

# MAJORCA RESIDENCE

439 Majorca Ave, Coral Gables-FL. 33134

## PROPERTY INFORMATION

FOLIO NUMBER: 03-4108-001-0110  
PROPERTY ADDRESS: 439 MAJORCA AVE CORAL GABLES, FL 33134  
OWNER: ETHAN MANSLEY CURTIS  
EXISTING LIVING AREA: 1,874 Sq.Ft  
ACTUAL AREA: 2,371 Sq.Ft  
LOT SIZE: 9,600 Sq.Ft  
LEGAL DESCRIPTION: CORAL GABLES SEC B PB 5-111 LOT 16 & W 1/2 OF LOT 17 BLK 1 LOT SIZE IRREGULAR COC 25088-3755 10 2006 1



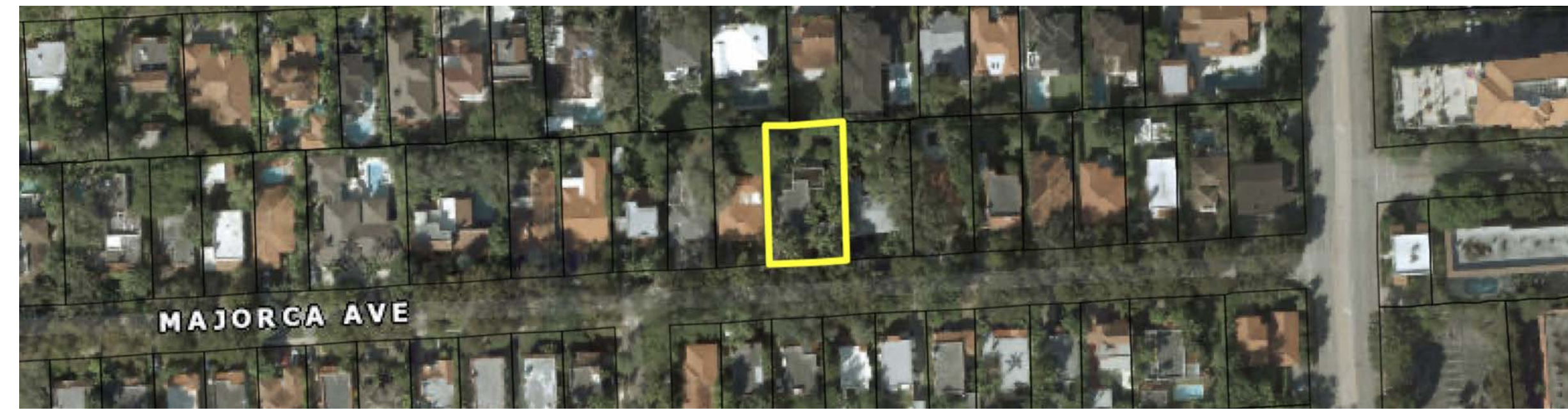
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disclaimer



Location Map



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

## Project Consultants

439 Majorca Ave, Coral Gables-FL. 33134

address

## ADDITION AND REMODELING

project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
rework #6			

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

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## COVER SHEET

sheet title

# A000

date: 05/07/2025

scale: as shown

checked by: MR

sheet

## GENERAL NOTES 1:

1. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHER WISE NOTED (U.O.N.)
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-615 SPECS.
3. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS
4. DROP TIE BEAM OVER DOORS EXTEND 8" PAST OPENING ON BOTH SIDES AND ADD 2-#5 BARS FOR EVERY ADDITIONAL 8" OF BEAM HEIGHT (2 ADDITIONAL BARS MIN.)

### FOUNDATIONS SOIL STATEMENT:

1. THE SOIL AT THIS SITE HAS BEEN OBSERVED BY THE ARCHITECT OR ENGINEER TO BE COMPOSED OF SAND AND ROCKS AND CAN BE CONSIDERED TO HAVE AN ALLOWABLE MINIMUM DESIGN BEARING CAPACITY OF 2,000 P.S.F. (SHOULD ANY OTHER CONDITIONS OR MATERIALS BE ENCOUNTERED IN THE PROCESS OF CONSTRUCTION THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK). ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER F.B.C. 2023 - 8th EDITION. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".
2. AT THE TIME OF CONSTRUCTION THE ARCHITECT OR ENGINEER SHALL SUBMIT TO THE BUILDING OFFICIAL A LETTER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THAT THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.
3. SOIL AT THE BUILDING AREA SHALL BE VIBRE-ROLLED TO A MIN. COMP ACTION OF 2,500 P.S.F. AND MODIFIED PROCTOR DENSITY.
4. CENTERLINE OF FOOTING IS CENTERLINE OF COLUMNS AND BEARING WALLS, UNLESS OTHER WISE NOTED (U.O.N.).
5. ELEVATION OF TOP OF FOOTING SHALL BE 1'- 0" BELOW THE FINISHED GRADE, U.O.N.
6. PROVIDE BEND DOWELS AT ALL COLUMNS AND VERTICAL REINFORCEMENT SAME SIZE AND QUANTITY AS REINFORCEMENT.

### REINFORCING

1. MINIMUM CLEAR COVER FOR REBARS TO BE AS FOLLOWS:  
COLUMNS = 1-1/2" TO TIE FOOTINGS = 3" BEAMS = 1-1/2" TO TIE PEDESTAL = 2" TO TIE SLAB ON FILL = 2" FROM TOP SLABS = 3/4" ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES.
2. SPLICES IN CONTINUOUS TOP REBARS SHALL BE MADE AT MID SPAN, SPLICES IN CONTINUOUS BOTTOM REBARS SHALL BE COVER SUPPORT(S).
3. SPLICES IN REINFORCING, WHERE PERMITTED, SHALL BE AS FOLLOWS:  
COLUMN VERT. BARS = 30 BAR DIA. TEMPERATURE REBARS = 12" MIN. FOOTING DOWELS = 30 BAR DIA. + 8" WELDED WIRE MESH = 6" TENSION SPICE = CLASS "C" ALL OTHERS = 30 BAR DIA.
4. PROVIDE 2 N°5 60" LONG BEND BARS AT CORNERS OF BEAMS.

### SLAB

1. SLAB SHALL BE 2500 PSI CONCRETE (MIN.), 4" THICK, REINFORCED WITH 6"X 6" - 10/10 (GAUGE) WELDED WIRE MESH (W.W.M.), ON WELL COMPACTED FILL.
2. FILL MATERIAL SHALL BE CLEAN SAND AND ROCK COMPACTED TO 95% OF MAXIMUM DENSITY IN LIFTS NOT TO EXCEED 12" IN DEPTH.
3. PLACE CONCRETE SLABS IN A CHECKERBOARD PATTERN, NO PANEL EXCEEDING 25 FEET OF LENGTH, OR 625 SF IN AREA, OR USE CONTROL JOINTS.
4. ELEVATION TOP OF CONCRETE SLAB SHOWN THUSLY; OR MATCH EXISTING ADJACENT FLOOR ELEVATION.
5. WALLS, COLUMNS, AND BEAMS, PENETRATING SLAB ON FILL, SHALL BE ISOLATED BY 1/2" PRE MOLDED JOINT FILLER, UNLESS OTHERWISE NOTED (U.O.N.).
6. SLABS SHALL BE PLACED OVER 1 LAYER OF PLASTIC MEMBRANE, SUCH AS 6 MIL VISQUEEN, OR SIMILAR.
7. SLABS ON FILL SHALL BE CURED CONTINUOUSLY FOR 5 DAYS.

### MASONRY

1. CONCRETE MASONRY UNITS (CMU), OR "BLOCKS", SHALL CONFORM TO ASTM C-90 SPECS.
2. COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE NOT LESS THAN FM=1000 PSI.
3. ALL BLOCK WALLS SHALL BE LAID IN A FULL BEDDING OF MORTAR, WITH A COMPLETE COVER OF THE BLOCK'S FACE SHELL (HORIZONTALLY) AND MORTAR GROOVES (VERTICALLY), AND REINFORCED WITH #8 TRUSS TYPE JOINT REINFORCEMENT @ EVERY OTHER COURSE (16" O.C, VERTICALLY).
4. MORTAR TO BOND BLOCK MASONRY SHALL BE TYPE "M", 2,500 PSI.
5. THE FIRST BLOCK CELL ADJACENT TO ANY OPENING SHALL BE FILLED WITH CONCRETE.
6. THE FIRST BLOCK CELL ADJACENT TO ANY OPENING FROM 3TO 8SHALL BE REINFORCED.
7. WITH 1- #5 VERTICAL AND BE FILLED WITH 2500 PSI CONCRETE.

### F.E.M.A. NOTES:

1. ELECTRICAL OUTLETS (RECEPTACLES AND LIGHTING) BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON (SEPARATE) INDEPENDENT CIRCUITS FROM THOSE IN THE HABITAT AREAS.
2. NO APPLIANCES OR APPLIANCES OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD ELEVATION.
3. A/C COMPRESSORS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION.
4. MAIN CIRCUIT BREAKER PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
5. IT IS SUGGESTED THAT YOU CONFER WITH FLORIDA POWER & LIGHT TO LOCATE THE ELECTRIC METER TO COMPLY WITH FEDERAL EMERGENCY MANAGEMENT AGENCY REQUIREMENTS.

### FLAME SPREAD NOTE:

1- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.

EXCEPTION: FLAME SPREAD INDEX REQUIREMENTS FOR FINISHES SHALL NOT APPLY TO TRIM DEFINED AS PICTURE MOLDS, CHAIR RAILS, BASEBOARDS AND HANDRAILS; TO DOORS AND WINDOWS OR THEIR FRAMES; OR TO MATERIALS THAT ARE LESS THAN 1/28 INCH (0.91 MM) IN THICKNESS CEMENTED TO THE SURFACE OF WALLS OR CEILINGS IF THESE MATERIALS EXHIBIT FLAME SPREAD INDEX VALUES NOT GREATER THAN THOSE OF PAPER OF THIS THICKNESS CEMENTED TO A NONCOMBUSTIBLE BACKING.

2- WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

3- TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM E84 OR UL 723.

### FLAME SPREAD INDEX:

INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

#### EXCEPTIONS:

1. WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH.
2. CELLULOSE LOOSE-FILL INSULATION, WHICH IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF SECTION R302.10.3, SHALL ONLY BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
3. FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION R31.6.

## GENERAL NOTES 2:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL NEW AND EXISTING SURFACES IN A SATISFACTORY MANNER TO RECEIVE NEW FINISHES. THIS INCLUDES THE DEMOLITION AND REMOVAL OF NECESSARY ITEMS TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE REFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMEND INSTALLATION METHODS. THE GENERAL CONTRACTOR SHALL PREPARE THE EXISTING FLOOR PRIOR TO THE APPLICATION OF FINISH FLOORING. THE EXISTING CONCRETE SLAB MUST BE SMOOTH AND LEVEL TO WITHIN A TOLERANCE OF ONE-EIGHTH INCH PER FOOT. LATEX CEMENT PATCHING COMPOUND SHALL BE UTILIZED (NO ASPHALT BASED COMPOUNDS).

2. ALL SURFACES WHICH ARE TO RECEIVE A PAINT FINISH SHALL BE PRIMED AND FINISHED IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS.

3. ALL JOINTS IN GYPSUM BOARD WALLS SHALL BE FINISHED w/PAPER TAPE 2" WIDE & THREE COATS OF VINYL DRY OR PRIMERED JOINT COMPOUND. ALL OUTSIDE CORNERS SHALL BE FINISHED w/METAL CORNER BEDS, TAPED & SPACKLED. ALL AREAS TO BE PAINTED SHALL BE SANDED SMOOTH. JUST PRIOR TO THE APPLICATION OF THE FIRST COAT OF PAINT, WIPE SANDED SURFACES WITH A DAMP CLOTH IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING.

4. THE PAINT CONTRACTOR SHALL REMOVE ALL HARDWARE, SWITCH COVERS, ETC. PRIOR TO PAINTING AND RESPONSIBLE FOR THE REINSTALLATION AFTER PAINTING IS COMPLETED.

5. FINISH FLOORING INSTALLATION SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. COORDINATE THE INSTALLATION TRADES, SUCH AS ELECTRICAL.

6. ALL JOINTS BETWEEN MATERIALS TO BE TIGHT AND CONSIDERED IN A NEAT WORKMANLIKE MANNER.

7. ALL FINISHES SHALL BE TOUCHED UP TO CORRECT ANY IMPERFECTIONS AFTER INSTALLATION. FIXTURE CONTRACTOR SHALL PROVIDE TO GENERAL CONTRACTOR ALL MATERIALS FOR TOUCH UP WORK.

8. THE INTENT OF THE FINISH SPECIFICATION IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE WORK. COVER ALL SURFACES THOROUGHLY. IF THE SPECIFIED NUMBER OF COATS DOES NOT ACCOMPLISH THE INTENT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF ADDITIONAL COATS OF THE SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE, AT NO ADDITIONAL COST TO OWNER.

9. TILE INSTALLATION SHALL BE FREE OF BUCKLES, JOINTS OR IMPERFECTIONS. SEAMS SHALL BE IN ACCURATE ALIGNMENT ALONG BOTH COORDINATES. UPON COMPLETION, PROVIDE FIFTEEN FULL EXTRA TILES FOR TENANT USE.

10. CLEAN ALL GLASS SURFACES w/LIQUID GLASS CLEANER AT PROJECT COMPLETION.- 11. PAINT ALL DOORS AND JAMBS, SEMI GLOSS IN COLOR TO MATCH ADJACENT FINISH, WHERE OCCURS, UNLESS NOTED OTHERWISE.

12. PAINT EXPOSED STRUCTURE, DUCTWORK, INSIDE OF DIFFUSERS, PIPING, SALES AREA SAME AS ADJACENT WALL COLOR.

13. REFERENCE RETAIL STANDARDS MANUAL WITH ARCHITECTURAL DOCUMENTATION FOR FINAL DESIGN INTENT.

## GENERAL DEMOLITION NOTES:

CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.

2. PROCEDURES: THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.

3. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.

4. PROTECTION OF EXISTING BUILDING:

A. EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.

B. COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.

C. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.

D. DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE WORK AREA.

5. DISPOSING OF MATERIAL: 1.

A. DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.

B. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.

6. PREPARATION:

A. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.

B. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. C. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

7. PERFORMANCE:

A. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS.

B. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.

C. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.

D. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES. E. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

1. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION.

2. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

## FRAMING NOTES:

1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "F.B.C." AND ALL OTHER PERTAINING CODES AND ORDINANCES HAVING JURISDICTION.
2. ALL PLYWOOD USED STRUCTURALLY BE IDENTIFIED FOR GRADE AND GLUE TYPES BY THE TRADEMARKS OF AN APPROVED TESTING AND GRADING AGENCY.
3. ALL PLYWOOD PERMANENTLY EXPOSED IN OUTDOOR LOCATIONS SHALL BE OF EXTERIOR TYPE.

4. 4. ALL LUMBER TWO INCHES OR LESS IN THICKNESS SHALL CONTAIN NOT MORE THAN 19% MOISTURE AT THE TIME OF PERMANENT INCORPORATION IN A BUILDING OR STRUCTURE AND/OR AT THE TIME OF TREATMENT WITH A WOOD PRESERVATIVE.

5. ALL LUMBER SIZES TO HEREIN NOMINAL.

6. LUMBER USED FOR JOISTS AND/OR OTHER STRUCTURAL MEMBERS SHALL BE OF NO LESS STRENGTH THAN #2 GRADE OF SOUTHERN PINE, DOUGLAS FIR LARCH, HEM FIR, OR SPRUCE PINE FIR.

7. LUMBER USED FOR STUDS IN EXTERIOR WALLS SHALL BE OF A STRESS GRADE NOT LESS THAN 625 PSI NOMINAL EXTREME FIBER STRESS IN BENDING (FB).
8. LUMBER USED FOR STUDS IN INTERIOR NON BEARING WALLS SHALL BE OF A STRESS GRADE NOT LESS THAN 225 PSI NOMINAL EXTREME FIBER STRESS IN BENDING (FB).
9. JOISTS AND RAFTERS SHALL HAVE NOT LESS THAN FOUR INCHES OF BEARING AS PROVIDED IN "F.B.C." 2023-8th EDITION
10. NOTCHING AND BORING OF JOIST AND RAFTERS SHALL COMPLY WITH THE "F.B.C."
11. ENDS OF WOOD JOISTS ENTERING OR BEARING ON MASONRY AND IN CONTACT THEREWITH SHALL BE PRESSURE TREATED, OR OF AN APPROVED DURABLE SPECIES.
12. WHERE MASONRY EXTENDS ABOVE SUCH WOOD MEMBERS SHALL BE FIRE SO THE TOP EDGE DOES NOT ENTER THE MASONRY MORE THAN ONE INCH OR SHALL BE PROVIDED WITH WALL PLATE BOXES OF SELF TYPE OR APPROVED HANGERS.
13. FLOOR JOISTS UNDER ALL WALLS OR PARTITIONS PARALLEL TO THE JOISTS SHALL BE DOUBLED. DOUBLED JOISTS MAY BE SEPARATED NOT MORE THAN SIX INCHES.
14. FLOOR JOISTS SUPPORTING CONCRETE FOR BATHROOM FLOORS SHALL HAVE A MAXIMUM SPACING OF 12 INCHES.
15. CEILING JOISTS SPANNING MORE THAN 14 FEET SHALL BE LATERALLY SUPPORTED AT MID-SPAN.

16. PRE FABRICATED ROOF TRUSSES SHALL BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA; AND SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE "F.B.C." 2023-8th EDITION

17. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES BOTH VERTICAL AND HORIZONTAL.

18. ANCHORS SECURING WOOD TO CONCRETE SHALL BE NOT LESS THAN 1"x1/8" STEEL STRAP EMBEDDED IN THE CONCRETE AND NAILED WITH THREE 16D NAILS TO WOOD MEMBERS AS SET FORTH IN OF THE "F.B.C." 2023-8th EDITION
19. ANCHORS SECURING WOOD TO WOOD SHALL BE NOT LESS THAN 1"x1/8" STEEL STRAP NAILED TO EACH MEMBER WITH THREE 16D NAILS, OR SHALL BE A COMMERCIAL ANCHOR APPROVED BY THE BUILDING OFFICIAL ANCHORING EACH MEMBER.
20. ALL ANCHORS AND RELATIVE NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.

21. WHERE THE INTERIOR OF MASONRY WALLS ARE FURRED FURRING SHALL BE TREATED AND FIRE STOPPED AS HEREIN REQUIRED AND SHALL BE SECURELY FASTENED TO THE MASONRY WITH NOT LESS THAN ONE CUT NAIL IN ALTERNATE COURSE OF BLOCK.

22. THE ALLOWABLE LOADS ON ALL TYPES OF CONNECTORS SHALL BE AS SET FORTH IN THE STANDARDS LISTED IN OF THE "F.B.C." 2023-8th EDITION.

23. IN GENERAL NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN TWO NAILS IN ANY CONNECTION.

### FINISHES NOTES:

1- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.

EXCEPTION: FLAME SPREAD INDEX REQUIREMENTS FOR FINISHES SHALL NOT APPLY TO TRIM DEFINED AS PICTURE MOLDS, CHAIR RAILS, BASEBOARDS AND HANDRAILS; TO DOORS AND WINDOWS OR THEIR FRAMES; OR TO MATERIALS THAT ARE LESS THAN 1/28 INCH (0.91 MM) IN THICKNESS CEMENTED TO THE SURFACE OF WALLS OR CEILINGS IF THESE MATERIALS EXHIBIT FLAME SPREAD INDEX VALUES NOT GREATER THAN THOSE OF PAPER OF THIS THICKNESS CEMENTED TO A NONCOMBUSTIBLE BACKING.

2- WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

3- TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM E84 OR UL 723.

#### R302.9.1 FLAME SPREAD INDEX

WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.

EXCEPTION: FLAME SPREAD INDEX REQUIREMENTS FOR FINISHES SHALL NOT APPLY TO TRIM DEFINED AS PICTURE MOLDS, CHAIR RAILS, BASEBOARDS AND HANDRAILS; TO DOORS AND WINDOWS OR THEIR FRAMES; OR TO MATERIALS THAT ARE LESS THAN 1/28 INCH (0.91 MM) IN THICKNESS CEMENTED TO THE SURFACE OF WALLS OR CEILINGS IF THESE MATERIALS EXHIBIT FLAME SPREAD INDEX VALUES NOT GREATER THAN THOSE OF PAPER OF THIS THICKNESS CEMENTED TO A NONCOMBUSTIBLE BACKING.

## GENERAL NOTES

## INTRUSION NOTES:

1. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS IF KEY LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
3. THE ACTIVE LEAF OF PAIR OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
4. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLT OR A PIN NOT REMOVABLE OR OPERABLE FROM THE EXTERIOR AT THE JAMB, SILL, HEAD OR MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS IF NECESSARY AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.
5. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MINIMUM OF 5/8". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON PINS.
7. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBIT OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
8. SINGLE SWINGING EXTERIOR DOORS, IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
9. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES Z97.1.
10. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE, STANDARD Z97.1.
11. SLIDING GLASS DOORS AND WINDOWS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTIVATING DEVICE.
12. VENTS IN OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTIVATING DEVICE.
13. SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE SECURED WITH A LATCH AND A SINGLE DEAD BOLT WITH ONE INCH MINIMUM THROWS OR A COMBINATION OF DEAD LATCH AND DEAD BOLT SETS WITH LATCH THROW A MINIMUM OF 1/2" AND BOLTS HAVING A 1" MINIMUM THROW. DOORS SHALL BE A MINIMUM OF 1 3/8" THICK SOLID CORE.
14. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

## SITE INVESTIGATION NOTE:

EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK; THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIM OR HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED. THEREFORE, SINCE THE WORK INVOLVES NEW AND/OR EXISTING BUILDINGS, SYSTEMS AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, NEW FACILITIES AND ALL BUILDING STRUCTURES, FAMILIARIZE TO HIMSELF WITH ALL EXISTING CONDITIONS, SLIGHT VARIATION OF ROUTING AND OR CONSTRUCTIONS SHOULD BE ANTICIPATED BY THIS CONTRACTOR TO AVOID CONFLICTS WITH OTHER TRADES. THESE VARIATIONS ARE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATIONS AND RESPONSIBILITY ASSUMED UNDER THIS CONTRACT.

## TERMITE PROTECTION:

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".

439 Majorca Ave, Coral Gables-FL. 33134

## ADDITION AND REMODELING

ETHAN MANSLEY CURTIS

owner	rework #1	08/21/2025	BOA Coral Gables	REWORK
	rework #2	07/11/2025	BOA Coral Gables <td>REWORK</td>	REWORK
	rework #3	10/04/2025	BOA Coral Gables <td>REWORK</td>	REWORK
	rework #4			REWORK
	rework #5			REWORK
	rework #6			REWORK
reworks	rework #1			REVISION
	revision #2			REVISION
	revision #3			REVISION
	revision #4			REVISION
	revision #5			REVISION
	revision #6			REVISION
revisions	revision #1			REVISION

## GENERAL NOTES

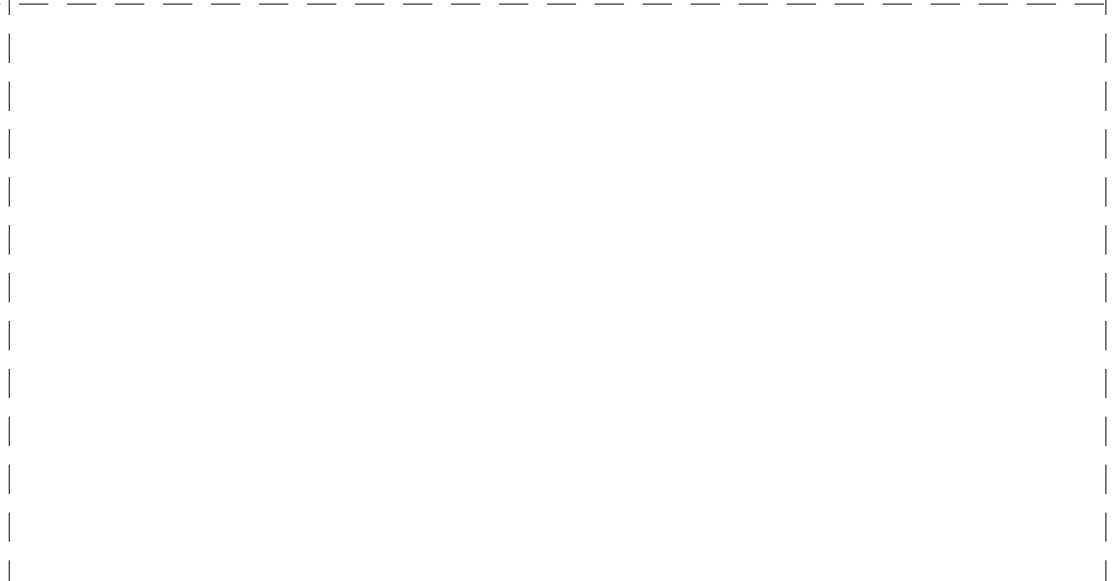
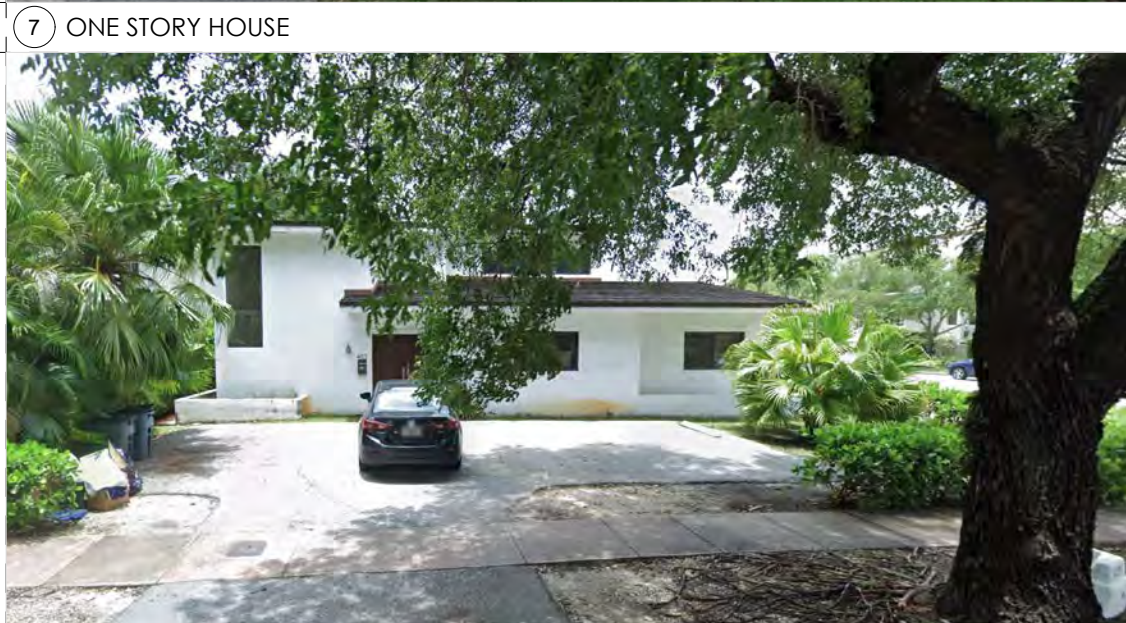
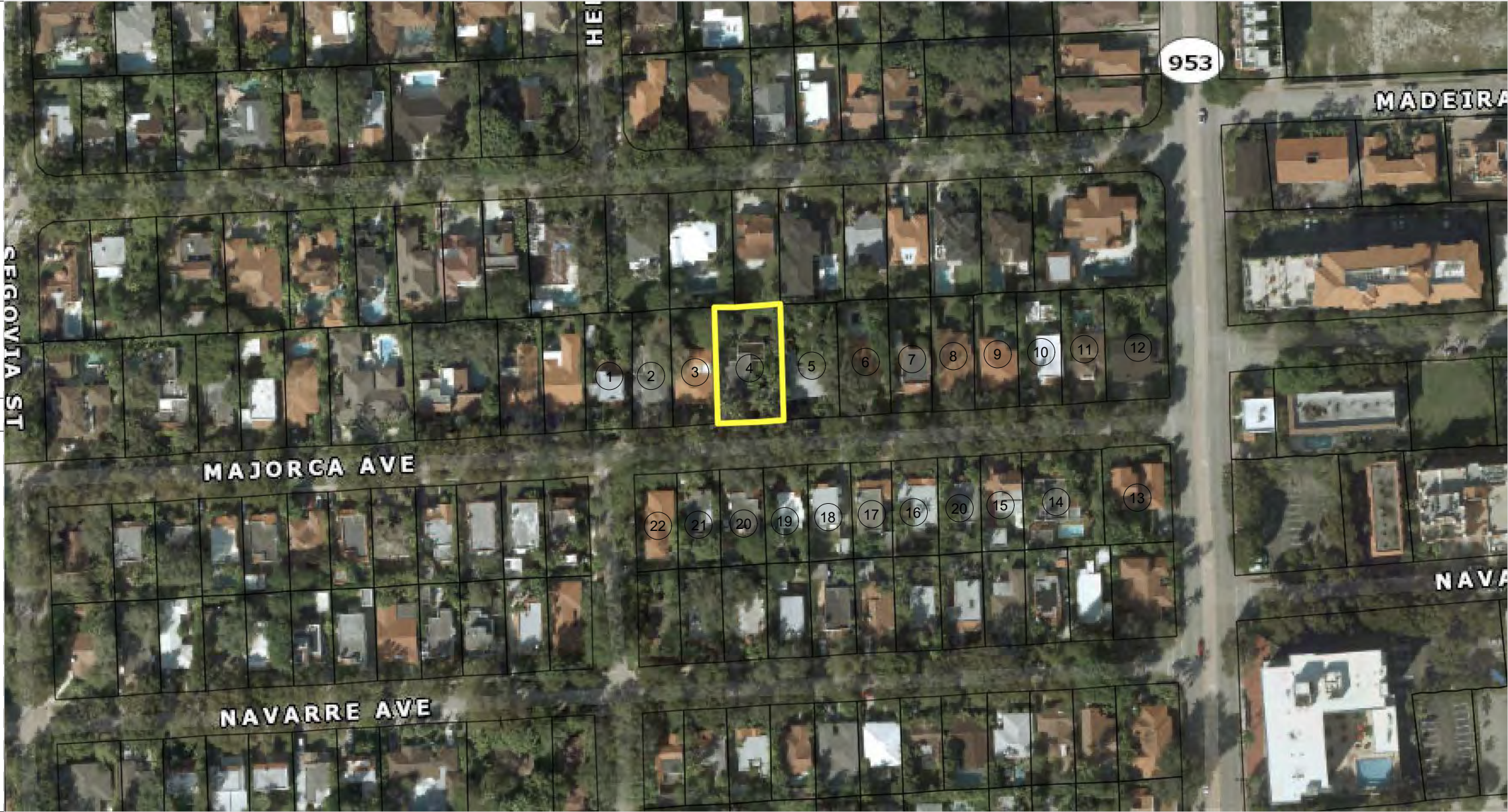
G101

date: 05/07/2025

scale: as shown

checked by: MR

sheet



city approval stamp

1

**RIODAS**  
 LIC.#L23000449389 architecture studio  
 architect of record Miguel Rionda LIC.#AR 94189  
 office address 240 Crandon Blvd, Suite 287  
 Key Biscayne, FL 33149  
 contact info info@riodasarch.com

2 disclaimer

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seal

439 Majorca Ave, Coral Gables-FL. 33134  
 address

**ADDITION AND REMODELING**

3 project

ETHAN MANSLEY CURTIS  
 owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	07.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
rework #6			

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

4

SITE CONTEXT PICTURES

sheet title

date: 05/07/2025  
 scale: as shown  
 checked by: MR  
 sheet

**G102**

A

B

C

D

E

city approval stamp

1 SOUTH FACADE



SOUTH FACADE



COURTYARD



1

**RIODAS**

LIC.#L23000449389 architecture studio

architect of record Miguel Rionda LIC.#AR 94189

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2 disclaimer

seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

3 project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	07.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
reworks	rework #6		

reworks

revision #1

revision #2

revision #3

revision #4

revision #5

revisions

revision #6

4 PROPERTY PICTURES

sheet title

date: 05/07/2025

scale: as shown

checked by: MR

sheet

G103

A

B

C

D

E

4 WEST FACADE



NORTH FACADE



COURTYARD



4

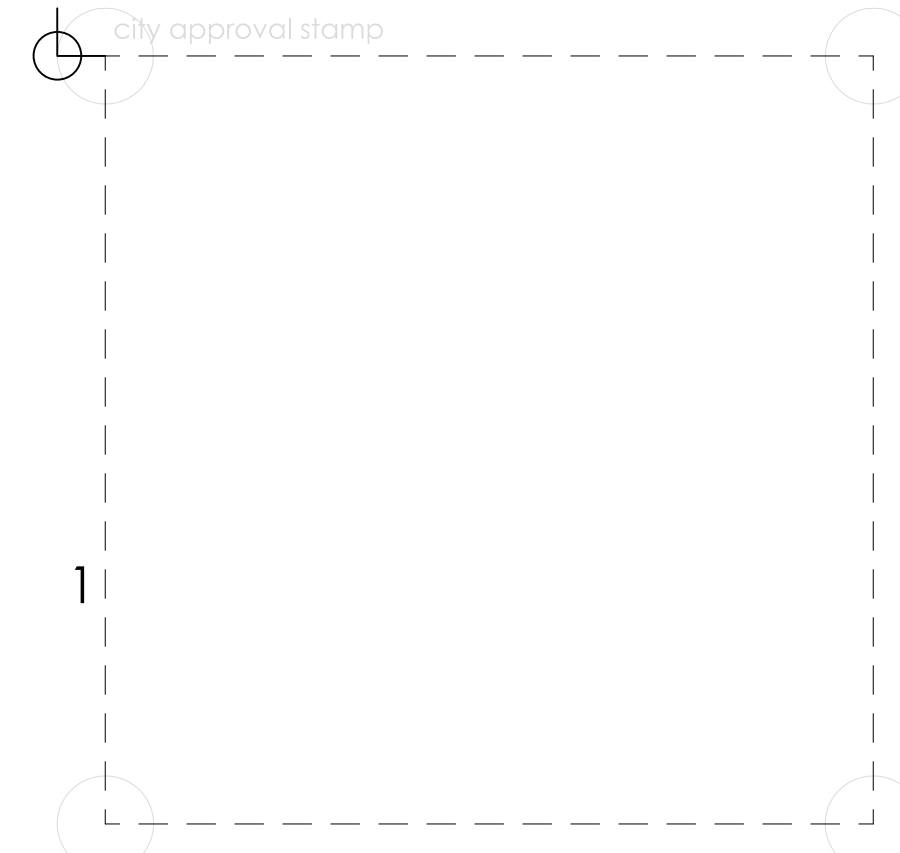
A

B

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D

E



**RIODAS**

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architect of record Miguel Rionda LIC.#AR 94189

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2 disclaimer

seal

439 Majorca Ave, Coral Gables-FL. 33134

address

**ADDITION AND REMODELING**

3 project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	△
rework #2	09.11.2025	△
rework #3	10.04.2025	△
rework #4		
rework #5		
rework #6		

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

**ORIGINAL PROPERTY PICTURE**

4

sheet title

date: 05/07/2025  
scale: as shown  
checked by: MR

**G104**

sheet

A

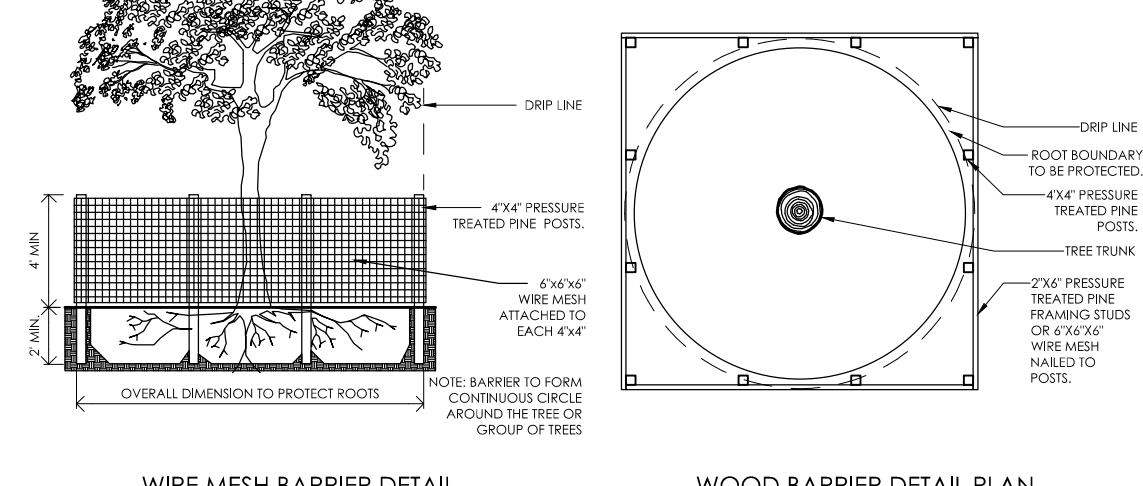
B

C

D

E

ZONING ZONE	SFR	REQUIRED	EXISTING	PROPOSED
LOT AREA (Sq.Ft.)	Acres	Sq.Ft.	Sq.Ft.	Sq.Ft.
9600	0.22	5000	9600	9600
SITE AREA MINIMUM				
LOT WIDTH	50 FT. MIN.	75	25.6354	25.6354
HOUSE GROUND COVERAGE MAXIMUM	35 %	3360	854	2341
ACCESSORY B. GROUND COVERAGE MAXIMUM	105 %	960	2,291	47
TOTAL GROUND COVERAGE 4,739.588				
OPEN SPACE MINIMUM	40 %	3840	572	5492
FRONT YARD GREEN AREA 20% OF THE OPEN SPACE	20 %	768	36.6	1408
DENSITY	1.98 du/acre max.	347	347	347
TOTAL UNITS 1				
SQUARE FEET OF BUILDING SITE AREA				
5000 SQ. FT. OR LESS	48 %	2400	1991	1991
NEXT 5000 SQ. FT.	35 %	1610		350
TOTAL 4010				
MAIN BUILDING SETBACK				
FRONT (F1)	25	24'-6"		TO REMAIN
SECONDARY FRONT (F2)	15	0		
INTERIOR SIDE (F3) (20% of lot width)	5	10	35.8	17.9
REAR (F4)	10	37'-2"		TO REMAIN
SWIMMING POOL SETBACK				
FRONT (F1)	10	N/A	104'-4"	
SECONDARY FRONT (F2)	20	N/A	N/A	
INTERIOR SIDE (F3)	5	N/A	17'-0"	
REAR (F4)	5	N/A	10'-4"	
FENCE WALL & HEDGES				
MAX. HEIGHT (F1)	6	4		TO REMAIN



- SCOPE OF WORK:**  
**WORK AREA 1:**
- EXISTING GARAGE STRUCTURE TO REMAIN. NEW ROOF INSTALLATION ONLY.
  - NEW WOOD OPEN PERGOLA STRUCTURE ATTACHED TO THE EXISTING GARAGE STRUCTURE.
  - INSTALL NEW INTERLOCKING PAVERS SET ON SAND.
  - INSTALL NEW MECHANICAL AND ELECTRICAL EQUIPMENTS UNDER SEPARATE PERMIT. BY OTHERS.
  - INSTALL NEW EXTERIOR OVEN AND EXTERIOR BKG.
- WORK AREA 2:**
- EXISTING GARAGE STRUCTURE 1072 (ADDENDUM).
  - INSTALL NEW EXTERIOR CONCRETE FLOOR.
  - INSTALL NEW EXTERIOR GLASS DOORS AND WINDOWS UNDER SEPARATE PERMIT. BY OTHERS.
- FLOOR PLAN KEYED NOTES:**
- FLOORS AND ALL WATER EXPOSED SURFACES SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
  - EXISTING CONCRETE STEPS TO REMAIN.
  - EXISTING PAVERS SET ON SAND TO REMAIN.
  - INSTALL NEW PAVERS SET ON SAND.
  - EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING CARPORT STRUCTURE TO REMAIN AS EXISTING.
  - EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
  - EXISTING CONCRETE STEPS TO REMAIN.
  - EXISTING PAVERS SET ON SAND TO REMAIN.
  - INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.
  - COUNTER TOP IN KITCHEN CABINETS MUST BE 83/16" MAX. FROM A.F.F.
  - NEW SWIMMING UNDER SEPARATE PERMIT. BY OTHERS. POOL BARRIER COMPLYING WITH F.P.C. RESIDENTIAL CHAPTER 41, SECTION 41.09.
  - EXISTING VERBLY TERRACE FLOORING NOT BE REMOVED. PROVIDE 2" VISIBILITY BETWEEN THE HEIGHT OF TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE THE FLOOR GRADING WITHIN VISIBILITY ZONES.
  - EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OR THE HOUSE. ADDING 300 SQ. FT. UNDER A/C TO THE PROPERTY.
  - NEW CONCRETE STRIP DRIVEWAY TO MATCH EXISTING.

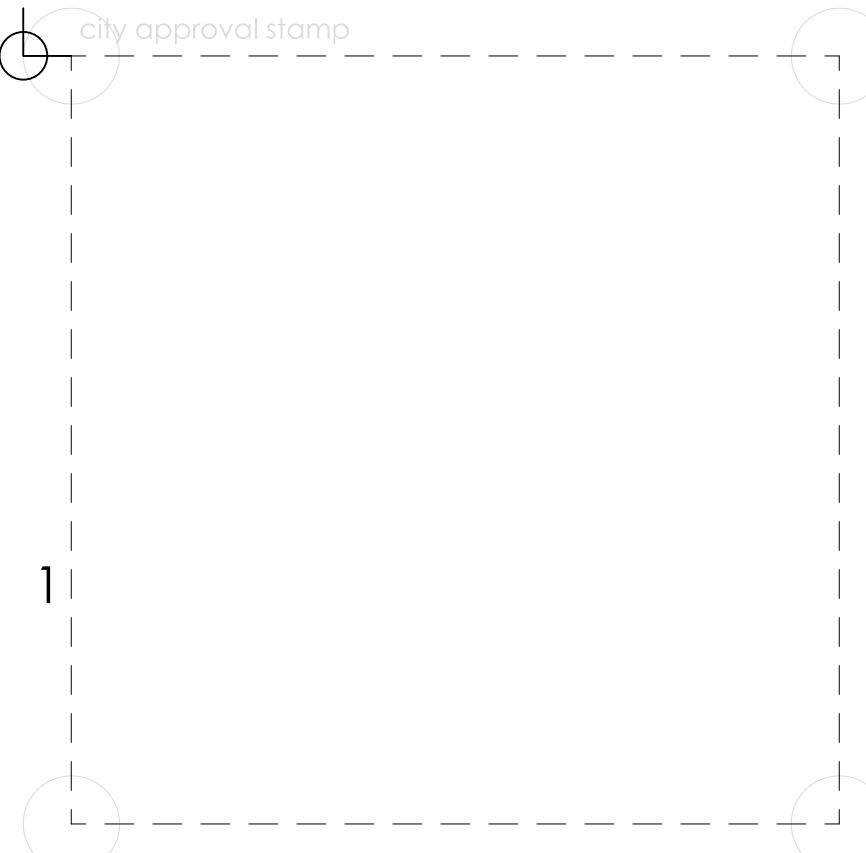


- SCOPE OF WORK:**  
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  - NEW CONCRETE STRIP DRIVEWAY TO MATCH EXISTING.

PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"

**FLOOR PLAN SYMBOLS LEGEND**

(1)	NEW 8" CMUL SEE STRUCTURAL PLANS FOR DETAILS.
(2)	NEW NON-BEARING PARTITION.
(3)	NEW NON-BEARING PARTITION WITH INSULATION R-11.
(4)	NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
(5)	NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
(6)	EXISTING GRADE ELEVATION.
(7)	PROPOSED GRADE ELEVATION.
(8)	PROPOSED GRADE ELEVATION.
(9)	EXISTING WATER METER. LOCATION OBTAINED FROM ACTUAL SURVEY. GC MUST VERIFY SITE LOCATION.
(10)	PROPOSED GRADE ELEVATION.
(11)	EXISTING OR PROPOSED BUILDING ELEVATION.



**RIODAS**  
architecture studio  
LIC.#L23000449389

architect of record Miguel Rionda LIC.#AR 94189

office address 240 Crandon Blvd. Suite 287  
Key Biscayne, FL 33149

contact info. info@riodasarch.com

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439 Majorca Ave, Coral Gables-FL. 33134

ADDRESS  
**ADDITION AND REMODELING**

3 project

owner ETHAN MANSLEY CURTIS

rework #1	08.21.2025	
rework #2	07.11.2025	
rework #3	10.04.2025	
rework #4	03.25.2024	
rework #5		
reworks	rework #6	
revisions	revision #1	
	revision #2	
	revision #3	
	revision #4	
	revision #5	
	revision #6	

PROPOSED SITE PLAN

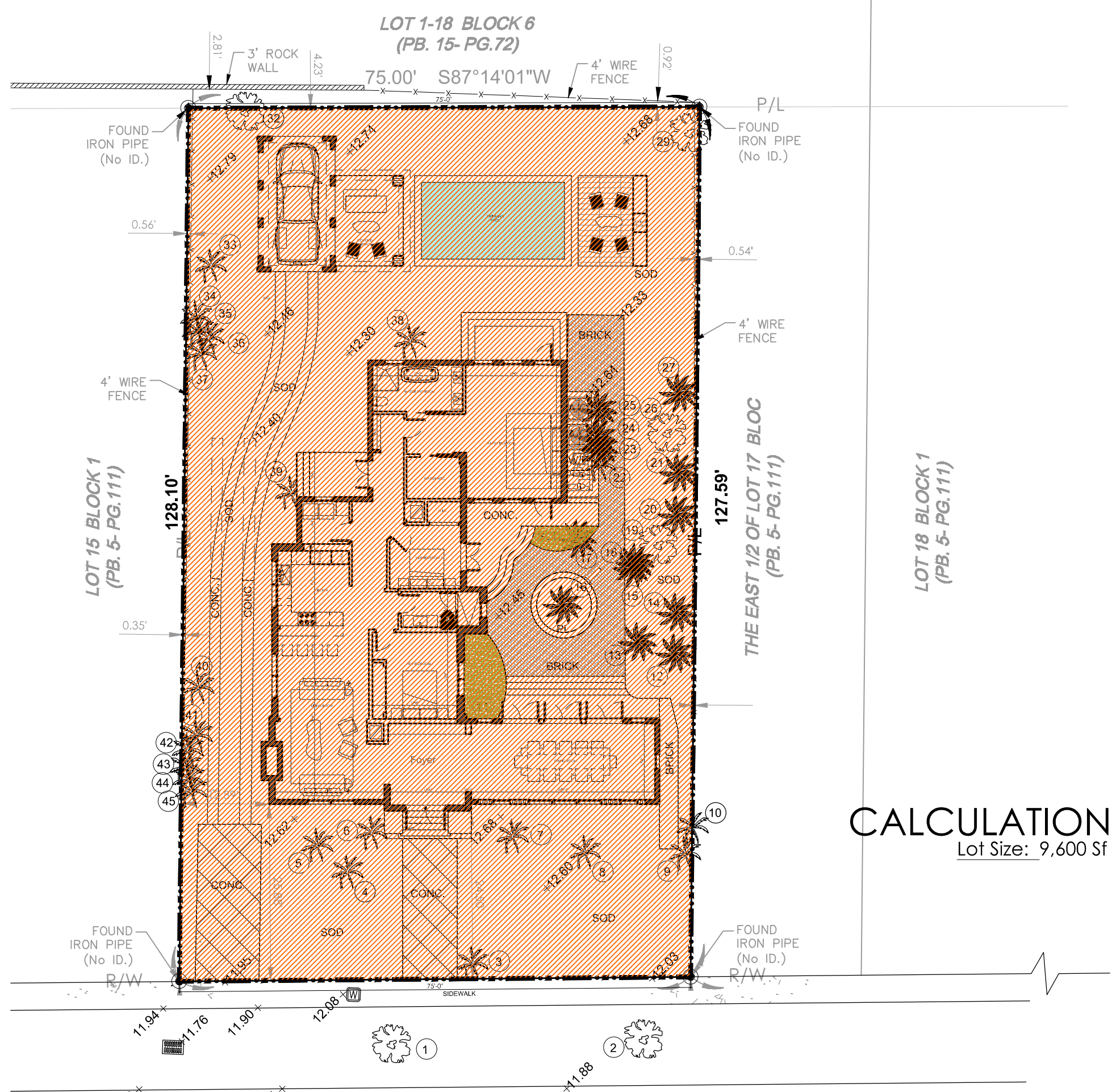
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scale: as shown  
checked by: MR  
sheet

**SP101**

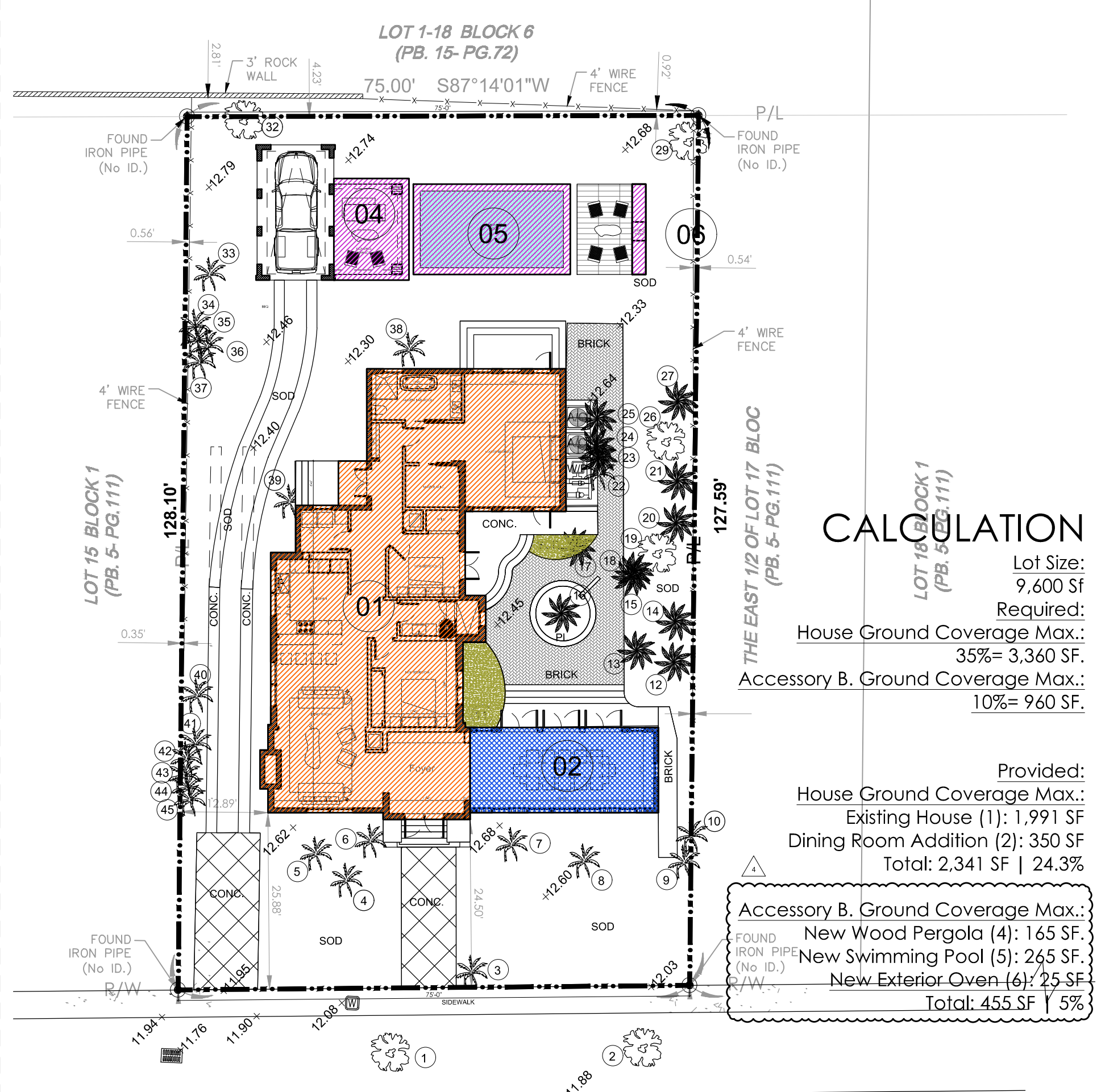


**LOT SIZE DIAGRAM**  
SCALE: N.T.S.



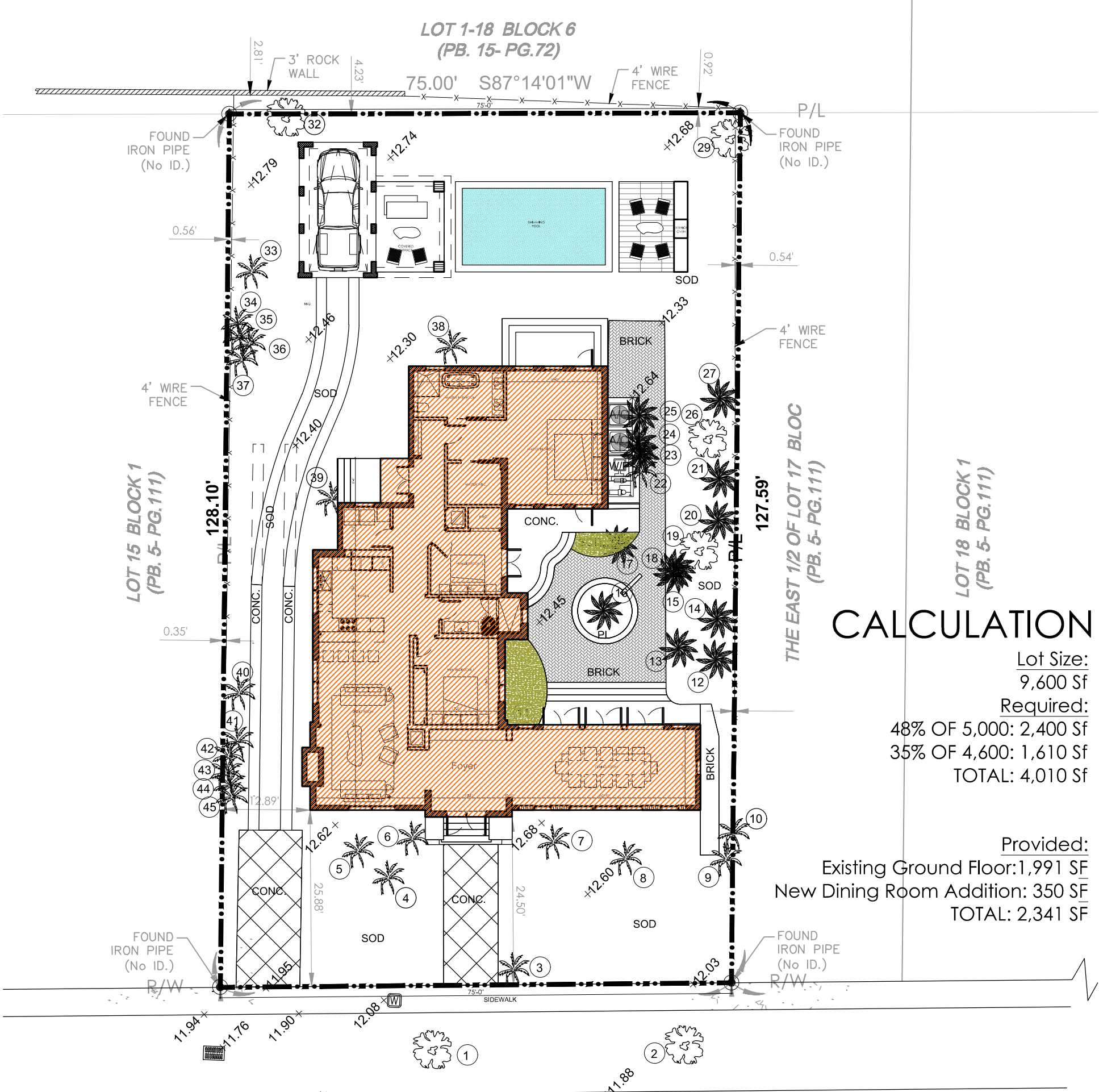
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**LOT COVERAGE DIAGRAM**  
SCALE: N.T.S.



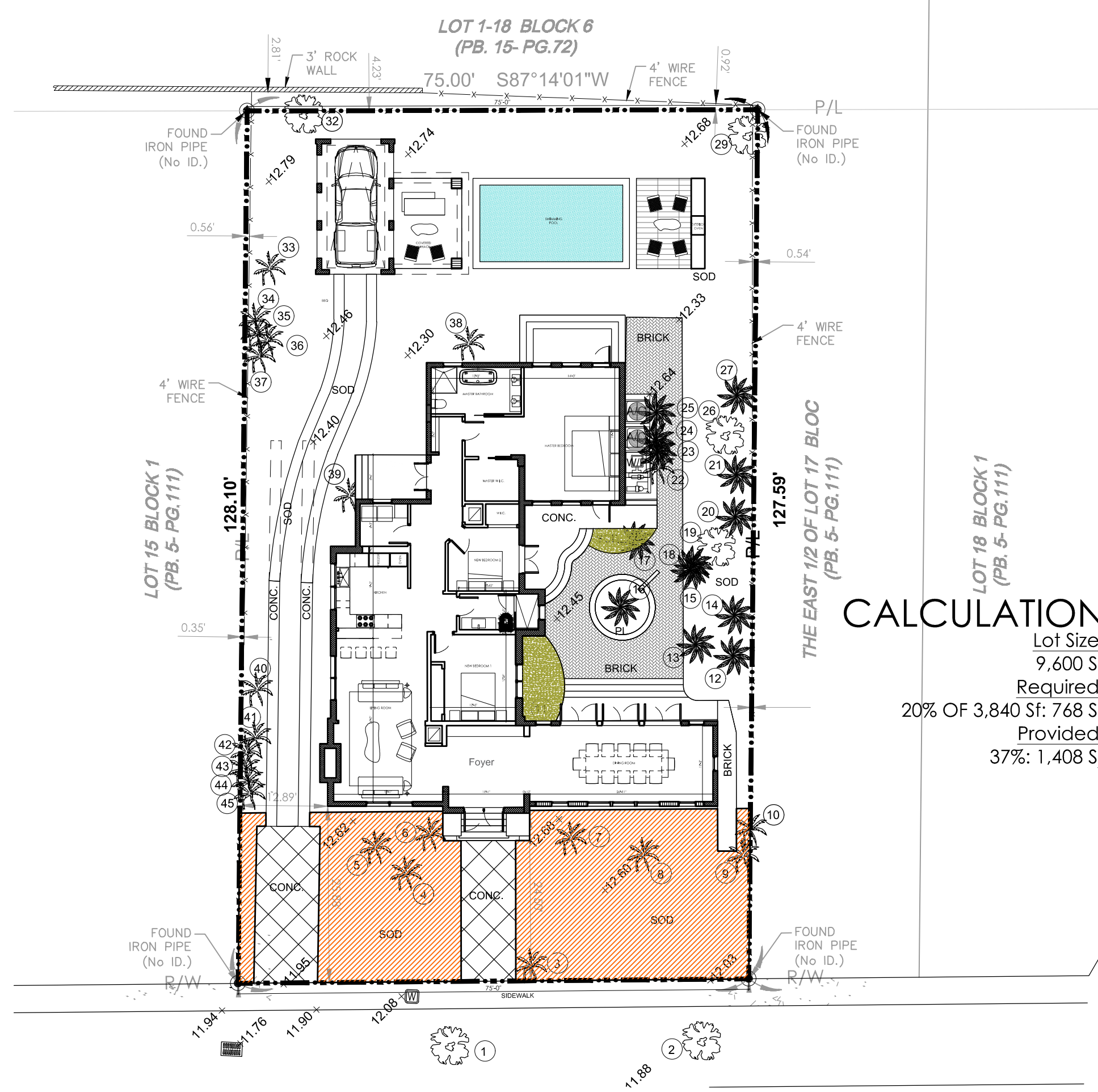
**CALCULATION**  
Lot Size: 9,600 Sf  
Required:  
House Ground Coverage Max.: 35%= 3,360 Sf  
Accessory B. Ground Coverage Max.: 10%= 960 Sf  
  
Provided:  
Existing House (1): 1,991 Sf  
Dining Room Addition (2): 350 Sf  
Total: 2,341 Sf | 24.3%  
  
Accessory B. Ground Coverage Max.:  
New Wood Pergola (4): 165 Sf  
New Swimming Pool (5): 265 Sf  
New Exterior Oven (6): 25 Sf  
Total: 455 Sf | 5%

**F.A.R. CALCULATION DIAGRAM**  
SCALE: N.T.S.



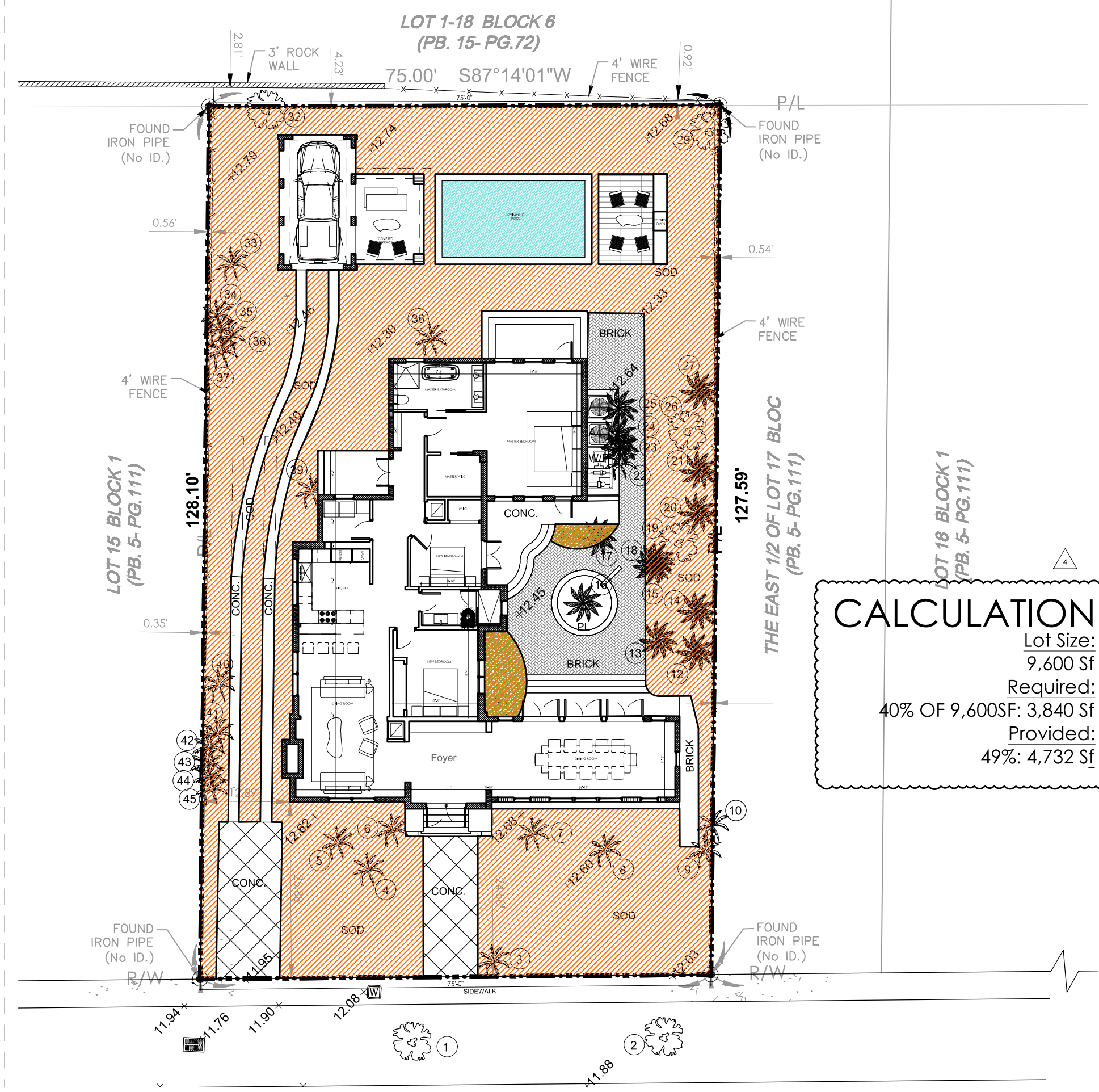
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Lot Size: 9,600 Sf  
Required:  
48% OF 5,000: 2,400 Sf  
35% OF 4,600: 1,610 Sf  
TOTAL: 4,010 Sf  
  
Provided:  
Existing Ground Floor: 1,991 Sf  
New Dining Room Addition: 350 Sf  
TOTAL: 2,341 Sf

**FRONT YARD GREEN DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**  
Lot Size: 9,600 Sf  
Required:  
20% OF 3,840 Sf: 768 Sf  
Provided:  
37%: 1,408 Sf

**OPEN SPACE MINIMUM DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**  
Lot Size: 9,600 Sf  
Required:  
40% OF 9,600Sf: 3,840 Sf  
Provided:  
49%: 4,732 Sf



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architect of record Miguel Rionda LIC.#AR 94189  
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**ADDITION AND REMODELING**

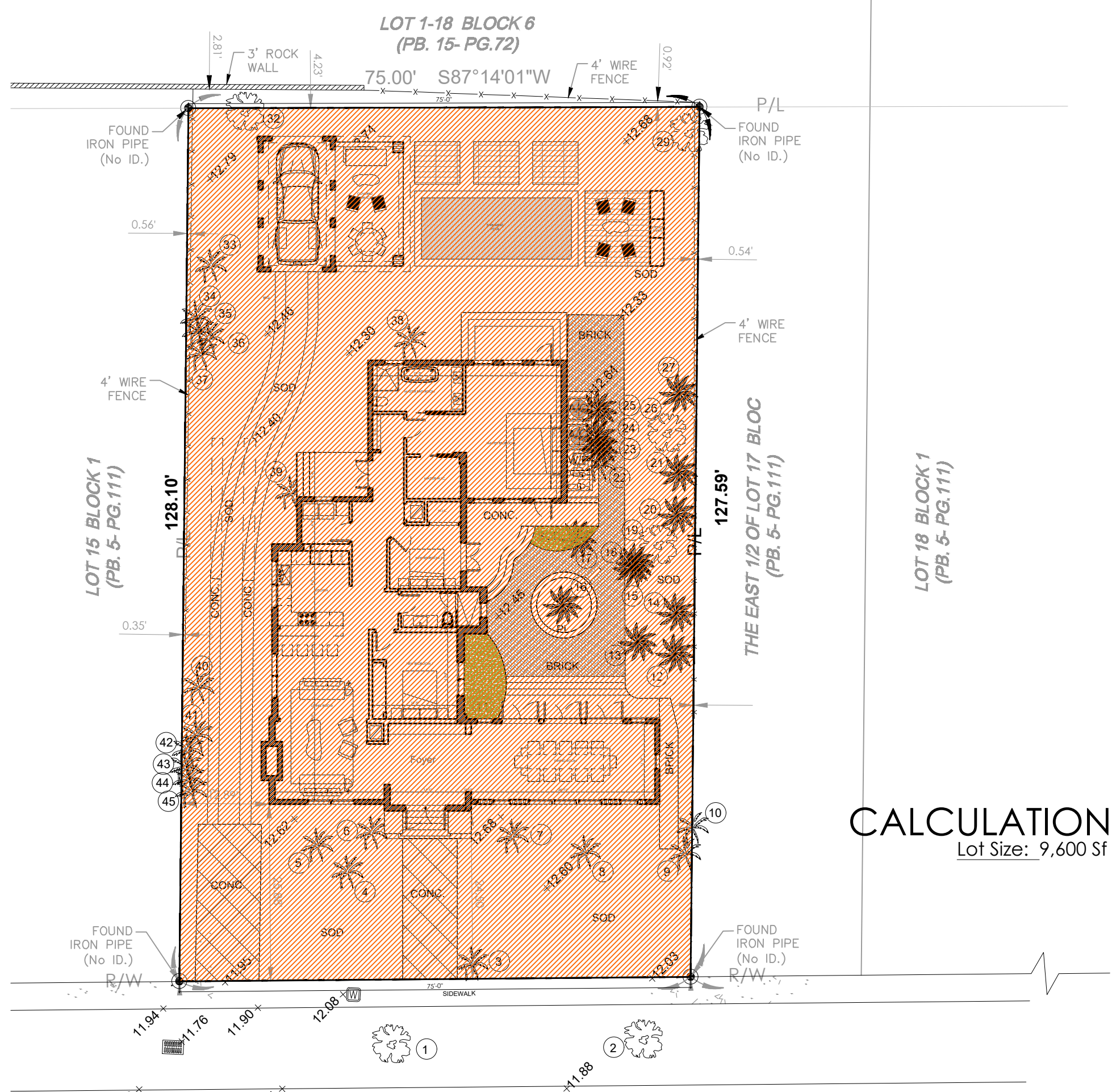
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rework #2	07.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4	03.25.2024	Hist. B. Coral Gables	△
rework #5			
rework #6			

**SITE PLAN DIAGRAMS**

date: 05/07/2025  
scale: as shown  
checked by: MR  
sheet

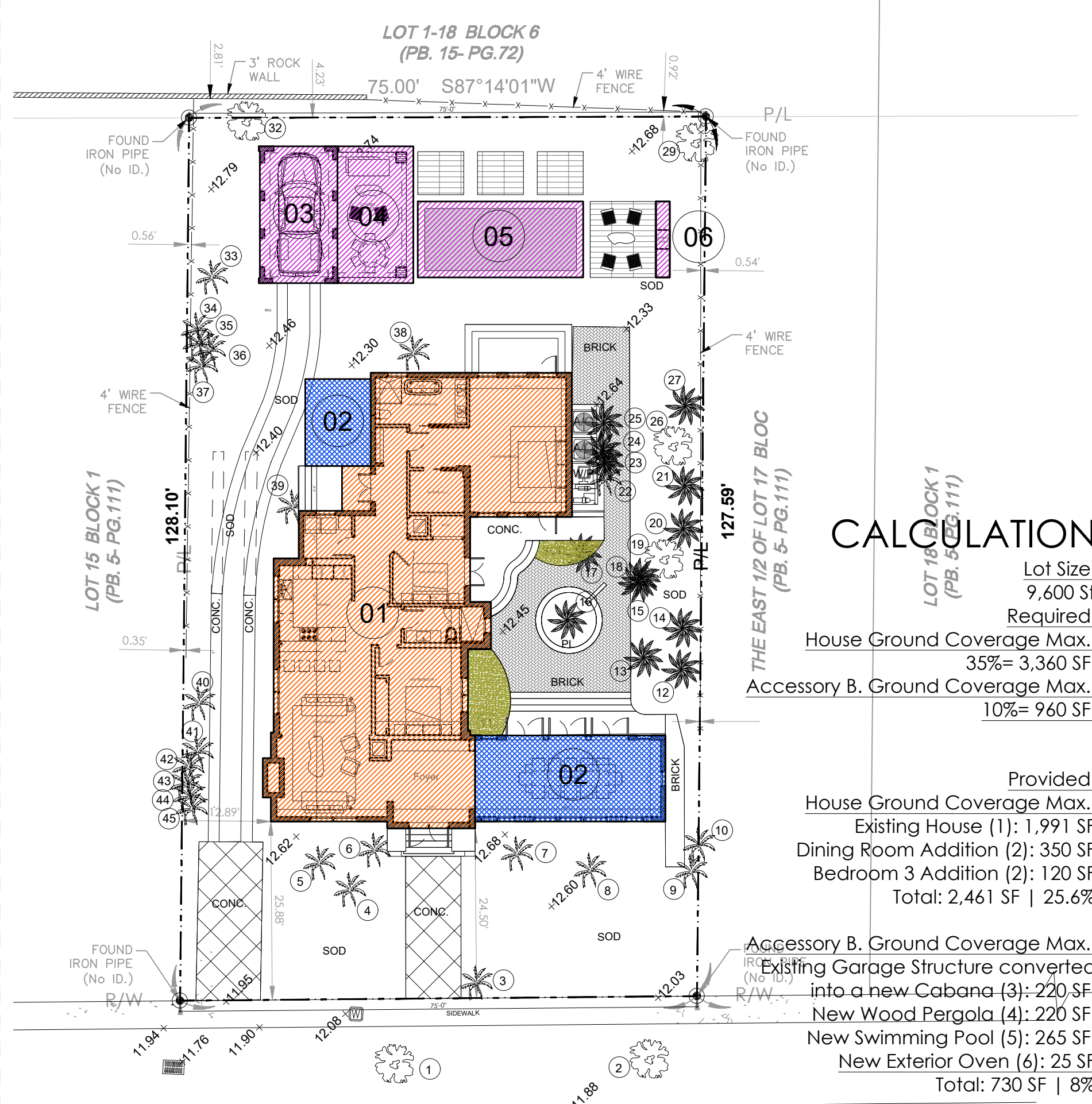
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**LOT SIZE DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**  
Lot Size: 9,600 Sf

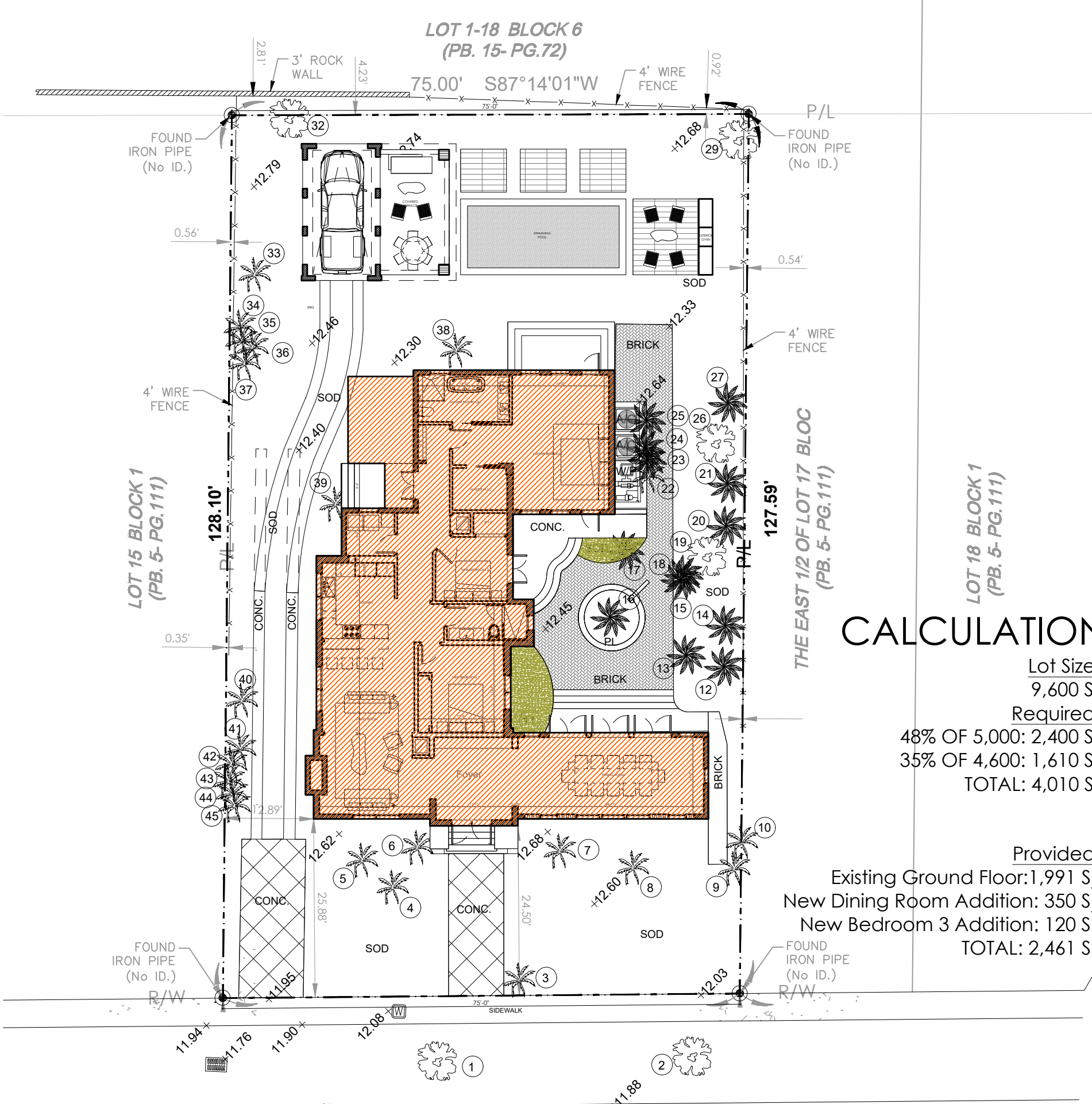
**LOT COVERAGE DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**

Lot Size: 9,600 Sf  
 Required:  
 House Ground Coverage Max.: 35%= 3,360 Sf  
 Accessory B. Ground Coverage Max.: 10%= 960 Sf  
 Provided:  
 House Ground Coverage Max.: Existing House (1): 1,991 Sf  
 Dining Room Addition (2): 350 Sf  
 Bedroom 3 Addition (2): 120 Sf  
 Total: 2,461 Sf | 25.6%  
 Accessory B. Ground Coverage Max.: Existing Garage Structure converted into a new Cabana (3): 220 Sf  
 New Wood Pergola (4): 220 Sf  
 New Swimming Pool (5): 265 Sf  
 New Exterior Oven (6): 25 Sf  
 Total: 730 Sf | 8%

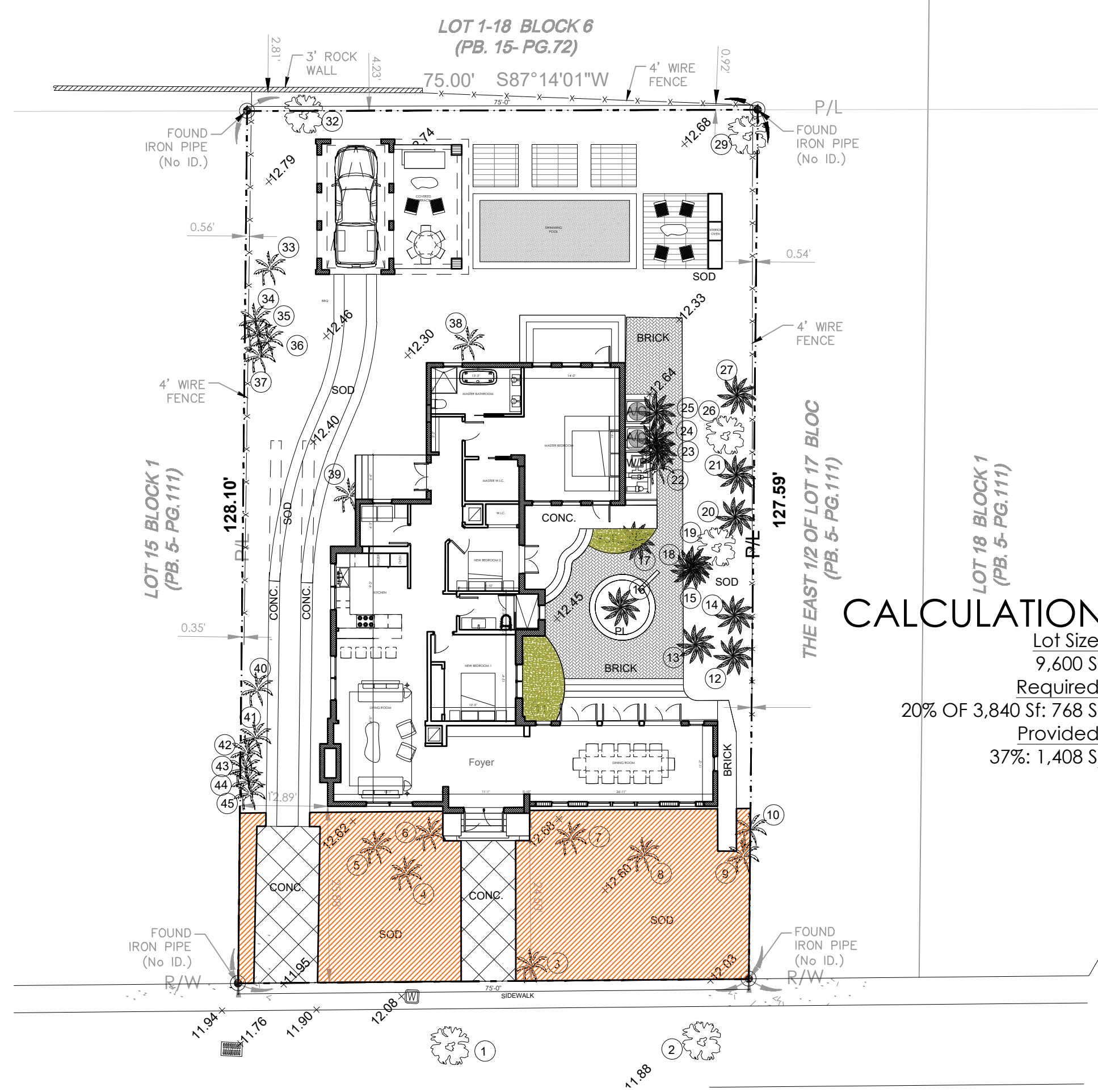
**F.A.R. CALCULATION DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**

Lot Size: 9,600 Sf  
 Required:  
 48% OF 5,000: 2,400 Sf  
 35% OF 4,600: 1,610 Sf  
 TOTAL: 4,010 Sf  
 Provided:  
 Existing Ground Floor: 1,991 Sf  
 New Dining Room Addition: 350 Sf  
 New Bedroom 3 Addition: 120 Sf  
 TOTAL: 2,461 Sf

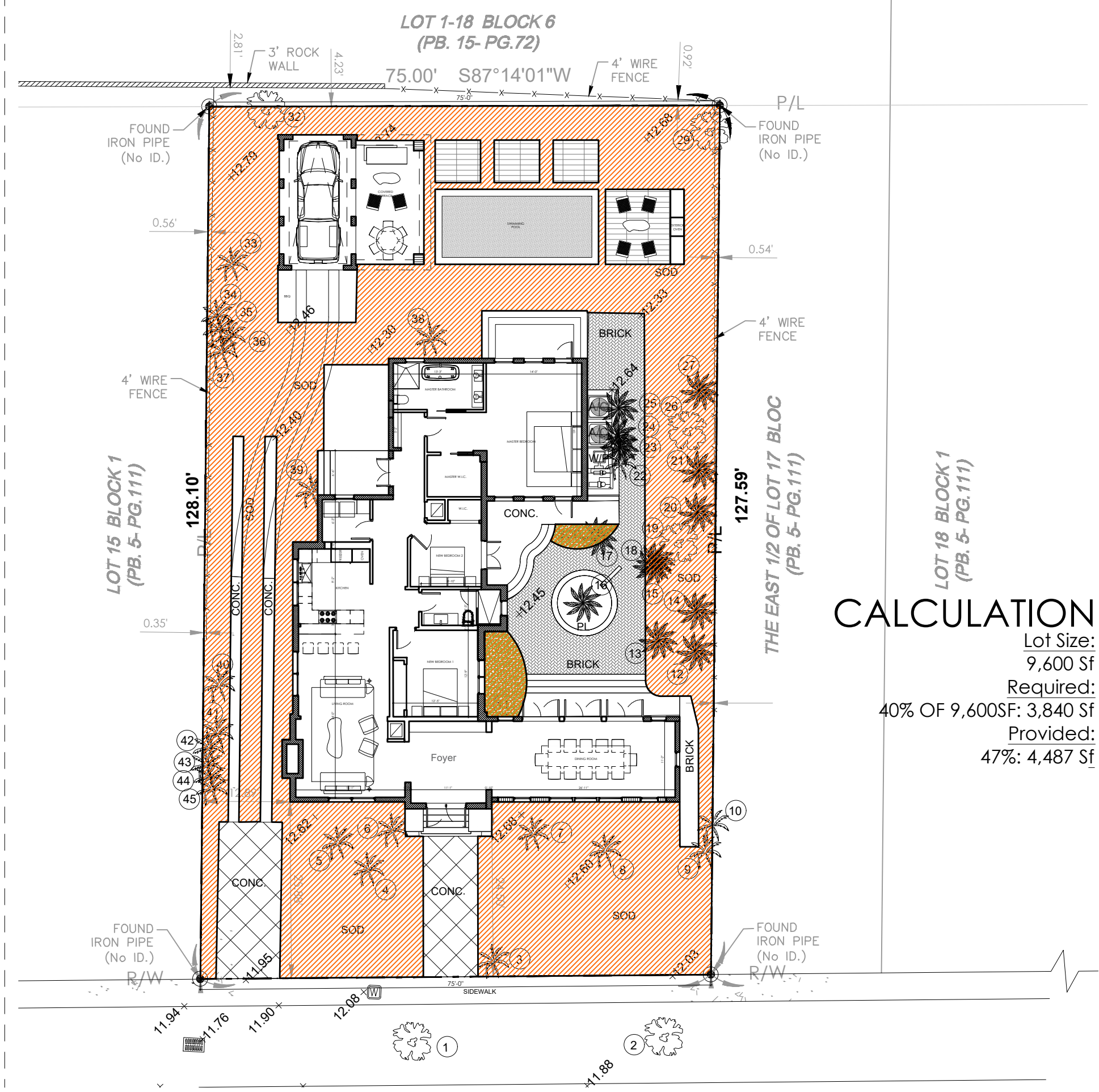
**FRONT YARD GREEN DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**

Lot Size: 9,600 Sf  
 Required:  
 20% OF 3,840 Sf: 768 Sf  
 Provided:  
 37%: 1,408 Sf

**OPEN SPACE MINIMUM DIAGRAM**  
SCALE: N.T.S.



**CALCULATION**

Lot Size: 9,600 Sf  
 Required:  
 40% OF 9,600Sf: 3,840 Sf  
 Provided:  
 47%: 4,487 Sf



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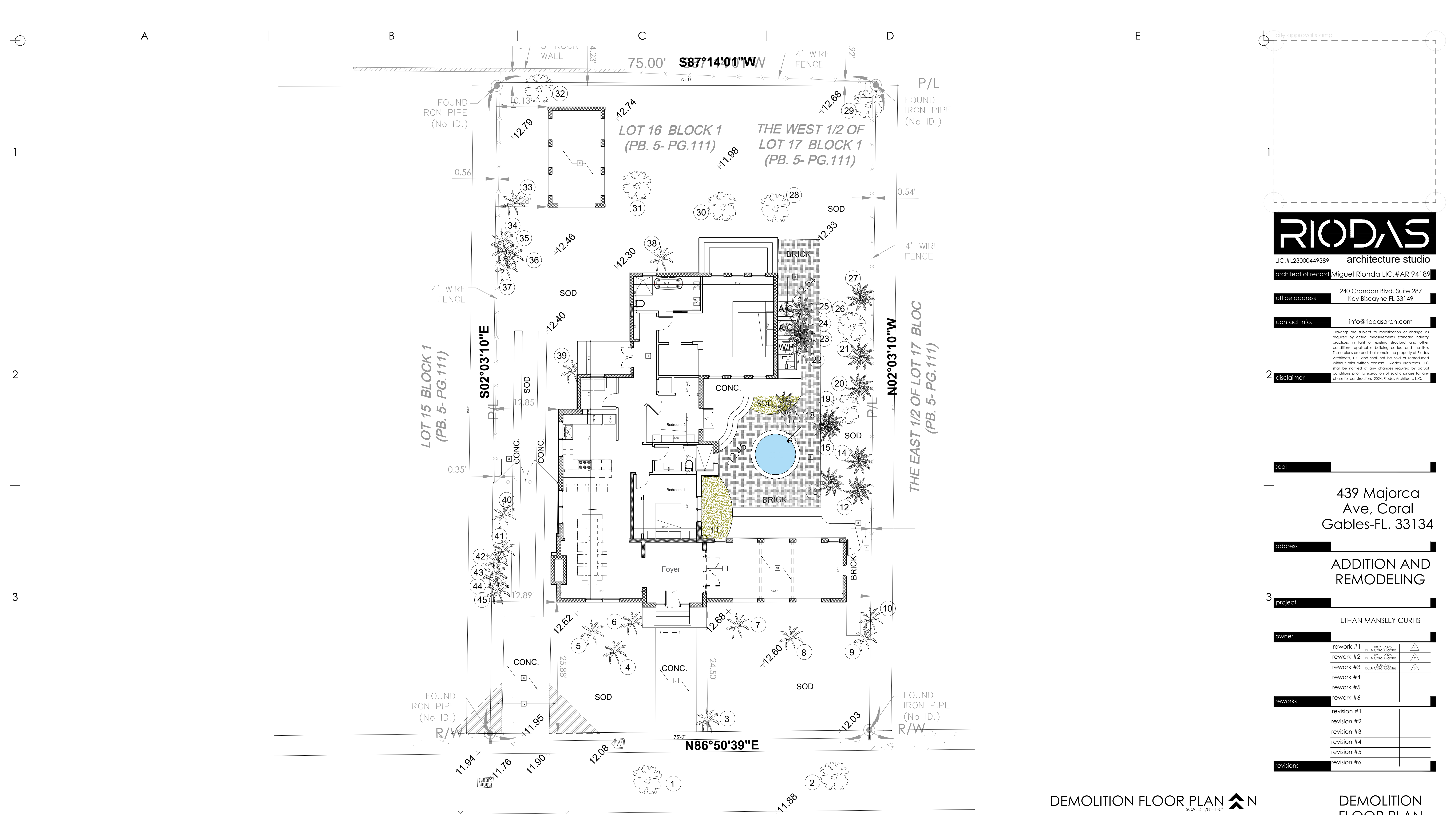
**ADDITION AND REMODELING**

owner	ETHAN MANSLEY CURTIS		
rework #1	08.21.2025	BOA Coral Gables	△
rework #2	07.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
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rework #6			
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	revision #5		
	revision #6		

**SITE PLAN DIAGRAMS**

date: 05/07/2025  
 scale: as shown  
 checked by: MR  
 sheet

**VOID**  
 SP102



city approval stamp

**RIODAS**  
 LIC.#L23000449389 architecture studio  
 architect of record Miguel Rionda LIC.#AR 94189  
 office address 240 Crandon Blvd. Suite 287  
 Key Biscayne, FL 33149  
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 disclaimer Drawings are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable building codes, and the like. These plans are and shall remain the property of Riodas Architects, LLC and shall not be sold or reproduced without prior written consent. Riodas Architects, LLC shall be notified of any changes required by actual conditions prior to execution of said changes for any phase for construction. 2024 Riodas Architects, LLC.

seal

439 Majorca Ave, Coral Gables-FL. 33134  
 address

**ADDITION AND REMODELING**  
 project

ETHAN MANSLEY CURTIS  
 owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
rework #6			

revisions	revision #1	
	revision #2	
	revision #3	
	revision #4	
	revision #5	
	revision #6	

- FLOOR PLAN KEYED NOTES**
- |   |  |    |  |
|---|--|----|--|
| 1 | EXISTING EXTERIOR DOORS AND WINDOWS TO BE REMOVED.   | 8  | EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.   |
| 2 | EXISTING 1.5' MAX. HEIGHT THRESHOLD.   | 9  | EXISTING CONCRETE STEPS TO REMAIN.   |
| 3 | EXISTING FENCE 4'-0" HEIGHT ABOVE GRADE TO REMAIN.   | 10 | EXISTING PAVERS SET ON SAND TO REMAIN.   |
| 4 | EXISTING WATER FEATURE TO REMAIN.  | 11 | EXISTING CARPORT STRUCTURE TO REMAIN.  |
| 5 | EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN. | 12 | 15FT VISIBILITY TRIANGLE. Nothing shall be erected, placed, planted, or allowed to grow in such a manner as to form a hazard impediment to visibility between the heights of two and one-half (2 1/2) feet and ten (10) feet above the mean grade level within visibility triangles. |
| 6 | EXISTING CONCRETE DRIVEWAY TO REMAIN.  | 13 | EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.  |
| 7 | EXISTING CONCRETE WALKWAY TO REMAIN.   |    |  |

- FLOOR PLAN SYMBOLS LEGEND**
- ① NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
  - ② NEW NON-BEARING PARTITION.
  - ③ NEW NON-BEARING PARTITION WITH INSULATION R-11.
  - ④ NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
  - ⑤ NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
  - ⑥ X.#.# EXISTING GRADE ELEVATION.
  - ⑦ PROPOSED GRADE ELEVATION.
  - ⑧ XX PROPOSED GRADE ELEVATION.
  - ⑨ EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
  - ⑩ PROPOSED GRADE ELEVATION.
  - ⑪ EXISTING OR PROPOSED BUILDING ELEVATION.

DEMOLITION FLOOR PLAN  
 SCALE: 1/8"=1'-0" N

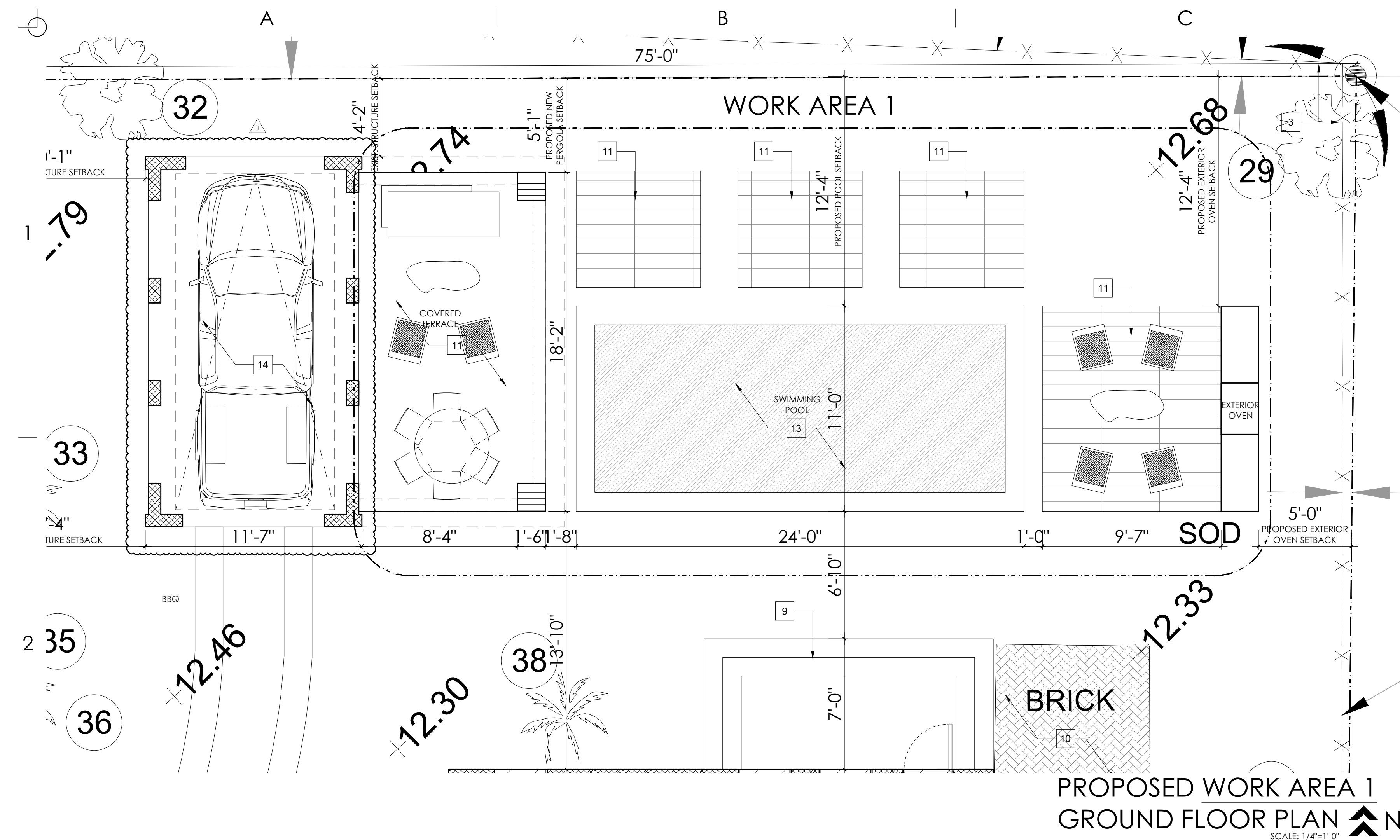
DEMOLITION FLOOR PLAN

sheet title

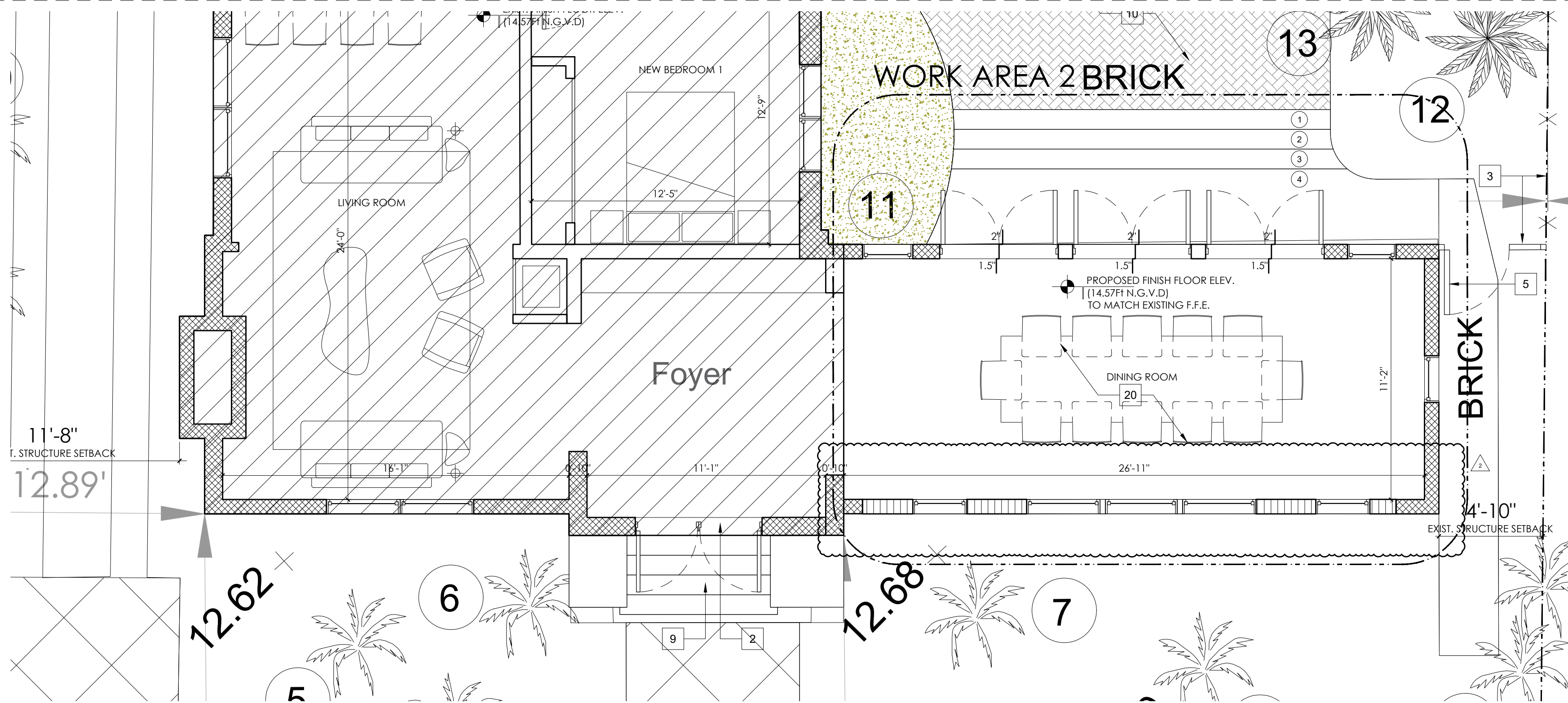
date: 05/07/2025  
 scale: as shown  
 checked by: MR  
 sheet

D101





PROPOSED WORK AREA 1  
GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"



PROPOSED WORK AREA 2  
GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN KEYED NOTES

- |   |   |  |  |
|---|---|--|--|
| <p>1 FLOORS AND ALL WATER EXPOSED SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 4 FT. ABOVE THE FLOOR.<br/>PROVIDE BACKING BOARD FOR CERAMIC TILE TO BE CEMENT OR GLASS MAT, R702.4.<br/>PROVIDE WOOD BACKING 3/4" PLYWOOD FOR UPPER &amp; LOWER CABINETS FASTEN TO METAL STUDS.<br/>THOSE SUPPORTING WALL SHALL BE DOUBLE AT 16" O.C. OR NOT LESS WITH A MINIMUM EFFECTIVE MOMENTED 0.84 IN. SQ. (500Psi).</p> <p>2 INSTALL NEW WOOD DOUBLE DOOR WITH A GLASS TRANSOM ON TOP. PROVIDE 1.5" MAX. HEIGHT THRESHOLD.</p> <p>3 EXISTING FENCE 4'-0" HEIGHT ABOVE GRADE TO REMAIN.</p> <p>4 NEW POOL EQUIPMENTS TO BE INSTALLED SCREENED BY LANDSCAPE OR METAL FENCE ON 3 SIDES FROM PUBLIC VIEW. CONCRETE PAD. ELEVATION: 14.57FT NGVD.</p> | <p>5 EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.</p> <p>6 EXISTING CONCRETE DRIVEWAY TO REMAIN.</p> <p>7 EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.</p> <p>8 EXISTING CONCRETE STEPS TO REMAIN.</p> <p>9 EXISTING PAVERS SET ON SAND TO REMAIN.</p> <p>10 EXISTING CONCRETE DRIVEWAY TO REMAIN.</p> <p>11 EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.</p> | <p>12 INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.</p> <p>13 COUNTER TOP IN KITCHEN CABINETS MUST BE @36" MAX. FROM A.F.F.</p> <p>14 NEW SWIMMING, UNDER SEPARATE PERMIT. BY OTHERS: POOL BARRIER COMPLYING WITH F.B.C. RESIDENTIAL CHAPTER 41, SECTION R4101.17.1 THROUGH R41.17.1.14</p> <p>15 EXISTING CARPORT STRUCTURE TO REMAIN AS EXISTING.</p> <p>16 10FT VISIBILITY TRIANGLE, nothing shall be erected, planted, or allowed to grow in such a manner as to form a triangular impediment to visibility between the heights of two and one-half (2 1/2) feet and ten (10) feet above the street grade level with visibility triangles.</p> <p>17 3 PLY ANCHORED BITUMEN ROOFING WITH A 20 YEARS N.D.L. OVER TAPERED INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS PERMIT BY OTHERS: PRODUCT CONTROL APPROVAL. NOA NO. 18032109</p> | <p>18 CMU PARAPET. PARAPET HEIGHT: 24"</p> <p>19 CMU PARAPET. PARAPET HEIGHT: VARIABLE. SEE ELEVATIONS.</p> <p>20 NEW WOOD PERGOLA INSTALLED OVER CONCRETE COLUMNS.</p> <p>21 EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.</p> <p>22 INSTALL NEW VEREA "SPANISH S" GRADE 1 APPROVAL NOA No.: 22-0206-03 OVER 1.30M FEET (IN RANGED TO 1/2" (12MM) PLYWOOD SHEATHING. SPACING OF FIN-AG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. ACROSS WIDTH OF ROLL. AS PER F.B.C. THE 1.30M FEET IS ANCHORED TO THE PLYWOOD SHEATHING WITH SENSCO GALVANIZED DIAMOND PINS, 1/2"x1/2" DIA. PER FOOT TOWARDS ROOF DRAINS PERMIT BY OTHERS: PRODUCT CONTROL APPROVAL. NOA NO. 21-1027-02.</p> |
|---|---|--|--|

FLOOR PLAN SYMBOLS LEGEND

- |               |   |
|---------------|---|
| (1) [Symbol]  | NEW 8" CMU. SEE STRUCTURAL PLANS FOR DETAILS.   |
| (2) [Symbol]  | NEW NON-BEARING PARTITION.  |
| (3) [Symbol]  | NEW NON-BEARING PARTITION WITH INSULATION R-11.   |
| (4) [Symbol]  | NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.                                      |
| (5) [Symbol]  | NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.   |
| (6) [Symbol]  | EXISTING GRADE ELEVATION.   |
| (7) [Symbol]  | PROPOSED GRADE ELEVATION.   |
| (8) [Symbol]  | PROPOSED GRADE ELEVATION.   |
| (9) [Symbol]  | EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION. |
| (10) [Symbol] | PROPOSED GRADE ELEVATION.   |
| (11) [Symbol] | EXISTING OR PROPOSED BUILDING ELEVATION.  |

city approval stamp

**RIODAS**  
architecture studio  
LIC.#L23000449389

architect of record Miguel Rionda LIC.#AR 94189

office address 240 Crandon Blvd. Suite 287  
Key Biscayne, FL 33149

contact info. info@riodasarch.com

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seal

439 Majorca Ave, Coral Gables-FL. 33134

address

**ADDITION AND REMODELING**

3 project

owner ETHAN MANSLEY CURTIS

rework #1	08-21-2025	[Symbol]
rework #2	07-11-2025	[Symbol]
rework #3	10-04-2025	[Symbol]
rework #4		
rework #5		
rework #6		

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

PROPOSED FLOOR PLAN

sheet title

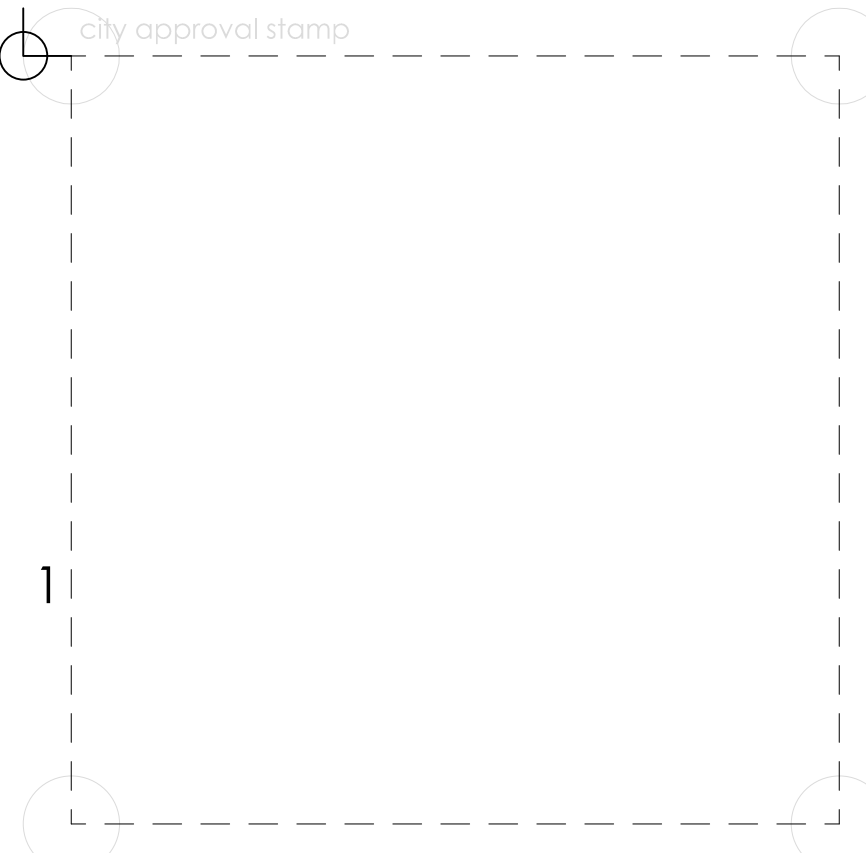
date: 05/07/2025

scale: as shown

checked by: MR

sheet

**VOID**



**RIODAS**  
architecture studio

LIC.#L23000449389 architect of record Miguel Rionda LIC.#AR 94189

office address 240 Crandon Blvd, Suite 287  
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disclaimer

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439 Majorca Ave, Coral Gables-FL. 33134

address

**ADDITION AND REMODELING**

project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4	03.25.2026	Hist. B. Coral Gables	△
rework #5			
rework #6			

reworks

revision #1			
revision #2			
revision #3			
revision #4			
revision #5			
revision #6			

revisions

**PROPOSED ROOF FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**PROPOSED ROOF FLOOR PLAN**

- FLOOR PLAN KEYED NOTES**
- FLOORS AND ALL WATER EXPOSED SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FT. ABOVE THE FLOOR.  
PROVIDE BACKING BOARD FOR CERAMIC TILE TO BE CEMENT OR GLASS MAT. R702.4.
  - PROVIDE WOOD BACKING 3/4" PLYWOOD FOR UPPER & LOWER CABINETS FASTEN TO METAL STUDS.  
THOSE SUPPORTING WALL SHALL BE DOUBLE AT 16" O.C. OR NOT LESS WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA (I<sub>eff</sub>) AS PER 1609.1.1.1 THROUGH 1609.1.1.4
  - EXISTING FENCE 4'-0" HEIGHT ABOVE GRADE TO REMAIN.
  - NEW POOL EQUIPMENTS TO BE INSTALLED SCREENED BY LANDSCAPE OR METAL FENCE ON 3 SIDES FROM PUBLIC VIEW. CONCRETE PAD ELEVATION: 14.57FT NGVD.
  - EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING CONCRETE WALKWAY TO REMAIN.
  - EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
  - EXISTING CONCRETE STEPS TO REMAIN.
  - EXISTING PAVERS SET ON SAND TO REMAIN.
  - EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.
  - EXISTING CONCRETE DRIVEWAY TO REMAIN.
  - EXISTING CONCRETE WALKWAY TO REMAIN.
  - EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
  - EXISTING CONCRETE STEPS TO REMAIN.
  - EXISTING PAVERS SET ON SAND TO REMAIN.

- INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.
- COUNTER TOP IN KITCHEN CABINETS MUST BE @36" MAX. FROM A.F.F.
- NEW SWIMMING UNDER SEPARATE PERMIT. BY OTHERS: POOL BARRIER COMPLYING WITH F.B.C. RESIDENTIAL CHAPTER 41, SECTION R401.1.7.1 THROUGH R41.1.7.1.4
- EXISTING CARPORT STRUCTURE TO REMAIN AS EXISTING.
- 10FT VERTICAL TRIANGLE, nothing shall be erected, placed, planted or allowed to grow in such a manner as to form a physical impediment to visibility between the heights of two and one-half (2 1/2) feet and ten (10) feet above the street grade level with visibility triangles.
- 3 PLY MODIFIED BITUMEN ROOFING WITH A 20-YEAR N.D.L. OVER TAPERED INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS PERMITS BY OTHERS' PRODUCT CONTROL APPROVAL. NOA NO. 18032109
- 21-1027.02
- CMU PARAPET. PARAPET HEIGHT: 24"
- CMU PARAPET. PARAPET HEIGHT: VARIABLE. SEE ELEVATIONS.
- NEW WOOD PERGOLA INSTALLED OVER CONCRETE COLUMNS.
- EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.
- INSTALL NEW VEREA SPANISH 5' GRADE I APPROVAL NOA NO.: 25-0258.03 OVER 1-30# FELT (IN LAPPED TO 1/2" MIN) PLYWOOD SHEATHING. SPACING OF FIN-AG FASTENERS ALONG THE LAP OF SHEETS AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL. 12" O.C. ACROSS WIDTH OF ROLL. AS PER F.B.C. THE 1-30# FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH 8#X60 CALVANEZED DIAMOND POINTS. 1/2X1.30 DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NOA NO. 21-1027.02.

- EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.
- EXISTING CONCRETE DRIVEWAY TO REMAIN.
- EXISTING CONCRETE WALKWAY TO REMAIN.
- EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
- EXISTING CONCRETE STEPS TO REMAIN.
- EXISTING PAVERS SET ON SAND TO REMAIN.
- EXISTING GATE EQUIPPED WITH SPRING LOCK TYPE AUTOMATICALLY CLOSE AND FASTENED POSITION AT ALL TIMES. SAFE LOCK INCLUDED TO REMAIN.
- EXISTING CONCRETE DRIVEWAY TO REMAIN.
- EXISTING CONCRETE WALKWAY TO REMAIN.
- EXISTING MECHANICAL EQUIPMENTS OVER CONCRETE PAD SCREENED BY LANDSCAPE FROM PUBLIC VIEW TO REMAIN.
- EXISTING CONCRETE STEPS TO REMAIN.
- EXISTING PAVERS SET ON SAND TO REMAIN.

- NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
- NEW NON-BEARING PARTITION.
- NEW NON-BEARING PARTITION WITH INSULATION R-11.
- NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- X # # # EXISTING GRADE ELEVATION.
- XX PROPOSED GRADE ELEVATION.
- XXX PROPOSED GRADE ELEVATION.
- WM EXISTING WATER METER. LOCATION OBTAINED FROM ACTUAL SURVEY. GC MUST VERIFY SITE LOCATION.
- XXX PROPOSED GRADE ELEVATION.
- EXISTING OR PROPOSED BUILDING ELEVATION.

**FLOOR PLAN SYMBOLS LEGEND**

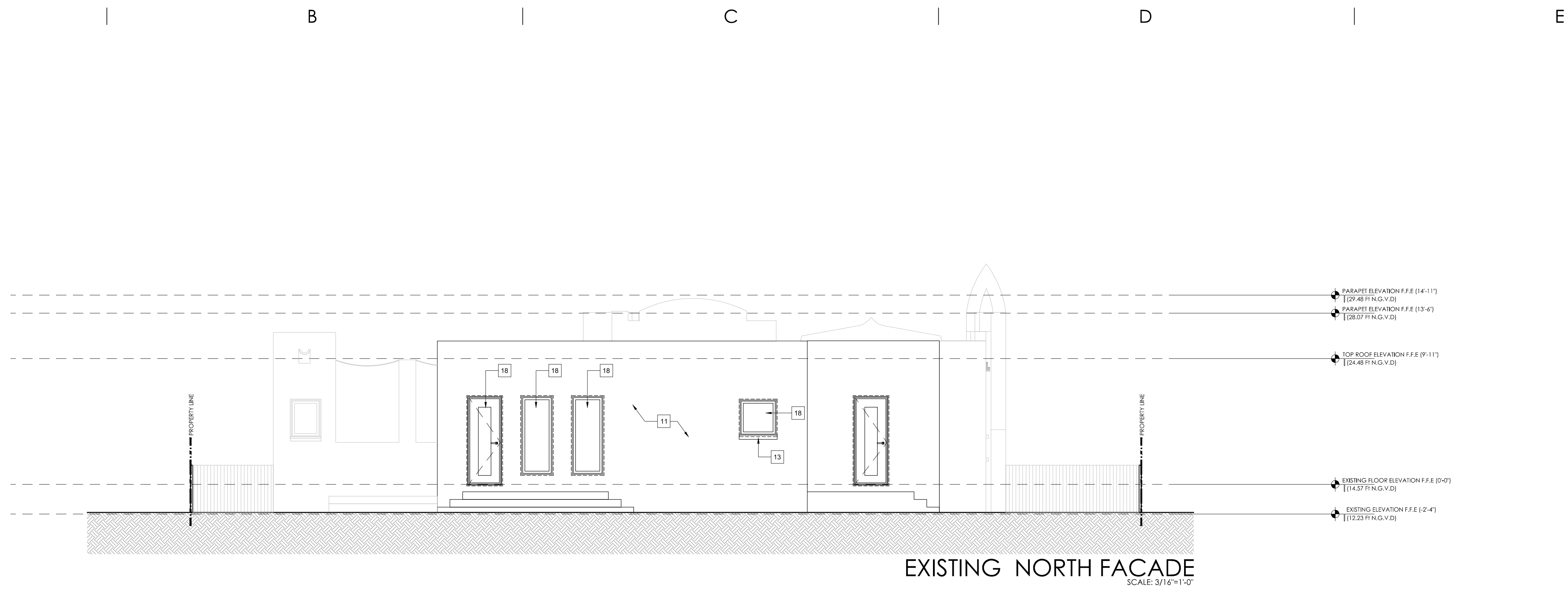
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(2)	NEW NON-BEARING PARTITION.
(3)	NEW NON-BEARING PARTITION WITH INSULATION R-11.
(4)	NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
(5)	NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
(X # # #)	EXISTING GRADE ELEVATION.
(XX)	PROPOSED GRADE ELEVATION.
(XXX)	PROPOSED GRADE ELEVATION.
(WM)	EXISTING WATER METER. LOCATION OBTAINED FROM ACTUAL SURVEY. GC MUST VERIFY SITE LOCATION.
(XXX)	PROPOSED GRADE ELEVATION.
(#)	EXISTING OR PROPOSED BUILDING ELEVATION.

sheet title

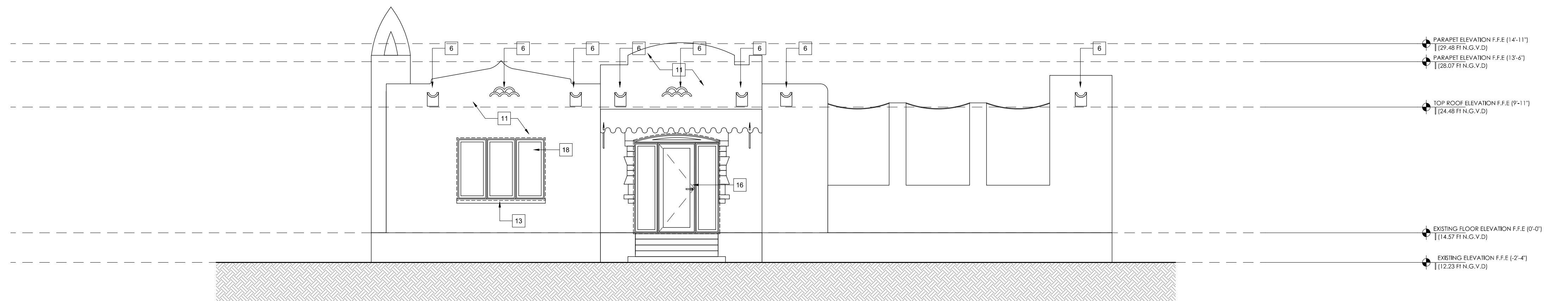
date: 05/07/2025  
scale: as shown  
checked by: MR  
sheet

**A102**





EXISTING NORTH FACADE  
SCALE: 3/16"=1'-0"



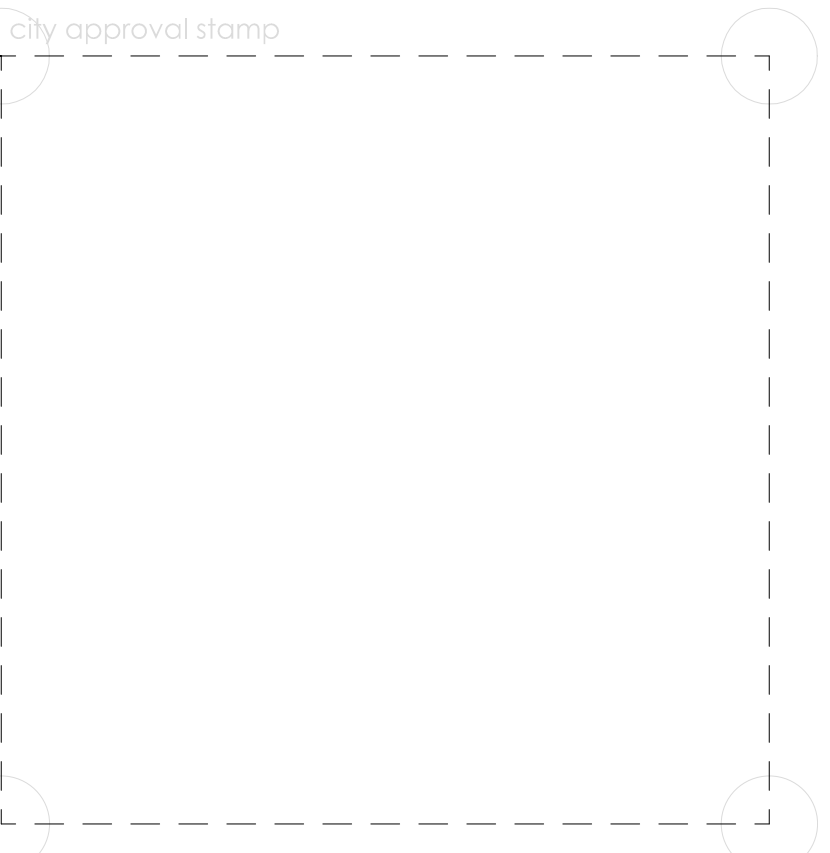
PROPOSED SOUTH FACADE  
SCALE: 3/16"=1'-0"

FACADE & SECTION KEYED NOTES

- |   |   |   |   |
|---|---|---|---|
| <p>1 ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.</p> <p>2 EXISTING FENCE TO REMAIN 4FT HEIGHT.</p> <p>3 DROP CEILING, 5/8" GYPSUM BOARD INSTALLED IN A 1-5/8" METAL FRAME ATTACHED TO THE WOOD RAFTERS. SEE SOFFIT DETAIL FOR FURTHER INFORMATION.</p> <p>4 EXISTING CARPORT STRUCTURE TO REMAIN.</p> <p>5 EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.</p> | <p>6 EXISTING EMERGENCY SCIPPERS TO REMAIN.</p> <p>7 NEW EMERGENCY SCIPPERS TO BE INSTALLED. EXTERIOR MOLDING TO MATCH THE EXISTING.</p> <p>8 NEW WOOD PERGOLA TO BE INSTALLED ATTACHED TO THE CONCRETE STRUCTURE. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>9 NEW CONCRETE STEPS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>10 NEW CONCRETE BEAMS AND WOOD RAFTERS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>11 EXISTING ROUGH STUCCO SURFACE WITH EXTERIOR PAINT TO REMAIN.</p> | <p>12 NEW WINDOW TO BE INSTALLED WITH 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>13 EXISTING 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>14 3 PLY ANCHORED BRUMEN ROOFING WITH A 20 YEARS N.D.L. OVER 1/4" INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS (PERMIT BY OTHERS-PRODUCT CONTROL APPROVAL: NOA NO. 18022109)</p> <p>15 INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.</p> <p>16 EXISTING FRONT DOOR TO BE REPLACED AT SAME LOCATION.</p> <p>17 EXISTING ROOF TO REMAIN.</p> | <p>18 EXISTING WINDOWS &amp; DOORS TO REMAIN.</p> <p>19 INSTALL NEW VEREA "SPANISH" GRADE 1 APPROVAL NOA NO.: 25-0026.03 OVER 1-3/4" FELT TAGGED TO 1/2" (MIN.) PLYWOOD SHEATHING. SPACING OF 7IN TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS. SHALL BE 4" O.C. IN DIRECTION OF ROLL. 12" O.C. ACROSS WIDTH OF ROLL AS PER F.A.C. THE 1-3/4" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SENCOC GALVANIZED DIAMOND POINTS, 1/2"x120 DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NOA NO. 21-1027.02.</p> <p>20 INSTALL NEW SOLID WOOD CORE DOUBLE DOOR.</p> |
|---|---|---|---|

FLOOR PLAN SYMBOLS LEGEND

- ① NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
- ② NEW NON-BEARING PARTITION.
- ③ NEW NON-BEARING PARTITION WITH INSULATION R-11.
- ④ NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- ⑤ X # # # EXISTING GRADE ELEVATION.
- ⑥ PROPOSED GRADE ELEVATION.
- ⑦ PROPOSED GRADE ELEVATION.
- ⑧ PROPOSED GRADE ELEVATION.
- ⑨ EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
- ⑩ PROPOSED GRADE ELEVATION.
- ⑪ EXISTING OR PROPOSED BUILDING ELEVATION.



**RIODAS**  
architecture studio

LIC.#L23000449389

architect of record Miguel Rionda LIC.#AR 94189

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ADDITION AND REMODELING

project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△

reworks

rework #6			
revision #1			
revision #2			
revision #3			
revision #4			
revision #5			
revision #6			

revisions

EXISTING FACADES

sheet title

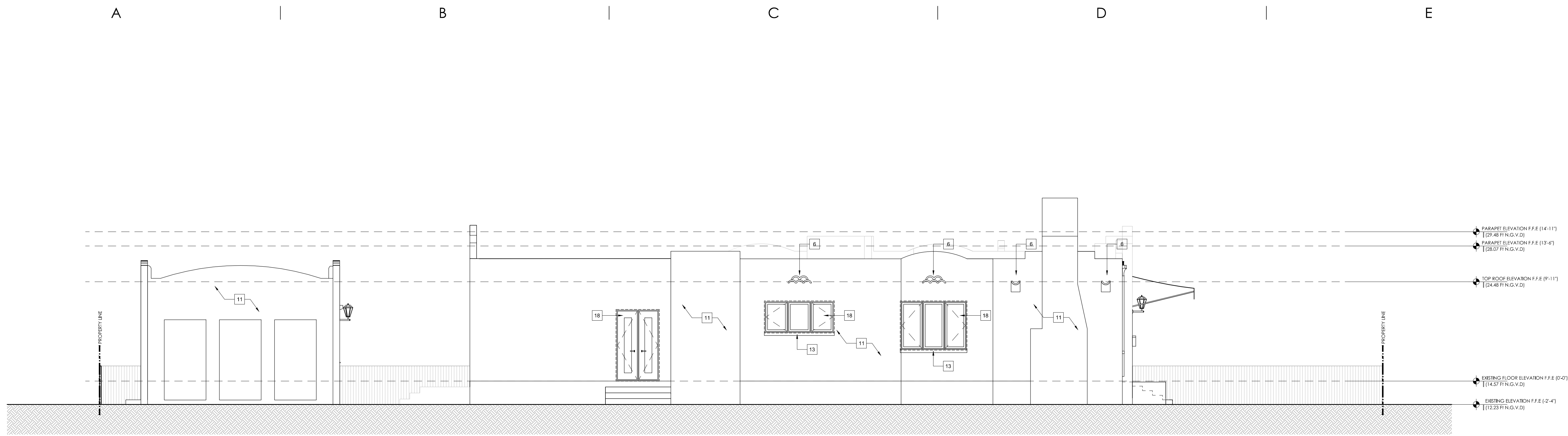
A201

date: 05/07/2025

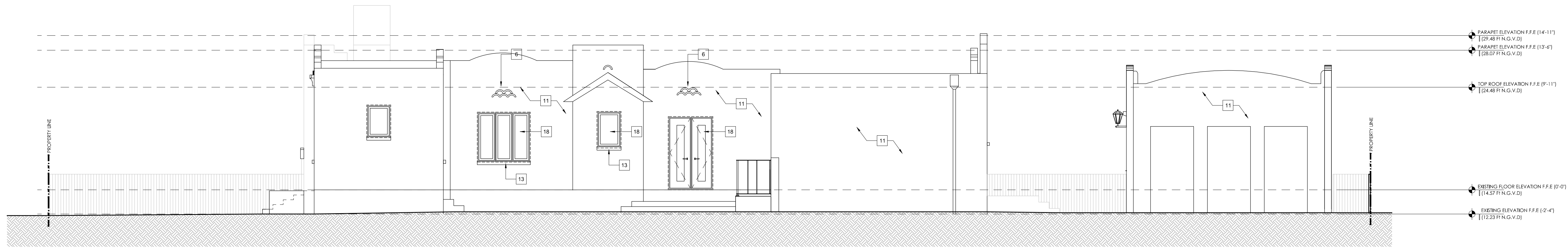
scale: as shown

checked by: MR

sheet



EXISTING EAST FACADE  
SCALE: 3/16"=1'-0"



EXISTING WEST FACADE  
SCALE: 3/16"=1'-0"

FACADE & SECTION KEYED NOTES

- |   |   |   |  |
|---|---|---|--|
| <p>1 ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.</p> <p>2 EXISTING FENCE TO REMAIN 4FT HEIGHT.</p> <p>3 DROP CEILING, 5/8" GYPSUM BOARD INSTALLED IN A 1-5/8" METAL FRAME ATTACHED TO THE WOOD RAFTERS. SEE SOFFIT DETAIL FOR FURTHER INFORMATION.</p> <p>4 EXISTING CARPORT STRUCTURE TO REMAIN.</p> <p>5 EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.</p> | <p>6 EXISTING EMERGENCY SCISSORS TO REMAIN.</p> <p>7 NEW EMERGENCY SCISSORS TO BE INSTALLED. EXTERIOR MOLDING TO MATCH THE EXISTING.</p> <p>8 NEW WOOD PERGOLA TO BE INSTALLED ATTACHED TO THE CONCRETE STRUCTURE. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>9 NEW CONCRETE STEPS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>10 NEW CONCRETE BEAMS AND WOOD RAFTERS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>11 EXISTING ROUGH STUCCO SURFACE WITH EXTERIOR PAINT TO REMAIN.</p> | <p>12 NEW WINDOW TO BE INSTALLED WITH 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>13 EXISTING 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>14 3 PLY ANCHORED BRUSHED ROOFING WITH A 20-YEAR N.D.L. OVER 1/4" INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS (PERMIT BY OTHERS-PRODUCT CONTROL APPROVAL: NDA NO. 18022109)</p> <p>15 INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.</p> <p>16 EXISTING FRONT DOOR TO BE REPLACED AT SAME LOCATION.</p> <p>17 EXISTING ROOF TO REMAIN.</p> | <p>18 EXISTING WINDOWS &amp; DOORS TO REMAIN.</p> <p>19 INSTALL NEW VEREA "SPANISH" GRADE 1 APPROVAL NDA NO.: 25-0026.03 OVER 1-3/4" FELT TAGGED TO 1/2" (MIN.) PLYWOOD SHEATHING. SPACING OF 7/16" TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 4" O.C. IN DIRECTION OF ROLL. 1/2" O.C. ACROSS WIDTH OF ROLL AS PER F.A.C. THE 1-3/4" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SENCOR GALVANIZED DRAGONED POINTS, 1/2" X 1/20 DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NDA NO. 21-1027.02.</p> <p>20 INSTALL NEW SOLID WOOD CORE DOUBLE DOOR.</p> |
|---|---|---|--|

FLOOR PLAN SYMBOLS LEGEND

- (1) NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
- (2) NEW NON-BEARING PARTITION.
- (3) NEW NON-BEARING PARTITION WITH INSULATION R-11.
- (4) NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- (X # #) EXISTING GRADE ELEVATION.
- (X) PROPOSED GRADE ELEVATION.
- (X) PROPOSED GRADE ELEVATION.
- (X) EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
- (X) PROPOSED GRADE ELEVATION.
- (X) EXISTING OR PROPOSED BUILDING ELEVATION.

city approval stamp

**RIODAS**

architecture studio

architect of record Miguel Rionda LIC.#AR 94189

office address 240 Crandon Blvd, Suite 287  
Key Biscayne, FL 33149

contact info info@riodasarch.com

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disclaimer

seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	07.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
rework #6			

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

EXISTING FACADES

sheet title

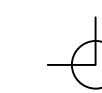
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checked by: MR

sheet

**A202**



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B

C

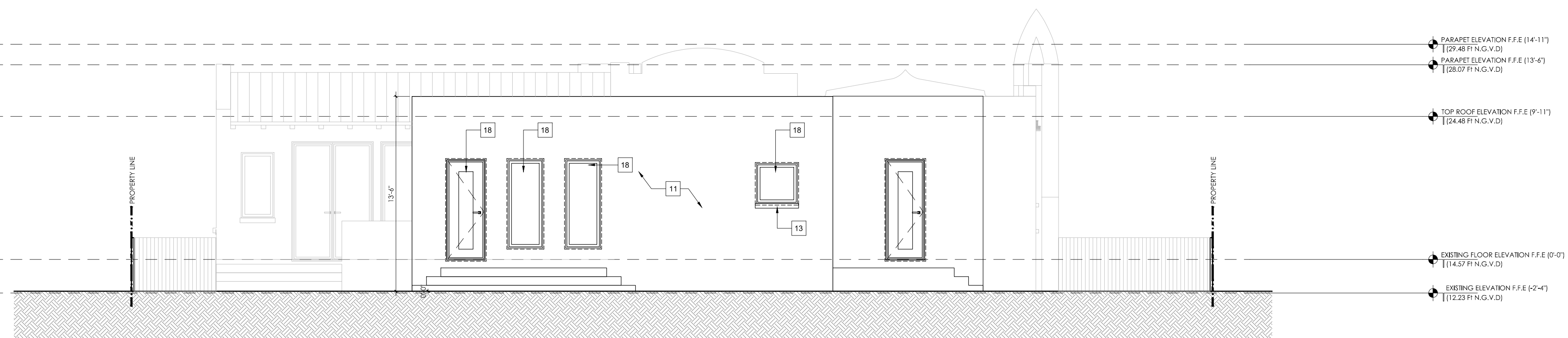
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E

city approval stamp

1

2



PROPOSED NORTH FACADE  
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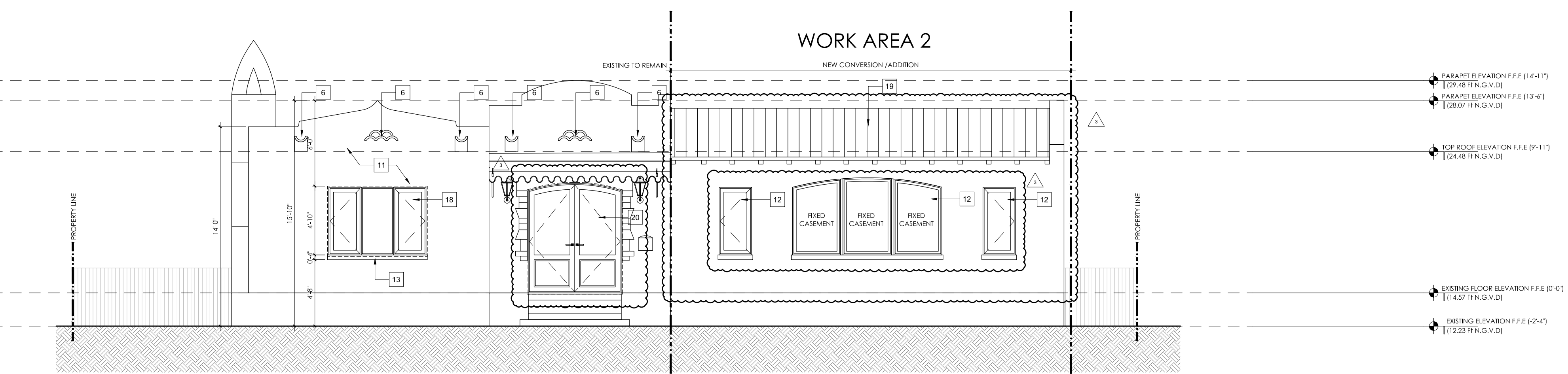
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**RIODAS**  
architecture studio  
LIC.#L23000449389  
architect of record Miguel Rionda LIC.#AR 94189  
240 Crandon Blvd, Suite 287  
Key Biscayne, FL 33149  
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2 disclaimer

3



PROPOSED SOUTH FACADE  
SCALE: 3/16"=1'-0"

seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

3 project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	△
rework #2	09.11.2025	△
rework #3	10.04.2025	△
rework #4		
rework #5		
rework #6		

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

4

- FACADE & SECTION KEYED NOTES**
- ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.
  - EXISTING FENCE TO REMAIN 4FT HEIGHT.
  - DROP CEILING, 5/8" GYPSUM BOARD INSTALLED IN A 1-5/8" METAL FRAME ATTACHED TO THE WOOD RAFTERS. SEE SOFFIT DETAIL FOR FURTHER INFORMATION.
  - EXISTING CARPORT STRUCTURE TO REMAIN.
  - EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.
  - EXISTING EMERGENCY SCISSORS TO REMAIN.
  - NEW EMERGENCY SCISSORS TO BE INSTALLED. EXTERIOR MOLDING TO MATCH THE EXISTING.
  - NEW WOOD PERGOLA TO BE INSTALLED ATTACHED TO THE CONCRETE STRUCTURE. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - NEW CONCRETE STEPS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - NEW CONCRETE BEAMS AND WOOD RAFTERS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - EXISTING ROUGH STUCCO SURFACE WITH EXTERIOR PAINT TO REMAIN.
  - NEW WINDOW TO BE INSTALLED WITH 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.
  - EXISTING 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.
  - 3 PLY ANCHORED BRUSHED ROOFING WITH A 20-YEAR N.D.L. OVER 1/4" INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS (PERMIT BY OTHERS-PRODUCT CONTROL APPROVAL: NOA NO. 18022109)
  - INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.
  - EXISTING FRONT DOOR TO BE REPLACED AT SAME LOCATION.
  - EXISTING ROOF TO REMAIN.
  - EXISTING WINDOWS & DOORS TO REMAIN.
  - INSTALL NEW VEREA "SPANISH" GRADE 1 APPROVAL NOA NO.: 25-0026.03 OVER 1-3/4" FELT TAGGED TO 1/2" (MIN.) PLYWOOD SHEATHING. SPACING OF 7/16" TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS. SHALL BE 4" O.C. IN DIRECTION OF ROLL. 12" O.C. ACROSS WIDTH OF ROLL AS PER F.A.C. THE 1-3/4" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SENGCO GALVANIZED DRAGONED POINTS, 1/2" X 120 DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NOA NO. 21-1027.02.
  - INSTALL NEW SOLID WOOD CORE DOUBLE DOOR.

**FLOOR PLAN SYMBOLS LEGEND**

- ① NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
- ② NEW NON-BEARING PARTITION.
- ③ NEW NON-BEARING PARTITION WITH INSULATION R-11.
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- ⑤ X # # # EXISTING GRADE ELEVATION.
- ⑥ X # # # PROPOSED GRADE ELEVATION.
- ⑦ (xx) PROPOSED GRADE ELEVATION.
- ⑧ (xx) PROPOSED GRADE ELEVATION.
- ⑨ (xx) PROPOSED GRADE ELEVATION.
- ⑩ (xx) EXISTING OR PROPOSED BUILDING ELEVATION.

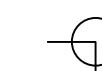
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sheet title

date: 05/07/2025  
scale: as shown  
checked by: MR  
sheet

PROPOSED FACADES

A203



A

B

C

D

E



A

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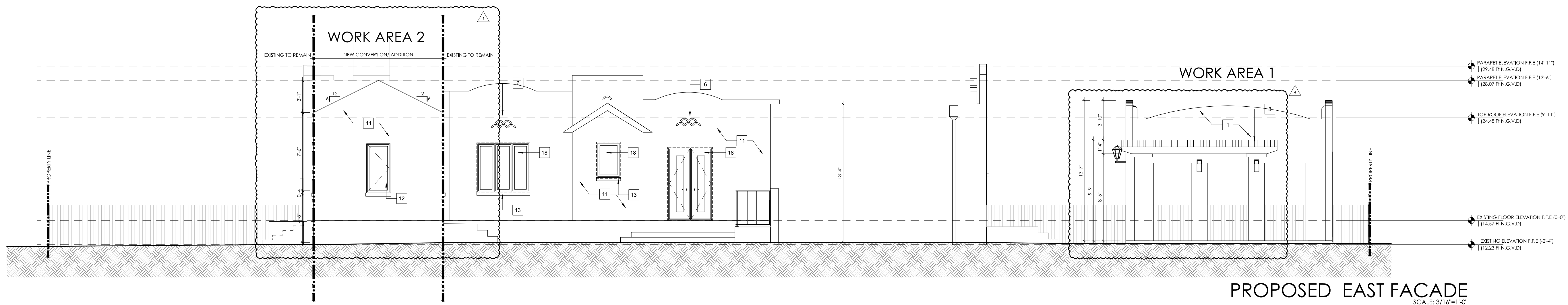
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E

city approval stamp

1

2



1

2

city approval stamp

**RIODAS**  
architecture studio  
LIC.#L23000449389

architect of record Miguel Rionda LIC.#AR 94189

office address 240 Crandon Blvd, Suite 287  
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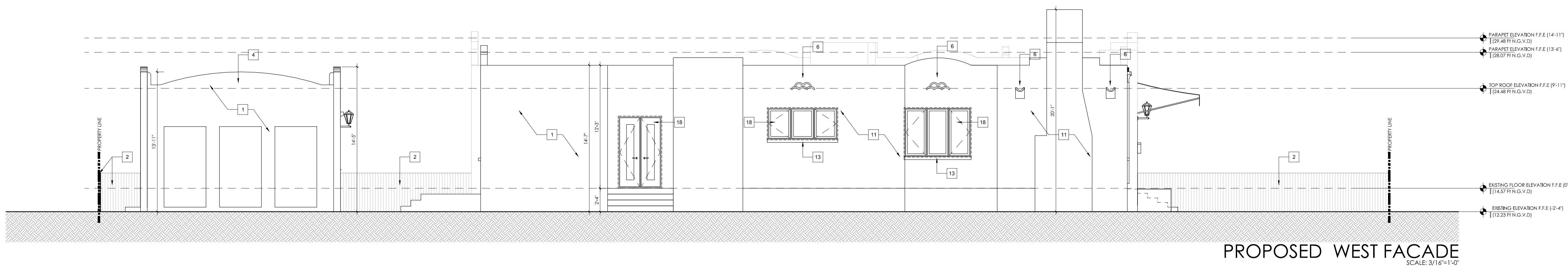
contact info info@riodasarch.com

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disclaimer

3

4



seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

project

owner ETHAN MANSLEY CURTIS

rework #1	08.21.2025	△
rework #2	BOA Coral Gables	△
rework #3	09.11.2025	△
rework #4	BOA Coral Gables	△
rework #5	10.04.2025	△
rework #6	03.25.2026	△
rework #7	Hist. B. Coral Gables	△

revisions

revision #1	
revision #2	
revision #3	
revision #4	
revision #5	
revision #6	

FACADE & SECTION KEYED NOTES

- 1 ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.
- 2 EXISTING FENCE TO REMAIN 4FT HEIGHT.
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- ⑤ NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- ⑥ X # # # EXISTING GRADE ELEVATION.
- ⑦ PROPOSED GRADE ELEVATION.
- ⑧ PROPOSED GRADE ELEVATION.
- ⑨ EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
- ⑩ PROPOSED GRADE ELEVATION.
- ⑪ EXISTING OR PROPOSED BUILDING ELEVATION.

sheet title

date: 05/07/2025  
scale: as shown  
checked by: MR

sheet

**A204**

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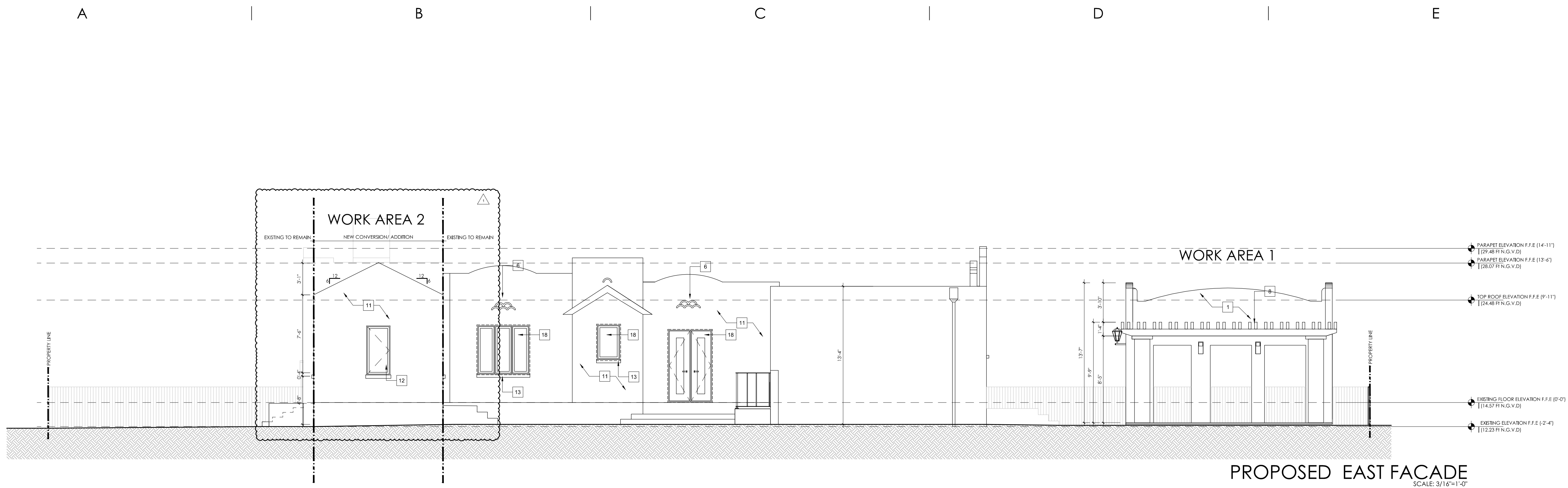
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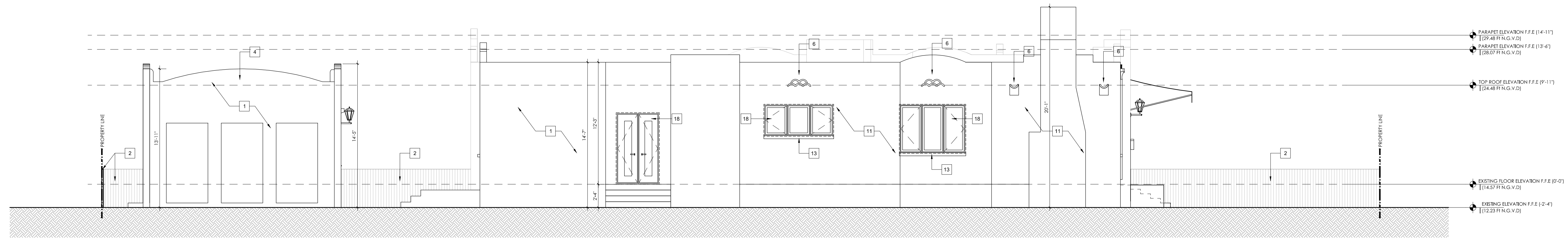
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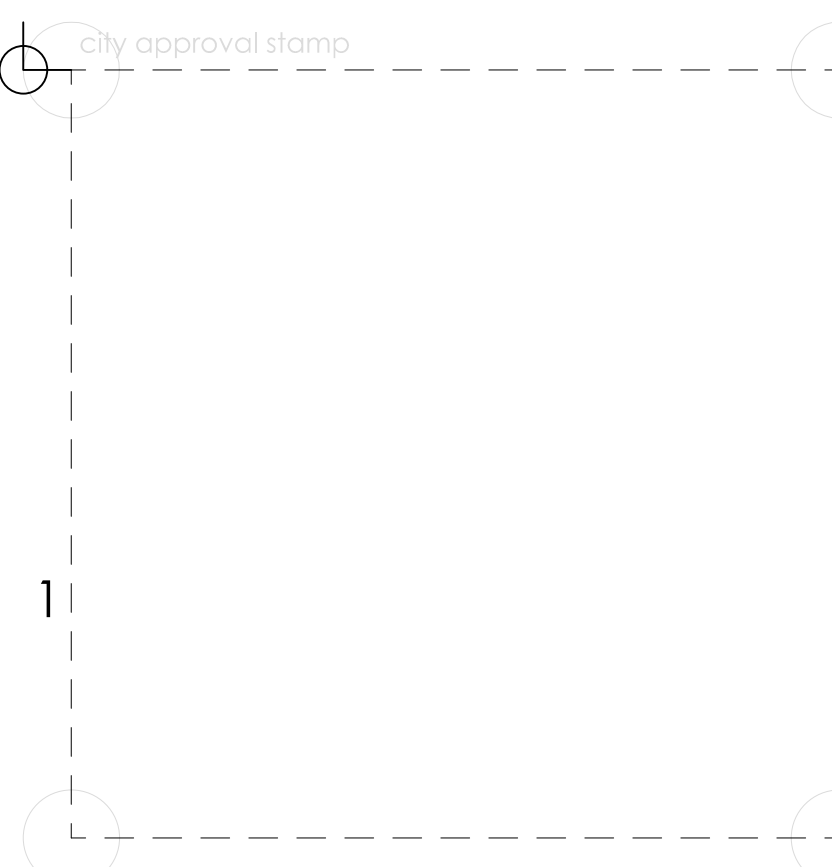
PROPOSED EAST FACADE  
SCALE: 3/16"=1'-0"



PROPOSED WEST FACADE  
SCALE: 3/16"=1'-0"

- FACADE & SECTION KEYED NOTES**
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- FLOOR PLAN SYMBOLS LEGEND**
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  - 2 NEW NON-BEARING PARTITION.
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  - 5 NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
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seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4			
rework #5			
rework #6			

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

PROPOSED FACADES

sheet title

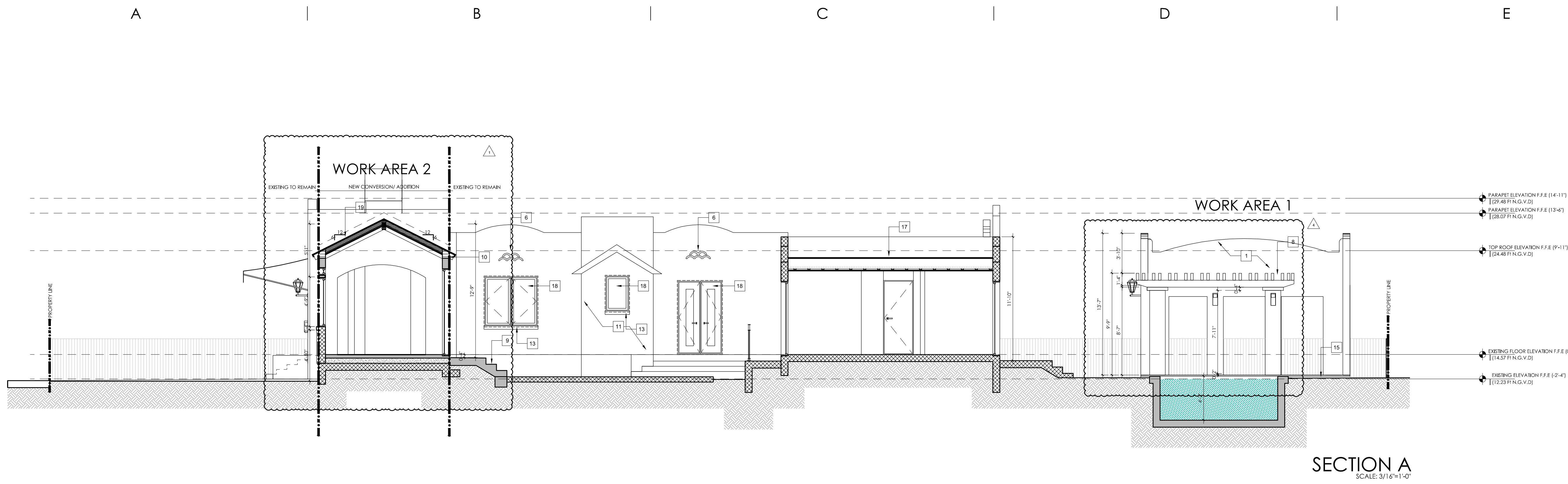
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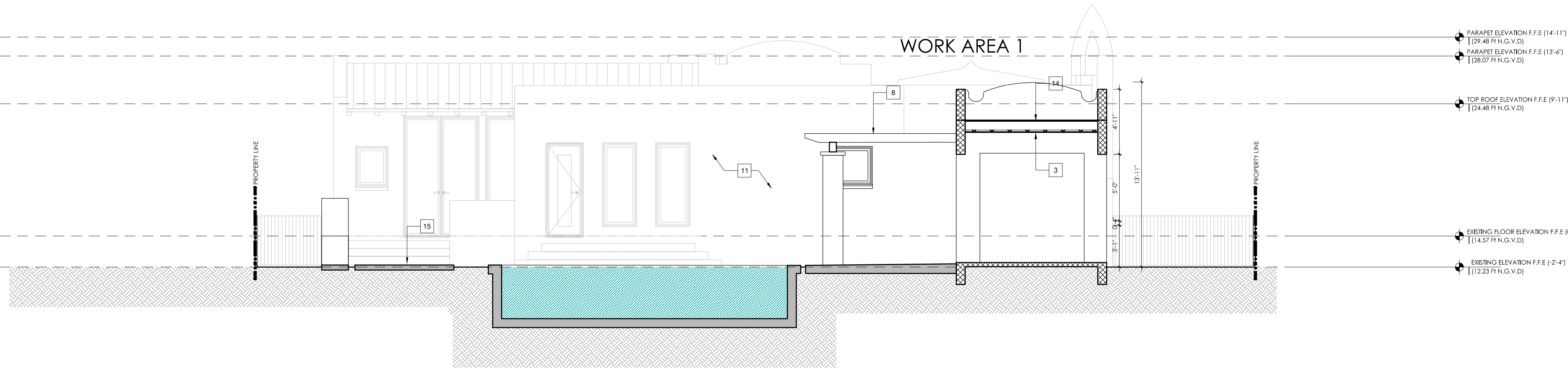
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**VOID**  
VA204



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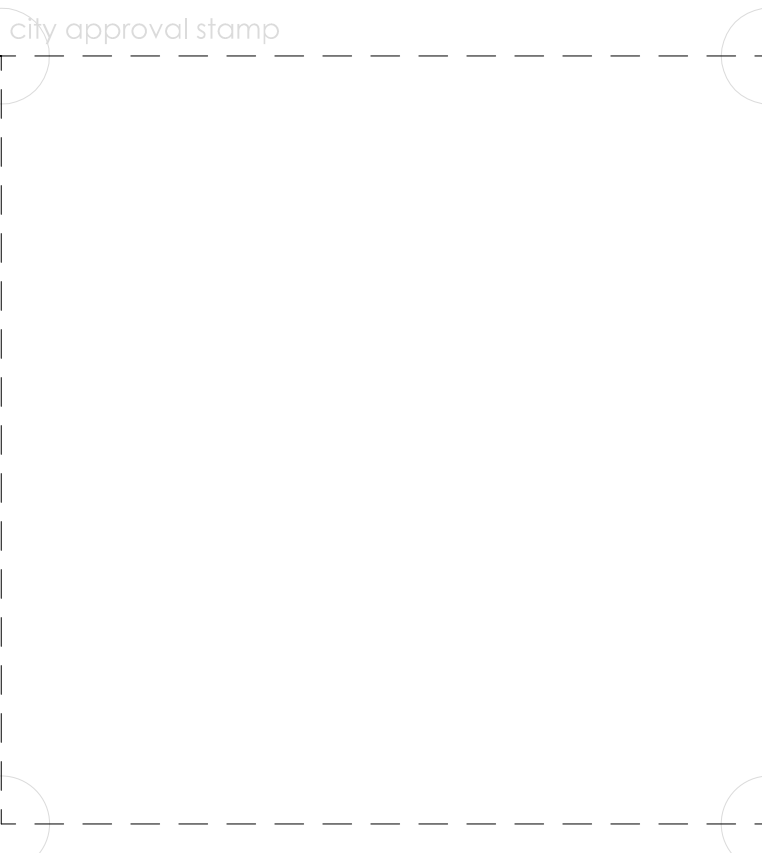
SECTION B  
SCALE: 3/16"=1'-0"

FACADE & SECTION KEYED NOTES

- |   |   |  |  |
|---|---|--|--|
| <p>1 ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.</p> <p>2 EXISTING FENCE TO REMAIN 4FT HEIGHT.</p> <p>3 DROP CEILING, 5/8" GYPSUM BOARD INSTALLED IN A 1-5/8" METAL FRAME ATTACHED TO THE WOOD RAFTERS. SEE SOFFIT DETAIL FOR FURTHER INFORMATION.</p> <p>4 EXISTING CARPORT STRUCTURE TO REMAIN.</p> <p>5 EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 350 SF UNDER A/C TO THE PROPERTY.</p> | <p>6 EXISTING EMERGENCY SCISSORS TO REMAIN.</p> <p>7 NEW EMERGENCY SCISSORS TO BE INSTALLED. EXTERIOR MOLDING TO MATCH THE EXISTING.</p> <p>8 NEW WOOD PERGOLA TO BE INSTALLED ATTACHED TO THE CONCRETE STRUCTURE. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>9 NEW CONCRETE STEPS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>10 NEW CONCRETE BEAMS AND WOOD RAFTERS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.</p> <p>11 EXISTING ROUGH STUCCO SURFACE WITH EXTERIOR PAINT TO REMAIN.</p> | <p>12 NEW WINDOW TO BE INSTALLED WITH 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>13 EXISTING 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.</p> <p>14 3 PLY ANCHORED BRIMMER ROOFING WITH A 20 YEARS N.D.L. OVER 1/4" INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS (PERMIT BY OTHERS-PRODUCT CONTROL APPROVAL. NDA NO. 18022109)</p> <p>15 INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.</p> <p>16 EXISTING FRONT DOOR TO BE REPLACED AT SAME LOCATION.</p> <p>17 EXISTING ROOF TO REMAIN.</p> | <p>18 EXISTING WINDOWS &amp; DOORS TO REMAIN.</p> <p>19 INSTALL NEW VEREA "SPANISH" GRADE 1 APPROVAL NDA NO.: 25-0026.03 OVER 1-3/4" FELT TAGGED TO 1/2" (MIN.) PLYWOOD SHEATHING. SPACING OF 7IN TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 4" O.C. IN DIRECTION OF ROLL. 12" O.C. ACROSS WIDTH OF ROLL AS PER F.A.C. THE 1-3/4" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SENCOR GALVANIZED DRAGONED POINTS, 1/2" X 120 DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NDA NO. 21-1027.02.</p> <p>20 INSTALL NEW SOLID WOOD CORE DOUBLE DOOR.</p> |
|---|---|--|--|

FLOOR PLAN SYMBOLS LEGEND

- ① NEW 8" C.M.U. SEE STRUCTURAL PLANS FOR DETAILS.
- ② NEW NON-BEARING PARTITION.
- ③ NEW NON-BEARING PARTITION WITH INSULATION R-11.
- ④ NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
- ⑤ X # # # EXISTING GRADE ELEVATION.
- ⑥ PROPOSED GRADE ELEVATION.
- ⑦ PROPOSED GRADE ELEVATION.
- ⑧ PROPOSED GRADE ELEVATION.
- ⑨ EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
- ⑩ PROPOSED GRADE ELEVATION.
- ⑪ EXISTING OR PROPOSED BUILDING ELEVATION.



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seal

439 Majorca Ave, Coral Gables-FL. 33134

address

ADDITION AND REMODELING

3 project

ETHAN MANSLEY CURTIS

owner

rework #1	08.21.2025	BOA Coral Gables	△
rework #2	09.11.2025	BOA Coral Gables	△
rework #3	10.04.2025	BOA Coral Gables	△
rework #4	03.25.2026	Hist. B. Coral Gables	△
rework #5			
rework #6			

reworks

revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

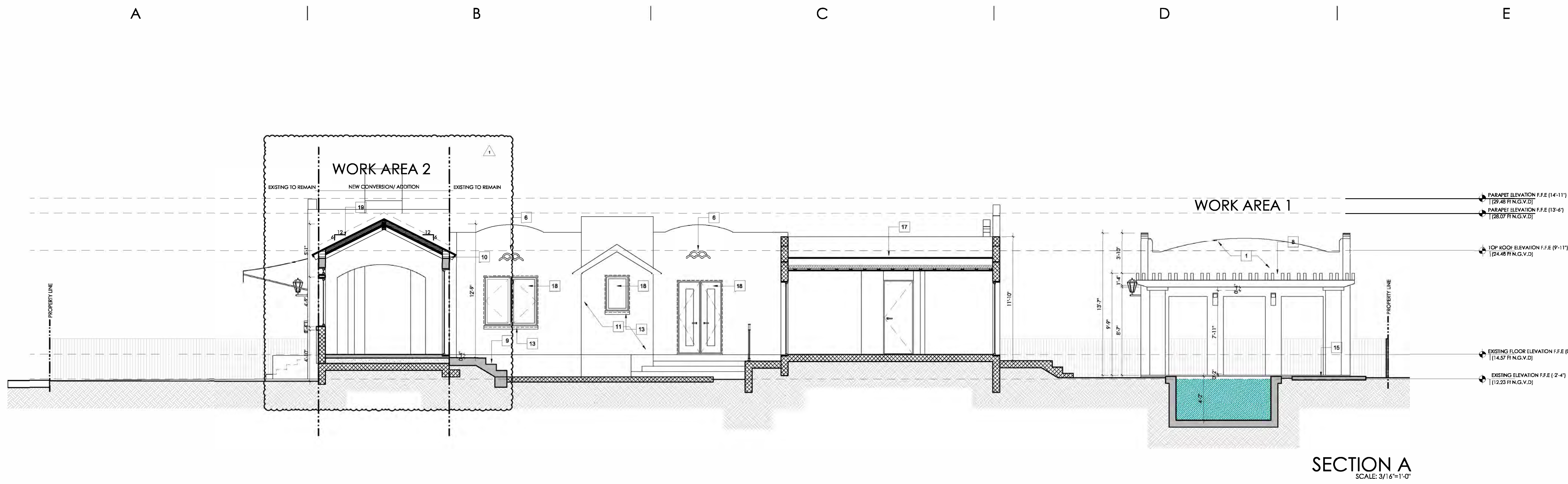
PROPOSED SECTION

sheet title

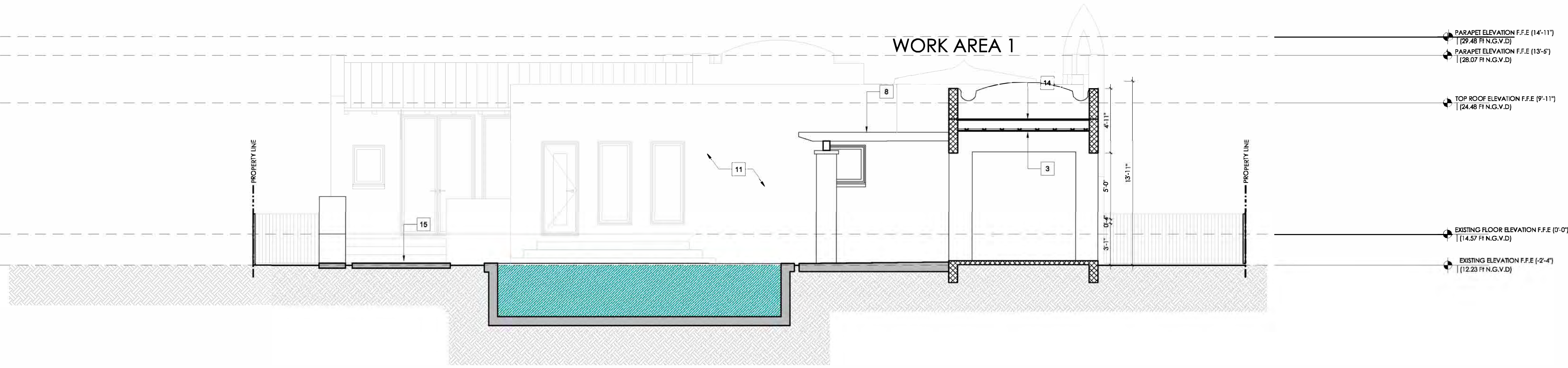
A301

date: 05/07/2025  
scale: as shown

checked by: MR  
sheet



SECTION A  
SCALE: 3/16"=1'-0"



SECTION B  
SCALE: 3/16"=1'-0"

- FACADE & SECTION KEYED NOTES**
- ROUGH STUCCO SURFACE WITH EXTERIOR PAINT COLOR TO MATCH EXISTING COLOR OF THE HOUSE.
  - EXISTING FENCE TO REMAIN 4FT HEIGHT.
  - DROP CEILING, 5/8" GYPSUM BOARD INSTALLED IN A 1-5/8" METAL FRAME ATTACHED TO THE WOOD RAFTERS. SEE SOFFIT DETAIL FOR FURTHER INFORMATION.
  - EXISTING CARPORT STRUCTURE TO REMAIN.
  - EXISTING STRUCTURE TO BE CONVERTED INTO A NEW DINING ROOM OF THE HOUSE ADDING 300 SF UNDER A/C TO THE PROPERTY.
  - EXISTING EMERGENCY SCISSERS TO REMAIN.
  - NEW EMERGENCY SCISSERS TO BE INSTALLED. EXTERIOR MOLDING TO MATCH THE EXISTING.
  - NEW WOOD PERGOLA TO BE INSTALLED ATTACHED TO THE CONCRETE STRUCTURE. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - NEW CONCRETE STEPS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - NEW CONCRETE BEAMS AND WOOD RAFTERS. SEE STRUCTURAL PLANS FOR FURTHER DETAILS.
  - EXISTING ROUGH STUCCO SURFACE WITH EXTERIOR PAINT TO REMAIN.
  - NEW WINDOW TO BE INSTALLED WITH 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.
  - EXISTING 4" CONCRETE MOLDING COVERED WITH STUCCO AND EXTERIOR PAINT COLOR WHITE TO REMAIN.
  - 3 PLY MODIFIED BITUMEN ROOFING WITH A 20 YEARS N.D.L. OVER 2" INSULATION (MIN R-30) ON THE CONCRETE ROOF SLAB. MIN. 1/4" PER FOOT TOWARDS ROOF DRAINS \*PERMIT BY OTHERS-PRODUCT CONTROL APPROVAL. NOA NO. 18032109
  - INSTALL NEW INTERLOCKING CONCRETE PAVERS SET ON SAND.
  - EXISTING FRONT DOOR TO BE REPLACED AT SAME LOCATION.
  - EXISTING ROOF TO REMAIN.
  - EXISTING WINDOWS & DOORS TO REMAIN.
  - INSTALL NEW VERRA "SPANISH S" GRADE 1 APPROVAL NOA NO.: 25-0206.03 OVER 1-3/8" FELT (AUGGED TO 1/2" MIN.) PLYWOOD SHEATHING. SPACING OF 7" T&G FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. ACROSS WIDTH OF ROLL. AS PER F.A.C. THE 1-3/8" FELT & ANCHORED TO THE PLYWOOD SHEATHING WITH SENG GALVANIZED DIAMOND POINTS, 1/2" X 1-1/2" DIAMETER (MIN.) INSTALL A FIRE BARRIER AS A BASE LAYER NOA NO. 21-1027.02.
  - INSTALL NEW SOLID WOOD CORE DOUBLE DOOR.

**FLOOR PLAN SYMBOLS LEGEND**

1	NEW 6" CMU. SEE STRUCTURAL PLANS FOR DETAILS.
2	NEW NON-BEARING PARTITION.
3	NEW NON-BEARING PARTITION WITH INSULATION R-11.
4	NEW CONCRETE COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
5	NEW METAL COLUMN. SEE STRUCTURAL PLANS FOR DETAILS.
6	EXISTING GRADE ELEVATION.
7	PROPOSED GRADE ELEVATION.
8	EXISTING WATER METER. (LOCATION OBTAINED FROM ACTUAL SURVEY). GC MUST VERIFY SITE LOCATION.
9	EXISTING OR PROPOSED BUILDING ELEVATION.

city approval stamp

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disclaimer

seal

439 Majorca Ave, Coral Gables-FL. 33134  
address

**ADDITION AND REMODELING**  
project

owner ETHAN MANSLEY CURTIS

rework #1	08.21.2025	
rework #2	09.11.2025	
rework #3	10.06.2025	
rework #4		
rework #5		
rework #6		
revision #1		
revision #2		
revision #3		
revision #4		
revision #5		
revision #6		

revisions

**PROPOSED SECTION**

sheet title

date: 05/07/2024  
scale: as shown  
checked by: MR  
sheet

**VOID**  
VA301



A

B

C

D

E

city approval stamp

1

1



PROPOSED SOUTH FACADE



PROPOSED SOUTH FACADE



PROPOSED COURTYARD

**RIODAS**  
 LIC.#L23000449389 architecture studio  
 architect of record Miguel Rionda LIC.#AR 94189  
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2

2

3

3



PROPOSED WOOD PERGOLA



PROPOSED BACKYARD

439 Majorca Ave, Coral Gables-FL. 33134  
 address  
 ADDITION AND REMODELING  
 project  
 owner ETHAN MANSLEY CURTIS  
 rework #1 08.21.2025 BOA Coral Gables  
 rework #2 07.11.2025 BOA Coral Gables  
 rework #3 10.04.2025 BOA Coral Gables  
 rework #4  
 rework #5  
 rework #6  
 revision #1  
 revision #2  
 revision #3  
 revision #4  
 revision #5  
 revision #6

4

4

sheet title

date: 05/07/2025  
 scale: as shown  
 checked by: MR  
 sheet

A401



A

B

C

D

E

city approval stamp