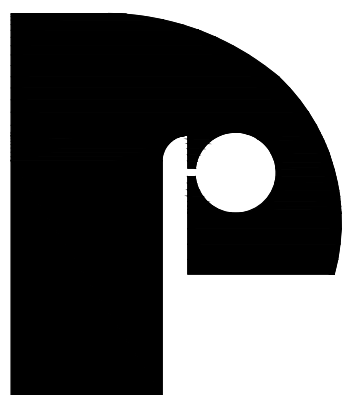


NEW TWO STORY RESIDENCE

9340 BALADA STREET - MIAMI, FLORIDA 33156



PACHECO ARCHITECTURE, PLLC.

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4990 SW 72nd AVENUE, SUITE - 101
MIAMI, FLORIDA 33155
OFFICE: (305) 666-2573
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DRAWING INDEX

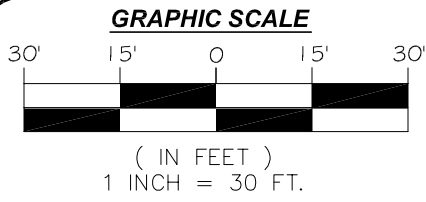
ARCHITECTURAL

A-0.0 COVER PAGE & DRAWING INDEX
A-0.1 CONTEXTUAL STUDY
A-1.0 SITE PLAN & NOTES
A-1.1 AREA CALCULATIONS
A-2.0 PROPOSED GROUND LEVEL FLOOR PLAN
A-3.0 PROPOSED FIRST FLOOR PLAN
A-4.0 PROPOSED SECOND FLOOR PLAN
A-5.0 PROPOSED ROOF PLAN
A-6.0 PROPOSED FRONT & REAR ELEVATIONS
A-7.0 PROPOSED RIGHT & LEFT SIDE ELEVATIONS
A-8.0 RENDERINGS

LANDSCAPE

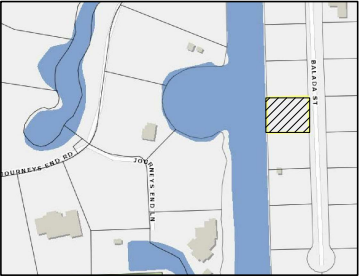
TD-1 TREE DISPOSITION PLAN

CONSULTANTS:



MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 5, TOWNSHIP 55 SOUTH, RANGE 41 EAST
LYING AND BEING IN MIAMI DADE COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "201"
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL--REQUEST@LMSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	=DENOTES AIR CONDITIONING UNIT
B.B.	=DENOTES BASIS OF BEARINGS
ASPH.	=DENOTES ASPHALT
P	=DENOTES PROPERTY LINE
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
CONC.	=DENOTES CONCRETE
L.P	=DENOTES LIGHT POLE
CB	=DENOTES CATCH BASIN
C	=DENOTES CENTERLINE
M	=DENOTES MONUMENT LINE
L.M.E.	=DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	=DENOTES DRAINAGE EASEMENT
D.H.	=DENOTES DRILL HOLE
(M)	=DENOTES MEASURE
(R)	=DENOTES RECORD
WPP	=DENOTES WOOD POWER POLE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
PG.	=DENOTES PAGE
P.C.P.	=DENOTES PERMANENT CONTROL POINT
P.O.B.	=DENOTES POINT OF BEGINNING
TYP.	=DENOTES TYPICAL
M.H.W.	=DENOTES MEAN HIGH WATER LINE
--	=DENOTES WOOD FENCE
-x-	=DENOTES CHAIN LINK FENCE
-o-	=DENOTES IRON FENCE
o	=DENOTES FOUND IRON PIPE (NO ID.)
Δ	=DENOTES FOUND NAIL AND DISC
ASPH.	=DENOTES ASPHALT PAVEMENT
X.XX	=DENOTES ELEVATIONS
BRICK	=DENOTES BRICK
CONC.	=DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED.

VEGETATION CHART				
NO.	COMMON NAME	DBH (FEET)	HEIGHT (FEET)	SPREAD (FEET)
1	TREE	1.5	20	15
2	OAK	1.5	20	15
3	OAK	1.5	20	15
4	OAK	1.5	20	15
5	TREE	1.5	45	18
6	PALM	1.3	35	13
7	PALM	1.3	45	13
8	OAK	2.0	35	15
9	OAK	2.0	38	35

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY, EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51FAC), IS "RESIDENTIAL".THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "OLD CUTLER BAY" RECORDED IN PLAT BOOK 80, AT PAGE 35.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET OR SMALLER.

LEGAL DESCRIPTION:

LOT 11, BLOCK 1, OF "OLD CUTLER BAY ",
ACCORDING TO THE PLAT THEREOF, AS
RECORDED PLAT BOOK 80, AT PAGE 35,
OF THE PUBLIC RECORDS OF MIAMI DADE
COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 03-5105-006-0100

9340 BALADA STREET
CORAL GABLES, FL 33156

AREA OF PROPERTY: 22,400 SQUARE FEET AND/OR
0.514 ACRES MORE OR LESS.


CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE
EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE
CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED
PARTIES.

-9340 BALADA STREET LLC

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO
THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS
A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.
THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF
FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH
5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW,
PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

SIGNED  FOR THE FIRM
ARTURO MENDIGUTIA, P.E.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:		AE
ELEVATION:		11.0 FEET
COMMUNITY:		120639
PANEL:		12086C0467
DATE OF FIRM:		09-11-2009
SUFFIX:		L
ORIGINAL FIELD WORK SURVEY DATE		06-01-2020
BENCH MARK:		N/A
ELEVATION:		N/A
DATE	DRAWN BY	SCALE
06-01-2020	EG	1"=30'
REVISION / UPDATE OF SURVEY		
DATE	DRAWN BY	DESCRIPTION
06-19-2020	EG	N/A
JOB No.		
2005-0224-01		

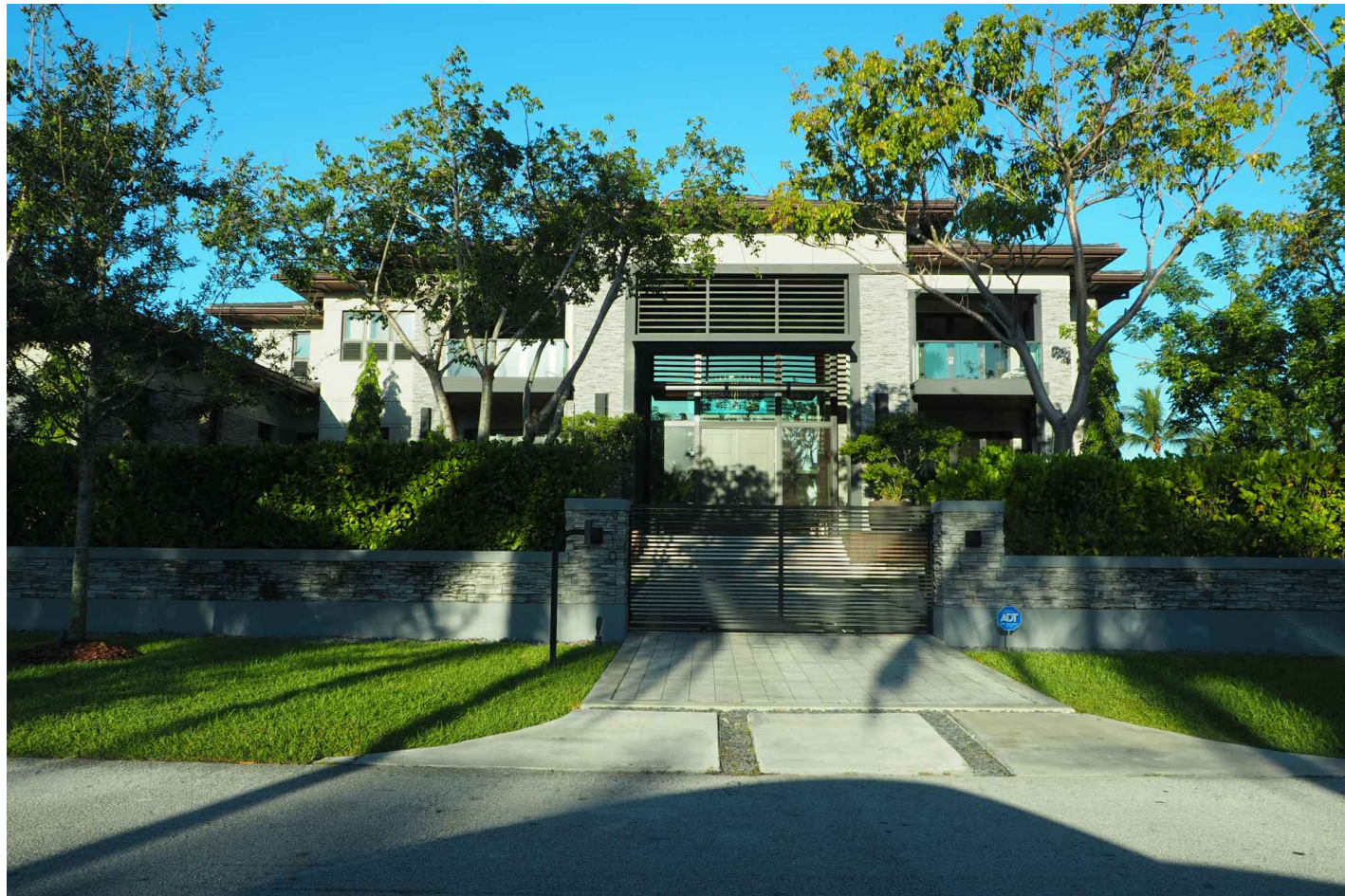
WATERWAY



NEIGHBOR HOUSE ON THE LEFT



PROPOSED DESIGN



NEIGHBOR HOUSE ON THE RIGHT

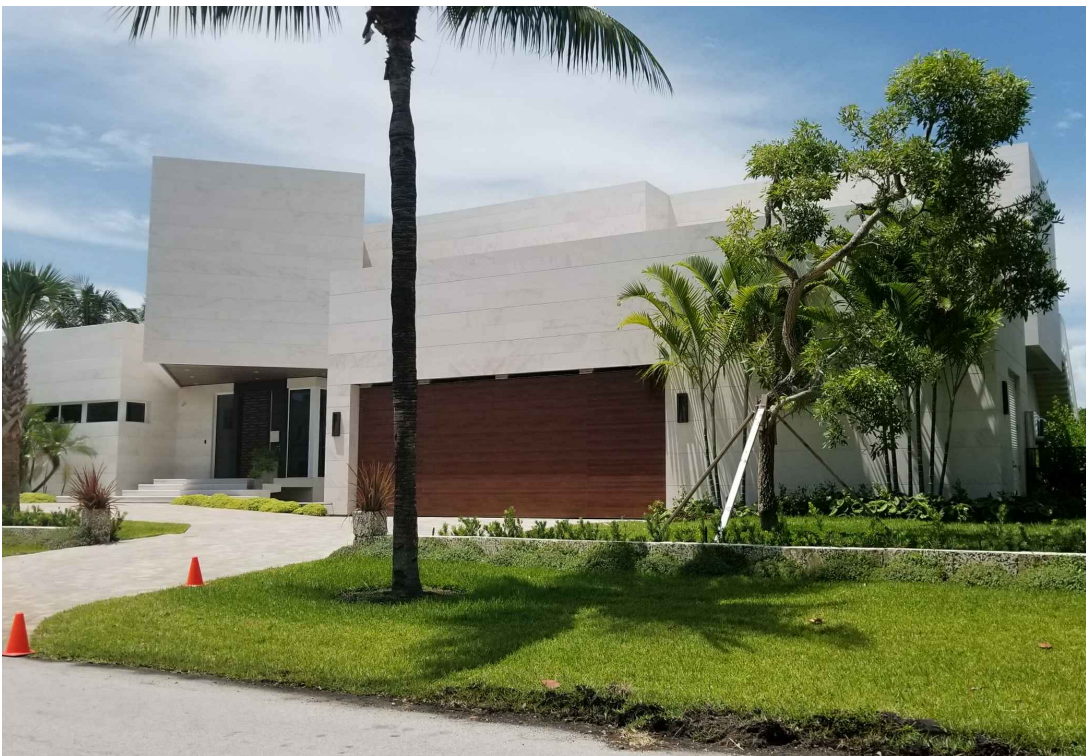
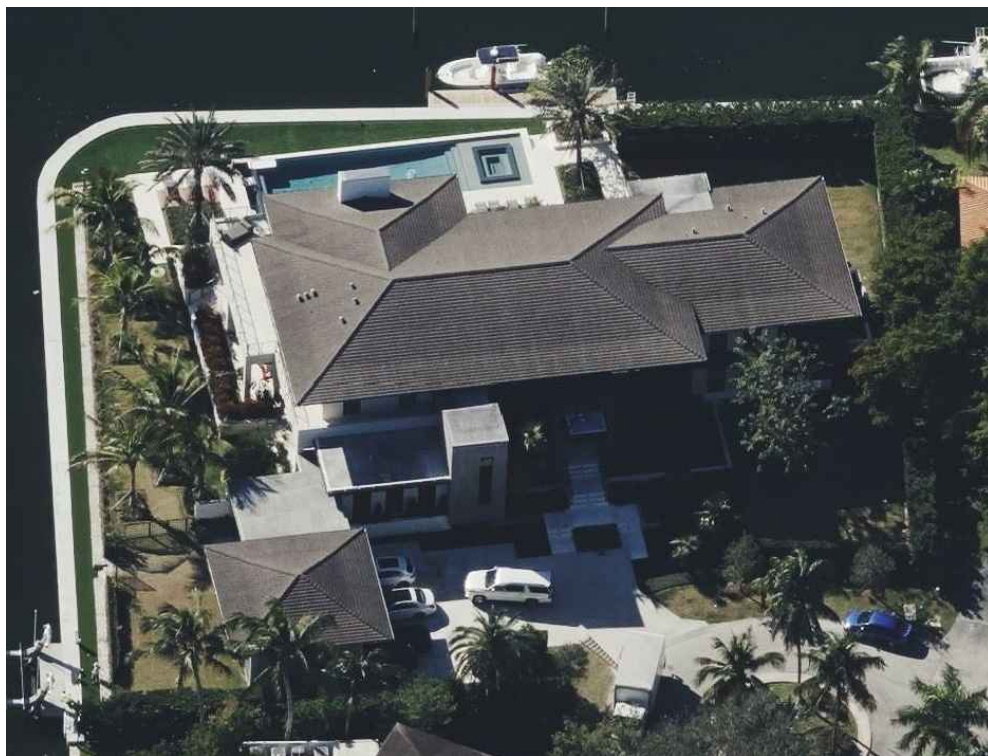
BALADA STREET



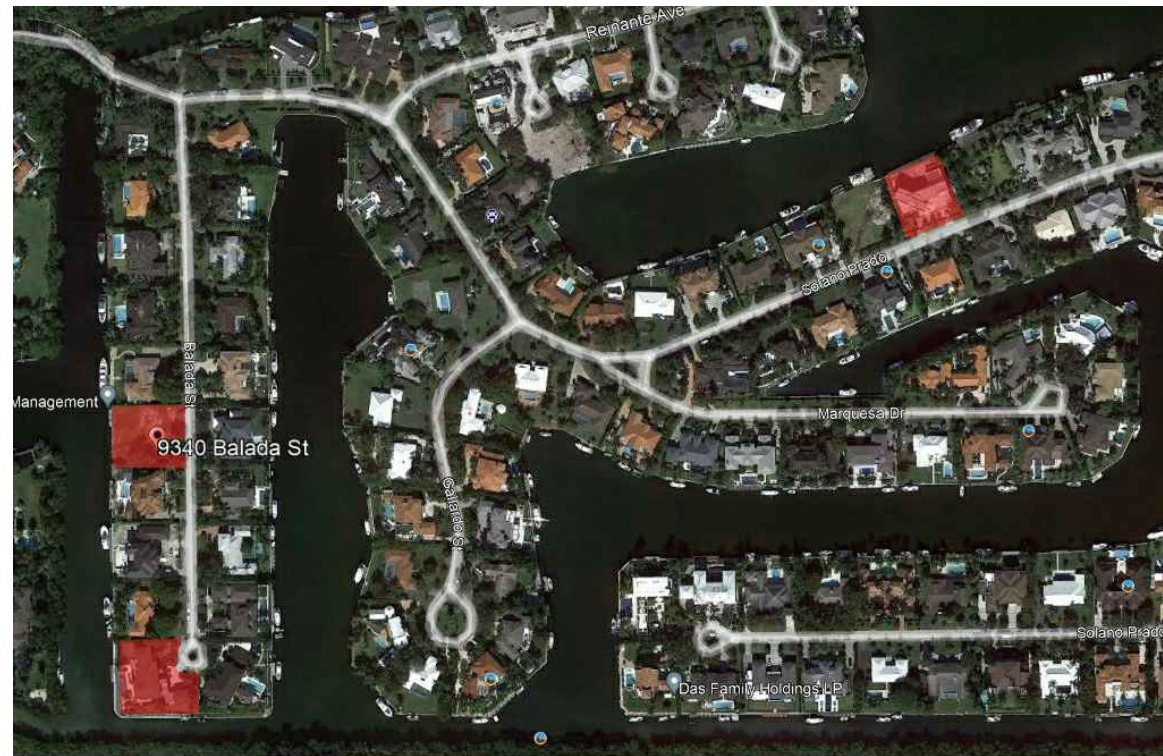
NEIGHBORS' HOUSES ON THE FRONT



NEARBY PROPERTY AT BALADA STREET



NEARBY PROPERTY AT SOLANO PRADO STREET



CONTEXTUAL STUDY

GENERAL NOTES

1.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.

2.

CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.N.)

3.

ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.

4.

ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.

5.

ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", (U.O.N.).

6.

STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH THE ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DRAWINGS., TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.

7.

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301 ETC., "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."

8.

REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK."

9.

DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.

10.

REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY. SIZE AND QUANTITY OF REBARS ARE AS PER STRUCTURAL DRAWINGS, SCHEDULES.

11.

NO TIE BEAMS SHALL BE FORMED/POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.

12.

WINDOW & DOOR MANUFACTURER TO VERIFY ALL WINDOW & DOOR OPENINGS AT ON SITE PRIOR TO PRODUCING SHOP DRAWINGS AND INSTALLATION.

13.

ARCHITECT, INTERIOR DESIGNER AND ENGINEER'S VISITS TO THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION. SITE VISITS SHALL BE COORDINATED AT LEAST 48 HOURS IN ADVANCE PRIOR TO INSPECTION.

14.

VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.

15.

OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, OWNER OR DESIGNER.

16.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE" (FBC-RESIDENTIAL 2020), (7TH EDITION) ALL LOCAL CODES SHALL PREVAIL.

17.

THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS OR PRODUCT CONTROL APPROVAL BY OTHERS.

18.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.

19.

THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.

20.

THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.

21.

DO NOT SUBSTITUTE MATERIALS, EQUIPMENTS OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ARCHITECT / ENGINEER.

22.

THE ARCHITECT / INTERIOR DESIGNER / OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.

23.

CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.

24.

CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.

25.

CLEANING AND DEBRIS REMOVAL - THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST. ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FORM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.

26.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.

27.

THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL REPORT TO THE OWNER AND APPROVED BY THE ARCHITECT/ENGINEER.

28.

THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.

29.

THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.

30.

UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST," INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.

31.

ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT / ENGINEER / OWNER.

32.

ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THESE "GENERAL NOTES" AND OR ARCHITECT'S "SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.

33.

CONTRACTOR SHALL SUBMIT TO ARCHITECT / ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS NECESSARY FOR REVIEW AND APPROVAL AS REQUIRED.

34.

ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE RECEIVE CATEGORY II - SAFETY GLAZING.

35.

ALL FIXED GLASS SHALL BE MIN. 1/2" THICK, TEMPERED U.O.N.

36.

ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.

37.

USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.

38.

ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.

39.

DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.

40.

SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.

41.

PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION, LOCATE THE NECESSARY SOFFIT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.

42.

INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTES AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.

43.

DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.

44.

ASSURE THAT ALL FIREPLACE DAMPERS ARE TIGHTLY CLOSED.

45.

INSURE THAT THERE IS NO DUCT LEAKAGE.

46.

KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK, ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.

47.

SLABS OVER CRAWLSPACES, UNCONDITIONED SPACES SHALL BE SEALED AND INSULATED UNDERNEATH.

48.

MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.

49.

EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.

1.1.

BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.

1.2.

BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.

1.3.

BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL-PLATES.

1.4.

JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.

1.5.

OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PLUMBING.

1.6.

BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL. GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE)

1.7.

BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.

51.

COORDINATE WITH THE ARCHITECT ALL A/C DUCTWORK LOCATION AND SIZES PRIOR TO FORMING CONCRETE BEAMS. CONSULT ARCHITECT, STRUCTURAL AND MECHANICAL ENGINEER IN THE EVENT OF ANY DISCREPANCIES. SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT, STRUCTURAL & H.V.A.C. ENGINEER FOR REVIEW APPROVAL PRIOR TO TRUSS PERMIT AND FABRICATION. DUE TO TIGHT CONDITIONS AT SOME PORTIONS OF THE ROOF, LINEAR DIFFUSERS MAY BE REPLACED FOR CONVENTIONAL DIFFUSERS AS APPROVED BY THE ARCHITECT & ENGINEER. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT & ENGINEER ON SITE BEFORE ORDERING A/C DIFFUSERS.

52.

THE DRAWINGS ARE GENERALLY DIAGRAMMATIC. THE MECHANICAL WORK SHALL BE COORDINATED WITH ALL FIELD CONDITIONS AND OTHER TRADES IN ORDER TO AVOID INTERFERENCE WITH PLUMBING, AIR CONDITIONING AND STRUCTURAL ELEMENTS.

FIRE RATINGS DESCRIPTION

FIRE-RATED PARTITION ASSEMBLY U.L. #U465
No. 25 CHANNEL SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL "X" GYPSUM BOARD APPLIED VERTICAL. ATTACHED WITH 1" LONG No.6 DRYWALL SCREWS TO EACH SIDE. SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.

FIRE-RATED CEILING ASSEMBLY U.L. #L528
METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD, CEMENT-COATED OR RING SHANKED NAILS 6" O.C. W/BUTT & SIDE JOINTS STAGGERED, PAPER TAPE EMBEDDED OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR FIRE-RATED PARTITION ASSEMBLY U.L. #U465
1 HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COOLER NAILS 7" O.C. WITH END JOINTS ON NAILING MEMBERS. PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION. PROVIDE TWO ROWS BLOCKING AT 40" O.C..

TYPICAL NON-BEARING PARTITION
No. 25 Gg. CHANNEL SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE. (16" O.C. AT WET AREAS.)

LOCATION PLAN

SCALE NA

WALKWAY EDGE DETAIL (TYP)

SCALE: 1/2" = 1'-0"

LEGAL DESCRIPTION

LOTS 19, 20, 21 AND 22, PORTION OF LOTS 23, 24 AND 25 BLOCK 50 OF CORAL GABLES COUNTRY CLUB SECTION PART FOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 57, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOLIO No. 03-4118-006-0120

PROPERTY ADDRESS: 3441 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134-6211

SCOPE OF WORK:

NEW TWO-STORY RESIDENCE WITH NEW FENCE, PRIVACY WALL, POOL DECK AND LANDSCAPE.

SETBACKS

	REQUIRED	PROVIDED
FRONT SETBACK	25'-0"	25'-9"
SIDE SETBACK	10'-0"	10'-5" / 10'-0"
REAR SETBACK	35'-0"	37'-11"

APPLICABLE CODES

2020 FBC - RESIDENTIAL 7TH EDITION
2020 FBC - PLUMBING 7TH EDITION
2020 FBC - MECHANICAL 7TH EDITION
2020 FBC - ENERGY CONSERVATION 7TH EDITION
2020 FBC - TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONE 7TH EDITION
2020 FBC - FUEL GAS 7TH EDITION

SITE NOTES

1.

ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.

2.

ALL APPROACHES TO BE COORDINATED WITH RIGHT-OF-WAY CONDITIONS SUCH AS, BUT NOT LIMITED TO: STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.

3.

LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS AS REQUIRED BY THE CITY OF CORAL GABLES.

4.

NOTE: CROSS HATCHED AREAS DENOTES RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.

5.

ALL AREAS MARKED "SOD" TO BE SODDED PER LANDSCAPING PLANS.

6.

CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT, IT SHALL BE ABANDONED AS RECOMMENDED PER FLORIDA BUILDING CODE AND AS PER MIAMI-DADE COUNTY H.R.S. REQUIREMENTS PRIOR TO STARTING NEW CONSTRUCTION.

7.

FOR LANDSCAPE INFORMATION REFER TO LANDSCAPE PLANS.

8.

FOR INFORMATION ON TREES REFER TO LANDSCAPE PLANS.

9.

TERMITE PROTECTION: ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

10.

APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS PER CHAPTER 5, F.B.C., RESIDENTIAL 2020 (7TH EDITION).

11.

FOR GRADING INFORMATION REFER TO CIVIL ENGINEERING PLANS.

NEW TWO STORY RESIDENCE

SITE PLAN

SCALE 3/32" = 1'-0"

WHITE STUCCO PIER

VERTICAL ALUM. FENCE WITH IMITATION DARK WOOD CLADDING

DARK BASALT STONE VENER WITH NICHE INSERT FOR LIGHTING

ENTRANCE DOOR IMITATION WOOD CLADDING

STAIRS ENTRANCE TO HOUSE

LIGHT STONE VENER WALL WITH WATER FEATURE

WHITE STUCCO PIER

VERTICAL ALUM. FENCE WITH IMITATION DARK WOOD CLADDING

DARK BASALT STONE VENER WITH NICHE INSERT FOR LIGHTING

ENTRANCE DOOR IMITATION WOOD CLADDING

SCALE 3/16" = 1'-0"

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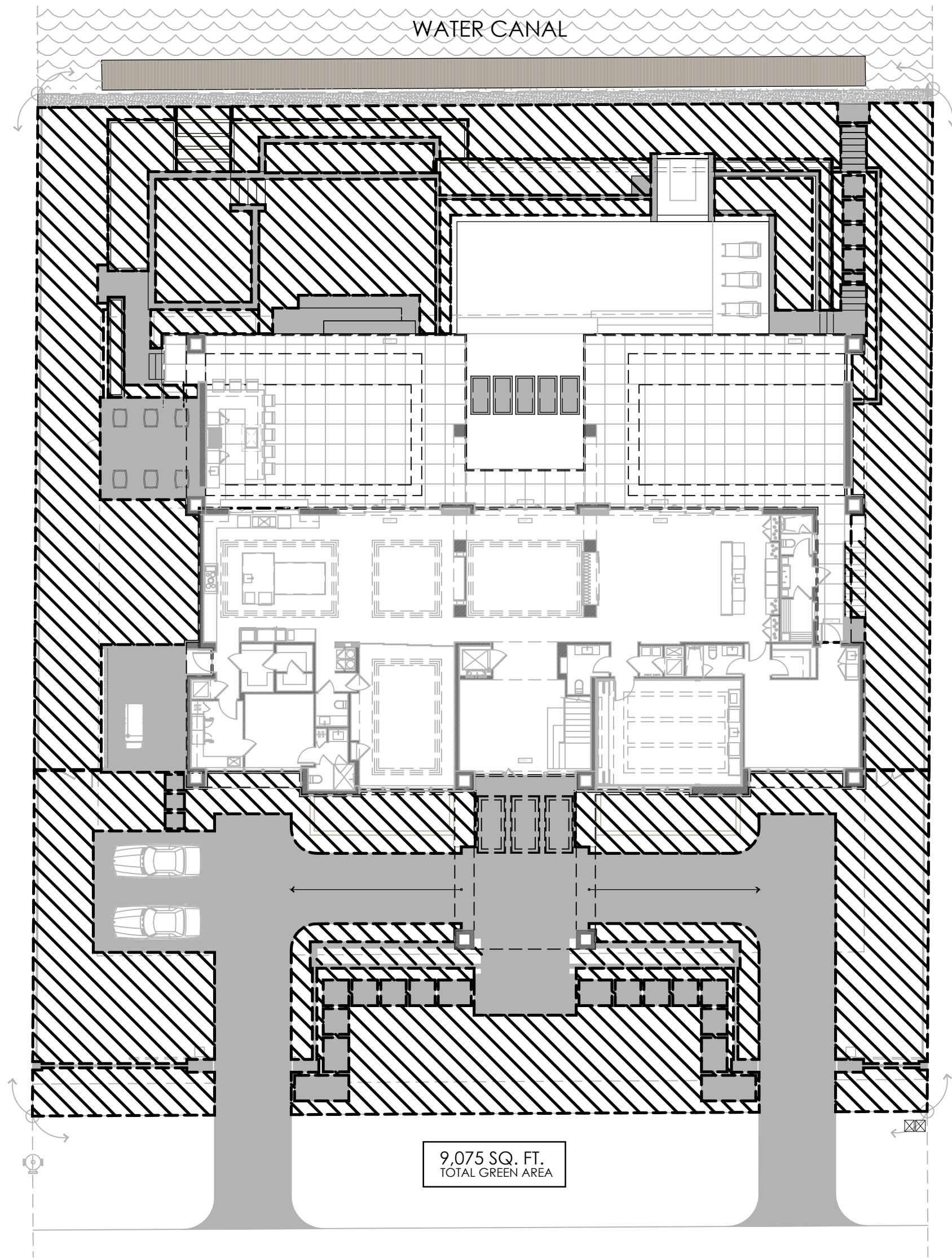
MUNDORADO S.A.

9340 BALADA ST MIAMI FL 33156

revisions

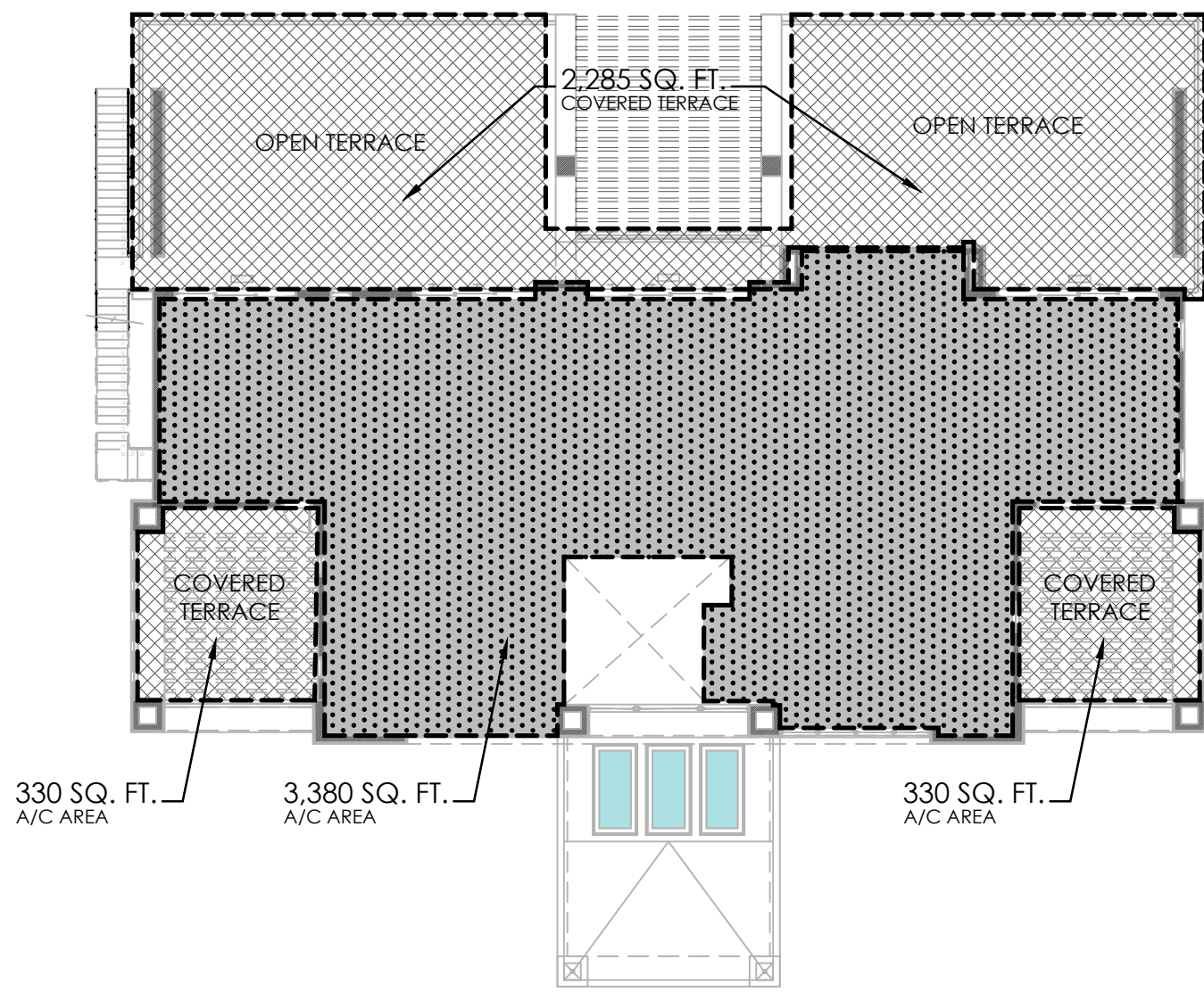
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sheet no. A-1



GREEN AREAS
SCALE: 1/16" = 1'-0"

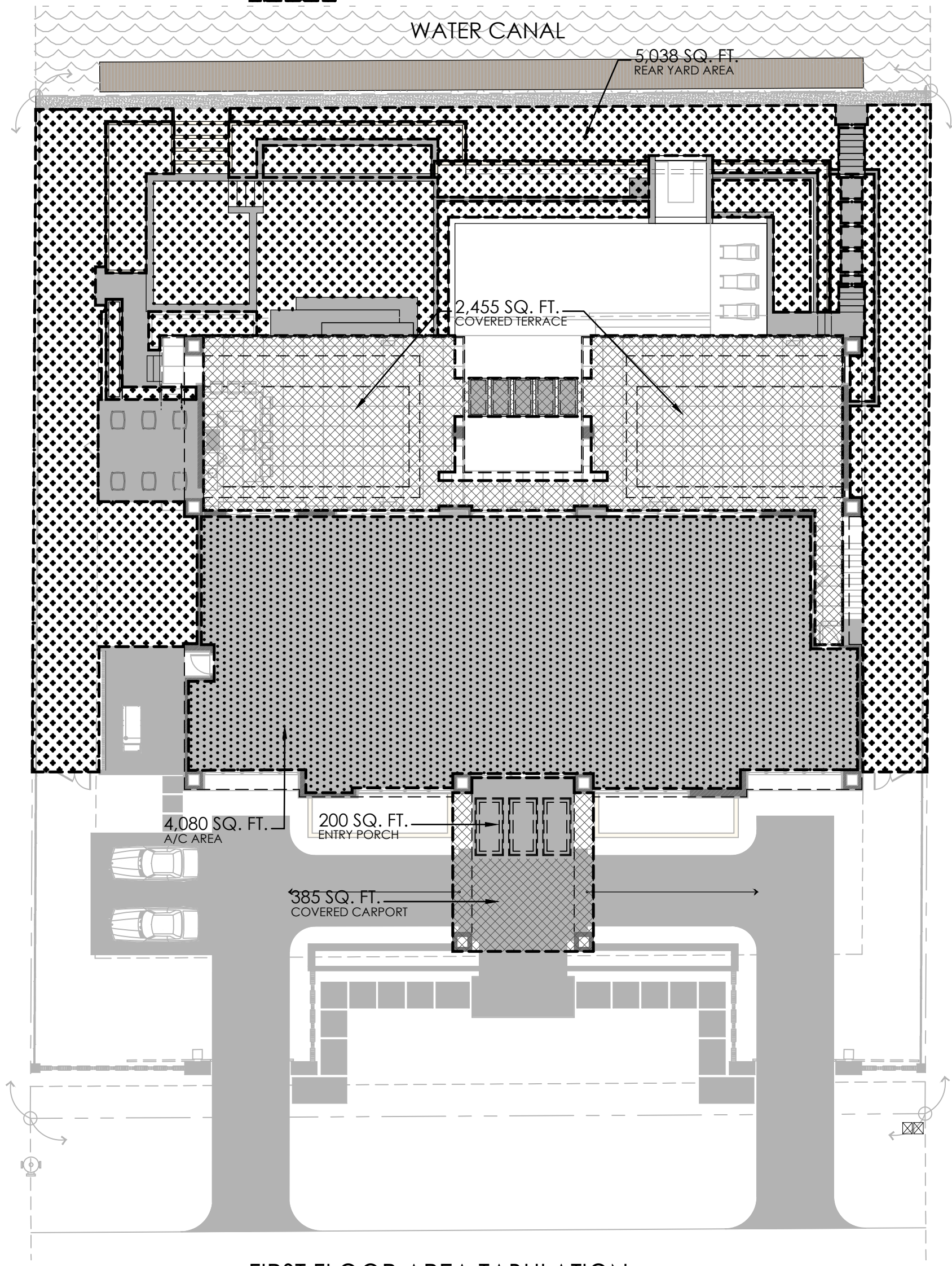
NOTE: HATCHED AREA DENOTES PERVIOUS SURFACE AREAS



SECOND FLOOR AREA TABULATION
SCALE: 1/16" = 1'-0"

NOTE: HATCHED AREA DENOTES A/C AREAS

NOTE: HATCHED AREA DENOTES COVERED TERRACES



FIRST FLOOR AREA TABULATION
SCALE: 1/16" = 1'-0"

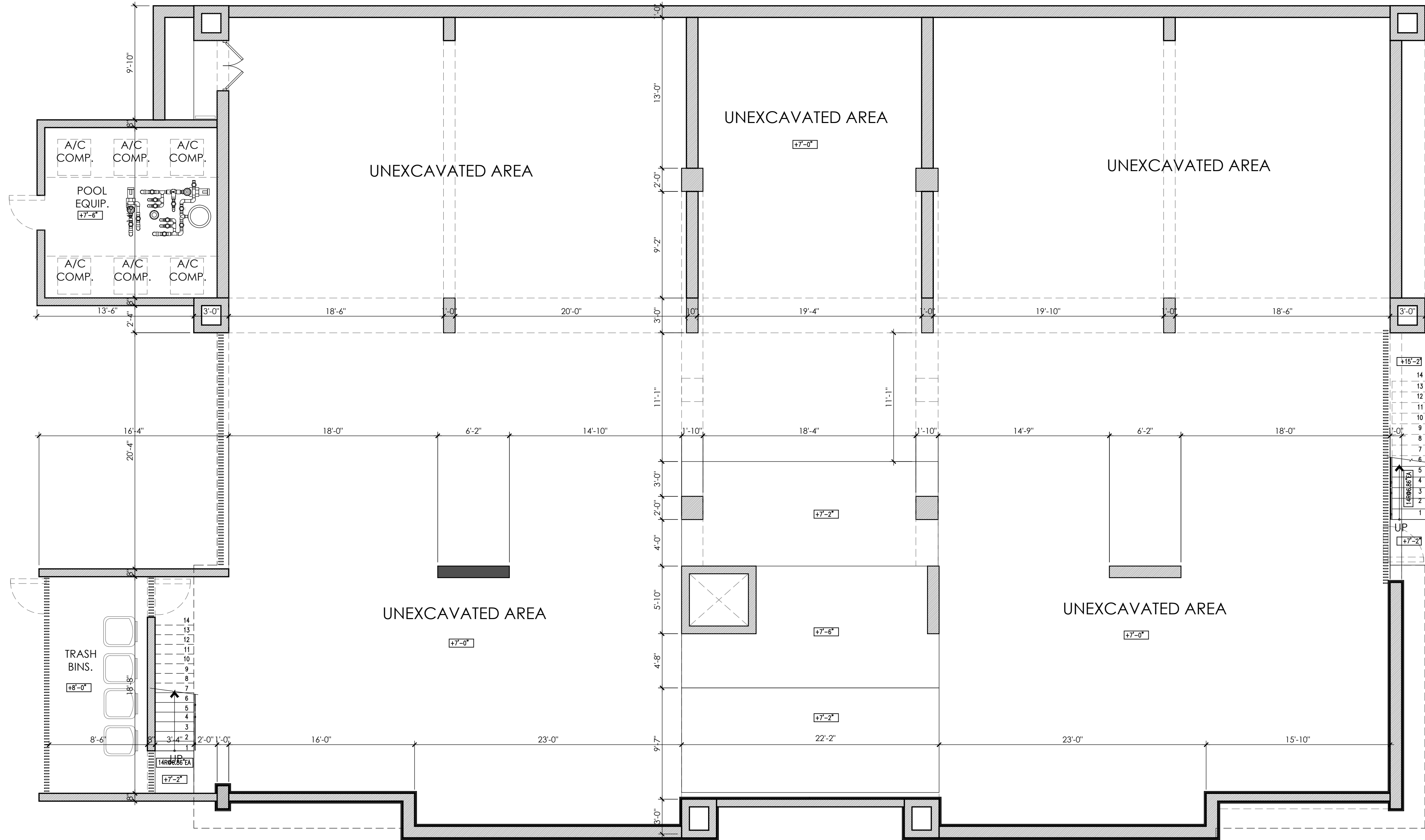
NOTE: HATCHED AREA DENOTES A/C AREAS

NOTE: HATCHED AREA DENOTES REAR YARD AREAS

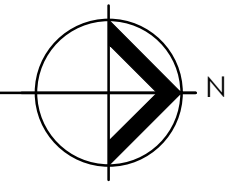
NOTE: HATCHED AREA DENOTES COVERED TERRACES

AREA COMPUTATIONS FOR CORAL GABLES

SFR - SINGLE FAMILY RESIDENTIAL			
SETBACKS:			
FRONT SETBACK	25'-0"		
SIDE SETBACK (20% OF 100'= 20.00' TOTAL)	10'-0"		
SIDE STREET SETBACK (15'-0" OR 25'-0")	10'-0"		
REAR SETBACK	35'-0"		
LOT COVERAGE:			
LOT AREA =	22,400	SQ. FT.	
MAXIMUM BUILDING COVERAGE ALLOWED (35%)=	7,840	SQ. FT.	
BUILDING COVERAGE PROVIDED=	7,399	SQ. FT.	
MAXIMUM LOT COVERAGE ALLOWED (45%)=	10,080	SQ. FT.	
LOT COVERAGE PROVIDED=	8,935	SQ. FT.	
GREEN AREA CALCULATIONS :			
MINIMUM GREEN AREA ALLOWED (40%)=	8,960	SQ. FT.	
GREEN AREA PROVIDED=	9,075	SQ. FT.	
MINIMUM FRONT YARD GREEN AREA ALLOWED (20% OF 40%)=	1,792	SQ. FT.	
FRONT YARD GREEN AREA PROVIDED=	4,035	SQ. FT.	
ALLOWED F.A.R.:			
5,000 SQ. FT. @ 48%	2,400	SQ. FT.	
5,000 SQ. FT. @ 35%	1,750	SQ. FT.	
12,400 SQ. FT. @ 30%	3,720	SQ. FT.	
BASE F.A.R. ALLOWED=	7,870	SQ. FT.	
RESIDENCE SQUARE FOOTAGE: FOR CORAL GABLES			
FIRST FLOOR A/C:	4,080	SQ. FT.	
SECOND FLOOR A/C:	3,380	SQ. FT.	
CARPORT:	385	SQ. FT.	
TOTAL F.A.R. AREA PROVIDED	7,845	SQ. FT.	
GROSS SQUARE FOOTAGE:			
FIRST FLOOR A/C AREA:	4,080	SQ. FT.	
SECOND FLOR A/C AREA:	3,380	SQ. FT.	
WALL THICKNESS (FIRST FLOOR)	279	SQ. FT.	
WALL THICKNESS (SECOND FLOOR)	258	SQ. FT.	
UPPER VOLUME OF INTERIOR SPACE	217	SQ. FT.	
TOTAL A/C AREA PROVIDED=	8,214	SQ. FT.	
CARPORT AREA / ENTRY PORCH:	585	SQ. FT.	
FIRST FLOOR COVERED TERRACES:	2,455	SQ. FT.	
SECOND FLOOR COVERED TERRACES:	2,945	SQ. FT.	
GENERATOR SLAB:	265	SQ. FT.	
EQUIPMENT SLAB:	389	SQ. FT.	
TOTAL OTHER AREAS=	6,639	SQ. FT.	
TOTAL GROSS AREA	14,853	SQ. FT.	
SWIMMING POOL AREA:	1,535	SQ. FT.	

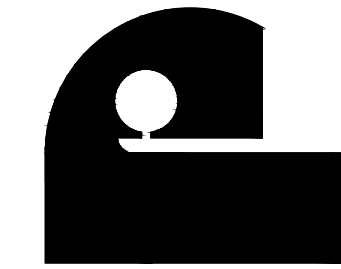


GROUND
FLOOR PLAN
SCALE: 3/16" = 1'-0"



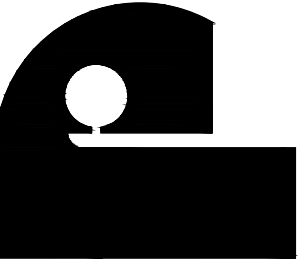
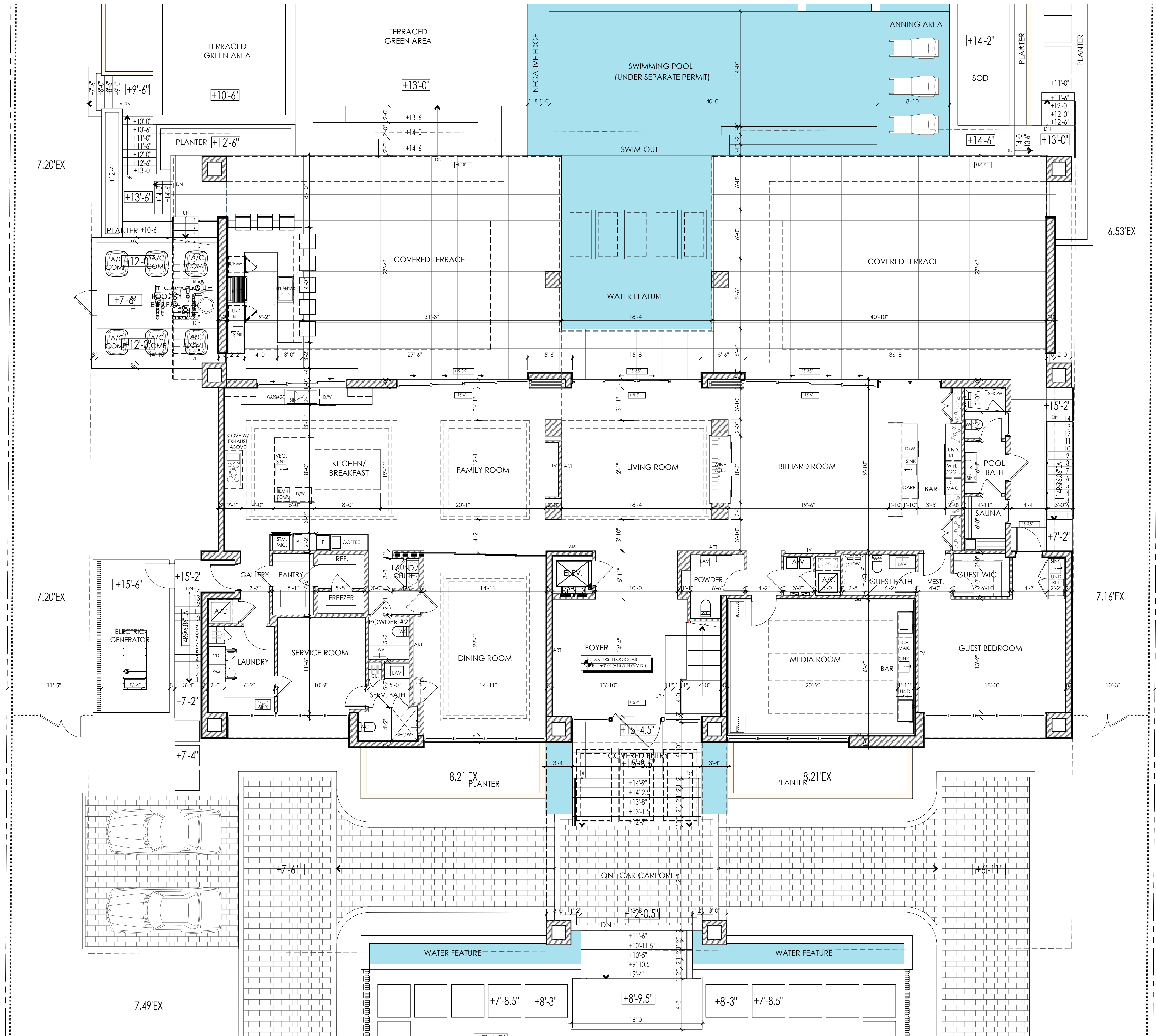
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MUNDORADO S.A.

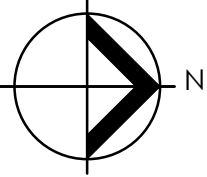
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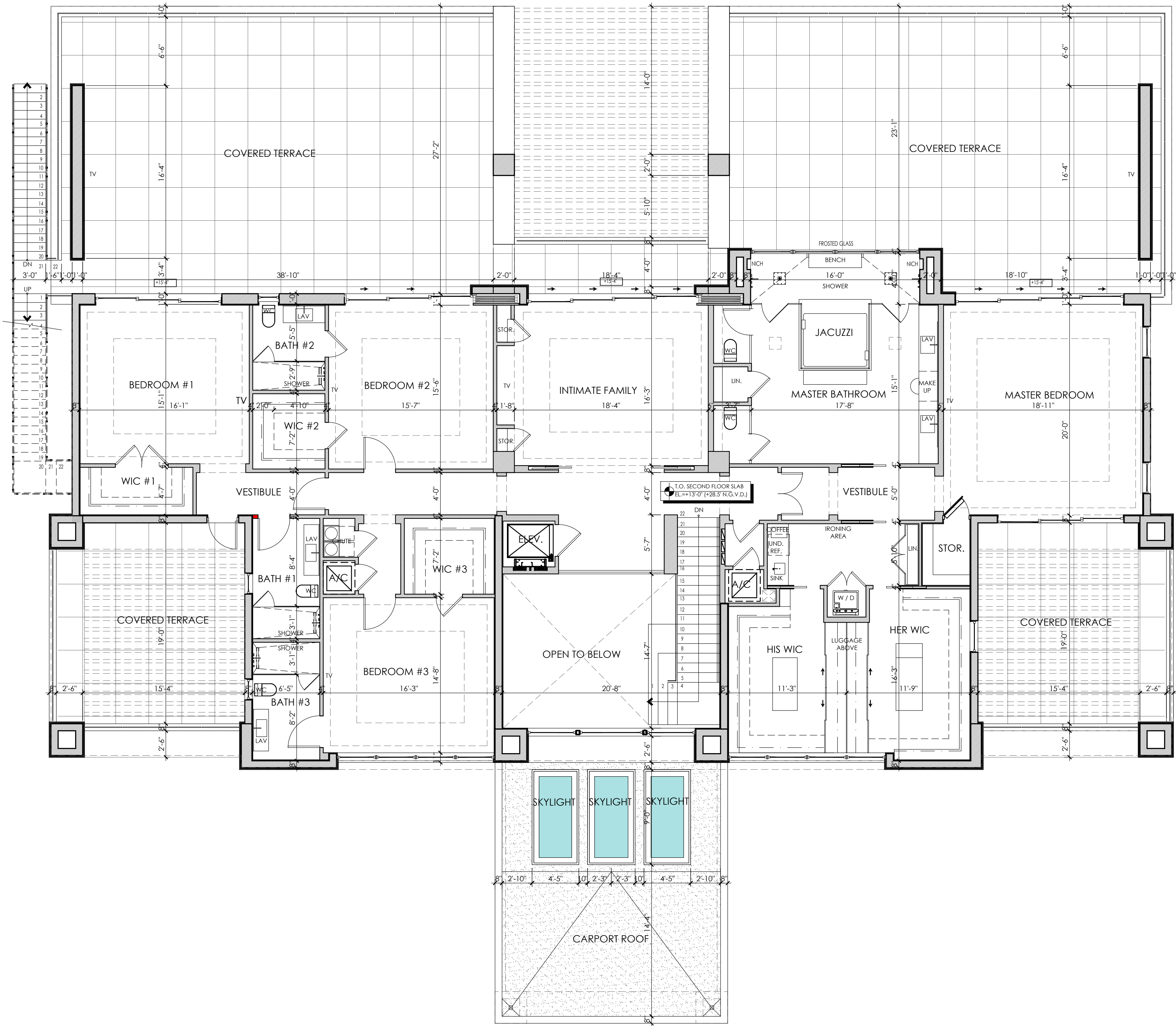
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sheet no.
A-3

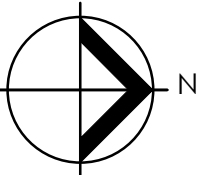
FIRST
FLOOR PLAN

SCALE: 3/16" = 1'-0"



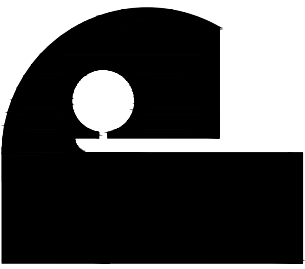


SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"



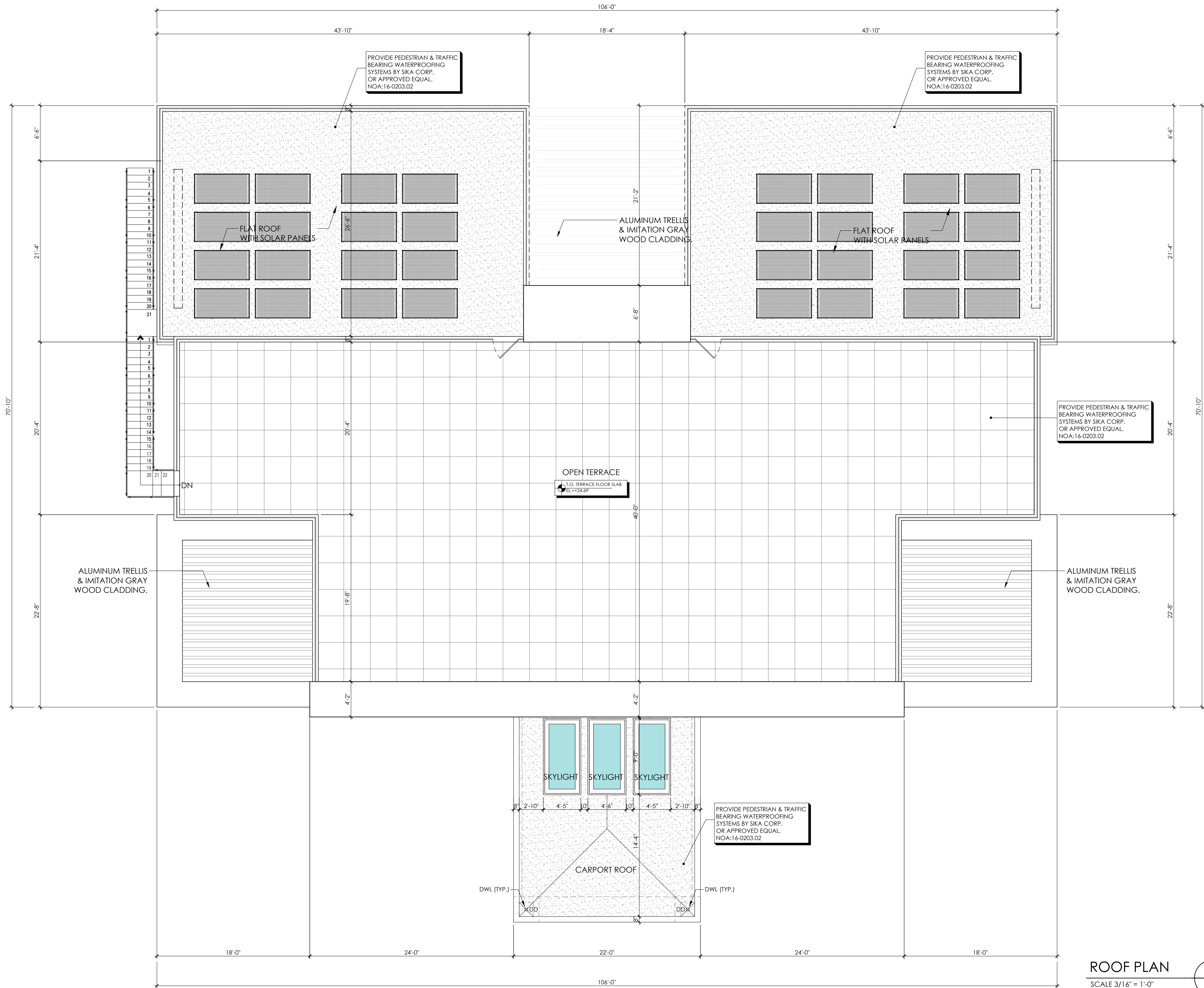
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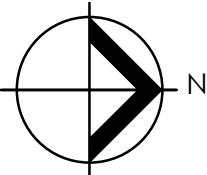


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ROOF PLAN
SCALE 3/16" = 1'-0"



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project no.	2034		

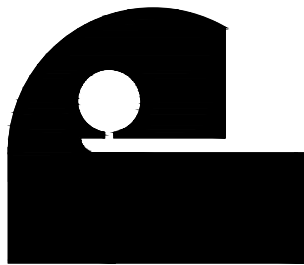
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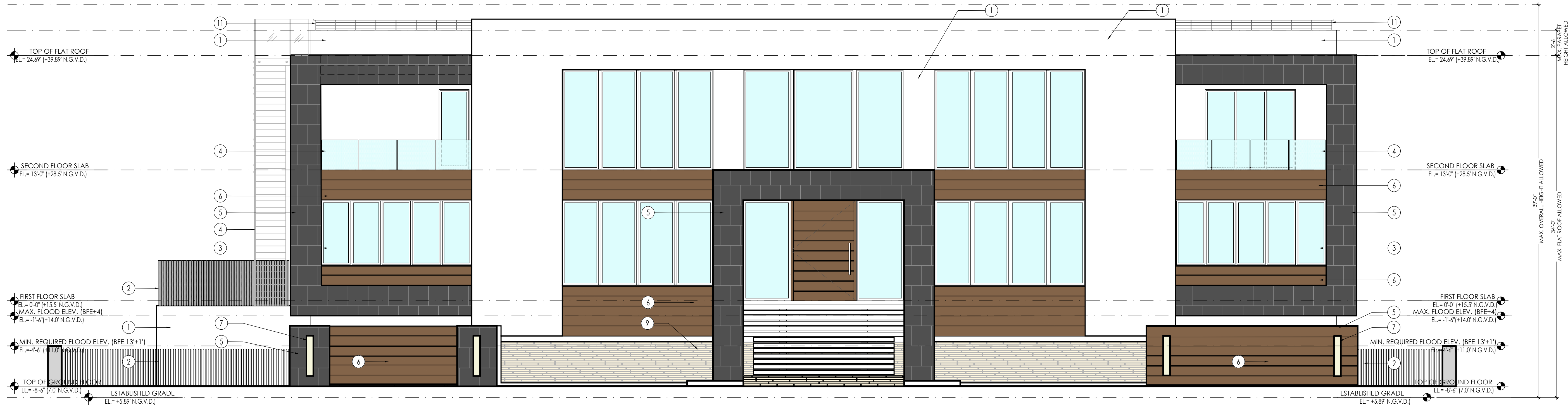
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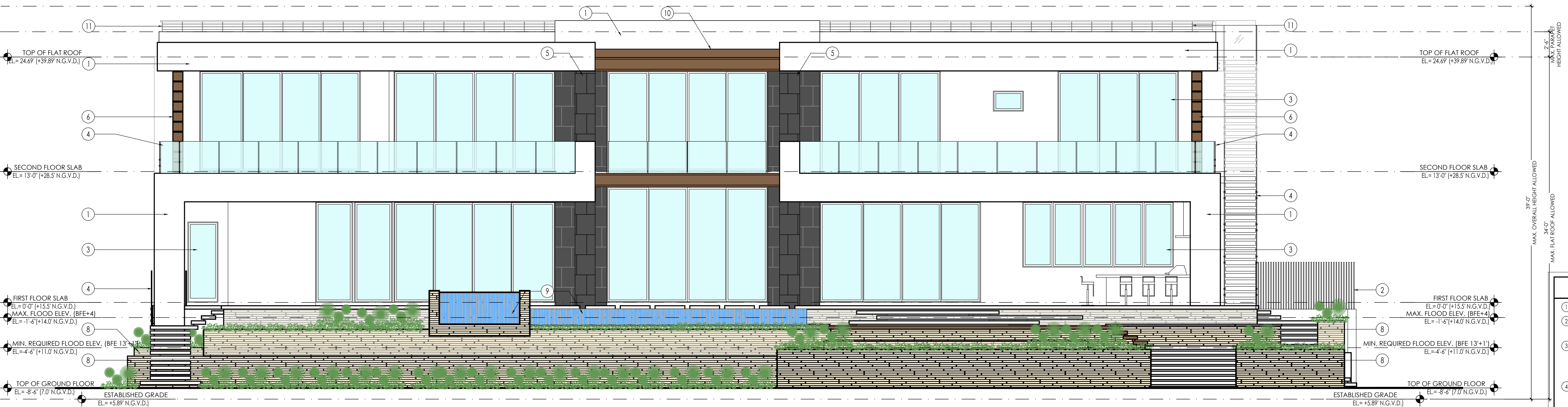
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FRONT ELEVATION (EAST)

SCALE 3/16" = 1'-0"



REAR ELEVATION (WEST)

SCALE 3/16" = 1'-0"

FINISH LEGEND	
1	WHITE SMOOTH STUCCO FINISH (TYP.)
2	DECORATIVE DARK BROWN VERTICAL ALUMINUM LOUVER FENCE (W/ METAL SCREEN @ GENERATOR AREA ONLY)
3	IMPACT RESISTANT WINDOW (LIGHT GRAY GLASS WITH DARK BROWN ALUMINUM FRAME) & IMPACT RESISTANT DOORS WITH DARK WOOD FRAMES, UNDER A SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW)
4	42" HIGH LIGHT GRAY GLASS GUARDRAIL TO REJECT A 4" DIA. SPHERE & 2" DIA. SPHERE @ BOTTOM PER (FBC R4403.7.3.1.4). SUBMIT SHOP DWGS FOR REVIEW & APPROVAL
5	DARK GRAY COLOR BASALT STONE VENEER TO BE SELECTED BY OWNER/ ARCHITECT.
6	IMITATION DARK BROWN WOOD VENEER OR APPROVED EQUAL.
7	NICHE INSERT W/ LIGHT FIXTURE , SUBMIT SHOP DWG. FOR APPROVAL.
8	NATURAL STRIATED BEIGE STONE RETAINING PLANTERS AND LANDSCAPE LOW WALLS.
9	TURQUOISE BLUE TILES FOR POOL AND SPA.
10	ALUMINUM TRELLIS & IMITATION DARK BROWN WOOD CLADDING.
11	42" HIGH CABLE RAILING WITH WOOD HANDRAIL TO REJECT A 4" DIA. SPHERE & 2" DIA. SPHERE @ BOTTOM PER (FBC R4403.7.3.1.4). SUBMIT SHOP DWGS FOR REVIEW & APPROVAL

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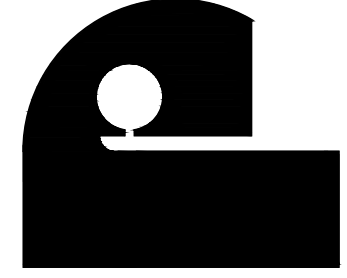
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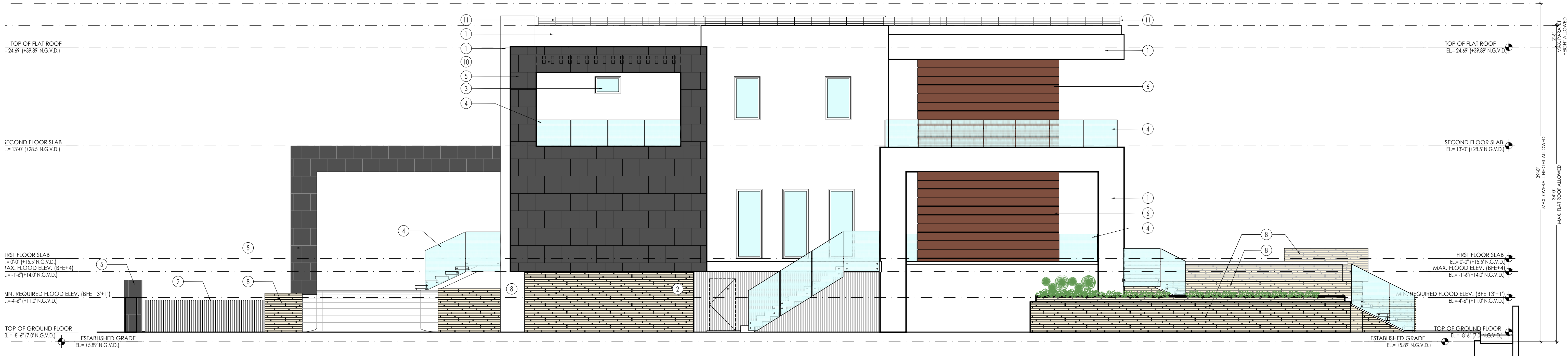
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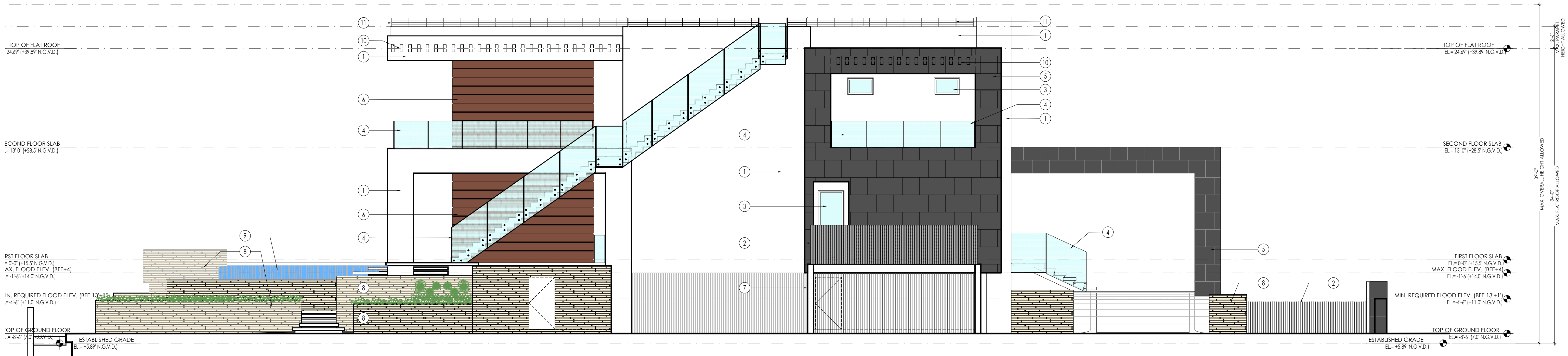


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SIDE ELEVATION (NORTH)

SCALE 3/16" = 1'-0"



SIDE ELEVATION (SOUTH)

SCALE 3/16" = 1'-0"

FINISH LEGEND	
①	WHITE SMOOTH STUCCO FINISH (TYP.)
②	DECORATIVE DARK BROWN VERTICAL ALUMINUM LOUVER FENCE (W/ METAL SCREEN @ GENERATOR AREA ONLY)
③	IMPACT RESISTANT WINDOW (LIGHT GRAY GLASS WITH DARK BROWN ALUMINUM FRAME) & IMPACT RESISTANT DOORS WITH DARK WOOD FRAMES, UNDER A SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW)
④	42" HIGH LIGHT GRAY GLASS GUARDRAIL TO REJECT A 4" DIA. SPHERE & 2" DIA. SPHERE @ BOTTOM PER (FBC R4403.7.3.1.4). SUBMIT SHOP DWGS FOR REVIEW & APPROVAL
⑤	DARK GRAY COLOR BASALT STONE VENEER TO BE SELECTED BY OWNER/ ARCHITECT.
⑥	IMITATION DARK BROWN WOOD VENEER OR APPROVED EQUAL.
⑦	NICHE INSERT W/ LIGHT FIXTURE, SUBMIT SHOP DWG. FOR APPROVAL.
⑧	NATURAL STRIATED BEIGE STONE RETAINING PLANTERS AND LANDSCAPE LOW WALLS.
⑨	TURQUOISE BLUE TILES FOR POOL AND SPA.
⑩	ALUMINUM TRELLIS & IMITATION DARK BROWN WOOD CLADDING.
⑪	42" HIGH CABLE RAILING WITH WOOD HANDRAIL TO REJECT A 4" DIA. SPHERE & 2" DIA. SPHERE @ BOTTOM PER (FBC R4403.7.3.1.4). SUBMIT SHOP DWGS FOR REVIEW & APPROVAL

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FRONT ELEVATION - ENTRANCE



FRONT ELEVATION - LEFT SIDE



FRONT ELEVATION - RIGHT SIDE



REAR ELEVATION - LEFT SIDE

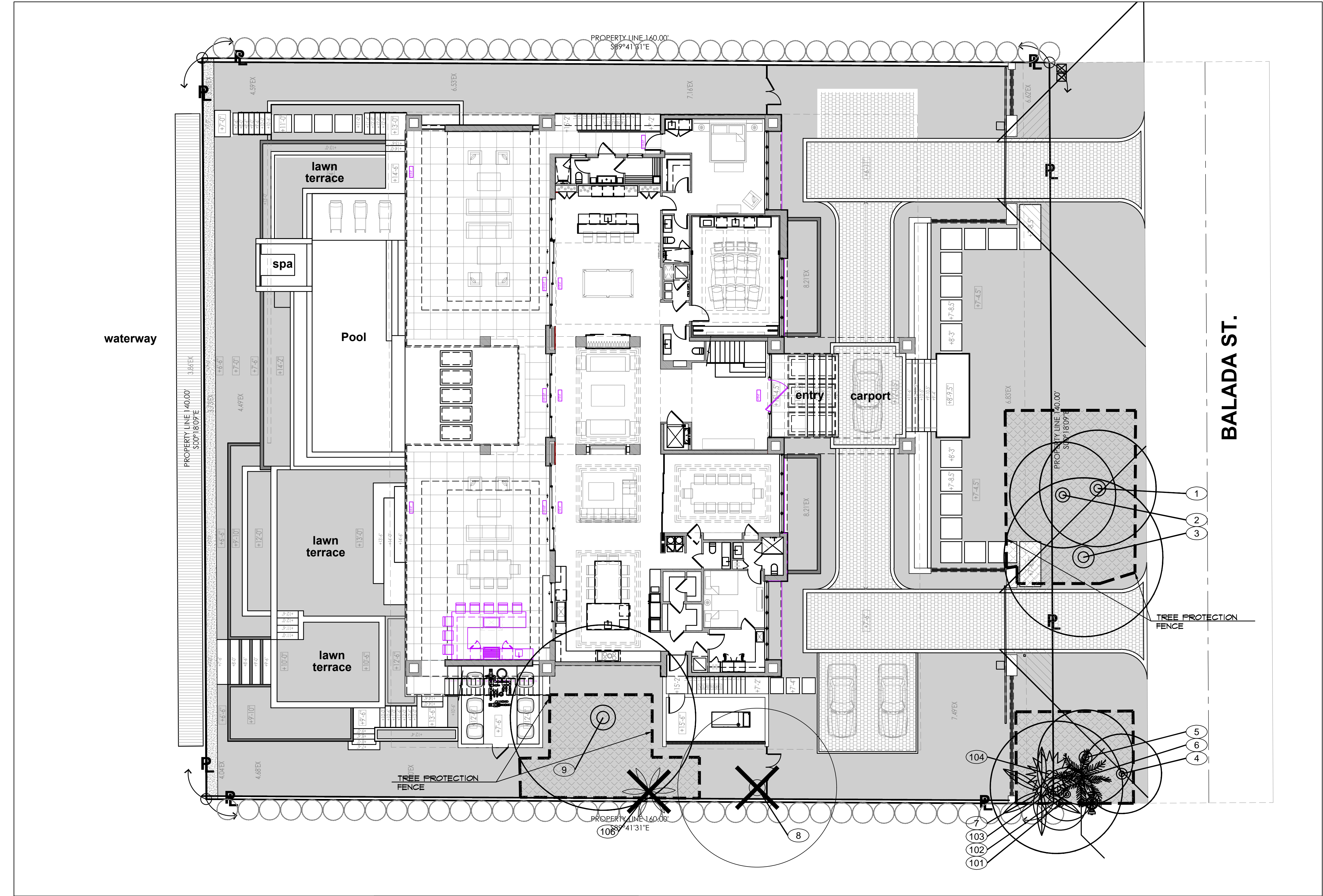


REAR ELEVATION - POOL VIEW



REAR ELEVATION - RIGHT SIDE

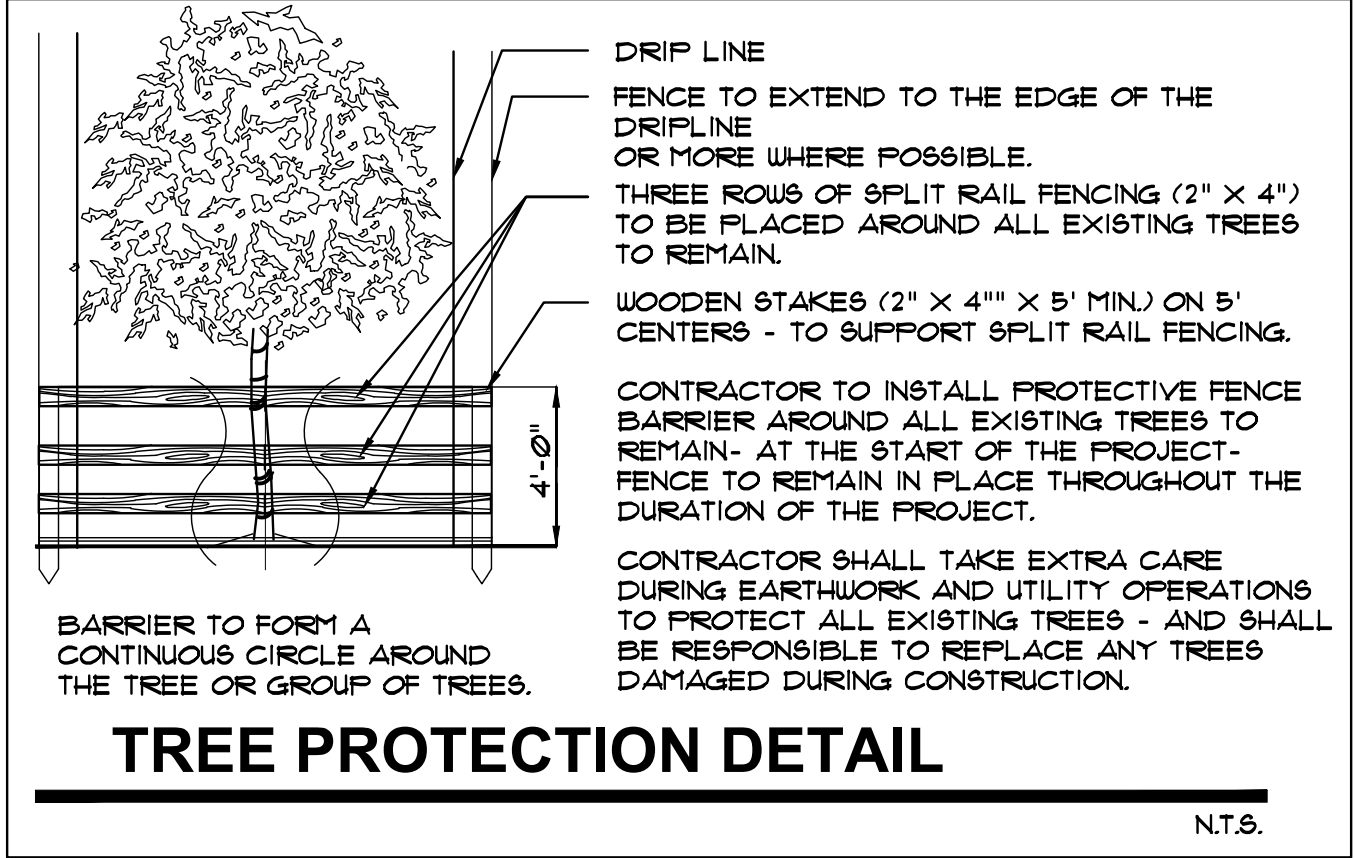
RENDERINGS



NOTES:

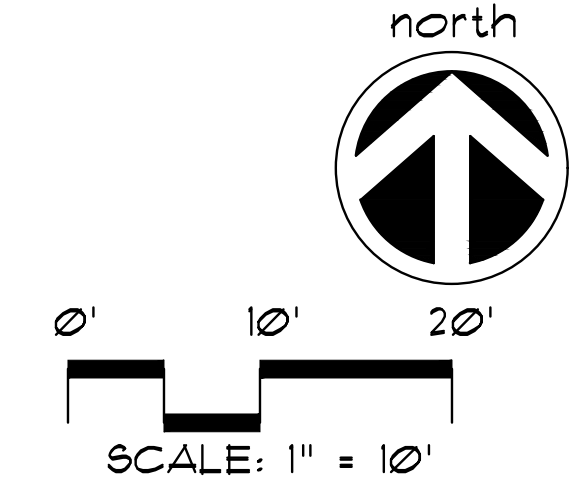
1. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL OF ANY TREES OR PALMS FROM THE SITE.
2. SEE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, SPECIFICATIONS, DETAILS, ETC.
3. THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (THE CITY OF CORAL GABLES). TREE PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
4. LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
5. ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.

21-25-9340 BALADA ST., MIAMI, FL. 33156												
8/12/2021												
TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	DBH inches	CONDITION	CLEAR TRUNK	STATUS	CANOP. REMAIN	CANOP. LOSS	REMARKS
1	BS	GUMBO LIMBO	Bursera simaruba	30	22	13	FAIR		REMAIN	380		IN RIGHT OF WAY
2	QV	LIVE OAK	Quercus virginiana	32	20	14	FAIR		REMAIN	314		IN RIGHT OF WAY
3	QV	LIVE OAK	Quercus virginiana	32	30	16	FAIR		REMAIN	707		IN RIGHT OF WAY
4	QV	LIVE OAK	Quercus virginiana	20	15	11	FAIR		REMAIN	177		IN RIGHT OF WAY
5	BS	GUMBO LIMBO	Bursera simaruba	45	18	11	FAIR		REMAIN	254		IN RIGHT OF WAY
6	PR3	ROEBELENI PALM	Roebelia roebelia	10	12	3.3	GOOD		REMAIN	113		IN RIGHT OF WAY
7	RE	ROYAL PALM	Roystonia elata	30	20	20	GOOD		REMAIN	314		IN RIGHT OF WAY
8	CV	WEeping BOTTLEBRUSH	Callistemon viminalis	32	30	16.10	POOR		REMOVE	707	707	SEVERE TRUNK DAMAGE
9	QV	LIVE OAK	Quercus virginiana	38	35	23	FAIR		REMAIN	962		
101	QV	LIVE OAK	Quercus virginiana	18	10	8	FAIR		REMAIN	79		IN RIGHT OF WAY
102	BS	GUMBO LIMBO	Bursera simaruba	26	10	11	FAIR		REMAIN	79		IN RIGHT OF WAY
103	BS	GUMBO LIMBO	Bursera simaruba	35	25	19	FAIR		REMAIN	491		IN RIGHT OF WAY
104	LC	CHINESE FAN PALM	Livistonia chinensis	22	12	10	FAIR		REMAIN	113		IN RIGHT OF WAY
106	PE	ALEXANDER PALM	Ptychosperma elegans	25	10	3	FAIR		REMOVE	79	79	
TOTALS										4,768	786	0
FIELD INVENTORY CONDUCTED BY JFS DESIGN INC. ON JULY 09, 2021												



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF CORAL GABLES, PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, DETAILS, ETC.



PROPOSED SITE
TREE DISPOSITION PLAN

JFS

JFS Design Inc.

LANDSCAPE ARCHITECTURE

LC 000393

1833 NW 146th TERRACE

PEPPERWICK PARK, FL 33068

jimmy@jfsdesignfl.com

PACHECO-MARTINEZ & ASSOCIATES LLC.

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9340 BALADA ST MIAMI FL 33156

revisions

date issued drawn checked project no. sheet no.

11-05-20

HW

2034

TD-1

























Florida Yacht
Boat Management

Balada St

9330

9335

9340 Balada St, Coral
Gables, FL 33156

9345

9355

9350

Balada St











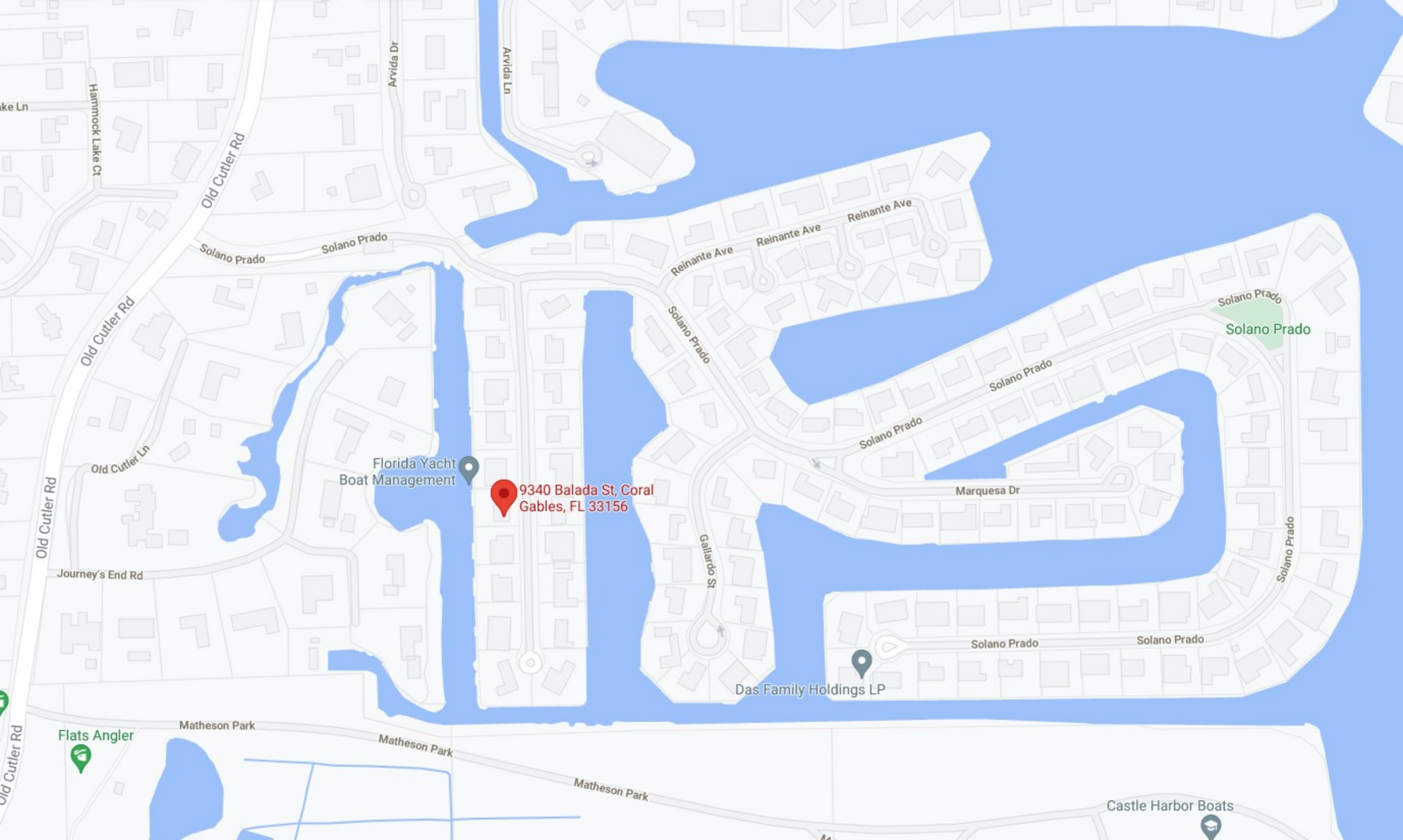












ke Ln

Hammock Lake Ct

Old Cutler Rd

Arvida Dr

Arvida Ln

Solano Prado

Solano Prado

Reinante Ave

Reinante Ave

Reinante Ave

Solano Prado

Solano Prado

Solano Prado

Solano Prado

Marquesa Dr

Solano Prado

Solano Prado

Solano Prado

Das Family Holdings LP

Journey's End Rd

Florida Yacht
Boat Management

9340 Balada St, Coral
Gables, FL 33156

Gallardo St

Matheson Park

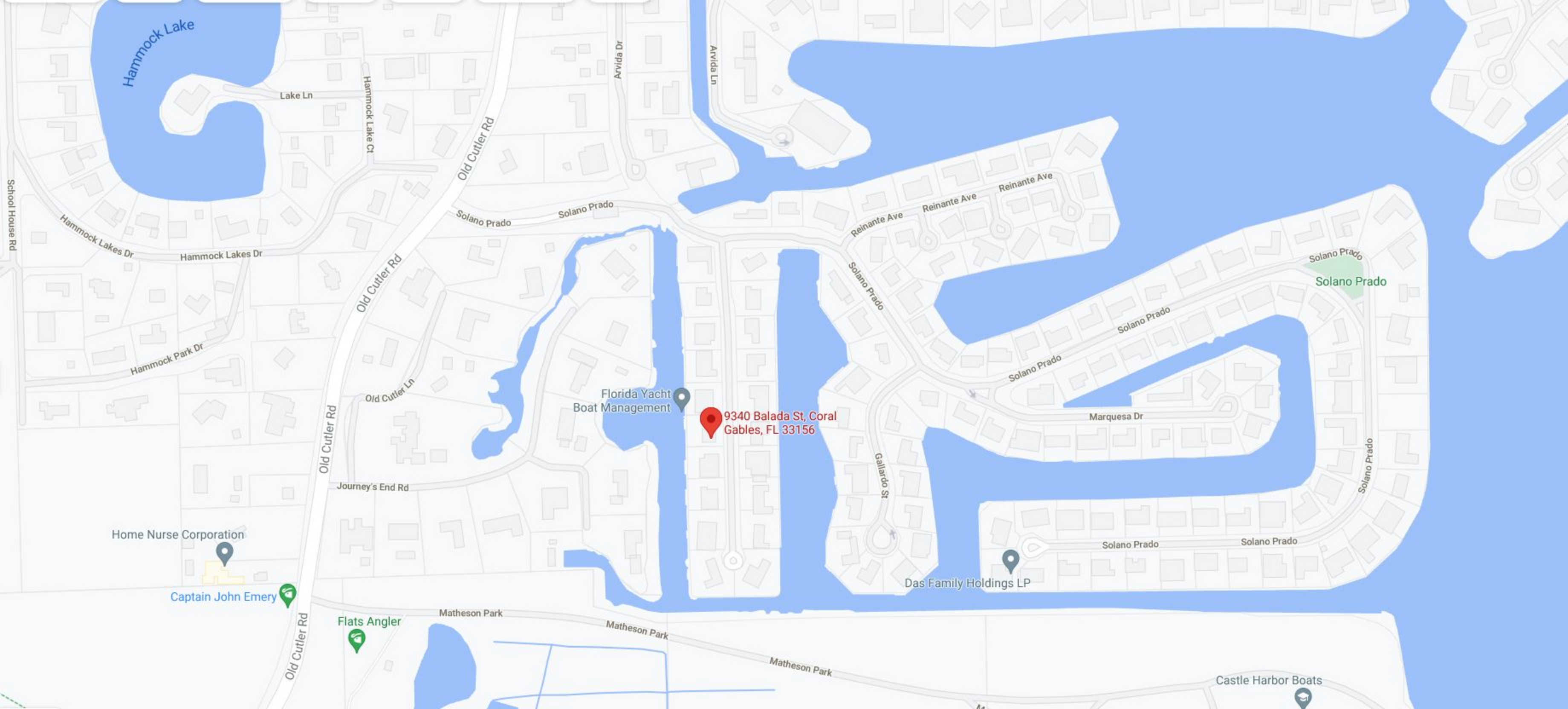
Matheson Park

Matheson Park

Castle Harbor Boats

Flats Angler

Old Cutler Rd



Hammock Lake

Lake Ln

Hammock Lake Ct

Arvida Dr

Arvida Ln

Old Cutler Rd

Solano Prado

Solano Prado

Reinante Ave

Reinante Ave

Reinante Ave

Solano Prado

Solano Prado

Solano Prado

Solano Prado

Marquesa Dr

Solano Prado

Solano Prado

Solano Prado

Hammock Lakes Dr

Hammock Lakes Dr

Hammock Park Dr

Old Cutler Rd

Old Cutler Ln

Old Cutler Rd

Journey's End Rd

Florida Yacht
Boat Management

9340 Balada St, Coral
Gables, FL 33156

Gallardo St

Das Family Holdings LP

Home Nurse Corporation

Captain John Emery

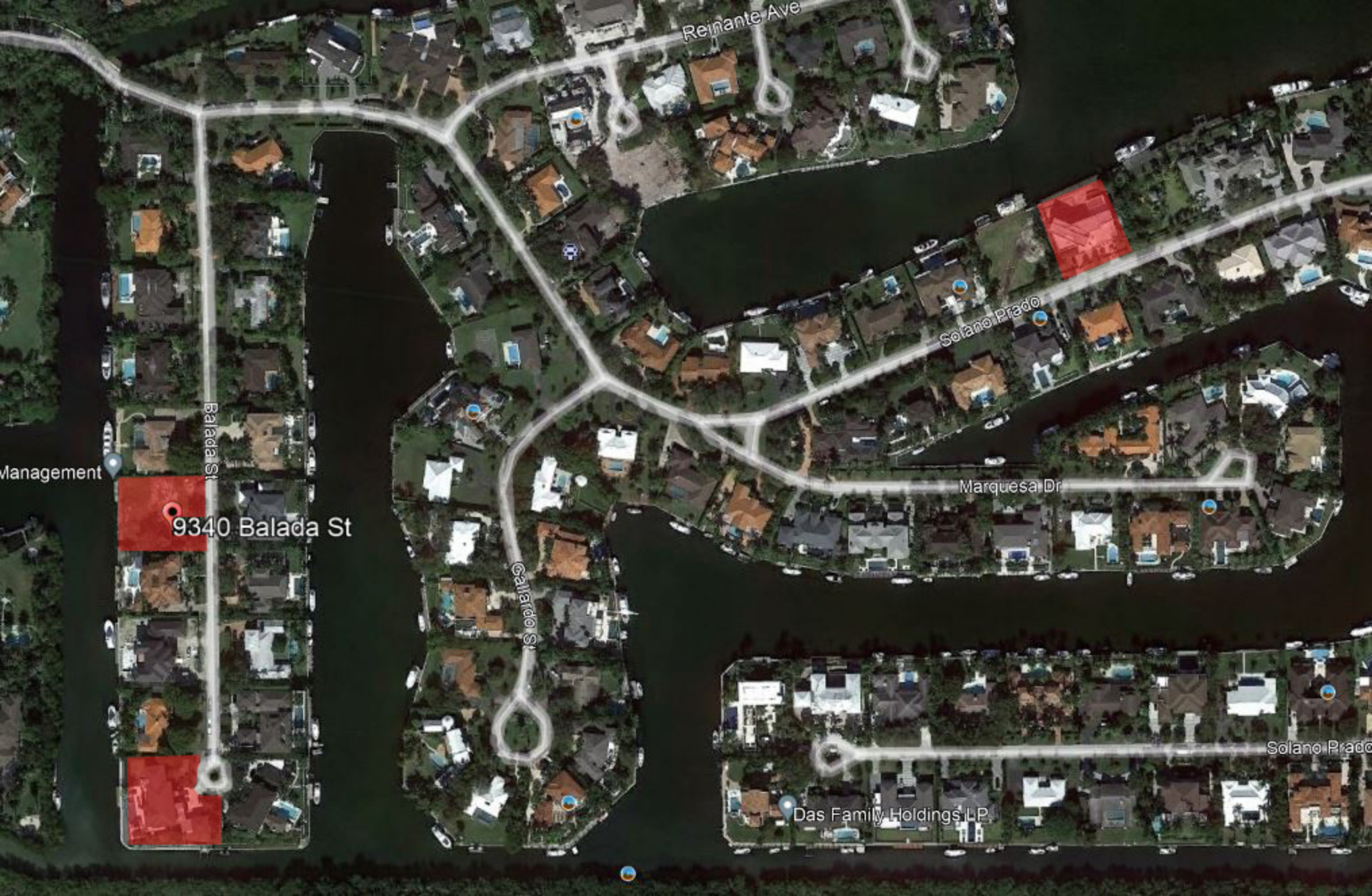
Flats Angler

Matheson Park

Matheson Park

Matheson Park

Castle Harbor Boats



Reinante Ave

Solano Prado

Marquesa Dr

Solano Prado

Das Family Holdings LP

Calardo St

Balada St

9340 Balada St

Management





Solano Prado

Solano Prado

