



## RESIDENTIAL ADDITION

2017 ALHAMBRA CIRCLE  
CORAL GABLES FL 33134



IMAGINATION DESIGN GROUP  
ARCHITECTURAL DESIGN SERVICES

3370 CORAL WAY  
MIAMI, FLORIDA, 33145  
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# ZONING INFORMATION

SETBACKS	FRONT	SIDE	SIDE STREET	REAR	REAR (WATERWAY ONLY)
PRINCIPAL BUILDING	25.0'	19.62' / 5.41'	N/A	10.0'	N/A
ACCESSORY BUILDING	N/A	N/A	N/A	N/A	N/A
SWIMMING POOL	N/A	N/A	N/A	N/A	N/A
TENNIS COURTS	N/A	N/A	N/A	N/A	N/A
SCREENED ENCLOSURE	N/A	N/A	N/A	N/A	N/A

1. INSIDE LOTS SHALL HAVE MINIMUM SIDE SETBACKS, WHICH TOTAL TWENTY (20%) PERCENT OF THE WIDTH OF THE MEASURED ACROSS THE FRONT SETBACK LINE WITH A MINIMUM TOTAL OF TEN (10) FEET AND UP TO A MAXIMUM OF TWENTY (20) FEET.

**LOT SIZE** 17,280 SQ. FT.

ALLOWABLE F.A.F.	
5,000 SQ. FT @ 48%	2,400 SQ. FT.
5,000 SQ. FT @ 35%	1,750 SQ. FT.
7,280 SQ. FT @ 30%	2,184 SQ. FT.
<b>MAX ALLOWED</b>	<b>6,334 SQ. FT. (ALLOWABLE)</b>

EXISTING FIRST FLOOR	3,099 SQ. FT.
EXISTING SECOND FLOOR	2,362 SQ. FT.
FIRST FLOOR ADDITION	433 SQ. FT.
SECOND FLOOR ADDITION	426 SQ. FT. 14
<b>TOTAL F.A.F.</b>	<b>6,320 SQ. FT. (PROVIDED)</b>

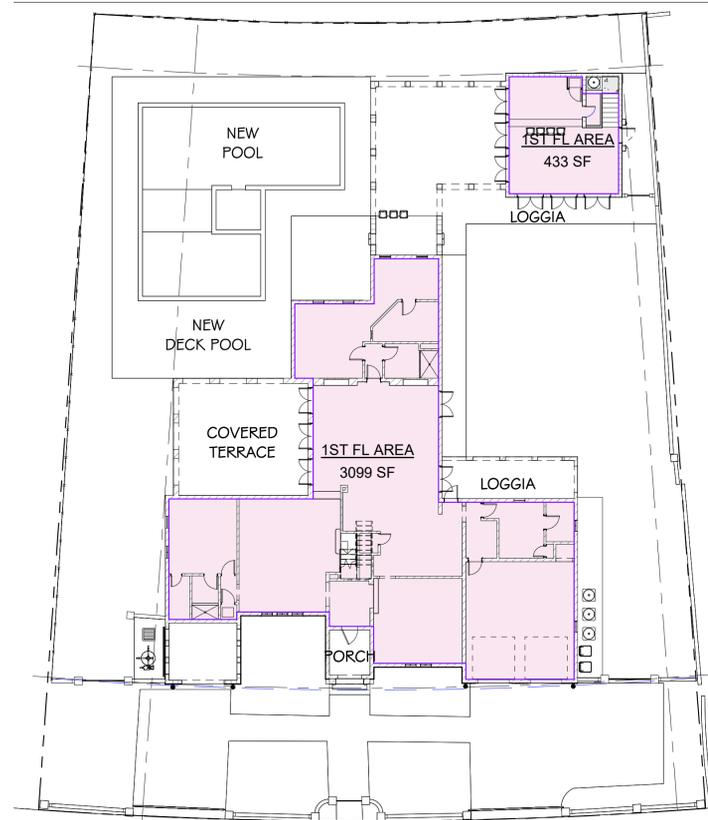
GROUND AREA COVERAGE	
17,280 SQ. FT @ 35%	6,048 SQ. FT. (ALLOWABLE)
EXISTING RESIDENCE	3,318 SQ. FT.
NEW ADDITION AREA	513 SQ. FT.
ENTRY PORCH	91 SQ. FT.
EXIST. LOGGIA	202 SQ. FT.
EXISTING COVERED TERRACE	556 SQ. FT.
NEW LOGGIA ADDITION	685 SQ. FT.
NEW CAR-PORT	162 SQ. FT.
<b>TOTAL GROUND AREA COVERAGE</b>	<b>5,527 SQ. FT. (PROVIDED)</b>

TOTAL AUXILIARY GROUND COVERAGE	
17,280 SQ. FT @ 45%	7,776 SQ. FT. (ALLOWABLE)
PRINCIPLE BUILDING	SQ. FT.
AUXILIARY	0 SQ. FT.
POOL	SQ. FT.
<b>TOTAL AUXILIARY GROUND COVERAGE</b>	<b>0 SQ. FT. (PROVIDED)</b>

LANDSCAPE OPEN SPACE	
17,280 SQ. FT @ 40%	6,912 SQ. FT. (ALLOWABLE)
<b>LANDSCAPE AREA PROVIDED</b>	<b>7,035 SQ. FT. (PROVIDED)</b>

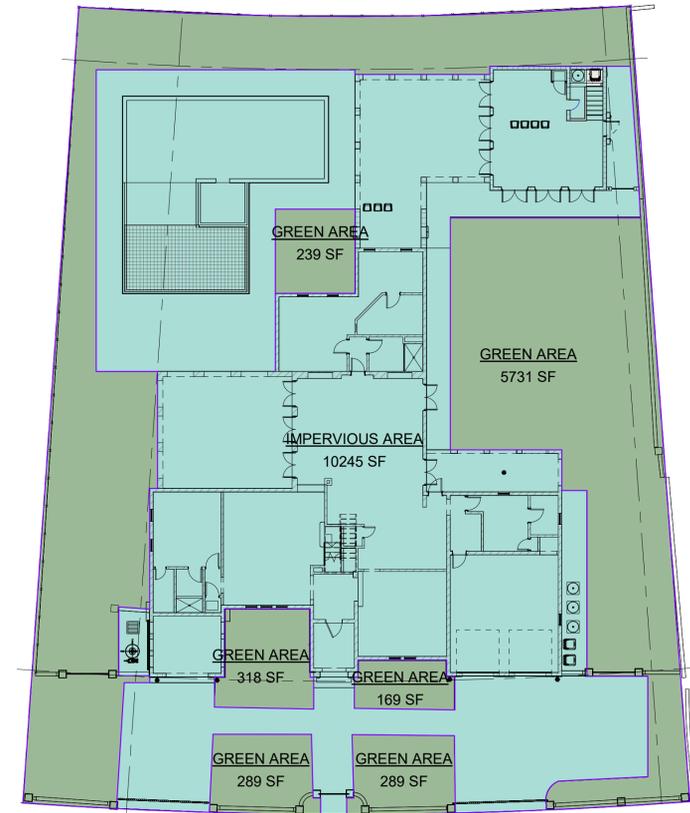
FRONT YARD OPEN SPACE	
6,912 SQ. FT @ 20%	1,382 SQ. FT. (ALLOWABLE)
<b>LANDSCAPE AREA PROVIDED</b>	<b>1,498 SQ. FT. (PROVIDED)</b>

LEGAL DESCRIPTION:  
LOTS 7, AND 8, IN BLOCK 54, OF CORAL GABLES COUNTRY CLUB SECTION PART FOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, AT PAGE 57, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA



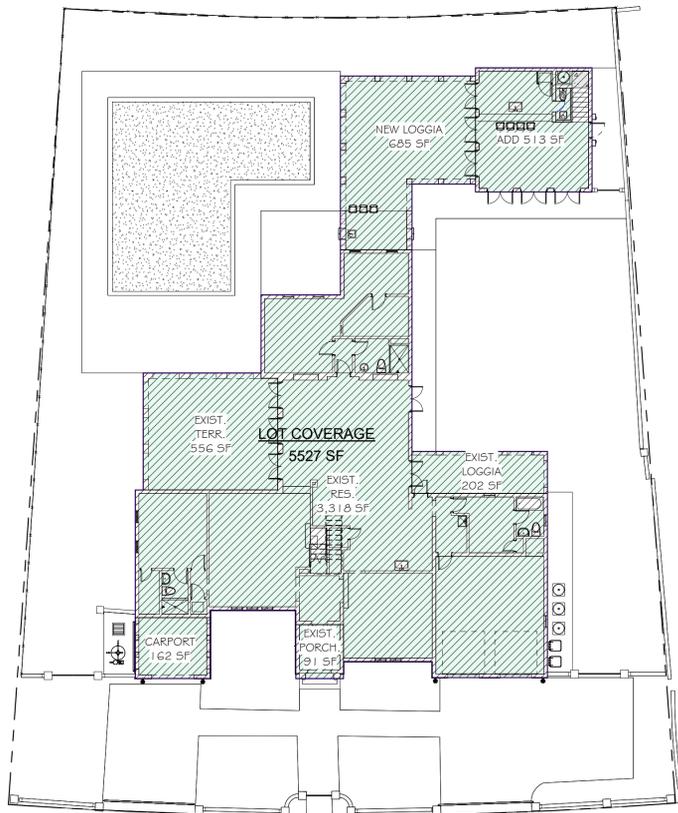
F.A.F. DIAGRAM:  
MAX. ALLOWED= 6,334 SF  
1ST F.A.F.= 3,532 SF  
2ND F.A.F.= 2,788 SF  
TOTAL F.A.F. PROVIDED=6,320 SF

**4 1ST F.A.F. DIAGRAM**  
SCALE: 1/16" = 1'-0"



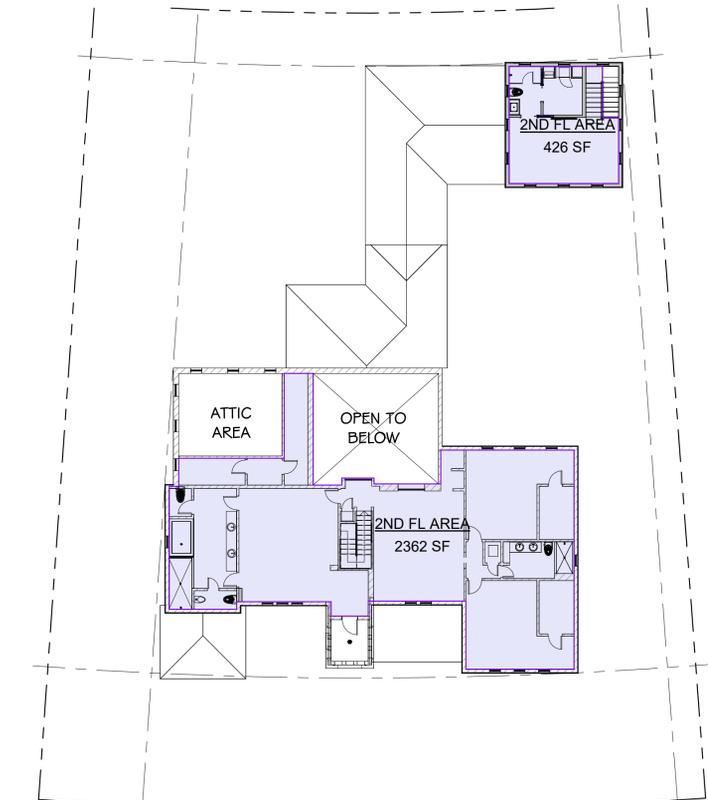
LANDSCAPE DIAGRAM AREA:  
LOT AREA= 17,280 SF  
OPEN SPACE REQUIRED 40%= 6,912 SF  
OPEN SPACE PROVIDED 40.71%=7,035 SF

**1 OPEN SPACE AREA**  
SCALE: 1/16" = 1'-0"



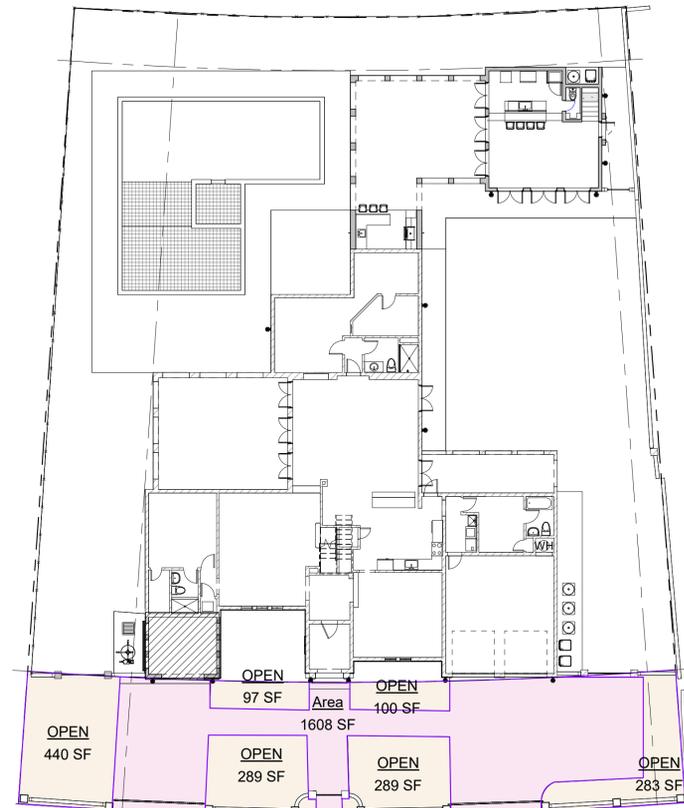
GROUND COVERAGE DIAGRAM AREA:  
LOT AREA= 17,280 SF  
LOT COVERAGE 35%= 6,048 SF  
LOT COVERAGE PROVIDED 31.99%=5,527 SF

**3 GROUND AREA COVERAGE**  
SCALE: 1/16" = 1'-0"



F.A.F. DIAGRAM:  
MAX. ALLOWED= 6,334 SF  
1ST F.A.F.= 3,532 SF  
2ND F.A.F.= 2,788 SF  
TOTAL F.A.F. PROVIDED=6,320 SF

**5 2ND. F.A.F. DIAGRAM**  
SCALE: 1/16" = 1'-0"



LANDSCAPE DIAGRAM FRONT YARD AREA:  
OPEN SPACE AREA REQ.= 6,912 SF  
OPEN SPACE IN FRONT YARD REQ. 20%= 1,382 SF  
OPEN SPACE IN FRONT YARD PROVIDED 21.67%=1,498 SF

**2 OPEN SPACE IN FRONT YARD**  
SCALE: 1/16" = 1'-0"



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WILFREDO AGURTO  
AR# 0093855

RESIDENTIAL ADDITION  
RONALD POTTER & REBECCA TRIFF  
2017 ALHAMBRA CIRCLE  
CORAL GABLES FL 33134

1025-32  
Project Number  
07-16-23  
Issue Date  
PRELIMINARY PLANS  
Project status:  
Revised by:  
Author  
Draw by:  
Checker  
Check by:

REV #	DESCRIPTION	DATE
A	PER BLDG. DEPT. COMMENTS	02-10-15
B	AS BUILT	06-08-15

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UNLESS STAMPED FOR CONSTRUCTION SET AND APPROVED BY ARCHITECT.

Drawing Title  
**ZONING DATA**

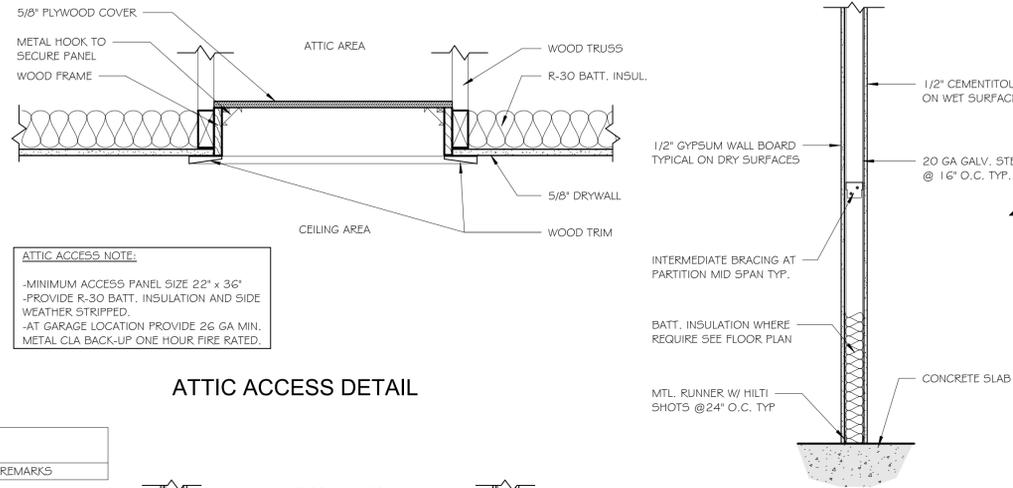
Sheet Number  
**A-100.1**

3 SET OF 13



**FLOOR PLAN NOTES**

- ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATE W/ THE ARCHITECT.
- INTERIOR PARTITION OF 3 5/8" 5 5/8" METAL STUDS @ 24" O.C. REFER TO FLOOR PLAN FOR DIM./LOCATION.
- PROVIDE M.R.G.W.B. ON WET WALLS ONLY.
- BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
- CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE.
- GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60 INCHES (1.5 M) ABOVE THE FLOOR OF THE TUB OR THE SHOWER.
- SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 72 INCHES (6'-0") ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
- ALL WINDOWS AT BEDROOMS SHALL BE "EGRESS" TYPE, U.O.N. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.



**ATTIC ACCESS NOTE:**  
 -MINIMUM ACCESS PANEL SIZE 22" x 36"  
 -PROVIDE R-30 BATT. INSULATION AND SIDE WEATHER STRIPPED.  
 -AT GARAGE LOCATION PROVIDE 2G GA MIN. METAL CLA BACK-UP ONE HOUR FIRE RATED.

**ATTIC ACCESS DETAIL**

**DOOR SCHEDULE**

MARKS	TYPE	WIDTH	HEIGHT	MATERIAL	REMARKS
D1	DOOR FRENCH DOUBLE	5' - 0"	6' - 8"	ALUM / GLASS	
D2	DOOR SINGLE FRENCH (M)	3' - 0"	6' - 8"	ALUM / GLASS	
D3	Single-Flush	2' - 4"	6' - 8"		
D4	GLASS DOOR	2' - 0"	6' - 8"	GLASS	
D5	SINGLE POCKET	3' - 0"	8' - 0"	WOOD	

**WINDOWS SCHEDULE**

MARKS	TYPE	WIDTH	HEIGHT	REMARKS
W1	CSMT	2' - 2"	4' - 2"	
W2	CSMT	2' - 2"	4' - 2"	
W3	CSMT	2' - 2"	4' - 2"	
W4	CSMT	2' - 2"	4' - 2"	
W5	CSMT	2' - 2"	4' - 2"	
W6	CSMT	2' - 2"	4' - 2"	
W7	CSMT	2' - 2"	4' - 2"	
W8	CSMT	2' - 2"	4' - 2"	
W9	CSMT	2' - 2"	4' - 2"	
W10	CSMT	2' - 2"	4' - 2"	
W11	CSMT	2' - 2"	4' - 2"	
W12	CSMT	2' - 2"	4' - 2"	

**WINDOWS AND DOORS NOTE:**

- ALL EXTERIOR DOOR AND WINDOWS SHALL BE HURRICANE IMPACT RESISTANT.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OR MIAMI DADE NOAs FOR APPROVAL SEPARATE PERMIT REQUIRED.
- CONTRACTOR TO FIELD VERIFY WINDOWS / DOORS M.O. DIMENSION BEFORE PLACING PURCHASE ORDER.

**FINISH SCHEDULE**

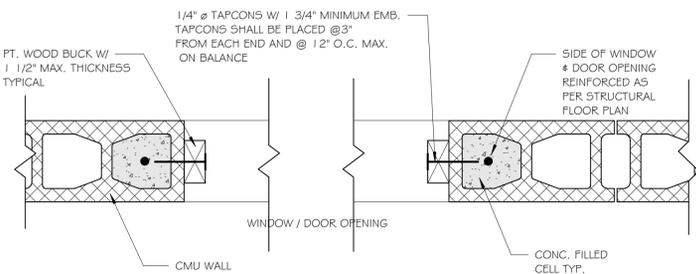
ROOM NAME	FLOOR	BASE	WALL	CEILING
KITCHENETT	WOOD	WOOD	DRYWALL PAINTED	DRYWALL CEILING
PWD	WOOD	--	PORCELAIN TILE	DRYWALL CEILING
TRASH	CEMENT	--	STUCCO	STUCCO
BATH	PORCELAIN TILE	--	PORCELAIN TILE	DRYWALL CEILING
UTILITY	WOOD	WOOD	DRYWALL PAINTED	DRYWALL CEILING
PLAYROOM	WOOD	WOOD	DRYWALL PAINTED	DRYWALL CEILING
STAIR	WOOD STEPS	WOOD	PORCELAIN TILE	DRYWALL CEILING
COVERED TERRACE	TRAVERTINO TILE	--	STUCCO	STUCCO
B.B.Q.	TRAVERTINO TILE	--	STUCCO	STUCCO
PLAYROOM	WOOD	WOOD	DRYWALL PAINTED	DRYWALL CEILING

INTERIOR WALLS, FLOOR, TRIM, DECOR AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES. CLASS C=FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450. FLAME SPREAD AND SMOKE DEVELOPMENT INDEX FOR INSULATION SHALL BE FLAME SPREAD NOT TO EXCEED 25 AND SMOKE DEVELOPMENT INDEX NOT TO EXCEED 450

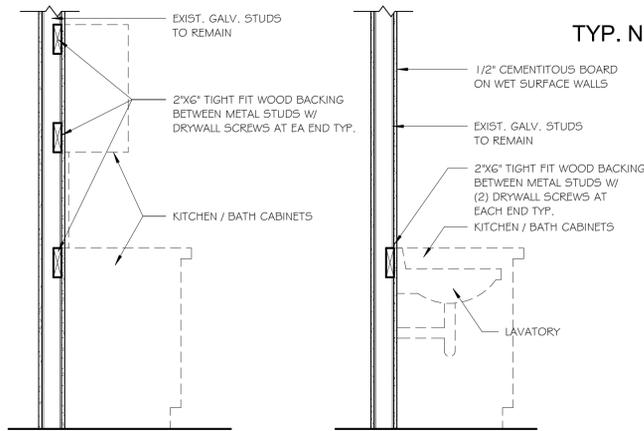
**KEYNOTE LEGEND**

KEY #	KEYNOTE DESCRIPTION
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- PROVIDE 6" (72" MIN.) HIGH MINIMUM OF NON-ABSORBENT SURFACE (WALL CERAMIC TILE) ON BATHTUB AND SHOWER COMPARTMENTS (WET AREAS) OVER 1/2" MIN. CEMENTITIOUS WALL BOARD - "DUROCK"
- CAT. II SAFETY GLASS SHOWER ENCLOSURE AND SHOWER DOOR
- SHOWER CURB SEE DETAIL
- CAT. II SAFETY GLASS MIRROR
- WALL HANG TV
- MECHANICAL CHASE
- 34" HIGH ALUMN. HANDRAIL WALL MOUNTED
- DENOTE ATTIC ACCESS PANEL ABOVE. SEE TYP. DETAIL.
- WOOD SHELF AND ROD

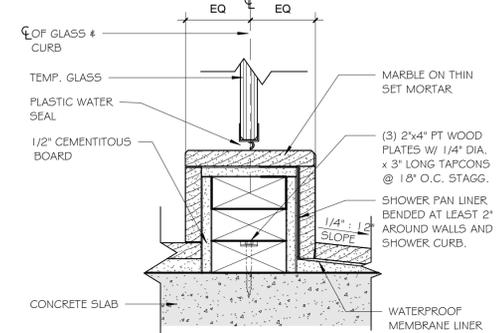


**WINDOWS BUCKS DETAIL**



**PARTITION BACKING UP**

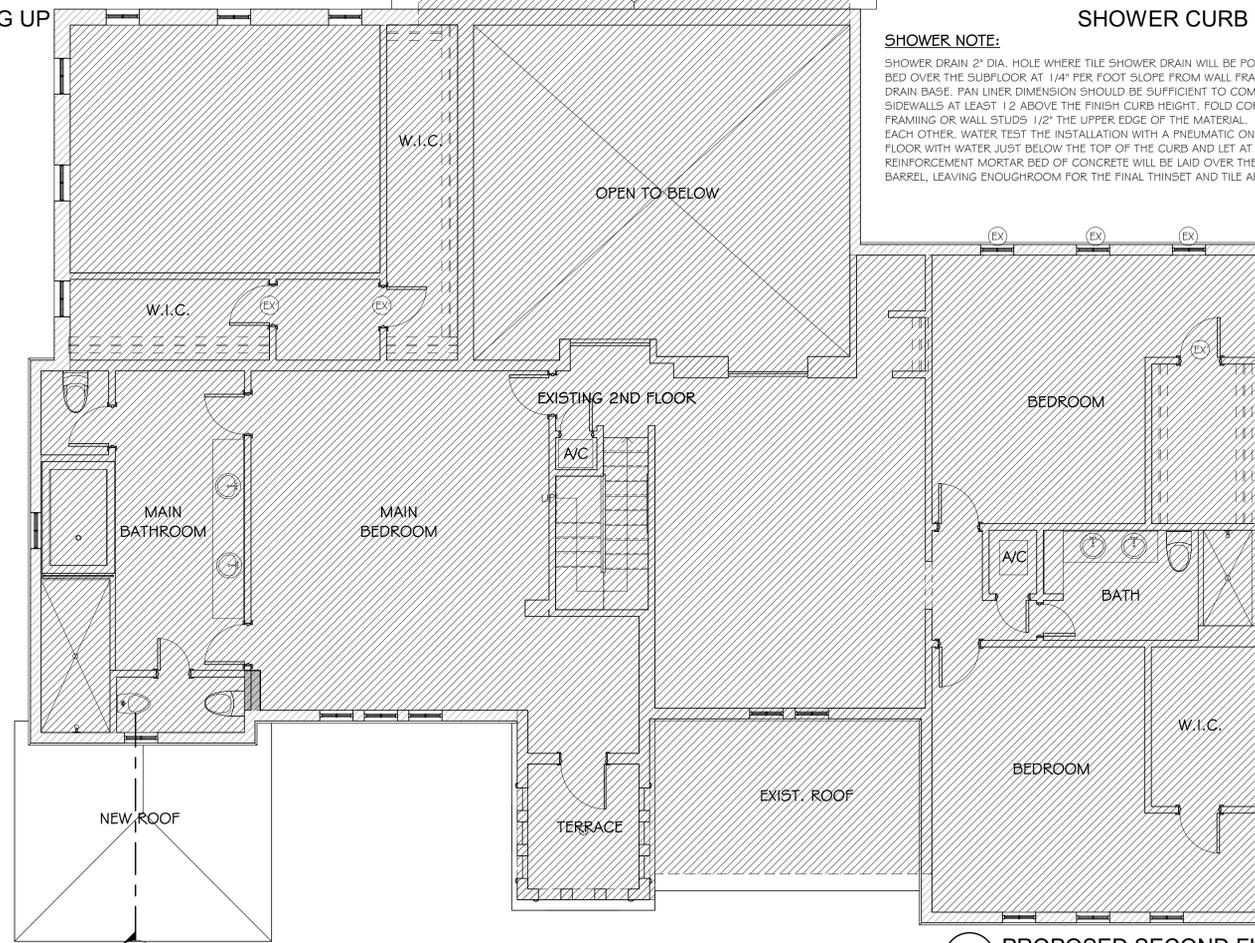
**TYP. NON BEARING PARTITION**



**SHOWER CURB DETAIL**

**SHOWER NOTE:**

SHOWER DRAIN 2" DIA. HOLE WHERE TILE SHOWER DRAIN WILL BE POSITIONED. APPLY CEMENT MIXTURE MORTAR BED OVER THE SUBFLOOR AT 1/4" PER FOOT SLOPE FROM WALL FRAMING TO THE TOP OF, BUT NOT OVER, THE DRAIN BASE. PAN LINER DIMENSION SHOULD BE SUFFICIENT TO COMPLETELY COVER THE FLOOR; TURN UP ALL SIDEWALLS AT LEAST 12" ABOVE THE FINISH CURB HEIGHT. FOLD CORNER AND MAIL LINER TO THE SIDEWALL FRAMING OR WALL STUDS 1/2" THE UPPER EDGE OF THE MATERIAL. 1" NAIL, SCREW OR STAPLE 12" APART FROM EACH OTHER. WATER TEST THE INSTALLATION WITH A PNEUMATIC OR MECHANICAL TEST PLUG. FILL THE SHOWER FLOOR WITH WATER JUST BELOW THE TOP OF THE CURB AND LET AT LEAST (4) HOURS. A MINIMUM OF 1 1/2" REINFORCEMENT MORTAR BED OF CONCRETE WILL BE LAID OVER THE PAN LINER FROM WALL TO THE DRAIN BARREL, LEAVING ENOUGHROOM FOR THE FINAL THINSET AND TILE APPLICATION. 30 MIL LINER.



**1 PROPOSED SECOND FLOOR**  
 SCALE: 3/16" = 1'-0"



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**RESIDENTIAL ADDITION**  
**RONALD POTTER & REBECCA TRIFF**  
**2017 ALHAMBRA CIRCLE**  
**CORAL GABLES FL 33134**

**WILFREDO AGURTO**  
 AR# 0093585

<b>Project Number</b> 1095-32	<b>Revised by:</b> Author
<b>Issue Date</b> 07-16-23	<b>Draw by:</b> Checker
<b>PRELIMINARY PLANS</b>	<b>Check by:</b>
<b>Project status:</b>	

REV #	DESCRIPTION	DATE

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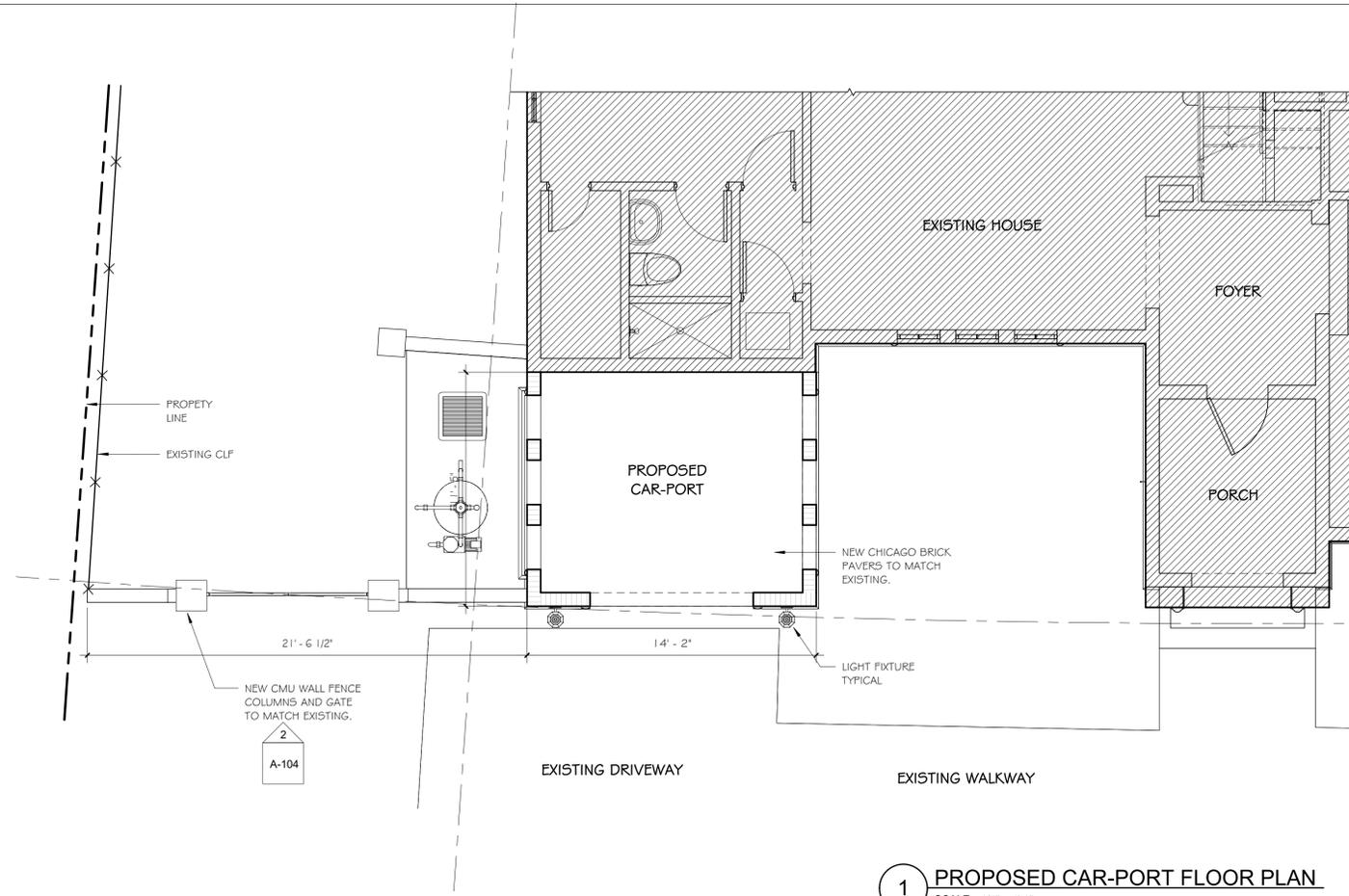
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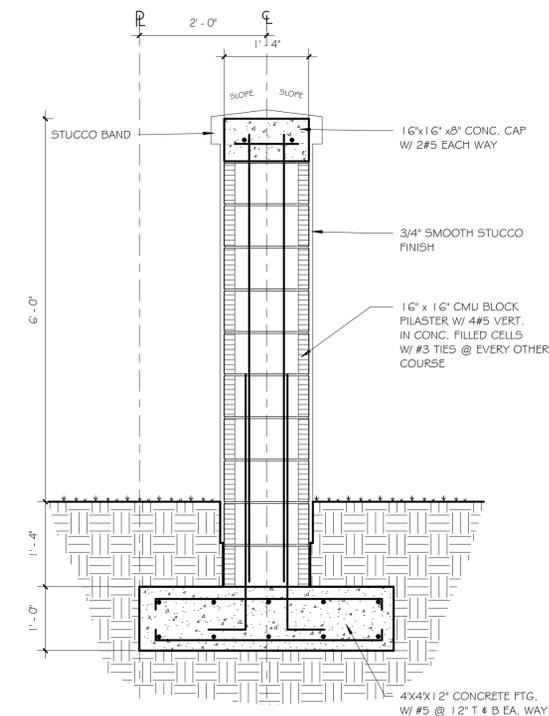
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**SECOND FLOOR PLAN**

**Sheet Number**  
**A-103**

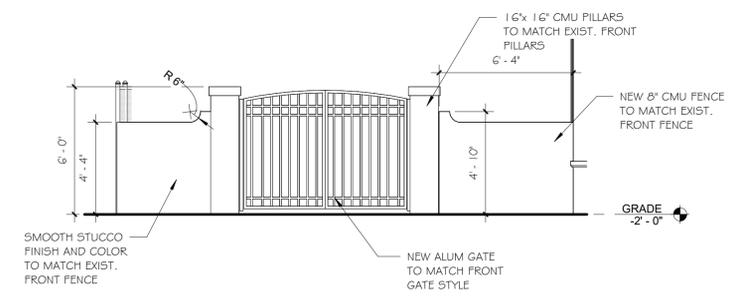
6 SET OF 13



**1 PROPOSED CAR-PORT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**3 PILLAR DETAIL**  
SCALE: 3/4" = 1'-0"



**2 PROPOSED SIDE FENCE AND GATE**  
SCALE: 1/4" = 1'-0"



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**RONALD POTTER & REBECCA TRIFF**  
**2017 ALHAMBRA CIRCLE**  
**CORAL GABLES FL 33134**

Project Number ID95-32	Revised by: Author
Issue Date 07-16-23	Draw by: Checker
Project status: PRELIMINARY PLANS	Check by: Author

REV.#	DESCRIPTION	DATE

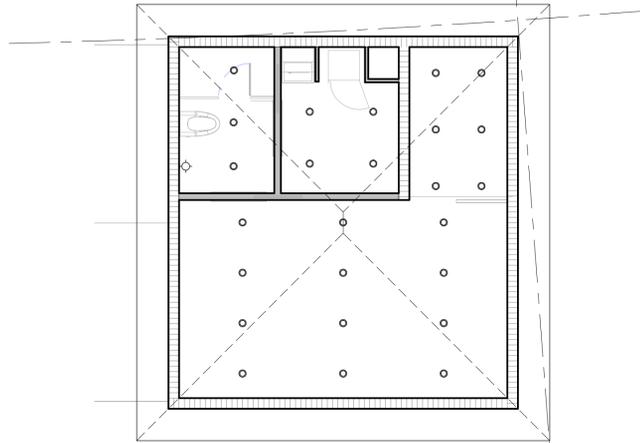
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Drawing Title  
**PROPOSED CAR-PORT FLOOR PLAN**  
Sheet Number  
**A-104**  
7 SET OF 13

WILFREDO AGURTO  
AR# 0093855



**2 POOL HOUSE 2ND RCP**  
SCALE: 3/16" = 1'-0"

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	SPRINKLERED			NOSPRINKLERED		
	EXIT ENCLOSURES AND EXIT PASSAGEWAYS <sup>a,b</sup>	CORRIDORS	ROOM AND ENCLOSED SPACES <sup>c</sup>	EXIT ENCLOSURES AND EXIT PASSAGEWAYS <sup>a,b</sup>	CORRIDORS	ROOM AND ENCLOSED SPACES <sup>c</sup>
A-1 & A-2	B	B	C	A	A <sup>d</sup>	B <sup>e</sup>
A-3, A-4, A-5	B	B	C	A	A <sup>d</sup>	C
B, E, M, R-1, R-4	B	C	C	A	B	C
F	C	C	C	B	C	C
H	B	B	C <sup>3</sup>	A	A	B
I-1	B	C	C	A	B	B
I-2	B	B	B <sup>3,u</sup>	A	A	B
I-3	A	A <sup>2</sup>	C	A	A	B
I-4	B	B	B <sup>3,u</sup>	A	A	B
R-2	C	C	C	B	B	C
R-3	C	C	C	C	C	C
S	C	C	C	B	B	C
U	NO RESTRICTIONS			NO RESTRICTIONS		

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m<sup>2</sup>

a. Class C interior finish materials shall be permitted for wainscoting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over turning strips applied to a noncombustible base and fireblocked as required by section 803.4.1.1.

b. In exit enclosures of buildings less than three stories in height of other than Group I-3, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted.

c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.

d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than Class B materials.

e. Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.

f. For places of religious worship, wood used for ornamental purposes, trusses, paneling or chancel furnishing shall be permitted.

g. Class B material is required where the building exceeds two stories.

h. Class C interior finish materials shall be permitted in administrative spaces.

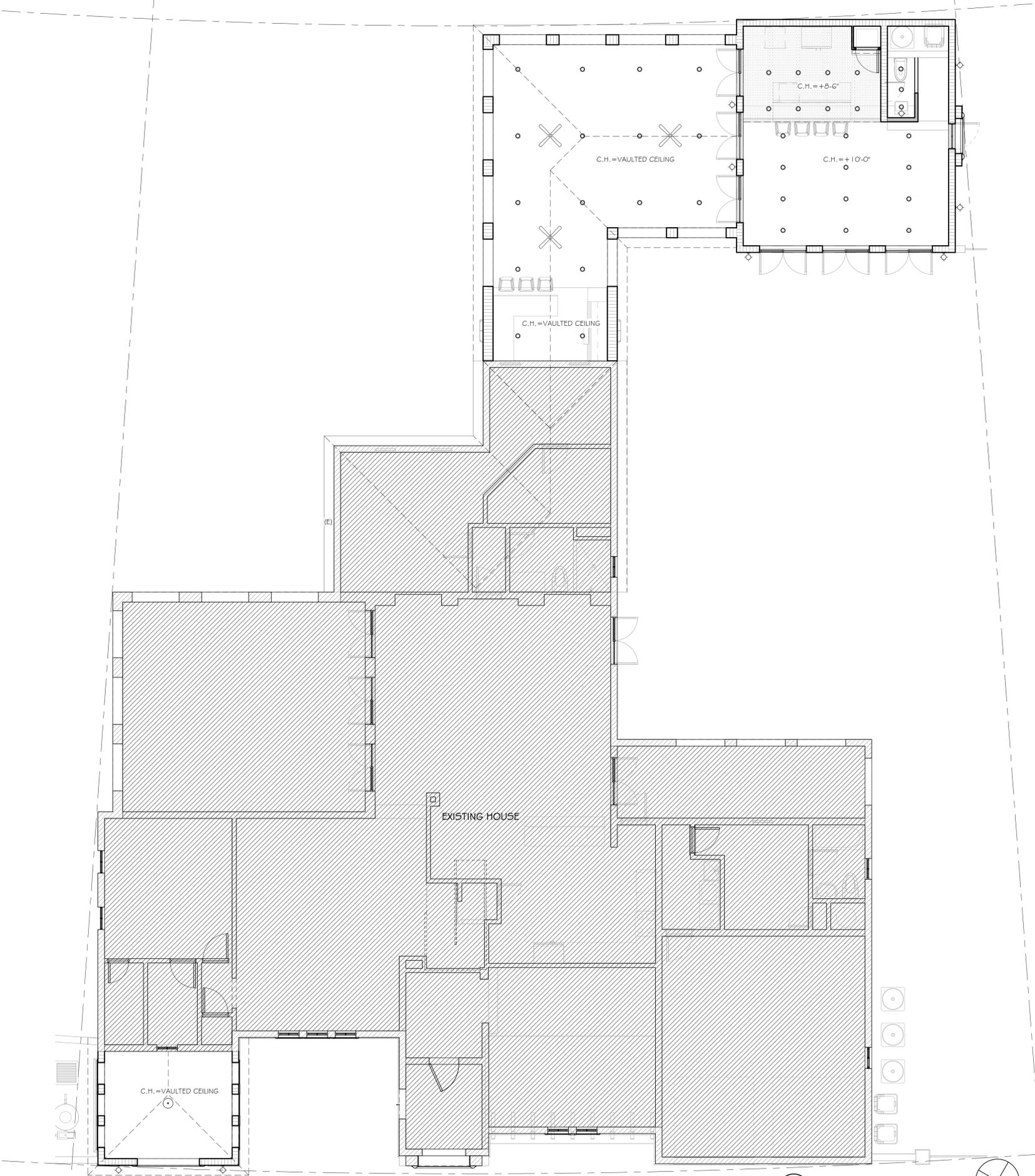
i. Class C interior finish materials shall be permitted in rooms with a capacity of four persons or less.

j. Class B materials shall be permitted as wainscoting extending not more than 48 inches above the finished floor in corridors.

k. Finish materials as provided for in other sections of this code.

l. Applies when the exit enclosures, exit passageways, corridor or rooms and enclosed spaces are protected by a sprinkler system installed in accordance with Section 903.3.1.1, or 903.3.1.2.

INTERIOR WALLS, FLOOR, TRIM, DECOR AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES. CLASS C=FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450. FLAME SPREAD AND SMOKE DEVELOPMENT INDEX FOR INSULATION SHALL BE FLAME SPREAD NOT TO EXCEED 25 AND SMOKE DEVELOPMENT INDEX NOT TO EXCEED 450



**1 POOL HOUSE 1ST RCP**  
SCALE: 3/16" = 1'-0"

REV.#	DESCRIPTION	DATE

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**Drawing Title**  
**REFLECTED CEILING PLAN**

**Sheet Number**  
**A-105**

8 SET OF 13

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**RESIDENTIAL ADDITION**  
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WILFREDO AGURTO  
AR# 0093555



KEYNOTE LEGEND	
KEY	DESCRIPTION
01	SPANISH BARREL TILES TO MATCH EXISTING ROOF FINISH
02	WOOD OUTRIDGERS TO MATCH EXISTING
03	LIGHT FIXTURE TO MATCH EXISTING
04	STUCCO MOLDING TO MATCH EXISTING
05	SMOOTH STUCCO FINISH TO MATCH EXISTING HOUSE FINISH AND COLOR
06	NEW CMU FENCE, COLUMNS AND GATE TO MATCH EXISTING FRONT FENCE
07	EXISTING CMU FENCE, COLUMNS AND GATES TO REMAIN
09	IMPACT RESISTANT ALUM. # GLASS WINDOW / DOOR TO MATCH EXISTING WINDOW HOUSE STYLE AND COLOR



**1 EXISTING WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 PROPOSED WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

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**RESIDENTIAL ADDITION  
RONALD POTTER & REBECCA TRIFF  
2017 ALHAMBRA CIRCLE  
CORAL GABLES FL 33134**

**WILFREDO AGURTO**  
AR# 0093855

Revised by:  
Author

Draw by:  
Checker

Check by:

Project Number  
07-16-23

Issue Date  
PRELIMINARY PLANS

Project status:

REV #	DESCRIPTION	DATE

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Drawing Title  
**ELEVATIONS**

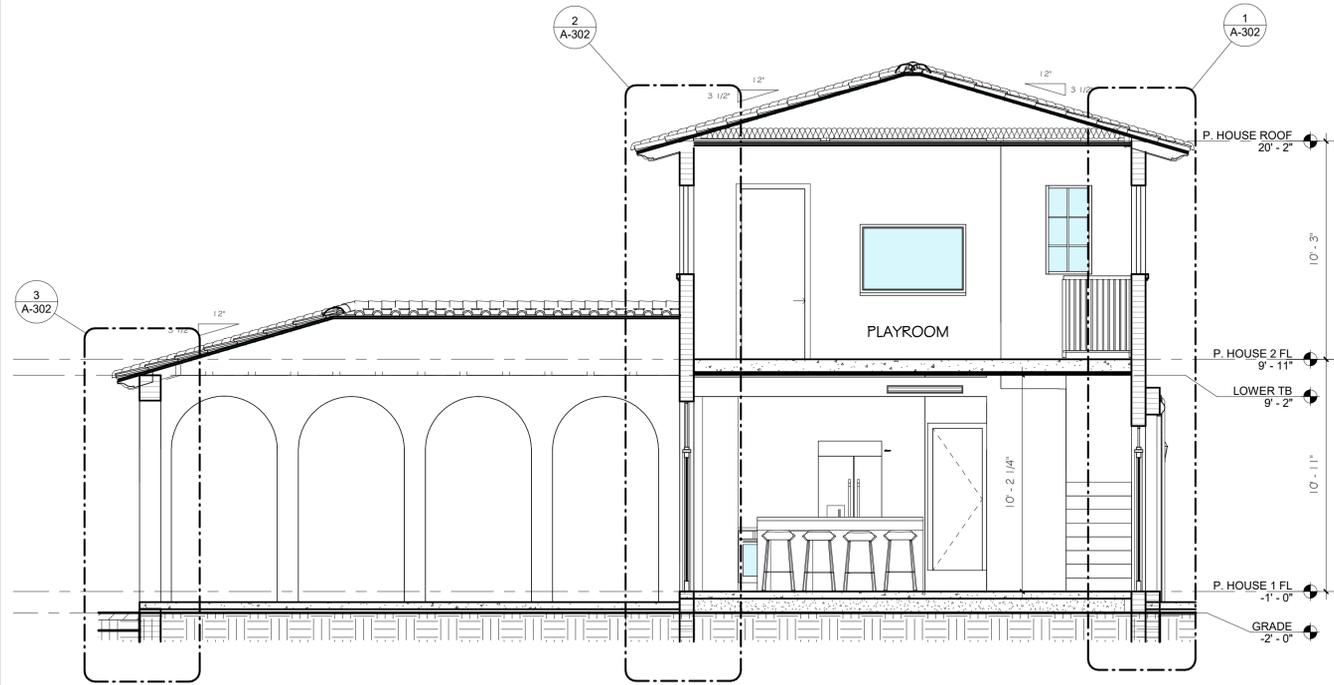
Sheet Number  
**A-200**

9 SET OF 13

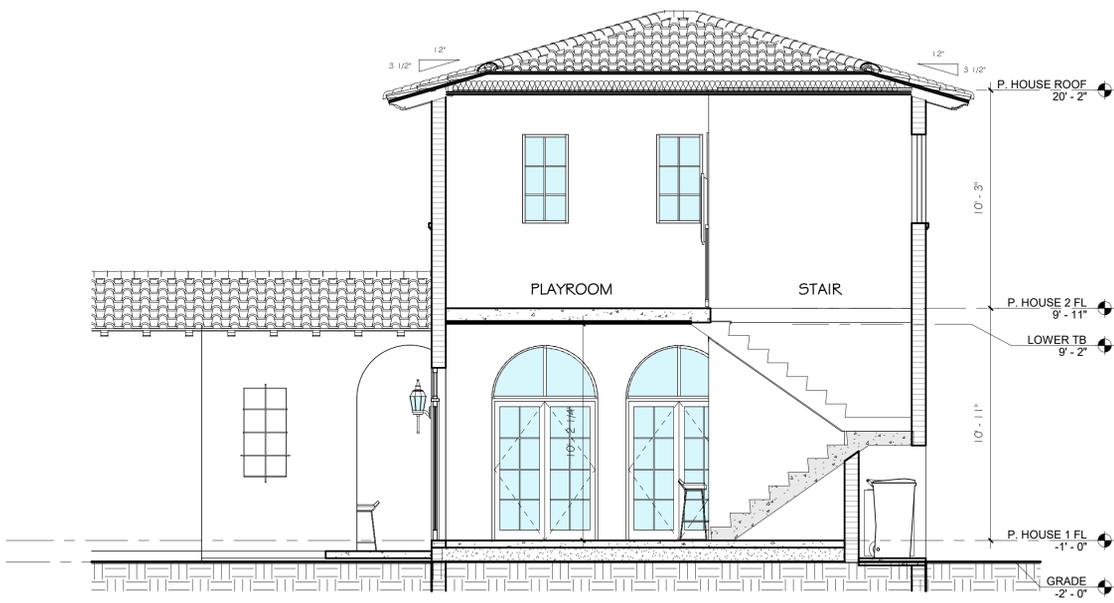




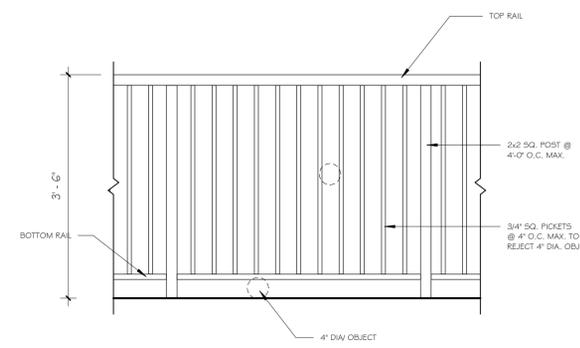




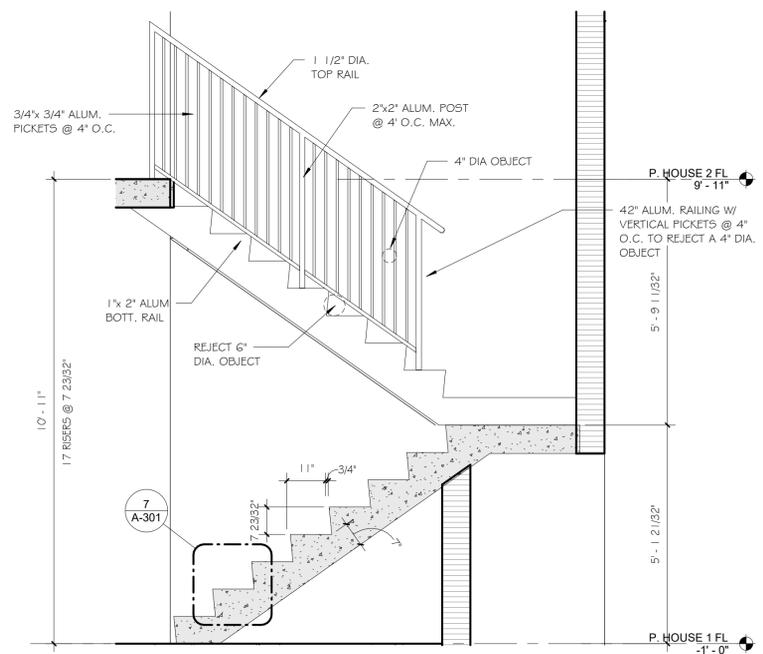
**2 POOL HOUSE BLDG. SECTION 2**  
SCALE: 1/4" = 1'-0"



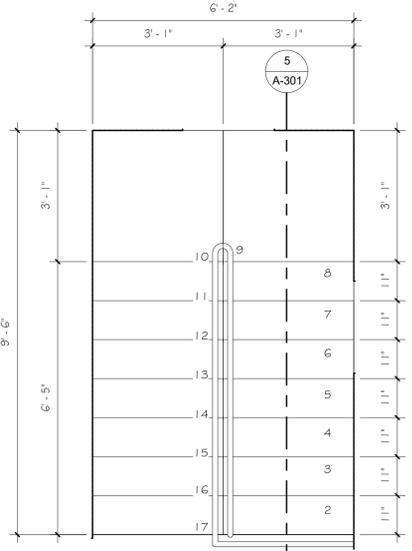
**1 POOL HOUSE BLDG. SECTION**  
SCALE: 1/4" = 1'-0"



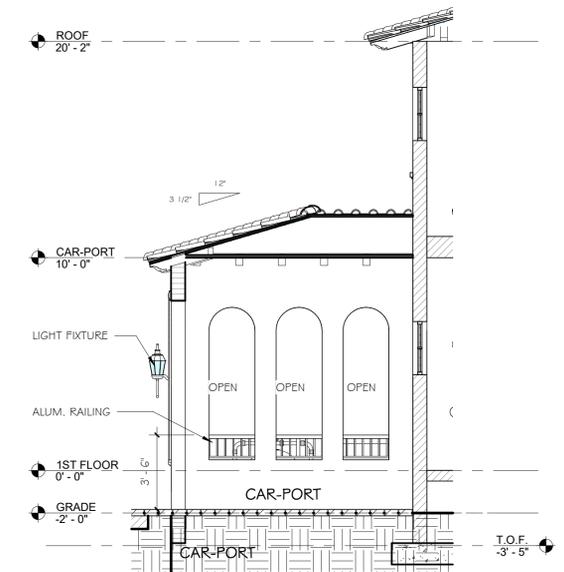
**8 RAILING ELEVATION**  
SCALE: 3/4" = 1'-0"



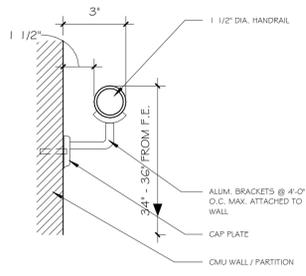
**5 STAIR SECTION**  
SCALE: 1/2" = 1'-0"



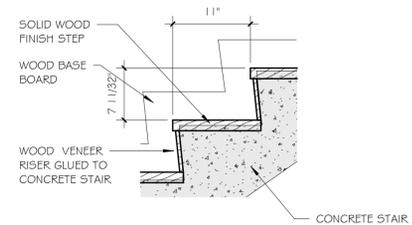
**4 STAIR PLAN**  
SCALE: 1/2" = 1'-0"



**3 CAR-PORT SECTION**  
SCALE: 1/4" = 1'-0"



**6 HANDRAIL DETAIL**  
SCALE: 3" = 1'-0"



**7 STEP FINISH**  
SCALE: 1" = 1'-0"



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Project Number	10925-32	Revised by:	
Issue Date	07-16-23	Author	
Preliminary Plans		Draw by:	
Project status:		Checker	
		Check by:	

REV.#	DESCRIPTION	DATE

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**Drawing Title**  
**BUILDING SECTIONS**

**Sheet Number**  
**A-301**

13 SET OF 13

