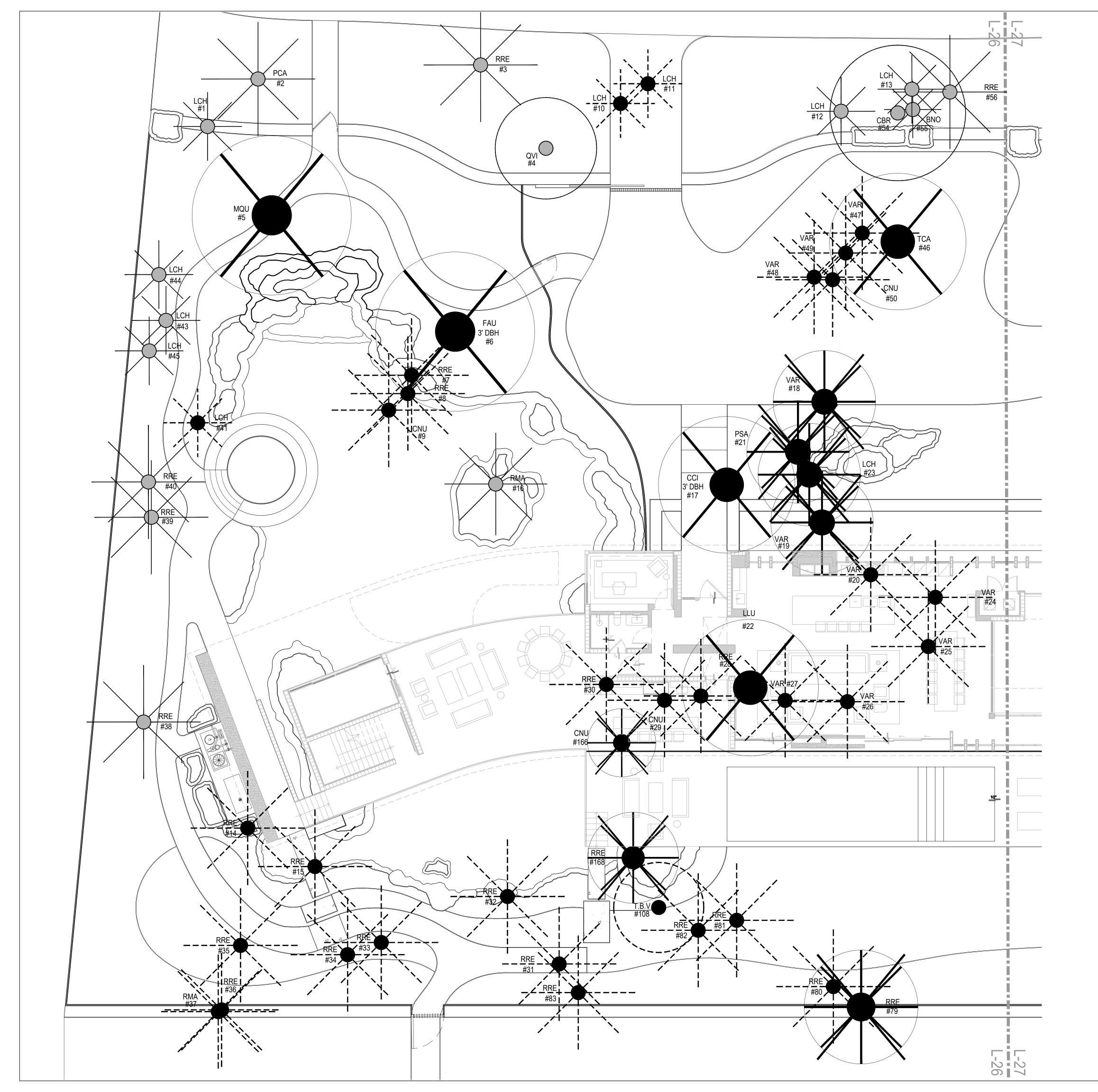
## **DISPOSITION PLAN** & SCHEDULE

Sheet No:

-32'

L-16

 $\bigcirc$ SCALE: 1/16" = 1'- 0"



2900 SW 28th Terr., SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.STRANGARCHITECTURE.COM

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DETAILED TREE

**DISPOSITION PLAN** 

- WEST

L-17

PRELIM ZONING

BOA SET

DESCRIPTION

Drawn By:

AS NOTED

RR

Scale:

SHEET ISSUE / REVISION LOG

07-30-21

04-09-21

Project ID:

JAIN RES

Print Date:

07.29.2021

Sheet Title:

Sheet No:

4'

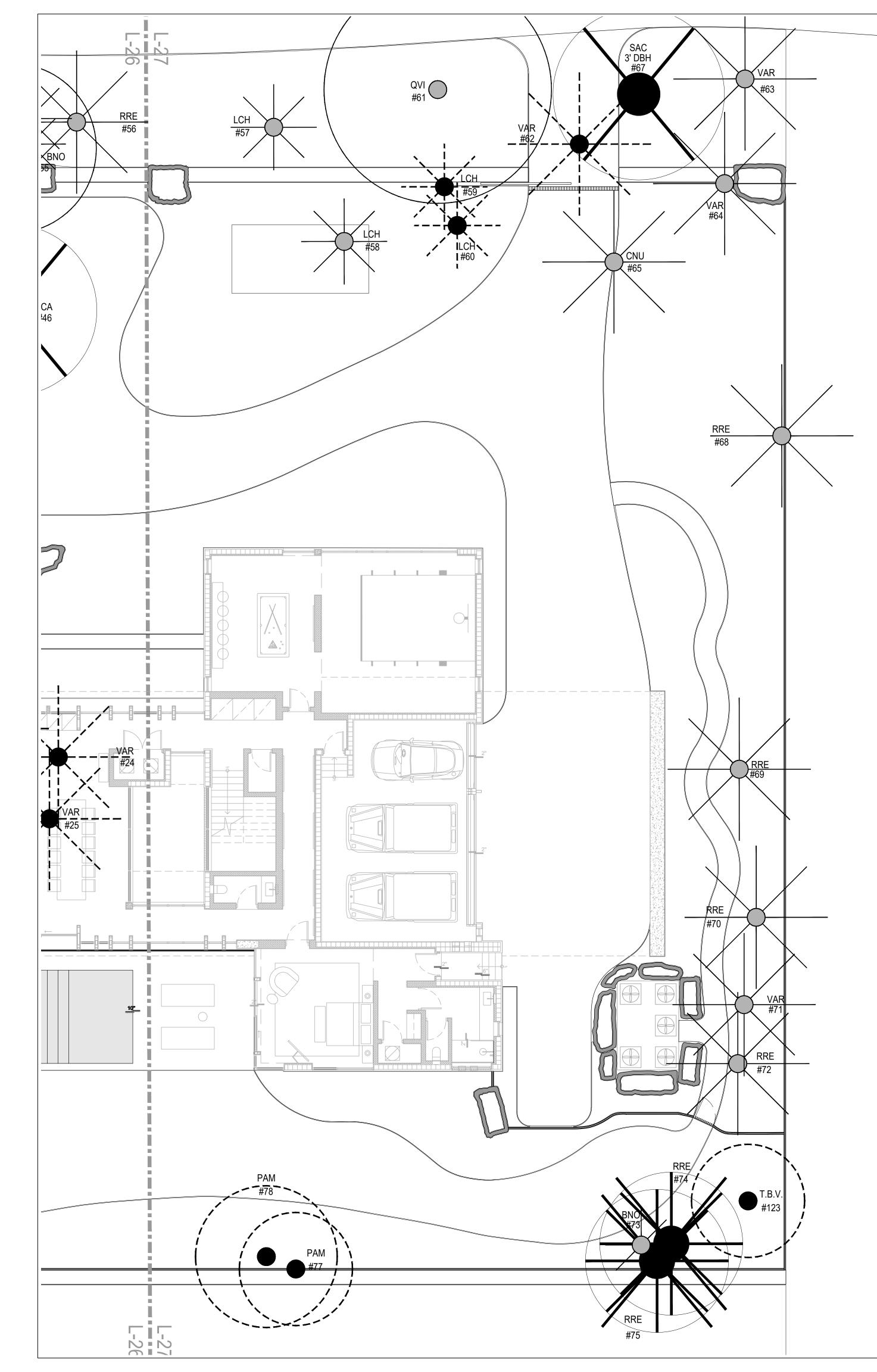
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No.



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STRUCTURAL ENGINEERING: TBD

MEP ENGINEERING: TBD

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LANDSCAPE ARCHITECT: RAYMOND JUNGLES INC. 2964 AVIATION AVENUE MIAMI, FL 33133

PROJECT NAME:

JAIN RESIDENCE

PROFESSIONAL SEAL(S):	

SHEET ISSUE / REVISION LOG

BOA SET

DESCRIPTION

Drawn By:

AS NOTED

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Scale:

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DETAILED TREE

**DISPOSITION PLAN** 

- EAST

L-18

Project Manager assigned to this project.

04-09-21

Project ID: JAIN RES

Print Date:

07.29.2021

Sheet Title:

Sheet No:

0 4' 8'

SCALE: 1/8" = 1'- 0"

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DATE

No.

## jungles

### PROJECT: 5440 KERWOOD OAKS DR.

Prepared for: Agam Jaim

Date: 07/30/2021 Purpose: BOA SUBMITTAL

### Note:

The revised drawings are in response to comments received from the City of Coral Gables. The responses below reflect revisions or clarifications in response to the comments received on May, 19, 2021.

All changes described below are based upon design drawings prepared by Raymond Jungles, Inc. The revisions have been noted as REV-1 on amended drawings.

Comment	Comment
#1	PLANS THAT SHOW A POOL MUST SHOW A ZONING CODE APPROVED POOL WITH FOUR (4') FEET HIGH WITH FENCES AND ALL GATES TO BE MECHANICALLY SELF-CLOSING AND SELF-LOCKING AS PART OF PERMIT. SEE ZONING CODE, SECTION 5-108 SWIMMING POOL AND DIVISION 24 FOR WALL AND FENCES REGULATIONS. HEIGHT OF WALLS AND FENCES ALLOWED FOR THIS AREA IS 6 FEET. Response / Revision Narrative
Four (1) 18" High m	echanically self-closing, self-latching, and self-locking gates were added to the site plans. Please
refer to sheets L-3	
Comment	Comment
#2	PER ZONING CODE WALKWAYS SHALL BE PERMITTED IN THE REQUIRED SETBACK AREA NOT EXCEEDING FIVE (5) FEET IN WIDTH. SEE ARTICLE 5, SECTION 5-118 PAVERS AND WALKWAYS.
	Response / Revision Narrative
The paths in the se	tbacks were modified to not exceed 5' in width. Please refer to sheet L-3.
Comment	Comment
#3	PROVIDE A SECTION DETAIL FOR PROPOSED GATES. SOLID GATES SHALL BE REVIEWED AND APPROVED BY THE BOARD OF ARCHITECTS. SEE ZONING CODE, SECTION 5-2401 MATERIALS AND SPECIFICATIONS
	Response / Revision Narrative
Please refer to shee	et L-4 for a reference image illustrating the design intent for the vehicular & pedestrian gates.
Comment	Comment
#4	AS PER SECTION 4-101, #13, DRIVEWAYS AND ASSOCIATED CURB-CUTS SHALL NOT EXCEED ELEVEN (11) FEET IN WIDTH WITHIN THE PUBLIC RIGHT-OF-WAY. A MAXIMUM INCREASE SIZE OF EIGHTEEN (18) FEET WILL BE ALLOWED WITH BOARD OF ARCHITECTS APPROVAL. INDICATE DRIVEWAY WIDTH. Driveways and associated curb-cuts shall only be permitted when providing access to a garage, carport or porte-cochere. Building sites less than one hundred (100) feet of street frontage shall be limited to one (1) curb-cut. To accommodate street trees and minimal sidewalk disruption, driveways and curb-cuts shall not exceed eleven (11) feet in width within the public right-of-way. Where an alley or side street is present, curb-cuts or driveways with access provided from the front property line shall be reviewed by the Board of Architects. NOTE: DRIVEWAY AS PROPOSED CREATES EXTRA PARKING SPACE AREAS. CLARIFY GUEST PARKING AND GUEST HOUSE PARKING AREA.
	Response / Revision Narrative
	istent at 12'-6" width in the public R.O.W. A note was added to clarify guest parking area. Please
refer to sheets L-3	
Comment	Comment
#5	PROVIDE THE TRIANGLE OF VISIBILITY FOR THE DRIVEWAY. IF THERE IS NO SIDEWALK LOCATED BETWEEN THE PROPERTY LINE AND THE STREET, THEN THE LEGS OF THE TRIANGLE OF VISIBILITY SHALL: BE TEN (10) FEET LONG; AND MEET AT THE POINT OF INTERSECTION OF A LINE THAT EXTENDS FROM THE EDGE OF THE DRIVEWAY AND A LINE THAT EXTENDS FROM THE EDGE OF

## jungles

	PAVEMENT OF THE ABUTTING STREET (FLARE OUTS ARE INCLUDED WITHIN THE TRIANGLE OF		
	VISIBILITY). SEE ZONING CODE, ARTICLE 5, SECTION 5-1406 VISIBILITY TRIANGLES.		
	Response / Revision Narrative		
Visibility triangles	s were added to the Site Plan. Please refer to sheet L-2.		
Comment	Comment		
#6	PROVIDE AREA AND DEPTH OF PROPOSED WATER FEATURES. IF PROPOSED WATER FEATURES AREA IS MORE THAN TWO HUNDRED FIFTY (250) SQUARE FEET AND A DEPTH OF MORE THAN 18 INCHES IT HAS TO COMPLY WITH POOL ENCLOSURE REQUIREMENTS. SEE ZONING CODE, DEFINITIONS FOR SWIMMING POOL.		
	Response / Revision Narrative		
The pond featu	re is deeper than 18". The pond feature does comply with pool enclosure requirements.		
Please refer to sh	neets L-3 and L-4.		
Comment	Comment		
#7	ARCHITECTURAL MODIFICATIONS		
	Response / Revision Narrative		
As per the lates	t architecture, the path through the breezeway has been added to the Site Plan.		
Comment	Comment		
#8	CIVIL ENGINEER PROPOSAL		
	Response / Revision Narrative		
There is a future	e Septic Tank proposed along the east part of the site.		
The Septic Tank	clocation influenced the change of the driveway layout.		
Canopy planting	Canopy planting required the removal of a proposed Sabal Palm.		
Understory plar	nting required the removal of certain groundcovers and shrubs as well.		