

PATEL RESIDENCE

ADDITION & RENOVATION

517 Aragon Avenue
Coral Gables, FL 33134

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Description:

Cover Sheet

Owner:

Patel Residence
Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134



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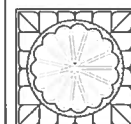
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ALVAREZ**

Architecture
M 26002213

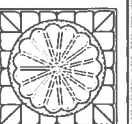
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11 / 20 / 2023



AR 92749
M 26002213

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PROJECT DATA

PROJECT: New Addition & Interior Renovation
 Pooja and Shaan Patel
 517 Aragon Avenue
 Coral Gables, Florida, 33134 USA

LOT SIZE: 9,504 sq. ft. (Per Miami Dade Property Information)

ZONING CLASSIFICATION: SFR
 (Section B Site Specifics Code not applicable to Aragon Ave.)
 Historic Residence

FOLIO No: 03-4108-001-1670

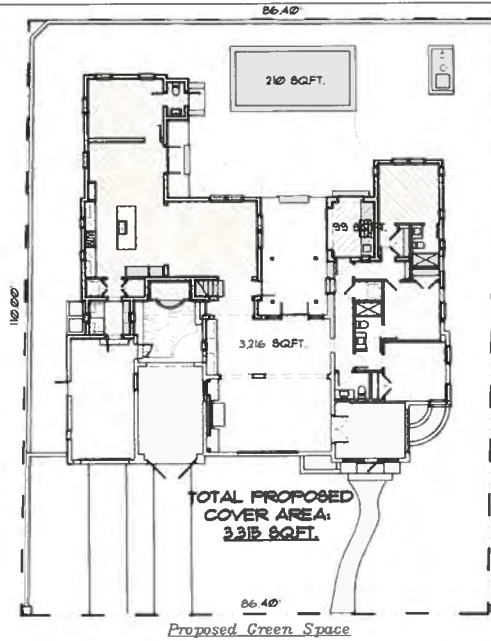
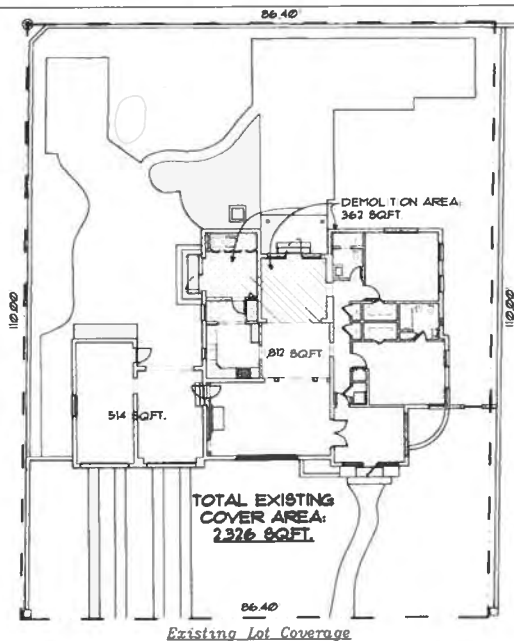
DESIGNATION: Designated 2.15.2023,
 Original Architect: Wm Merriam
 Style: Minimal Traditional
 Original Plans Permit #5357, 1938
 Carage Addition: 1961

FLOOD ZONE: "X", Base Flood Elevation: N/A

AVERAGE CROWN OF ROAD : 11.33' NCVD

ZONING DIAGRAMS

LOT COVERAGE DIAGRAMS



LOT SIZE: 9,504 SQ. FT.
35% GROUND COVERAGE:
 9,504 SQ.FT. X 35% = 3,326 SQ. FT.
 MAXIMUM ALLOWED
 *Measurements for Ground Coverage taken from exterior surface of exterior walls
EXISTING GROUND COVER AREA: 2,326 SQ. FT.
PROPOSED GROUND COVER AREA: 3,315 SQ. FT.

3,315 SQ. FT. (PROPOSED) < 3,326 SQ.FT. (MAX. ALLOWED)

45% GROUND COVERAGE with ACCESSORY STRUCTURE:
 9,504 X 45% = 4,276 SQ. FT.
 MAXIMUM ALLOWED

PROPOSED:
 3,315 SQ.FT. + 210 SQ.FT. (POOL) = 3,525 SQ.FT.
 3,525 SQ.FT. (PROPOSED) < 4,276 SQ.FT. (MAX. ALLOWED)

LEGEND
 [] BUILDING AREA (A/C)
 [] BUILDING AREA (NON A/C)
 [] PROPOSED ADDITION
 [] DEMOLITION

PROPOSED SITE IMPROVEMENTS SUMMARY

	EXISTING		PROPOSED	
	A/C Space	Non A/C Space	A/C Space	Non A/C Space
Existing Ground Floor	1,814 sq.ft.			
Demolition (Approx.)	-362 sq.ft.			
Ground Floor A/C Area (Existing to Remain)	1,420 sq.ft.			
Garage (Exist. to Remain)		514 sq ft		
TOTAL EXISTING AREA TO REMAIN	1,452 sq ft	514 sq ft		
	1,934 sq ft			
Ground Floor (Addition)			1,250 sq.ft.	
Porch (New)				113 sq ft
Extension to Garage				23 sq ft.
Second Floor (Addition)			1,001 sq.ft.	
2nd Floor Balcony				58 sq.ft.
TOTAL ADDITION			2,251 sq ft	194 sq ft
TOTAL EXISTING + ADDITION	4,379 sq.ft.			

SETBACKS

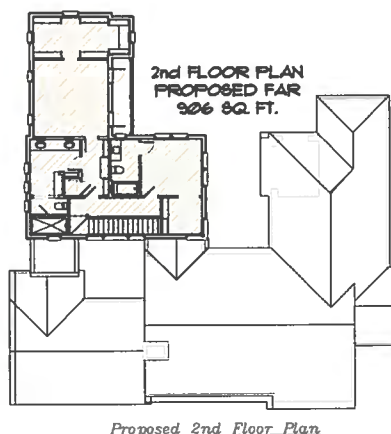
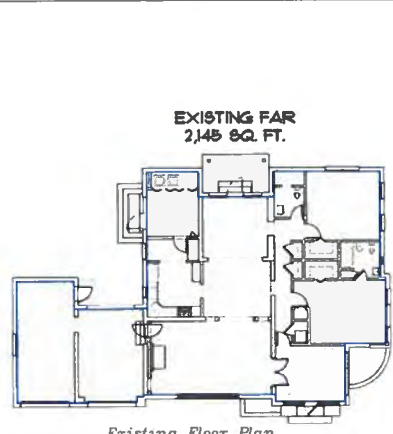
SETBACKS	REQUIRED	EXISTING	PROPOSED
Front (Aragon Ave.)	25'-0"	28'-0"	No Change
Side (20% of Front Width)	20% of 86.40' = 17'-3"	9'-2" West (at Existing Garage)	10'-2" West (at Addition) 8'-0" West (Requested Historic Variance for Garage)
5'-0" Min.	9'-7 1/2" West (Min.)	7'-7 1/2" East (Existing)	7'-7 1/2" East (No Change)
Rear	10'-0"	38'-0"	10'-3"
Building Height From Finished Floor At Main House to Top of Tie Beam	Two Stories or 25' (MAX)	9'-0" (V.I.F.)	20'-0"

SCOPE OF WORK

LEVEL III ALTERATION
 NEW ADDITION (2,251 SQ.FT. A/C SPACE & 194 SQ.FT. NON A/C SPACE);
 INTERIOR RENOVATION, NEW ROOF, NEW DOORS & WINDOWS, AND SELECT DEMOLITION & IMPROVEMENTS

LEGAL DESCRIPTION

Lot 17 and the West 36.40' of Lot 16, in Block 10, of CORAL GABLES SECTION B; according to the Plat thereof, as recorded in Plat Book 5, at Page 111, of the Public Records of Miami Dade County, Florida



LOT SIZE: 9,504 SQ.FT.

FLOOR AREA RATIO:
 48% OF FIRST 5,000 sq.ft. = 2,400 SQ. FT.
 35% OF NEXT 4,504 sq.ft. = 1,516 SQ. FT.

MAXIMUM ALLOWED TOTAL = 3,916 SQ. FT.

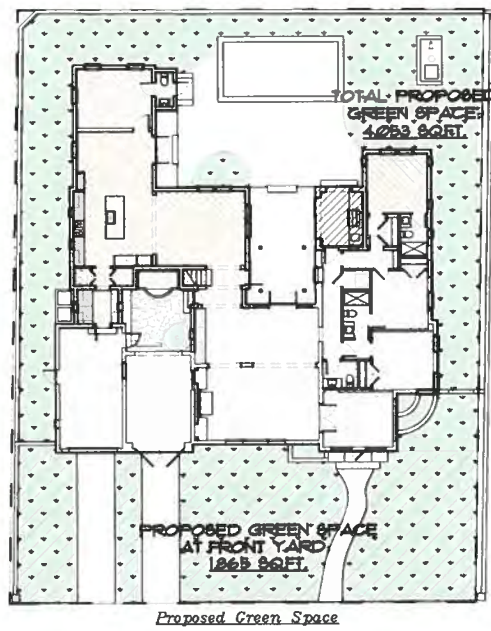
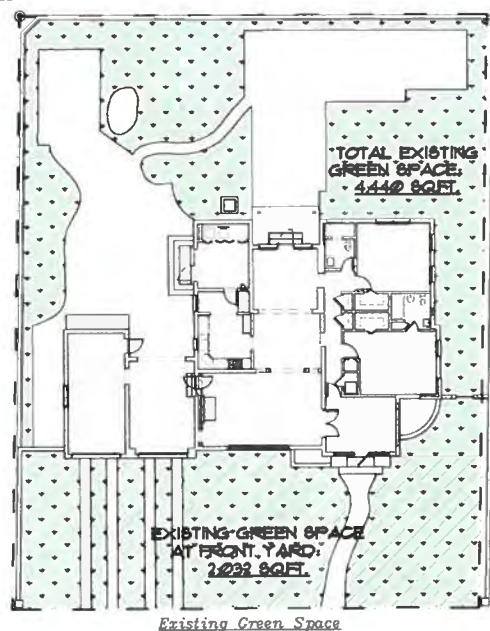
EXISTING FAR:
 1st FLOOR AREA: 2,145 SQ.FT.

PROPOSED FAR:
 1st FLOOR AREA: 2,125 SQ.FT.
 2nd FLOOR AREA: 906 SQ.FT.
TOTAL PROPOSED: 3,031 SQ.FT.

3,031 sq.ft. (PROPOSED) < 3,916 sq.ft. (MAX. ALLOWED)
 *Measurements for F.A.R. taken from interior surface of exterior walls. Porches and carport are not included.

LEGEND
 [] PROPOSED ADDITION
 [] FAR

GREEN SPACE DIAGRAMS



LOT SIZE: 9,504 SQ.FT.
40% MIN. GREEN SPACE:
 9,504 SQ.FT. X 40% = 3,801 SQ. FT.
 MINIMUM REQUIRED

EXISTING GREEN SPACE:
 4,440 SQ. FT. 46%

PROPOSED GREEN SPACE:
 4,053 SQ. FT. 42%

4,053 SQ.FT. (PROPOSED) > 3,801 SQ.FT. (MIN.)

20% MIN. GREEN SPACE AT FRONT YARD:
 3,801 X 20% = 760 SQ. FT.
 MINIMUM REQUIRED

EXISTING GREEN SPACE AT FRONT YARD:
 2,032 SQ.FT. 53%

PROPOSED GREEN SPACE AT FRONT YARD:
 1,865 SQ.FT. 49%

1,865 SQ.FT. (PROPOSED) > 760 SQ.FT. (MIN.)

LEGEND
 [] GREEN SPACE
 [] GREEN SPACE AT FRONT YARD
 [] PROPOSED ADDITION
 [] BUILDING AREA

FAR DIAGRAMS

Description
Zoning Data

Owner
**Patel Residence
 Addition & Renovation**

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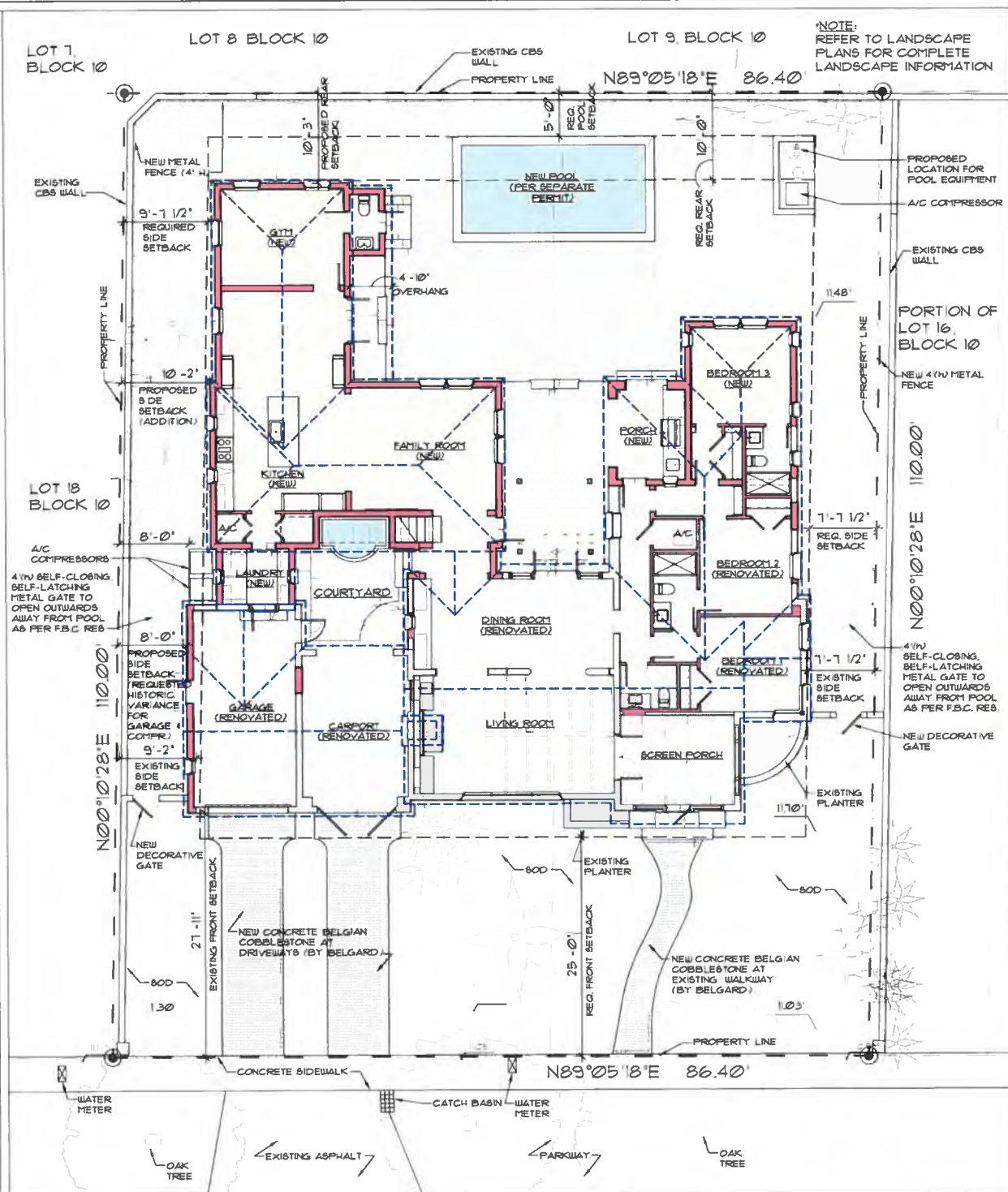
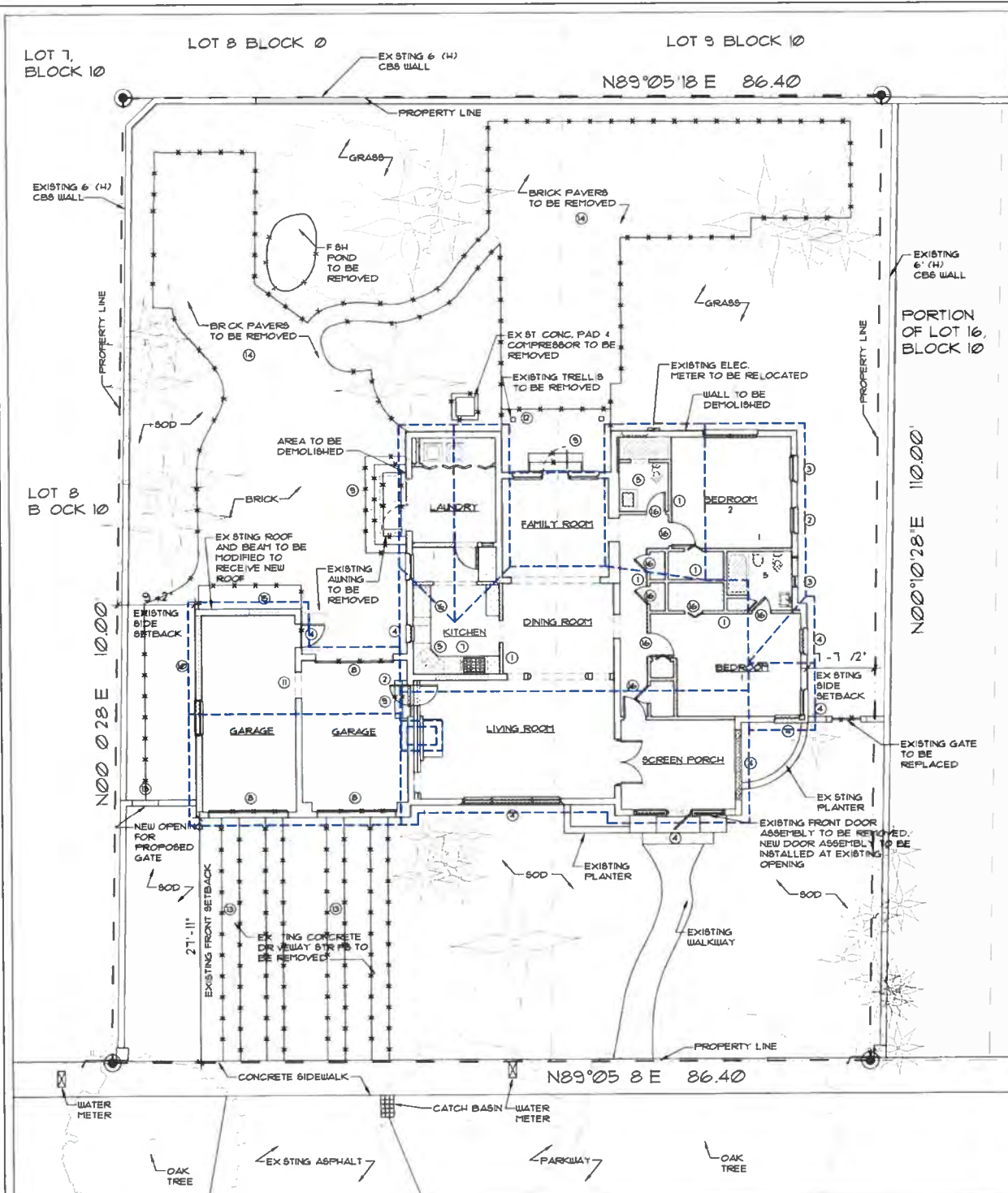
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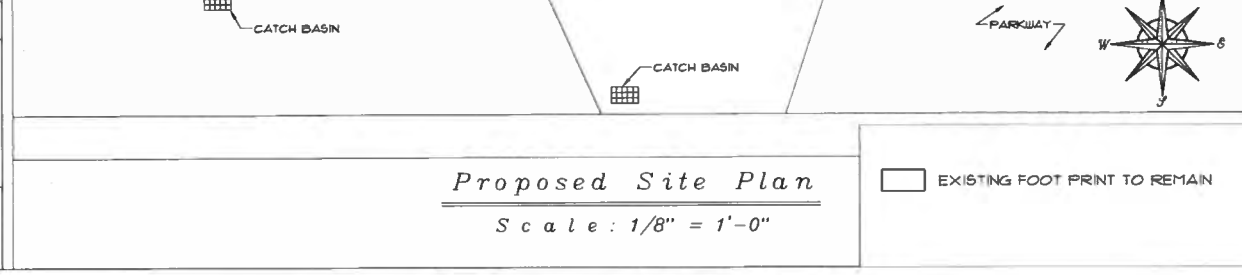
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Demolition / Existing Site Plan
Scale: 1/8" = 1' 0"

Proposed Site Plan
Scale: 1/8" = 1' 0"

DEMOLITION NOTES		DEMO LEGEND	
1. WINDOW OR WALLS TO BE DEMOLISHED	9. CONCRETE STEPS TO BE DEMOLISHED	[Solid Line] EXISTING TO REMAIN / RESTORE / RENOVATE	NOTE: FOR TREE REMOVAL AND TREE PROTECTION REFER TO LANDSCAPE PLANS
2. WINDOW / DOOR TO BE REMOVED. OPENING TO BE CLOSED OFF	10. CONCRETE WALL AT GARAGE TO BE DEMOLISHED AND PREPARE TO RECEIVE NEW WALL	[Hatched] EXISTING TO BE REMOVED / DEMOLISHED	
3. WINDOW DOOR TO BE REMOVED. OPENING TO BE MODIFIED TO RECEIVE NEW WINDOW/DOOR	11. EXISTING OPENING TO BE CLOSED OFF	[Dashed Line] EXISTING TO BE DEMOLISHED	
4. WINDOWS OR DOOR TO BE REPLACED AT EXISTING OPENING	12. EXISTING TRELLIS TO BE REMOVED		
5. PLUMBING FIXTURES TO BE REMOVED	13. CONCRETE STRIPS AT DRIVEWAY TO BE REMOVED		
6. KITCHEN APPLIANCES TO BE REMOVED	14. BRICK PAVERS TO BE REMOVED		
7. CABINETS TO BE REMOVED	15. NEW OPENING AT EXISTING MASONRY WALL		
8. GARAGE DOOR TO BE REMOVED	16. REMOVE INTERIOR DOOR		



Existing & Proposed Site Plan
Scale: 1" = 1'-0"

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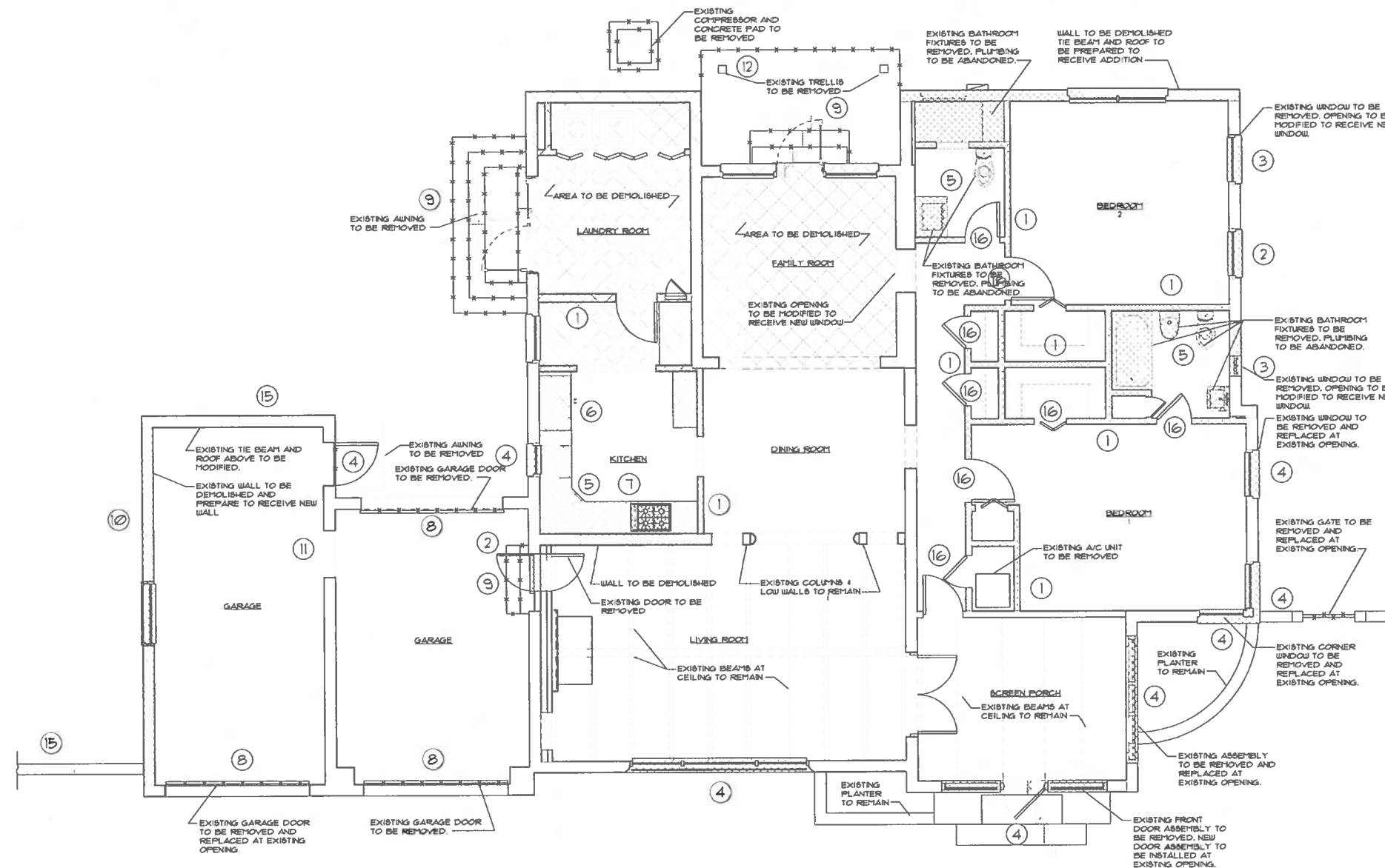
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Existing / Demolition
Ground Floor Plan

Scale: 1/4" = 1'-0"

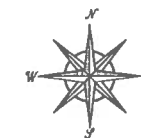
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517 Aragon Ave
Coral Gables, FL 33134



Demolition / Existing Site Plan

Scale: 1/4" = 1'-0"



DEMOLITION NOTES

- | | | | |
|--|------------------------------------|--|---|
| ① INTERIOR WALLS TO BE DEMOLISHED | ⑤ PLUMBING FIXTURES TO BE REMOVED | ⑨ CONCRETE STEPS TO BE DEMOLISHED | ⑬ CONCRETE STRIPS AT DRIVEWAY TO BE REMOVED |
| ② WINDOW / DOOR TO BE REMOVED. OPENING TO BE CLOSED OFF. | ⑥ KITCHEN APPLIANCES TO BE REMOVED | ⑩ CONCRETE WALL AT GARAGE TO BE DEMOLISHED AND PREPARED TO RECEIVE NEW WALL. | ⑭ BRICK PAVERS TO BE REMOVED |
| ③ WINDOW / DOOR TO BE REMOVED. OPENING TO BE MODIFIED TO RECEIVE NEW WINDOW/DOOR | ⑦ CABINETS TO BE REMOVED | ⑪ EXISTING OPENING TO BE CLOSED OFF | ⑮ NEW OPENING AT EXISTING MASONRY WALL |
| ④ WINDOWS OR DOOR TO BE REPLACED AT EXISTING OPENING | ⑧ GARAGE DOOR TO BE REMOVED | ⑫ EXISTING TRELLIS TO BE REMOVED | ⑯ REMOVE INTERIOR DOOR |

DEMO LEGEND

- EXISTING TO REMAIN / RESTORE / RENOVATE
- EXISTING TO BE REMOVED / DEMOLISHED
- EXISTING TO BE DEMOLISHED





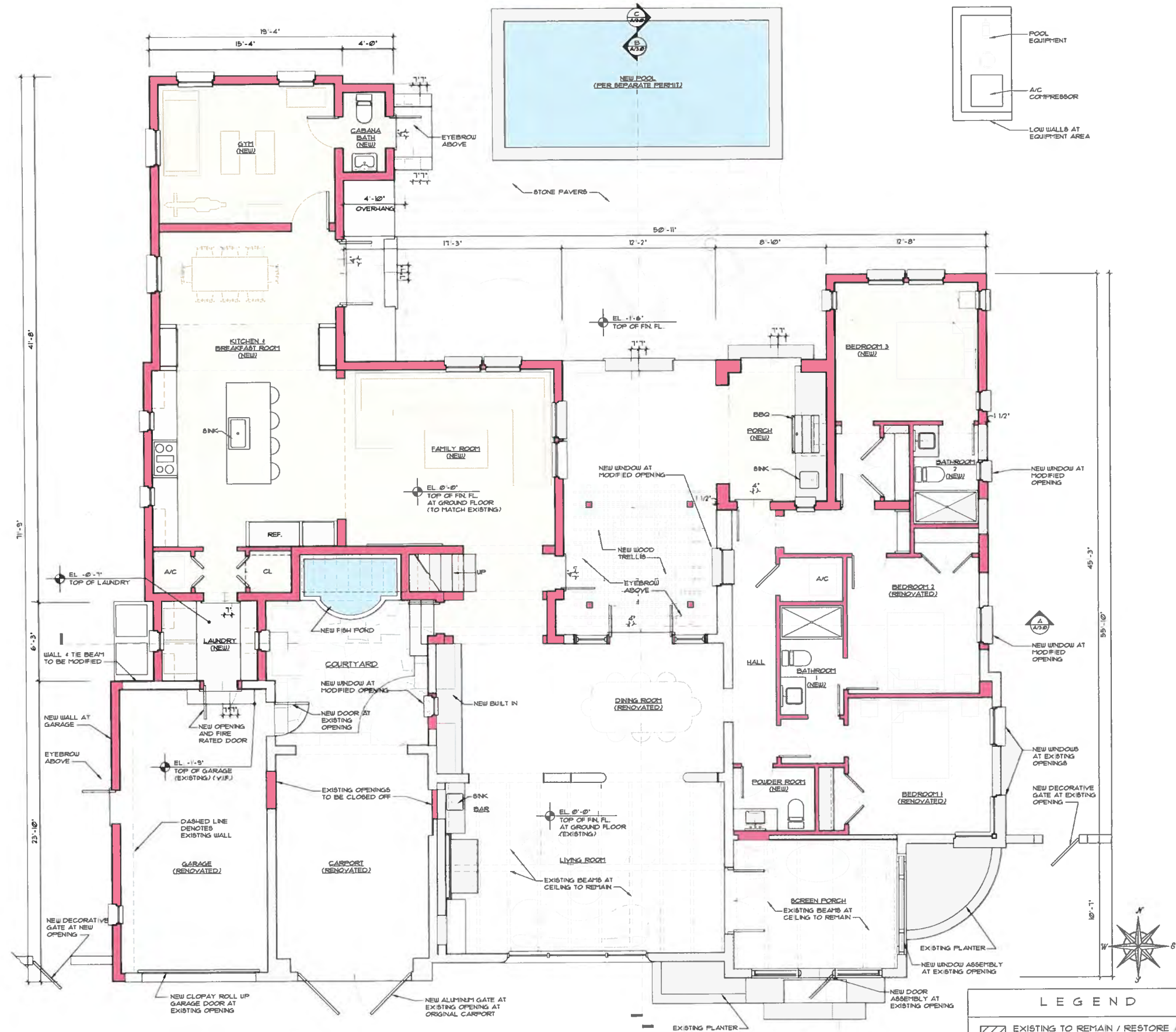
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Proposed Ground Floor Plan
Scale: 1/4" = 1'-0"

LEGEND	
	EXISTING TO REMAIN / RESTORE / RENOVATE
	EXISTING MASONRY WALLS
	NEW WALLS
	PROPOSED ADDITION

Description
Proposed Ground Floor Plan
Scale: 1/4" = 1'-0"

Owner
Patel Residence Addition & Renovation
517 Aragon Ave
Coral Gables, FL 33134

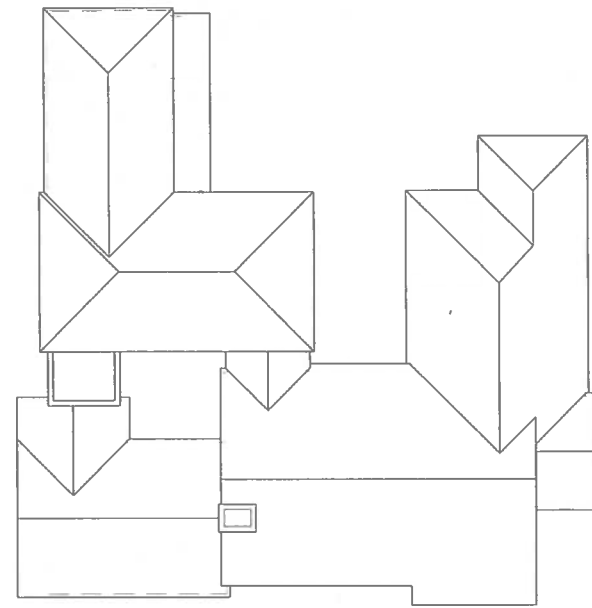
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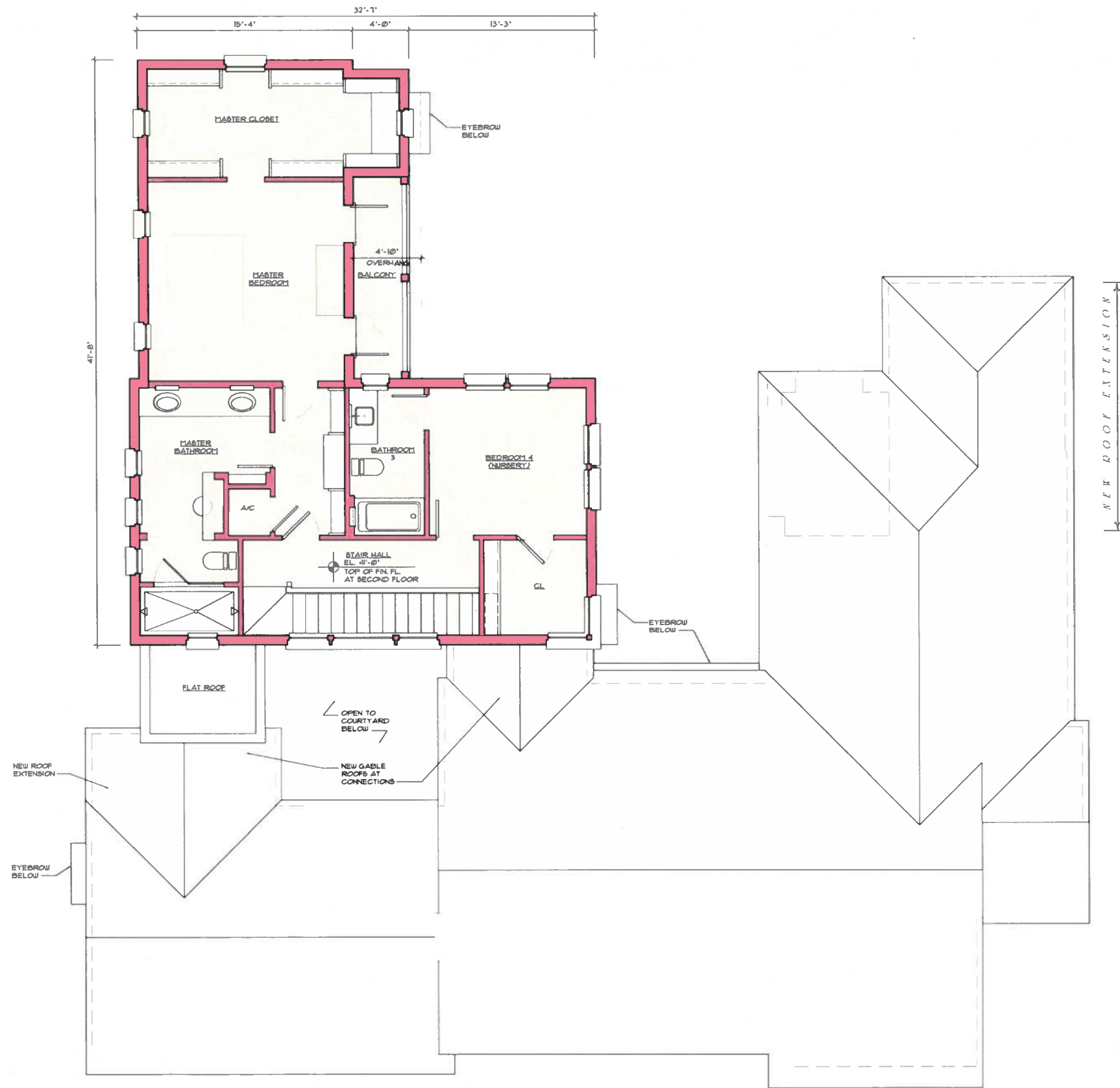
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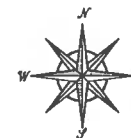
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Proposed Roof Plan
Scale: 3/32" = 1'-0"



Proposed Second Floor Plan
Scale: 1/4" = 1'-0"



LEGEND	
	EXISTING TO REMAIN / RESTORE / RENOVATE
	EXISTING MASONRY WALLS
	NEW WALLS
	PROPOSED ADDITION

<p>Description</p> <h2 style="margin: 0;">Proposed Second Floor Plan</h2> <p style="font-size: small;">Scale: 1/4" = 1'-0"</p>		
<p>Owner</p> <h3 style="margin: 0;">Patel Residence Addition & Renovation</h3> <p style="margin: 0;">517 Aragon Ave Coral Gables, FL 33134</p>		
<p style="font-weight: bold; margin: 0;">ARCHITECT OF RECORD:</p> <p style="font-weight: bold; margin: 0;">DEFORMA STUDIO INC.</p> <p style="font-size: x-small; margin: 0;">5555 BISCAYNE BLVD., SUITE 2 SW MIAMI, FL 33137 T: 305 639 2053 F: 305 639 2054 E: INFO@DEFORMASTUDIO.COM W: WWW.DEFORMASTUDIO.COM</p>		
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	<p style="font-size: x-small;">11 / 20 / 2023</p>	
<p style="font-size: x-small;">Submittal BOA & Historic Preservation Board</p>	<p style="font-size: x-small;">Revisions</p>	<p style="font-size: x-small;">Sheet Number: 1.3</p>

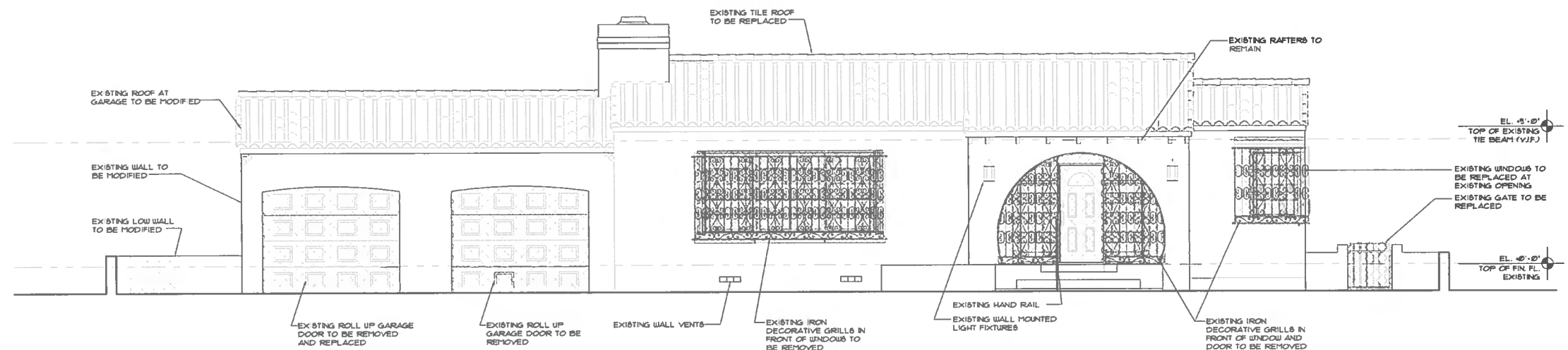
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Existing & Proposed Elevations

Scale: 1/4" = 1'-0"

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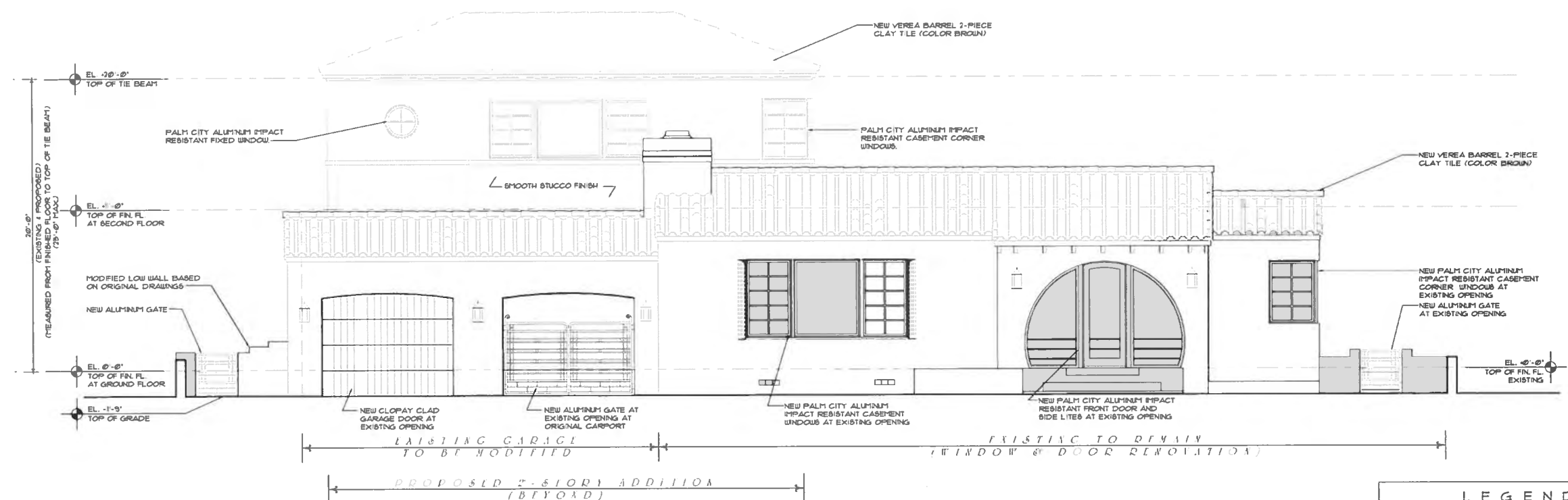


Existing South Elevation

Scale: 1/4" = 1'-0"

LEGEND

TO BE DEMOLISHED / REMOVED



Proposed South Elevation

Scale: 1/4" = 1'-0"

LEGEND

EXISTING TO REMAIN / RESTORE / RENOVATE

NEW CONSTRUCTION

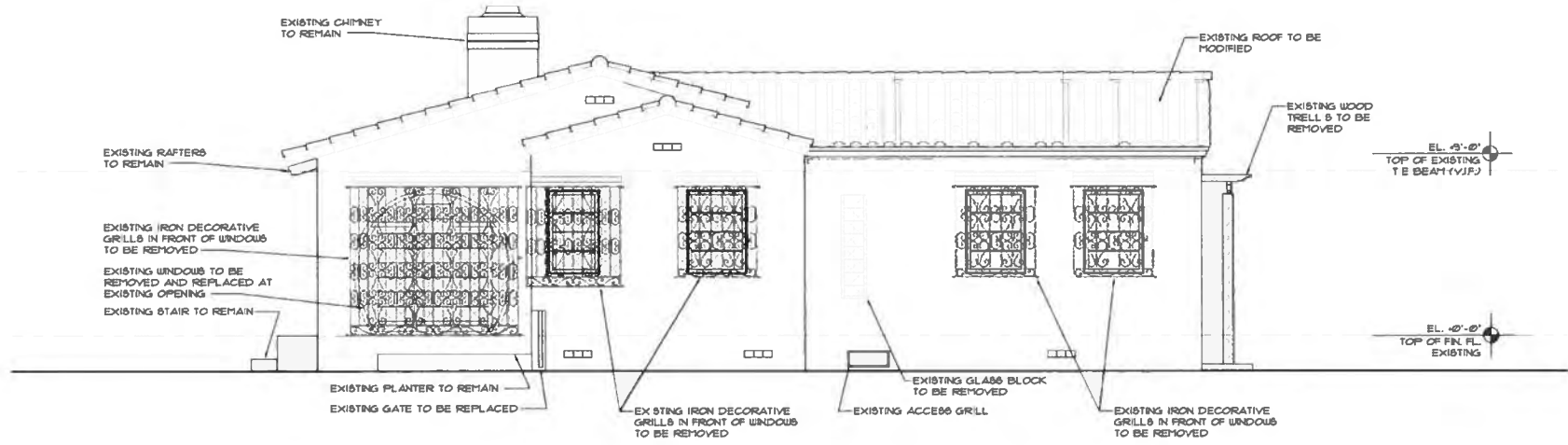
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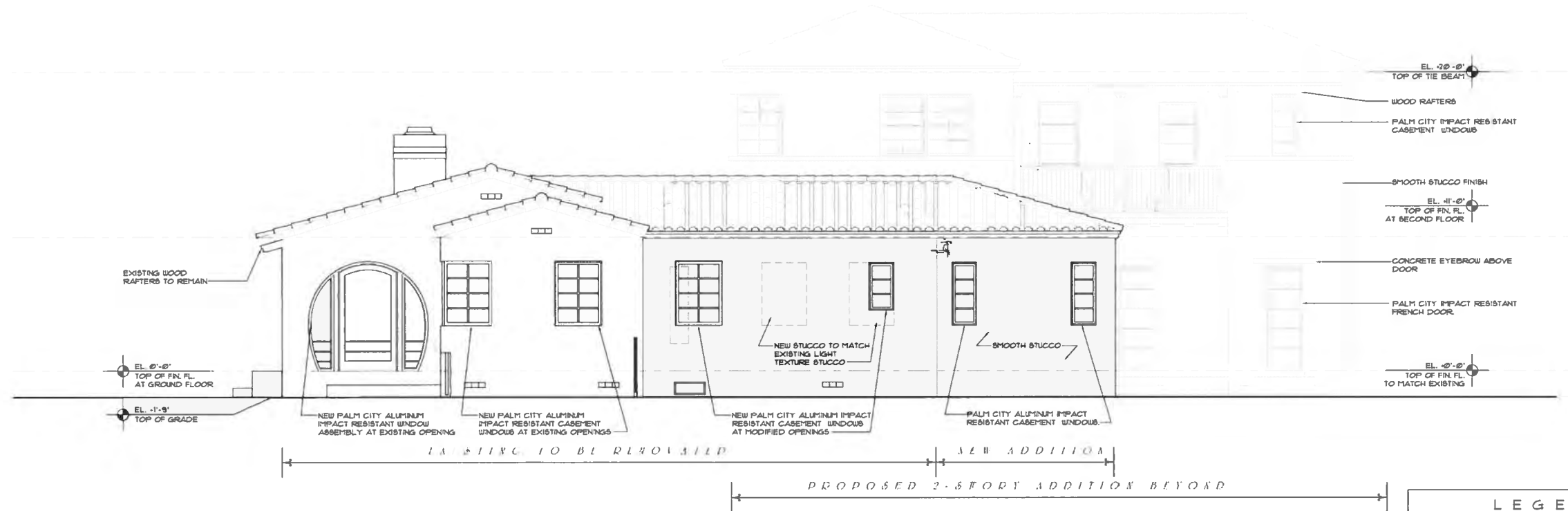
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Existing East Elevation
Scale: 1/4" = 1'-0"

LEGEND	
	TO BE DEMOLISHED / REMOVED



Proposed East Elevation
Scale: 1/4" = 1'-0"

LEGEND	
	EXISTING TO REMAIN / RESTORE / RENOVATE
	NEW CONSTRUCTION

Description
Existing & Proposed Elevations
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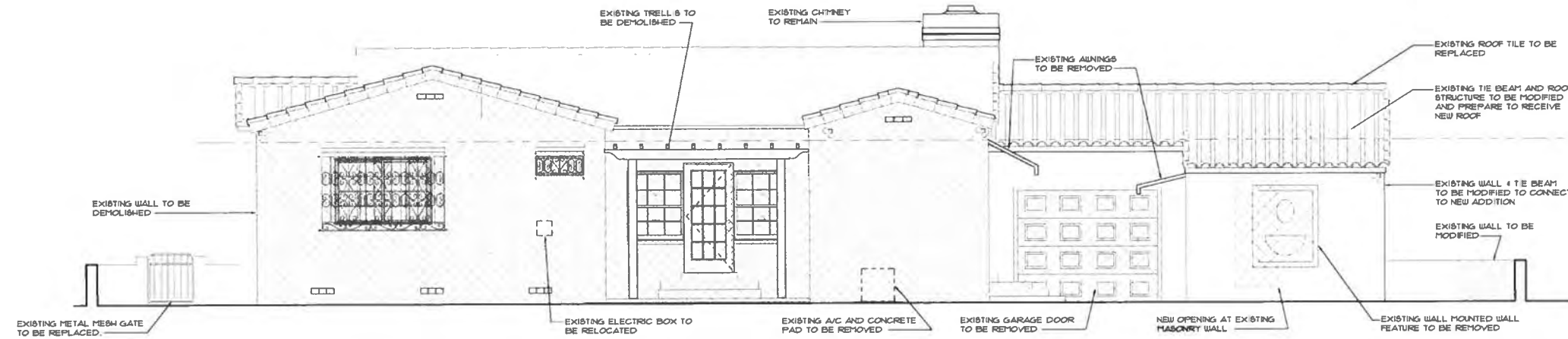
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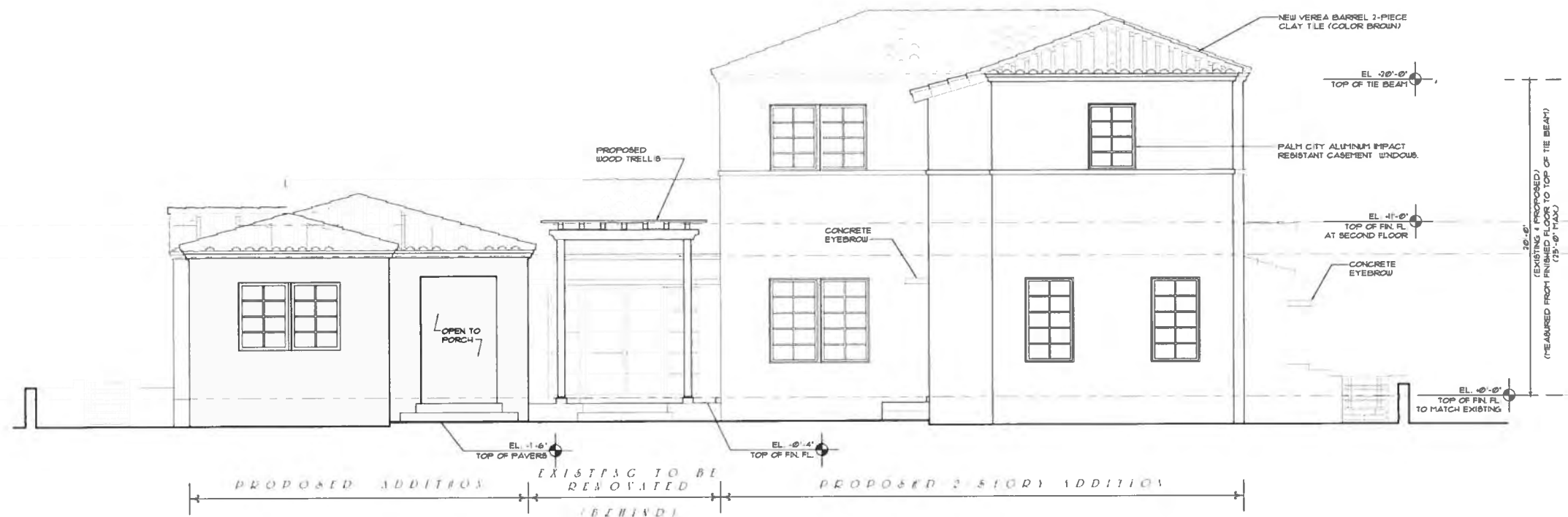


Existing North Elevation

Scale: 1/4" = 1'-0"

LEGEND

TO BE DEMOLISHED / REMOVED



Proposed North Elevation

Scale: 1/4" = 1'-0"

LEGEND

EXISTING TO REMAIN / RESTORE / RENOVATE
 NEW CONSTRUCTION



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DESIGN ARCHITECT

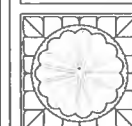
**MARTINEZ
 ALVAREZ**

Architecture
 AA 2600213

231 S.W. 4th Terrace
 Miami, Florida 33125
 U.S.A.

Phone: 305-639-2053

alvarez@ca-miami.com



11 / 20 / 2023

AR 92749
 AA 2600213

Submitted
 BOA
 &
 Historic
 Preservation
 Board

Revisits:

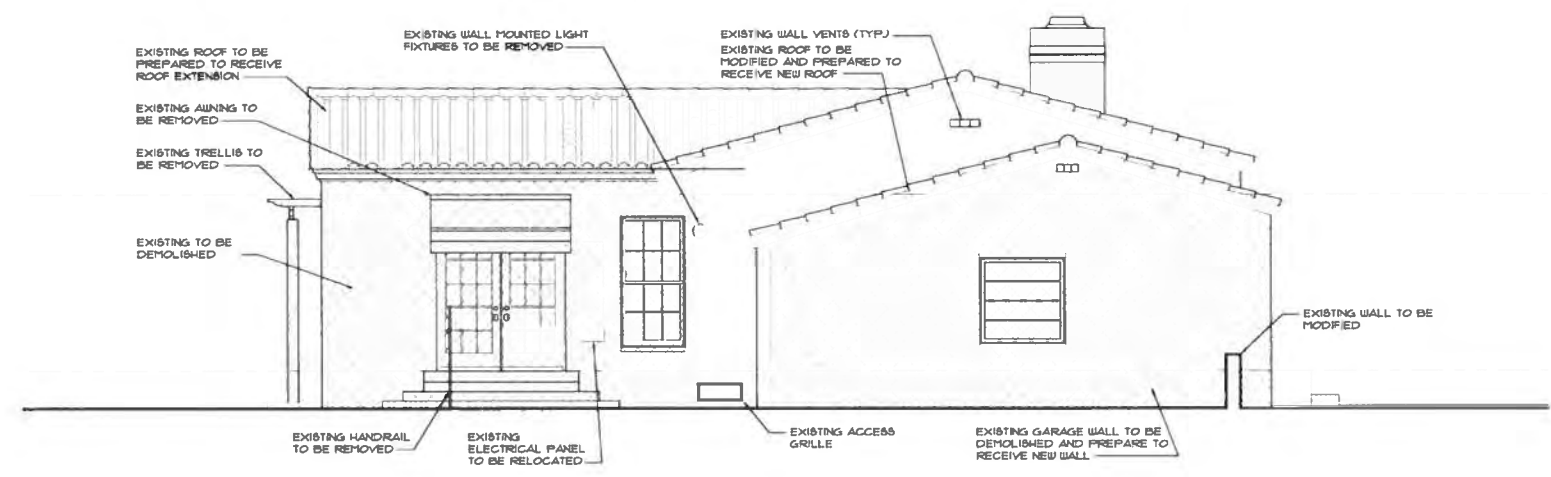
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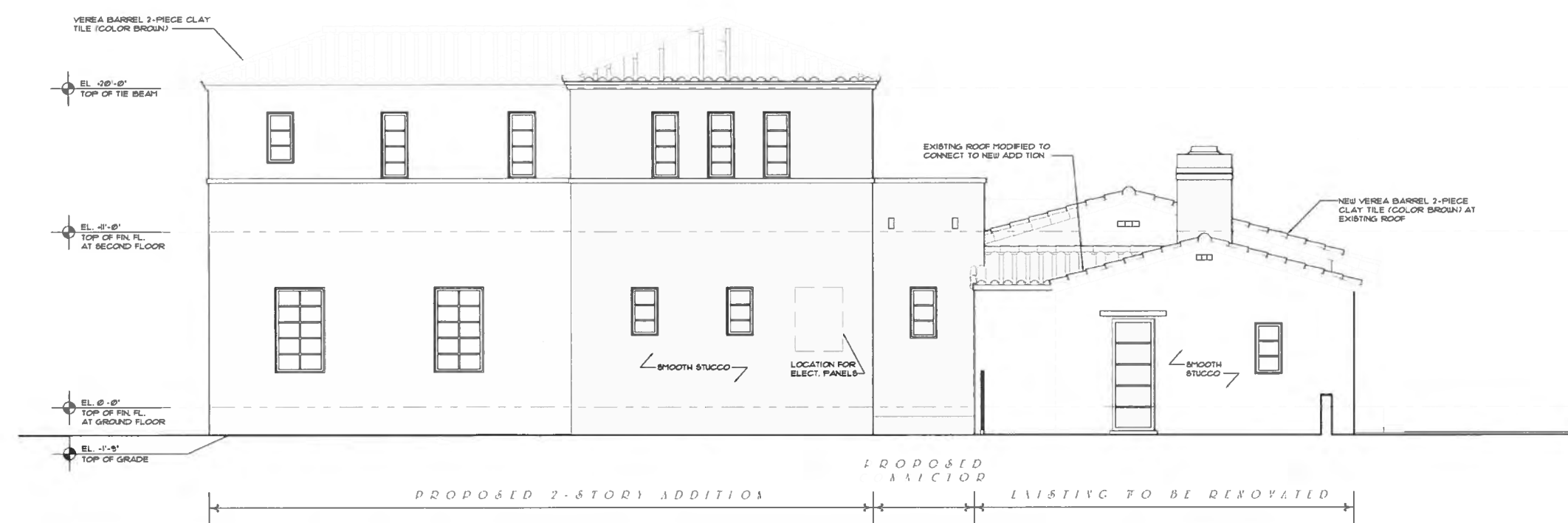
Description:
Existing & Proposed Elevations
 Scale: 1/4" = 1'-0"

Owner:
Patel Residence
Addition & Renovation
 517 Aragon Ave
 Coral Gables, FL 33134



Existing West Elevation
 Scale: 1/4" = 1'-0"

LEGEND	
	TO BE DEMOLISHED / REMOVED



Proposed West Elevation
 Scale: 1/4" = 1'-0"

LEGEND	
	EXISTING TO REMAIN / RESTORE / RENOVATE
	NEW CONSTRUCTION



ARCHITECT OF RECORD:
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DESIGN ARCHITECT
MARTINEZ ALVAREZ
 Architecture
 AA 26002213
 221 S.W. 4th Terrace
 Miami, Florida 33127
 U.S.A.
 Phone: 305-643-6918
 alvarez@ca-miami.com

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Description:
Building Sections / Elevations

Scale: 1/4" = 1'-0"

Owner:
**Patel Residence
 Addition & Renovation**

517 Aragon Ave
 Coral Gables, FL 33134



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DESIGN ARCHITECT
**MARTINEZ
 ALVAREZ**

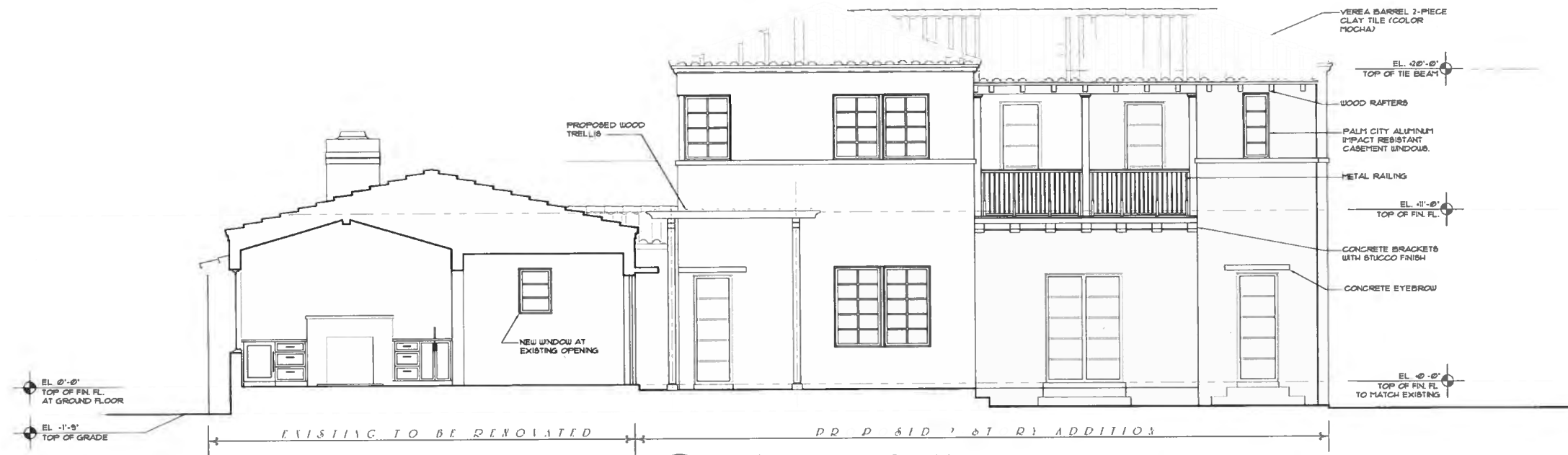
Architecture
 AA 26002213

221 N.W. 4th Terrace
 Miami, Florida 33127
 U.S.A.

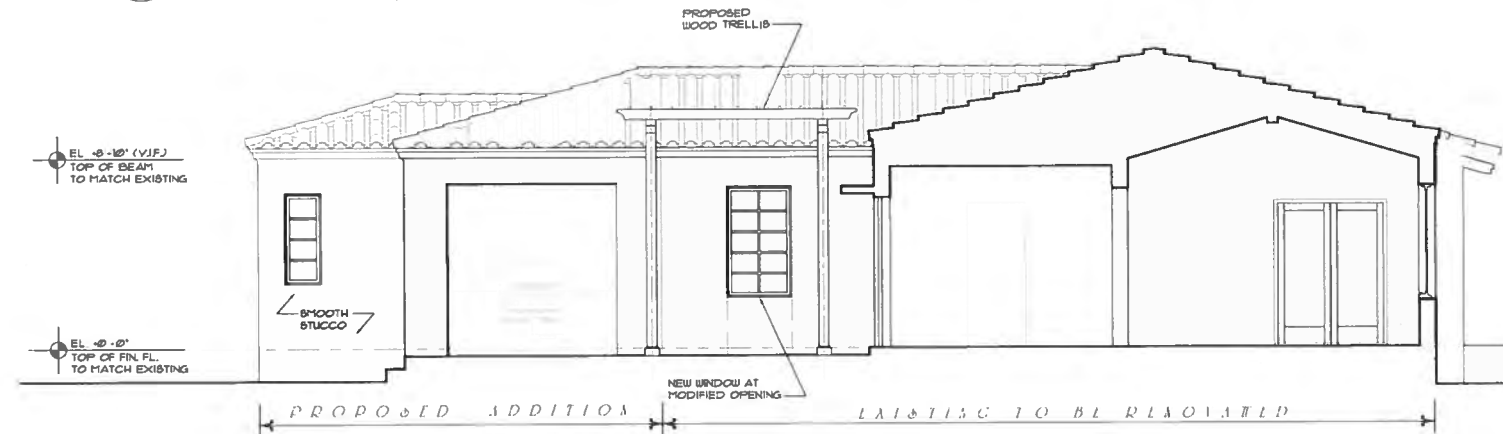
Phone: 305-639-6998 | alvarez@mhbc.com

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	AR 92749 AA 26002213	

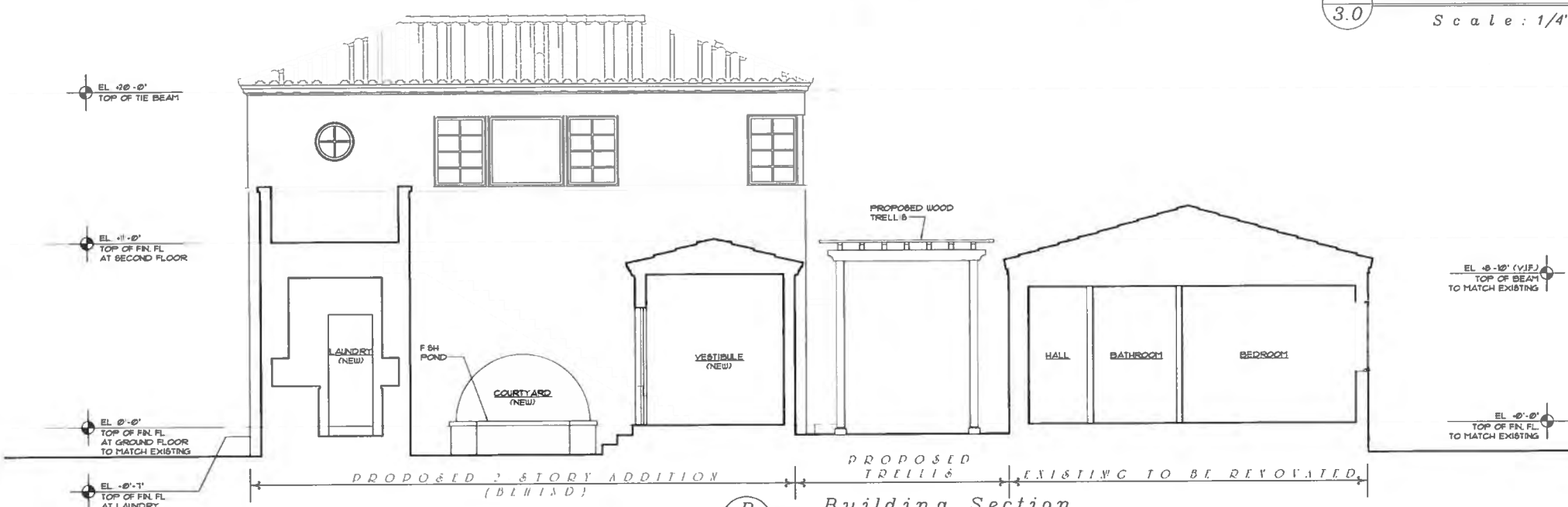
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A
 Building Section
 3.0
 Scale: 1/4" = 1'-0"



C
 Building Section
 3.0
 Scale: 1/4" = 1'-0"



B
 Building Section
 3.0
 Scale: 1/4" = 1'-0"

LEGEND

	EXISTING TO REMAIN / RESTORE / RENOVATE
	NEW CONSTRUCTION

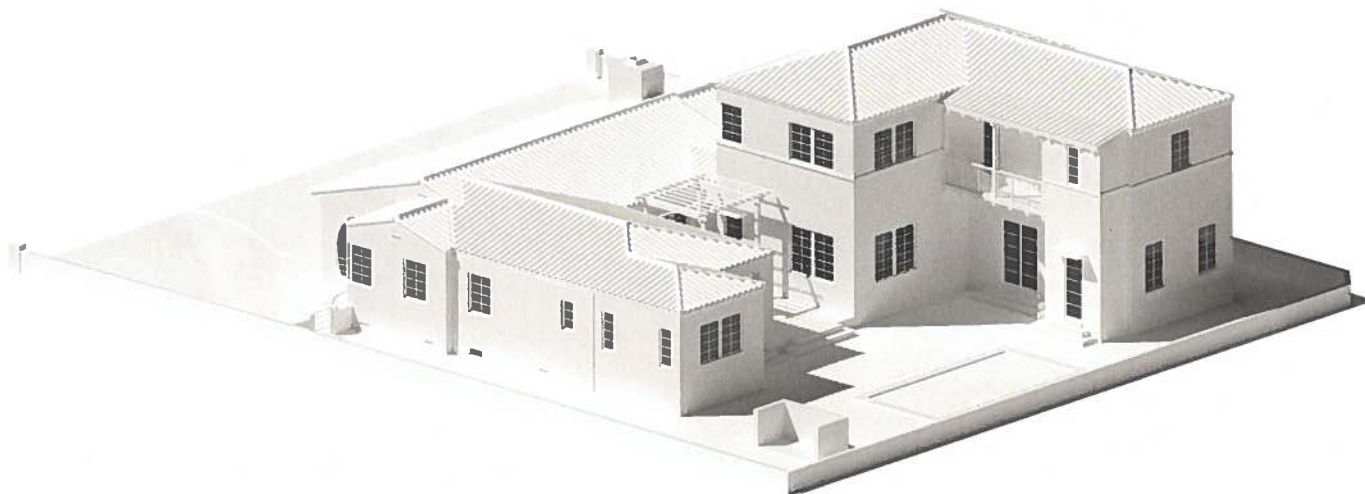
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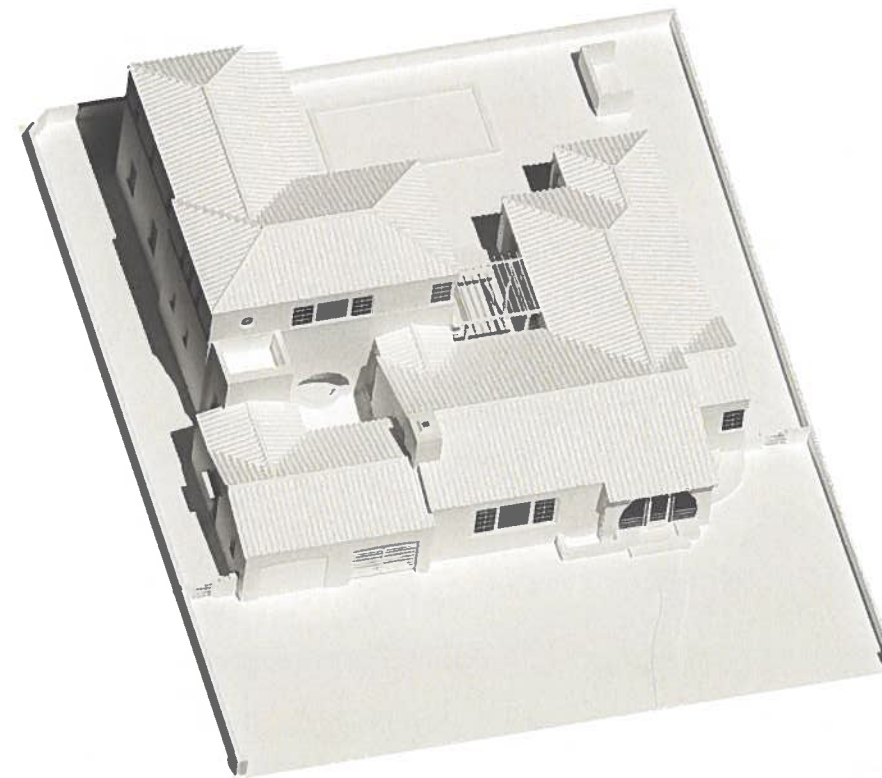
Street View



Street View



Bird's Eye View Looking North East



Bird's Eye View Looking South West

Description:

3D Views

Scale: N.T.S.

Client:

Patel Residence Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134



DESIGN ARCHITECT

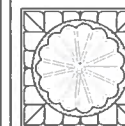
MARTINEZ ALVAREZ

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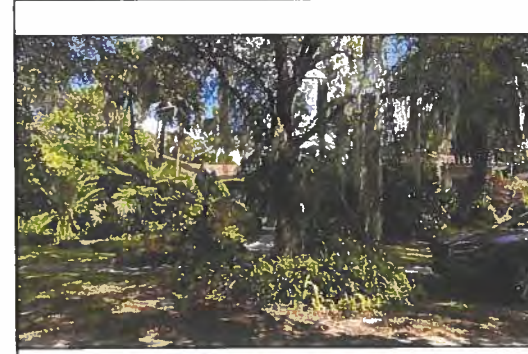
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1 541 ARAGON AVE



2 537 ARAGON AVE



3 535 ARAGON AVE



4 526 ARAGON AVE



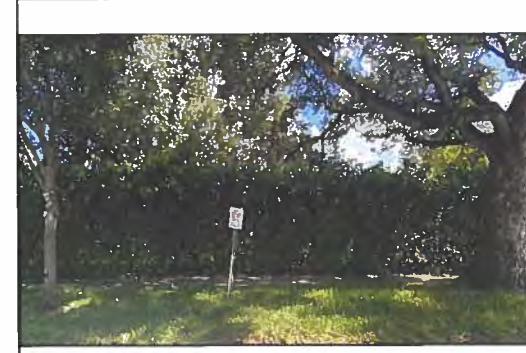
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6 517 ARAGON AVE



7 509 ARAGON AVE



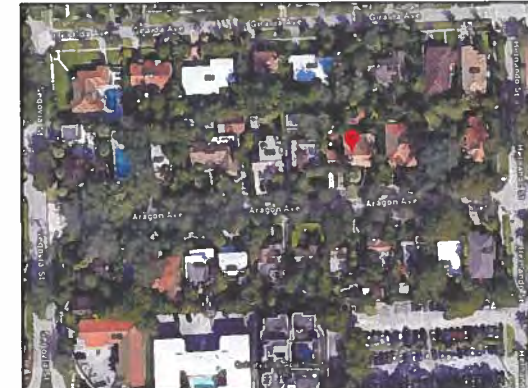
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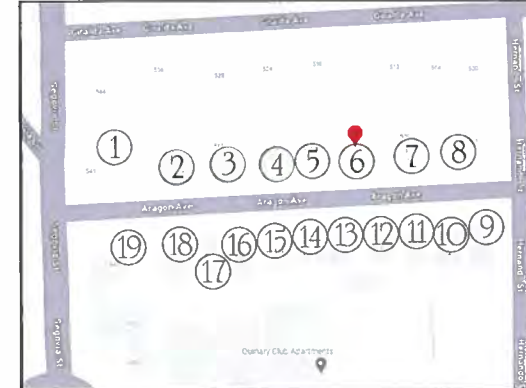
9 500 ARAGON AVE



10 504 ARAGON AVE



A MAP AERIAL



B LOCATION

Description
Neighborhood Pictures

Scale: N.T.S.

Owner
Patel Residence
Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134



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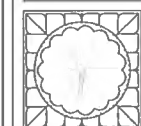
**MARTINEZ
ALVAREZ**

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AA 26002213

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Phone: 305-633-6938

alvarez@ca-arch.com



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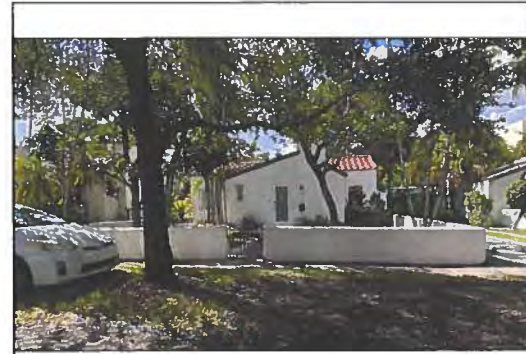
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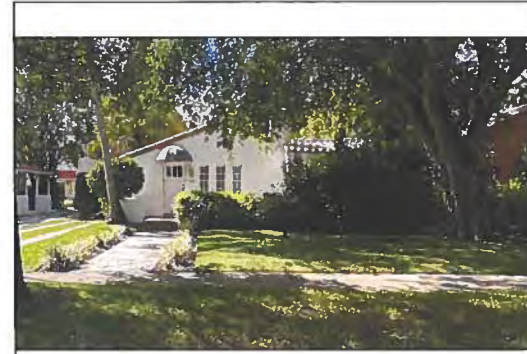
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11 508 ARAGON AVE



12 512 ARAGON AVE



13 516 ARAGON AVE



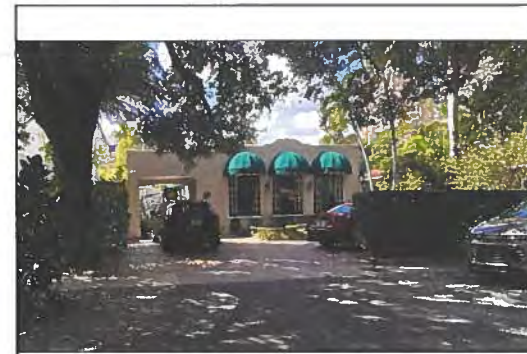
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15 524 ARAGON AVE



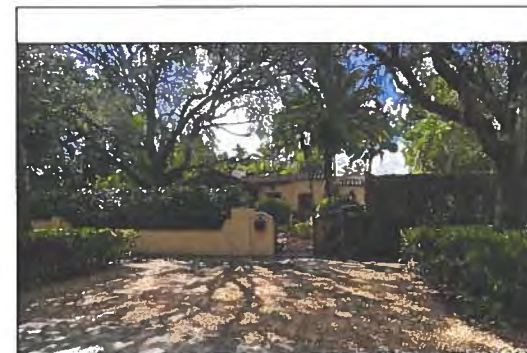
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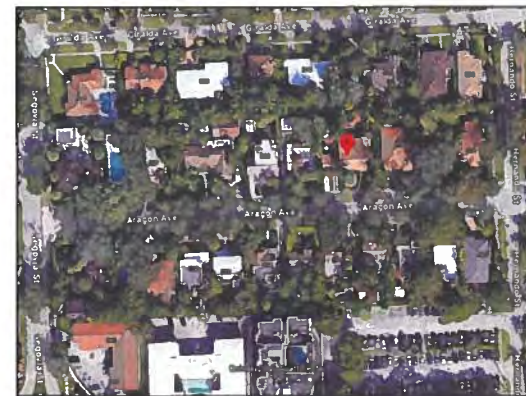
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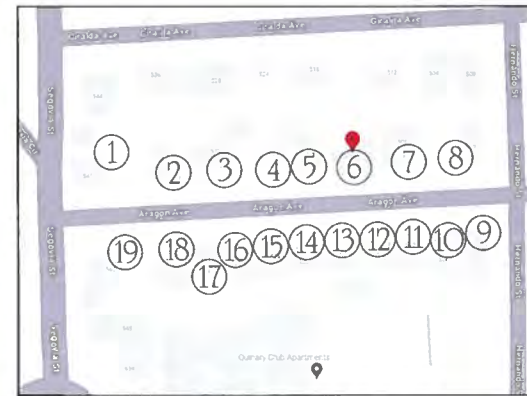
18 536 ARAGON AVE



19 540 ARAGON AVE



A MAP AERIAL



B LOCATION

Description
Neighborhood Pictures

Scale: N.T.S.

Owner
Patel Residence
Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134

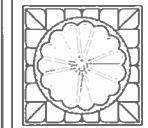


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Phone: 305-639-6998 alvarez@cm-miami.com



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Number
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1 SOUTH ELEVATION



2 SOUTH ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION



5 NORTH ELEVATION



6 NORTH ELEVATION



7 NORTH - WEST ELEVATION



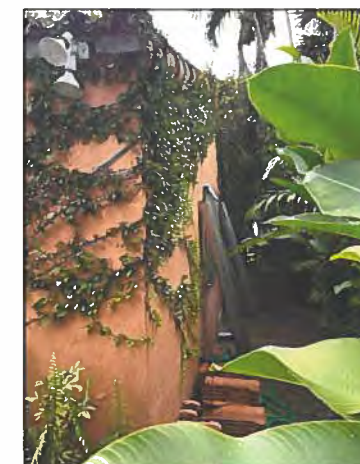
8 WEST ELEVATION



9 NORTH - WEST ELEVATION



10 NORTH ELEVATION



11 WEST ELEVATION

Description

Subject Pictures

Scale: N.T.S.

Client

Patel Residence Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134



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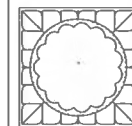
MARTINEZ ALVAREZ

Architecture
A 26002213

221 S.W. 4th Terrace
Miami, Florida 33129
U.S.A.

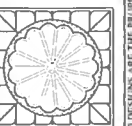
Phone: 305-643-6948

alvarez@ca-mart.com



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Description

Microfilm

Scale: N.T.S.

Patel Residence Addition & Renovation

517 Aragon Ave
Coral Gables, Fl. 33134



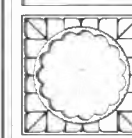
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MIAMI, FL 33137
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DESIGN ARCHITECT

MARTINEZ ALVAREZ

Architecture
M 26002213

210 SW 4th Terrace
Suite 1000 33201
USA



11 / 20 / 2023

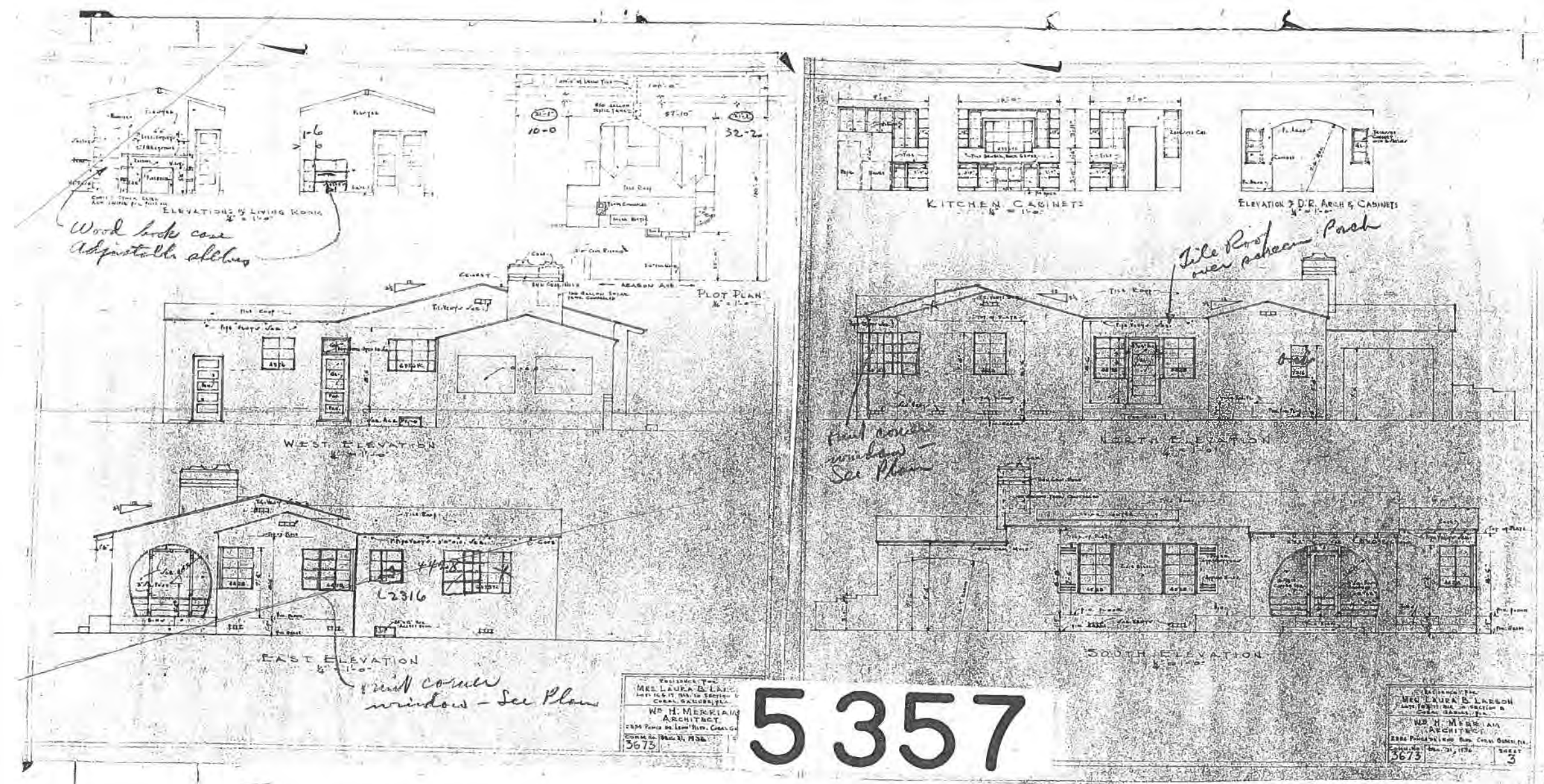
AD 92749
AA 26002213

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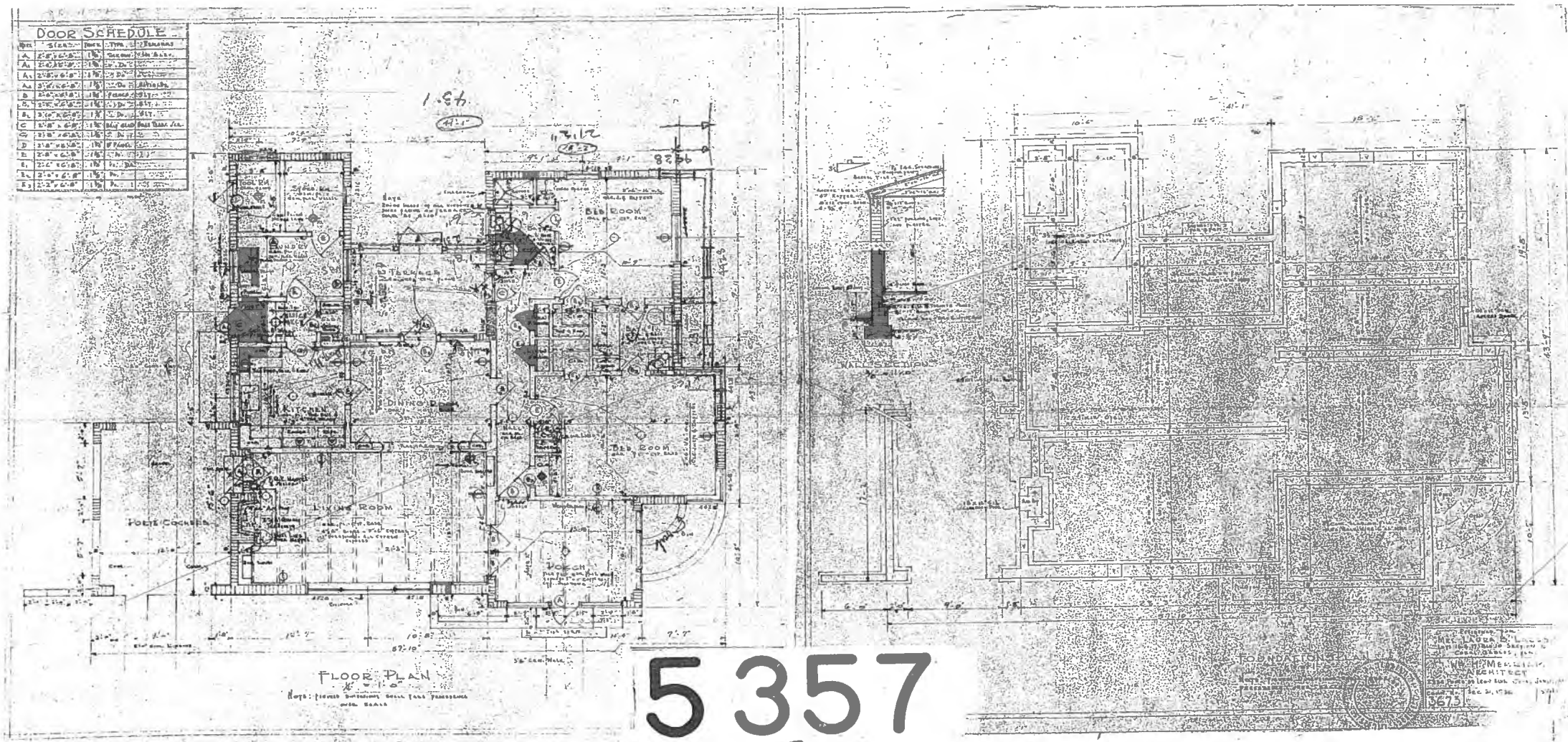
Revision:

Sheet:

A
Number:
6.0



Microfilm For Reference Only
Scale: N.T.S.



NO.	SYMBOL	DOOR	TYPE	REMARKS
A	1/2"	1/2"	1/2"	1/2"
B	1/2"	1/2"	1/2"	1/2"
C	1/2"	1/2"	1/2"	1/2"
D	1/2"	1/2"	1/2"	1/2"
E	1/2"	1/2"	1/2"	1/2"
F	1/2"	1/2"	1/2"	1/2"
G	1/2"	1/2"	1/2"	1/2"
H	1/2"	1/2"	1/2"	1/2"
I	1/2"	1/2"	1/2"	1/2"
J	1/2"	1/2"	1/2"	1/2"
K	1/2"	1/2"	1/2"	1/2"
L	1/2"	1/2"	1/2"	1/2"
M	1/2"	1/2"	1/2"	1/2"
N	1/2"	1/2"	1/2"	1/2"
O	1/2"	1/2"	1/2"	1/2"
P	1/2"	1/2"	1/2"	1/2"
Q	1/2"	1/2"	1/2"	1/2"
R	1/2"	1/2"	1/2"	1/2"
S	1/2"	1/2"	1/2"	1/2"
T	1/2"	1/2"	1/2"	1/2"
U	1/2"	1/2"	1/2"	1/2"
V	1/2"	1/2"	1/2"	1/2"
W	1/2"	1/2"	1/2"	1/2"
X	1/2"	1/2"	1/2"	1/2"
Y	1/2"	1/2"	1/2"	1/2"
Z	1/2"	1/2"	1/2"	1/2"

5357

Microfilm For Reference Only
Scale: N.T.S.

Description
Microfilm

Scale: N.T.S.

Owner
Patel Residence
Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134

DEFORMASTUDIO

ARCHITECT OF RECORD:
DEFORMA STUDIO INC.
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DESIGN ARCHITECT
MARTINEZ
ALVAREZ

Architecture
AA 26002213
221 W. 4th Terrace
Miami, FL 33134
U.S.A.

DATE: 10-10-2023 email: mvalvarez@cm-martinez.com

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Submitted BOA & Historic Preservation Board	Revisions	Sheet: A Number: 6.1

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Location Sketch N.T.S.

Sheet 1 of 2



PROPERTY ADDRESS:
517 Aragon Avenue
Coral Gables, Florida 33134

SURVEYOR NOTES:

- #1 Lands Shown Hereon were not abstracted for Easement and/or Right of Way Records.
#2 Benchmark: Miami-Dade County Public Works Dep. BM Loc. 4152 F., Name P-712; Elev. +9.63'
#3 Bearings as Shown hereon are Based upon: Aragon Avenue, N89°05'18"E
#4 Please See Abbreviations
#5 Survey is incomplete Without Sheet 2 of 2
#6 Drawn By: A. Torres Date: 9-7-2022
#7 Complete Field Survey Date: 9-6-2022
#8 Disc No 2022, Station Surveying Section
#9 Last Revised
#10 Legal Description Furnished by client.
#11 This Certification is only for the lands as described.
#12 There may be additional Restrictions not shown on this survey that may be found in the Public Records of Miami-Dade County, examination of ABSTRACT OF TITLE will have to be made to determine record instruments, if any, affecting this property.
#13 ACCURACY: The expected use of the land, as classified in the Standard of Practice (SI-17.052), is "Residential". The Minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
#14 Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
#15 Not Valid without one signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
#16 Contact the appropriate authority prior to any design work on information.
#17 Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described.
#18 Ownership Subject to OPINION OF TITLE
#19 The location of the Flood Zone lines shown hereon are an approximate, based on the FEMA flood maps website. Confirmation of said Flood Zone lines location must be made with FEMA prior to any design.

ABBREVIATIONS

- A - ANGLE DISTANCE
AV - VERTICAL ANGLE
AB - ABUTMENT
AC - CURVATURE
AD - DISTANCE
AE - ELEVATION
AF - FLOOR FINISH
AG - GRADE FINISH
AH - HORIZONTAL ANGLE
AI - INTERSECTION
AJ - JUNCTION
AK - KNOT POINT
AL - LEGAL DESCRIPTION
AM - MAPPING POINT
AN - NORTH POINT
AO - OFFSET
AP - PERMANENT CONTROL POINT
AQ - QUANTITY
AR - RESIDUAL
AS - SURFACE
AT - TANGENT
AU - UTILITY
AV - VERTICAL ANGLE
AW - WATER MAIN
AX - CROSSING
AY - YARD
AZ - ZONE
BA - BRICK
BB - BRICK WALL
BC - BRICK CURB
BD - BRICK DRIVEWAY
BE - BRICK EAVES
BF - BRICK FOUNDATION
BG - BRICK GROUND
BH - BRICK HATCH
BI - BRICK INTERIOR
BJ - BRICK JUNCTION
BK - BRICK KITCHEN
BL - BRICK LATHING
BM - BRICK MASONRY
BN - BRICK NORTH
BO - BRICK OUTLET
BP - BRICK PAVEMENT
BQ - BRICK QUARTER
BR - BRICK ROOF
BS - BRICK SILL
BT - BRICK TIE
BU - BRICK UNDERLAY
BV - BRICK VENT
BW - BRICK WALL
BX - BRICK XING
BY - BRICK YARD
BZ - BRICK ZONE
CA - CONCRETE
CB - CONCRETE BRICK
CC - CONCRETE CURB
CD - CONCRETE DRIVEWAY
CE - CONCRETE EAVES
CF - CONCRETE FOUNDATION
CG - CONCRETE GROUND
CH - CONCRETE HATCH
CI - CONCRETE INTERIOR
CJ - CONCRETE JUNCTION
CK - CONCRETE KITCHEN
CL - CONCRETE LATHING
CM - CONCRETE MASONRY
CN - CONCRETE NORTH
CO - CONCRETE OUTLET
CP - CONCRETE PAVEMENT
CQ - CONCRETE QUARTER
CR - CONCRETE ROOF
CS - CONCRETE SILL
CT - CONCRETE TIE
CU - CONCRETE UNDERLAY
CV - CONCRETE VENT
CW - CONCRETE WALL
CX - CONCRETE XING
CY - CONCRETE YARD
CZ - CONCRETE ZONE
DA - DRAINAGE
DB - DRAINAGE BRICK
DC - DRAINAGE CURB
DD - DRAINAGE DRIVEWAY
DE - DRAINAGE EAVES
DF - DRAINAGE FOUNDATION
DG - DRAINAGE GROUND
DH - DRAINAGE HATCH
DI - DRAINAGE INTERIOR
DJ - DRAINAGE JUNCTION
DK - DRAINAGE KITCHEN
DL - DRAINAGE LATHING
DM - DRAINAGE MASONRY
DN - DRAINAGE NORTH
DO - DRAINAGE OUTLET
DP - DRAINAGE PAVEMENT
DQ - DRAINAGE QUARTER
DR - DRAINAGE ROOF
DS - DRAINAGE SILL
DT - DRAINAGE TIE
DU - DRAINAGE UNDERLAY
DV - DRAINAGE VENT
DW - DRAINAGE WALL
DX - DRAINAGE XING
DY - DRAINAGE YARD
DZ - DRAINAGE ZONE
EA - EAVES
EB - EAVES BRICK
EC - EAVES CURB
ED - EAVES DRIVEWAY
EE - EAVES EAVES
EF - EAVES FOUNDATION
EG - EAVES GROUND
EH - EAVES HATCH
EI - EAVES INTERIOR
EJ - EAVES JUNCTION
EK - EAVES KITCHEN
EL - EAVES LATHING
EM - EAVES MASONRY
EN - EAVES NORTH
EO - EAVES OUTLET
EP - EAVES PAVEMENT
EQ - EAVES QUARTER
ER - EAVES ROOF
ES - EAVES SILL
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EU - EAVES UNDERLAY
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EY - EAVES YARD
EZ - EAVES ZONE
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FB - FOUNDATION BRICK
FC - FOUNDATION CURB
FD - FOUNDATION DRIVEWAY
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FG - FOUNDATION GROUND
FH - FOUNDATION HATCH
FI - FOUNDATION INTERIOR
FJ - FOUNDATION JUNCTION
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FM - FOUNDATION MASONRY
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RV - ROAD VENT
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RZ - ROAD ZONE
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SB - SIDEWALK BRICK
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ZX - ZONE XING
ZY - ZONE YARD
ZZ - ZONE ZONE

ELEVATION INFORMATION

National Flood Insurance Program
FEMA Elev. Reference to NGVD 1929
Comm Panel 120639
Panel # 0294
Firm Zone: "X"
Date of Firm: 09-11-2009
Base Flood Elev. N/A
F.Floor Elev. 13.65'
Garage Elev. 11.65'
Suffix: "L"
Elev. Reference to NGVD 1929

CERTIFIED ONLY TO:

Patricia F. Parham

LEGAL DESCRIPTION:

Lot 17, and the West 36.40 feet of Lot 16, Block 10, of: "CORAL GABLES SECTION B", according to the Plat Thereof as Recorded in Plat Book 5, Page 111, of the Public Records of Miami-Dade County, Florida.

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter SJ-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
A: That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations shown hereon.

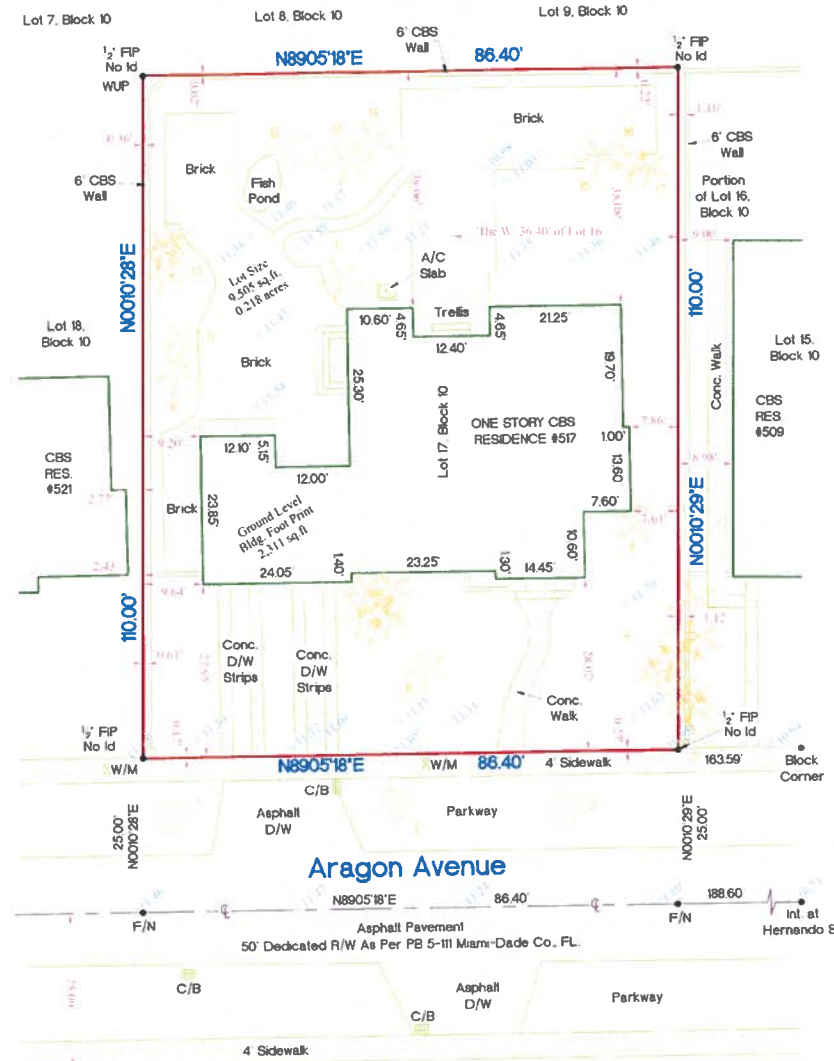
Professional Land Surveyors and Mappers LB #7498
13050 S.W. 133rd Court, Miami, Florida 33186
Email: afuco@bellsouth.net
Ph.: 305-234-0588

Armando F. Alvarez
Professional Surveyor & Mapper #5526
State of Florida
Not Valid unless Signed & Stamped with Embossed Seal

JOB # 22-989
DATE 09-07-2022
PB 5-111

Boundary Survey

Sheet 2 of 2



- TREE LEGEND:
1 Oak D=0.75, H=25, SP=20
2 Tree D=10, H=25, SP=20
3 Oak D=12, H=40, SP=30
4 (9) Christmas Palm D=0.30, H=30, SP=6
5 Christmas Palm D=0.30, H=30, SP=6
6 Canary Date Palm D=15, H=55, SP=15
7 (5) Christmas Palm D=0.75, H=35, SP=6
8 Coconut Palm D=10, H=40, SP=15
9 Coconut Palm D=10, H=40, SP=15
10 (3) Christmas Palm D=0.45, H=50, SP=10
11 Royal Palm D=13, H=60, SP=15
12 Almond Tree D=13, H=50, SP=20
13 Christmas Palm D=0.30, H=50, SP=20
14 Christmas Palm D=0.30, H=50, SP=20
15 Royal Palm D=13, H=60, SP=15
16 Christmas Palm D=0.35, H=50, SP=8
17 Christmas Palm D=0.35, H=50, SP=8

The sketch hereon is a true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations shown hereon.
Armando F. Alvarez
Professional Surveyor & Mapper #5526
State of Florida
Not Valid unless Signed & Stamped with Embossed Seal

JOB # 22-989
DATE 09-07-2022
PB 5-111

Surveyor Notes:
Survey is incomplete without sheet 1 of 2
Scale of Drawing 1"=20'
Drawn By: A. Torres Date: 9-7-2022
Completed Field Survey Date: 9-6-2022
APA & COMPANY, INC. LB #7498
Professional Land Surveyors and Mappers
13050 SW 133rd CT Miami, Florida 33186
PH: 305-234-0588

APA & Company, Inc.
Land Surveyors

Description

Survey

Scale: 1" = 10'

Owner

Patel Residence
Addition & Renovation

517 Aragon Ave
Coral Gables, FL 33134

DEFORMASTUDIO

ARCHITECT OF RECORD:
DEFORMA STUDIO INC.
5555 BISCAYNE BLVD., SUITE 2 SW
MIAMI, FL 33137
T: 305 639 3953
F: 305 639 2054
E: INFO@DEFORMASTUDIO.COM
W: WWW.DEFORMASTUDIO.COM

DESIGN ARCHITECT
MARTINEZ
ALVAREZ

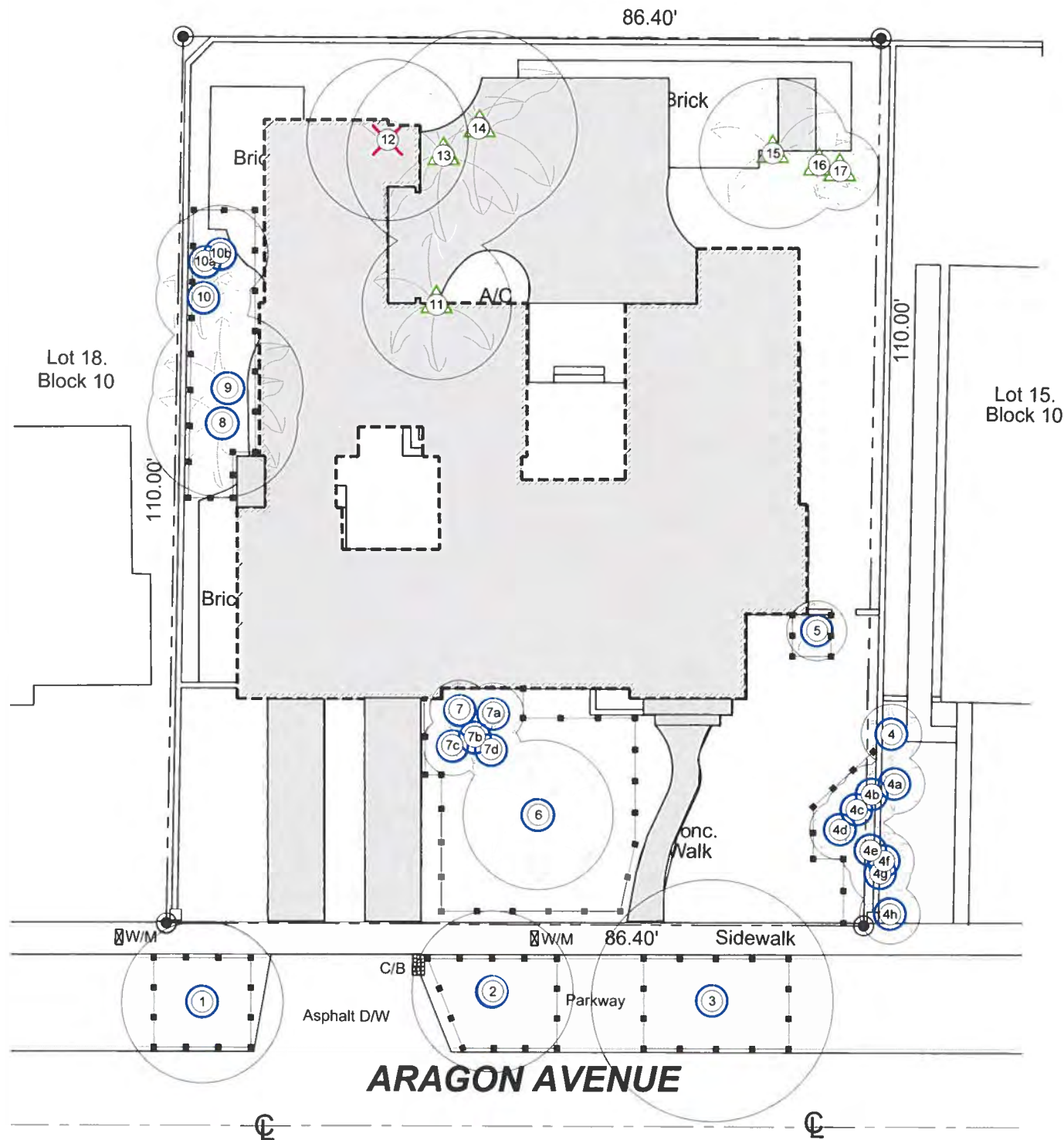
Architecture
AA 26002213
221 S.W. 4th Terrace
Miami, Florida 33132
U.S.A.

Phone: 305-639-6938

alvarez@deforma.com

11/20/2023
AR 92749
AA 26002213

Submitted BOA & Historic Preservation Board
Revisions:
Sheet: A
Number: 7.0

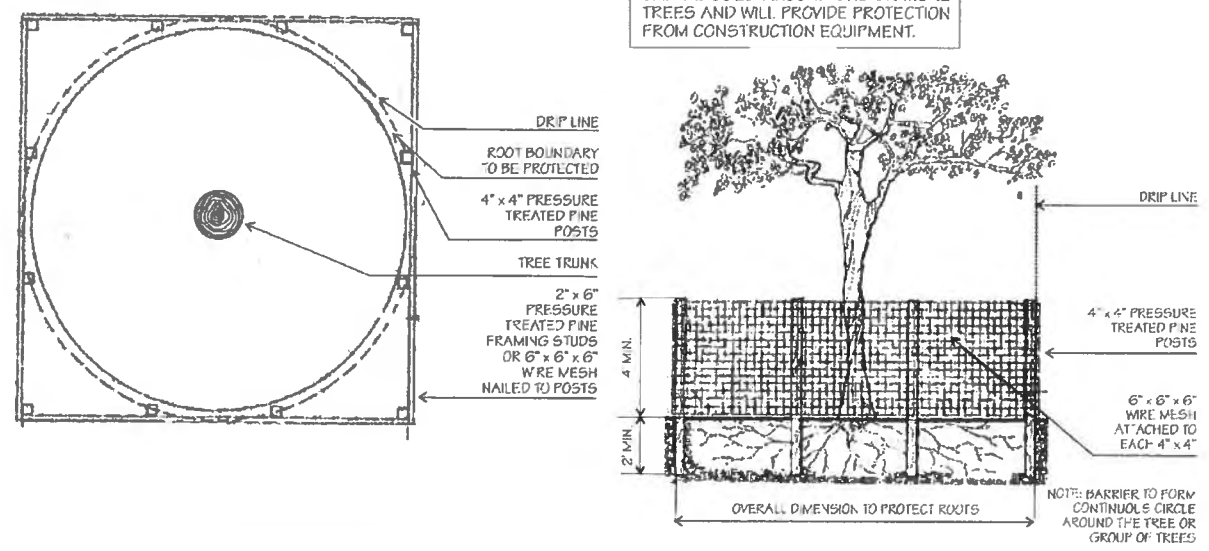


No.	Common Name	Scientific Name	Diameter (in)	Height (ft)	Spread (ft)	Condition	Disposition	Comments
1	Live oak	Quercus virginiana	9	25	20	Fair	Remove	
2	Live oak	Quercus virginiana	12	25	20	Fair	Transplant	
3	Live oak	Quercus virginiana	14	40	30	Fair	Remain	
4	Christmas palm	Veitchia merrii	5+4+4+4+4	30	8	Fair	Remain	Cluster (9)
5	Christmas palm	Veitchia merrii	4	30	6	Fair	Remove	
6	Canary Island Date palm	Phoenix canariensis	18	55	15	Fair	Remove	
7	Christmas palm	Veitchia merrii	9+9+9+9+9	35	8	Fair	Remove	Cluster (5)
8	Coconut palm	Cocos nucifera	12	40	15	Fair	Transplant	
9	Coconut palm	Cocos nucifera	12	40	15	Fair	Remain	
10	Christmas palm	Veitchia merrii	5+5+5	50	10	Fair	Remain	Cluster (3)
11	Royal palm	Roystonea elata	16	50	15	Fair	Relocate	
12	Almond tree	Terminalia catappa	18	50	20	Fair	Remove	Prohibited landscaping plants for Dade County
13	Christmas palm	Veitchia merrii	4	50	20	Fair	Relocate	
14	Christmas palm	Veitchia merrii	4	50	20	Fair	Relocate	
15	Royal palm	Roystonea elata	7	55	15	Fair	Relocate	
16	Christmas palm	Veitchia merrii	4	16	8	Fair	Relocate	
17	Christmas palm	Veitchia merrii	4	22	8	Fair	Relocate	

- Before beginning work, the General Contractor and Landscape Contractor is required to meet at the site with the Landscape Architect to review all work procedures, access routes, storage areas, and tree and palm protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. The trimming shall be as per the ANSI A-300 Standards.
- The General Contractor shall erect fences to protect trees or palms to be preserved as per Tree Protection Detail 05A, 101 and Tree Disposition Plan L-100. Fences define a specific protection zone for each tree or to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect.
- Construction trailers, traffic, and storage areas must remain outside fenced areas at all times.
- All underground utilities and drains or irrigation lines shall be located outside the tree or palm protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree or palm protection zone (fenced area).
- Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect as soon as possible for evaluation so that appropriate treatments can be applied.
- The General Contractor shall notify the Landscape Architect of any grading, construction, demolition, or other work that is expected to encounter tree or palm roots.
- All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree or palm protection zone 2-3 gallons of water per inch of trunk caliper.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree and palm protection zone.
- Before grading pad preparation or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 30 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements or other excavations shall not be placed within the tree protection zone either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources or smoking is allowed near mulch or trees.

TREE PROTECTION NOTES

IT IS CRITICAL TO EXISTING TREE SURVIVAL TO PROVIDE PROTECTION DURING CONSTRUCTION. THIS DETAIL CAN BE USED AROUND ONE OR MORE TREES AND WILL PROVIDE PROTECTION FROM CONSTRUCTION EQUIPMENT.



TREE DISPOSITION LEGEND	
	Existing tree or palm to be transplanted
	Existing tree or palm to be removed
	Existing tree and palm to remain in their existing location and be protected during construction, no construction or excavation shall be permitted within the dripline of the trees
	LIMITS OF EXISTING TREE & PALM PROTECTION ZONE
	PROPOSED BUILDING & PAVED AREAS
	Tree / Palm

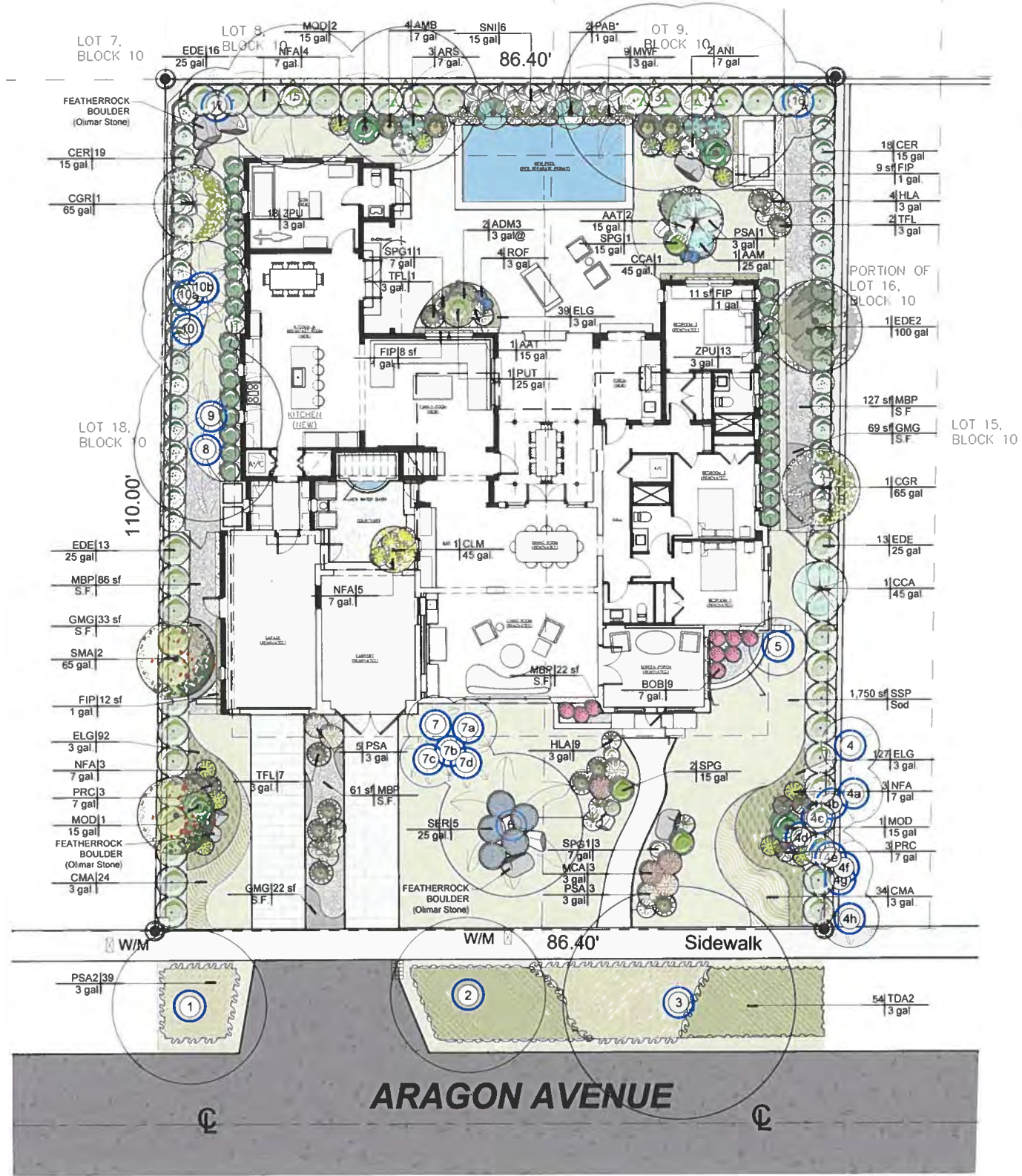
ALL LANDSCAPE DATA INC.
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 (305) 303 7059 / 4459 NW 97 CT.
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DERICK LANGEL
 Landscape Architect LA669705

REVISIONS

PROJECT NAME
RESIDENCE
 517 Aragon Avenue
 Coral Gables, Florida 33134

Drawing Size: 24x36
 Project #: 2023-11-130-517
 Drawn By: J.A.
 Checked By: D.L.
 Title: EXISTING TREE DISPOSITION PLAN
 Sheet Number: **L-100**
 Date: December 3, 2023
Sunshine State 811
 One Call of Florida, Inc.



No.	Common Name	Scientific Name
1	Live oak	Quercus virginiana
2	Live oak	Quercus virginiana
3	Live oak	Quercus virginiana
4	Christmas palm	Veitchia merrillii
5	Christmas palm	Veitchia merrillii
6	Canary Island Date palm	Phoenix canariensis
7	Christmas palm	Veitchia merrillii
8	Coconut palm	Cocos nucifera
9	Coconut palm	Cocos nucifera
10	Christmas palm	Veitchia merrillii
11	Royal palm	Royalstonia elata
12	Almond tree	Terminalia catappa
13	Christmas palm	Veitchia merrillii
14	Christmas palm	Veitchia merrillii
15	Royal palm	Royalstonia elata
16	Christmas palm	Veitchia merrillii
17	Christmas palm	Veitchia merrillii

CITY OF CORAL GABLES (2-DISTRICT SRF - Single Family) LANDSCAPE ORDINANCE (REQUIRED VS. PROVIDED)				
Miami-Dade County Ordinance				
RIGHT-OF-WAY PLANTING				
MINIMUM NUMBER OF TREES				
Shrubs to be provided along all roadways at a maximum average spacing of thirty (30') feet on center				
Length of all roadways: 86.40 feet (Aragon Avenue) / 35 feet = 2.4				
Street Trees Required: 3				
Street Trees Provided: 3 (Existing Trees)				
MINIMUM NUMBER OF SHRUBS				
	Number of Shrubs (15 shrubs per linear foot of the ROW)	30% Natives	50% Low Maintenance & Drought Tolerant	80% Listed in the Miami-Dade Landscape Manual
REQUIRED	37	26	44	70
PROVIDED	93	54	93	93
LOT PLANTING				
The minimum number of required trees, in addition to street trees				
1 tree per each 5,000 s.f. @ 504 s.f. = 9 Trees				
Trees Required: 2				
Trees Provided: 5 (Proposed trees)				
MINIMUM NUMBER OF SHRUBS				
	Number of Shrubs (15 shrubs per each 5,000 s.f.)	30% Natives	50% Low Maintenance & Drought Tolerant	80% Listed in the Miami-Dade Landscape Manual
REQUIRED	29	9	15	23
PROVIDED	226	115	111	170
Shrubs (65% of the required) in front of residence required: 44 Provided: 93				
Lawn grass up to a maximum of 60% of the total lot area Required: 5,702 s.f. Provided: 1,749 s.f.				
25% LANDSCAPE OPEN SPACE CALCULATION				
Required: 2,376 s.f.				
25% of lot area Lot area @ 504 s.f. x 25% = 2,376 s.f.				
Provided: 4,789 s.f.				

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME
TREES		
CGR	Caesalpinia granadillo	Bridal Veil Tree
EDE2	Elaeocarpus decipiens	Japanese Blueberry Tree
SMA	Sweetenia mahagoni	Mahogany
FRUIT TREES		
CUM	Citrus x meyer	Meyer Lemon
PALM TREES		
CCA	Coconut palm argentea	Florida Silver Palm
SHRUBS		
AAM	Agave americana 'Super Blue'	Century Plant Blue
AAT	Agave attenuata	Foxtail Agave
AMB	Alocasia macrorrhiza Black Stem	Giant Elephant's Ear
ARS	Alocasia x Regal Shields	Regal Shields Alocasia
ADM3	Asparagus densiflorus Myers	Myers Asparagus
ANI	Asplenium nidus	Birds Of Paradise Nest Fern
BOB	Bougainvillea Barbara Karst	Bougainvillea
EDE	Elaeocarpus decipiens	Japanese Blueberry
HLA	Hymenocallis latifolia	Spider Lily
MWF	Microsorium scolopendria	Wart Fern
MOD	Monstera deliciosa	Ceriman
MCA	Muhlenbergia capillaris	Pink Muhly Grass
NFA	Nephrolepis biserrata	Macho Fern
PSA	Pennisetum setaceum Alba	White Leaved Fountain Grass
PRC	Philodendron x Rojo Congo	Rogo Congo Philodendron
PAB*	Phlebodium aureum Blue Star	Blue Star Fern
ROF	Rosmannia officinalis	Rosemary
SER	Serenoa repens Cinerea	Saw Palmetto
SPG	Syzygium paniculatum Globulus	Eugenia Globulus - Topiary Sphere
SPG1	Syzygium paniculatum Globulus	Eugenia Globulus - Topiary Sphere
TFL	Tripsacum dactyloides	Florida Gamagrass
ZPU	Zamia pumila	Coontie
LARGE SHRUBS		
CER	Cococarpus erectus	Green Buttonwood
PUT	Pandanus utilis	Screw Pine
ACCENTS		
SNI	Streptocarpus	White Bird of Paradise
SHRUB AREAS		
PSA2	Pennisetum setaceum Alba	White Leaved Fountain Grass
TDA2	Tripsacum dactyloides	Fakahatchee Grass
GROUND COVERS		
CMA	Carrisa macrocarpa Emerald Blanket	Emerald Blanket Natal Plum
ELG	Ernodea litoralis	Golden Creeper
FIP	Ficus pumila	Creeeping Fig
AGGREGATES		
GMG	Gray Marble Gravel 1/2"	1/2" Grey Marble Gravel
MBP	Mexican Black Pebbles	Black Pebbles
SOD/SEED		
SSP	Stenotaphrum secundatum Palmetto	Palmetto St. Augustine Grass



EXISTING TREE LEGEND	
	The Existing trees or palms transplanted new location
	The Existing trees and palms that remained in their original location
	Tree / Palm

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 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked
 Check positive response codes before you dig!

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DERICK LANGEL
 Landscape Architect LA668705

REVISIONS

PROJECT NAME
RESIDENCE
 517 Aragon Avenue
 Coral Gables, Florida 33134

SHEET INFORMATION

Drawing Size: 24x36
 Project #: 2023-11-130-517
 Drawn By: LA
 Checked By: DL
 Title: LANDSCAPE PLAN GROUND FLOOR
 Sheet Number: L-200
 Date: December 3, 2023

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 of Florida, Inc.



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	CANOPY
TREES								
CGR	2	Caesalpinia granadillo	Bridal Veil Tree	65 gal	2'-3'	12-14 OA	6-8	10'
EDE2	1	Elaeocarpus decipiens	Japanese Blueberry Tree	100 gal	4'-6'	12-14 OA	6-8	12'
SMA	2	Swietenia mahagoni	Mahogany	65 gal	3"	14-16	8	10'
FRUIT TREES								
CLM	1	Citrus x meyeri	Meyer Lemon	45 gal	2.5'	6-8 OA	5	6'
PALM TREES								
CCA	2	Coccothrinax argentea	Florida Silver Palm	45 gal		6-10	3-4	7'

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	SPACING
SHRUBS							
AAM	1	Agave americana 'Super Blue'	Century Plant Blue	25 gal	3'	3'	48" o.c.
AAT	3	Agave attenuata	Foxtail Agave	15 gal	2.5' OA	2.5'	30" o.c.
AMB	4	Alocasia macrorrhiza 'Blarik Stem'	Giant Elephant's Ear	7 gal	4'	3'	36" o.c.
ARS	3	Alocasia x Regal Shields	Regal Shields Alocasia	7 gal	3'-4'		36" o.c.
ADM3	2	Asparagus densiflorus 'Myers'	Myers Asparagus	3 gal @	1'	1'	48" o.c.
ANI	2	Asplenium nidus	Birds Of Paradise - Nest Fern	7 gal	3'-4'	3'	36" o.c.
BOB	9	Bougainvillea 'Barbara Karst'	Bougainvillea	7 gal	2' OA	1.5'	24" o.c.
EDE	42	Elaeocarpus decipiens	Japanese Blueberry	25 gal	7' OA	4'	48" o.c.
HLA	14	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'	30" o.c.
MWF	9	Microsorium scolopendria	Wart Fern	3 gal	2'	2.5'	30" o.c.
MOD	4	Monstera deliciosa	Ceriman	15 gal	4-5'	4'	48" o.c.
MCA	3	Muhlenbergia capillaris	Pink Muhly Grass	3 gal	2'	2'	36" o.c.
NFA	15	Nephrolepis biserrata	Macho Fern	7 gal	3'	2'	30" o.c.
PSA	6	Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3 gal	2'	2'	36" o.c.
PRC	6	Philodendron x 'Rogo Congo'	Rogo Congo Philodendron	7 gal	3'	2.5'	30" o.c.
PAB*	2	Phlebodium aureum 'Blue Star'	Blue Star Fern	1 gal			48" o.c.
ROF	4	Rosmarinus officinalis	Rosemary	3 gal	1.0'	1.25'	18" o.c.
SER	5	Scaevola taccada	Saw Palmetto	25 gal	3'	3'	42" o.c.
SPG	3	Syzygium paniculatum	Eugenia Globulus Topary Sphere	15 gal	3'	3'	36" o.c.
SPG1	4	Syzygium paniculatum	Eugenia Globulus Topary Sphere	7 gal	2'	2'	24" o.c.
TFL	10	Tripsacum dactyloides	Florida Gamagrass	3 gal	2'	2'	36" o.c.
ZPU	31	Zamia pumila	Coontie	3 gal	2'	2'	30" o.c.

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
LARGE SHRUBS							
CER	37	Conocarpus erectus	Green Buttonwood	15 gal	6'-7' OA	3'	36" o.c.
PUT	1	Pandanus utilis	Screw Pine	25 gal	2.5'	10' OA	54" o.c.

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
ACCENTS							
SNI	6	Streptocarpus	White Bird of Paradise	15 gal	4-5'	4'	48" o.c.

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
SHRUB AREAS							
PSA2	39	Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3 gal	3'	2.5'	30" o.c.
TDA2	54	Tripsacum dactyloides	Fakahatchee Grass	3 gal	3'	2.5'	30" o.c.

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
GROUND COVERS							
CMA	58	Carissa macrocarpa	Emerald Blanket Natal Plum	3 gal	1'	1.5'	18" o.c.
ELG	258	Erodium cicutarium	Golden Creeper	3 gal			9" o.c.
FIP	40 sf	Ficus pumila	Creeping Fig	1 gal			

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
AGGREGATES							
GMG	125 sf	Gray Marble Gravel 1/2"	1/2" Gray Marble Gravel	S.F.			
MBP	295 sf	3" Layer - Substitute for Gray Pearock #	Black Pebbles	S.F.			

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	CANOPY
SOD/SEED							
SSP	1,749 sf	Stenotaphrum secundatum	Palmetto St. Augustine Grass	Sod			

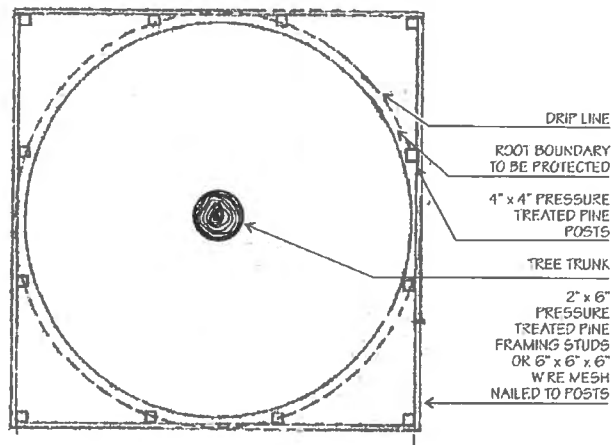
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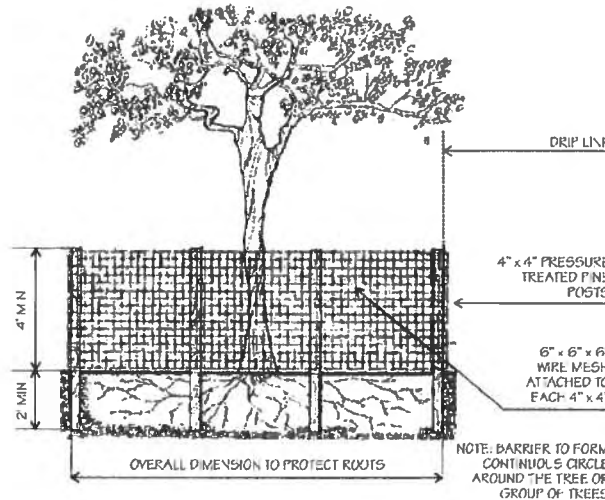
REVISIONS

PROJECT NAME
RESIDENCE
 517 Aragon Avenue
 Coral Gables, Florida 33134

SHEET INFORMATION
 Drawing Size 24x36
 Project # 2023-11-130-517
 Drawn By LA
 Checked By DL
 Title
 LANDSCAPE SCHEDULE & IMAGES
 Sheet Number
L-300
 Date - December 3, 2023
 Sunshine State One Call 811
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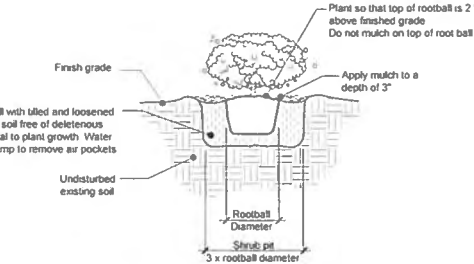
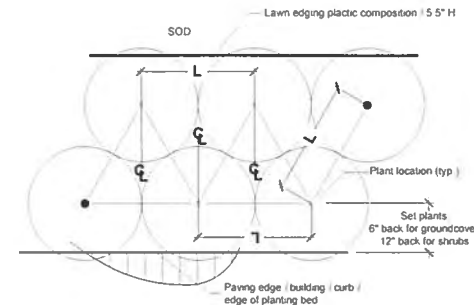


IT IS CRITICAL TO EXISTING TREE SURVIVAL TO PROVIDE PROTECTION DURING CONSTRUCTION. THIS DETAIL CAN BE USED AROUND ONE OR MORE TREES AND WILL PROVIDE PROTECTION FROM CONSTRUCTION EQUIPMENT.



- Before beginning work, the General Contractor and Landscape Contractor is required to meet at the site with the Landscape Architect to review all work procedures, access routes, storage areas, and tree and palm protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. The trimming shall be as per the ANSI A-300 Standards.
- The General Contractor shall erect fences to protect trees or palms to be preserved as per Tree Protection Detail 05A-101 and Tree Disposition Plan L-100. Fences define a specific protection zone for each tree or to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree or palm protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree or palm protection zone (fenced area).
- Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used or site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect as soon as possible for evaluation so that appropriate treatments can be applied.
- The General Contractor shall notify the Landscape Architect of any grading, construction, demolition, or other work that is expected to encounter tree or palm roots.
- All trees to remain on site shall be irrigated three times a week for the duration of construction. All each irrigation procedure shall apply to the soil area within the tree or palm protection zone 2-3 gallons of water per inch of trunk caliper.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree and palm protection zone.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots clearly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spill from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources or smoking is allowed near mulch or trees.

- Notes
- Spacing diagram refers to all planting unless noted otherwise
 - L = Spacing as called for in planting plan and plant list



TREE PROTECTION NOTES

NOTES

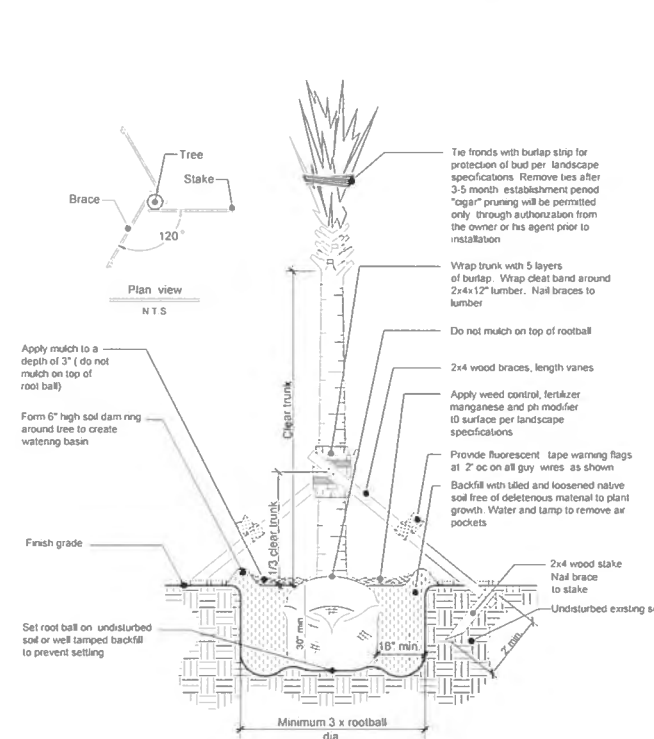
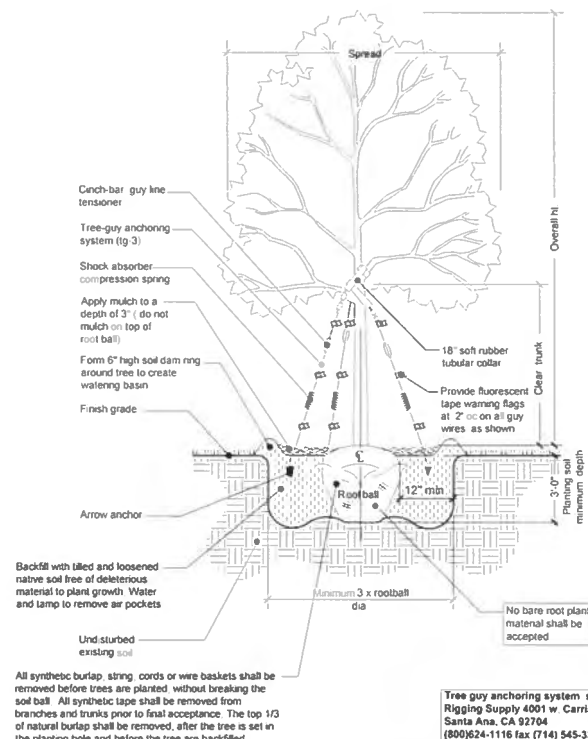
- All mechanical equipment including, but not limited to Back Flow Preventor, Pumps, Electric, Phone or Cable Boxes, Lift Stations, Etc shall be screened on 3 sides from view using an approved hedge, fence or wall.
- All light poles if any shown on plan shall be a minimum of 15' from tree locations.
- The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed landscape areas during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre-emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots. Trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine "Floritam" sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine "Floritam" sod.
- St. Augustine "Floritam" - Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6" or closer to any pavement or building, as shown on details page.
- Root barrier shall be Vespro Inc. or approved equal.



ALL LANDSCAPE DATA INC.
 Landscape Architect LA666705
 DORICK LANGE
 Landscape Architect LA666705
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