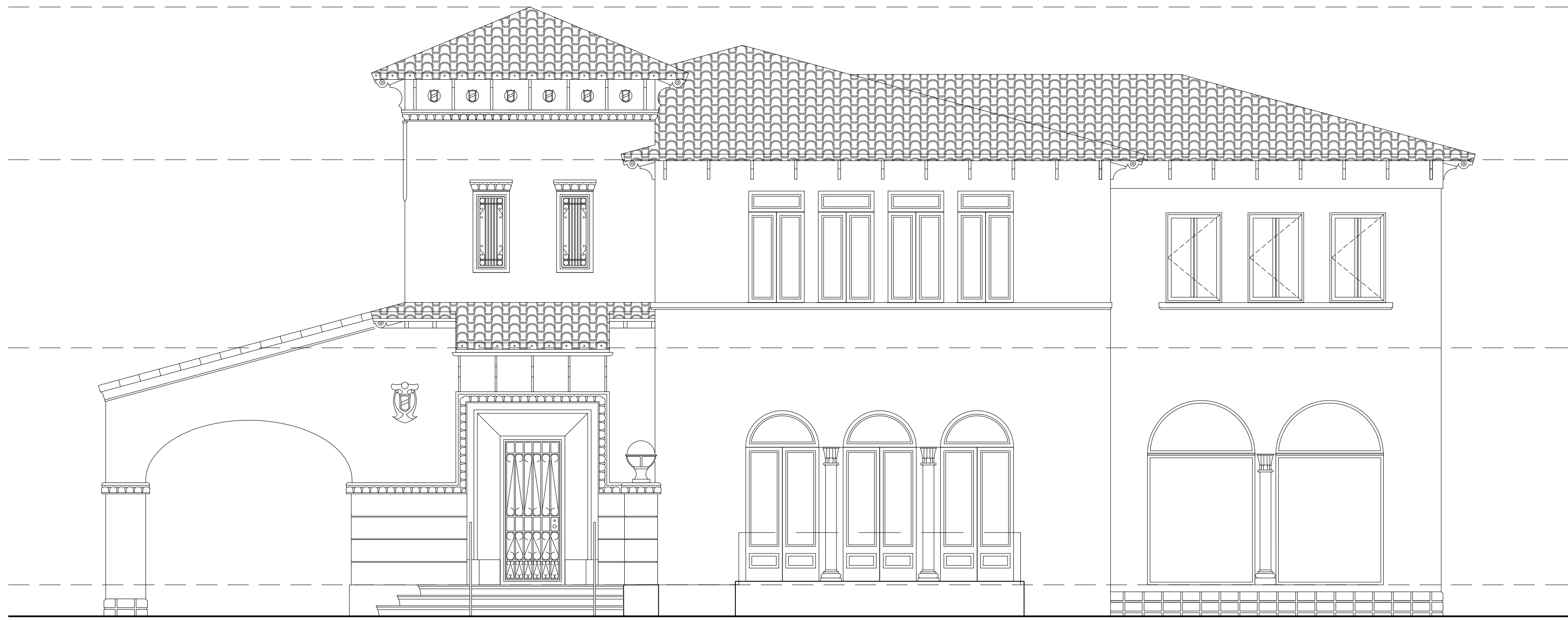


REHABILITATION OF HISTORIC RESIDENCE FOR
LAURENCE & KATHY MARLIN
717 NORTH GREENWAY DRIVE - CORAL GABLES, FL 33134



THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

- The property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- The property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Changes that have acquired historic significance in their own right shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- Significant archeological resources affected by a project shall be protected and preserved. If such resources are discovered and must be disturbed, mitigation measures shall be undertaken.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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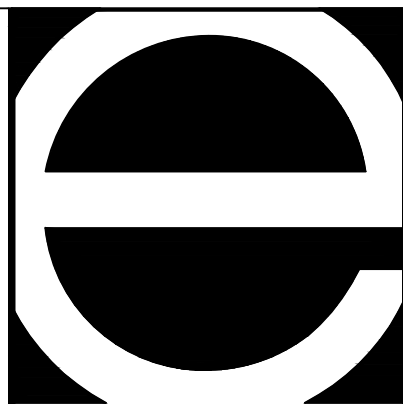
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NO.	REVISION / SUBMISSION	DATE
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PROJECT

REHABILITATION TO HISTORIC
RESIDENCE FOR

LAURENCE &
KATHY MARLIN

717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

A-000

SPECIFICATIONS

BUILDING AND ZONING CODE REFERENCES
1. FLORIDA BUILDING CODE 6TH EDITION (2017)
2. NATIONAL ELECTRICAL CODE (NFPA 70) 2017 EDITION
3. NFPA-101 LIFE SAFETY CODE 2018 EDITION

OWNERSHIP OF DOCUMENTS
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF EASTSHORE INTERNATIONAL CORP.

DIVISION I - GENERAL CONDITIONS
1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: A. THESE GENERAL NOTES, UNLESS OTHERWISE NOTED. B. FLORIDA BUILDING CODE, CURRENT EDITION, AND PERTINENT ADDENDUMS. C. ALL APPLICABLE LOCAL, COUNTY AND STATE ORDINANCES.
2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING WITH THE WORK.
3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH THE ARCHITECT, IN WRITING, ANY OMISSIONS OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED WITHIN THESE SPECIFICATIONS AND DRAWINGS.
4. CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND VERIFY THE LOCATION AND AVAILABILITY OF ALL UTILITIES PRIOR TO SUBMITTING BIDS.
5. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, SHALL BECOME PART OF THESE SPECIFICATIONS AND SHALL GOVERN THE ADMINISTRATION OF THE CONTRACT.
6. WHENEVER A SPECIFIC PRODUCT IS CALLED FOR IN THE DRAWINGS OR SPECIFICATIONS, AN EQUAL SHALL BE CONSIDERED PROVIDING THAT THE REQUEST IS SENT IN WRITING TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING SAID PRODUCT.
7. CONTRACTOR SHALL PROVIDE SANITARY SERVICES, POTABLE WATER, AND WASTE DISPOSAL SERVICES (DUMPSTER) THROUGHOUT THE CONSTRUCTION PROCESS. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE SITE. KEEP ALL LANES AND DRIVES CLEAN AND CLEAR AT ALL TIMES. CONDUCT OPERATIONS SO AS NOT TO INTERFERE WITH ADJACENT ROADS, STREETS, DRIVES, WALKS, SERVICE LANES AND THE LIKE.
8. CONTRACTOR SHALL PROTECT WORK OF OTHER TRADES SO THAT PRE FINISHED SURFACES, OR SURFACES TO BE FINISHED AT A LATER DATE ARE NOT MARKED.
9. CONTRACTOR SHALL BROOM SWEEP THE ENTIRE WORK AREA AT THE CONCLUSION OF EACH DAY'S WORK AND SHALL NOT PERMIT FOOD ITEMS, TRASH, OR OTHER DEBRIS TO REMAIN ON-SITE OR TO BE BLOWN ONTO NEIGHBORING PROPERTIES.

DIVISION II - SITE WORK
1. CONTRACTOR SHALL REMOVE AND DISPOSE LEGALLY OF ALL TRASH, SUPPLIES, LOOSE NON-SALVAGE ITEMS, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM THE CLEARING AND CONSTRUCTION PROCESS AND MAINTAIN A NEAT, CLEAN AND SAFE WORK AREA.

DIVISION III - CONCRETE
1. CONCRETE SHALL COMPLY WITH ACI 301-72, AND SHALL HAVE THE FOLLOWING 28-DAY COMPRESSIVE STRENGTHS U.O.N. ON STRUCTURAL PLANS: *FOOTINGS AND SLABS ON GRADE 2500 PSI *BEAMS AND COLUMNS 3000 PSI
2. REINF BARS SHALL BE ASTM A615; GRADE 40 FOR #3 AND GRADE 660 FOR OTHER SIZES. *LAP ALL BARS AT CORNER SPLICES 36 BAR DIAMETERS MINIMUM AND STAGGER SPLICES. *ALL VERTICAL BARS SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETER.
3. WELDED WIRE FABRIC SHALL BE LAPPED AT LEAST ONE FULL MESH DIMENSION AND AT LEAST TWO WIRES.
4. REINFORCEMENT SHALL HAVE THE FOLLOWING CLEAR COVER: a. CONCRETE IN CONTACT WITH THE GROUND.....3 INCHES b. COLUMNS AND BEAMS EXPOSED TO WEATHER.....2 INCHES c. COLUMNS AND BEAMS NOT EXPOSED TO WEATHER.....1 INCH d. STRUCTURAL SLABS NOT EXPOSED TO WEATHER.....3/4 INCH e. SLAB ON GRADE.....1/4 INCH reinforcement centered in slab
5. THE MINIMUM THICKNESS OF ALL SLABS ON GRADE SHALL BE SIX (6) INCHES.
6. REINFORCEMENT OF SLABS SHALL BE W.W.F. 6"x6" W1.4 X W1.4.
7. EXPANSION JOINT MATERIAL SHALL BE PLACED BETWEEN SLABS ON GRADE AND MASONRY WALLS (ONE-HALF INCH MINIMUM).
8. A VAPOR BARRIER SHALL BE INSTALLED BENEATH ALL SLABS ON GRADE.
9. SAW CUT OR FORM CONTROL JOINTS SHALL BE PLACED WHERE SHOWN ON THE DRAWINGS. SAW CUTS SHALL BE 3/16" WIDE AND 1" DEEP, AND SHALL BE SAWN WITHIN 24 HOURS AFTER CONCRETE PLACEMENT. REINFORCEMENT SHALL EXTEND THROUGH FORMED CONTROL JOINTS.
10. SLABS SHALL HAVE A STEEL-TROWLED FINISH WITH A MAXIMUM DEVIATION FROM LEVEL OF 1/2" IN 10'-0". RECESSED AREAS TO RECEIVE TILE SHALL HAVE A ROUGH-BROOM FINISH. SIDEWALKS AND PAVED AREAS SHALL HAVE LIGHT-BROOM FINISH.
11. SLABS SHALL BE CURED FOR FIVE DAYS AFTER PLACEMENT WITH MOISTURE OR CURING COMPOUND.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL FORMWORK AND SHORING.
13. G.C. SHALL USE XYPEX ADMIXTURE IN CONCRETE FOR EXTERIOR SLABS, EYEBROWS, ETC.

DIVISION IV - MASONRY
1. 8" X 8" X 16" CONCRETE MASONRY UNITS SHALL BE ASTM C90-70, GRADE A STORED IN A DRY PLACE UNDER COVER. FACE SHELL THICKNESS SHALL BE NO LESS THAN 1-1/4" THICK WITH A ONE INCH MINIMUM WEB THICKNESS.
2. ERECT MASONRY INCLUDING REINFORCING AND SET BOLTS, ANCHORS, STRAPS, SLEEVES AND OTHER NECESSARY ITEMS AND PROVIDE OPENINGS REQUIRED BY OTHER TRADES. DO NOT USE SQUARE END BLOCKS ABUTTING CONCRETE COLUMNS. ALL MASONRY SHALL BE LAID IN FULL MORTAR BLOCKS.
3. MORTAR SHALL CONFORM TO ASTM C270 TYPE M.
4. VERTICAL CELLS TO BE FILLED SHALL HAVE THE MINIMUM CLEAR DIM. OF 2" X 3". CLEAN OUT AND INSPECTION OPENINGS SHALL BE MADE AT THE LOWER END OF ALL CELLS TO BE FILLED. CELLS SHALL BE FILLED AT EA. SIDE OF DR. OPENINGS AND AT EA. SIDE OF ALL OPENINGS WIDER THAN 3'-0". EACH FILLED CELL SHALL CONTAIN ONE #5 BAR, CONTINUOUS FOOTING TO TIE BEAM.
5. EVERY SECOND HORIZONTAL MORTAR JOINT SHALL BE REINF. WITH JOINT REINF. EXTENDING INTO STRUCTURAL COLUMN AS PER STRUCTURAL DRAWINGS.
6. CONTRACTOR SHALL PROVIDE SAMPLES TO ARCHITECT OF DECORATIVE METALS, TRIM AND ROOFING FOR APPROVAL PRIOR TO ORDERING SAID ITEMS.

DIVISION V - METALS
1. ALL HARDWARE FOR EXTERIOR USE SHALL BE GALVANIZED UNLESS OTHERWISE NOTED.

DIVISION VI - WOOD AND PLASTICS
1. FRAMING SHALL BE DONE IN A WORKMAN LIKE MANNER BY SKILLED LABOR. A. ALL NAILING SHALL CONFORM TO THE BUILDING CODE NAILING SCHEDULE. B. PROVIDE DOUBLE STUDS EACH SIDE OF DOOR OPENINGS C. CUTTING OF WOOD STRUCTURAL MEMBERS SHALL BE IN COORDINATION WITH STRUCTURAL ENGINEER ONLY.
2. INTERIOR NON-BEARING PARTITIONS SHALL BE 3-8" METAL STUDS AT 24" O.C. 20 GAUGE MINIMUM, WITH R-11 BATT INSULATION THROUGHOUT. PROVIDE A SINGLE PRESSURE TREATED (P.T.) SILL PLATE AND A DOUBLE TOP PLATE. BEARING PARTITIONS SHALL BE P.T. 2 X 4 STUDS @ 16" O.C. AS PER PLANS.
3. INSTALL MILLWORK ACCURATELY WITH TIGHT JOINTS AND TRUE SURFACES WELL SANDED FREE FROM DEFECTS.
4. LUMBER: A. ALL CONCEALED STRUCTURAL LUMBER TO BE CONSTRUCTION GRADE PRESSURE TREATED F=1200 PSI YELLOW PINE OR DOUGLAS FIR. B. ALL CONCEALED NON-STRUCTURAL LUMBER TO BE CONSTRUCTION GRADE PRESSURE TREATED F=1000 PSI YELLOW PINE OR DOUGLAS FIR. C. ALL PAINTED INTERIOR WOOD TRIM TO BE PAINT GRADE. D. ALL STAINED INTERIOR WOOD TRIM TO BE STAIN GRADE.
5. ALL WOOD IN DIRECT CONTACT WITH MASONRY TO BE PRESSURE TREATED LUMBER.

DIVISION VII - MOISTURE AND THERMAL PROTECTION
1. INSULATION SHALL BE REPAIRED WHERE DAMAGED BY CONSTRUCTION.
2. ALL CAULKING TO BE "VULKEM" BUTYL RUBBER SEALANT 350 OR EQUAL.
3. PROVIDE BUTYL BASE SEALANT UNDER ALL EXTERIOR DOOR THRESHOLDS AND OILED RESINIOUS CAULKING COMPOUND AT ALL DOORS, WINDOWS, AND OTHER AREAS AS REQUIRED. DO NOT USE LATEX BASED SEALANT!
4. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
5. GC SHALL REFER TO THE ARCHITECTURAL DRAWINGS AND ENERGY CALCULATIONS FOR INSULATION R-VALUES. IF ANY DISCREPANCY BETWEEN THE INFORMATION CONTAINED WITHIN THE DRAWINGS AND CALCULATIONS, THE GC SHALL IMMEDIATELY INFORM THE ARCHITECT.

DIVISION VIII - DOORS AND WINDOWS
GC SHALL SUBMIT SHOP DRAWINGS ALONG WITH N.O.A.'S PRIOR TO ORDERING MATERIALS. THE SHOP DRAWING SUBMITTALS SHALL BE HIGHLIGHTED TO INDICATE THE PROPOSED GLAZING, MULLIONS, AND OTHER PARAMETERS TO BE USED. THEY SHALL ALSO INCLUDE GLASS U-FACTORS AND SHGC FIGURES WHICH MUST COMPLY WITH THE ENERGY CALCULATIONS. NO SHOP DRAWINGS SHALL BE REVIEWED WITHOUT THIS INFORMATION. SHOP DRAWINGS SUBMITTED AFTER UNITS ARE INSTALLED SHALL NOT BE REVIEWED.
1. DOORS: A. ALL INTERIOR & EXTERIOR DOORS SHALL BE AS PER PLANS. B. PROVIDE TEMPERED GLASS SHOWER DOORS WHERE SHOWN.
2. WINDOWS SHALL BE AS PER PLANS.
3. ALL FIXED GLASS SHALL BE AS PER PLANS.
4. BURGLAR INTRUSION HARDWARE A. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN S.F.B.C. B. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-THE-NOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS. C. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS. D. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE AT MORE THAN ONE POINT WITH HARDENED BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MINIMUM OF 5/8". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER. E. HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-REMOVABLE PINS. F. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE REBATED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND INTEGRITY OF LOCKS AND LATCHES. G. SINGLE-SWINGING EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1-3/4" THICK. H. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING GLASS DOORS, SHALL COMPLY WITH *AMERICAN NATIONAL STANDARD 297.1". I. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH A.N.S.I. STANDARD 297.1. J. SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREA WITH GARAGE AREA SHALL BE SECURED WITH A LATCH AND A SINGLE DEAD BOLT WITH ONE INCH MINIMUM THROWS OR A COMBINATION OF LATCH AND DEAD BOLT SETS WITH LATCH THROW A MINIMUM OF 1/2" AND BOLTS HAVING A MINIMUM THROW OF ONE INCH. DOORS SHALL BE A MINIMUM OF 1-3/4" THICK SOLID CORE. K. FRONT MAIN ENTRANCE DOORS TO BE PROVIDED WITH A SCOPE OR VISION PANELS.

DIVISION IX - FINISHES
1. INSTALL 5/8" MOLD-GUARD DRYWALL ATTACHED WITH 1-1/2" GALVANIZED DRYWALL SCREWS, IN ALL AREAS, U.O.N.
2. INSTALL "DUROCK" IN AREAS WHICH ARE SLATED TO RECEIVE TILE OR MARBLE IN BATHROOMS; INSTALL DUROCK ON WALLS AND FLOORS AT TILED AREAS, ATTACHED WITH 1-1/2" GALVANIZED DRYWALL SCREWS. INSTALL 6-MIL VAPOR BARRIER BETWEEN DUROCK AND FRAMING.
4. ALL INTERIOR WOOD SURFACES TO BE FINISHED AS PER PLANS. IF ANY QUESTIONS SHOULD ARISE, G.C. SHALL CONSULT W/ OWNER FOR CLARIFICATION.
5. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
6. PAINTING: A. PROVIDE ADEQUATE NUMBER OF WORKMEN SKILLED IN NECESSARY CRAFTS AND INFORMED IN THE METHODS AND MATERIALS TO BE USED IN ACCEPTANCE OR REJECTION OF THE WORK. ARCHITECT WILL MAKE NO ALLOWANCE FOR INABILITY ON THE PART OF THE WORKMEN. B. DO NOT APPLY PAINT IN RAIN, FOG OR MIST OR WHEN RELATIVE HUMIDITY EXCEEDS 85%, OR TO DAMP OR WET SURFACES, UNLESS OTHERWISE PERMITTED BY MANUFACTURER'S SPECS. C. PREPARE AND CLEAN ALL SURFACES AS PER PAINT MANUFACTURER'S RECOMMENDATIONS. D. UPON COMPLETION OF THE WORK, CAREFULLY CLEAN ALL GLASS, HARDWARE, UNPAINTED SURFACES, ETC. AND REMOVE ALL MISPLACED PAINT AND SPOTS OR SPILLS. E. ALL INTERIOR AND EXTERIOR PAINT SHALL BE AS MANUFACTURED BY "BENJAMIN MOORE". F. APPLICATION OF PAINT SHALL BE AS FOLLOWS:

INTERIOR
1. WOOD (PAINTED): PRIME COAT: FRESH START ALKYD ENAMEL UNDER BODY 217. FINISH: TWO COATS SATIN IMPERVO ENAMEL C233.
2. WOOD (STAINED): NOT FOR USE ON FLOORS FIRST COAT: BENWOOD WOOD GRAIN FILLER 238. SECOND COAT: BENWOOD PENETRATING STAIN 234. FINISH: TWO COATS BENWOOD STAYS CLEAR ACRYLIC POLYURETHANE LOW LUSTRE 423.
3. PLASTER AND DRYWALL: PRIME COAT: REGAL PRIMER N216. FINISH: TWO COATS REGAL MATTE FINISH N221.
4. MASONRY: FILLER COAT (BLOCK): MOORCRAFT SUPER CRAFT LATEX BLOCK FILLER 285. PRIME COAT: REGAL PRIMER N216. FINISH: TWO COATS REGAL SEMI-GLOSS FINISH N333.
5. METAL (FERROUS): PRIME COAT: IRONCLAD LATEX LOW LUSTRE METAL & WOOD ENAMEL 363/C363. FINISH: TWO COATS REGAL SEMI-GLOSS FINISH N333.
6. METAL (GALVANIZED): PRIME COAT: IRONCLAD LATEX LOW LUSTRE METAL & WOOD ENAMEL 363/C363. FINISH COAT: TWO COATS REGAL SEMI-GLOSS FINISH N333.
7. INTERIOR DRYWALL TO INCLUDE A 1"x4" FIRESTOP CONTINUOUS WHERE APPLICABLE.

EXTERIOR
1. WOOD (PAINTED): PRIME COAT: MOORCRAFT SUPER SPEC LATEX EXTERIOR PRIMER 169. FINISH: TWO COATS MOORGL0 100% ACRYLIC HOUSE & TRIM PAINT N096.
2. WOOD (STAINED): (SEMI-TRANSPARENT) TWO COATS ALKYD SEMI-TRANSPARENT STAIN 328/C328. (SOLID) TWO COATS ALKYD SOLID SIDING STAIN C080; NOT FOR USE ON PATIOS OR DECKS.
3. MASONRY (STUCCO OR CAST CONCRETE): PRIME: MOORE'S ACRYLIC MASONRY SEALER 066. FINISH COAT: TWO COATS MOORGL0 100% ACRYLIC LOW LUSTRE LATEX HOUSE PAINT N103.
4. METAL (FERROUS): PRIME COAT: MOORCRAFT SUPER SPEC ALKYD METAL PRIMER Z06. FINISH: TWO COATS MOORGL0 100% ACRYLIC HOUSE & TRIM PAINT N096.
5. METAL (GALVANIZED): PRIME COAT: MOORCRAFT SUPER SPEC ALKYD METAL PRIMER Z06. FINISH COAT: TWO COATS MOORGL0 100% ACRYLIC HOUSE & TRIM PAINT N096.

DIVISION X - SPECIALTIES
1. CLOSET SHELVING AND RODS BY OWNER. CONTRACTOR TO COORDINATE WITH THE OWNER & INTERIOR DESIGNER (ID) AND PROVIDE BACKING AS REQUIRED.
2. CARPETS AND PADS: VERIFY W/ OWNER & ID
3. FLOOR FINISH: VERIFY W/ OWNER & ID

DIVISION XI - EQUIPMENT
1. ALL APPLIANCES ARE TO BE INSTALLED BY GC AS SELECTED BY OWNER & ID.
2. LAUNDRY APPLIANCES ARE TO BE INSTALLED BY GC AS SELECTED BY OWNER & ID.
3. PLUMBING FIXTURES ARE TO BE INSTALLED BY GC AS SELECTED BY OWNER ID.
4. WATER HEATERS TO BE AS PER PLANS.

DIVISION XII - FURNISHINGS
REFER TO INTERIOR DESIGN DRAWINGS

DIVISION XIII - SPECIAL CONSTRUCTION
REFER TO INTERIOR DESIGN DRAWINGS

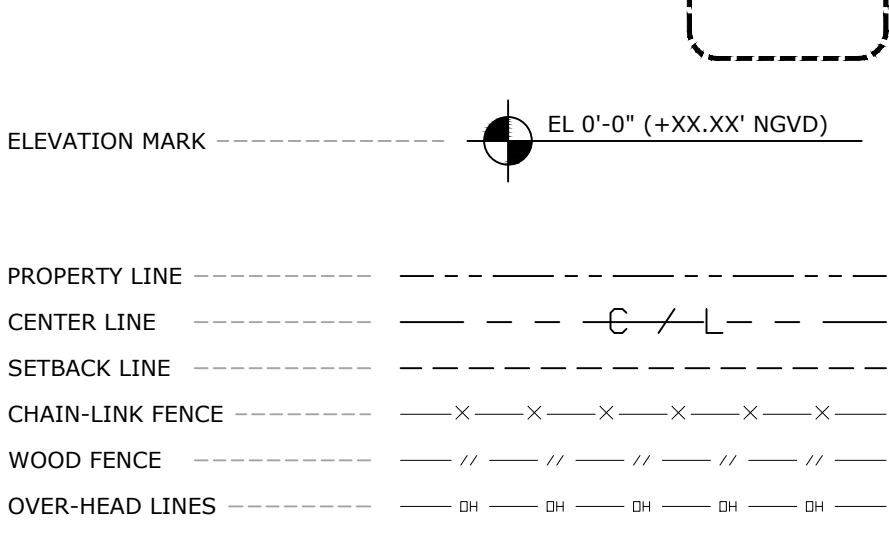
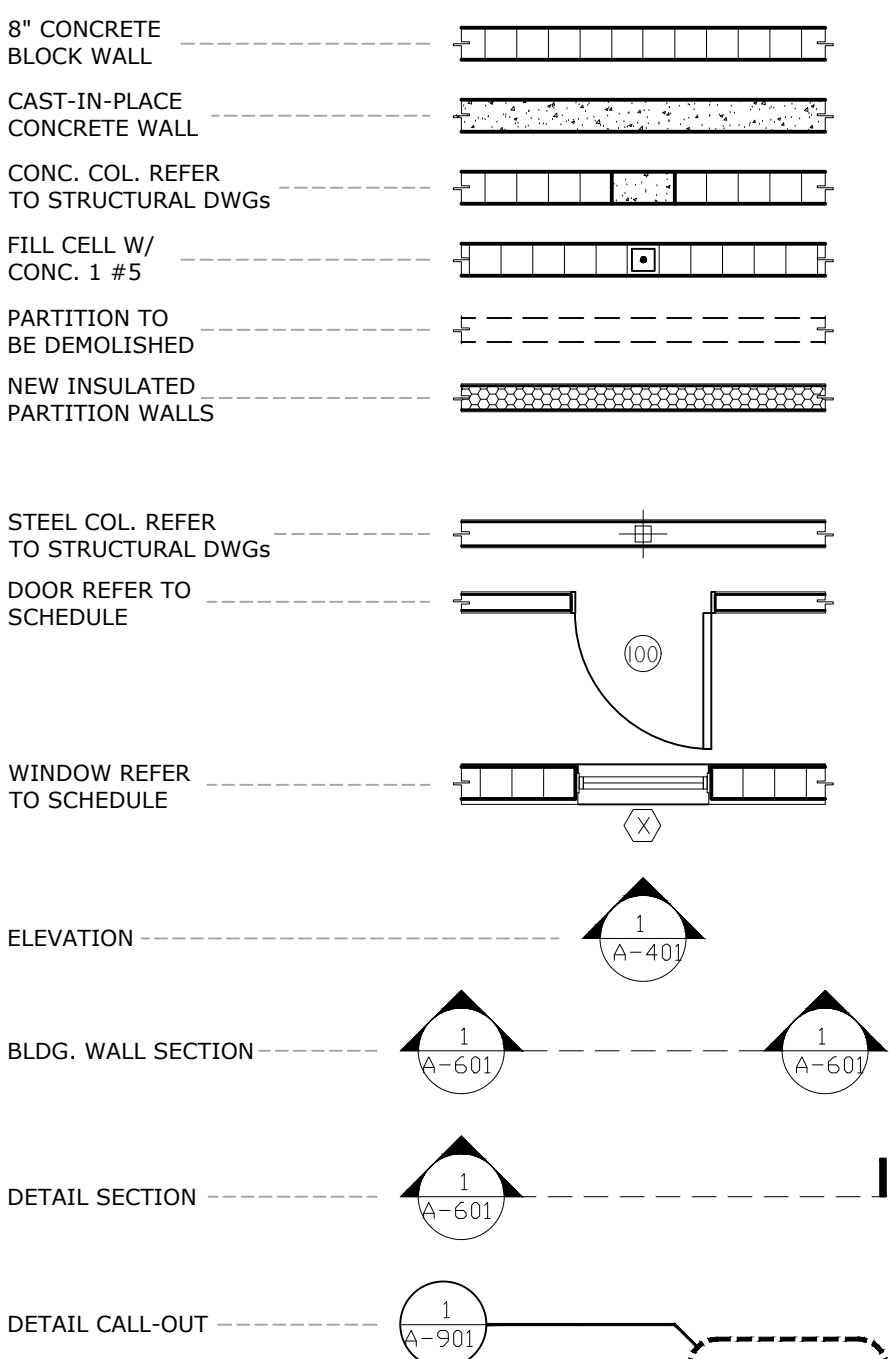
DIVISION XIV - CONVEYING SYSTEMS
DOES NOT APPLY

DIVISION XV - MECHANICAL
1. SEE ARCHITECTURAL AND ENGINEERING DRAWINGS AND RELEVANT NOTES.
2. ALL SHOWERS TO HAVE INTEGRAL SHOWER PANS.
3. PROVIDE FOR RECESSED WASHER AND DRYER HOOK-UPS.
4. USE COPPER PIPING TO ALL WATER CLOSETS.
5. USE COPPER SUPPLY LINES THROUGHOUT.
6. PLUMBING FIXTURES: VERIFY W/ OWNER & ID.
7. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

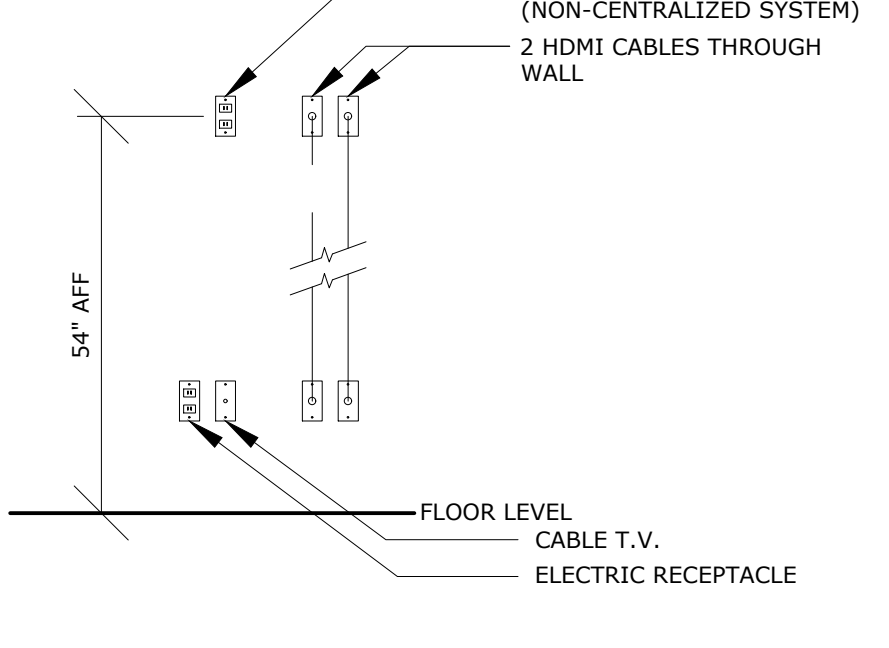
DIVISION XVI - ELECTRICAL

1. ALL HOUSE SERVICE TO BE AS INDICATED ON DRAWINGS, ACCORDING TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
2. ALL WIRING TO BE IN FLEXIBLE METAL CONDUIT. ALL J-BOXES TO BE METAL & SCREWED IN PLACE. J-BOXES TO RECEIVE CHANDELIERS AND CEILING FANS TO BE MOUNTED AS PER F.B.C., ABLE TO SUPPORT 400 LBS. MIN.
3. ALL EQUIPMENT EXPOSED TO WEATHER SHALL BE WEATHERPROOFED.
4. PROVIDE POWER DURING CONSTRUCTION FOR OTHER TRADES.
5. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AS PER PLANS.
6. ALL CIRCUITS TO BE NUMBERED AND IDENTIFIED ON ELECTRICAL PANELS.
7. RECEPTACLES AND SWITCH PLATES MANUFACTURER, DESIGN, COLORS TO BE SELECTED BY OWNER/ID.
8. RECESSED LIGHT FIXTURES SHALL BE AS PER PLANS AS SELECTED BY OWNER / ID.
9. BATHROOM EXHAUST FANS SHALL BE AS PER PLANS AS SELECTED BY OWNER / ID.
10. G.C. SHALL COORDINATE SELECTION AND PURCHASE OF ALL LIGHT FIXTURES W/ OWNER.

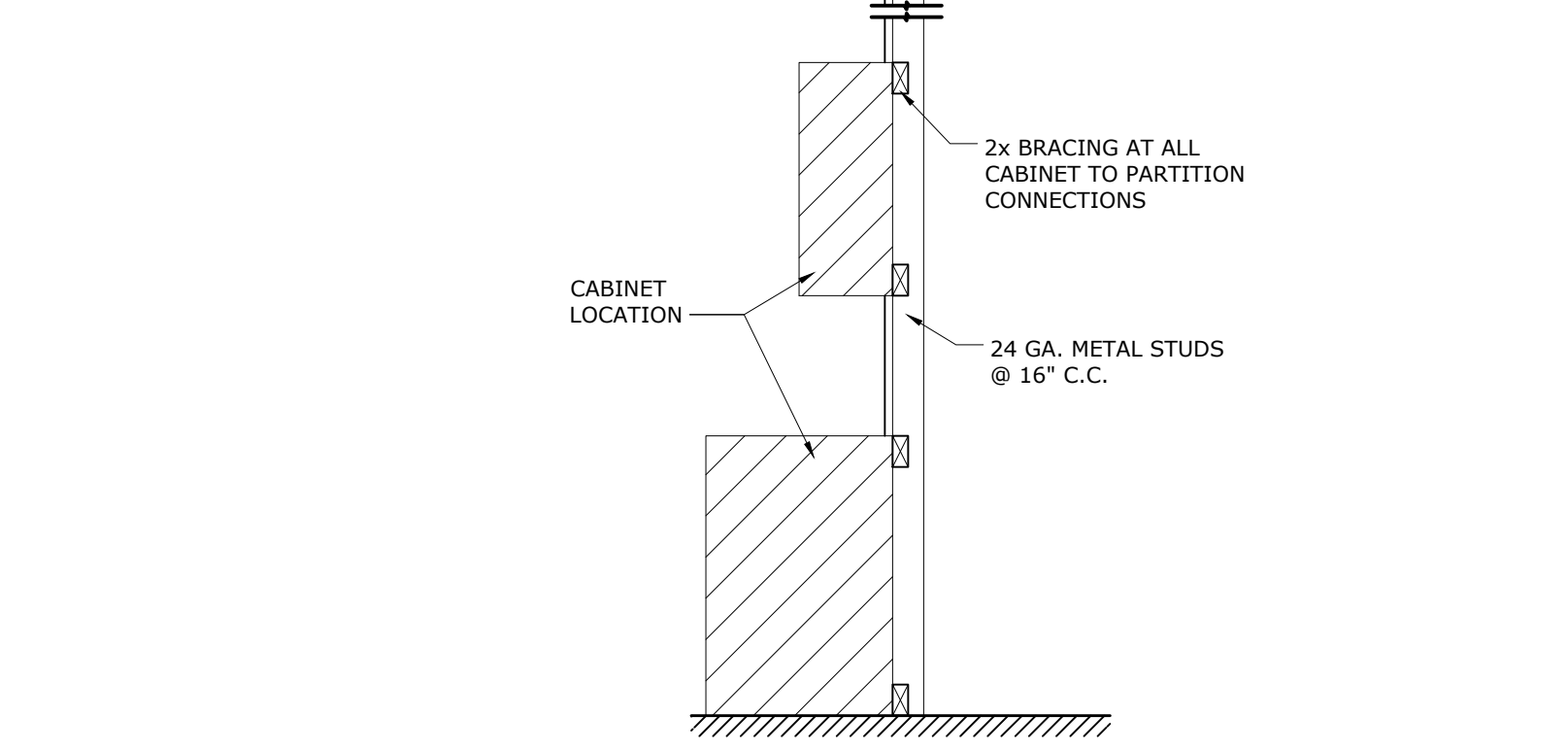
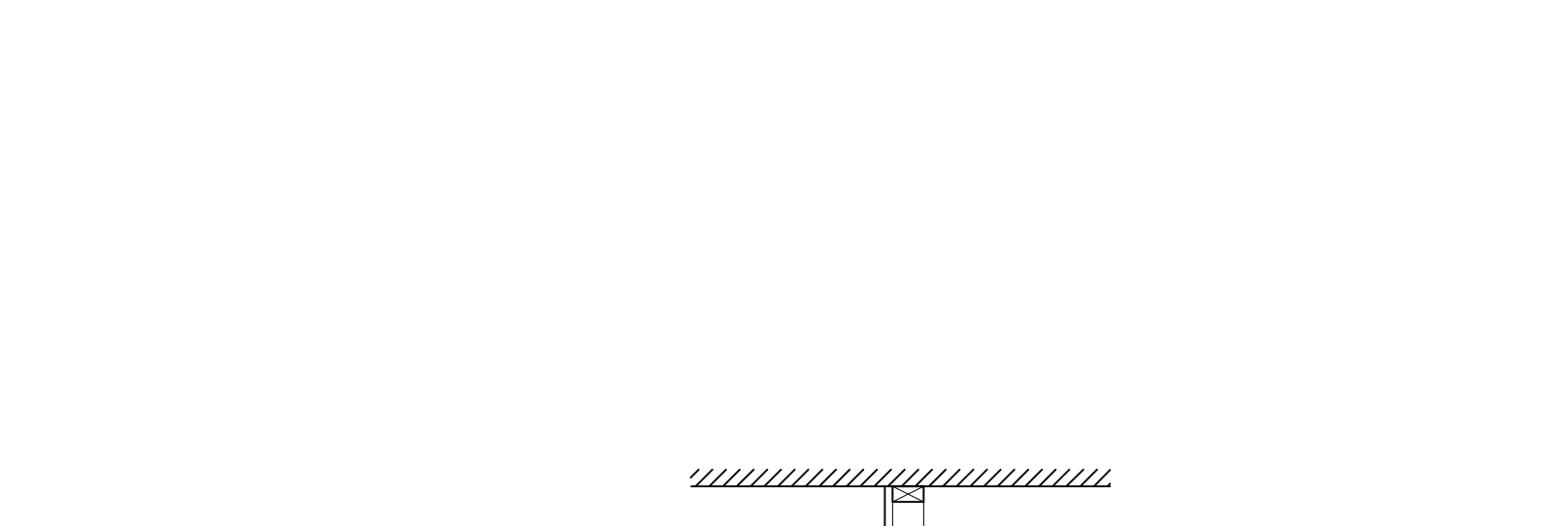
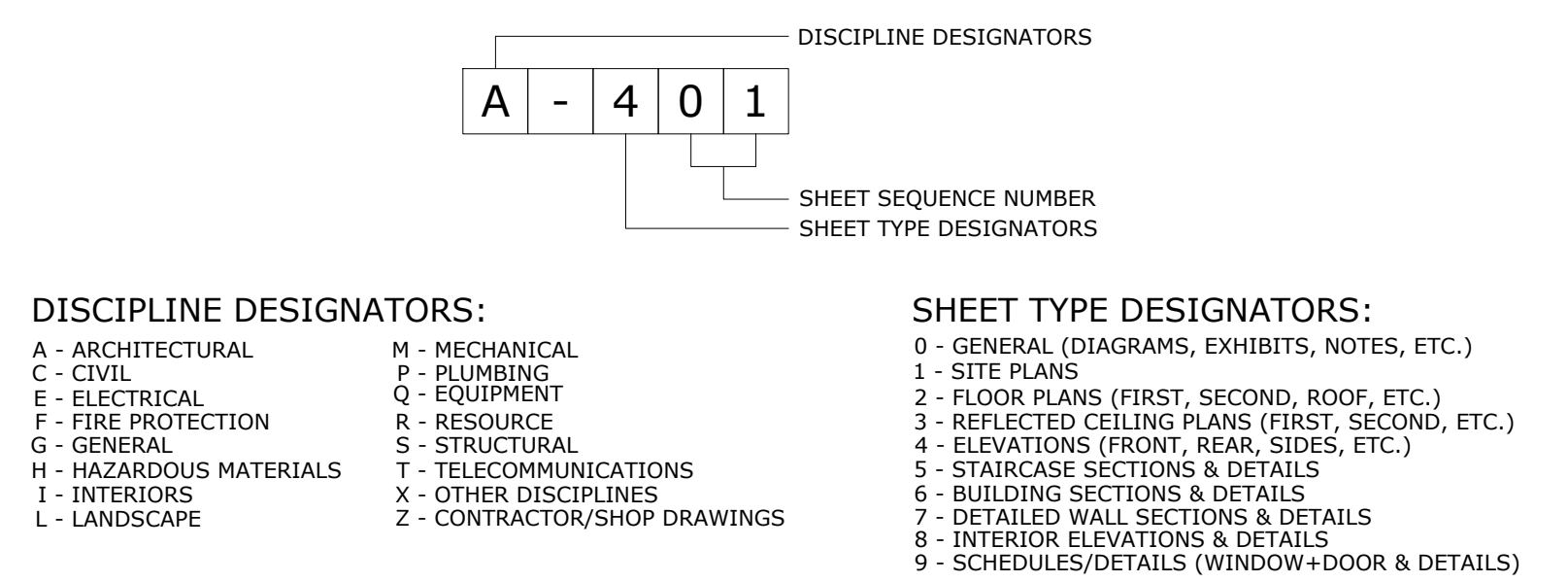
GRAPHIC LEGEND



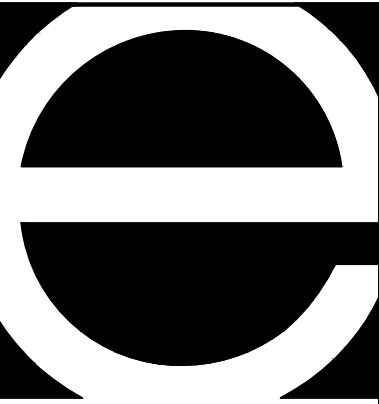
TYPICAL TV & DATA ELEVATION
--



UNIFORM DRAWING SYSTEM



CABINET BACKING DETAIL sc: 1/4" = 1'-0"



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IGNACIO J. ZABALETA
LIC. AR 0012101

NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

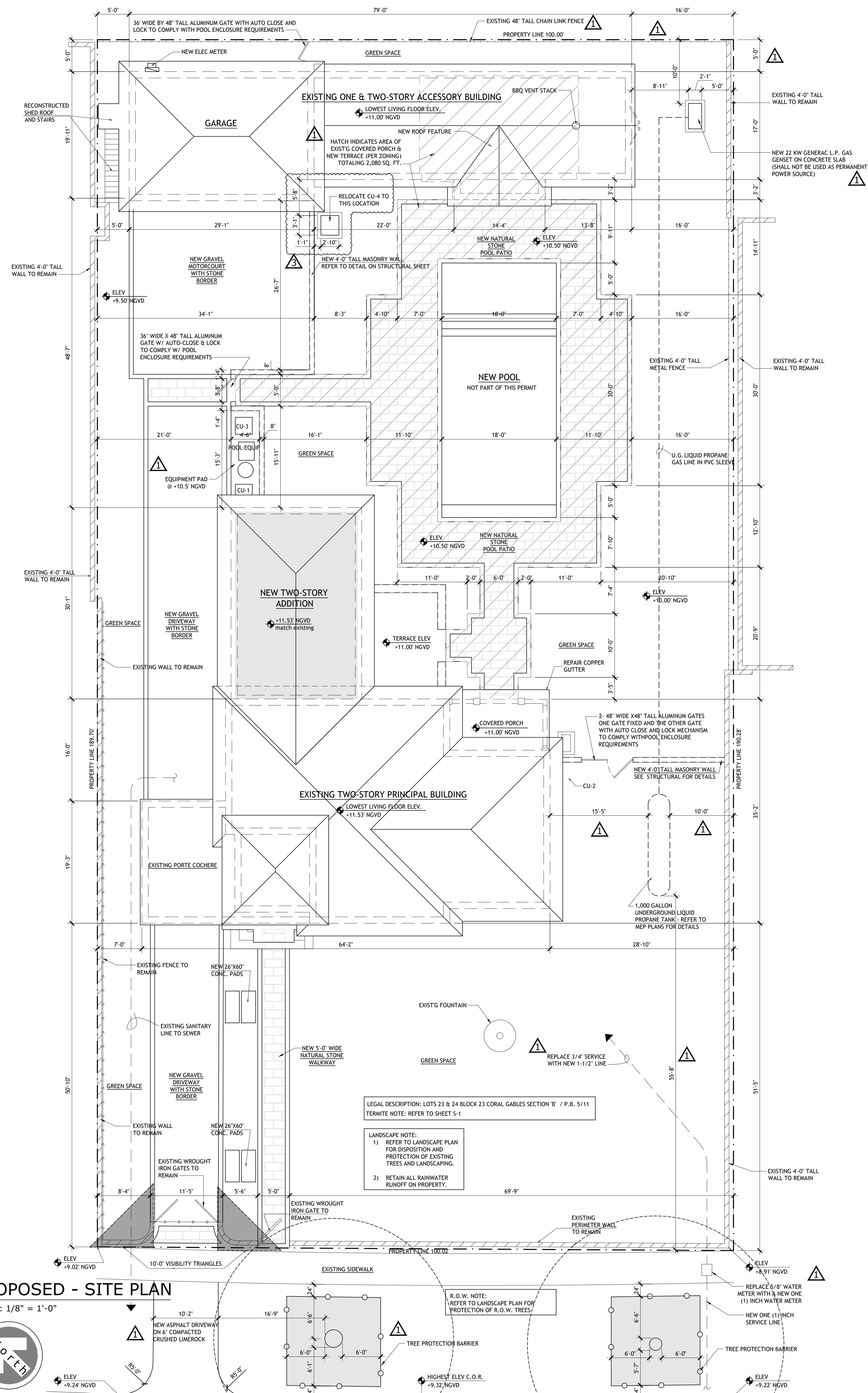
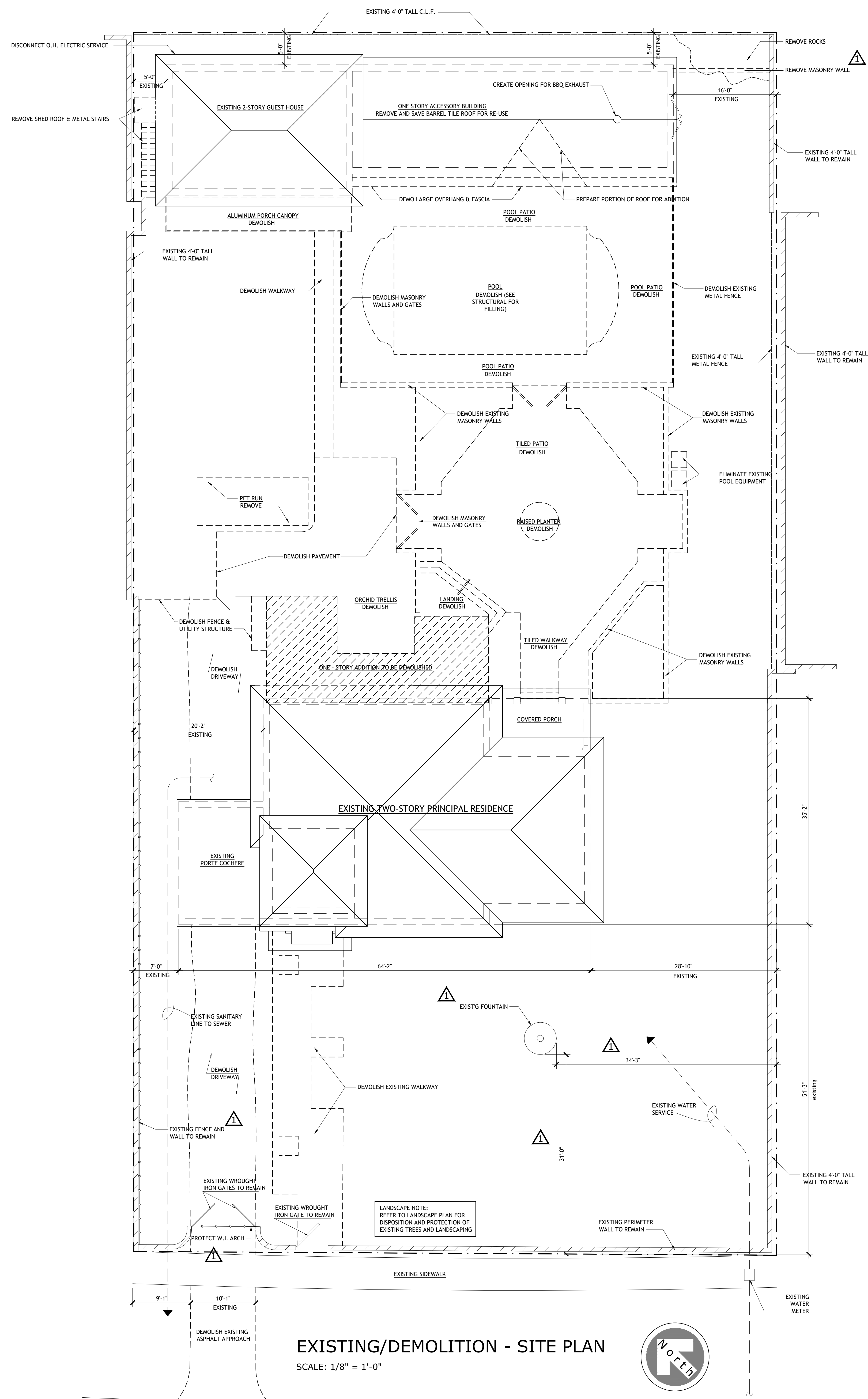
717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

A-001



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	PERMIT DRAWINGS	2/21/20
1	BLDG DEPT COMMENTS	5/6/20
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3	OWNER REQUESTS	5/12/22
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PROJECT

REHABILITATION TO HISTORIC
RESIDENCE FOR

LAURENCE &
KATHY MARLIN

717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

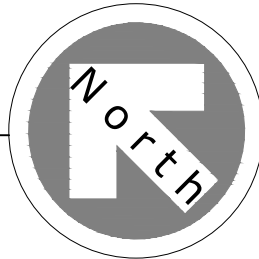
SEAL

PROJECT NUMBER	19-10
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SHEET NUMBER

A-101

ZONING DATA SHEET



ADDRESS:
717 NORTH GREENWAY DRIVE, CORAL GABLES, FL 33134 / FOLIO (03-4108-001-4040)

LEGAL DESCRIPTION:
LOTS 23 and 24
BLOCK 23
CORAL GABLES SECTION B PB- 5/11

SCOPE OF WORK:
PRINCIPAL BUILDING:
REMOVE NON-HISTORIC ALTERATIONS, ADD NEW TWO-STORY WING TO HISTORIC RESIDENCE FOLLOWING SECRETARY OF INTERIOR STANDARDS, RESTORE EXISTING HISTORIC WINDOWS/DOORS AND REPLACE NON-HISTORIC WINDOWS/DOORS WITH NEW IMPACT UNITS, INTERIOR REMODELING OF EXISTING STRUCTURE, MATCH EXISTING ROOF TILE ON ADDITION.

ACCESSORY BUILDING:
REMOVAL OF NON-HISTORIC ALTERATIONS TO GARAGE. REHABILITATE EXISTING PLAYROOM, CABANA BATH, BAR, COVERED PORCH AND ACCESSORY DWELLING TO GARAGE, BAR, PLAYROOM, CABANA BATH, COVERED PORCH AND STORAGE. REHABILITATE ACCESSORY DWELLING UNIT OVER GARAGE WITH NEW BATHROOM FIXTURES AND FITTINGS IN EXISTING LOCATION, NEW KITCHEN APPLIANCES AND FIXTURES IN EXISTING LOCATION, REPLACE ALL EXTERIOR DOORS AND WINDOWS WITH NEW IMPACT UNITS. REPLACE EXTERIOR METAL STAIRS WITH NEW HISTORICALLY CORRECT STEEL AND WOOD STAIRS.

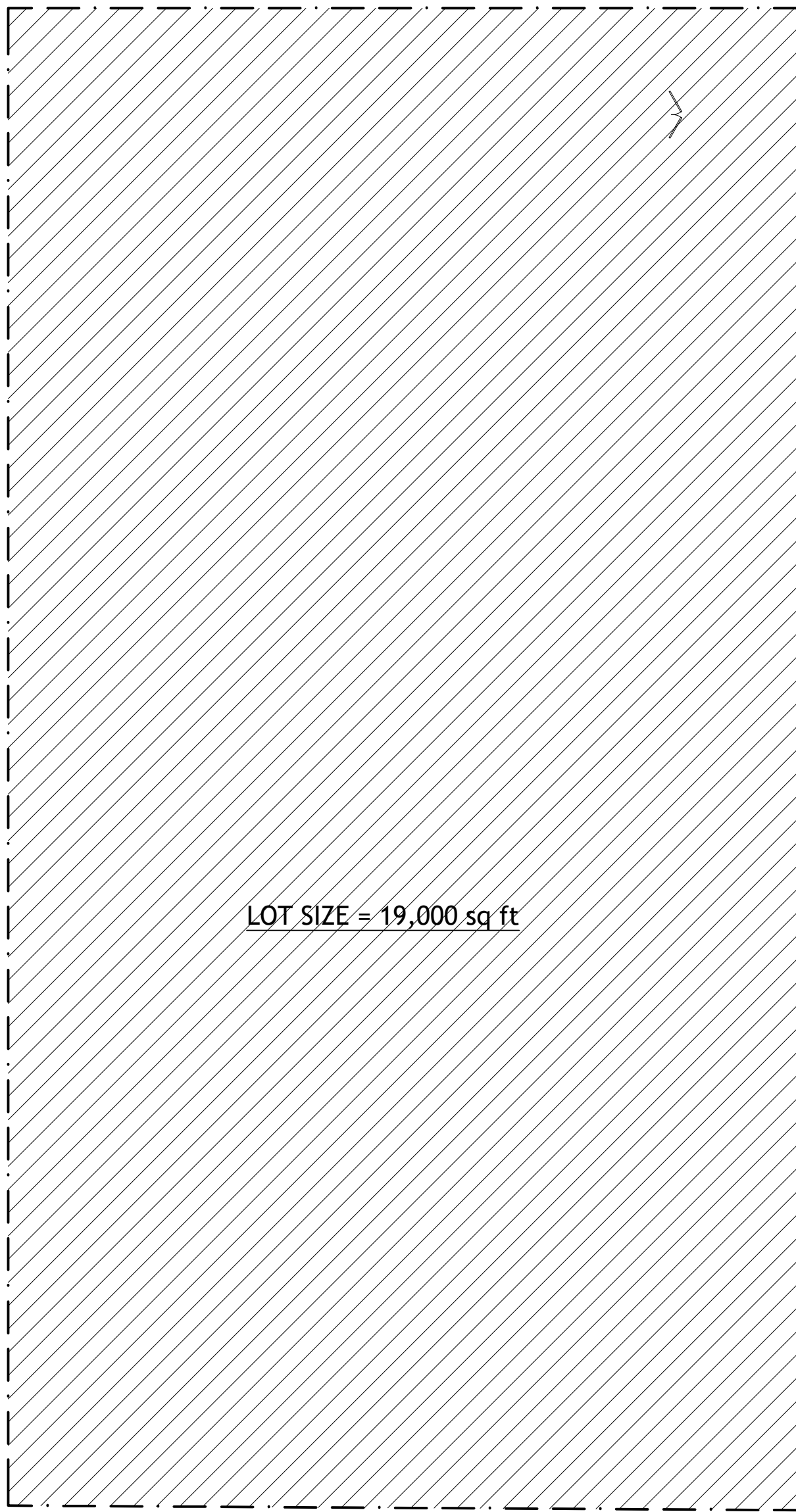
SITE:
RELOCATE POOL TO NEW LOCATION, ADD DRIVEWAY TO GARAGE @ ACCESSORY BUILDING, NEW PROPERTY/SAFETY WALLS.

SETBACKS PRINCIPAL BUILDING:

FRONT (N. GREENWAY DRIVE) 35'-0" REQUIRED 50'-10" PROPOSED (EXISTING)	INTERIOR SIDES: 20% X 100'-0" = 20'-0" REQUIRED (MIN 5'-0") INTERIOR SIDE (WEST) = 5'-0" PROPOSED (EXISTING) INTERIOR SIDE (EAST) = 29'-0" PROPOSED (EXISTING) TOTAL SIDE SETBACK = 34'-0" PROPOSED (EXISTING)
REAR 10'-0" REQUIRED 73'-6" PROPOSED	

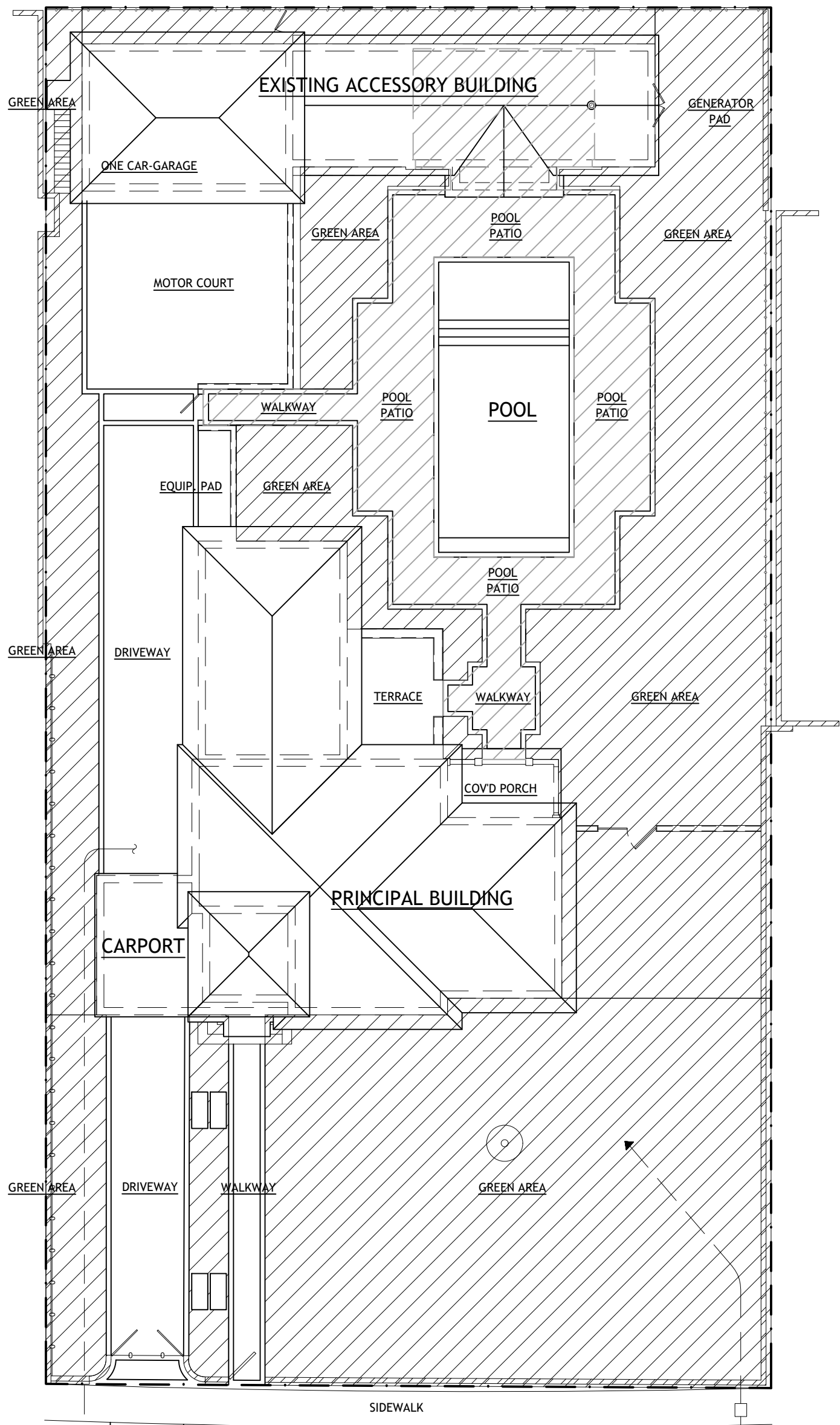
SETBACKS ACCESSORY BUILDING (SAME AS PRINCIPAL BUILDING):

FRONT (N. GREENWAY DRIVE) PRINCIPAL BLDG = 50'-10" ACCESSORY BLDG = 164'-9" (EXISTING)	INTERIOR SIDES: 20% X 100'-0" = 20'-0" REQUIRED (MIN 5'-0") ACCESSORY BLDG (WEST) = 5'-0" PROPOSED (EXISTING) ACCESSORY BLDG (EAST) = 16'-0" PROPOSED (EXISTING) TOTAL SIDE SETBACK = 21'-0" PROPOSED (EXISTING)
REAR 10'-0" REQUIRED 5'-0" PROPOSED (EXISTING)	



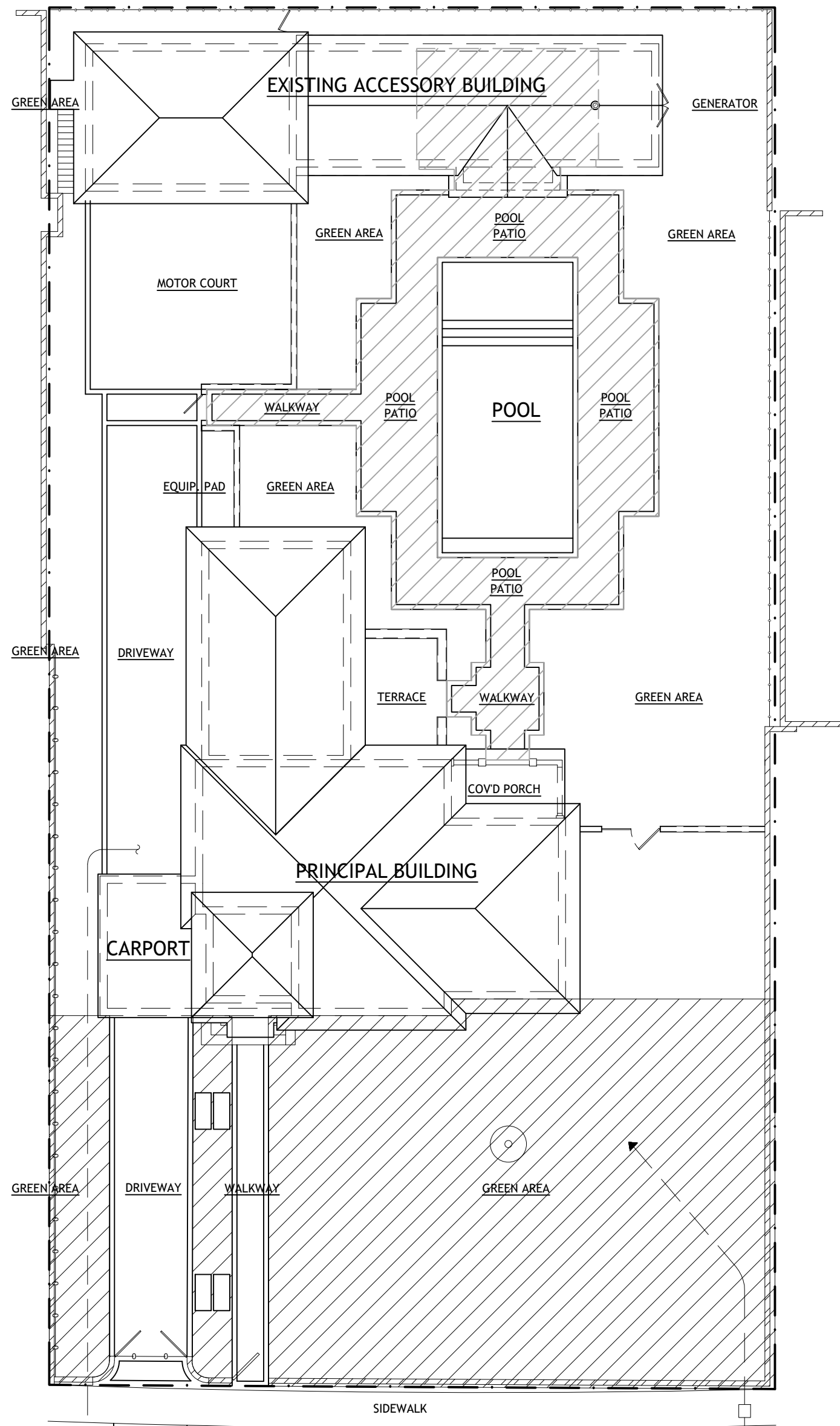
LOT SIZE = 19,000 sq ft

LOT SIZE = 19,000 sq ft



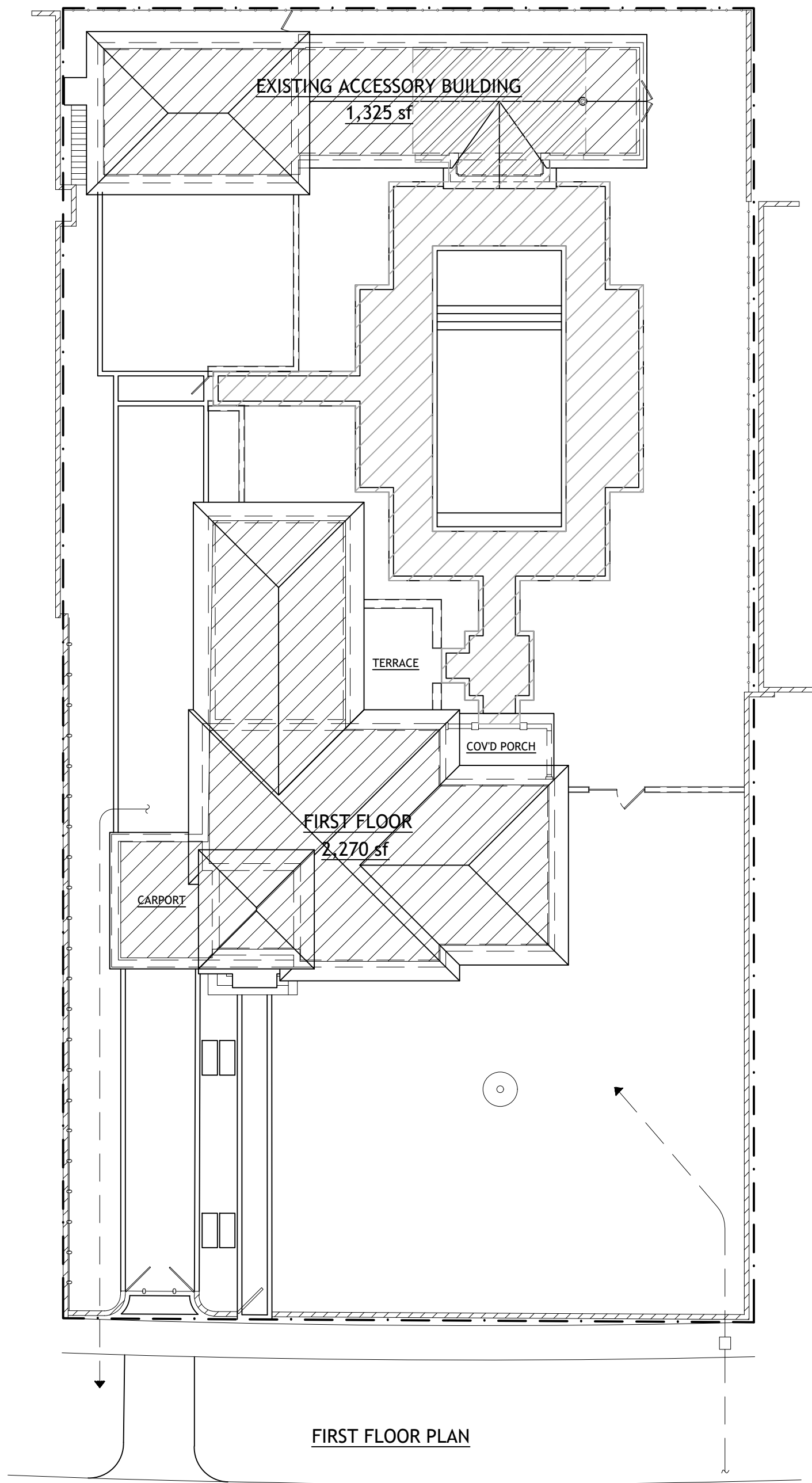
40% MINIMUM LANDSCAPE REQUIREMENT
19,000/sf X 40% = 7,600 sf

PROPOSED GREEN AREA
9,589 sf

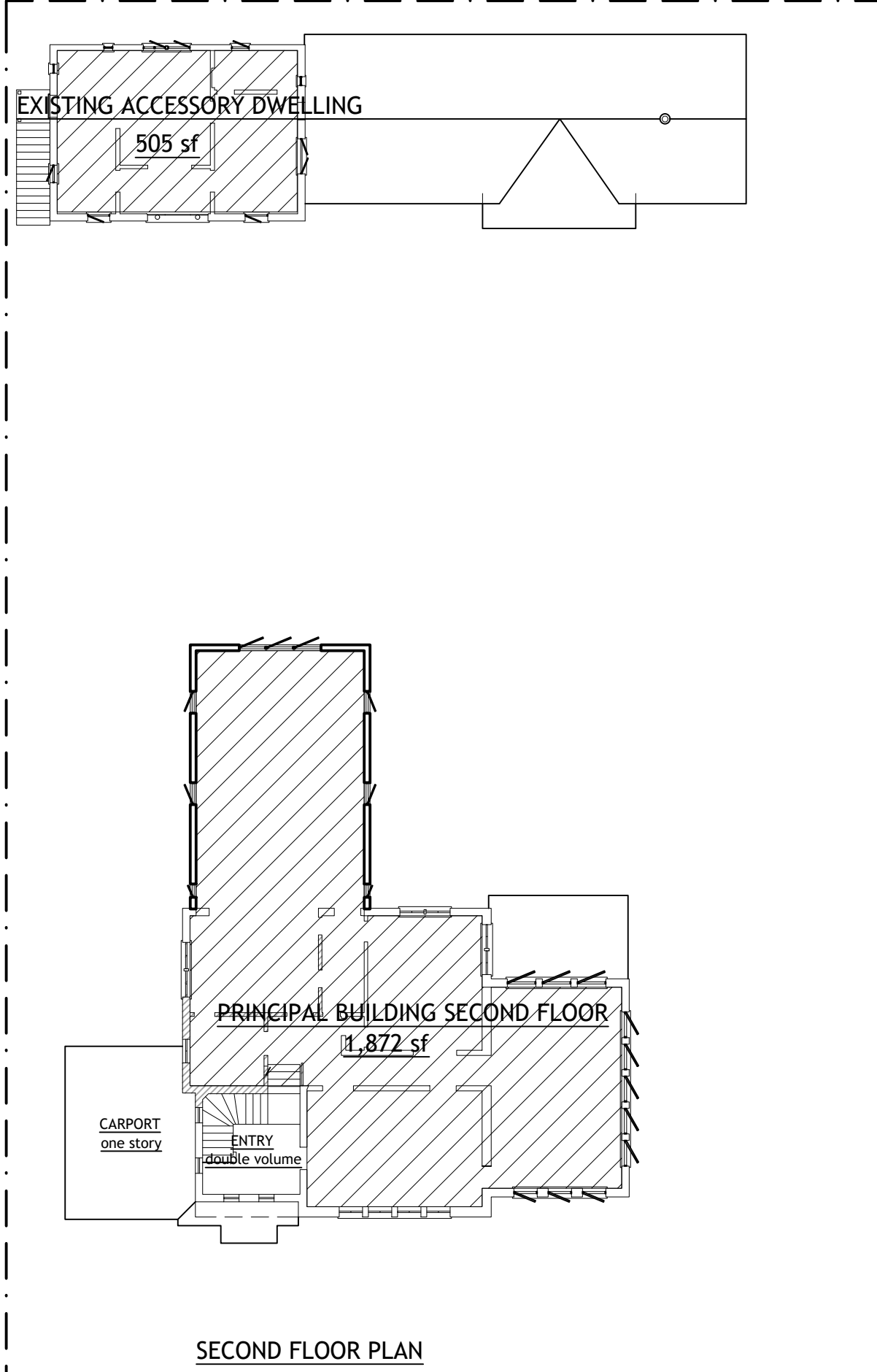


20% FRONT YARD LANDSCAPE MINIMUM
7,600 sf X 20% = 1,520 sf minimum

PROPOSED FRONT YARD LANDSCAPE MINIMUM
4,328 sf

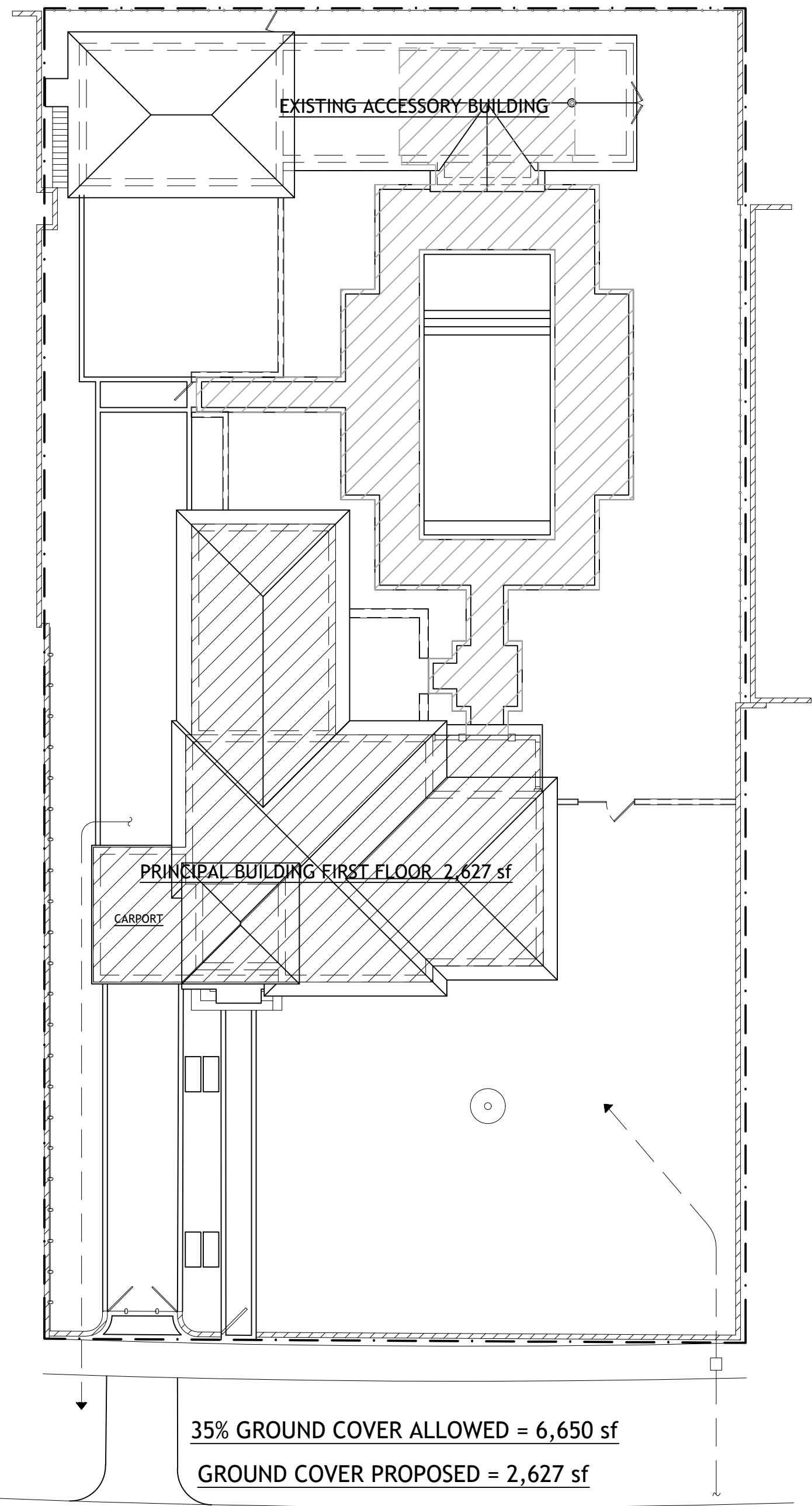


FIRST FLOOR PLAN

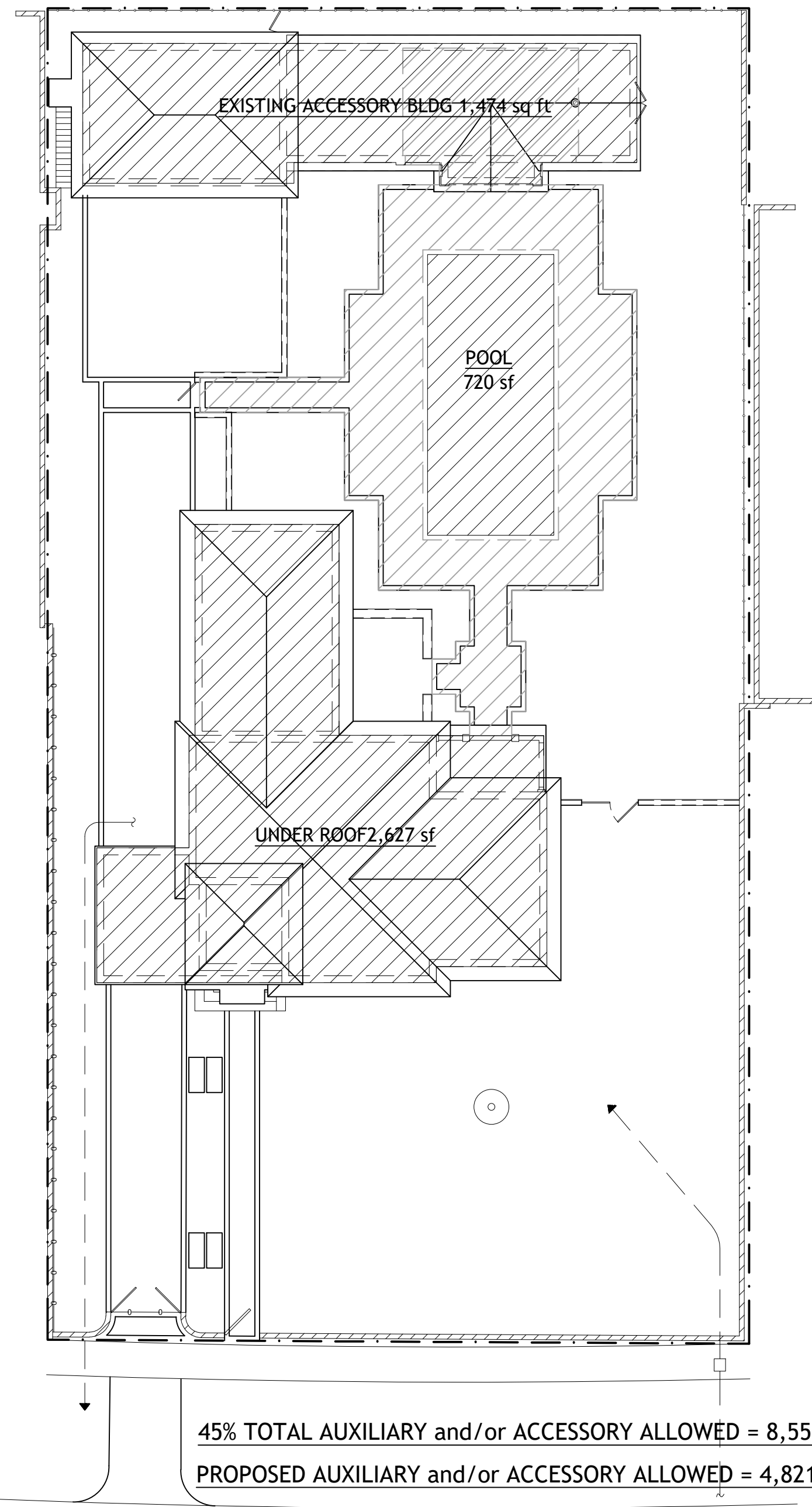


SECOND FLOOR PLAN

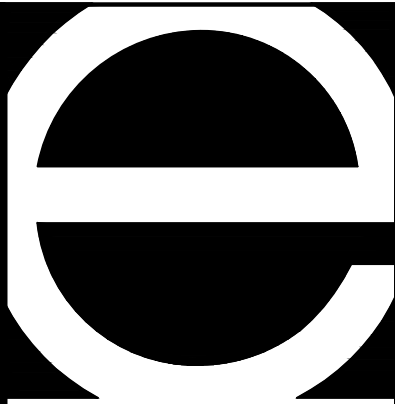
F.A.R. ALLOWED = 6,850 sf	F.A.R. PROPOSED = 5,972 sf
5,000 X 48% = 2,400 sf	F.A.R. FIRST FLOOR PRINCIPAL BLDG = 2,270sf
5,000 X 35% = 1,750 sf	F.A.R. SECOND FLOOR PRINCIPAL BLDG= 1,872 sf
9,000 X 30% = 2,700 sf	F.A.R. FIRST FLOOR ACCESSORY BLDG = 1,325 sf
	F.A.R. SECOND FLOOR ACCESSORY BLDG = 505 sf



35% GROUND COVER ALLOWED = 6,650 sf
GROUND COVER PROPOSED = 2,627 sf



45% TOTAL AUXILIARY and/or ACCESSORY ALLOWED = 8,550 sf
PROPOSED AUXILIARY and/or ACCESSORY ALLOWED = 4,821 sf



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LIC. AR 0012101

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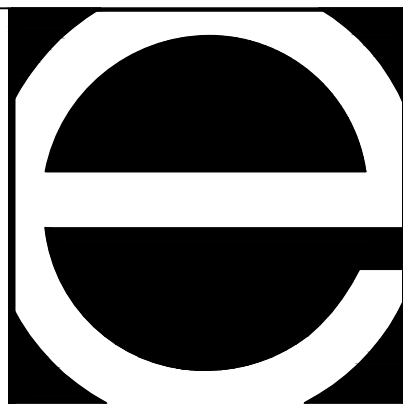
PROJECT
REHABILITATION TO HISTORIC RESIDENCE FOR
LAURENCE & KATHY MARLIN

717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

SEAL

PROJECT NUMBER
19-10
SHEET NUMBER

A-102



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L.C. AR 0012124
IGNACIO J. ZABALETA
L.C. AR 0012101

NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
1	BLDG DEPT COMMENTS	5/6/20
	ELECTRICAL COMMENT	08/26/20
	OWNER REQUESTS	5/12/22
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

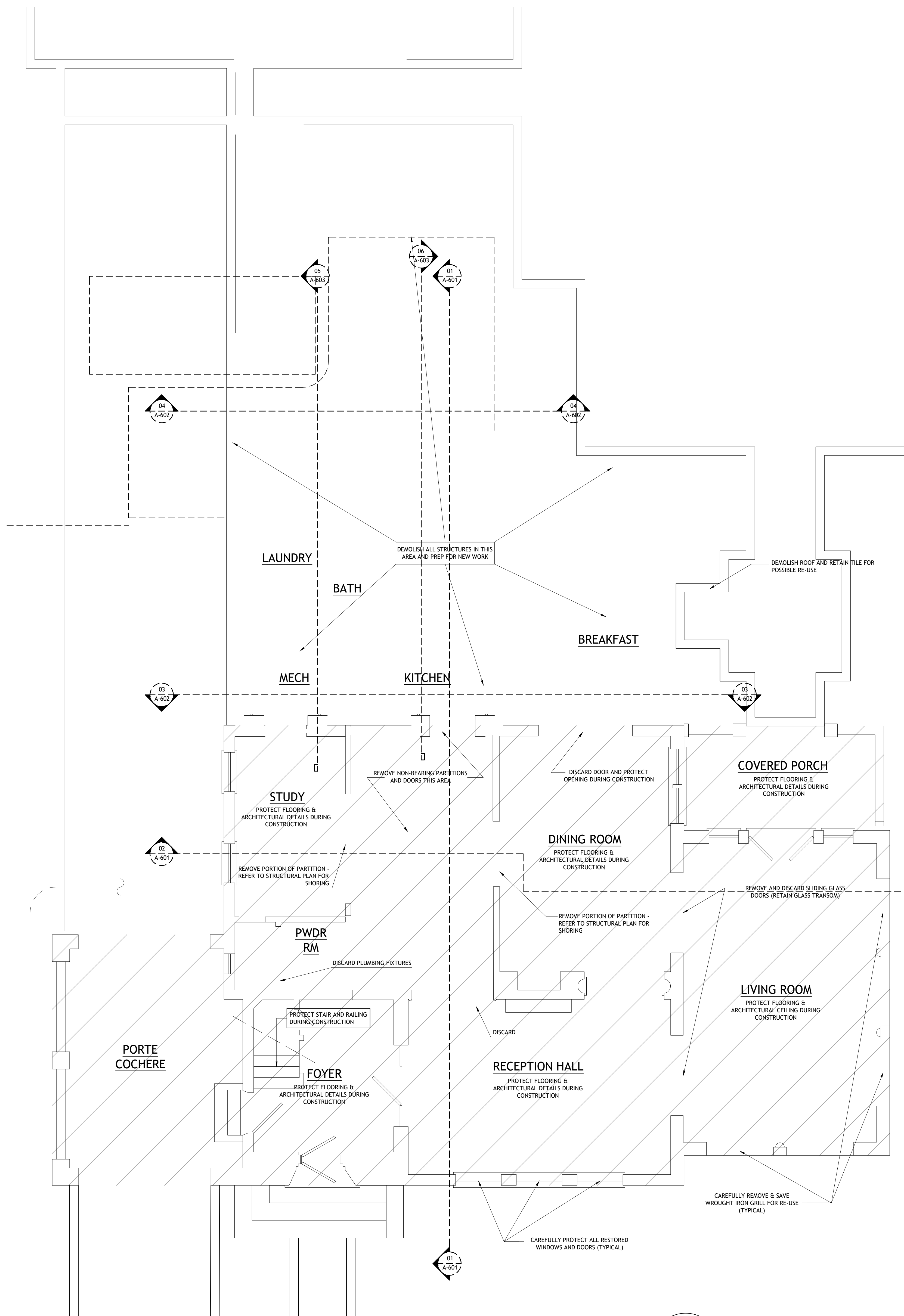
717 NORTH GREENWAY DR
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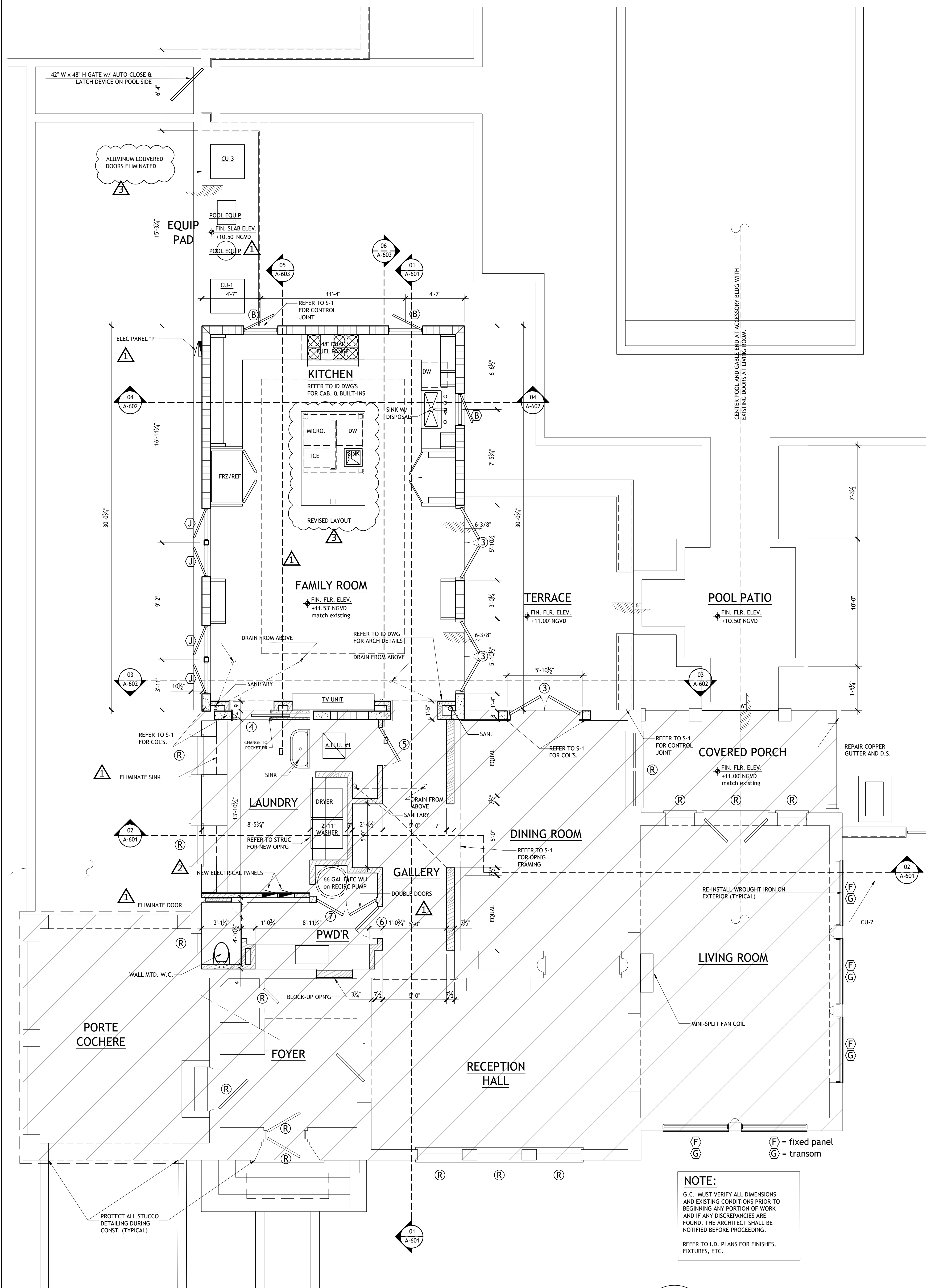
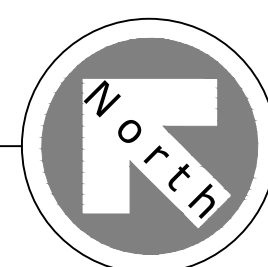
SHEET NUMBER

A-201



PRINCIPAL BLDG - DEMOLITION PLAN - FIRST FLOOR

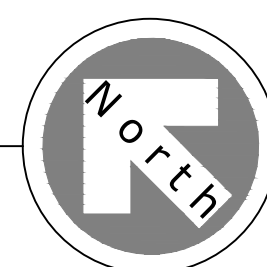
SCALE: 1/4" = 1'-0"



PRINCIPAL BLDG - PROPOSED PLAN - FIRST FLOOR

SCALE: 1/4" = 1'-0"

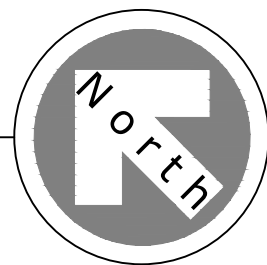
(R) = DOORS & WINDOWS TO BE PROFESSIONALLY RESTORED



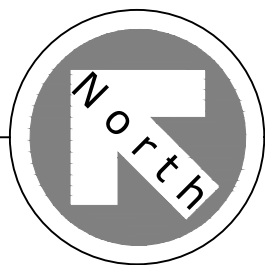
NOTE:
G.C. MUST VERIFY ALL DIMENSIONS
AND EXISTING CONDITIONS PRIOR TO
BEGINNING ANY PORTION OF WORK
AND IF ANY DISCREPANCIES ARE
FOUND, THE ARCHITECT SHALL BE
NOTIFIED BEFORE PROCEEDING.
REFER TO I.D. PLANS FOR FINISHES,
FIXTURES, ETC.

(F) = fixed panel
(G) = transom

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



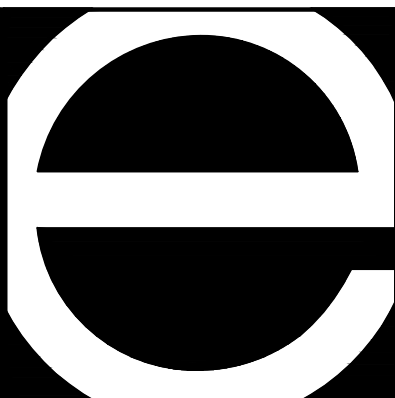
NOTES:

Ⓡ = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

REFER TO I.D. DRAWINGS FOR FOR ALL FINISH SELECTIONS, AS WELL AS TRIM, FIXTURES ETC.

NOTES:

1. SHOWERS SHALL HAVE IMPERVIOUS MATERIALS TO 70" AFF MINIMUM.
2. G.C. SHALL PROVIDE PROPER BACKING IN CLOSETS FOR SHELVING. COORDINATE WITH I.D.
3. GLAZING WITHIN 5'-0" AFF (TUBS & SHOWERS) MUST BE CAT II SAFETY GLASS.
4. GLAZING ADJACENT TO & WITHIN 48" OF A DOOR SHALL BE SAFETY GLAZING CAT II.



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	BLDG DEPT COMMENTS	5/6/20
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PROJECT

REHABILITATION TO HISTORIC
RESIDENCE FOR

LAURENCE &
KATHY MARLIN

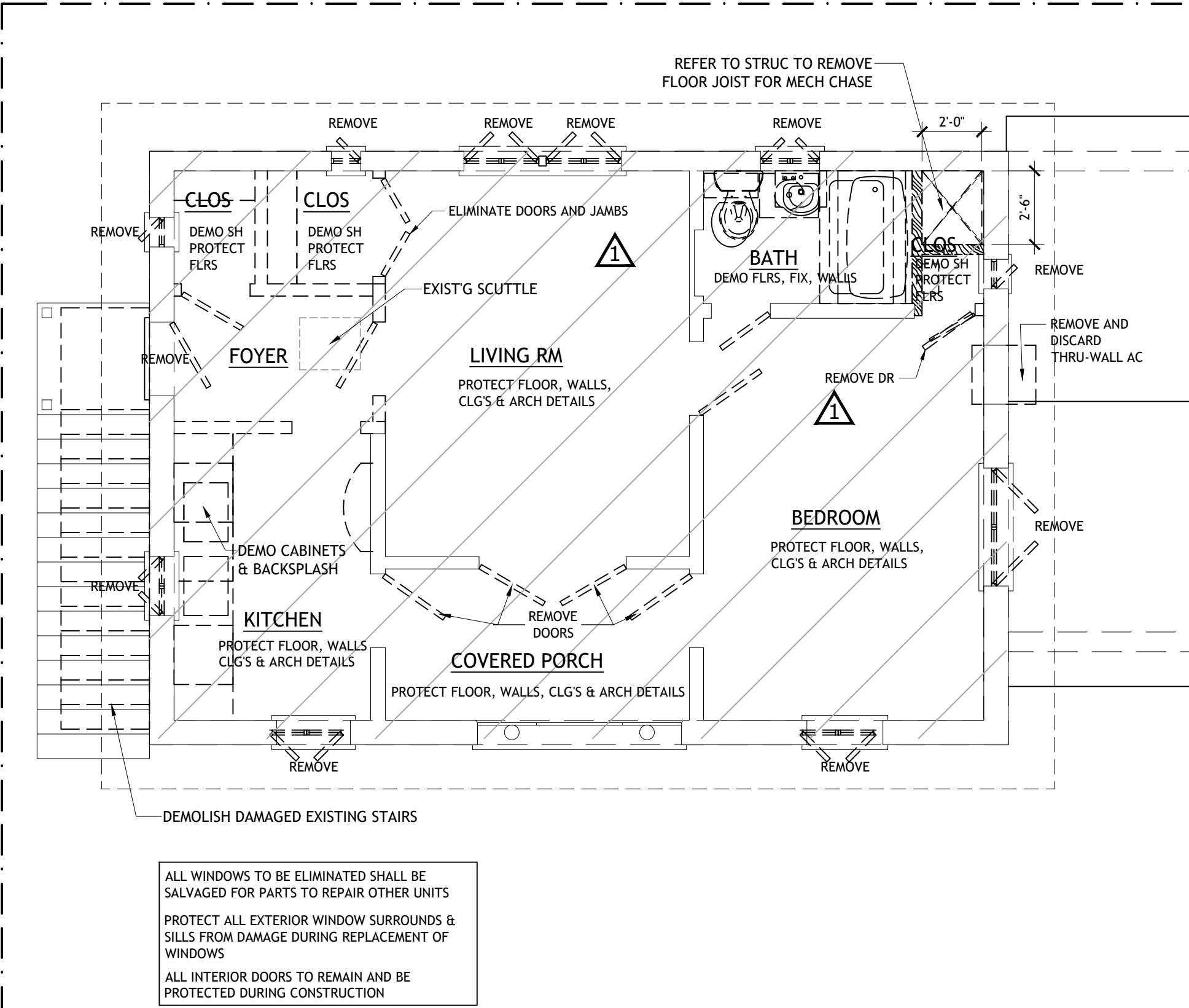
717 NORTH GREENWAY DR
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PROJECT NUMBER
19-10

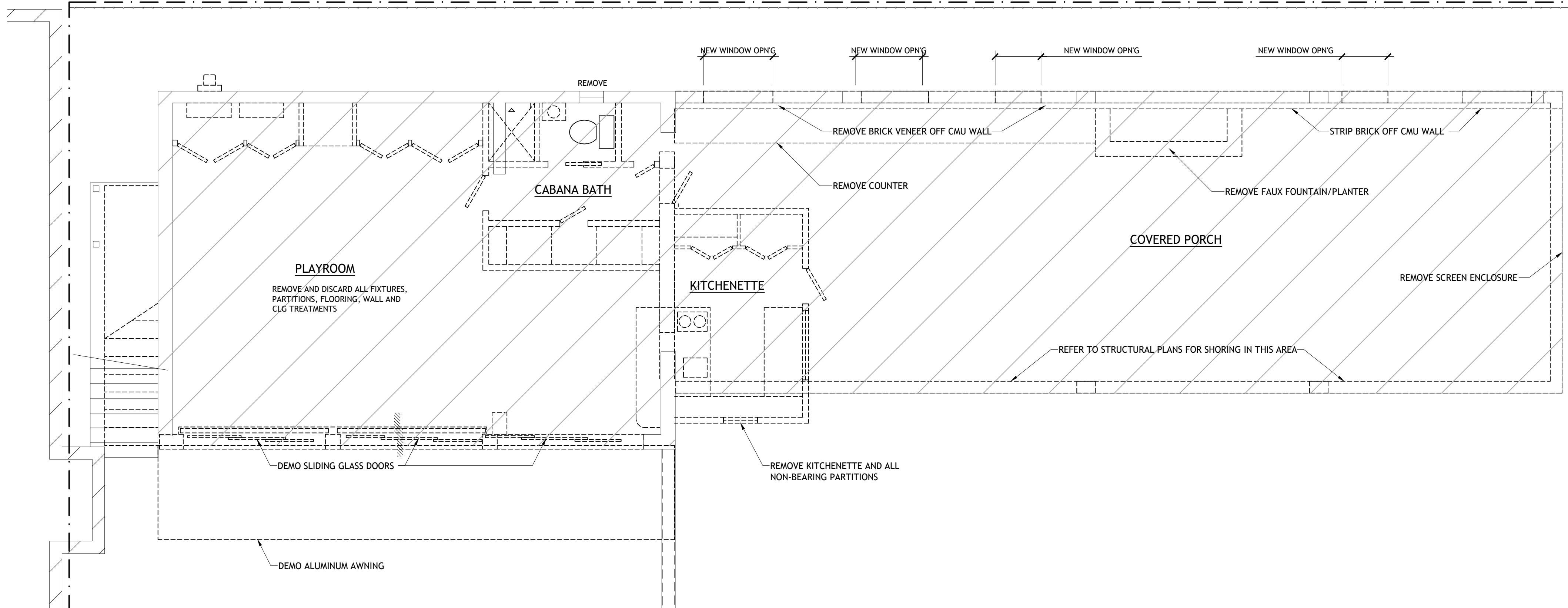
SHEET NUMBER

A-202



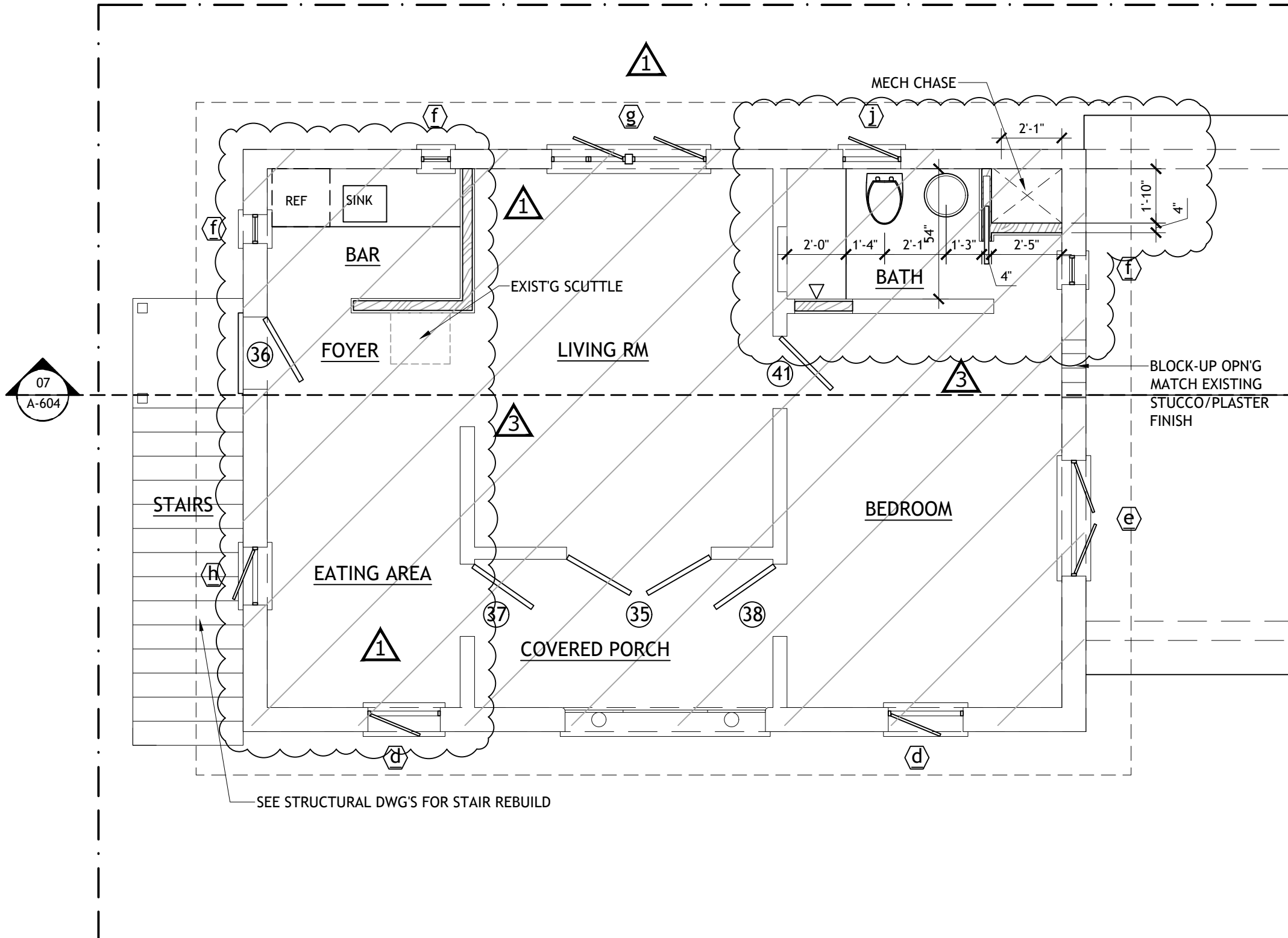
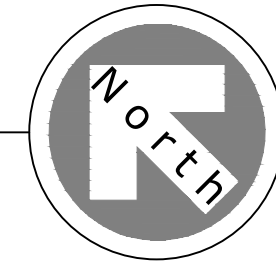
DEMOLITION PLAN - ACCESSORY BLDG. SECOND FLOOR

SCALE: 1/4" = 1'-0"



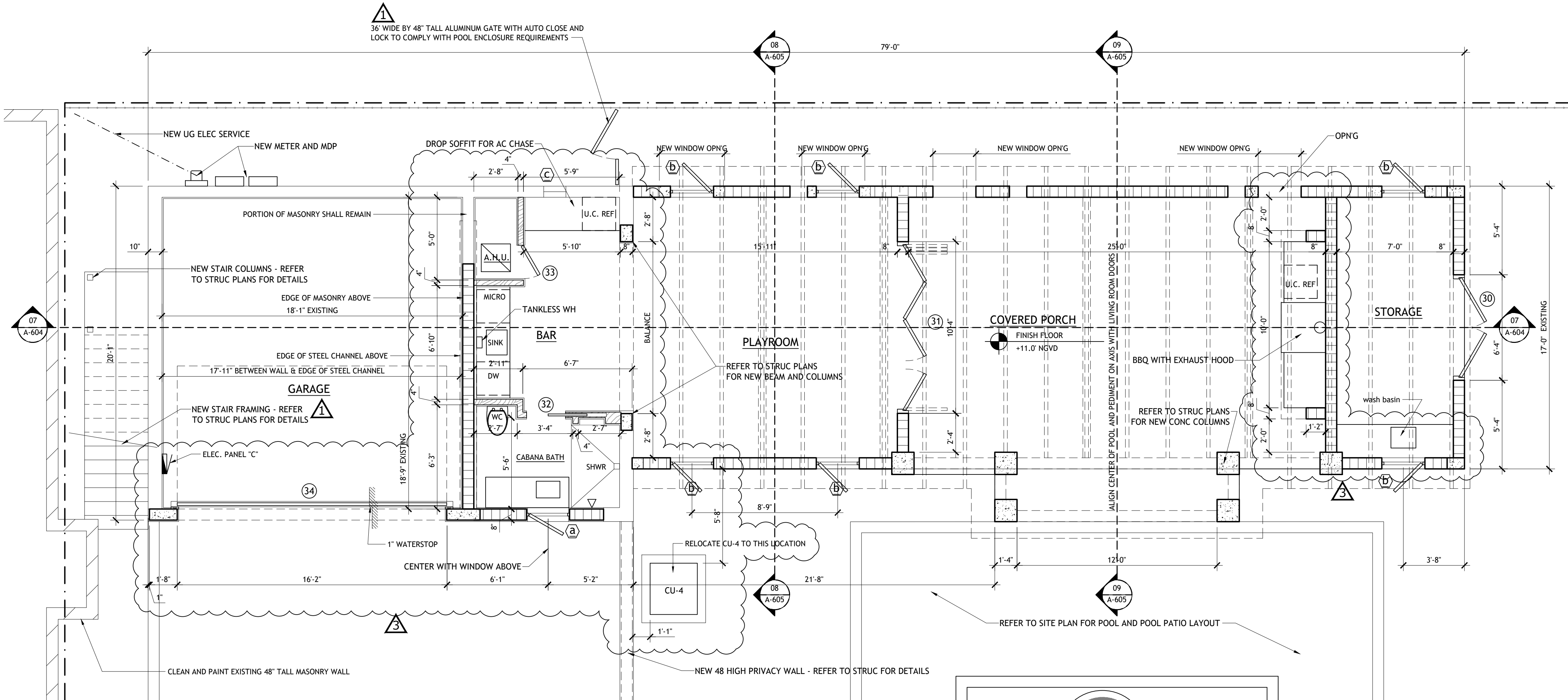
DEMOLITION PLAN - ACCESSORY BLDG. FIRST FLOOR

SCALE: 1/4" = 1'-0"



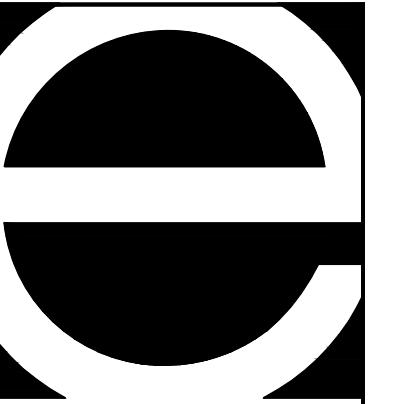
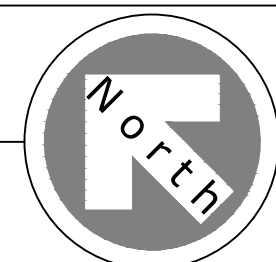
PROPOSED PLAN - ACCESSORY BLDG. SECOND FLOOR

SCALE: 1/4" = 1'-0"



PROPOSED PLAN - ACCESSORY BLDG. FIRST FLOOR

SCALE: 1/4" = 1'-0"



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PROJECT
REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

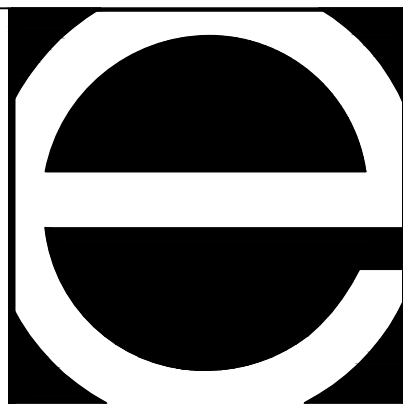
717 NORTH GREENWAY DR
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A-203



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PROJECT
REHABILITATION TO HISTORIC
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**LAURENCE &
KATHY MARLIN**

717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

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SHEET NUMBER

A-401



EXISTING/DEMOLITION FRONT (SOUTHWEST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

® = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

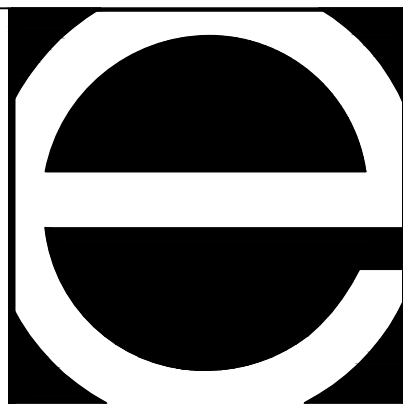


PROPOSED FRONT (SOUTHWEST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

® = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

REFER TO SHEET S-7 FOR WIND LOAD PRESSURES



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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

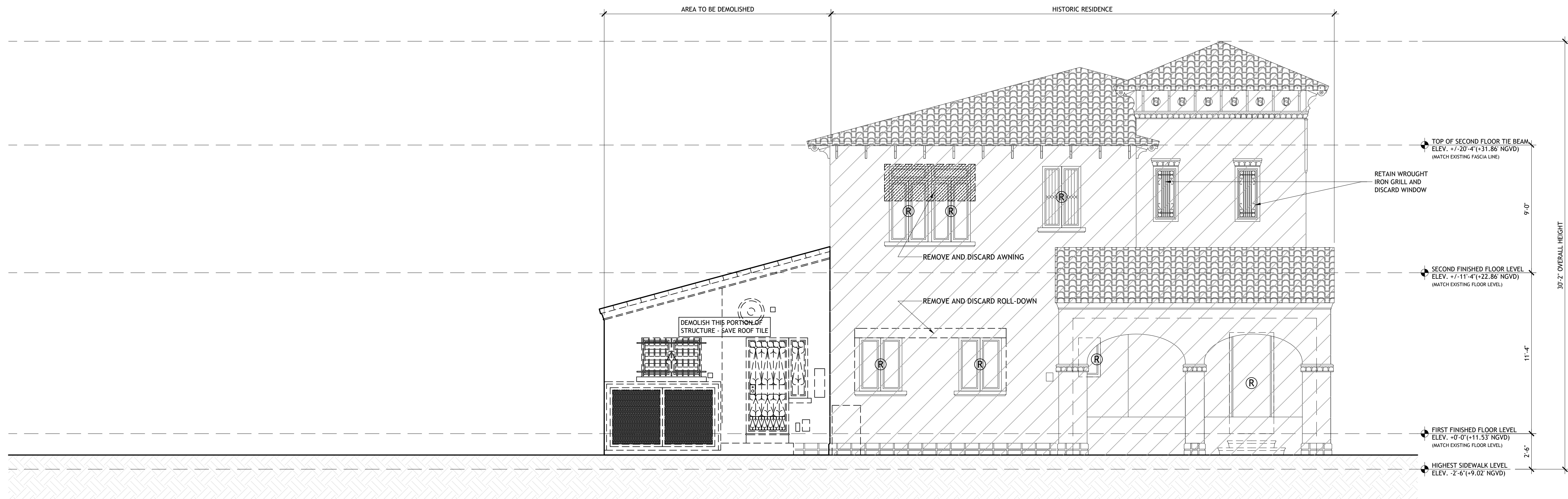
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
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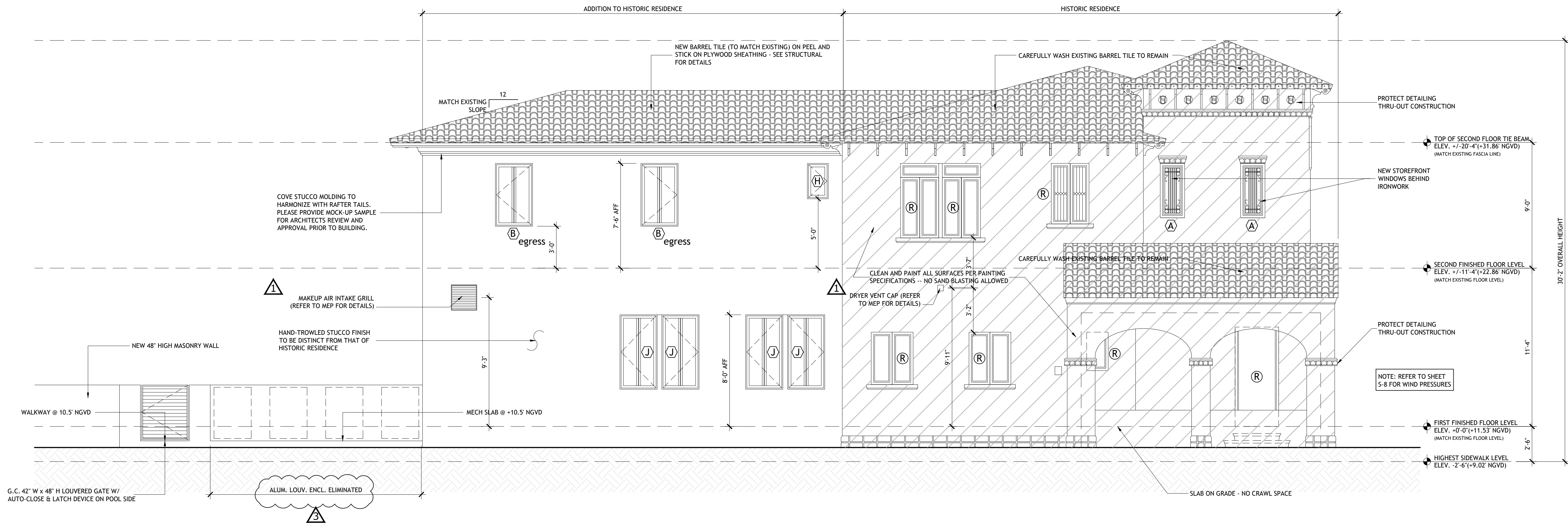
A-402



EXISTING/DEMOLITION LEFT SIDE (NORTHWEST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

® = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

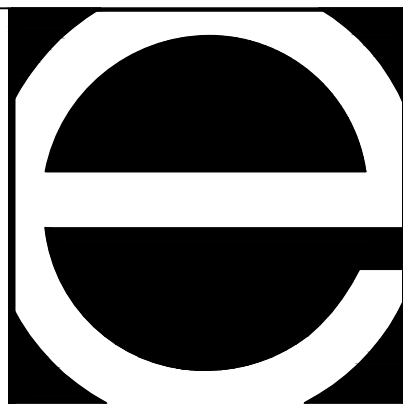


PROPOSED LEFT SIDE (NORTHWEST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

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REFER TO SHEET S-8 FOR WIND PRESSURES



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PROJECT
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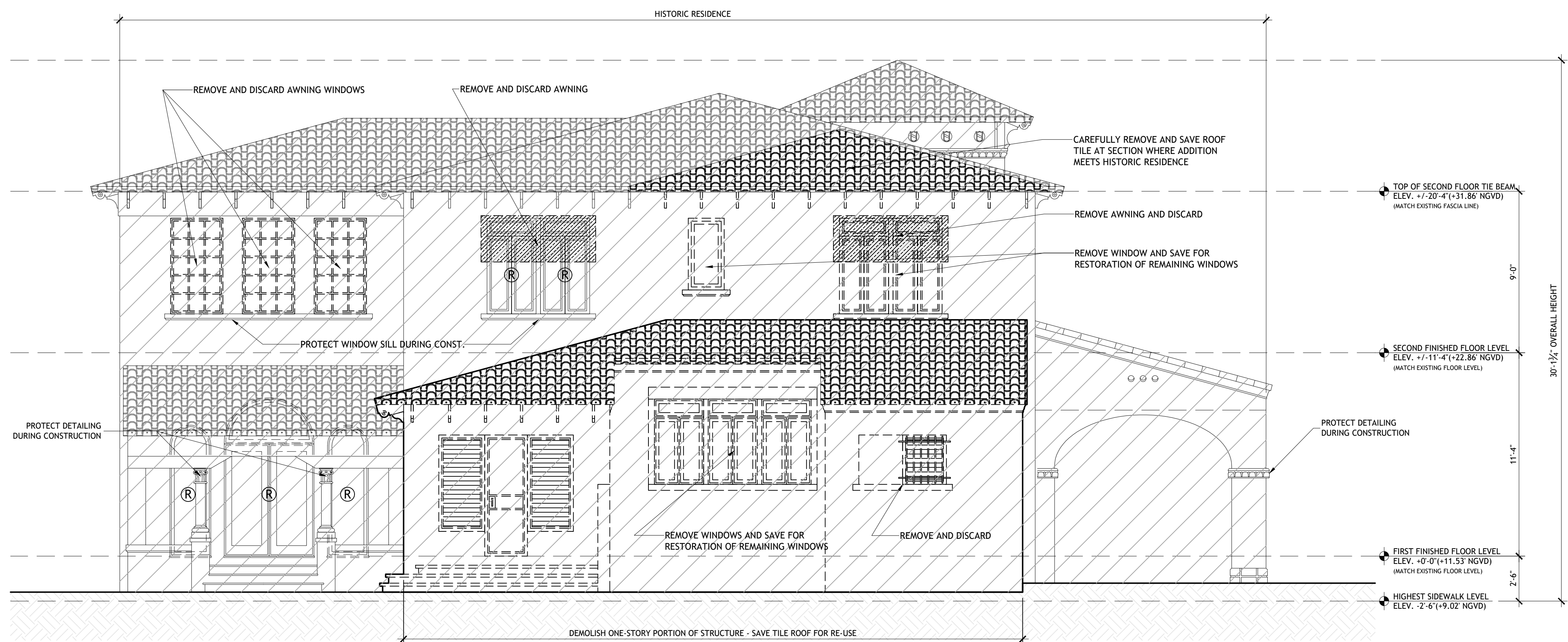
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19-10

SHEET NUMBER

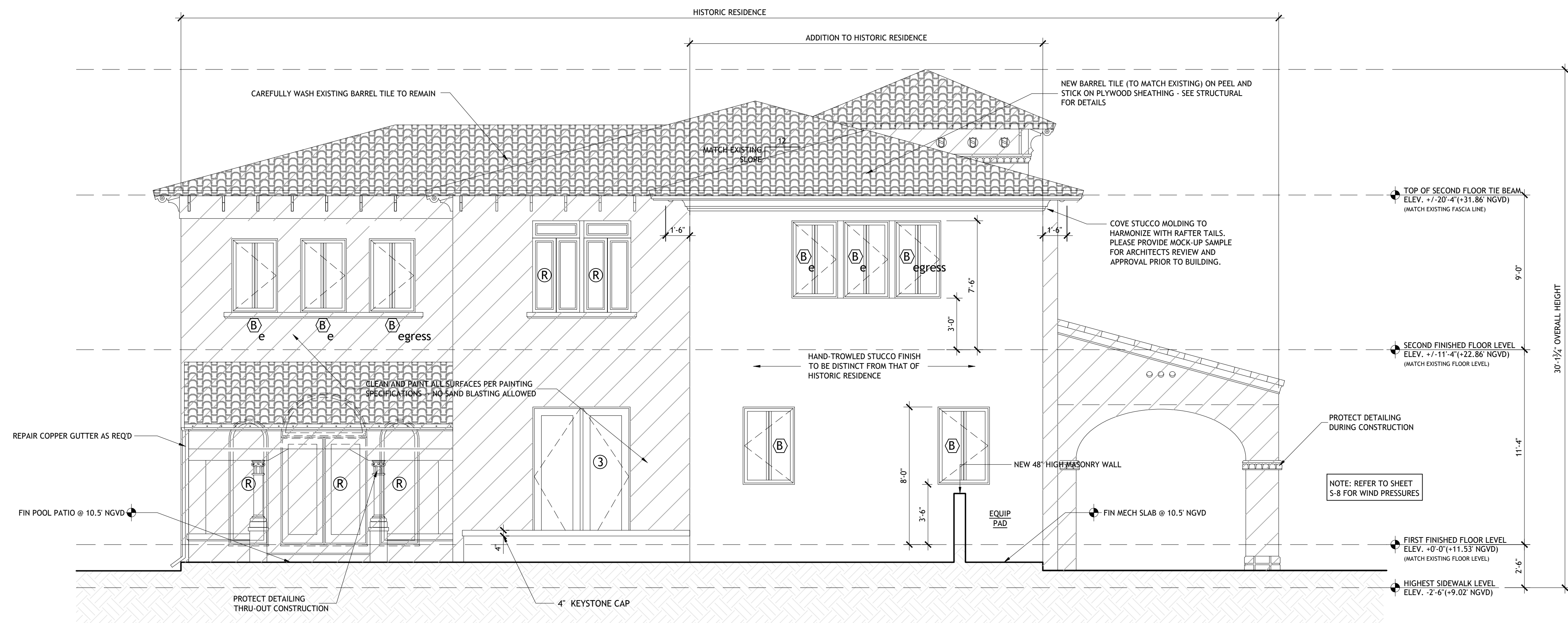
A-403



EXISTING/DEMOLITION REAR (NORTHEAST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

Ⓡ = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

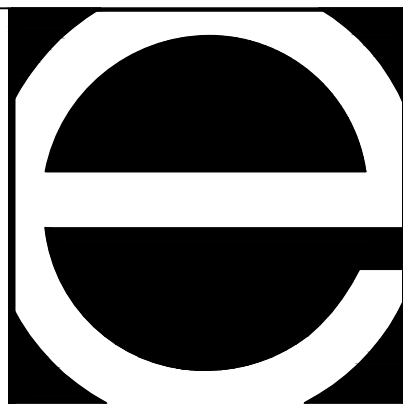


PROPOSED REAR (NORTHEAST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

Ⓡ = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

REFER TO SHEET S-8 FOR PRESSURES



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LUIS JAUREGUI, H.
LIC. AR 0012124
IGNACIO J. ZABALETA
LIC. AR 0012101

NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

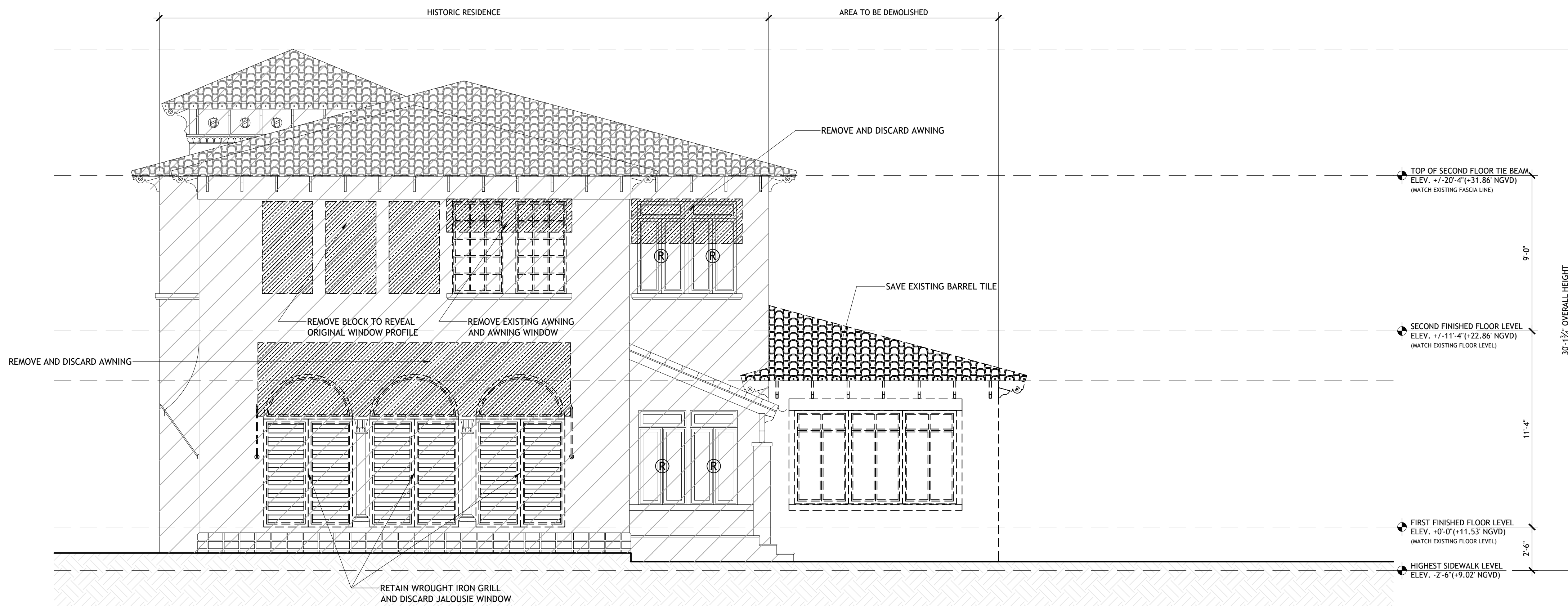
717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

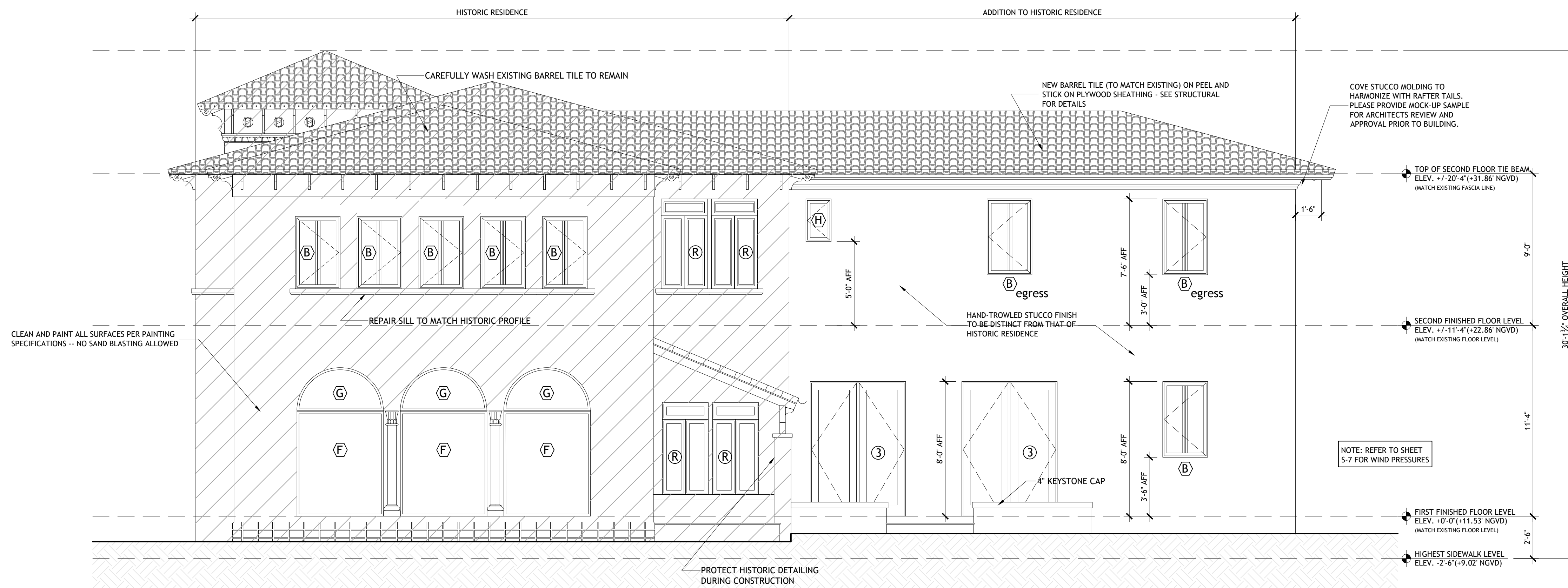
A-404



EXISTING/DEMOLITION RIGHT SIDE (SOUTHEAST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

Ⓢ = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

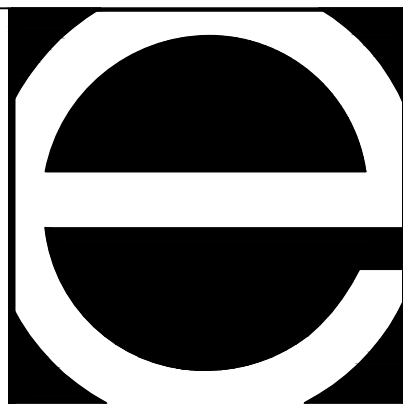


PROPOSED RIGHT SIDE (SOUTHEAST) ELEVATION - PRINCIPAL BLDG.

SCALE: 1/4" = 1'-0"

Ⓢ = DOORS AND WINDOWS TO BE PROFESSIONALLY RESTORED

REFER TO SHEET S-F FOR PRESSURES



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NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
1	BLDG DEPT COMMENTS	5/8/20
2		
3	OWNER REQUEST	5/12/22
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

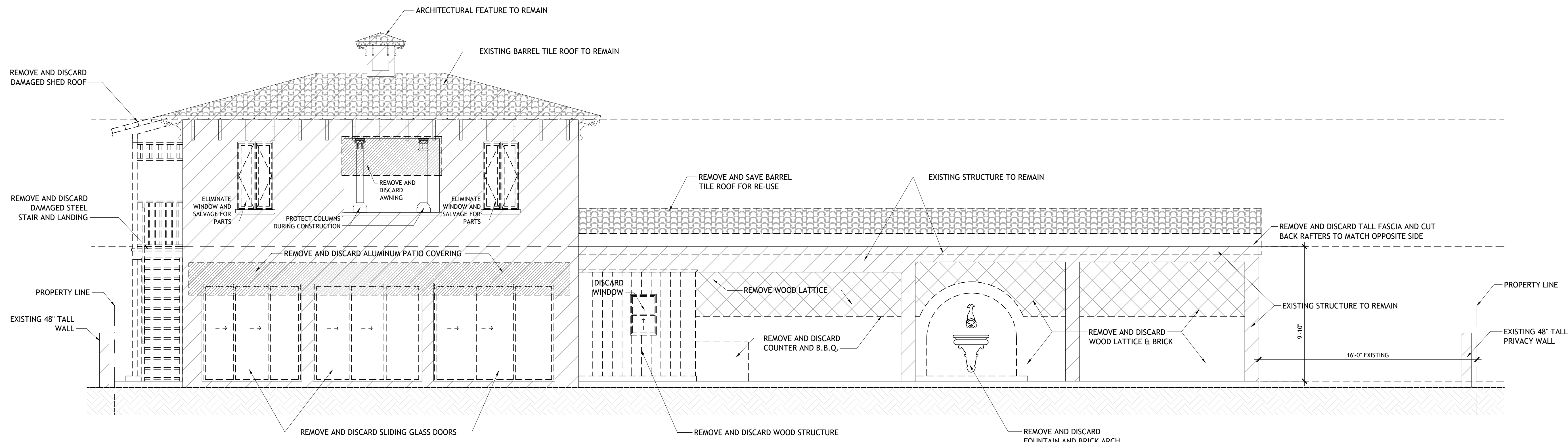
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
19-10

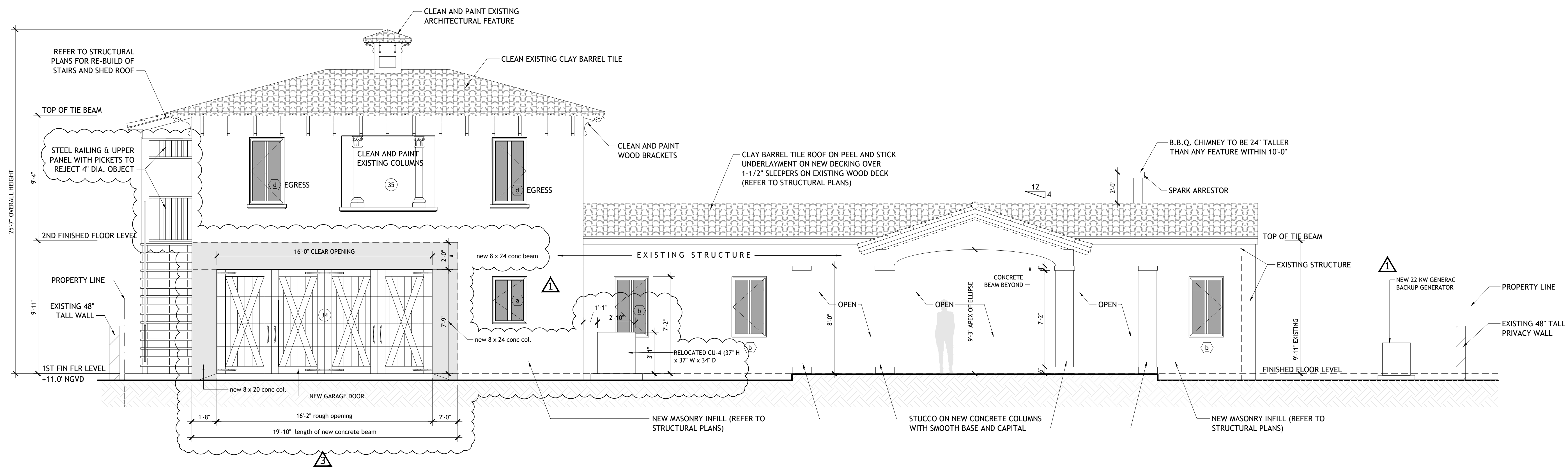
SHEET NUMBER

A-405



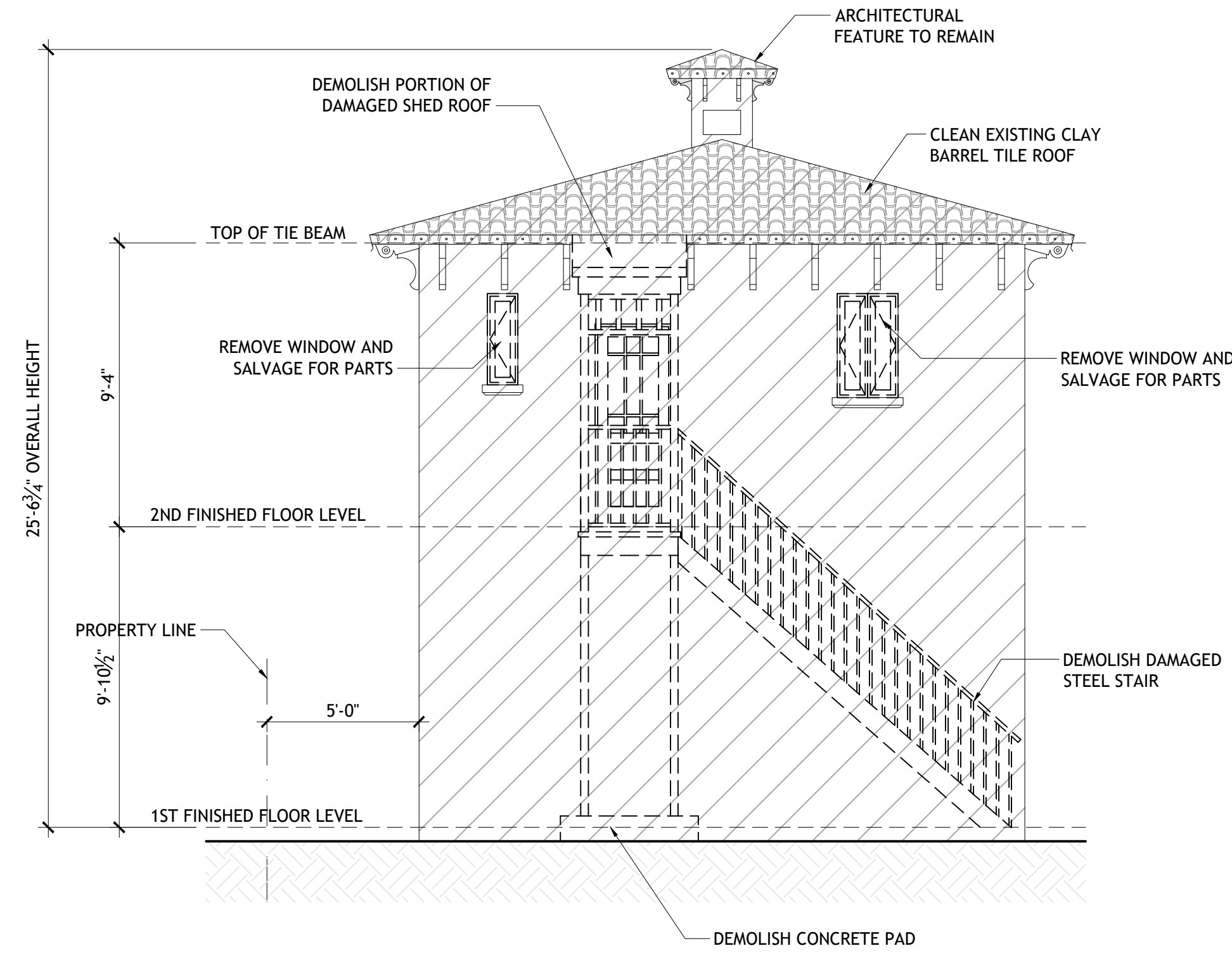
EXISTING/DEMOLITION - FRONT (SOUTHWEST) ELEVATION - ACCESSORY BUILDING

SCALE: 1/4" = 1'-0"

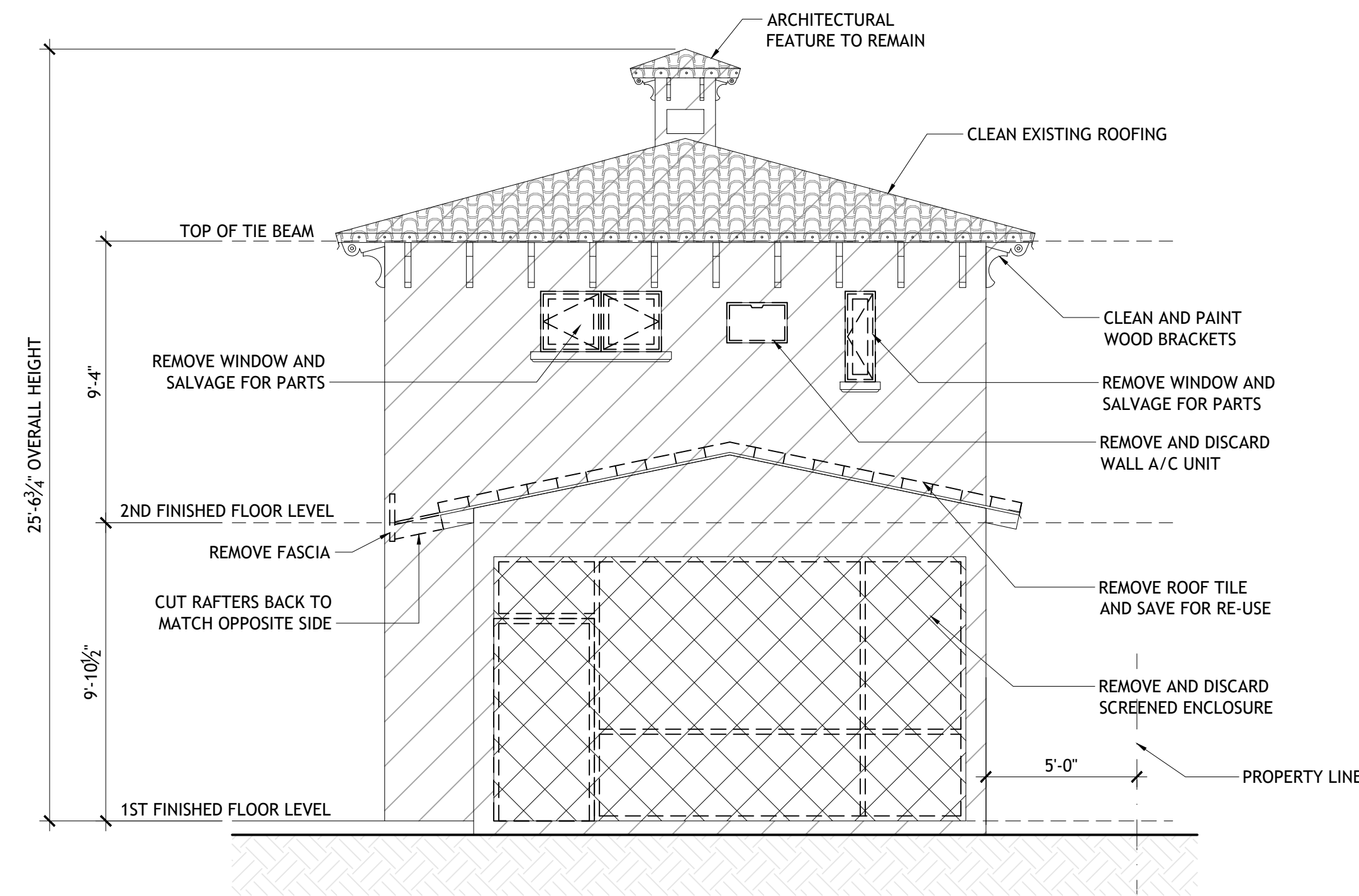


PROPOSED - FRONT (SOUTHWEST) ELEVATION - ACCESSORY BUILDING

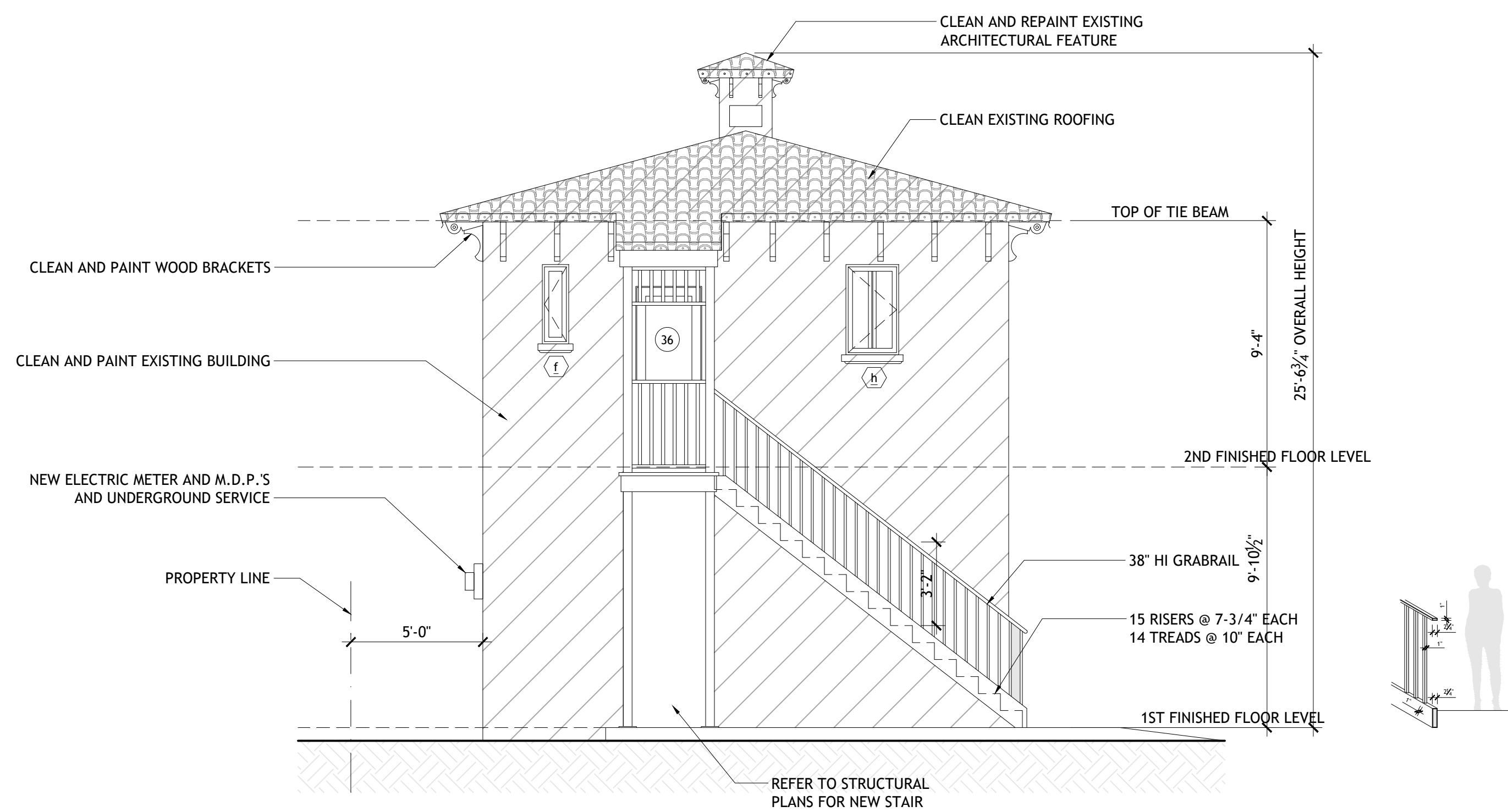
SCALE: 1/4" = 1'-0"



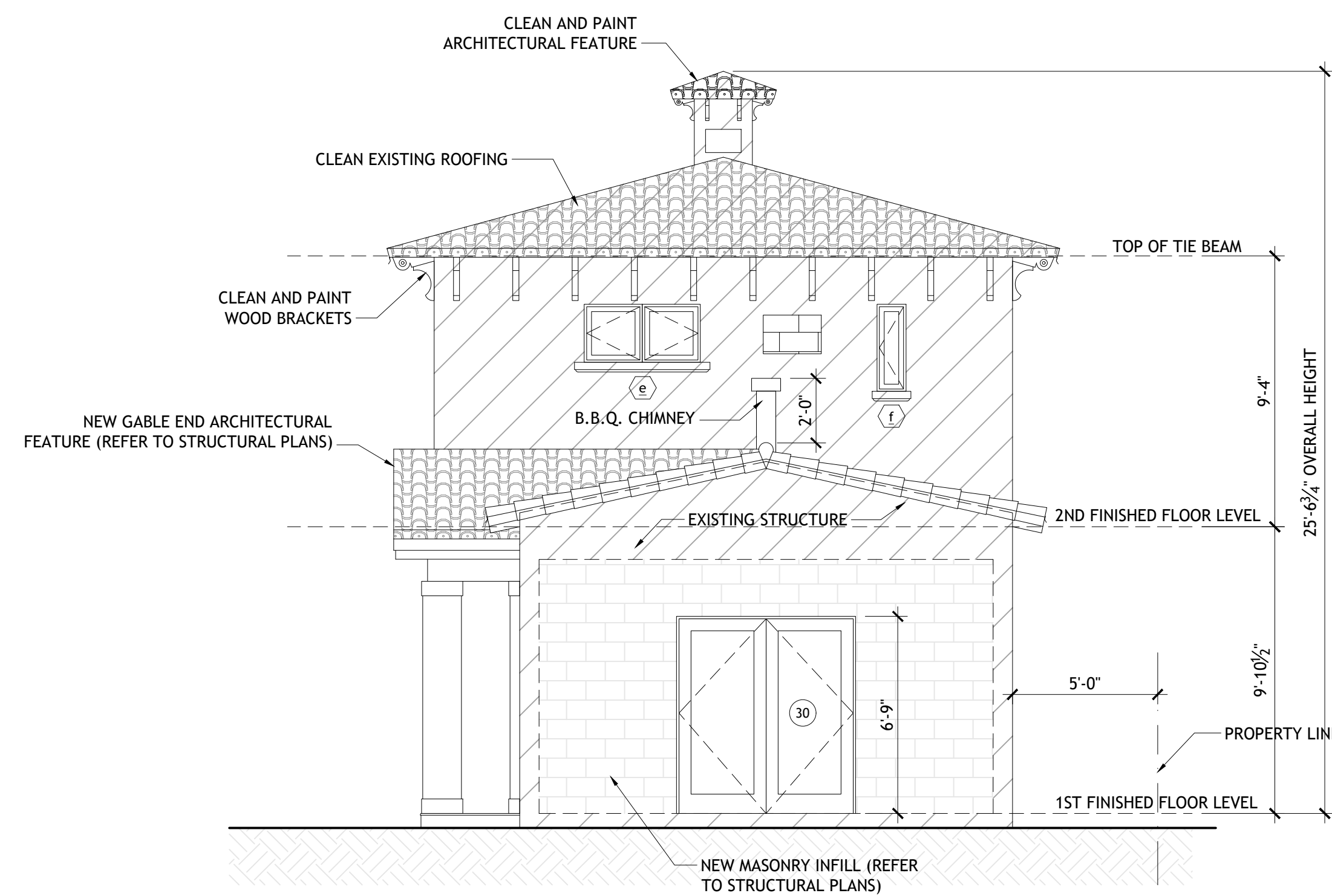
EXISTING/DEMOLITION - LEFT SIDE (NW) ELEVATION - ACCESSORY BLDG.
SCALE: 1/4" = 1'-0"



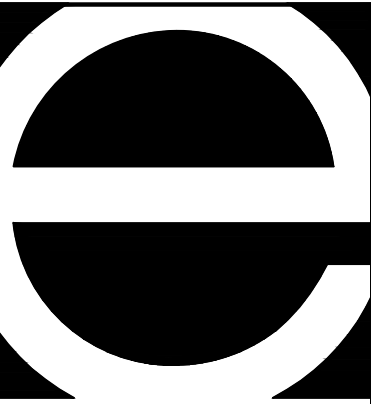
EXISTING/DEMOLITION - RIGHT SIDE (SE) ELEVATION - ACCESSORY BLDG.
SCALE: 1/4" = 1'-0"



PROPOSED - LEFT SIDE (NW) ELEVATION - ACCESSORY BLDG.
SCALE: 1/4" = 1'-0"



PROPOSED - RIGHT SIDE (SE) ELEVATION - ACCESSORY BLDG.
SCALE: 1/4" = 1'-0"



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NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
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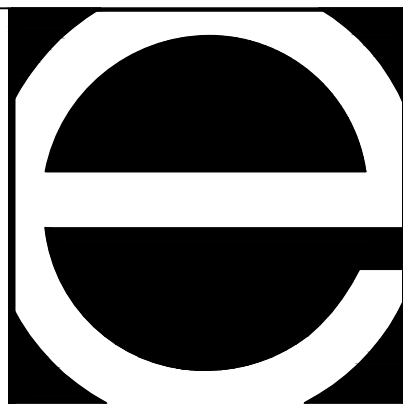
PROJECT
REHABILITATION TO HISTORIC
RESIDENCE FOR
**LAURENCE &
KATHY MARLIN**

717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

SEAL

PROJECT NUMBER
19-10
SHEET NUMBER

A-406



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NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
	BLDG DEPT COMMENTS	5/6/20
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

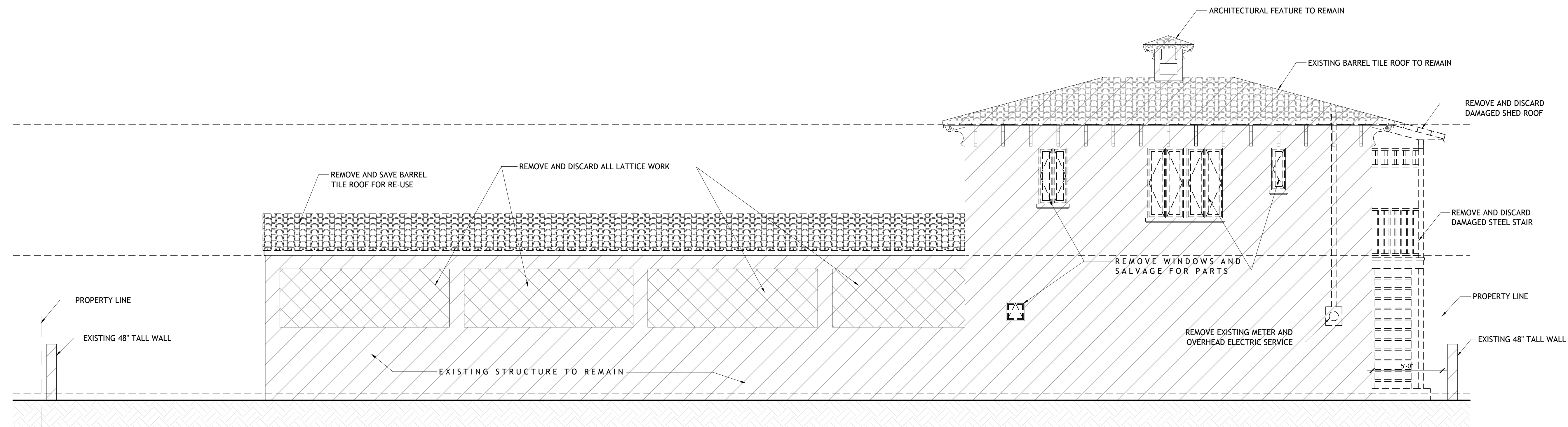
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
19-10

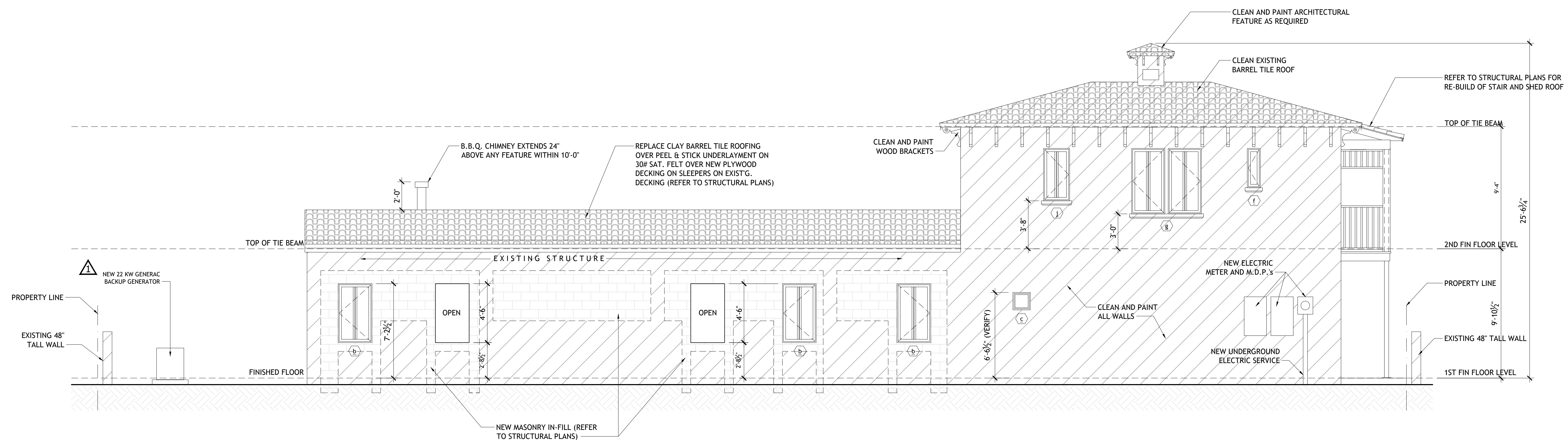
SHEET NUMBER

A-407



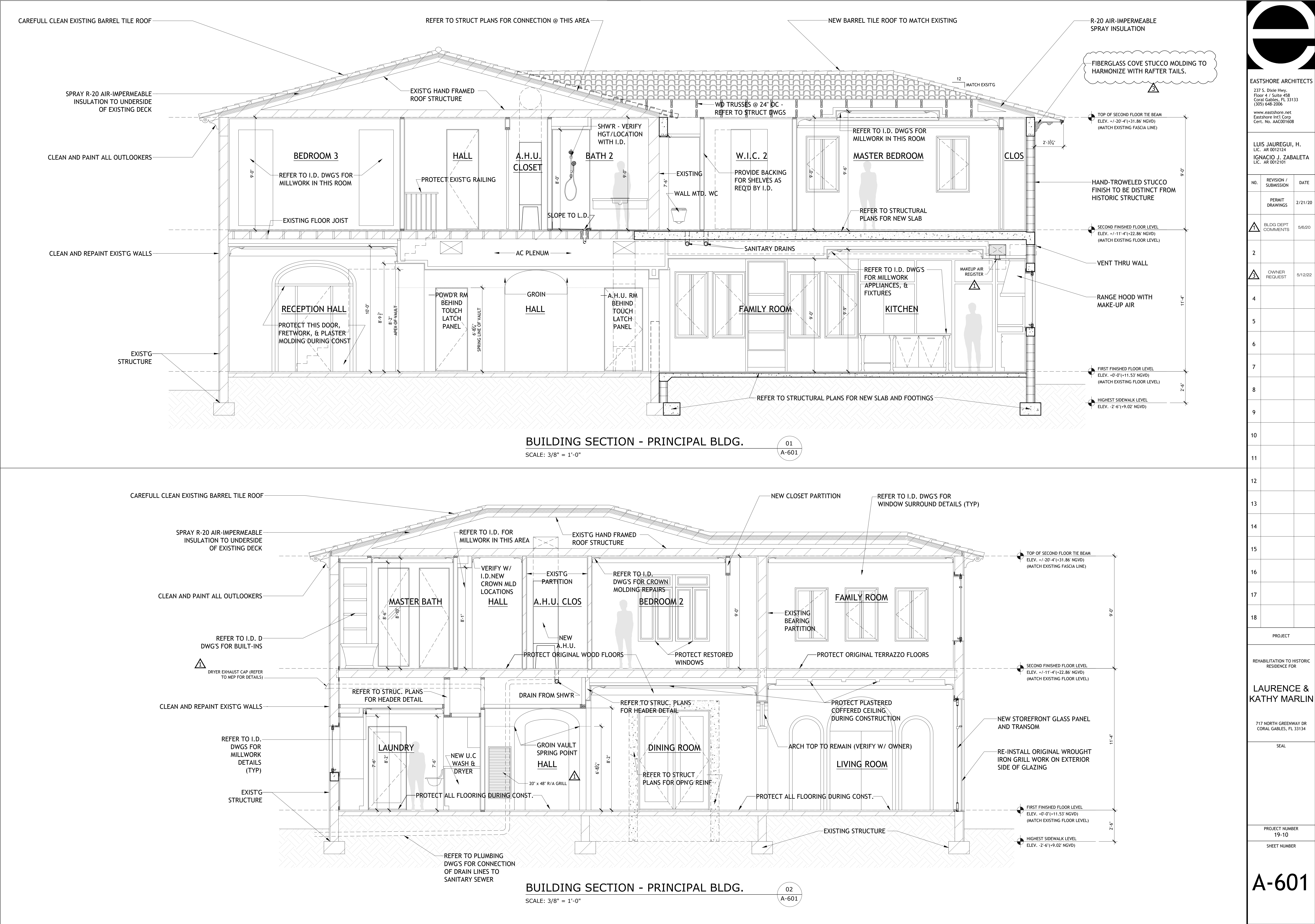
EXISTING/DEMOLITION - REAR (NORTHEAST) ELEVATION - ACCESSORY BLDG.

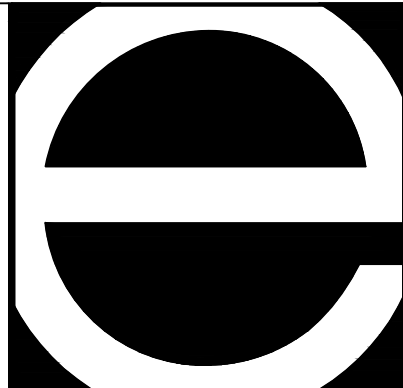
SCALE: 1/4" = 1'-0"



PROPOSED REAR (NORTHEAST) ELEVATION - ACCESSORY BLDG.

SCALE: 1/4" = 1'-0"





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NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
	BLDG DEPT COMMENTS	5/8/20
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	OWNER REQUEST	5/12/22
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

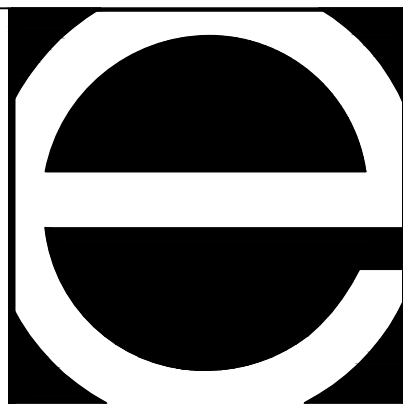
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

A-601



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NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
	BLDG DEPT COMMENTS	5/8/20
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	OWNER REQUEST	5/12/22
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PROJECT

REHABILITATION TO HISTORIC
RESIDENCE FOR

LAURENCE &
KATHY MARLIN

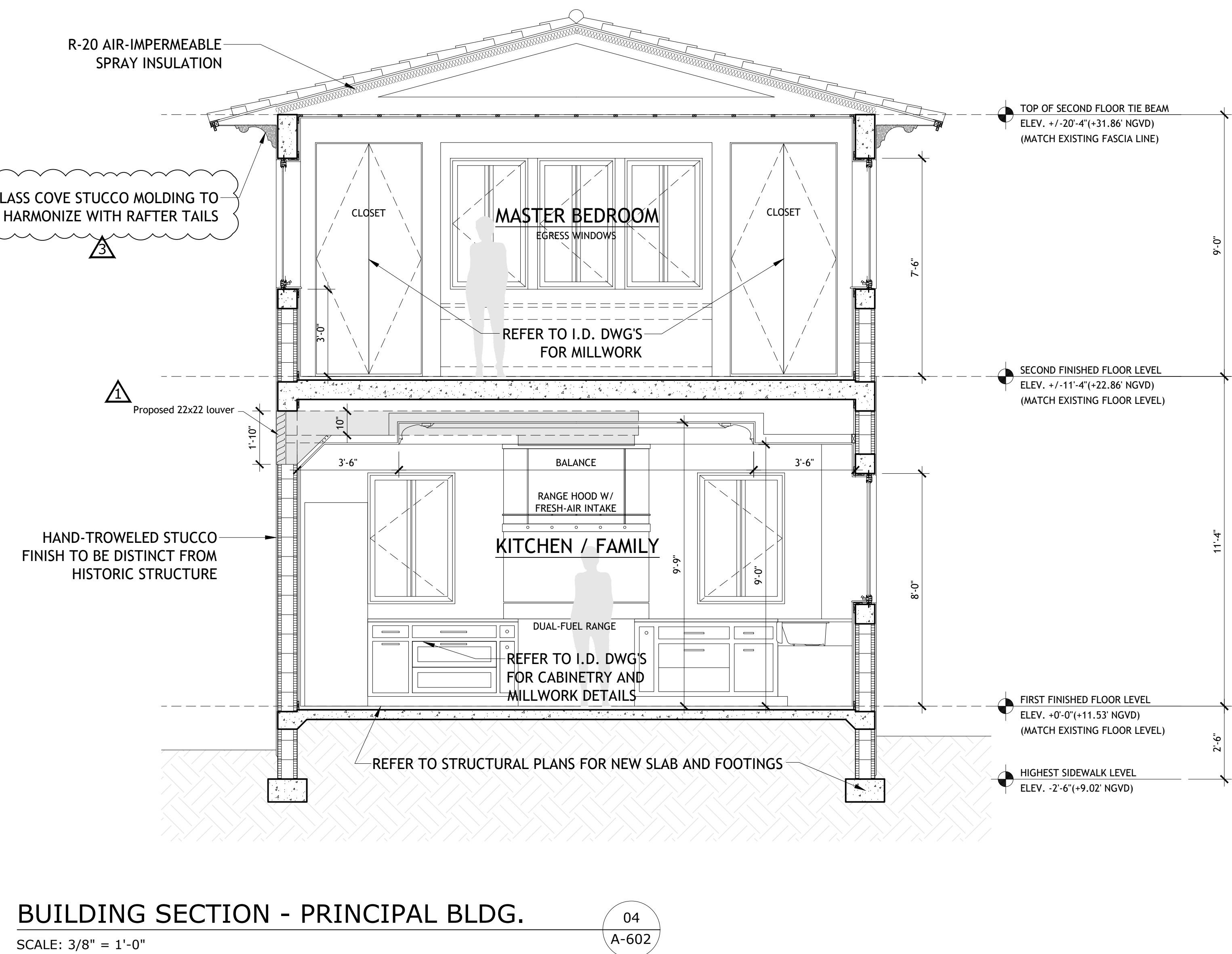
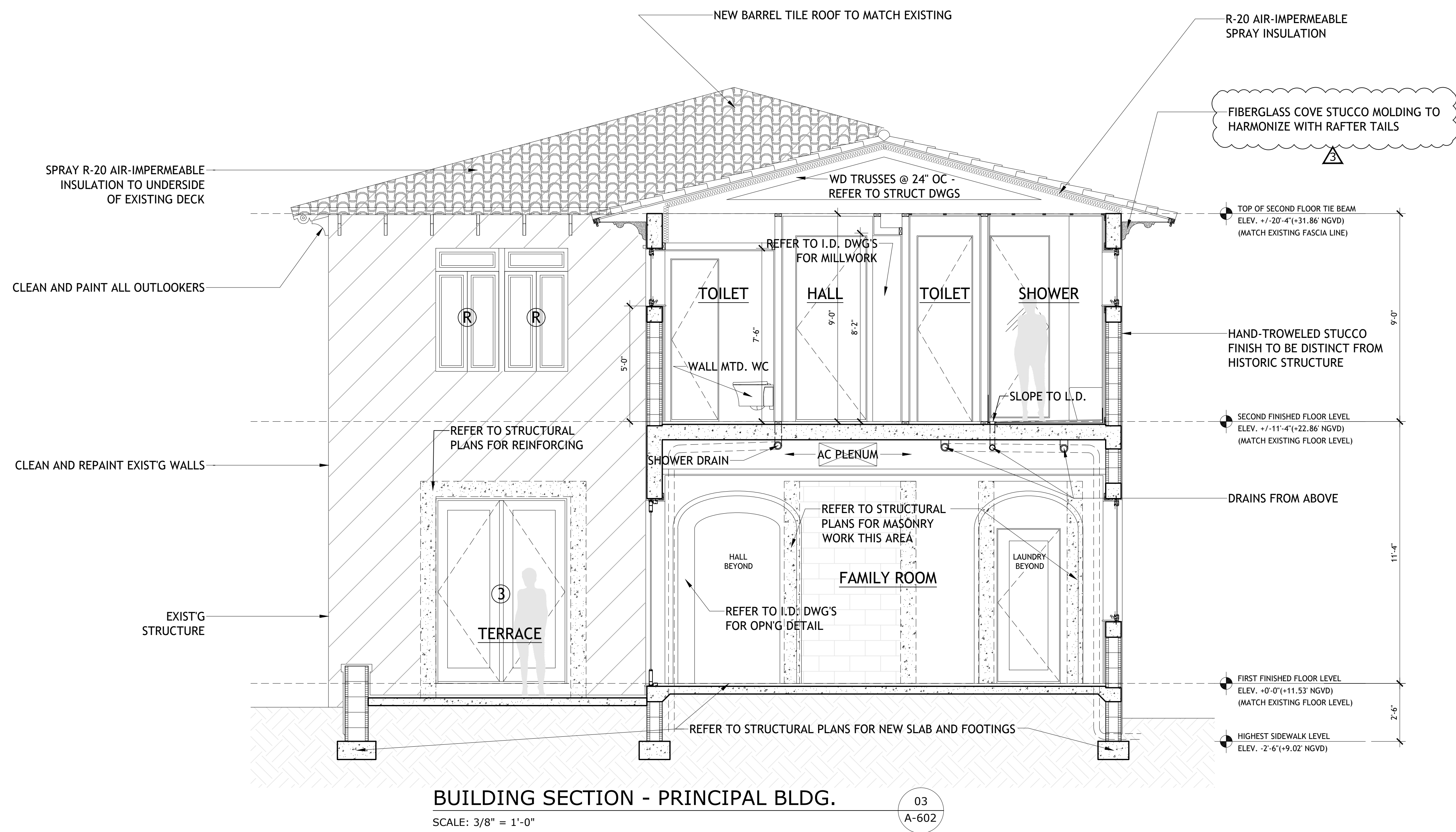
717 NORTH GREENWAY DR
CORAL GABLES, FL 33134

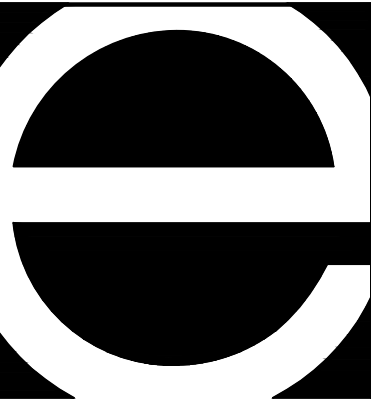
SEAL

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19-10

SHEET NUMBER

A-602





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LIC. AR 0012101

NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
	BLDG DEPT COMMENTS	5/8/20
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	OWNER REQUEST	5/12/22
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PROJECT

REHABILITATION TO HISTORIC
RESIDENCE FOR

LAURENCE &
KATHY MARLIN

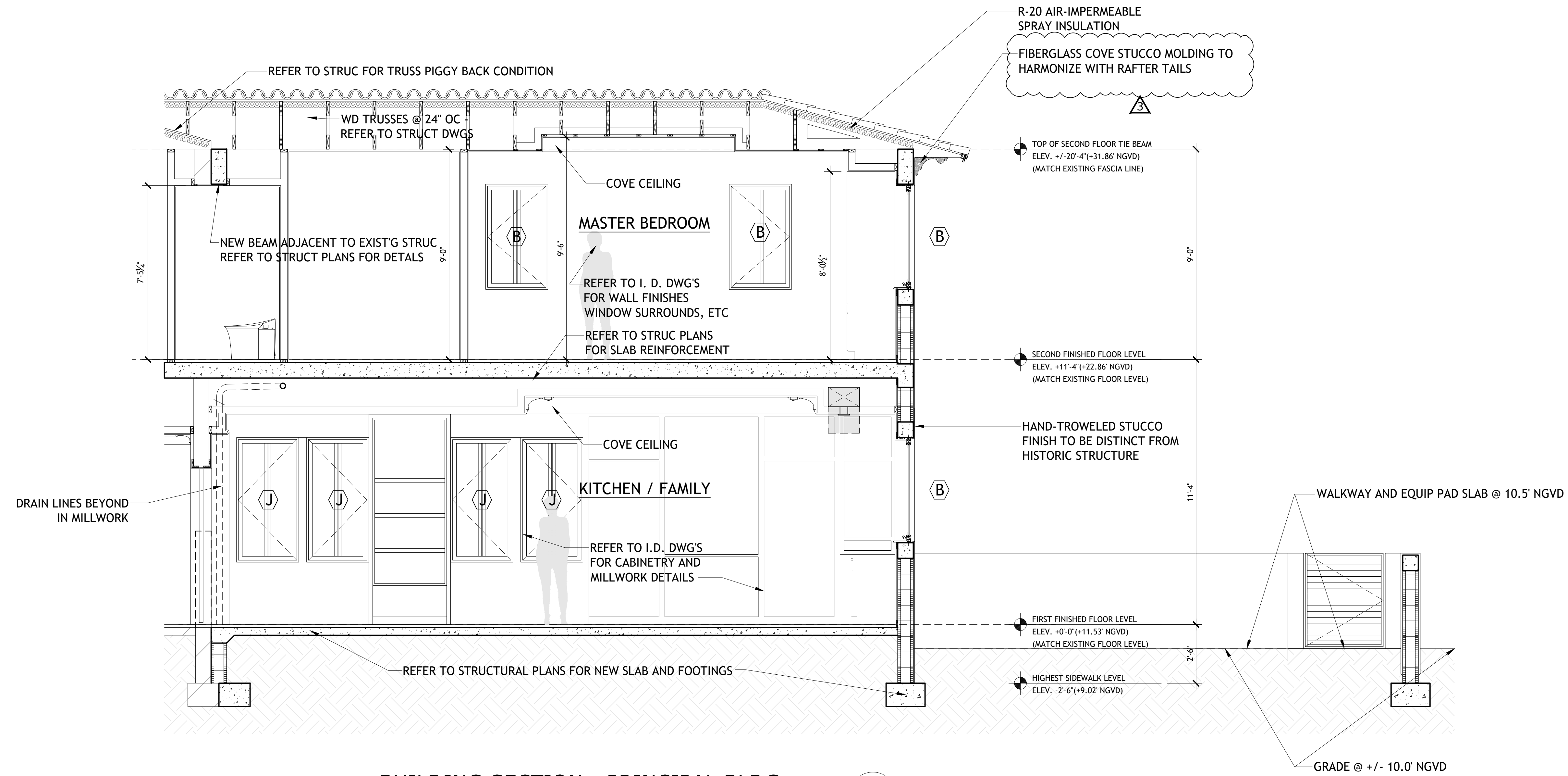
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

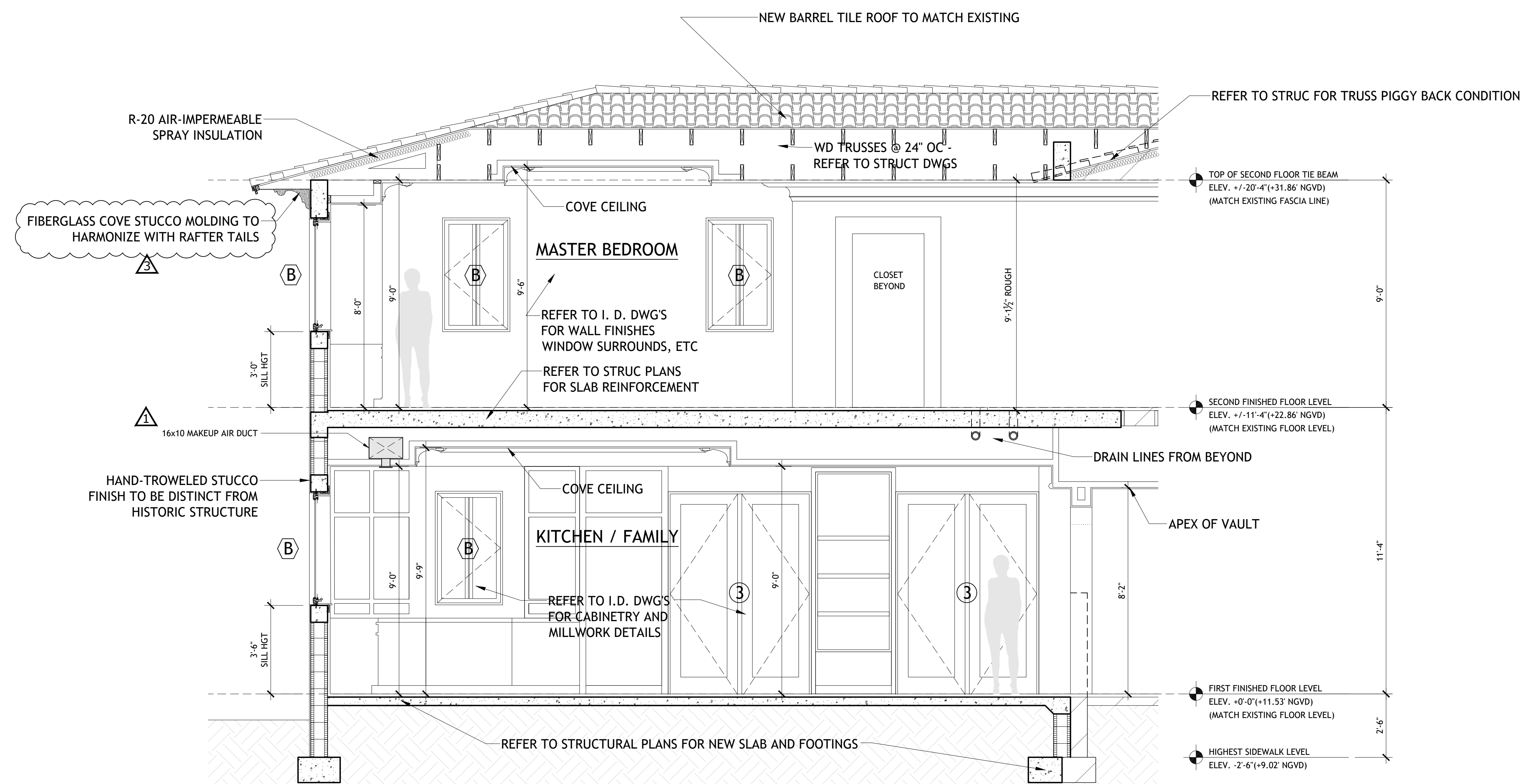
A-603



BUILDING SECTION - PRINCIPAL BLDG.

SCALE: 3/8" = 1'-0"

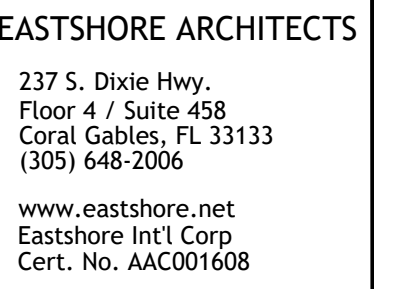
05
A-603



BUILDING SECTION - PRINCIPAL BLDG.

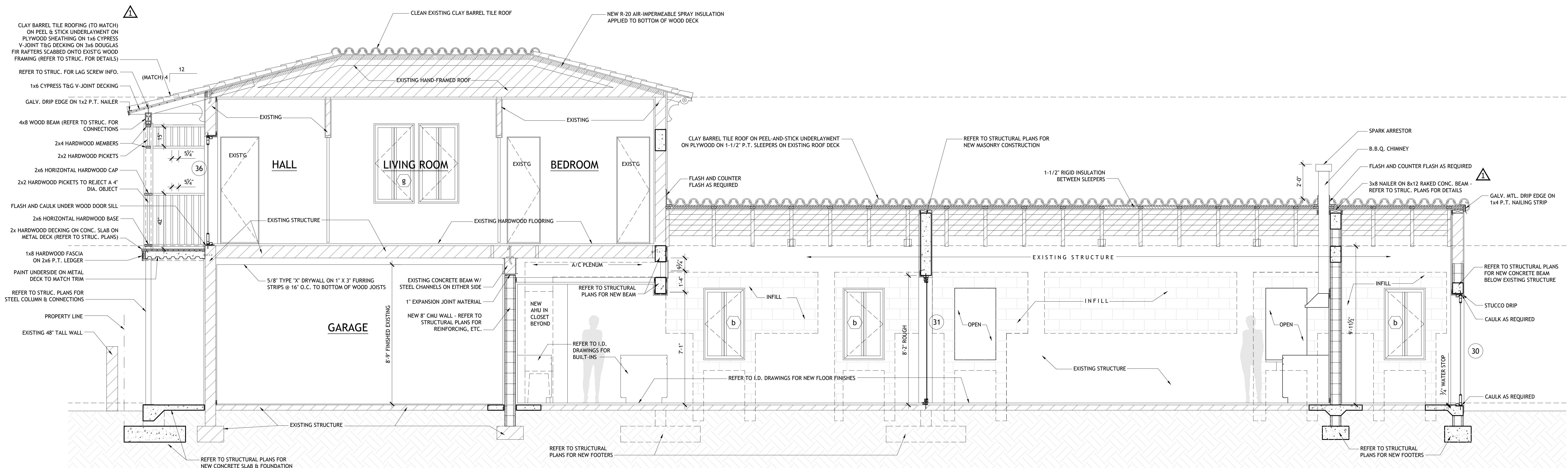
SCALE: 3/8" = 1'-0"

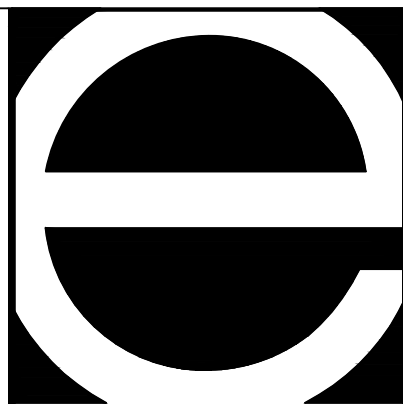
06
A-603



NO.	REVISION / SUBMISSION		DATE
		PERMIT DRAWINGS	
1	BLDG DEPT COMMENTS	2/21/20	5/6/20
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SHEET NUMBER





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NO.	REVISION / SUBMISSION	DATE
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PROJECT

REHABILITATION TO HISTORIC RESIDENCE FOR

LAURENCE & KATHY MARLIN

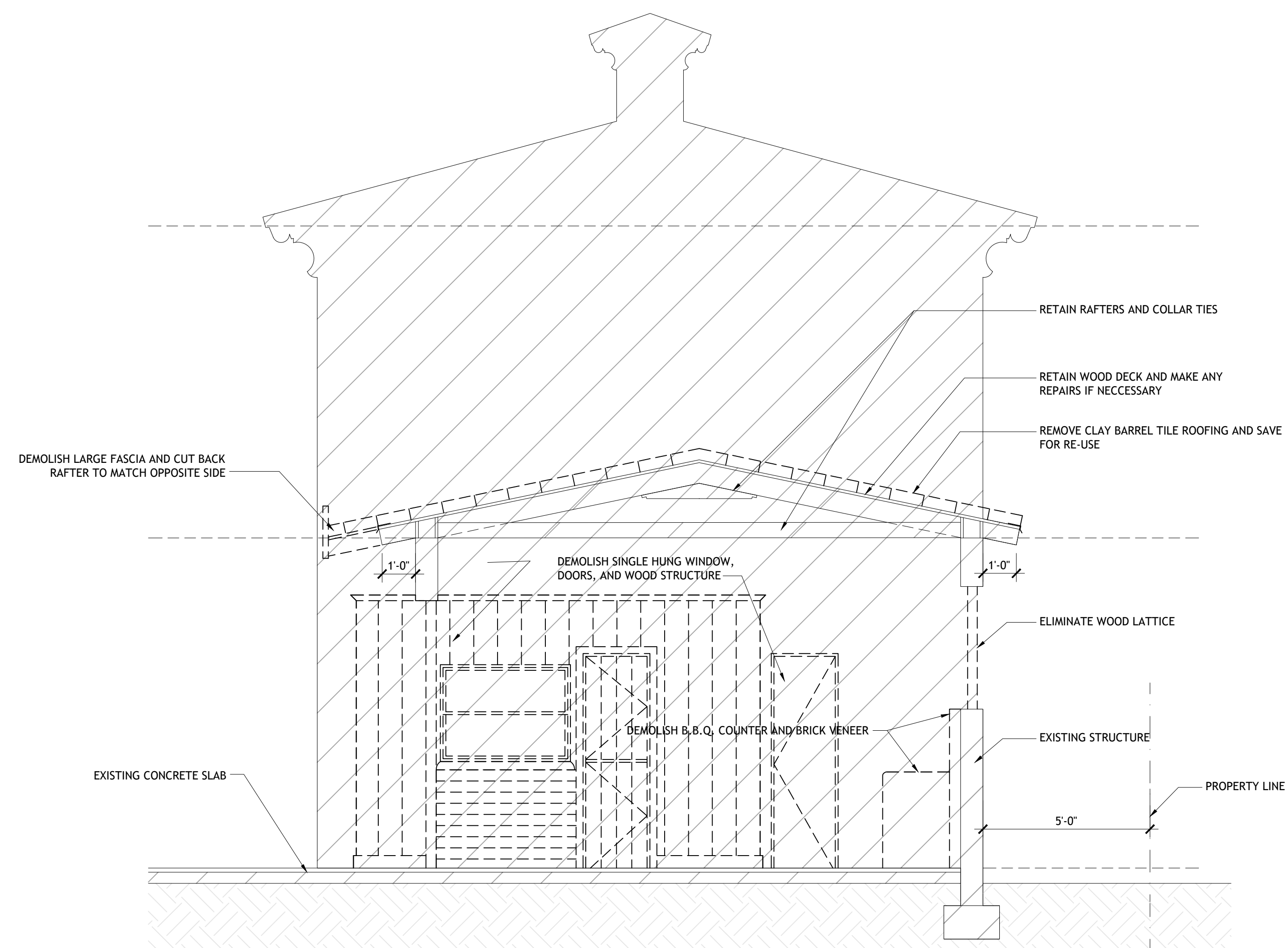
717 NORTH GREENWAY DR
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SEAL

PROJECT NUMBER
19-10

SHEET NUMBER

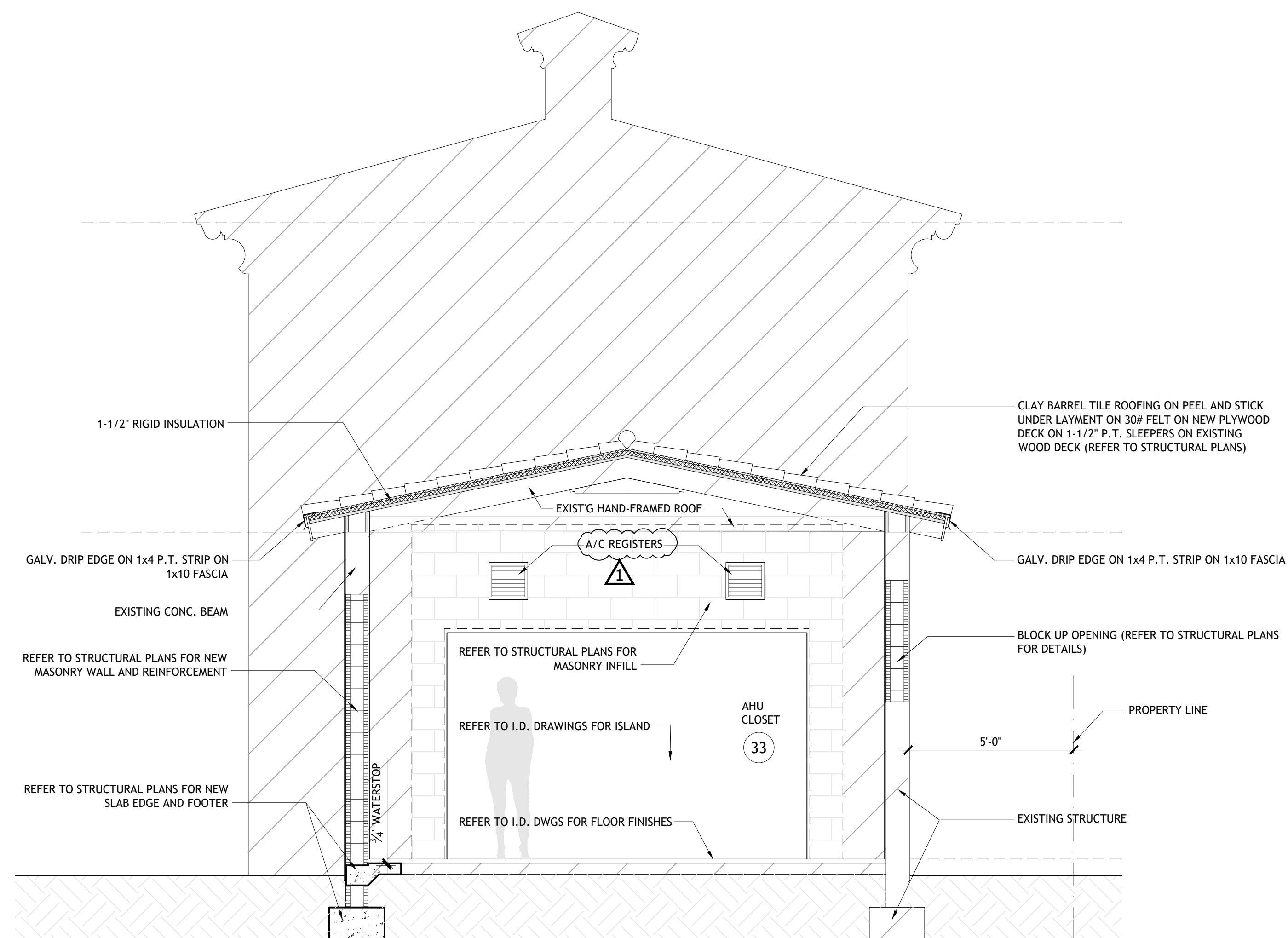
A-605



BUILDING SECTION - DEMOLITION - ACCESSORY BLDG.

SCALE: 3/8" = 1'-0"

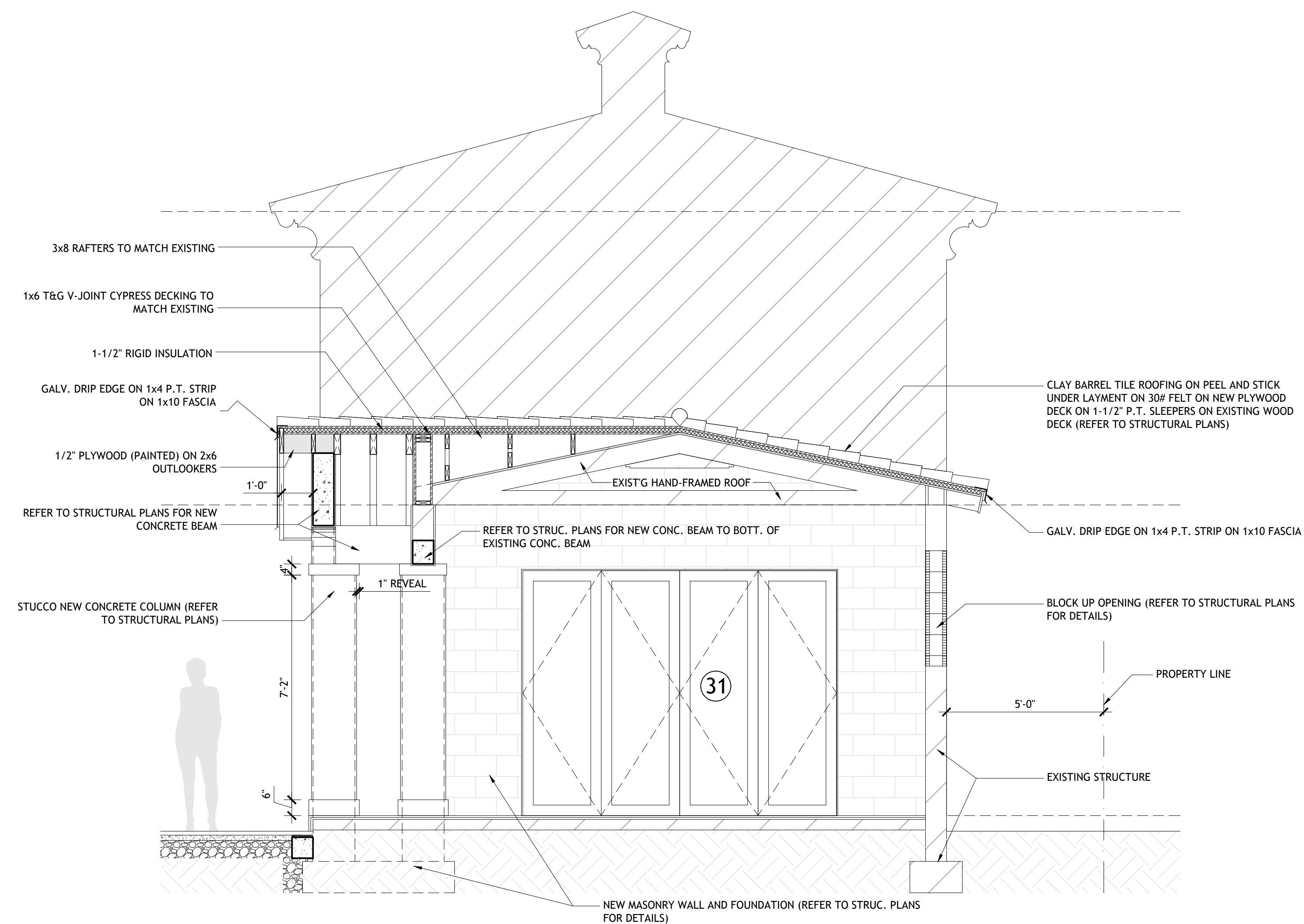
09
A-605



BUILDING SECTION - PROPOSED - ACCESSORY BLDG.

SCALE: 3/8" = 1'-0"

08
A-605



BUILDING SECTION - PROPOSED - ACCESSORY BLDG.

SCALE: 3/8" = 1'-0"

09
A-605

DOOR SCHEDULE																			(GC SHALL FIELD VERIFY ALL EXIST'G & PROPOSED ROUGH OPENING DIMENSIONS)									
DOOR #	DOOR SIZE		STYLE	MATERIAL	MANUF.	SERIES	TYPE	GLASS	GLAZING	HARDWARE	FINISH	N.O.A.	DESIGN PRESSURES		DETAILS			NOTES										
	WIDTH	HEIGHT											POSITIVE	NEGATIVE	HEAD	JAMB	THRESHOLD											
01	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
02	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
03	68.0'	96.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	DOUBLE	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
04	36.0'	80.0'	FLUSH	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	TBD	N/A	N/A	TBD	TBD	TBD	POCKET DOOR W/ HEAVY DUTY TRACK										
05	36.0'	80.0'	FLUSH	WOOD	TBD	TBD	SINGLE	N/A	N/A	HIDDEN	TBD	N/A	N/A	N/A	TBD	TBD	TBD	TOUCH LATCH RELEASE										
06	30.0'	80.0'	FLUSH	WOOD	TBD	TBD	SINGLE	N/A	N/A	HIDDEN	TBD	N/A	N/A	N/A	TBD	TBD	TBD	TOUCH LATCH RELEASE										
07	56.0'	80.0'	FLUSH	WOOD	TBD	TBD	DOUBLE	N/A	N/A	HIDDEN	TBD	N/A	N/A	N/A	TBD	TBD	TBD	TOUCH LATCH RELEASE										
08	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
09	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
10	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
11	36.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
12	44.0'	96.0'	TBD	WOOD	TBD	TBD	DOUBLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
13	36.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
14	24.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
15	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
16	24.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
17	24.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD	FULL LOUVERED DOOR FOR A/C RETURN										
18	36.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
19	34.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD	POCKET DOOR W/ HEAVY DUTY TRACK										
20	43.0'	96.0'	TBD	WOOD	TBD	TBD	DOUBLE	N/A	N/A	HIDDEN	TBD	N/A	N/A	N/A	TBD	TBD	TBD	TOUCH LATCH RELEASE										
21	48.0'	96.0'	TBD	WOOD	TBD	TBD	DOUBLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD	POCKET DOORS W/ HEAVY DUTY TRACK										
22	28.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
23	30.0'	96.0'	TBD	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
24	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
25	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
26	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
27	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
29	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
30	72.0'	80.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	DOUBLE	IMPACT	SOLID PANEL	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
31	124.0'	96.0'	FOLDING	ALUMINUM	TBD	TBD	4 PANELS	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
32	28.0'	80.0'	FLUSH	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD	POCKET DOOR W/ HEAVY DUTY TRACK										
33	30.0'	80.0'	FULL LOUVERED	WOOD	TBD	TBD	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	TBD	TBD	TBD											
34	192.0'	93.0'	OVERHEAD	ALUMINUM	CLOPAY	TBD	4 SECTION	IMPACT	N/A	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD	CANYON RIDGE SERIES DOUBLE CARRIAGE										
35	60.0'	82.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	DOUBLE	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
36	30.0'	92.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
37	30.0'	82.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
38	30.0'	82.0'	FRENCH DOOR	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	TBD	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD											
41	30.0'	80.0'	EXISTING	WOOD	N/A	N/A	SINGLE	N/A	N/A	TBD	TBD	N/A	N/A	N/A	N/A	N/A	N/A											
43	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
45	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
46	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
47	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
48	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
49	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											
50	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-											

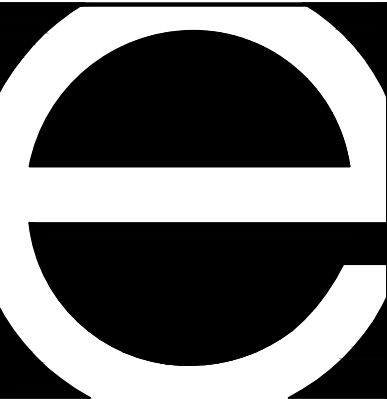
WINDOW SCHEDULE																		(GC SHALL FIELD VERIFY ALL EXIST'G & PROPOSED ROUGH OPENING DIMENSIONS)	
MARK	FRAME SIZE		STYLE	MATERIAL	MANUF.	SERIES	TYPE	GLASS	GLAZING	HARDWARE	FINISH	N.O.A.	DESIGN PRESSURES		DETAILS			NOTES	
	WIDTH	HEIGHT											POSITIVE	NEGATIVE	HEAD	JAMB	SILL		
(A)	17.0'	43.0'	FIXED	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(B)	32.0'	51.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(D)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(E)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(F)	62.0'	75.0'	FIXED	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(G)	62.0'	29.0'	ARCH TOP	ALUMINUM	TBD	TBD	TRANSOM	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(H)	18.0'	29.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(J)	32.0'	64.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(K)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(L)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(a)	31.0'	42.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(b)	31.0'	54.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(c)	16.0'	16.0'	FIXED	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(d)	31.0'	60.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(e)	48.0'	24.0'	CASEMENT	ALUMINUM	TBD	TBD	DOUBLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(f)	12.0'	36.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(g)	64.0'	60.0'	CASEMENT	ALUMINUM	TBD	TBD	DOUBLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(h)	24.0'	40.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(j)	24.0'	48.0'	CASEMENT	ALUMINUM	TBD	TBD	SINGLE	IMPACT	CLEAR	INCLUDED	TBD	TBD	SEE STRUC	SEE STRUC	TBD	TBD	TBD		
(k)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(l)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
(m)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		

U - V A L U E	REFER TO ENERGY CALCS
S H G C	REFER TO ENERGY CALCS

Exterior Door and Window Waterproofing Note:
PROVIDE VULKEN 350 R MEMBRANE AT 40 MILS MIN. AROUND PERIMETERS OF OPENING AND INTO OPENING AND THEN PROVIDE PRIMARY AND BEAUTY BEAD OF SPECTREM 1 SILICONE SEALANT AT ALL SILL, JAMB, AND HEAD LOCATIONS. INSTALL AS PER TREMCO DIRECTIONS (361) 509-5171

Hardware Note:
CONTRACTOR TO PROVIDE TO OWNER WITH A COMPLETE HARDWARE SPECIFICATIONS SCHEDULE LISTING ALL HARDWARE TO BE USED ON A DOOR BY DOOR BASIS, FOR REVIEW & APPROVAL.
ALL EXTERIOR FRENCH DOORS TO HAVE DOOR STOPS & HOOKS TO BE APPROVED BY OWNER.
ALL INTERIOR DOORS TO HAVE DOOR STOPS AS SELECTED BY OWNER.
ALL HINGES TO MATCH HARDWARE FINISHES AS SELECTED BY OWNER.
DOORS 1-3/4" THICK , UP TO AND INCLUDING 36" WIDE TO HAVE PAIR AND HALF HINGES. DOORS 1-3/4" THICK ABOVE 36" WIDE AND/OR TALLER THAN 7'-0" TO HAVE TWO PAIR HINGES.
ALL EXTERIOR DOORS OF BUILDING SHALL HAVE BOTTOM SEALS AND FRAME GASKETS.
ALL POCKET DOORS TO HAVE RECESSED TRACK IN HEADER. USE ACME HEAVY DUTY NO. 58, ANG. HANGER NO. 57
ALL SHOWER DOORS/ HARDWARE TO MATCH PLUMBING FIXTURE FINISHES OR AS SELECTED BY OWNER.

Additional Door Notes:
EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSET.
EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.
PROVIDE SHOP DRAWINGS FOR SHOWER ENCLOSURE TO ARCHITECT.
ADJUST ALL EXTERIOR DOOR HEIGHTS TO COMPENSATE FOR RECESSED SLAB AT THRESHOLD CONDITION. ALL DOORS MUST ALIGN AT HEAD HEIGHT.



EASTSHORE ARCHITECTS

237 S. Dixie Hwy.
Floor 4 / Suite 458
Coral Gables, FL 33133
(305) 648-2006
www.eastshore.net
Eastshore Int'l Corp
Cert. No. AAC001608

LUIS JAUREGUI, H.
LIC. AR 0012124
IGNACIO J. ZABALETA
LIC. AR 0012101

NO.	REVISION / SUBMISSION	DATE
	PERMIT DRAWINGS	2/21/20
1	BLDG DEPT COMMENTS	5/8/20
2		
3	OWNER REQUEST	5/12/22
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PROJECT
REHABILITATION TO HISTORIC RESIDENCE FOR
LAURENCE & KATHY MARLIN
717 NORTH GREENWAY DR CORAL GABLES, FL 33134
SEAL
PROJECT NUMBER 19-10
SHEET NUMBER
A-901