

NEW ADDITION TO

BRITT RESIDENCE

AT
1021 ASTURIA AVENUE
CORAL GABLES, FLORIDA 33134

SEPTEMBER, 2023

NOTE:
DESIGN AND CONSTRUCTION SHALL COMPLY WITH
THE 2020 FLORIDA BUILDING CODES, 7th EDITION &
2020 FLORIDA FIRE PREVENTION CODE, 7th EDITION.

APPLICABLE CODES:

- FLORIDA BUILDING CODE 7th EDITION 2020
- 2020 FLORIDA FIRE PREVENTION CODE
- NEC 2011
- ALL WORK TO CONFORM TO APPLICABLE TRADE CODES

APPLICABLE STANDARDS:

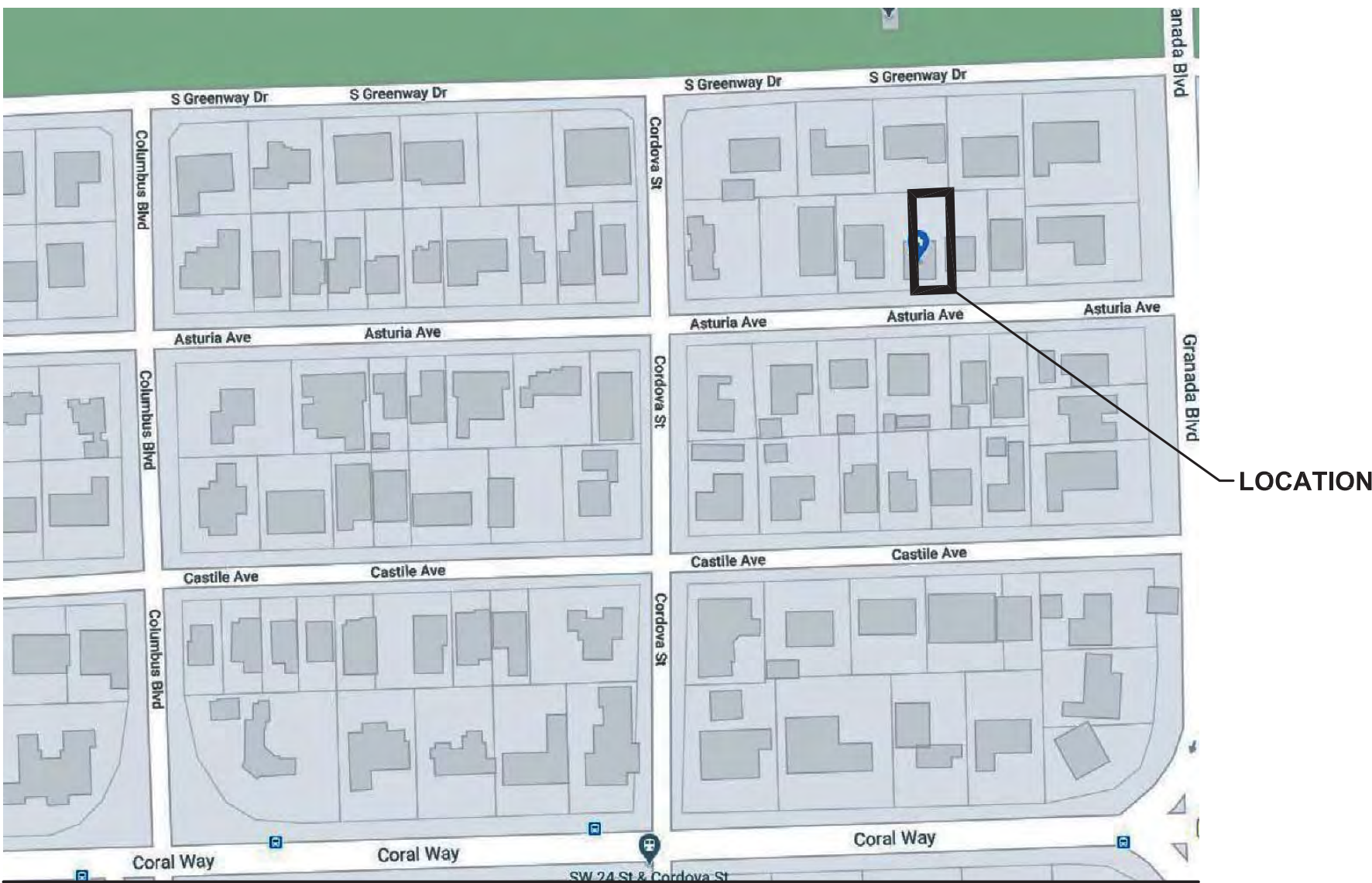
ANSI, ASME, ASSE & ASTM

BUILDING INFORMATION:

FOLIO NUMBER: 03-4107-014-0710
ZONING: RESIDENTIAL SINGLE-FAMILY (LOW DENSITY)
USE: RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: TYPE III B

LEGAL DESCRIPTION:

LOT 17, BLOCK 7 OF "CORAL GABLES SECTION C", ACCORDING TO THE PLAT THEREOF, AS RECORDED
IN PLAT BOOK 8, AT PAGE 26 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA



LOCATION PLAN



A K D O R U K
S H A T H E R

&

A S S O C I A T E S , I N C .

ENGINEERS

3950 N.W. 167TH STREET
MIAMI, FLORIDA 33054
(TEL) 305.624.1555
(FAX) 305.624.8393

YOUSSEF HACHEM FL. PE.# 43302 CIVIL
ENGINEER BUS. LIC. NO. CA6468

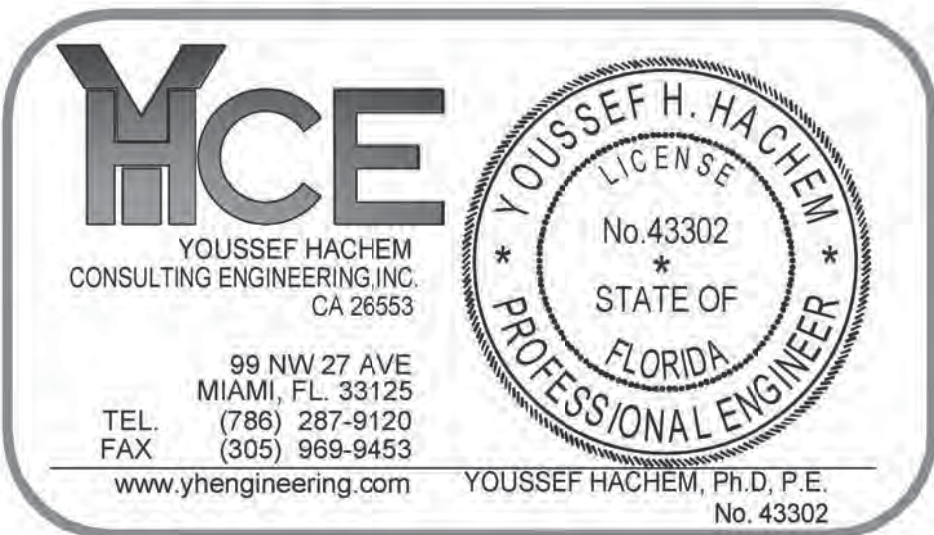


ARCHITECTURE
INTERIOR
DESIGN
REAL ESTATE
ADVISORY



Jose R
Carlo
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by Jose R Carlo
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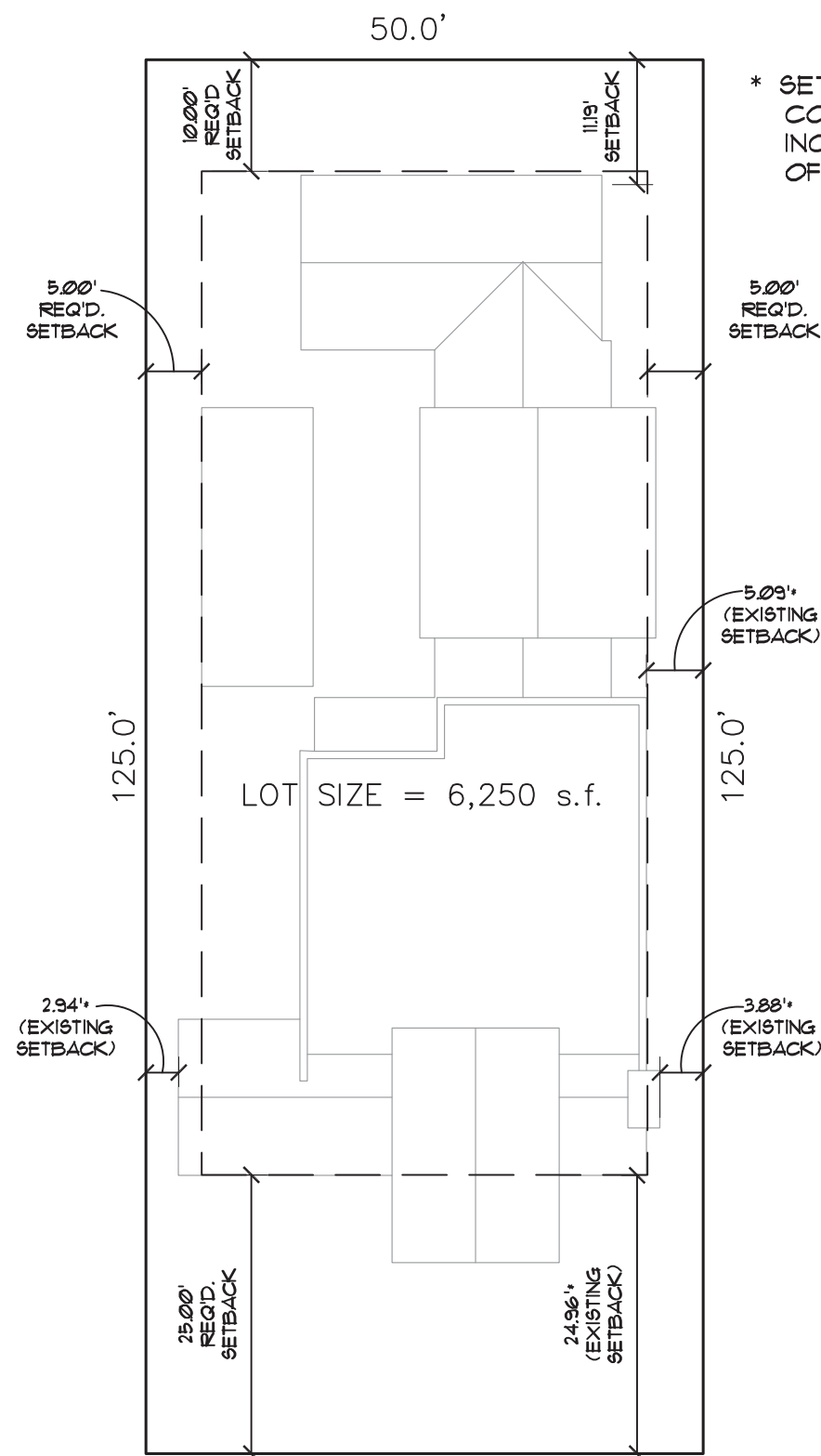
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PERMIT SCOPE OF WORK

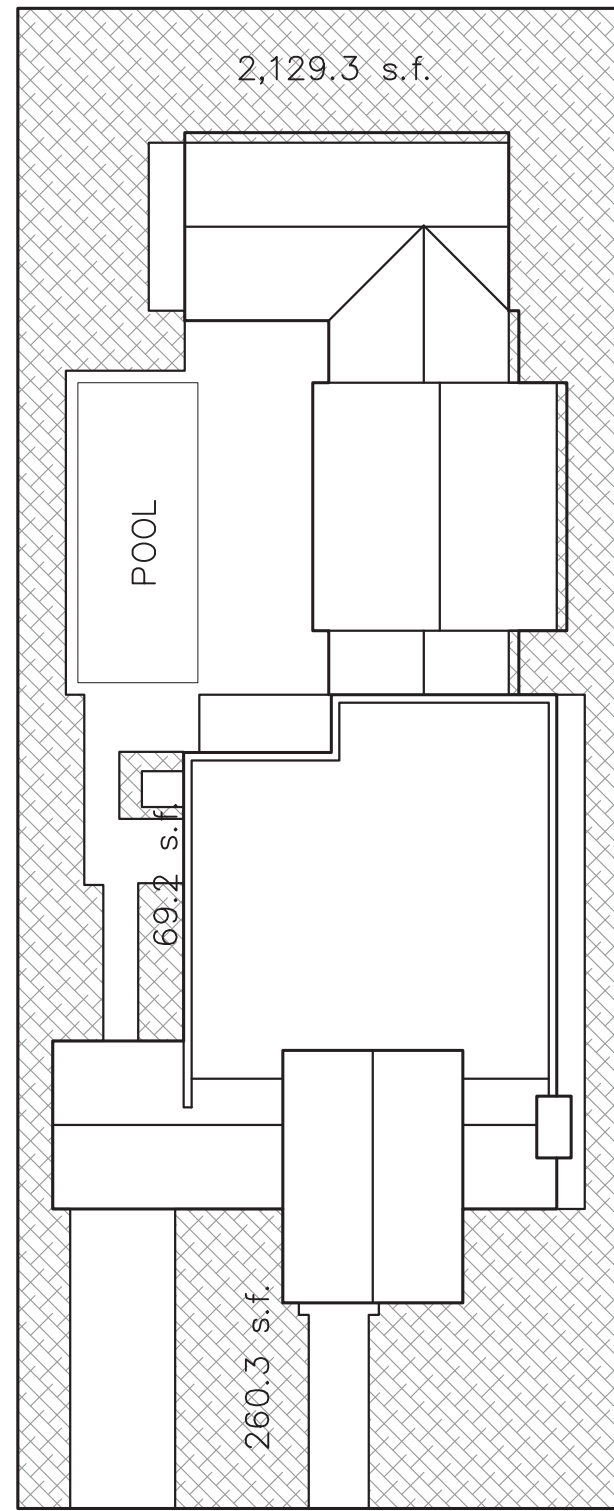
THE DESIGN CONCEPT HAS BEEN PREVIOUSLY APPROVED BY THE HISTORICAL PRESERVATION BOARD AND
THE BOARD OF ARCHITECTS. (AB-20-12-5153)

THE SCOPE OF WORK IS A 900 s.f. SINGLE STORY ADDITION TO THE REAR OF BUILDING THAT INCLUDES THE
FOLLOWING:

- REMOVAL OF A 1970's ADDITION.
- ADDITION OF A MASTER BEDROOM SUITE.
- ADDITION OF A LIBRARY WITH ATTACHED BATHROOM.
- ADDITION OF A STORAGE SPACE.
- ADDITION OF A LAUNDRY ROOM.
- INTERIOR ALTERATIONS TO THE EXISTING KITCHEN AND BATHROOMS.
- ALL PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS ARE TO BE UPDATED.



LOT SIZE

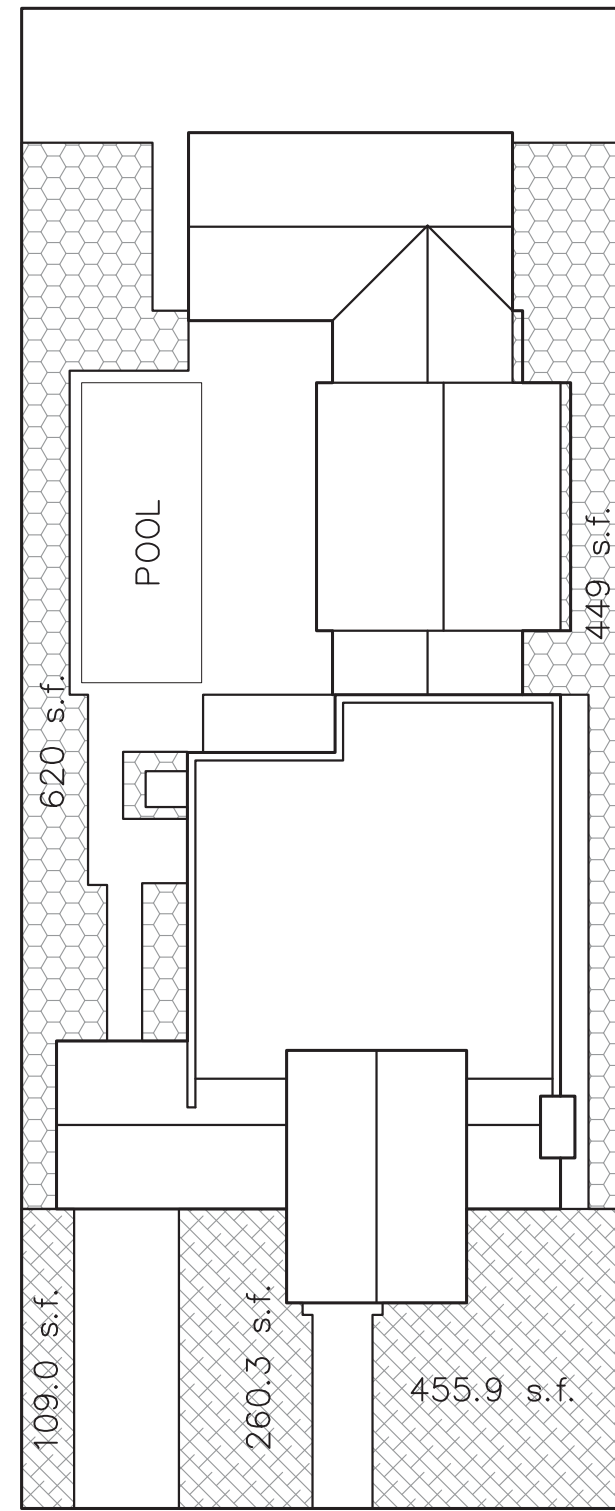


LANDSCAPE/OPEN AREA

MIN 30% LANDSCAPE/OPEN AREA REQUIRED PER CORAL GABLES COTTAGE ZONING CODE, SECTION 5-503.D

REQUIRED
6,250 sf x .30 = 1,875 sf

PROVIDED
2,129.3 sf
260.3 sf
69.2 sf
2,458.8sf (39.3%)



FRONT & SIDE YARD LANDSCAPE AREA

MIN FRONT YARD LANDSCAPE/OPEN AREA REQUIRED 20% OF THE 40% TOTAL REQUIRED LANDSCAPE/OPEN AREA.

REQUIRED
6,250 sf x .40 = 2,500 sf

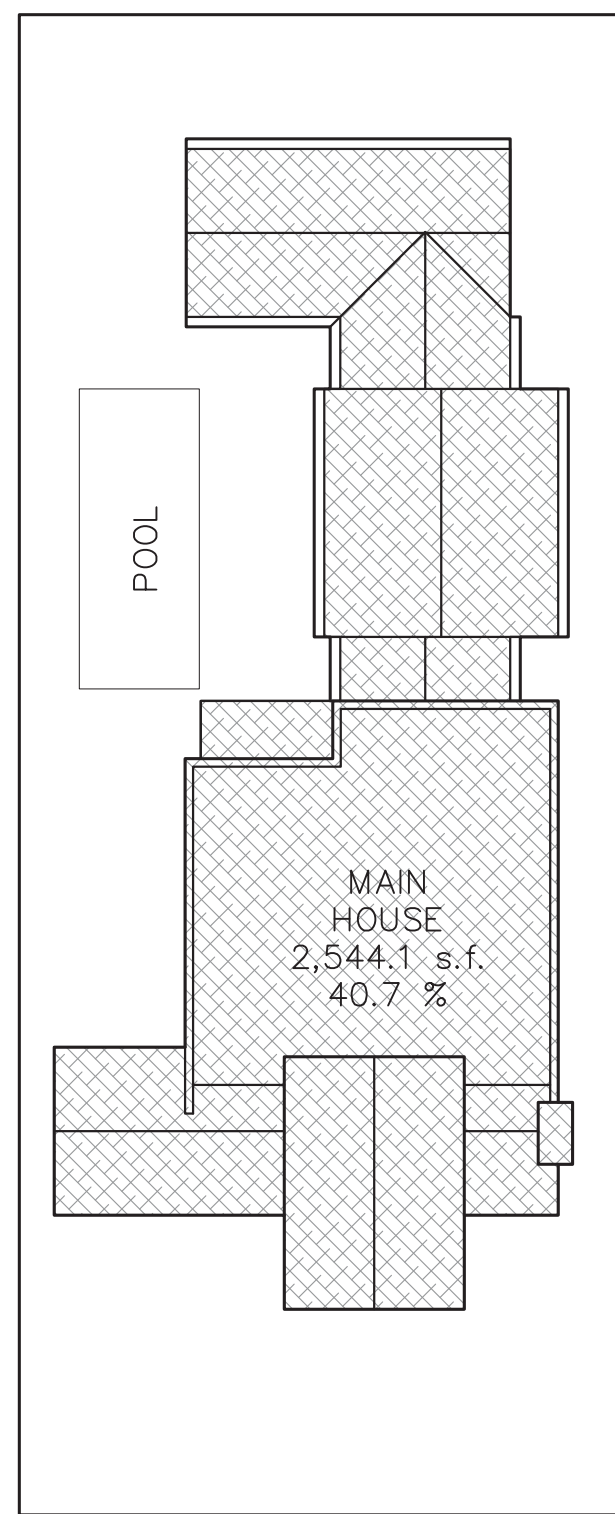
2,500 sf x .20 = 500 sf

PROVIDED
109.0 sf
260.3 sf
455.9 sf
825.2 sf

MIN SIDE YARD

REQUIRED
NOT LESS THAN 250 sf

PROVIDED
WEST SIDE YARD = 620 sf
EAST SIDE YARD = 449 sf

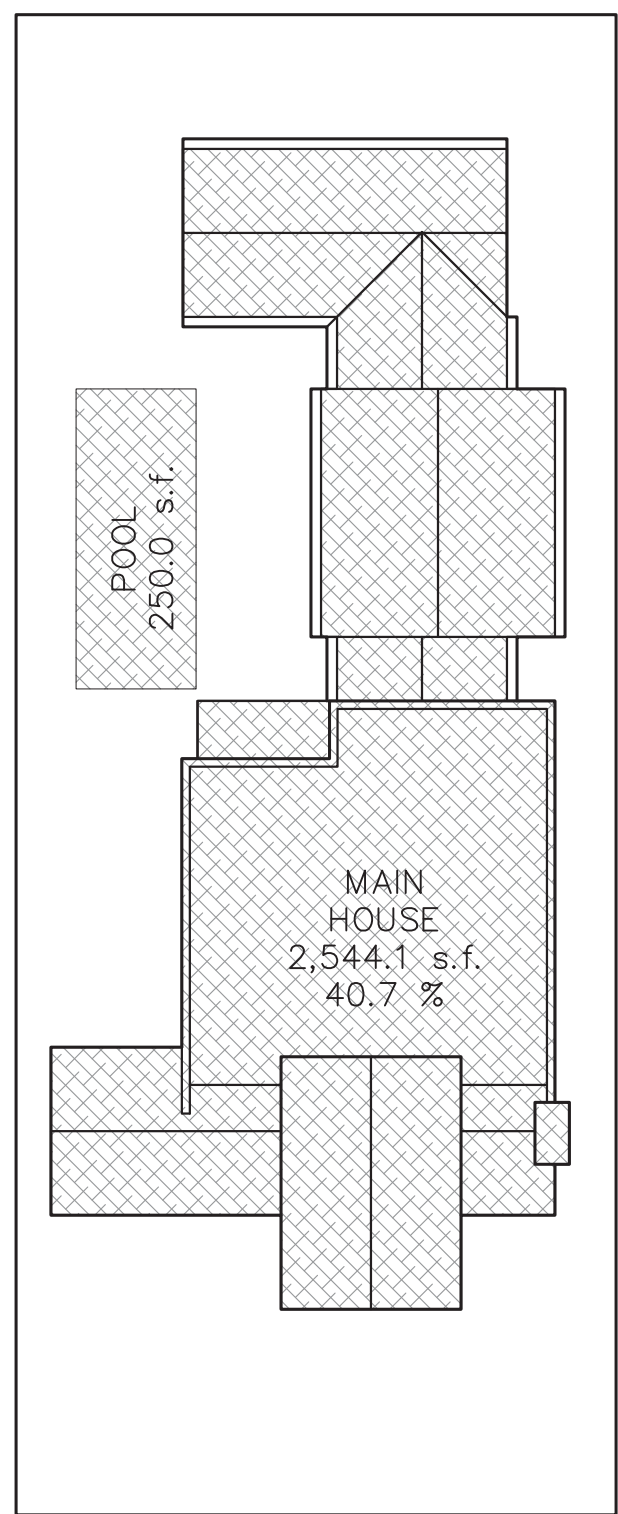


MAIN BUILDING GROUND COVERAGE

MAX 48% GROUND AREA COVERAGE FOR THE MAIN HOUSE PER CORAL GABLES COTTAGE ZONING CODE SECTION 5-503.B

MAX. GROUND AREA COVERAGE
6,250 sf x .48 = 3,000 sf

PROVIDED
MAIN HOUSE = 2,544.1 sf (40.7%)

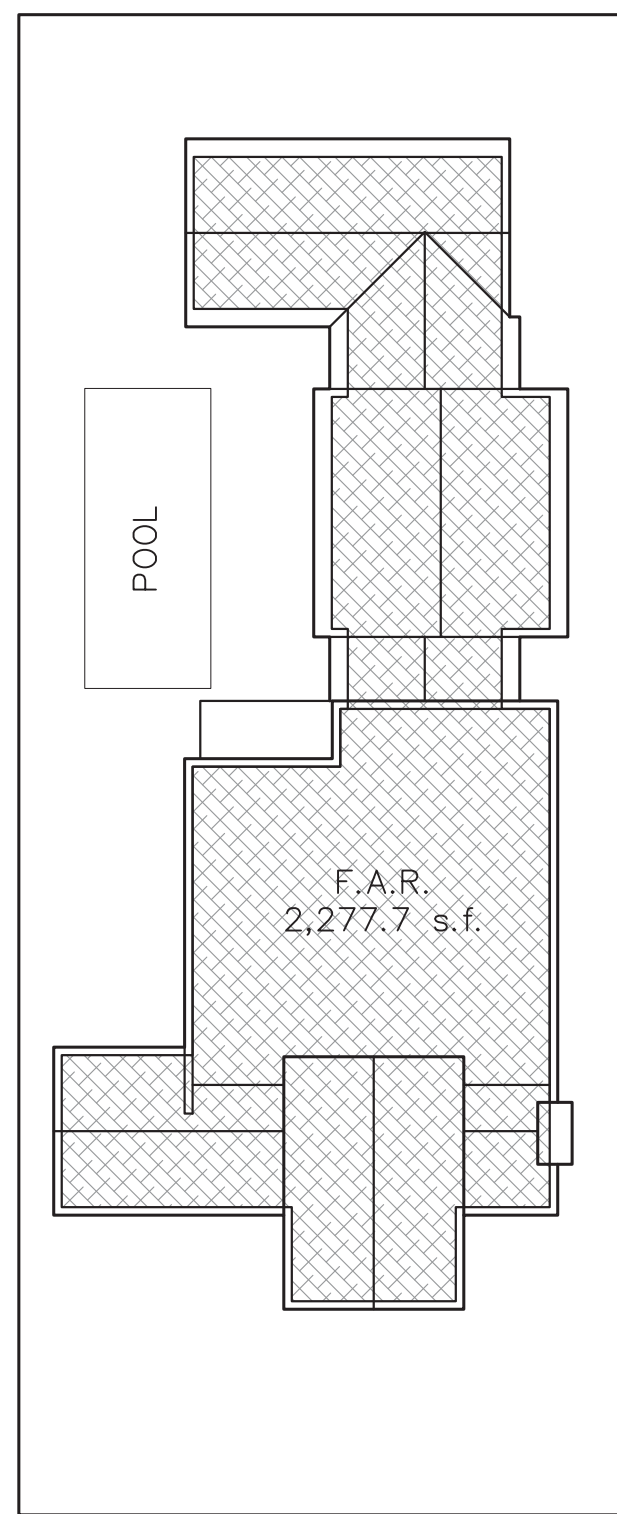


MAIN & AUXILIARY BUILDING GROUND COVERAGE

MAX 58% GROUND AREA COVERAGE FOR THE MAIN HOUSE & ALL AUILIARY/ACCESSORY STRUCTURES PER CORAL GABLES COTTAGE ZONING CODE SECTION 5-503.B

REQUIRED
6,250 sf x .58 = 3,625 sf

PROVIDED
2,544.1 sf
250.0 sf
2,794.1 sf (44.7%)



FLOOR AREA RATIO

F.A.R.
5,000 sf x .48 = 2,400 sf
1,250 sf x .35 = 437.5 sf
(MAX ALLOWED) 2,837.5 sf

(PROVIDED) 2,277.7 sf

SITE INFORMATION

FOLIO NUMBER: 03-4107-014-0710

LEGAL DESCRIPTION:
LOT 17, BLOCK 7 OF "CORAL GABLES SECTION C", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 26 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING: SFR - SINGLE-FAMILY RESIDENTIAL DISTRICT

SITE AREA: 6,250 s.f.

GROUND AREA COVERAGE:
MAIN BUILDING REQ'D. 3,000 s.f.
48% PER CORAL GABLES COTTAGE ZONING CODE SECTION 5-503.B
MAIN BUILDING PROVIDED 2,544.1 s.f.

MAIN BUILDING & ACCESSORY REQ'D. 3,625 s.f.
58% PER CORAL GABLES COTTAGE ZONING CODE SECTION 5-503.B
MAIN BUILDING PROVIDED 2,794.1 s.f.

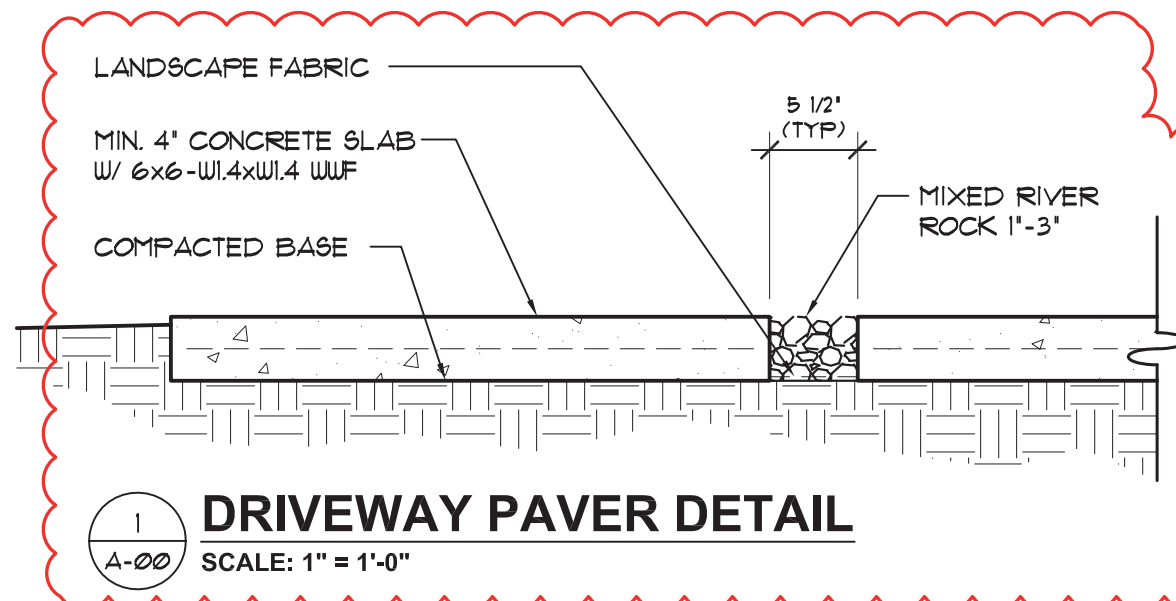
MAX. FLOOR AREA ALLOWED:
(48% OF 1st 5,000 s.f. + 35% OF 1,250 s.f.)

FLOOR AREA PROVIDED: 2,277.7 s.f.

MIN. LANDSCAPE/OPEN SPACE REQ'D.
30% PER CORAL GABLES COTTAGE ZONING CODE, SECTION 5-503.D

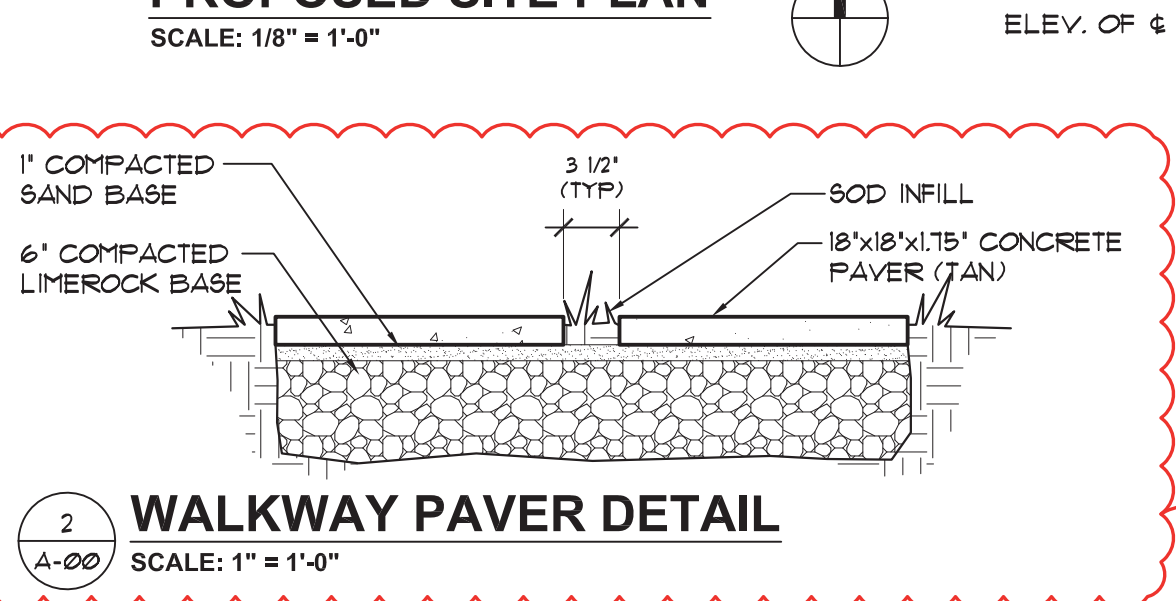
OPEN SPACE PROVIDED 2458.8 s.f.

AREAS:
EXISTING BUILDING 1,709 s.f.
NEW ADDITION 990 s.f.
EXISTING COVERED FRONT PORCH 117 s.f.
EXISTING CARPORT 153 s.f.
NEW REAR COVERED PORCH 53 s.f.
NEW POOL 250 s.f.



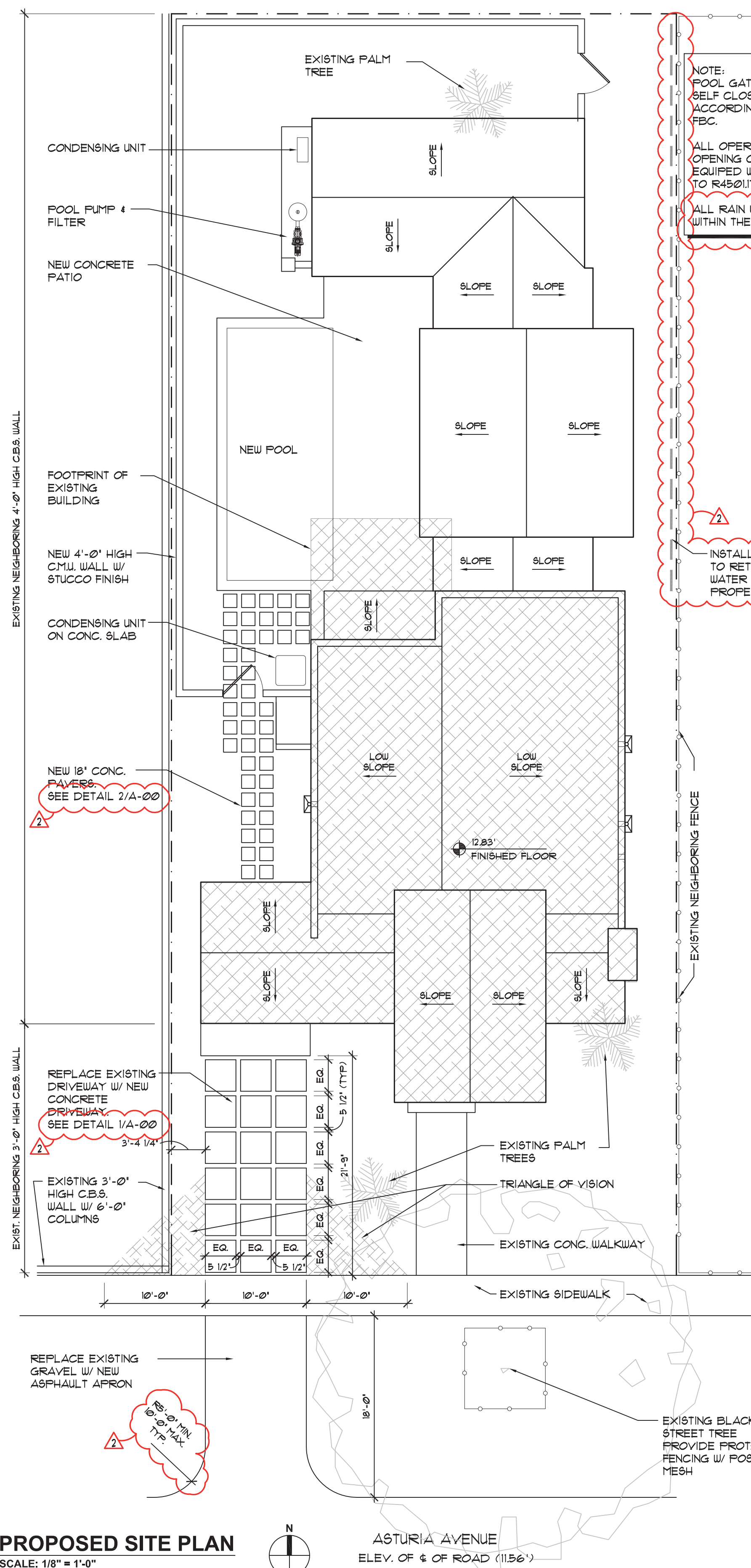
DRIVEWAY PAVER DETAIL

SCALE: 1" = 1'-0"



WALKWAY PAVER DETAIL

SCALE: 1" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE:
POOL GATES TO BE MIN 4'-0" HIGH, SELF CLOSING & SELF LATCHING ACCORDING TO R4501.1.8 OF THE 2017 FBC.

ALL OPERABLE WINDOWS AND DOORS OPENING ON TO THE POOL SHALL BE EQUIPED WITH AN ALARM ACCORDING TO R4501.1.3.1 OF THE 2017 FBC.

ALL RAIN WATER MUST BE RETAINED WITHIN THE PROPERTY.

INSTALL A 6" BERM TO RETAIN ALL RAIN WATER ON THE PROPERTY.

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ADDITION
BRITT RESIDENCE

ADDRESS:
1021 ASTURIA AVENUE
CORAL GABLES, FLORIDA 33134

PROJECT :
DATE : 2/28/19

REV. DESCRIPTION BY

1 ZONING & BOA COMMENTS 6/3/21 DB

2 BUILDING & DERM COMMENTS 10/31/23 DB

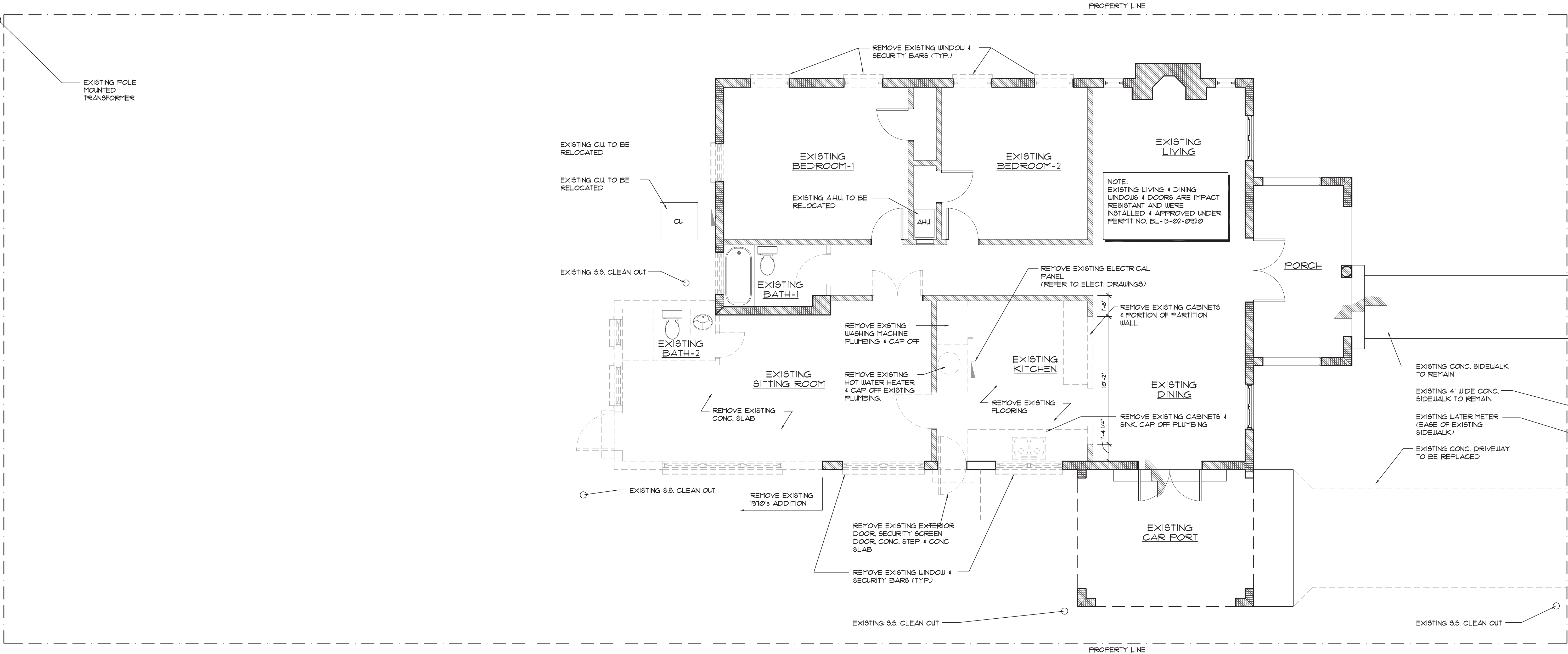
SCALE: AS NOTED

SITE PLAN

A-00

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EXISTING / DEMOLITION PLAN
SCALE 1/4" = 1'-0"



DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THE PLANS.
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED ON THE DRAWINGS ARE IN PLACE AND CORRECT.
3. CONTRACTOR SHALL CHECK AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THE PLANS.
5. DO NOT REMOVE ANY STRUCTURAL COLUMNS, WALLS OR SUPPORTS. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT THE ENGINEER IMMEDIATELY TO SCHEDULE A VERIFICATION VISIT.
6. EXECUTION OF DEMOLITION SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH THE SAFETY AND CONVENIENCE OF THE PUBLIC AND THOSE AROUND THE SITE.
7. WASTE MATERIALS AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES.
8. KEEP PREMISES CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF FLORIDA BUILDING CODE, NEC AND ANY OTHER APPLICABLE CODES.
10. THE CONTRACTOR SHALL PROTECT ALL FINISHES THAT ARE TO REMAIN AND IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ITS ORIGINAL STATE.
11. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.
12. CONTRACTOR TO PROTECT NEWLY DEMOLISHED OPENINGS FROM WEATHER AND ACCESS FROM THE PUBLIC.
13. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET/ JUNCTION BOX ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK TO BE DONE BY A LICENSED ELECTRICIAN.

DEMOLITION LEGEND:

- EXISTING C.M.U. WALL TO REMAIN
- EXISTING C.M.U. WALL TO BE REMOVED
- EXISTING INTERIOR PARTITION WALL TO REMAIN
- EXISTING INTERIOR PARTITION WALL TO BE REMOVED

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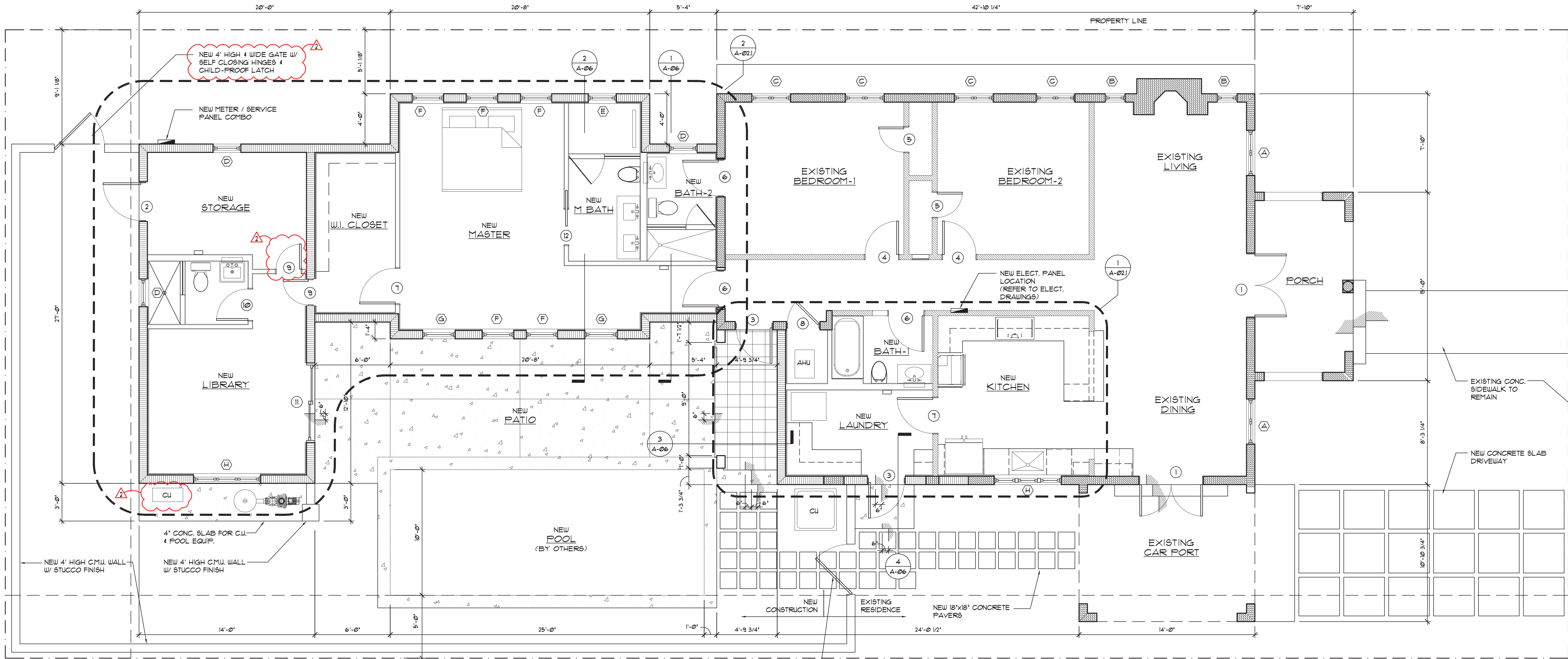
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SCALE: AS NOTED

**EXISTING /
DEMOLITION
PLAN
A-01**

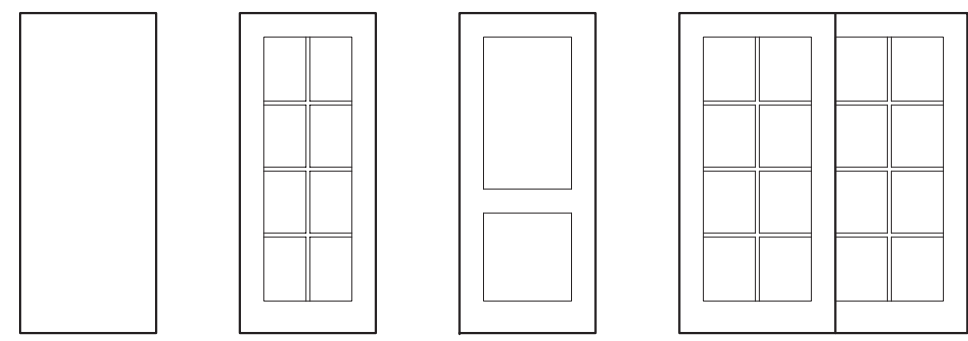


PROPOSED SITE PLAN
SCALE 1/4" = 1'-0"



NEW 4' HIGH 4 WIDE GATE W/
SELF CLOSING HINGES 4
CHILD-PROOF LATCH

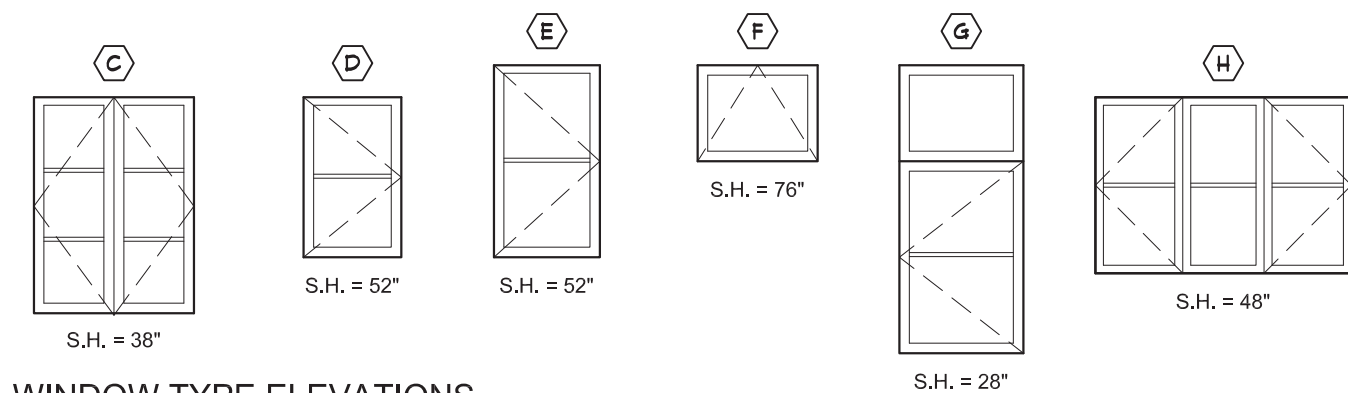
| DOOR SCHEDULE | | | | | | | | | |
|---------------|----------------------------|-------------|-------|----------|-------|------------|----------|------------|--|
| NO. | SIZE | TYPE | ELEV. | MATERIAL | FRAME | DETAIL | W. STRIP | HDWR. TYPE | REMARKS |
| 1 | (2) 2'-6" x 6'-8" x 1 3/4" | MTL GL | - | - | - | - | - | - | EXISTING IMPACT RESISTANT FRENCH DOOR TO REMAIN |
| 2 | 3'-0" x 6'-8" x 1 3/4" | MTL. S.C.F. | 1 | MTL. | MTL. | - | Y | 1 | |
| 3 | 2'-10" x 6'-8" x 1 3/4" | MTL. GL | 2 | MTL. | MTL. | 1 & 2/A-07 | Y | 1 | IMPACT RESISTANT GLASS, PGT 750 SERIES OUT SWING DOOR, NOA - 23-0724.04 (OR EQUAL) |
| 4 | 2'-10" x 6'-8" x 1 3/8" | WD. PNL. | - | - | - | - | - | - | EXISTING DOOR TO REMAIN |
| 5 | 2'-0" x 6'-8" x 1 3/8" | WD. PNL. | - | - | - | - | - | - | EXISTING DOOR TO REMAIN |
| 6 | 2'-10" x 6'-8" x 1 3/8" | WD. PNL. | 3 | WD | WD | - | - | 2 | |
| 7 | 2'-10" x 6'-8" x 1 3/8" | WD. PNL. | 3 | WD | WD | - | - | 3 | |
| 8 | 2'-6" x 6'-8" x 1 3/8" | WD. PNL. | 3 | WD | WD | - | - | 3 | |
| 9 | 2'-0" x 6'-8" x 1 3/8" | WD. FLUSH | 1 | WD | WD | - | - | 3 | DOOR TO STORAGE AREA TO BE 3/4 HR. RATED. |
| 10 | 2'-6" x 6'-8" x 1 3/8" | WD. PNL. | 3 | WD | WD | - | - | 2 | |
| 11 | 6'-0" x 6'-8" x 1 3/4" | SLIDER | 4 | MTL. | MTL. | - | - | 1 | IMPACT RESISTANT GLASS, SCG780 SERIES SLIDING DOOR, NOA - 23-0710.02 (OR EQUAL) |
| 12 | 2'-10" x 6'-8" x 1 3/8" | WD POCKET | 3 | WD | WD | - | - | 2 | |



DOOR TYPE ELEVATIONS

HARDWARE TYPE:
1 ENTRY HARDWARE W/ DEAD BOLT
2 PRIVACY HARDWARE
3 PASSAGE HARDWARE

| WINDOW SCHEDULE | | | | | | | | | | |
|-----------------|-----------|-----------|-------------------|-------------------------------|---------------|------------|---------|--------|---------------------------------------|--|
| TYPE | WIDTH | HEIGHT | GLASS DESCRIPTION | FRAME & FINISH | ROUGH OPENING | | DETAILS | | MANUFACTURER | REMARKS |
| | | | | | WIDTH | HEIGHT | HEAD | SILL | | |
| A | 3'-3" | 4'-10" | - | - | - | - | - | - | - | EXISTING IMPACT RESISTANT WINDOW TO REMIAN |
| B | 1'-7" | 3'-4" | - | - | - | - | - | - | - | EXISTING IMPACT RESISTANT WINDOW TO REMIAN |
| C | 3'-8" | 4'-8 1/2" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 3'-8 1/2" | 4'-9" | 3/A-07 | 4/A-07 | PGT WINDGUARD VINYL - CASEMENT CA5540 | EGRESS WINDOW, "XX" CASEMENT, NOA: 23-0816.09 |
| D | 2'-2 1/2" | 3'-4" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 2'-3" | 3'-4 1/2" | 3/A-07 | 4/A-07 | PGT WINDGUARD VINYL - CASEMENT CA5540 | NOA: 23-0816.09 |
| E | 2'-2 1/2" | 4'-0" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 2'-3" | 3'-10 1/2" | 3/A-07 | 4/A-07 | PGT WINDGUARD VINYL - CASEMENT CA5540 | NOA: 23-0816.09 |
| F | 2'-6" | 2'-0" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 2'-6 1/2" | 2'-0 1/2" | 3/A-07 | 4/A-07 | PGT WINDGUARD VINYL - AWNING AW5540 | NOA: 23-0816.13 |
| G | 2'-7" | 6'-0" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 2'-7 1/2" | 6'-0 1/2" | - | - | PGT WINDGUARD VINYL - CASEMENT CA5540 | EGRESS WINDOW, FIXED OVER CASEMENT, NOA: 23-0816.09 & 23-0816.04 |
| H | 5'-4" | 3'-5" | LAMINATED GLASS | VINYL - BRONZ EXT./WHITE INT. | 5'-4 1/2" | 3'-8 1/2" | 3/A-07 | 4/A-07 | PGT WINDGUARD VINYL - CASEMENT CA5540 | "XX" CASEMENT WINDOW, NOA: 23-0816.09 & 23-0816.04 |



WINDOW TYPE ELEVATIONS

WALL LEGEND:

- EXISTING CMU. WALL TO REMAIN
- NEW CMU. WALL
- EXISTING INTERIOR PARTITION WALL TO REMAIN
- NEW INTERIOR PARTITION WALL W/ 1/2" GYPSUM BOARD EA. SIDE

CIC

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JOSE RAMON CARLO
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REGISTERED ARCHITECT

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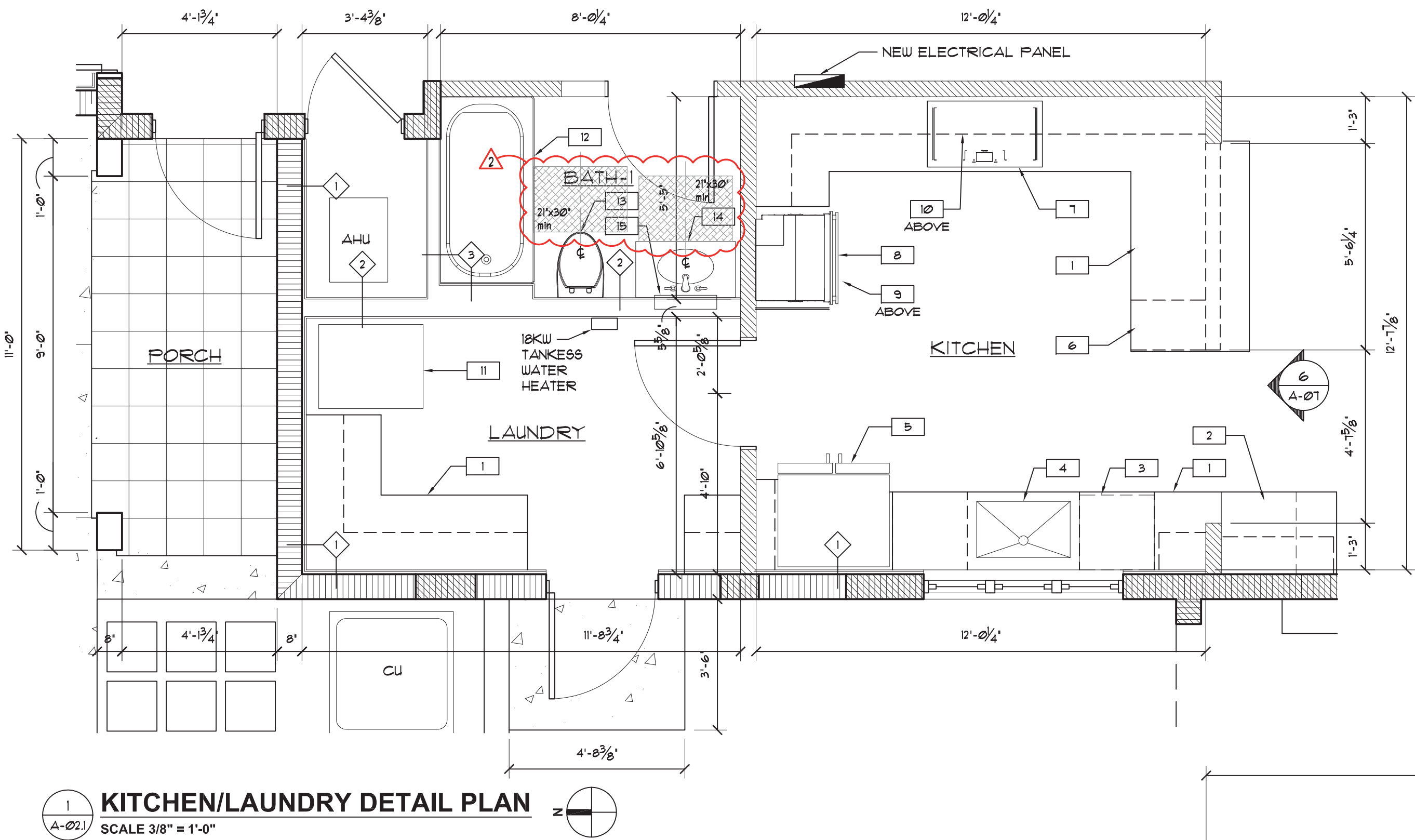
△ ZONING & BOA COMMENTS 6/3/21 DB

△ BUILDING & DERM COMMENTS 10/31/23 DB

SCALE: AS NOTED

PLAN

A-02



FLOOR PLAN NOTES

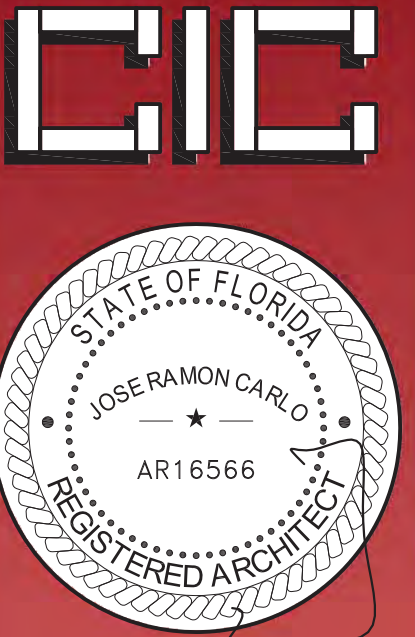
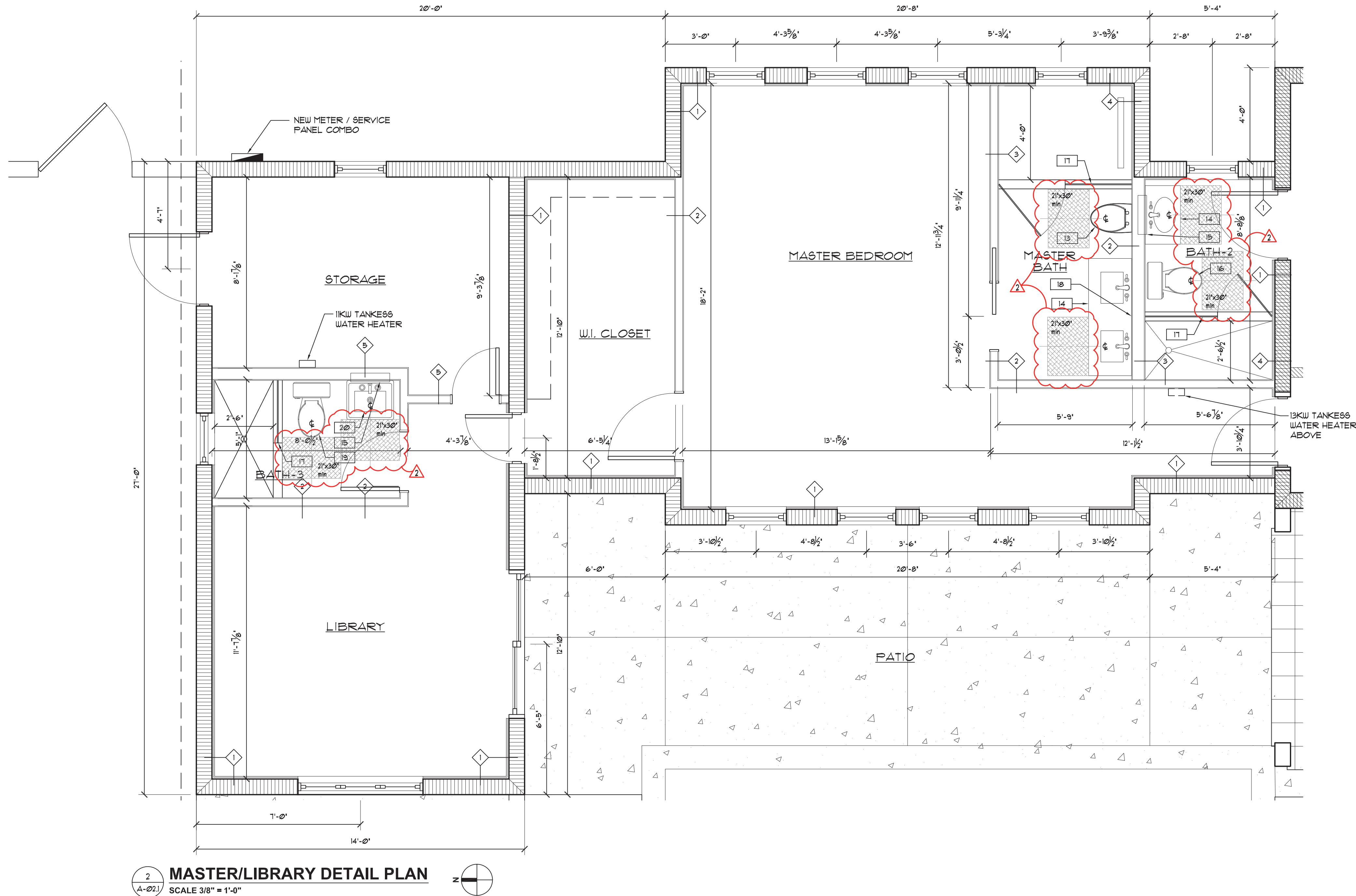
- 1 BASE CABINETS W/ QUARTZ COUNTERTOP (TO BE SELECTED BY OWNER)
- 2 DRAWER REFRIGERATOR (TO BE SELECTED BY OWNER)
- 3 EXISTING S.S. 2 DRAWER DISH WASHER TO BE REINSTALLED
- 4 21" S.S. UNDER COUNTER MOUNT SINK W/ GARBAGE DISPOSAL
- 5 EXISTING S.S. REFRIGERATOR TO BE REINSTALLED
- 6 15" UNDER COUNTER WINE COOLER (TO BE SELECTED BY OWNER)
- 7 INDUCTION COOKTOP - THERMADOR FREEDOM - CIT36XXKB
- 8 WALL OVEN - 30" MONOGRAM FRENCH DOOR OVEN - ZETIFH86
- 9 WALL MOUNTED MICROWAVE OVEN - MONOGRAM ADVANTUM 240V - Z6C2202J66
- 10 UNDERCABINET EXHAUST HOOD - ZEPHYR P16A
- 11 EXISTING STACKED CLOTHS WASHER & DRYER TO BE REINSTALLED
- 12 TUB - AMERICAN STANDARD - PRINCETON 239J202 ICHTC
- 13 WALL MOUNTED TOILET - TOTO AQUIA - CT418FG*01
- 14 WALL MOUNTED VANITY (TO BE SELECTED BY OWNER)
- 15 RECESSED MEDICINE CABINET/MIRROR - KOHLER VERDERA - K990005L
- 16 EXISTING TOILET TO BE REINSTALLED
- 17 FRAMELESS GLASS SHOWER ENCLOSURE (GLASS IN SHOWER ENCLOSURE TO BE CATEGORY CLASS II, PER 2011 FBC, TABLE 2406.2(1))
- 18 VANITY MIRROR (TO BE SELECTED BY OWNER)
- 19 2 PIECE FLOOR MOUNT TOILET (TO BE SELECTED BY OWNER)
- 20 VANITY (TO BE SELECTED BY OWNER)

PROVIDE TERMITE PROTECTION TREATMENT UNDER ALL NEW CONCRETE SLABS.

WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW CMU WALL
- EXISTING INTERIOR PARTITION WALL TO REMAIN
- NEW INTERIOR PARTITION WALL W/ 1/2" GYP&UM BOARD EA. SIDE
- WALL TYPE REFER TO WALL DETAILS SHEET

| FINISH SCHEDULE | | | | | | |
|-----------------|----------------|----------|-----------|----------------|----------|--|
| ROOM NAME | WALL | FLOOR | CEILING | CEILING HEIGHT | BASE | REMARKS |
| LIVING ROOM | EXISTING | EXISTING | GYP BOARD | 8'-10" | EXISTING | |
| DINING ROOM | EXISTING | EXISTING | GYP BOARD | 8'-10" | EXISTING | |
| KITCHEN | GYP BOARD | WOOD | GYP BOARD | 8'-10" | 8" WOOD | WOOD FLOORING: 3 1/4" CARIBBEAN HEART PINE PREMIUM GRADE |
| LAUNDRY ROOM | GYP BOARD | TILE | GYP BOARD | 8'-10" | 8" WOOD | |
| BEDROOM-1 | EXISTING | EXISTING | EXISTING | 8'-10" | EXISTING | |
| BEDROOM-2 | EXISTING | EXISTING | EXISTING | 8'-10" | EXISTING | |
| MASTER BEDROOM | GYP BOARD | WOOD | GYP BOARD | VARIES | 8" WOOD | WOOD FLOORING: 5" BRAZILIAN CHERRY |
| W.I. CLOSET | GYP BOARD | WOOD | GYP BOARD | 9'-0" | 8" WOOD | WOOD FLOORING: 5" BRAZILIAN CHERRY |
| LIBRARY | GYP BOARD | TILE | GYP BOARD | VARIES | 8" WOOD | TILE: WOOD PLANK PORCELAIN TILE |
| STORAGE | GYP/UNFINISHED | CONCRETE | OPEN | - | - | |
| BATH-1 | GYP/TILE | TILE | GYP BOARD | 8'-10" | 8" WOOD | MOISTURE RESISTANT GYP BOARD |
| BATH-2 | GYP/TILE | TILE | GYP BOARD | 9'-0" | 8" WOOD | MOISTURE RESISTANT GYP BOARD |
| BATH-3 | GYP/TILE | TILE | GYP BOARD | 9'-0" | 8" WOOD | MOISTURE RESISTANT GYP BOARD |
| MASTER BATH | GYP/TILE | TILE | GYP BOARD | 9'-0" | 8" WOOD | MOISTURE RESISTANT GYP BOARD |
| PORCH | - | TILE | OPEN | - | - | TILE: TERRACOTTA TILE. OPEN JOISTS W/ EXPOSED BEAD BOARD DECKING |



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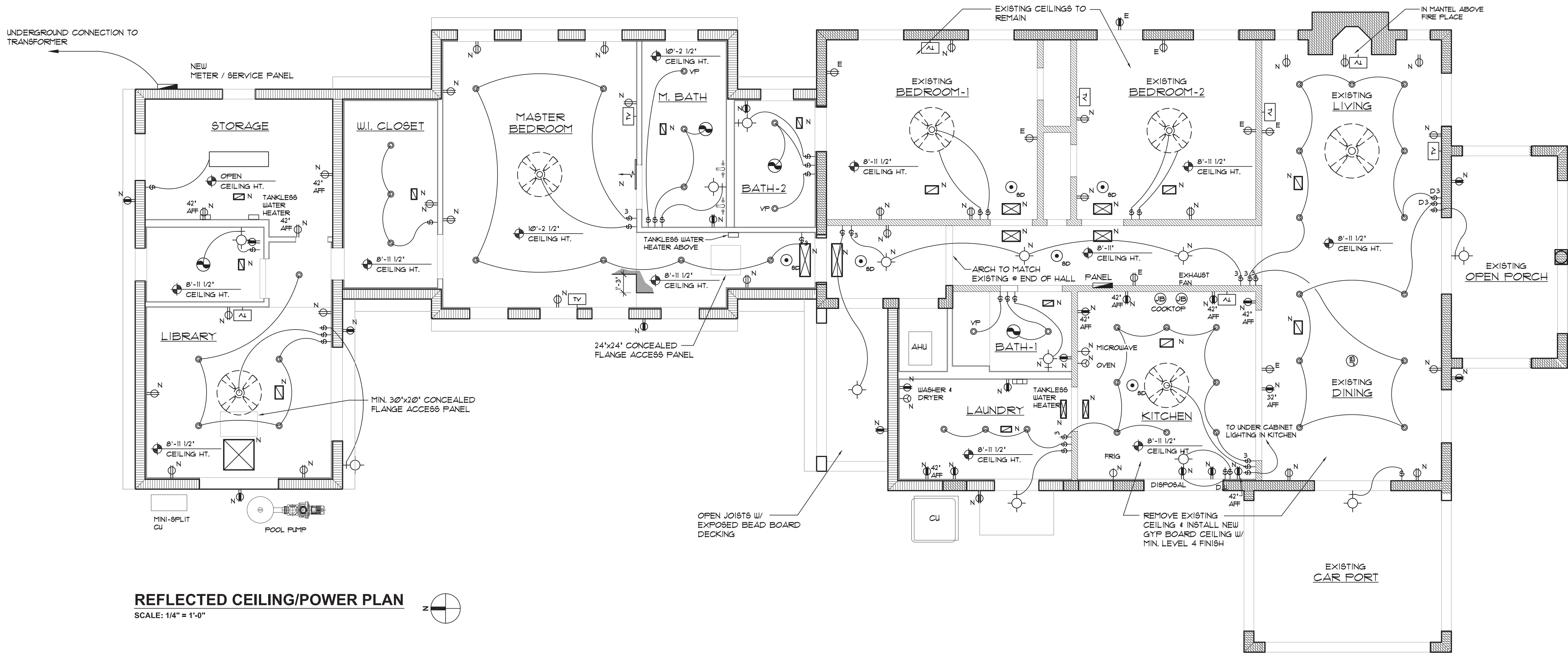
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BRITT RESIDENCE
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CORAL GABLES, FLORIDA 33134

PROJECT :
DATE : 2/28/19
FILE :
REV. DESCRIPTION BY
1 ZONING & BOA COMMENTS 6/3/21 DB
2 BUILDING & DERM COMMENTS 10/31/23 DB

SCALE: AS NOTED

DETAILED
PLANS

A-02.1



LEGEND

- EXISTING DUPLEX RECEPTICAL TO REMAIN
- NEW DUPLEX RECEPTICAL
- NEW GFCI DUPLEX RECEPTICAL
- NEW 4" RECESSED LED LIGHT FIXTURE
- NEW/EXISTING CEILING MOUNTED LIGHT FIXTURE
- NEW/EXISTING WALL MOUNT LIGHT FIXTURE
- NEW/EXISTING CEILING FAN
- NEW EXHAUST FAN
- NEW SMOKE DETECTOR
- NEW MECHANICAL SUPPLY AIR REGISTER
- NEW MECHANICAL RETURN AIR REGISTER
- MECHANICAL SUPPLY AIR WALL MOUNTED REGISTER
- SWITCH ('D' - DIMER, '3' - THREE-WAY)
- CABLE TV RECEPTICAL

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REFLECTED
CEILING
PLAN

A-03

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ROOF DRAINAGE CALCULATIONS

100-YEAR, HOURLY RAINFALL RATE 4.7 in. PER HOUR
(2020 FBC, 7th EDITION, PLUMBING, FIG. 1106.1)

4.7 in. PER HOUR = 0.392 ft. PER HOUR
7.48 gal. = 1 CUBIC FOOT

WEST WALL SCUPPER DRAINAGE

AREA-1 - 47 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 2.3 gpm
AREA-2 - 30 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 1.5 gpm
WALL AREA-3 - 9 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 0.4 gpm
WALL AREA-4 - 10 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 0.5 gpm
AREA-5 - 315 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 15.4 gpm
TOTAL = 20.1 gpm

SOUTH EAST WALL SCUPPER DRAINAGE

AREA-6 - 47 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 2.3 gpm
AREA-7 - 25 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 1.2 gpm
WALL AREA-8 - 9 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 0.4 gpm
WALL AREA-9 - 22 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 1.1 gpm
AREA-10 - 200 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 9.8 gpm
TOTAL = 14.8 gpm

NORTH EAST WALL SCUPPER DRAINAGE

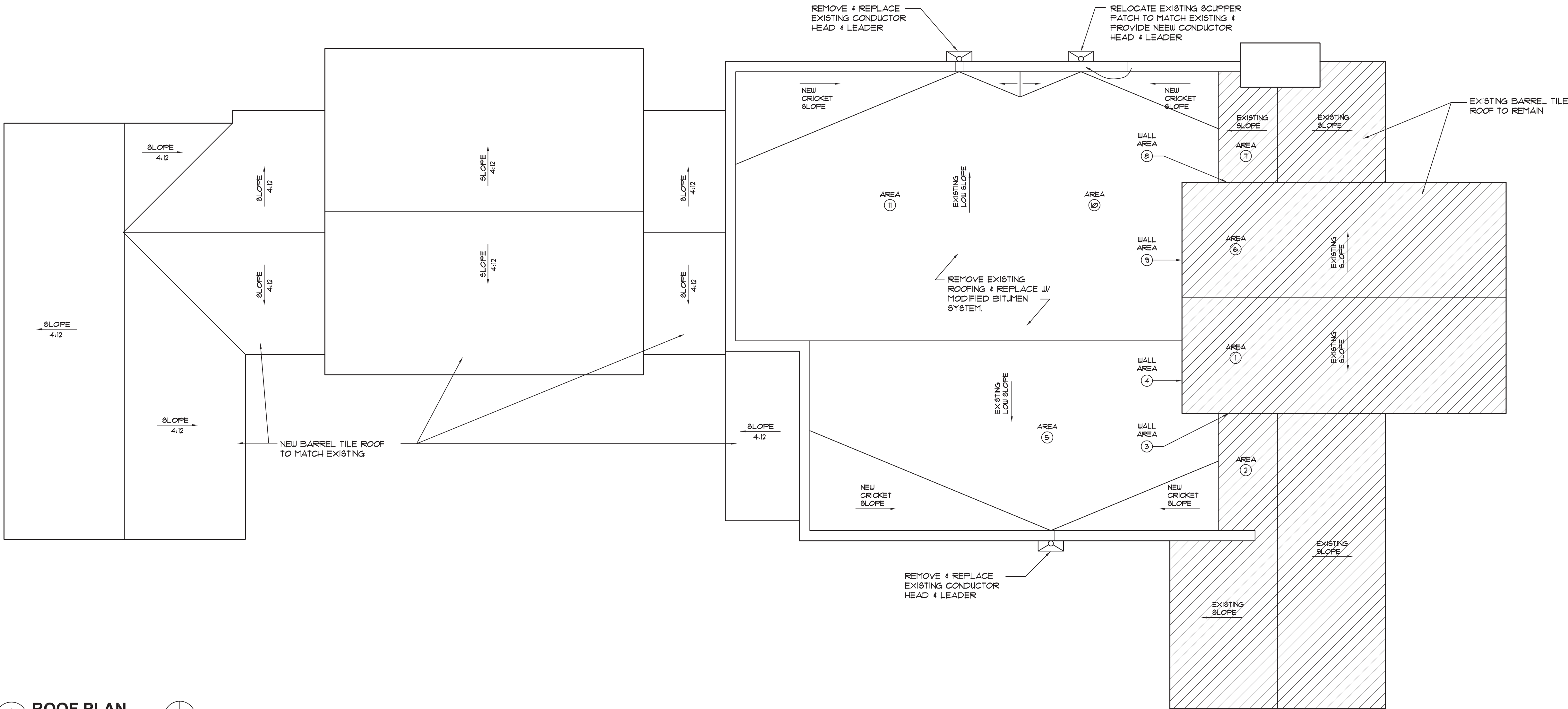
AREA-11 - 322 sf. x 0.392 ft. x 7.48 gal. / 60 min. = 15.7 gpm

LEADER SIZING
(2020 FBC, 7th EDITION, PLUMBING, TABLE 1106.3)

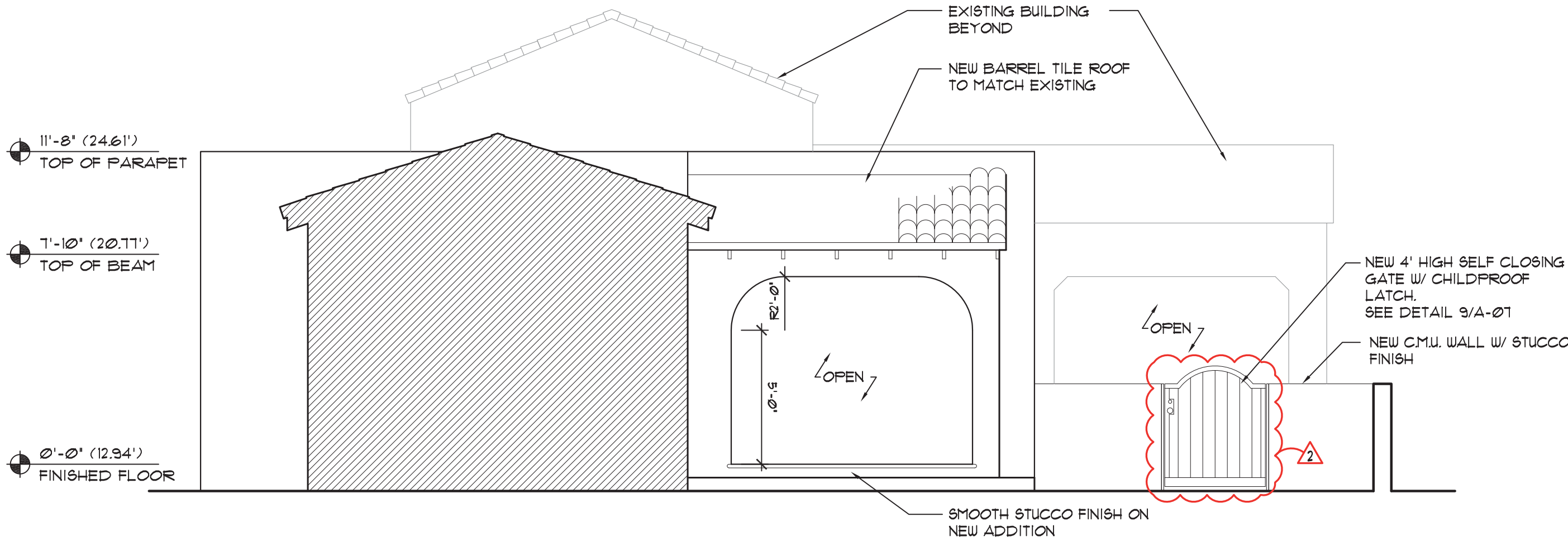
MIN. 2" REQ'D FOR ALL LEADERS - PROVIDE 4 1/2"x4 1/2"

SCUPPER SIZING
(2020 FBC, 7th EDITION, PLUMBING, 1106.5 & TABLE 1106.2)

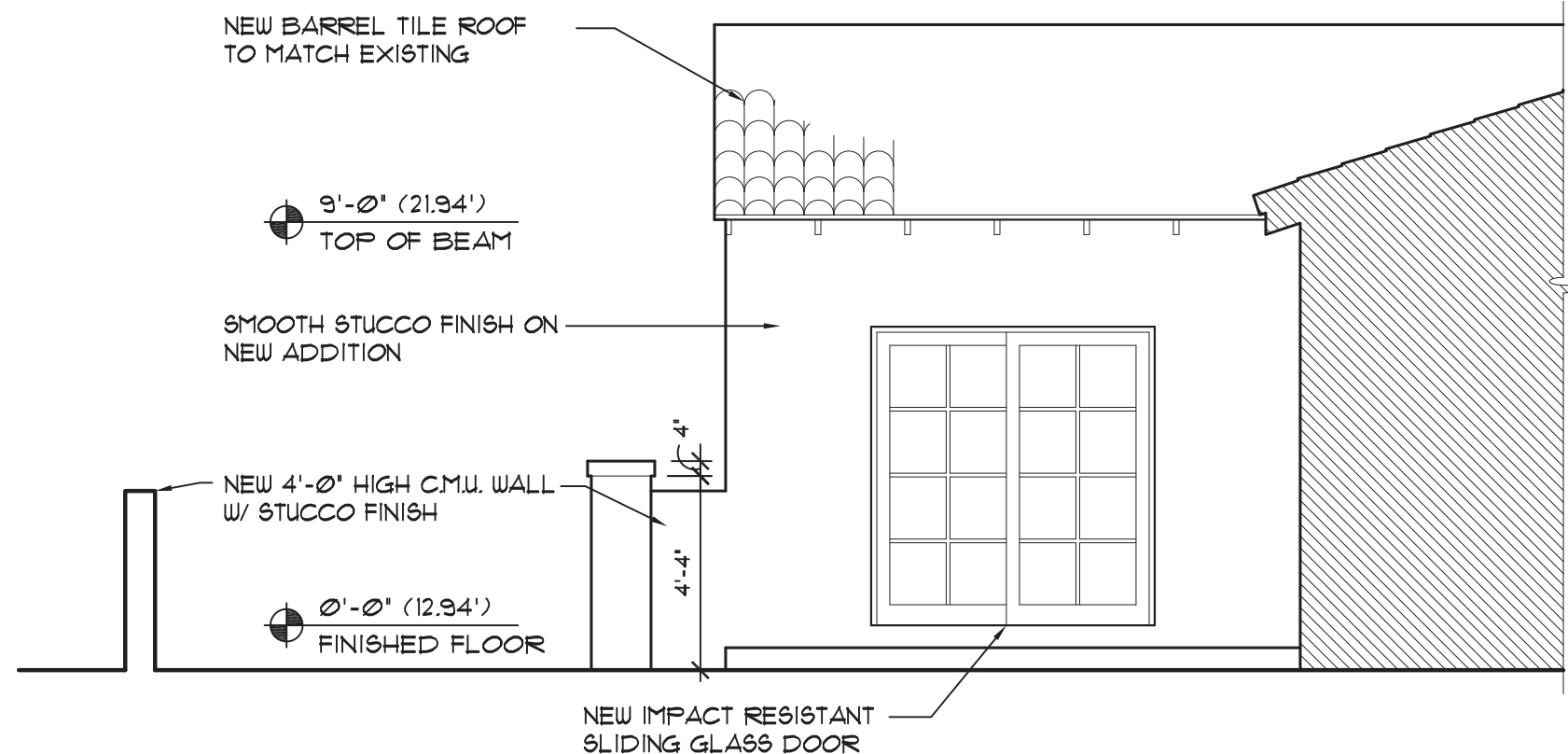
MIN. 4"h x 6.28"w



1 ROOF PLAN
A-04 SCALE: 1/4" = 1'-0"



3 PROPOSED PATIO ELEVATION (LOOKING SOUTH)
A-04 SCALE: 1/4" = 1'-0"



2 PROPOSED PATIO ELEVATION (LOOKING SOUTH)
A-04 SCALE: 1/4" = 1'-0"

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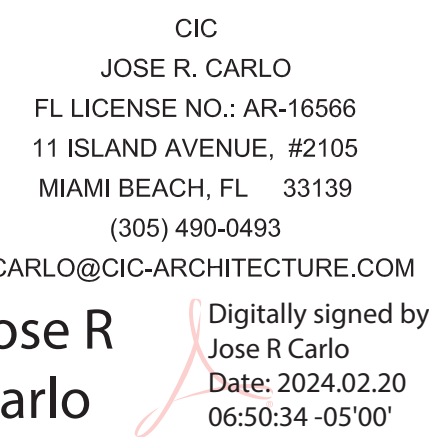
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SCALE: AS NOTED

ROOF PLAN
ELEVATIONS

A-04



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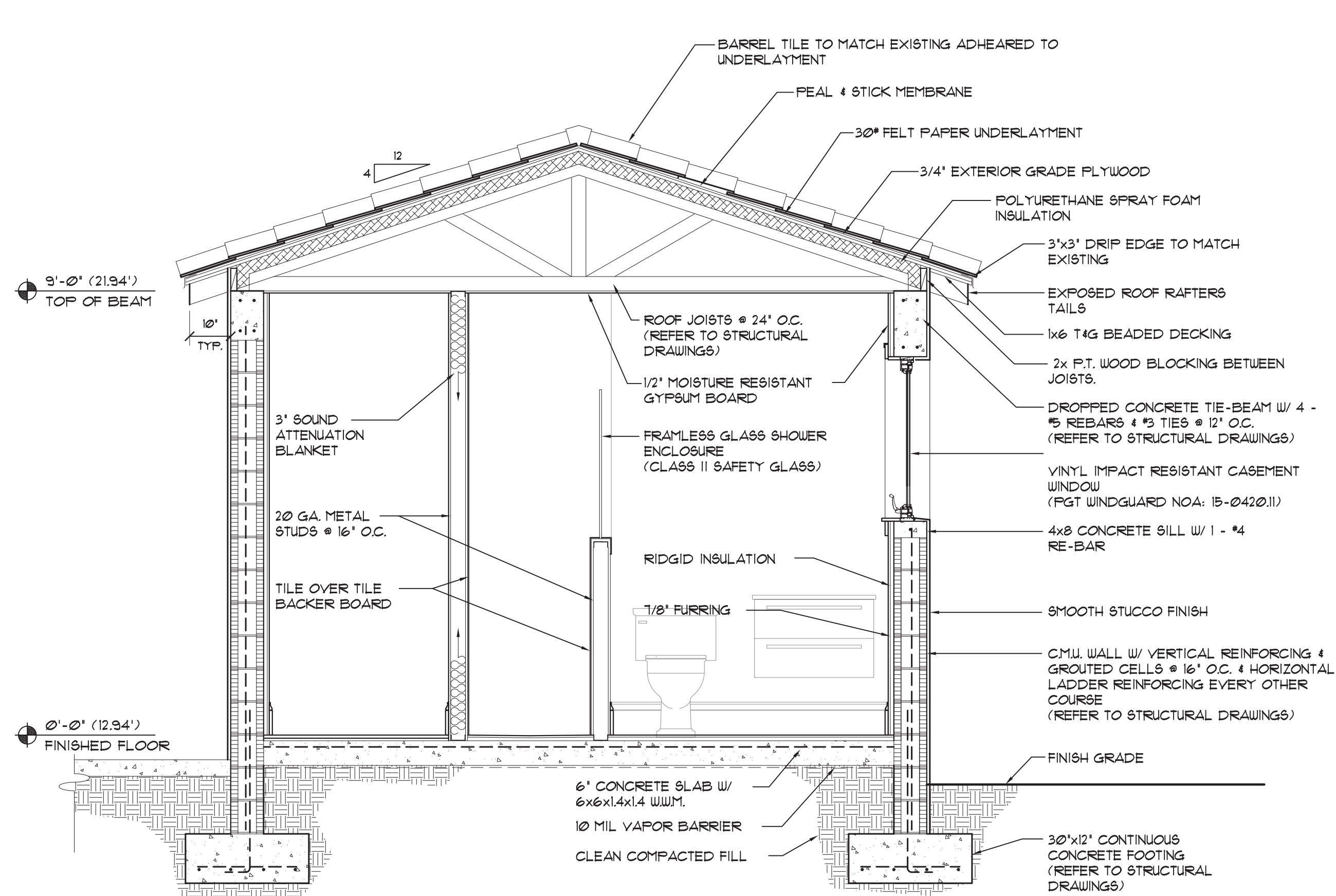
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A-05

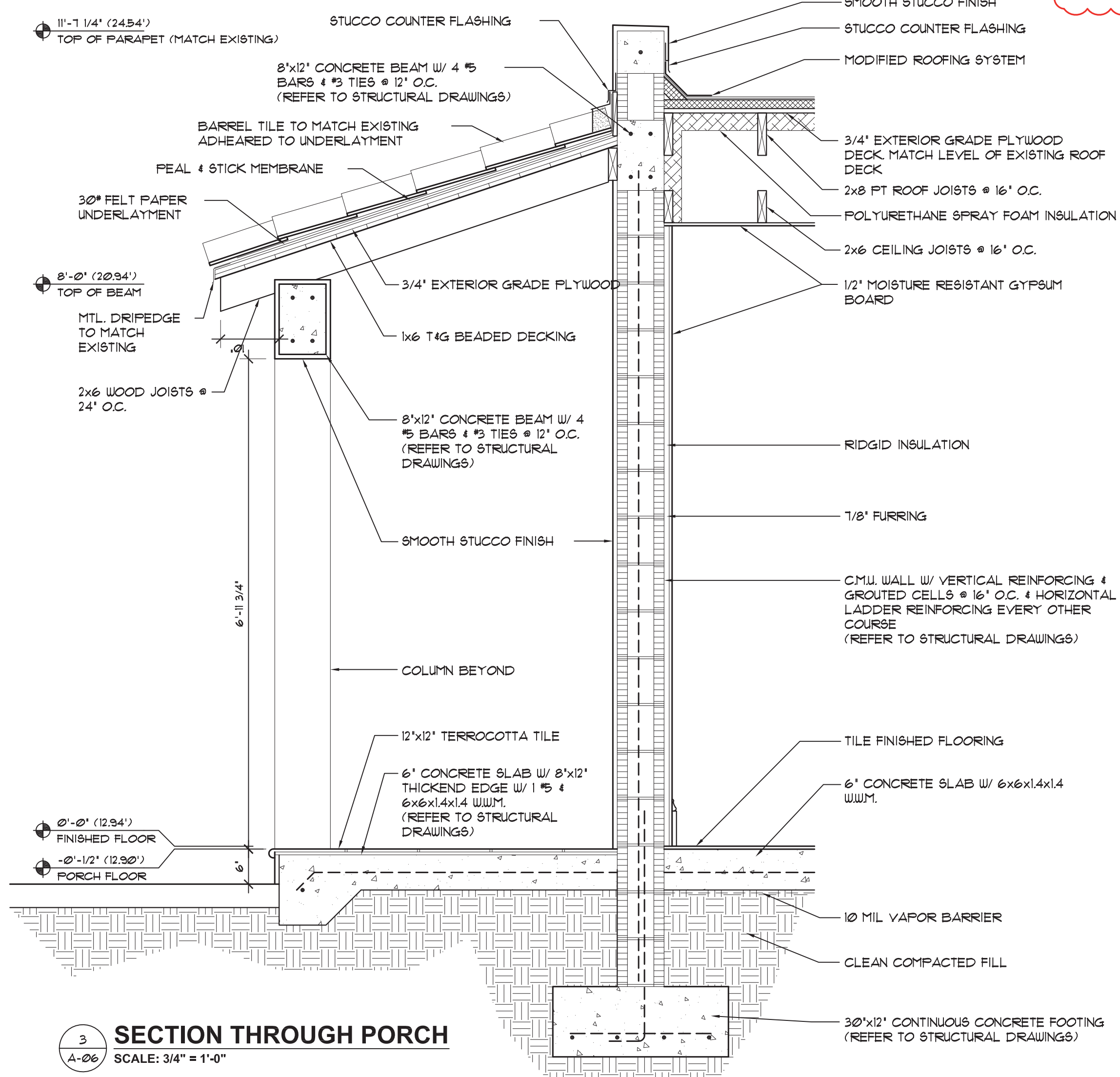
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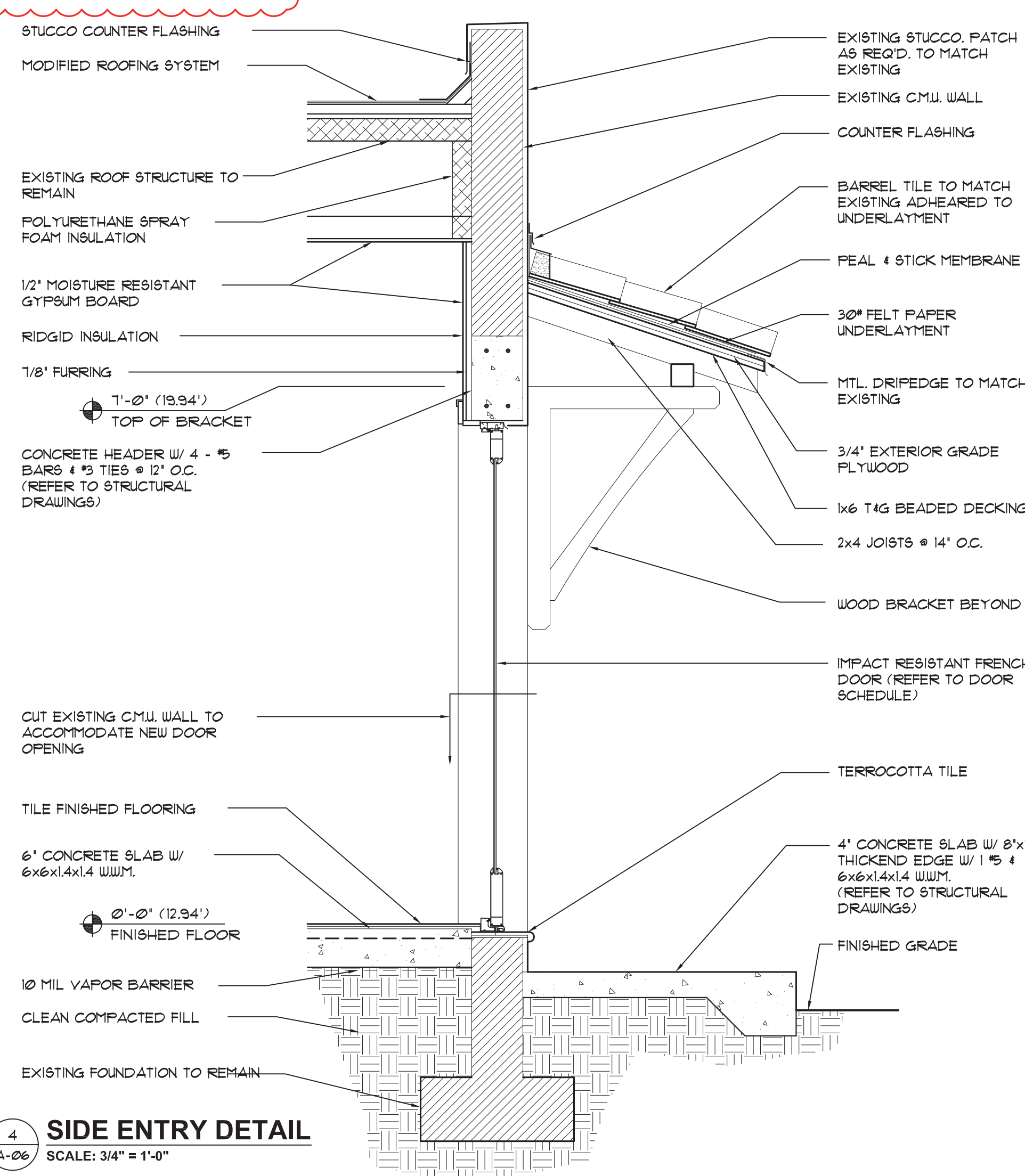
BUILDING SECTION
SCALE: 1/2" = 1'-0"



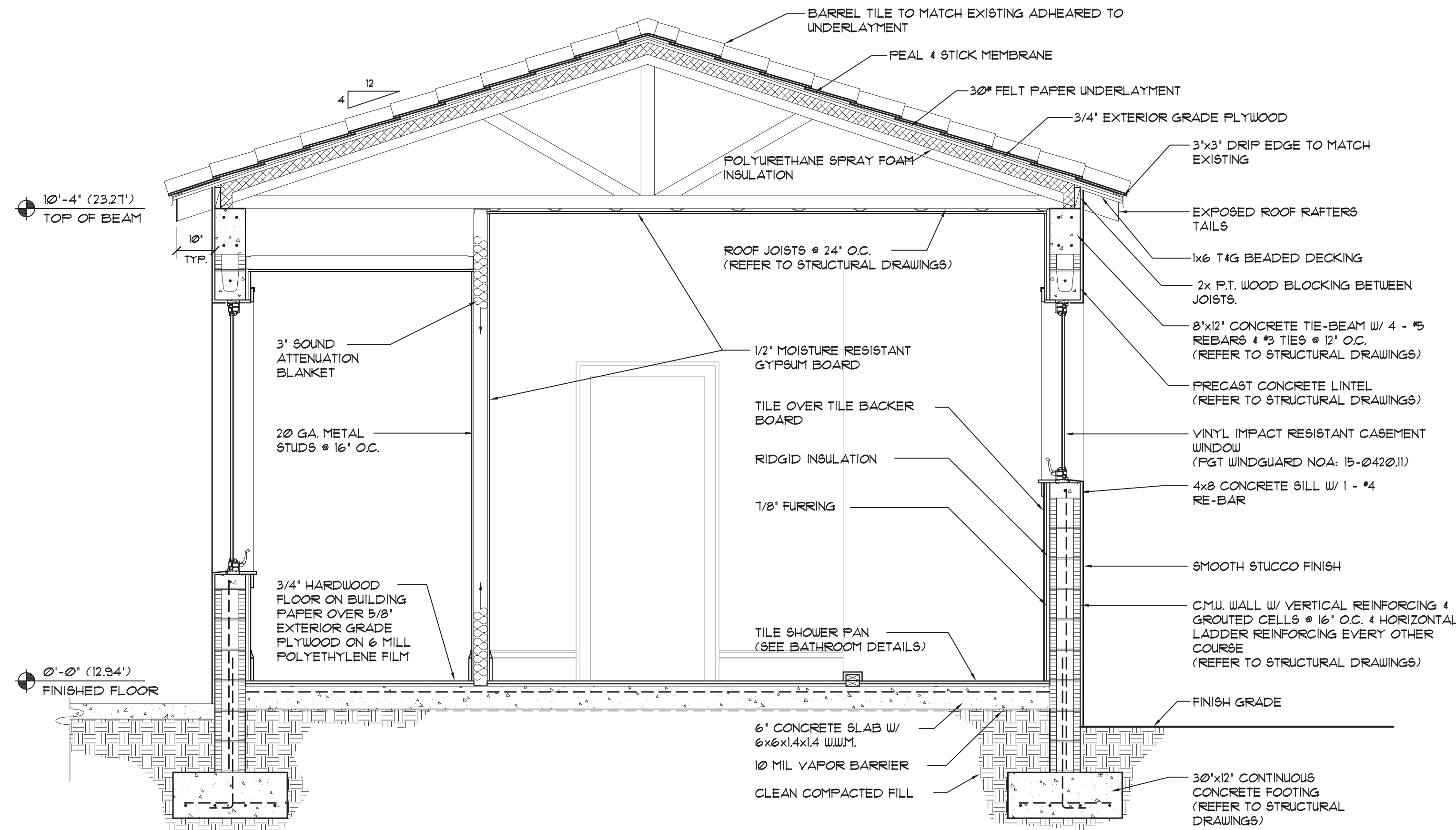
SECTION THROUGH PORCH
SCALE: 3/4" = 1'-0"

NOTE: CEILING R-VALUE TO BE 30 & WALL R-VALUE TO BE 42, AS INDICATED IN THE MECHANICAL DRAWINGS.

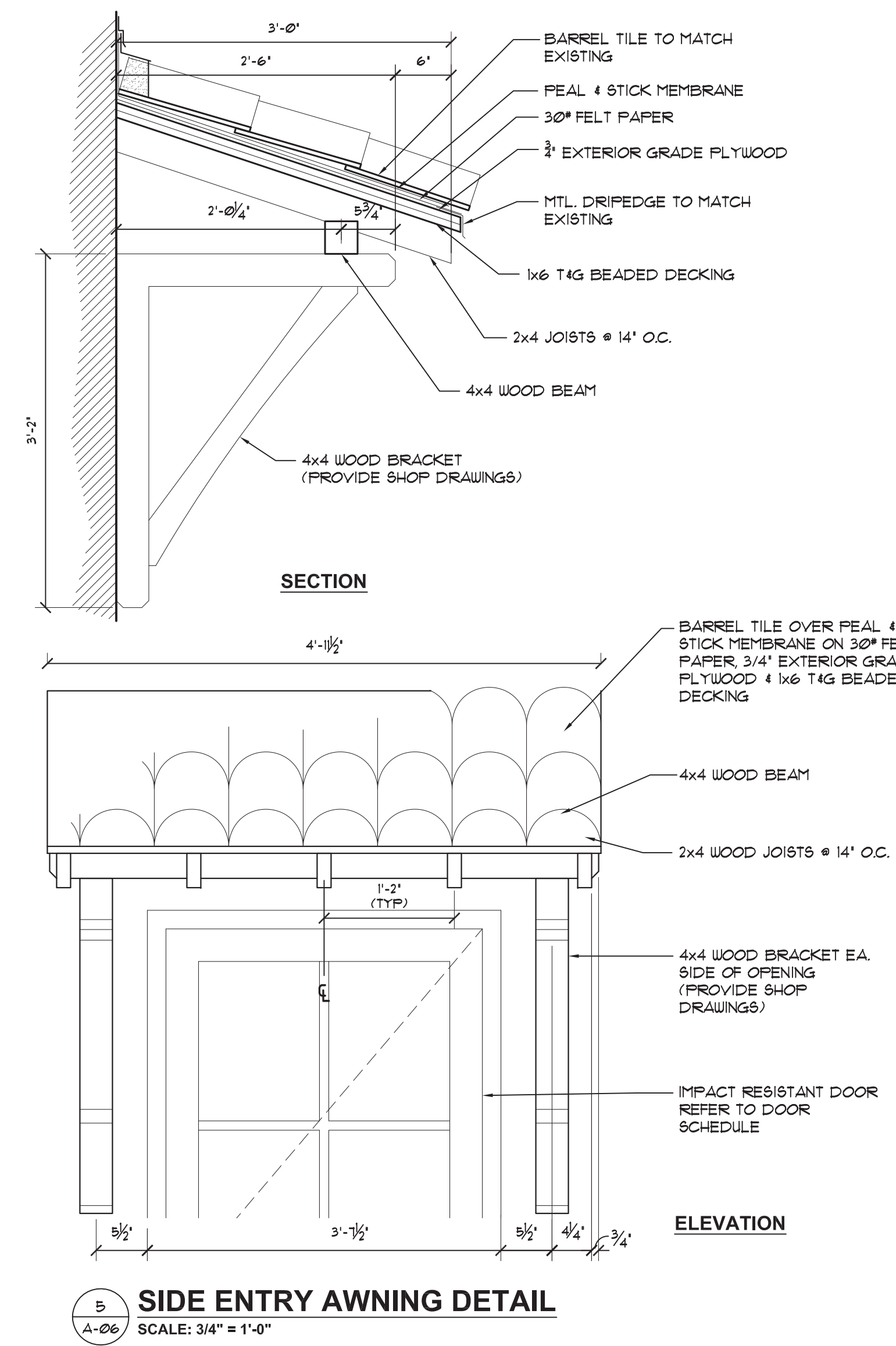
SIDE ENTRY ROOF BRACKET TO BE FIR & ALL EXPOSED WOOD TO BE FINISHED W/ SEMI-TRANSPARENT STAIN. (BEHR - CHOCOLATE)



SIDE ENTRY DETAIL
SCALE: 3/4" = 1'-0"



BUILDING SECTION
SCALE: 1/2" = 1'-0"



SIDE ENTRY AWNING DETAIL
SCALE: 3/4" = 1'-0"

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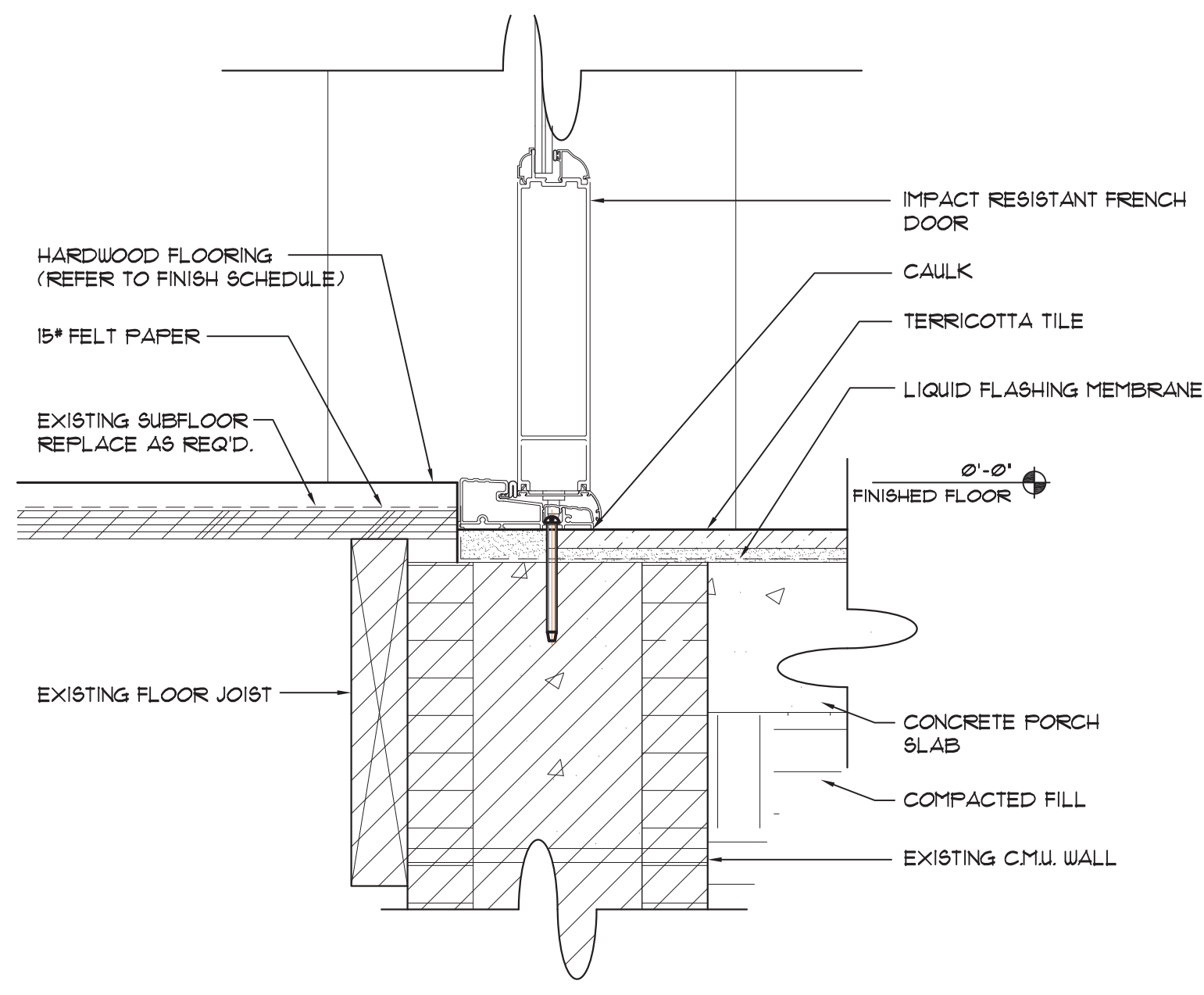
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DATE: 2/28/19

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| 2 | BUILDING & DERM COMMENTS 10/31/23 | DB |

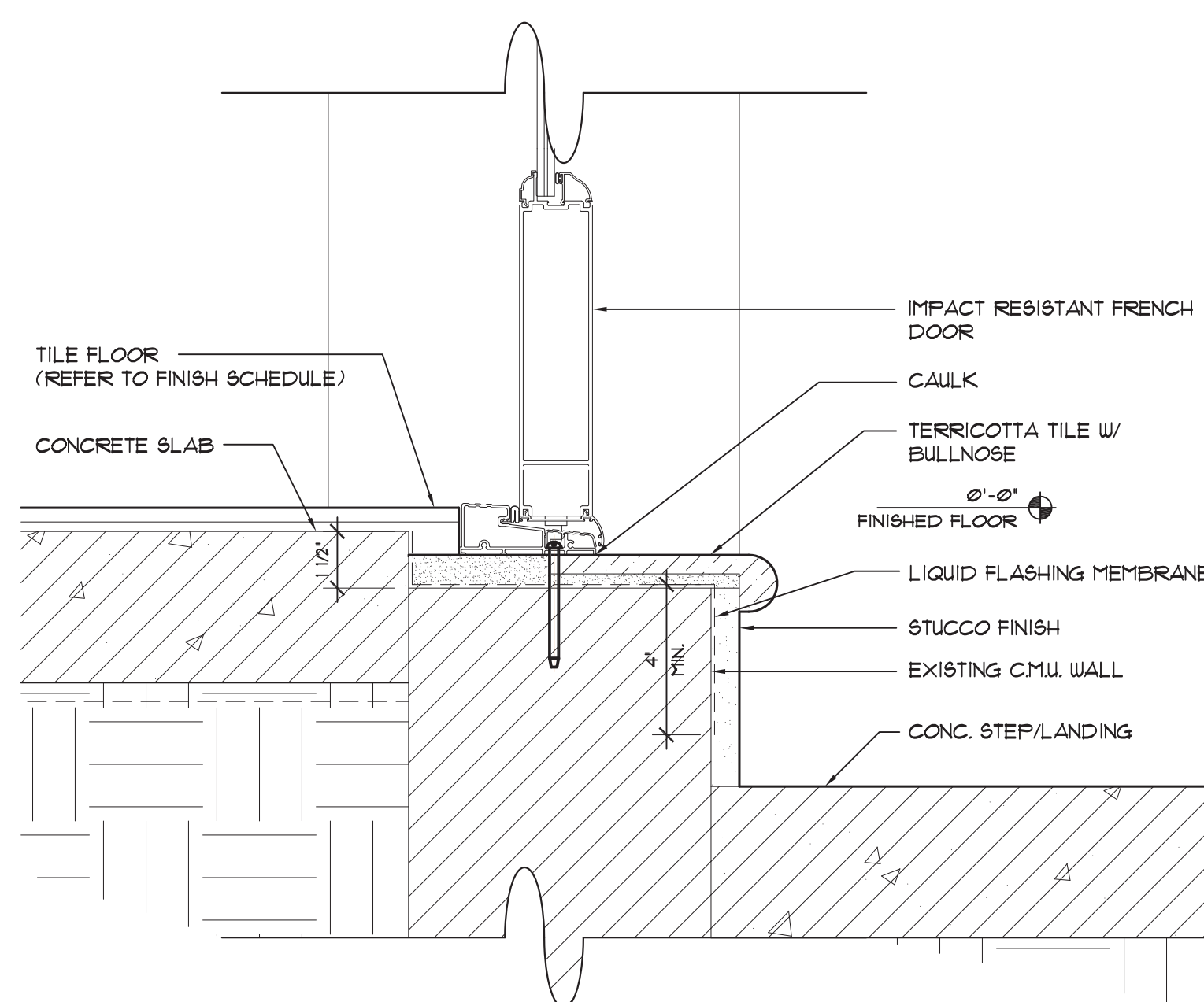
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SECTIONS & DETAILS

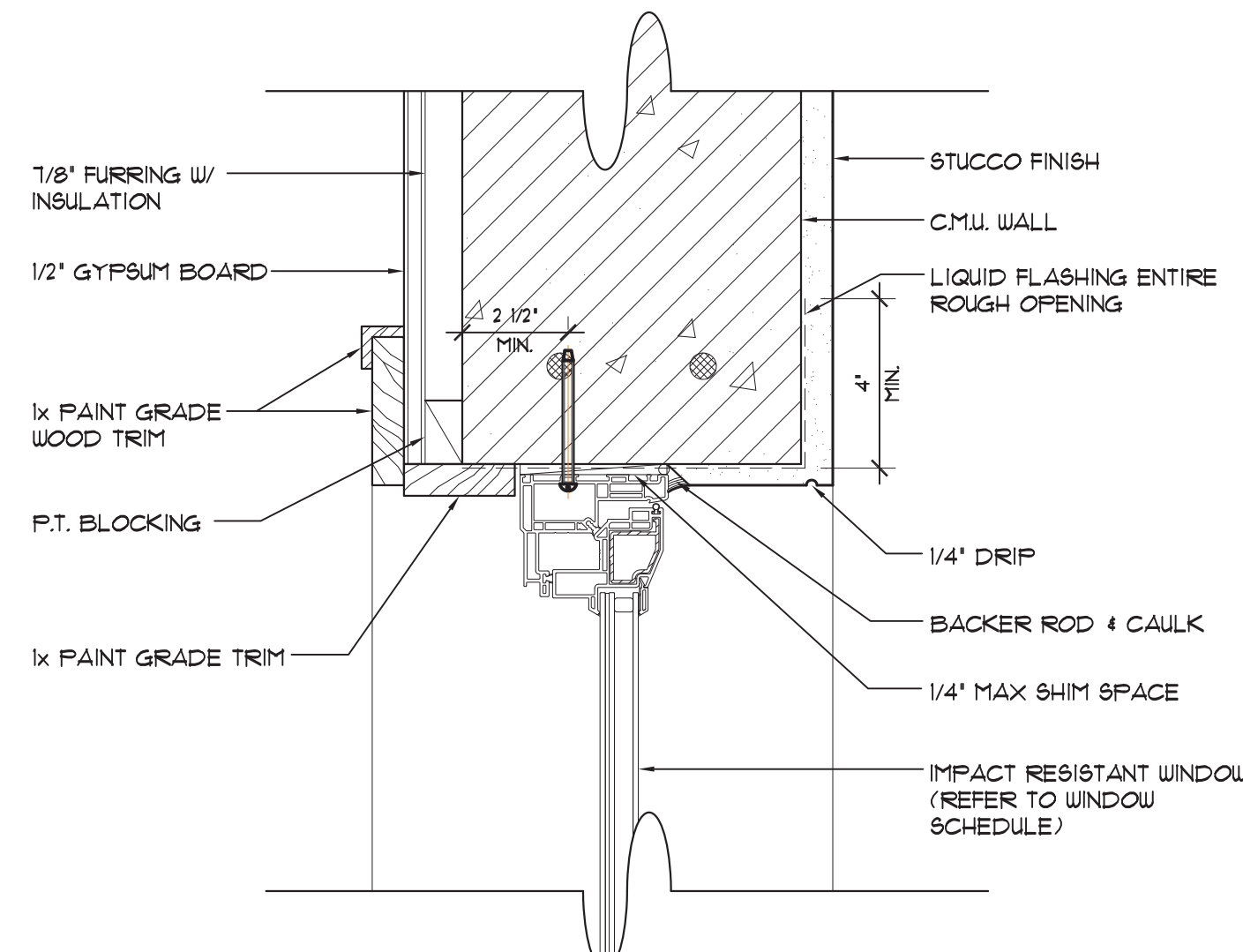
A-06



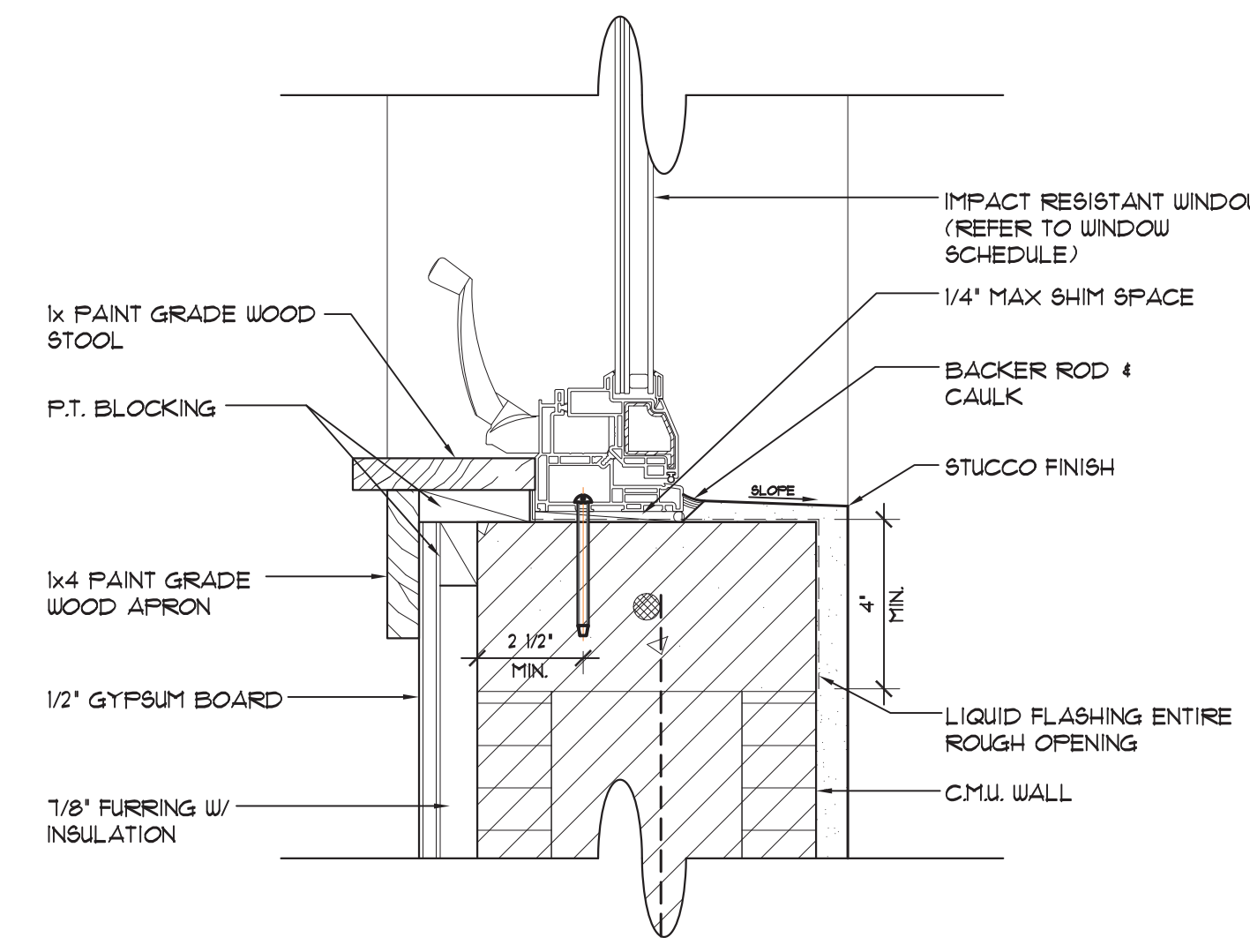
2 DOOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"



2 DOOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"

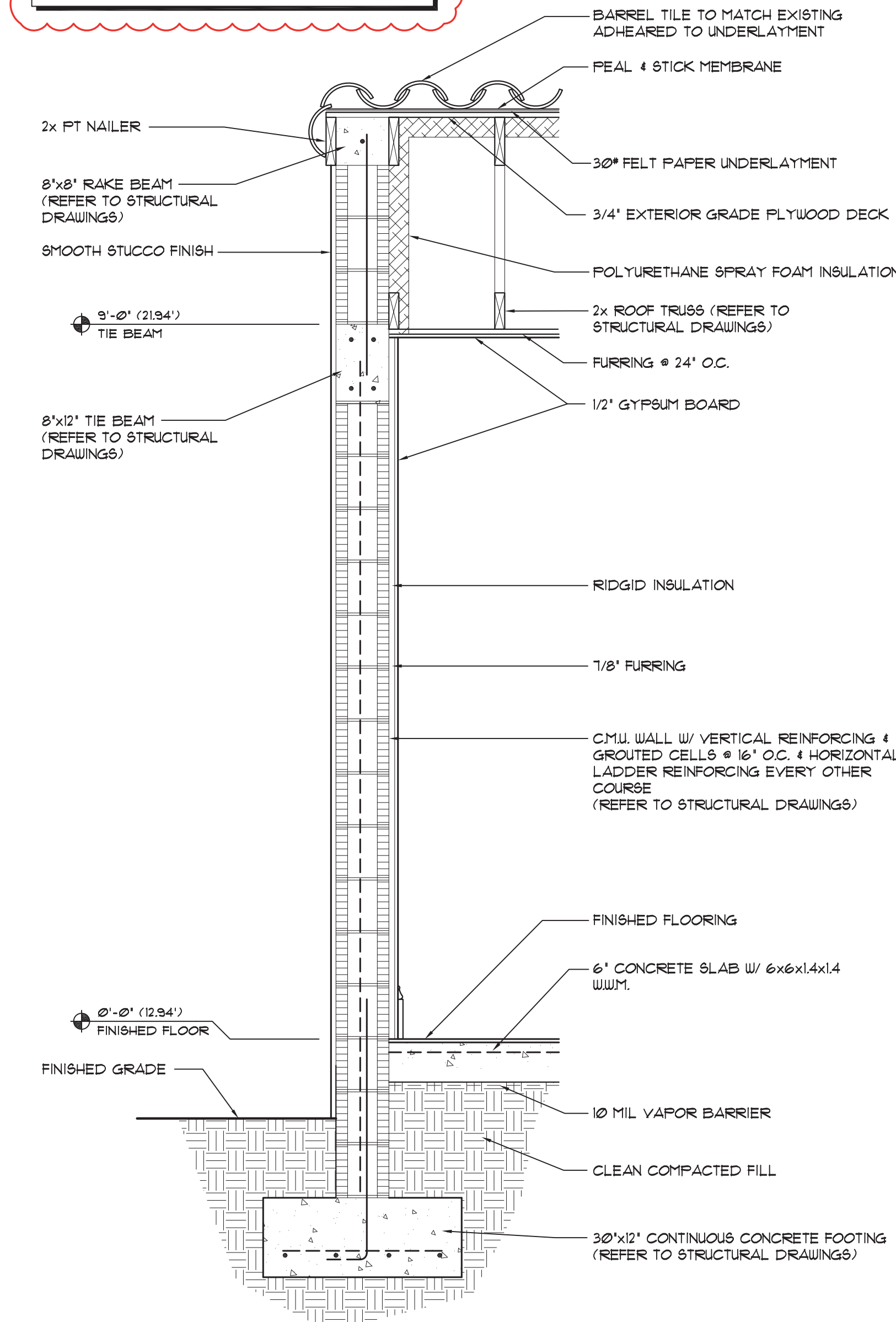


3 TYPICAL WINDOW HEAD/JAMB DETAIL
SCALE: 3" = 1'-0"

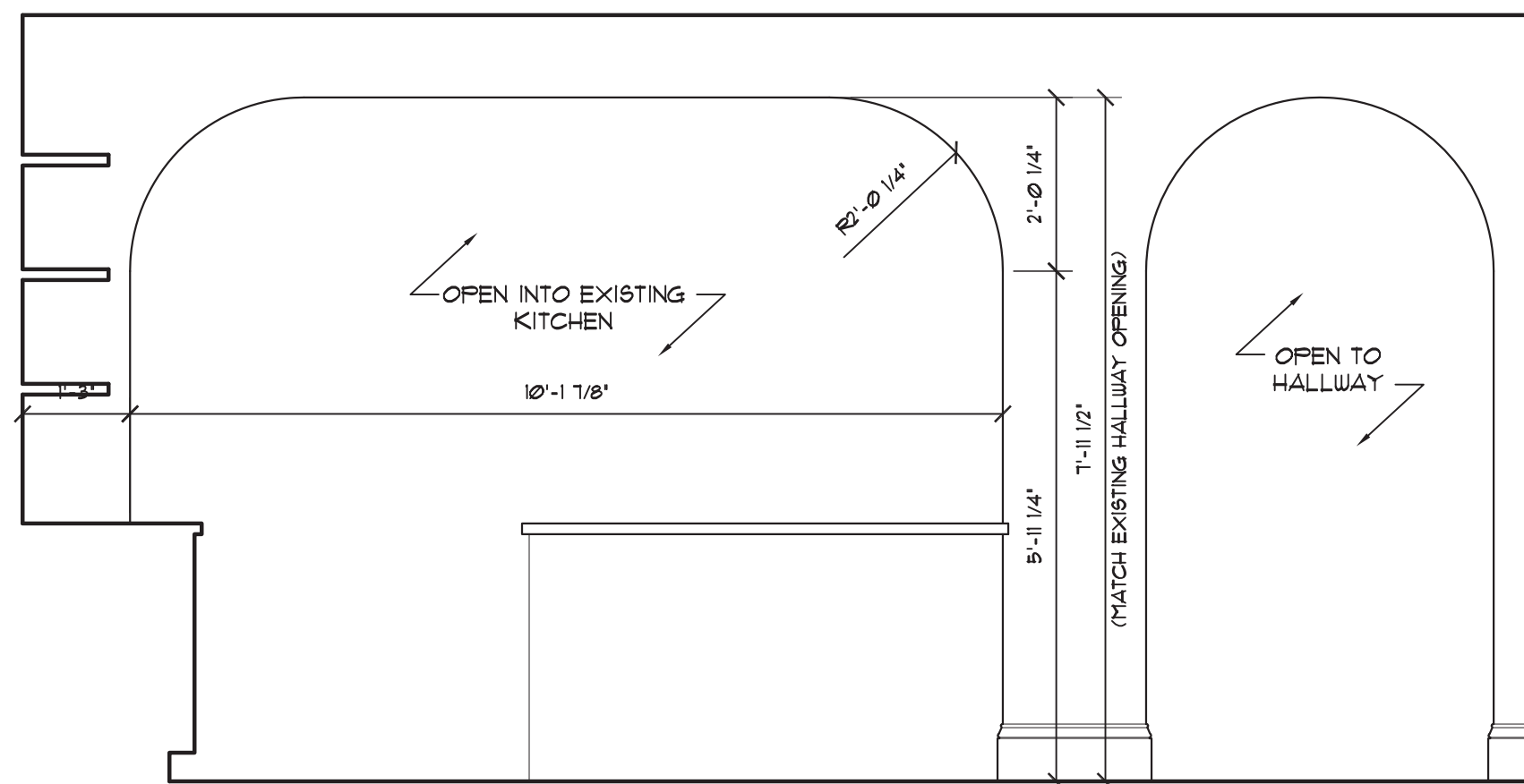


4 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"

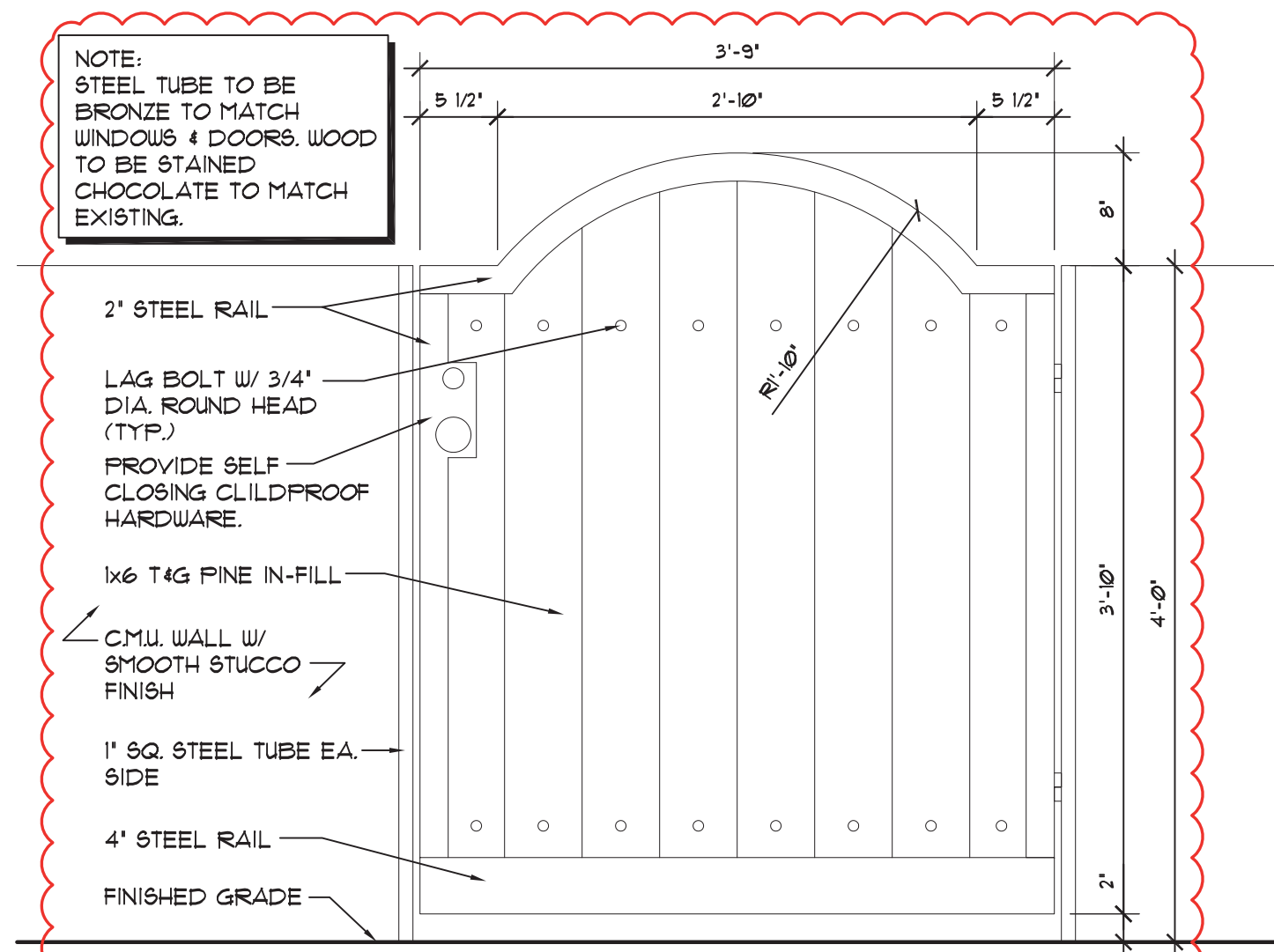
NOTE:
CEILING R-VALUE TO BE 30 & WALL R-VALUE TO BE 42, AS INDICATED IN THE MECHANICAL DRAWINGS.



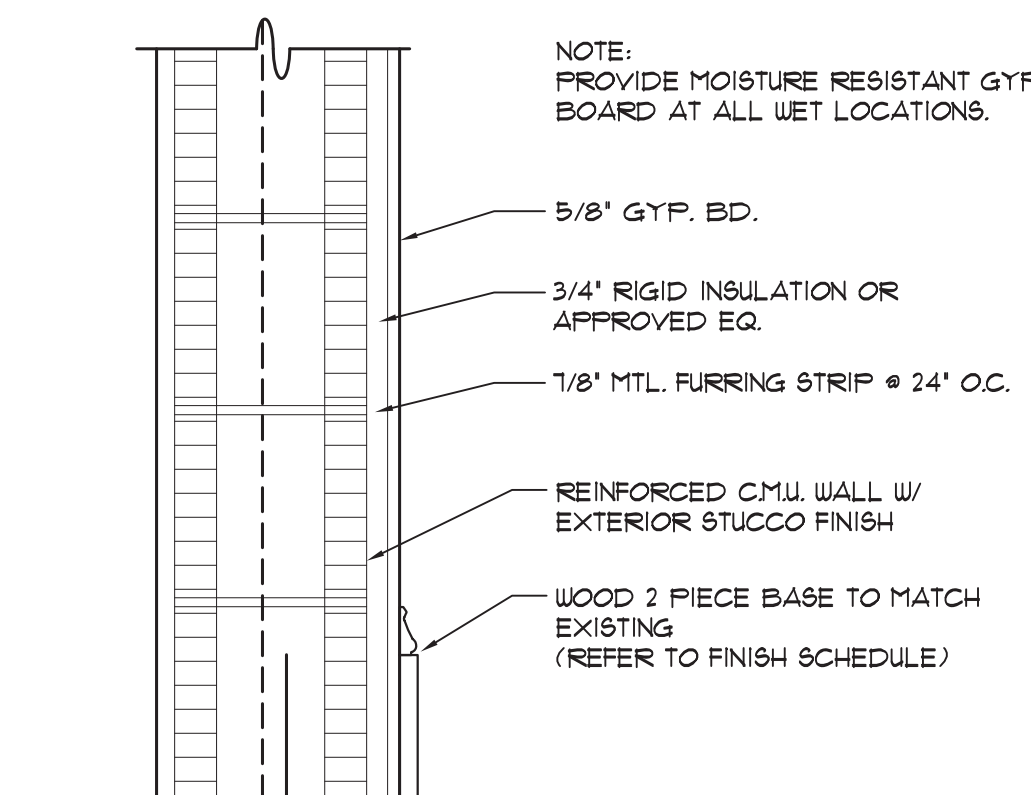
5 TYP. GABLE WALL SECTION
SCALE: 3/4" = 1'-0"



6 ELEVATION INTO KITCHEN
SCALE: 1/2" = 1'-0"

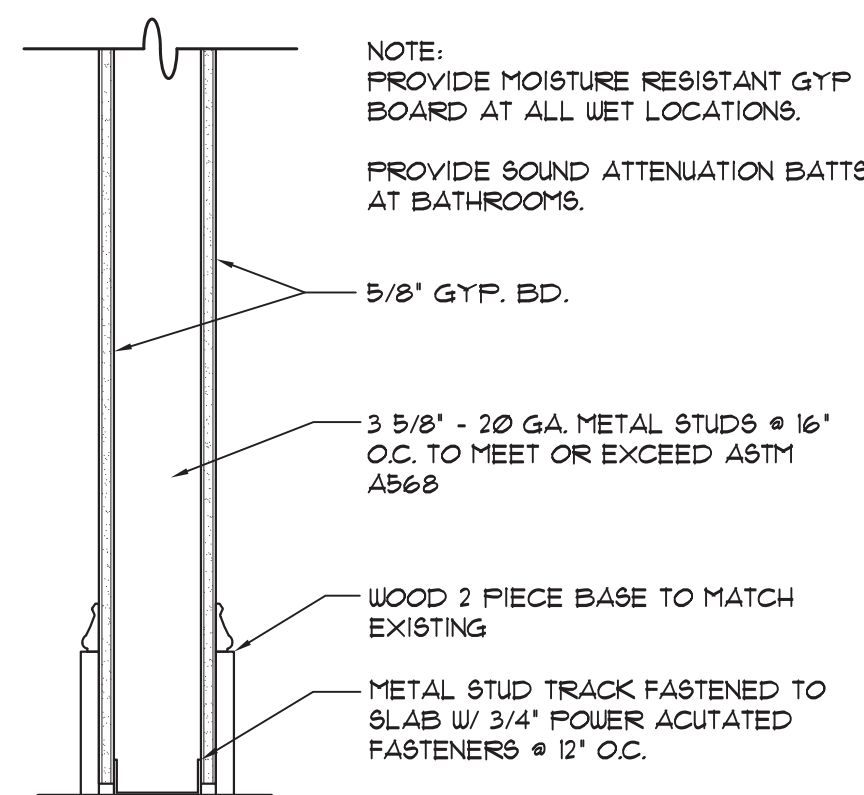


9 GATE ELEVATION DETAIL
SCALE: 1" = 1'-0"



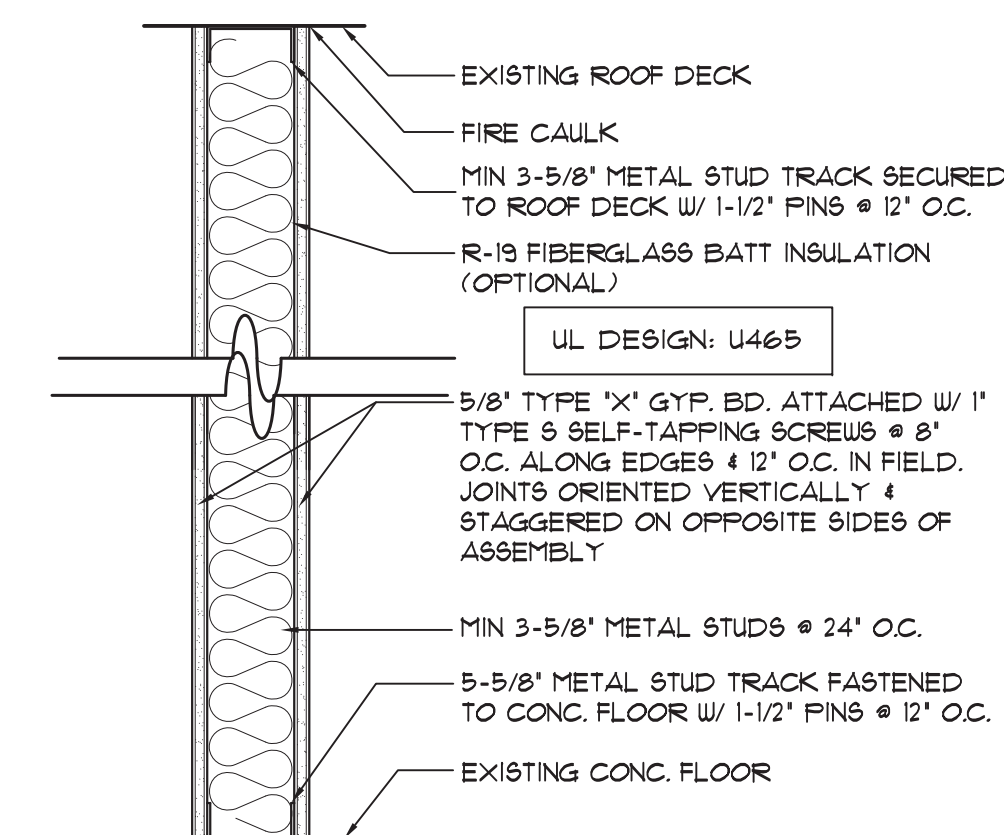
1 EXTERIOR WALL DETAIL
SCALE: 1 1/2" = 1'-0"

AT LOCATIONS WITH TILE FINISH, PROVIDE TILE BACKER BOARD.



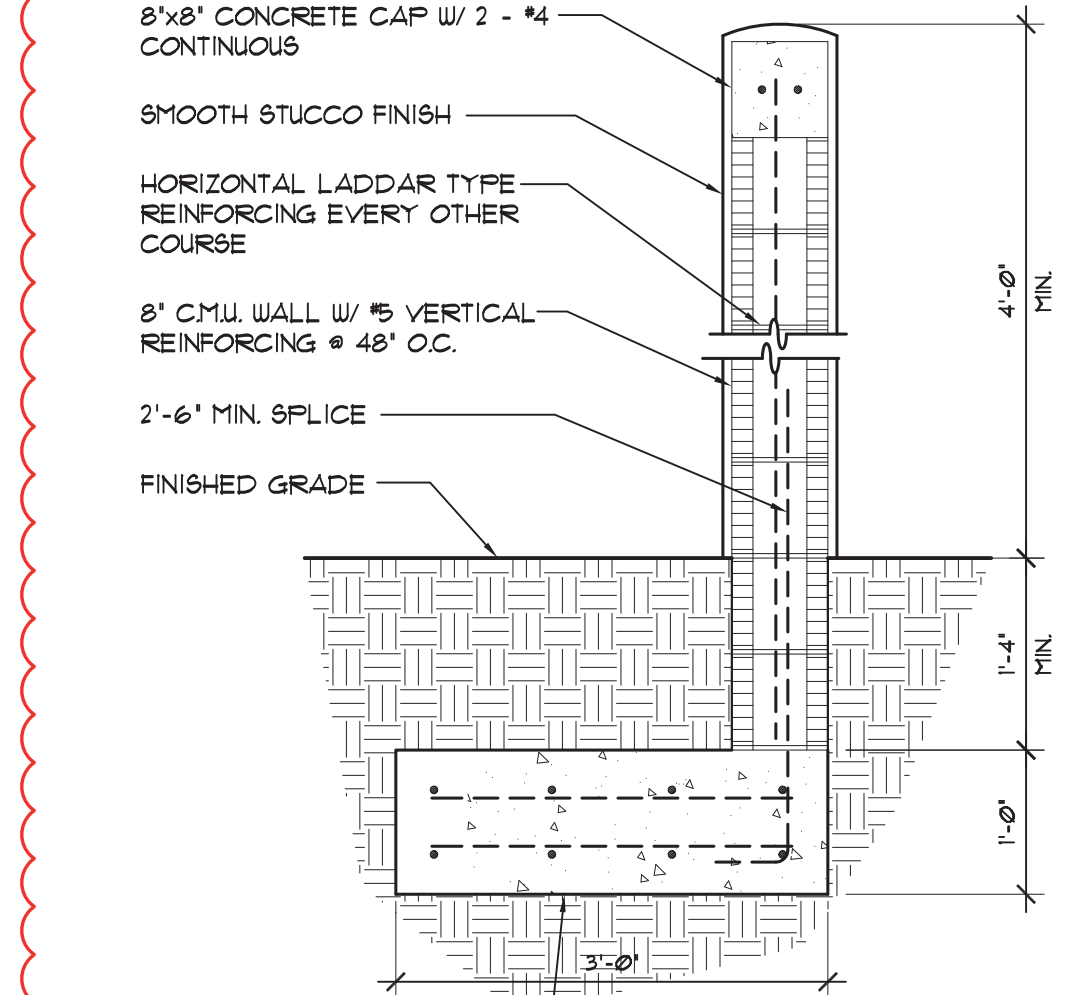
2 INTERIOR PARTITION DETAIL
SCALE: 1 1/2" = 1'-0"

AT LOCATIONS WITH TILE FINISH, PROVIDE TILE BACKER BOARD.



5 1-HR RATED WALL DETAIL
SCALE: 1 1/2" = 1'-0"

NOTE:
STAGGER ALL VERT. & HORIZ. JOINTS 24\"/>



8 C.M.U. FENCE WALL (TYP.)
SCALE: 3/4" = 1'-0"



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SCALE: AS NOTED

DETAILS

A-07