

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2015-92

A RESOLUTION AUTHORIZING ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY OF OLD CUTLER ROAD/SW 57TH AVENUE, CONSISTING OF THE CONSTRUCTION OF A NEW CBS WALL, REPLACING A PORTION OF THE EXISTING ALUMINUM FENCE ADJACENT TO GULLIVER ACADEMY, 12595 RED ROAD, CORAL GABLES, FLORIDA.

WHEREAS, Mr. John Krutulis, Registered Agent, on behalf of Gulliver Schools, Inc., Owner, has requested permission to encroach into the right-of-way with a CBS wall to replace a portion of existing aluminum fence adjacent to Gulliver Academy, 12595 Red Road, Coral Gables, Florida; and

WHEREAS, the Coral Gables City Commission passed and adopted Ordinance No. 2011-06 on March 22, 2011, authorizing certain encroachments into the right-of-ways at Campamento Drive, Old Cutler Road and Red Road; and

WHEREAS, the proposed encroachment has been reviewed and approved by the City's Board of Architects on March 5, 2015 under permit number AB-15-02-1456 ; and

WHEREAS, the proposed encroachment is part of the signage plans prepared by tgadesign, and processed under building permit number BL-15-03-4328;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES, FLORIDA:

SECTION 1. The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution upon adoption.

SECTION 2. That a request for encroachment, consisting of the construction of a CBS wall, which will replace a portion of existing aluminum fence adjacent to Gulliver Academy, located 12595 Red Road, legally described as: Lot 7, AVOCADO LAND COMPANY SUBDIVISION, located in the Southeast 1/4 of the Northeast 1/4 of Section 18, Township 55 South, Range 41 East, according to the plat hereof, recorded in Plat Book 2, at Page 44, of the Public Records of Miami-Dade County, Florida, less there from road right of way more particular described as follows:

The West 35 feet; the South 30 feet; the East 30 feet; that remaining portion lying Southwesterly of a circular curve concave Northeasterly having a radius of 25 feet, said circular curve being tangential to a line 35 feet Easterly of, and parallel to, the Westerly line of said Tract 7, and tangential to a line 30 feet Northerly of, and parallel to, the Southerly line of said Tract 7; and that remaining portion lying Southeasterly of a circular curve concave Northwesterly, having a radius of 25 feet, said circular curve being tangential to a line 30 feet Westerly of,

and parallel to, the Easterly line of said Tract 7, and tangential to a line 30 feet Northerly of, and parallel to, the Southerly line of said Tract 7; lying and being in Coral Gables, Miami-Dade County, Florida and shall be and is hereby approved, subject to the following requirements:

- a. The proposed encroachments shall conform to the Florida Building Code and all pertinent Codes.
- b. The City of Coral Gables reserves the right to remove, add, maintain, or have the Owner remove any of the improvements within the right-of-way, at Owner's expense.
- c. The Owner shall maintain the proposed encroachments in good condition at all times, at Owner's expense.
- d. In the event the Public Works Department must issue a permit for a utility cut in the future, affecting the area in which the encroachments are approved, the Owner shall replace any portion of the approved encroachment, at Owner's expense.
- e. The Owner shall meet with the City Attorney's office for the purpose of providing all the information necessary for the office to prepare a Restrictive Covenant to be executed by the Owner, which runs with the title of the property, and which states, in addition to the above mentioned requirements, that the Owner will provide Public Liability Insurance coverage for the encroachment in the minimum limits required by the City, and naming the City as an additional insured under the policy.
- f. The copies of the Restrictive Covenant, when fully executed and filed, together with certification of required insurance, shall be presented to the Development Services and Public Works Departments and permits thereafter be obtained for the work from both of these Departments.

SECTION 3. That this Resolution shall become effective upon the date of its adoption herein.

PASSED AND ADOPTED THIS SIXTEENTH DAY OF JUNE, A. D., 2015.

(Moved: Lago / Seconded: Quesada)

(Yeas: Slesnick, Keon, Lago, Quesada, Cason)

(Unanimous: 5-0 Vote)

(Agenda Item: C-2)

ATTEST:



WALTER J. FOEMAN
CITY CLERK

APPROVED:



JIM CASON
MAYOR

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:



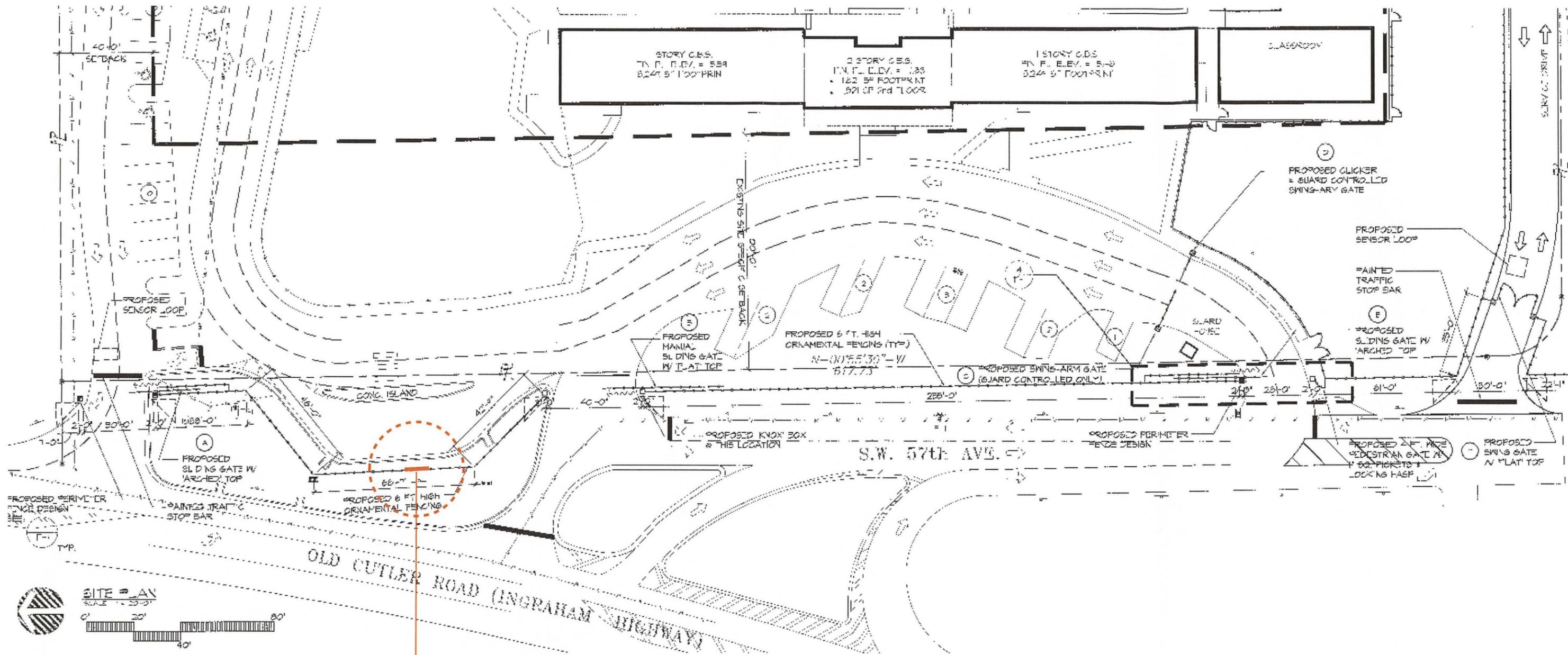
CRAIG E. LEEN
CITY ATTORNEY

P-2015-92



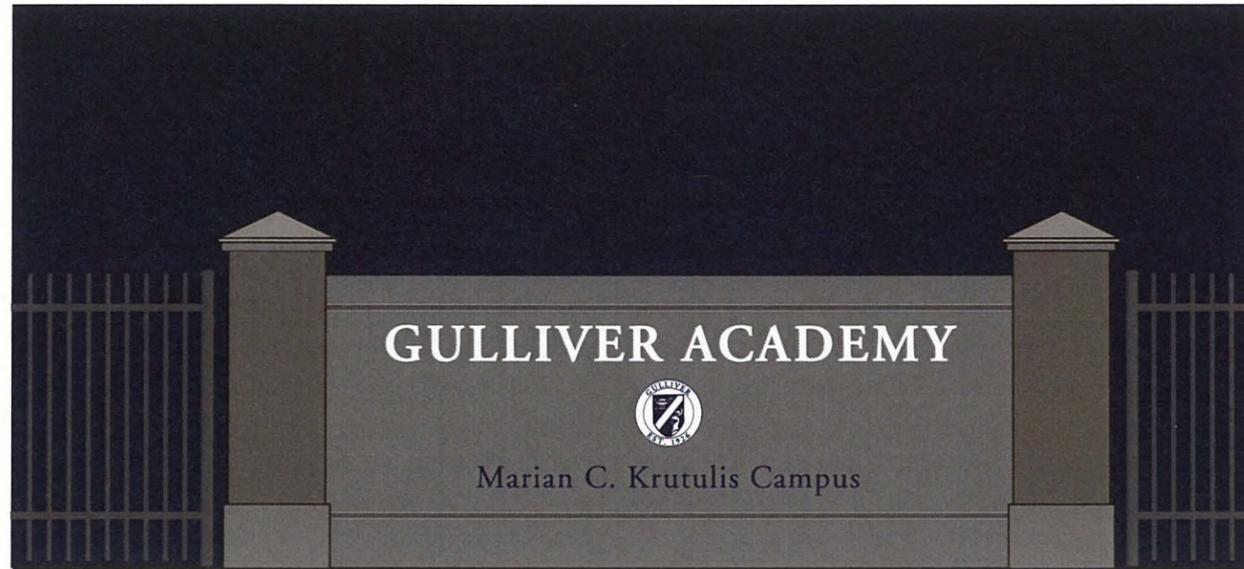
GULLIVER ACADEMY
CORAL GABLES, FL

SIG SUBMITTAL PACKAGE
2.16.15



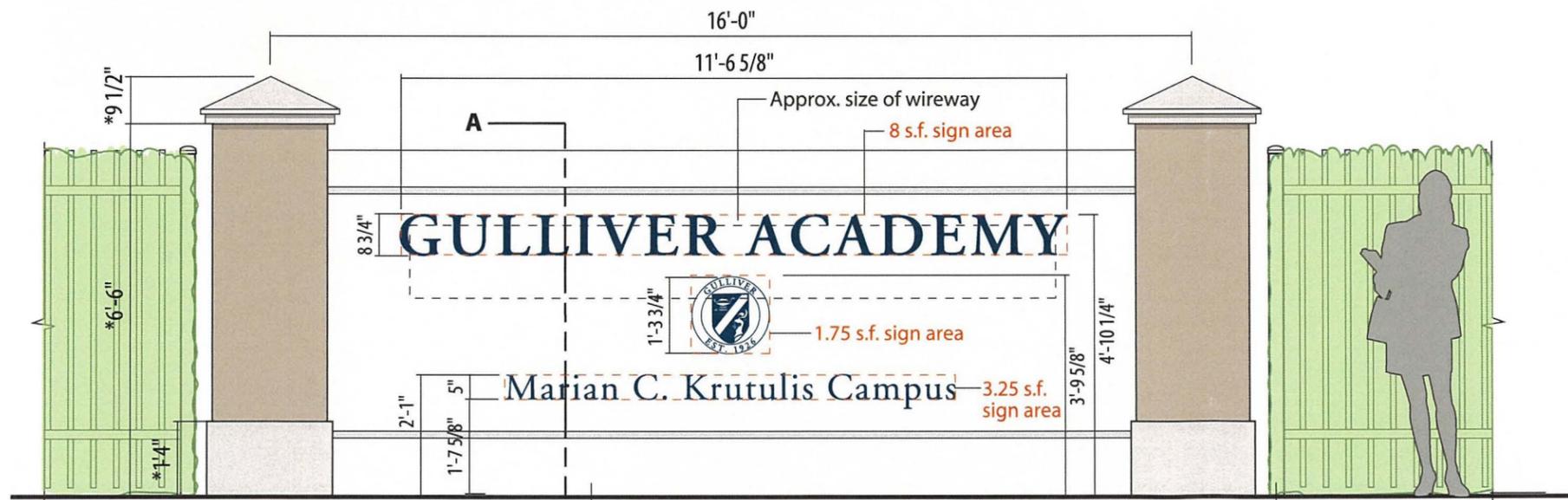
SIGN LOCATION
 SIGN STRUCTURE TO BE INTEGRATED INTO EXISTING FENCE.
 Location will be field verified w/ sign fabricator during initial meeting.

Sign Fabricator's Scope: Furnish/Install one (1) set of letters and school seal light box as shown below.



See sheet 2b for component details

Night Illumination
scale: nts



* Wall, columns, fence/shrub removal and replacement including painting to be provided in client's scope of work.

Elevation
3/8" = 1'-0"

Sign structure including columns and paint scheme NIC in sign contractor's contract. To be provided by client. Color scheme to match existing columns/caps on site. Sign background color is satin white. Painting of sign NIC in sign contractor's contract

"Gulliver" letters are 2-1/4" (D) aluminum channel letters with a "fine" perforated aluminum face. Lighting is face lit with 5500 K white LEDs.

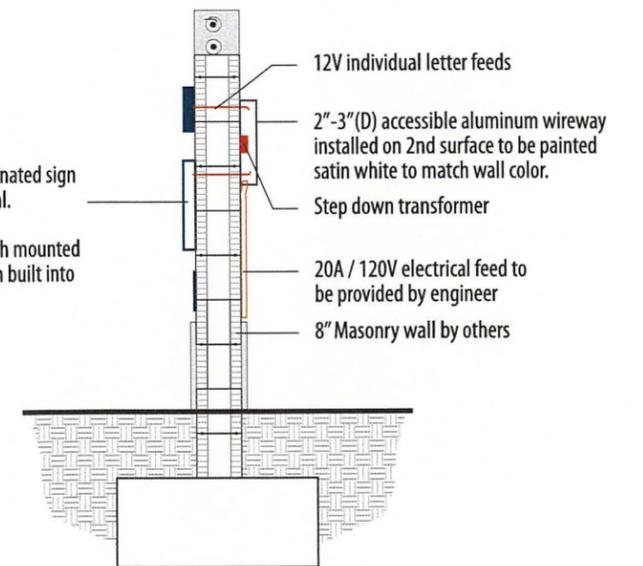
"Marian" letters are 1/2"(D) aluminum letters painted to match Gulliver Blue.

All graphics are pin mounted to wall w/ ss pins and epoxy adhesive.

Existing fence altered to accommodate new sign. Bushes removed to match image above. Client to repair fence to match approx. the image above.

2-1/4" face illuminated sign box for school seal.

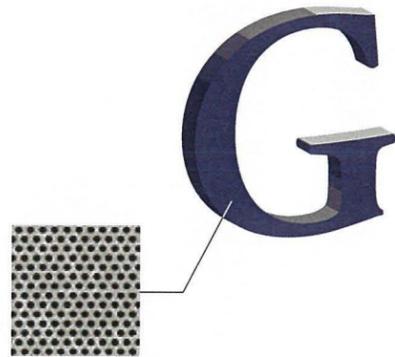
UL approved, flush mounted disconnect switch built into side of sign box



Section A-A
3/8" = 1'-0"

See sheet 2 for overall sign details

Sign fabricator to provide ALL hardware and installation services



Perforated aluminum letter faces and returns to be painted "Gulliver Blue". Illumination shall not have "hot" or "cold" spots. No Jewellite trim caps. Use clear acrylic tabs.

One working sample letter to be provided prior to sign fabrication

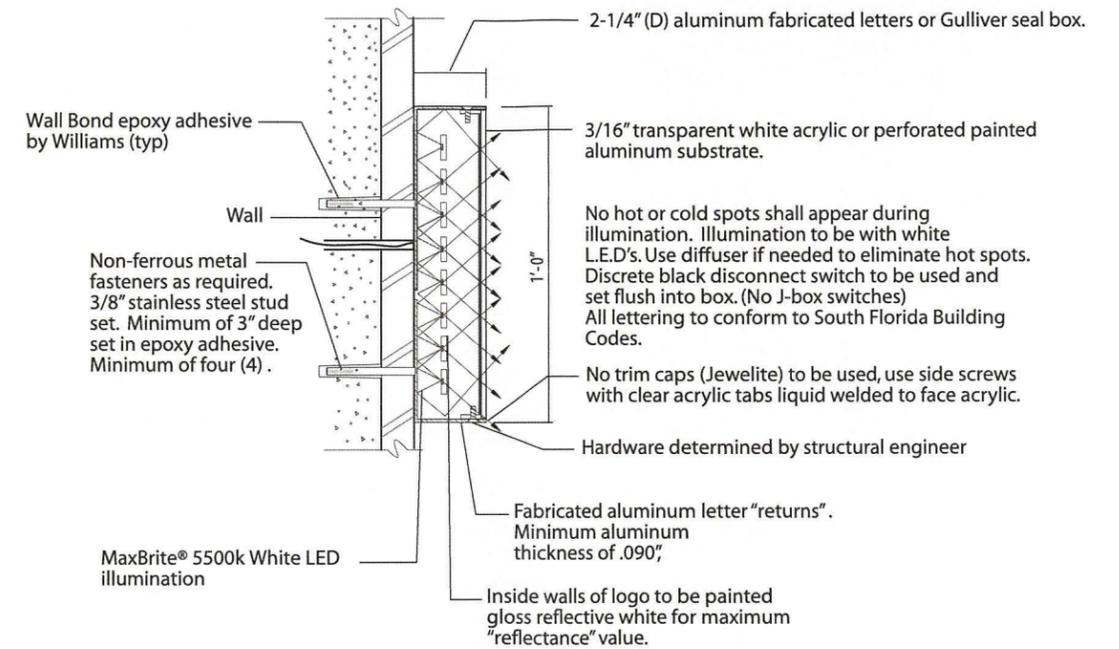


"Gulliver seal are 2-1/4" (D) aluminum sign box with a 3/16" white translucent acrylic face and satin white returns. Blue areas on sign face shall be a blue translucent vinyl to match Gulliver Blue. Lighting is front firing with white 5500 K LEDs

No Jewellite trim caps. Use clear acrylic tabs.

Client to provide 20 Amp - 110V service to wall surface

Note that LEDs fire backwards into letter or box to eliminate hot spots and provide even illumination



Gulliver Academy and Sign Box Section

Component Details

scale: nts

REVISIONS	BY

BOTAS Engineering, Inc.
 7875 SW 15th Street, Suite # 100
 Fort Lauderdale, FL 33309 414-4142
 Tel: (954) 464-2111 Fax: (954) 414-4142
 C.A. # 7808
PATRICIA M. BOTAS, P.E.
 FL. REG. NO. 18293

GULLIVER ACADEMY
MAIN SIGN
 12595 SW OLD CUTLER Rd CORAL GABLES FL 33156

DRAWN
 E.A.G.
 CHECKED

DATE
 January 2015
 SCALE
 AS SHOWN
 JOB NO.
 80423
 SHEET
S-1

GENERAL STRUCTURAL NOTES

GENERAL:

- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTIALLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.

STRUCTURAL OBSERVATIONS:

- MIAMI DADE COUNTY REQUIRES THAT THE ENGINEER-OF-RECORD SUBMIT A STATEMENT, AT THE COMPLETION OF THE CONSTRUCTION WORK, REGARDING THE COMPLIANCE OF THE WORK WITH THE APPROVED PERMIT PLANS.
- IN ORDER TO COMPLY WITH THE ABOVE, A/E MUST BE RETAINED AS THE STRUCTURAL INSPECTOR, AND NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY CONCRETE PLACING OR OTHER OPERATIONS THAT WILL CONCEAL STRUCTURAL ELEMENTS. UNLESS EVERY STRUCTURAL ELEMENT WAS ADEQUATELY OBSERVED BY THE A/E, THE A/E WILL NOT ISSUE THE REQUIRED "STATEMENT OF INSPECTION".
- IT IS UNDERSTOOD THAT A/E WILL NOT BE HELD RESPONSIBLE AND LIABLE FOR ANY OF THE CONTRACTOR'S WORK WHICH WAS NOT PROPERLY OBSERVED BY THE A/E OR FOR ANY WORK, APPROVED BY OTHER INSPECTING ENGINEER (OTHER THAN THE A/E-OF-RECORD) WHICH MODIFIES OR CHANGES THE STRUCTURAL PERMIT RECORD DOCUMENTS.

STRUCTURAL DESIGN CRITERIA:

- THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - (2010 EDITION)
- WIND LOAD CRITERIA:
 BASED ON ANSI/ASCE 7-10. BASIC WIND VELOCITY 115 MPH, OCCUPANCY CATEGORY II (AT HURRICANE OCEANLINE), EXPOSURE "C".

FOUNDATIONS:

- FOUNDATIONS ARE DESIGNED TO BEAR ON WELL COMPACTED GRADE OR CLEAN FILL OF AN ALLOWABLE BEARING CAPACITY OF 2000 PSF MINIMUM. AT THE TIME OF CONSTRUCTION, A LICENSED (ARCHITECT) (REGISTERED PROFESSIONAL ENGINEER) SHALL SUBMIT TO THE BUILDING OFFICIAL A SIGNED AND SEALED LETTER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.
- NATURAL GRADE (OR FILL) BELOW FOOTINGS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).

CONCRETE AND REINFORCING:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-08 / 318R-08) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (A.C.I. 318R-94).
- ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (A.C.I. 301 - LATEST EDITION). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 308R - LATEST EDITION).
- ALL CONCRETE TO BE REGULAR WEIGHT WITH AN COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 3" MIN. TO 5" MAX.
- ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING AS PER ASTM A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN ACCORDANCE WITH A.C.I. 318 AND C.R.S.I. MANUAL OF STANDARD PRACTICE.
- CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS:
 FOOTINGS: (BOTTOM) 3"
 (TOP & SIDES) 2"

MASONRY WALLS:

- ALL REINFORCED MASONRY WALLS SHALL BE PROVIDED WITH #3 DUR-O-WALL LADDER TYPE HORIZONTAL REINFORCEMENT AT 1'-4" VERTICALLY LAPPED 1'-1/2" AND EXTENDED 4" INTO CONCRETE COLUMNS. PROVIDE SPECIAL HORIZONTAL REINFORCING AT "T" AND "L" INTERSECTION. PROVIDE "DOVE-TAIL" ANCHORS AT 16" O.C. VERTICALLY FOR ALL MASONRY PLACED ADJACENT TO ALREADY IN PLACE COLUMNS.
- CONCRETE MASONRY UNITS: ASTM C90, GRADE N-1, MODULAR, MINIMUM NET COMPRESSIVE STRENGTH AT 28 DAYS $f'_c = 1800$ PSI.
- MORTAR: ASTM C270, TYPE S. MORTAR ALL FACE SHELLS, AND CROSS SHELLS AROUND ALL GROUT FILLED CELLS WITH A MINIMUM STRENGTH 2000 PSI (USE PORTLAND TYPE CEMENT).
- IIIIII DENOTES BEARING CONC. BLOCK WALL. INSTALL BLOCK BEFORE CASTING ADJACENT COLUMNS AND BEAMS.
- GROUT: ASTM C416. COARSE GROUT. SLUMP 8" MINIMUM ± 1" MAXIMUM COMPRESSIVE STRENGTH AT 28 DAYS = 3000 PSI. SUBMIT DESIGN MIX FOR REVIEW.
- DESIGN $f_m = 1500$ PSI.
- PLACE ALL MASONRY UNITS IN RUNNING BOND.
- PROVIDE KNOCK-OUTS AT BASE OF ALL CELLS CONTAINING REINFORCING.
- MAXIMUM FOUR LIFT = 4'-0"
- VERTICAL REINFORCEMENT SHALL BE SPLICED 48 BAR DIAMETER MINIMUM.
- PROVIDE VERTICAL REINFORCEMENT AS INDICATED ON FOUNDATION PLAN AT EACH SIDE OF WALL OPENING AND @ INTERSECTING WALLS.
- SPECIAL INSPECTION IS REQUIRED.

NOTE TO CONTRACTOR:
 - ALL FIELD DIMENSIONS/ELEVATIONS MUST BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. IF THERE IS A DISCREPANCY, PLEASE CONTACT THE ENGINEER OF RECORD BEFORE CONTINUING WORK.

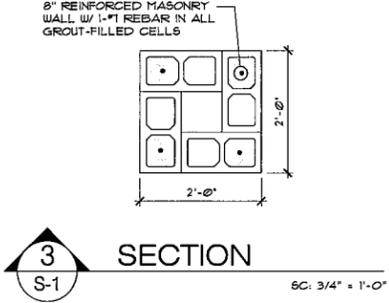
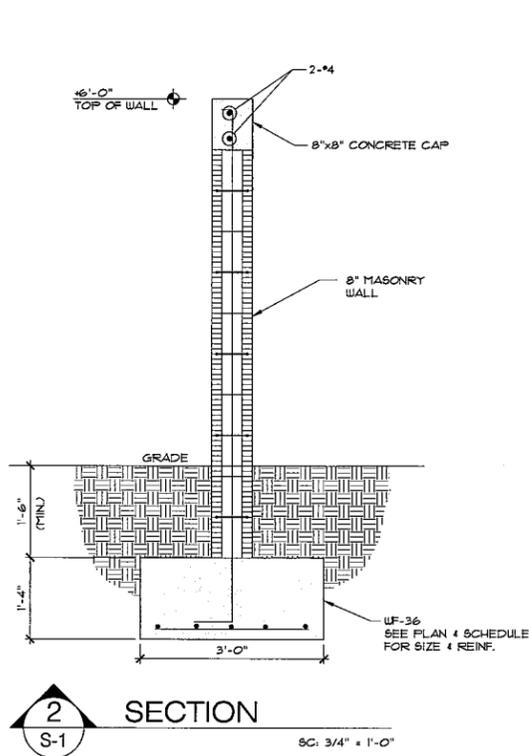
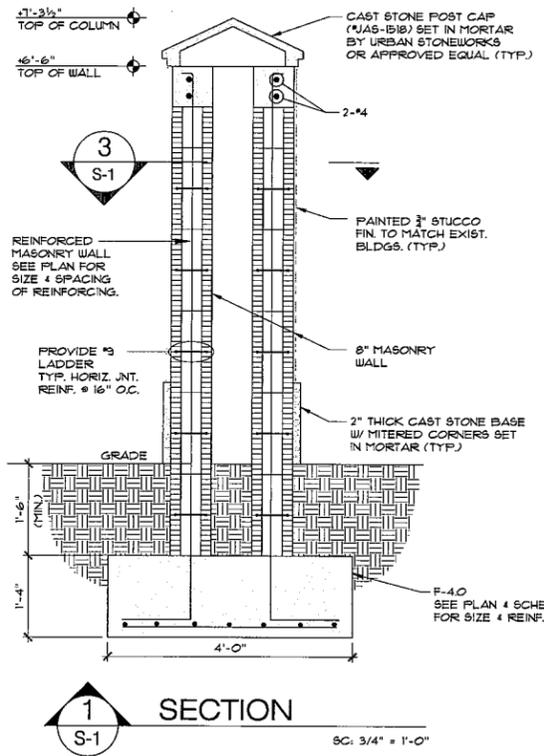
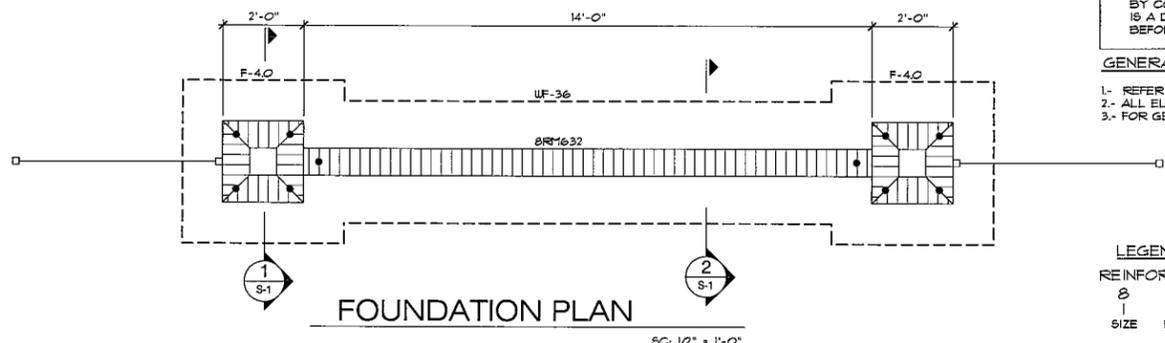
GENERAL NOTES:

- REFER TO SITE PLAN FOR BUILDING ORIENTATION.
- ALL ELEVATIONS ARE REFERENCED TO A TOP OF SLAB ELEVATION (+0'-0").
- FOR GENERAL STRUCTURAL NOTES SEE SHEET S-2.

LEGEND:

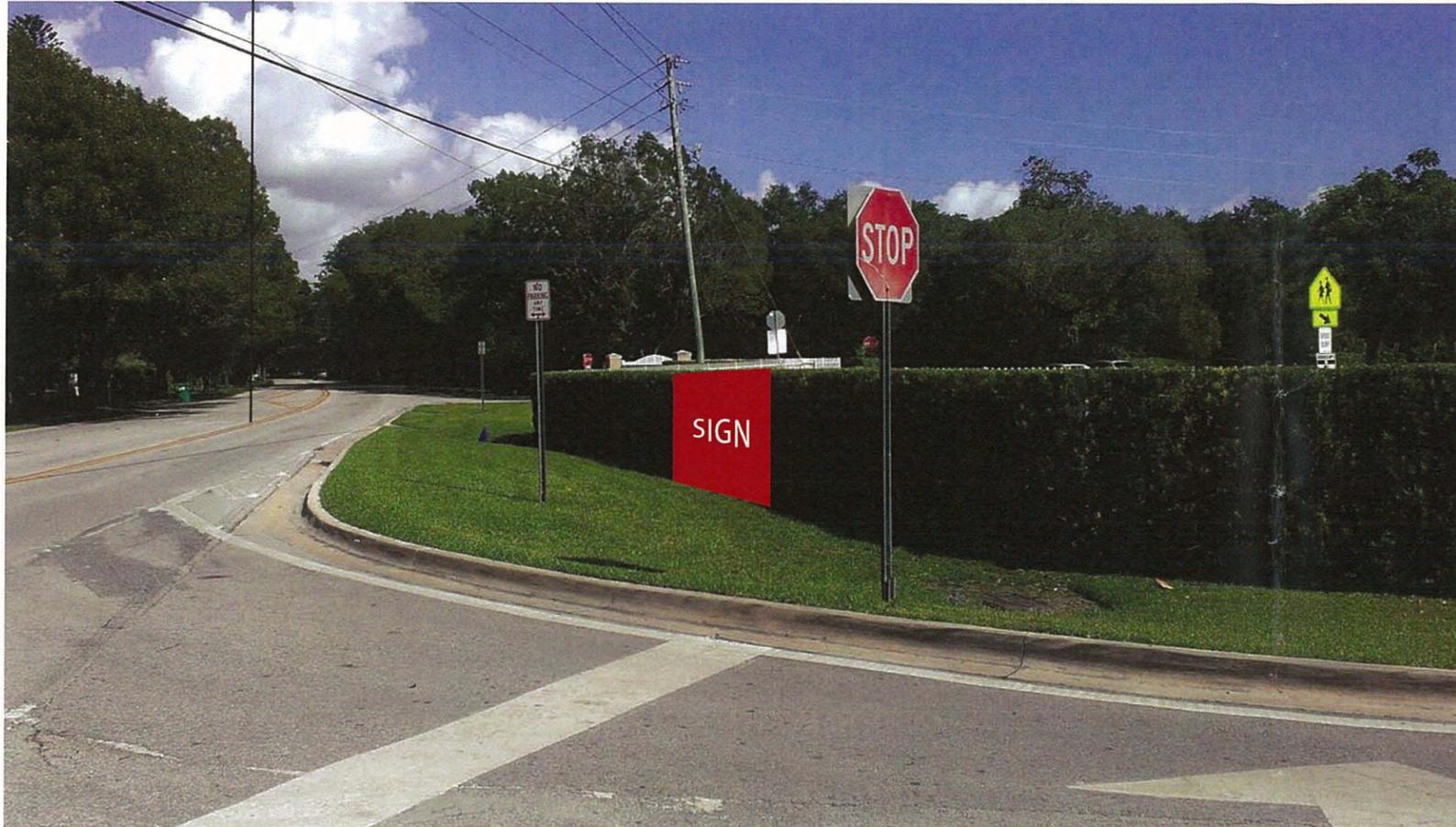
REINFORCED MASONRY:
 8 SIZE REINF. MASONRY 6 SIZE OF BAR 32 CENTER TO CENTER SPA'S.

ALL REINFORCED MASONRY WALLS SHALL BE PROVIDED WITH #3 DUR-O-WALL LADDER TYPE HORIZONTAL REINFORCEMENT AT 16" O/C VERTICALLY. HORIZONTAL REINFORCEMENT MIN. OF 4" INTO ALL CONCRETE COLUMNS
 ● DENOTES ADDITIONAL VERT. BAR IN CONC. FILLED BLOCK CELL
 IIIIIII DENOTES REINFORCED BLOCK WALL



MARK	SIZE			REINFORCING	TOP OF FTG. ELEV.	REMARKS
	LENGTH	WIDTH	THICKNESS			
F-4.0	4'-0"	4'-0"	16"	5-#5 O.C. EACH WAY (BOTTOM)	(-2'-0")	SEE SECTION 1/5-1
UF-36	CONT.	36"	16"	4-#5 CONT. & #5 @ 12" O.C. TRANSV.	(-2'-0")	SEE SECTION 2/5-1

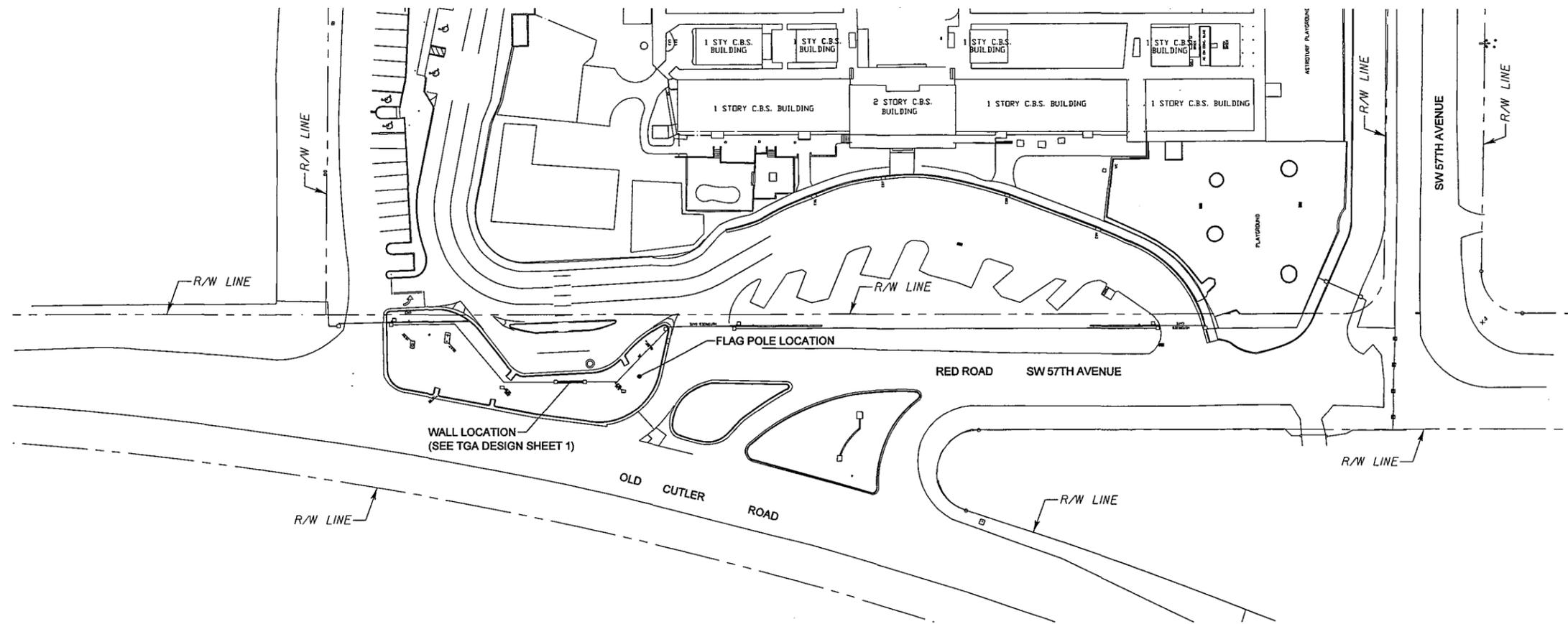
Old Cuttler Road facing North



Sign Placement



Existing Column Detail



GENERAL NOTES

1. B.M. DATA IS NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD-29).
2. ALL PUBLIC LAND CORNERS AND MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED BY CONTRACTOR AS FOLLOWS: CORNERS AND MONUMENTS IN CONFLICT WITH THE WORK AND IN DANGER OF BEING DAMAGED, DESTROYED OR COVERED SHALL BE PROPERLY REFERENCED BY A REGISTERED-LAND SURVEYOR IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYOR PRIOR TO BEGINNING WORK AT THAT SITE. THE CONTRACTOR SHALL RETAIN THE LAND SURVEYOR TO REFERENCE, AND RESTORE UPON COMPLETION OF THE WORK, ALL SUCH CORNERS AND MONUMENTS AND SHALL FURNISH TO THE ENGINEER A SIGNED AND SEALED COPY OF THE LAND SURVEYOR'S REFERENCE DRAWING.
3. ALL N.G.V.D. BENCH MARK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AND REFERENCED BY THE CONTRACTOR IN THE SAME WAY AS PUBLIC LAND CORNERS EXCEPT THAT THE LAND SURVEYORS SHALL NOT BE REQUIRED TO RESTORE THE N.G.V.D. BENCH MARK UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY TRANSMIT ALL DISPLACED OR DAMAGED N.G.V.D. DISCS TO THE GEODETIC INFORMATION CENTER.
4. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING INLETS CLEAN OF CONSTRUCTION DEBRIS, ETC. DURING THE CONSTRUCTION AT NO ADDITIONAL COST.
5. CONTRACTOR SHALL CLEAN EXISTING INLETS AND PIPING BEFORE FINAL ACCEPTANCE OR APPROVAL BY CITY INSPECTOR, IF DEEMED NECESSARY, AT NO ADDITIONAL COST.
6. EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY BISCAYNE ENGINEERING COMPANY, INC.
7. FOR BENCH MARK AND REFERENCE POINT INFORMATION SEE SURVEY PREPARED BY:
BISCAYNE ENGINEERING COMPANY, INC.
529 W. FLAGLER STREET,
MIAMI, FLORIDA 33130
PHONE NO. (305) 324-7671
8. ALL EXISTING FEATURES ADJACENT TO THE RIGHT-OF-WAY THAT ARE IMPACTED BY THIS CONSTRUCTION SHALL BE REPAIRED / RESET AS REQUIRED.
9. SODDING TO BE USED AT LOCATIONS WHERE EXISTING LAWNS ARE DISTURBED.
10. ALL DISPOSAL OF MATERIALS, RUBBISH AND DEBRIS SHALL BE MADE AT A LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT AND / OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL UNSUITABLE MATERIAL PRIOR TO COMMENCING WITH BACKFILL AND COMPACTION OPERATIONS.

12. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY DURING THE FILLING OR EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.
14. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
15. TWO FULL BUSINESS DAYS PRIOR TO DIGGING THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL OF FLORIDA, TELEPHONE NUMBER 811, AND THE UTILITY OWNER AND REQUEST UTILITY LOCATIONS. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES.
16. UTILITY INFORMATION HAS NOT BEEN VERIFIED HORIZONTALLY OR VERTICALLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY CONFLICTS WITH UTILITIES.
17. EXISTING UTILITIES OTHER THAN THOSE INDICATED IN THESE DRAWINGS MAY BE PRESENT. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION. CONTRACTOR IS TO INVESTIGATE ALL POSSIBLE UNMARKED UTILITIES.
18. EXISTING UTILITIES ARE TO BE PROTECTED BY THE CONTRACTOR. ANY UTILITIES DAMAGED BY THE CONTRACTOR WILL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
19. CONTRACTOR IS RESPONSIBLE TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES BY EVERY MEANS POSSIBLE TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHOULD BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT WHICH MIGHT OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS IS REQUIRED.
20. THE CONTRACTOR SHALL MAKE A THOROUGH INVESTIGATION OF THE SITE IN ORDER TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
21. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES.

22. KNOWN UTILITIES IN THE PROJECT LIMITS INCLUDE, BUT ARE NOT LIMITED TO:

COMPANIES	TELEPHONE NO.
SUNSHINE ONE CALL	811
MIAMI-DADE COUNTY PUBLIC WORKS	305-592-8925 EXT 258
CITY OF CORAL GABLES	305-460-5080
MIAMI DADE WATER & SEWER	786-268-5255
AT&T	305-260-8243
COMCAST	954-534-7083
FLORIDA POWER & LIGHT	1-800-868-9554

23. THE FLAG POLE SHALL BE 25' HIGH AND FABRICATED OF STAINLESS STEEL ASTM A 312 AND A 554. THE DESIGN OF THE FLAG POLE AND ITS FOUNDATION SHALL BE SUBMITTED FOR SHOP DRAWING APPROVAL TO THE CITY OF CORAL GABLES.

12:53 PM 5/12/2015 D:\BRO\NAVA\2015\1401



DAVID PLUMMER & ASSOCIATES, INC.
 TRANSPORTATION • CIVIL • STRUCTURAL • ENVIRONMENTAL
 CORAL GABLES FORT MYERS
 1750 PONCE DE LEON BLVD. CORAL GABLES FL 33134 TELEPHONE (305) 447-0900 FAX (305) 444-4986
 CERTIFICATE OF AUTHORIZATION EB 2690

PROJECT:

GULLIVER ACADEMY

TITLE:

FLAG POLE LOCATION PLAN & GENERAL NOTES

DATE	PROJECT NO.
02/26/15	14207
DRAWN	SHEET NO.
DL	
CHECKED	
AL	C-1
APPROVED	
TS	

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2015-92

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SECTION 1. The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution upon adoption.

SECTION 2. That a request for encroachment, consisting of the construction of a CBS wall, which will replace a portion of existing aluminum fence adjacent to Gulliver Academy, located 12595 Red Road, legally described as: Lot 7, AVOCADO LAND COMPANY SUBDIVISION, located in the Southeast 1/4 of the Northeast 1/4 of Section 18, Township 55 South, Range 41 East, according to the plat hereof, recorded in Plat Book 2, at Page 44, of the Public Records of Miami-Dade County, Florida, less there from road right of way more particular described as follows:

The West 35 feet; the South 30 feet; the East 30 feet; that remaining portion lying Southwesterly of a circular curve concave Northeasterly having a radius of 25 feet, said circular curve being tangential to a line 35 feet Easterly of, and parallel to, the Westerly line of said Tract 7, and tangential to a line 30 feet Northerly of, and parallel to, the Southerly line of said Tract 7; and that remaining portion lying Southeasterly of a circular curve concave Northwesterly, having a radius of 25 feet, said circular curve being tangential to a line 30 feet Westerly of,