



Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: _____

Coral Gables Mediterranean Architecture Bonus

- Coral Gables Mediterranean Style Bonus - Table 1
- Coral Gables Mediterranean Style Bonus - Table 2
- Coral Gables Mediterranean Style Bonus - Table 3
- None

Property information

Street address of the subject property: 719 Biltmore Way

Property/project name: 719 Biltmore

Current land use classification(s): Multi Family High Density

Current zoning classification(s): MF4

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): Residential

Proposed use(s) of the property/building(s): Residential

Size of property (square feet/acres): 11,981 sf/.275 acres

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): N/A

Total number of residential units per acre and total number of units: 9 proposed units

Estimated cost of the existing/proposed building/project: \$9,000,000



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

N/A

Project Legal Description: Lot(s): 20,21, 22, 23

Block(s): 1

Section(s): Coral Gables Biltmore Section

Listing of all folio numbers for subject property:

03-4117-008-0160

General information

Applicant(s)/Agent(s) Name(s): JQ Group LLC, Contract purchaser

Telephone Contact No: _____ Fax No.: _____ Email: _____@_____

Mailing Address: 1200 Brickell Avenue, Suite 700, Miami, FL 33131
(City) (State) (ZIP Code)

Property Owner(s) Name(s): Russell & Rita Sherrill

Telephone Contact No: _____ Fax No.: _____ Email: _____@_____

Mailing Address: 800 S Greenway Dr, Coral Gables, FL 33134
(City) (State) (ZIP Code)



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Name(s): JQ Group, LLC - Contract purchaser

Telephone Contact No: _____ Fax No.: _____ Email: _____@_____

Mailing Address: 1200 Brickell Avenue, Suite 700, Miami, FL 33131
(City) (State) (ZIP Code)

Project Architect: Willy Bermello

Telephone Contact No: _____ Fax No.: _____ Email: wbermello@bermelloajamil.com

Mailing Address: 2601 S Bayshore Dr, Suite 1000, Miami, FL 33133
(City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

N/A



City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

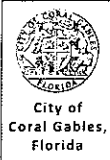
Application submittal requirements

1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

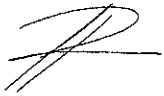
1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
 Email: planning@coralgables.com Phone: 305.460.5211

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: JQ Real Estate, LLC (Attn: Luis Riquezes)
---	---

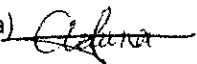
Address:
1200 Brickell Ave, Suite #700, Miami FL 33131

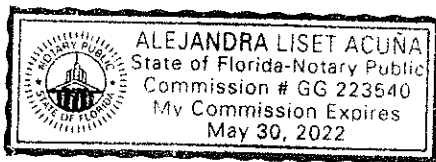
Telephone: (305) 986-2869	Fax:
---------------------------	------

Email: LRiquezes@JQGroup.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6th day of May by Luis Riquezes
 (Signature of Notary Public - State of Florida) , Alejandra Acuña



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:
Address:	
Telephone:	Fax:
Email:	
NOTARIZATION	
STATE OF FLORIDA/COUNTY OF _____ The foregoing instrument was acknowledged before me this ____ day of _____ by _____ (Signature of Notary Public - State of Florida)	
(Print, Type or Stamp Commissioned Name of Notary Public) <input type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	



City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Architect(s) Signature:

Architect(s) Print Name:

Adon A. Quesada

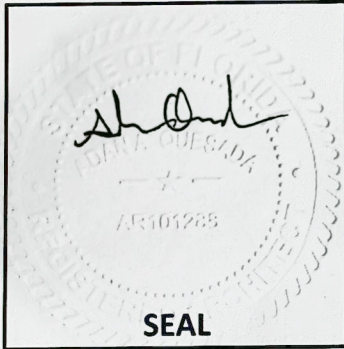
Address: Bermello Ajamil & Partners

2601 S Bayshore Drive, Suite 1000

Telephone: 786-724-0022

Fax:

Email: aquesada@bermelloajamil.com

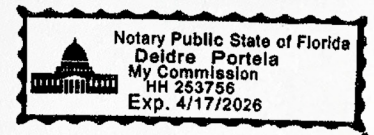


NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6 day of May, 2022 by Deidre Portela

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



Writer's Direct Dial Number: (305) 376-6027
Writer's E-Mail Address: lkahn@gunster.com

May 6, 2022

Mr. Ramon Trias
Chairman
Development Review Committee
City of Coral Gables
405 Biltmore Way, 1st Floor
Coral Gables, FL 33134

Re: 719 Biltmore Way / Development Review Committee / Statement of Use

Dear Mr. Trias:

On behalf of JQ Group, LLC (the "Applicant"), the contract purchaser of the property located at 719 Biltmore Way, (the "Property"), we respectfully submit this Statement of Use in connection with the enclosed Development Review Committee Level 2 application. The Property is further identified by Miami-Dade Tax Folio Number: 03-4117-008-0160. The Property is 11,981.3 square feet in size (.275 acres) and is located mid-block on the north side of Biltmore Way between Cardena Street and Anderson Road.

Pursuant to the City of Coral Gables' (the "City") Future Land Use Map ("FLUM"), the Property is designated Multi Family High Density. Pursuant to the City's Zoning Map, the Property is zoned MF4.

The proposed project will consist of nine (9) residential units, 29,929 square feet of floor area, 20 parking spaces in an enclosed garage, 2,996 square feet of open space, and a roof deck with a pool area, in a 12 story building with a maximum height of 147.5 feet (the "Project"). The proposed project complies with all MF4 regulations, and is requesting Mediterranean Bonus Level 2 review. No variances are being requested for this Project.

Mediterranean Bonus. There are several architectural features that characterize this project as Mediterranean Architecture, including architectural features similar to the existing and abutting buildings. The project is compatible with the Mediterranean standards provided in Section 5-201 and 5-202 of the City Code and is designed to be compatible with the neighboring historic building at 713 Biltmore Way. The proposed design refers to the proportion and architectural elements of Coral Gables landmarks such as the Biltmore Hotel and San Sebastian Apartments. The project incorporates several breaks, changes in height and step backs to achieve a massing proportional to the area. The mass of the building is emphasized by vertical breaks that follow the scale of prominent Mediterranean architecture in the City. The fabric of the surrounding neighborhood is a collage of styles, one of which includes Mediterranean Architecture. Features found within the Project include framed windows and openings, tall porticos and columns, articulated openings, and ornamental features throughout façade.

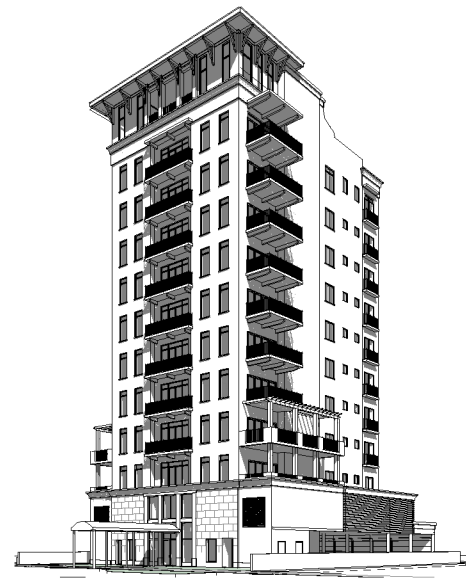
This high-quality Project will fit in well in this area of the City which is known for its luxury apartments. We are confident that this Project will be a significant and positive new

addition to the City and will quickly become one of the City's premier residential addresses. Accordingly, we respectfully request your favorable consideration of this application. If you have any questions, please do not hesitate to contact me at (305) 376-6061. Thank you for your attention to this matter and we look forward to continuing to work with you on this exciting project.

Sincerely,



Mario Garcia-Serra



719 BILTMORE WAY
CORAL GABLES, FLORIDA
DRC SUBMITTAL
05/06/2022

CONTENT

AERIAL	A1
SITE CONTEXT	A2
SURVEY	A3
DATA	A4
MED BONUS SUMMARY	A5
FAR DIAGRAMS & CALCULATION	A6
SITE PLAN	A7
LANDSCAPE PLAN	A8
GROUND FLOOR PLAN	A9
SECOND FLOOR PLAN	A10
3RD FLOOR PLAN	A11
4TH FLOOR PLAN	A12
5TH-11TH FLOOR PLAN	A13
ROOF DECK	A14
UPPER ROOF	A15
SOUTH ELEVATION	A16
EAST ELEVATION	A17
NORTH ELEVATION	A18
WEST ELEVATION	A19
BUILDING SECTION	A20
PERSPECTIVE	A21
PERSPECTIVE	A22
PERSPECTIVE	A23



[Privacy and Cookies](#) [Legal](#) [Advertise](#) [About our ads](#) [Help](#) [Sitemap](#)

© 2022 Microsoft



AERIAL VIEW



VIEW FROM EAST LOOKING WEST



VIEW FROM EAST LOOKING WEST



AERIAL VIEW



VIEW FROM WEST LOOKING EAST



VIEW FROM WEST LOOKING EAST



VIEW FROM SOUTH LOOKING NORTH



VIEW FROM SOUTH LOOKING NORTH

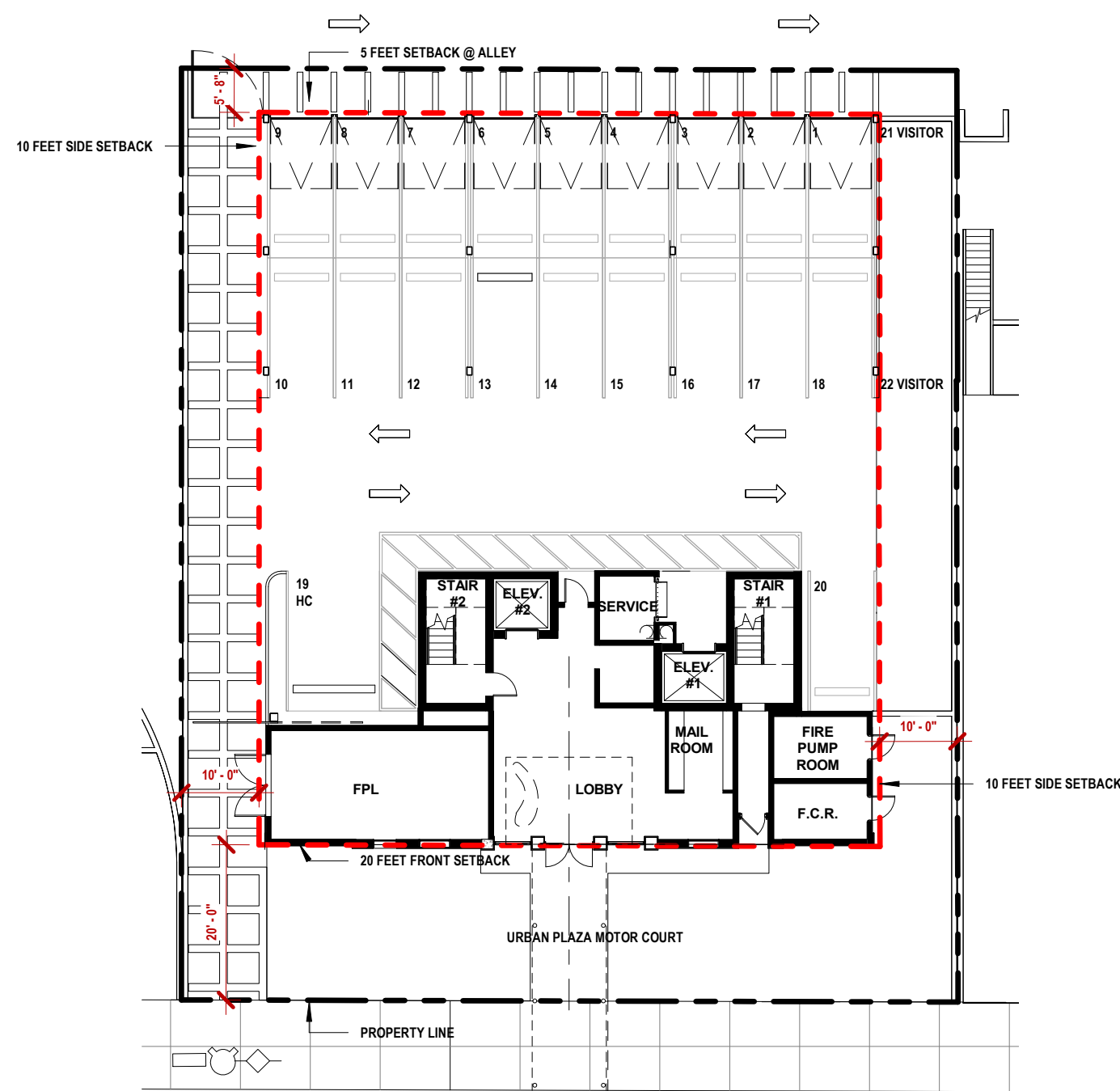


VIEW FROM SOUTH LOOKING NORTH

719 BILTMORE WAY		
	Address	719 Biltmore Way Coral Gables, Florida, 33134
	Folio	03-4117-008-0160
	Zoning	MF4
	Gross Lot Area	11,981.30 s.f. (0.275 acres)
	Medeterranean Level Bonus	Bonus Level II
A	Lot Occupation	Required / Allowed Provided
1	Building Site Area	10,000 s.f. min. 11,981.30 s.f.
2	Building Site Width	100 ft min. 100 ft wide
3	Ground Coverage	N/A with Level I Med. Bonus 62% (7,383 s.f.)
4	Open Space / Open Landscape	25% of Lot Area min. 25% of 11,981.30 = 2,995.3 s.f. min. 25% (2,996 s.f.)
B	Density	Required / Allowed Provided
1	Density Med. Bonus II	75 du/ac max. = 21 du max. 9 du
2	Floor Area Ratio (FAR) Med. Bonus II	2.5 11,981.30 X 2.5 = 29,953.25 s.f. max. 29,929 s.f.
C	Building Setbacks	Required / Allowed Provided
1	Principal Front (Biltmore Way)	10 ft. min. 20 ft.
	Side Interior	10 ft. min.
2	West - Boundaing 721 Biltmore Way East - Bounding Junior League	10 ft. 10 ft.
3	Reat at Alley	5 ft. min. 5 ft.
D	Building Stepbacks	Required / Allowed Provided
1	Front (Biltmore Way)	0 ft. min. 0 ft.
	Side Interior	10 ft. min.
2	West - Adjacent to 721 Biltmore Way East - Adjacent to Junior League	10 ft. 10 ft.
3	Reat at Alley	10 ft. min. 22 ft.
E	Building Height	Required / Allowed Provided
1	Building Height Max Height with Med. Bonus II	150 ft. 16 Stories / 190.5 ft max. 12 Stories / 147.5 ft
	Parking Requirements	Required / Allowed Provided
	Residential	20 parking spaces (2.25 x 9) 2.25 per 1 du 20 parking spaces

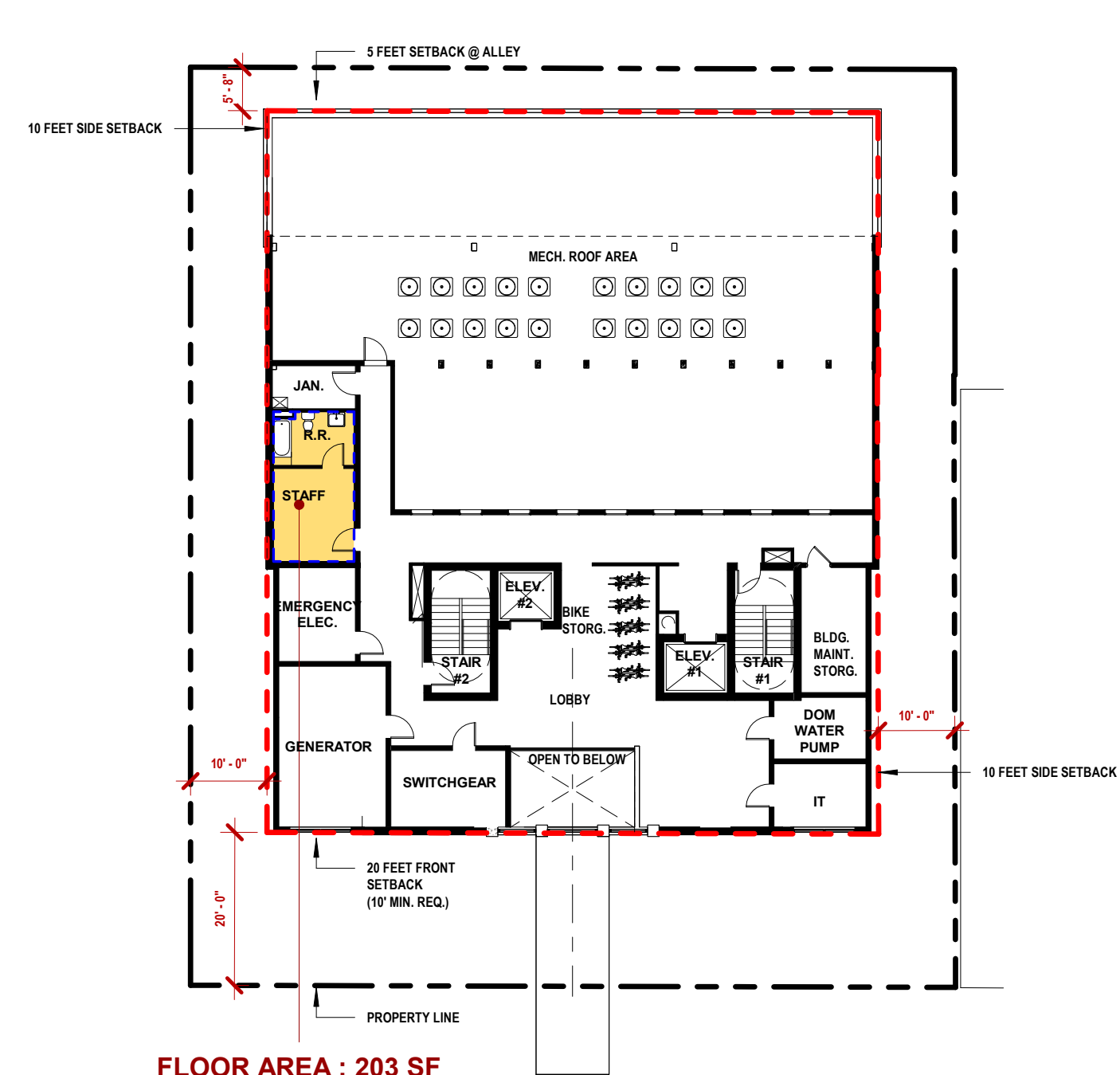
Table 1. Required standards					719 Biltmore Way
Reference Number	Residential	Mixed Use	Type	Requirements	Compliance Notes
1	✓	✓	Architectural elements on building facades.	Similar exterior architectural relief elements shall be provided on all sides of all buildings. No blank walls shall be permitted unless required pursuant to applicable City, State and Federal requirements (e.g., Fire and Life Safety Code, or other applicable code). Parking garages shall include exterior architectural treatments compatible with buildings or structures that occupy the same property and/or street.	Satisfied
2		✓	Architectural relief elements at street level.	On any building facades fronting streets, where an adjoining pedestrian sidewalk is located, one (1) or more of the following design features shall be included at the street level: a. Display windows or retail display area; b. Landscaping; and/or c. Architectural relief elements or ornamentation.	
3	✓	✓	Architectural elements located on the top of buildings.	Exclusion from height. The following shall be excluded from computation of building height in MX Districts: a. Air-conditioning equipment room. b. Elevator shafts. c. Elevator mechanical equipment rooms. d. Parapets. Roof structures used only for ornamental and aesthetic purposes not exceeding a combined area of twenty-five (25%) percent of the floor area immediately below. Such exclusion shall be subject to the provisions that no such structure shall exceed a height of more than twenty-five (25) feet above the roof, except for commercial buildings in the Central Business District (CBD) where no such structure shall exceed one-third (1/3) of the allowable total building height.	N/A
4	✓	✓	Bicycle storage.	To encourage the use of bicycles, bicycle storage facilities (racks) shall be provided. A minimum of five (5) bicycle storage spaces shall be provided for each two hundred and fifty (250) parking spaces or fraction thereof.	Satisfied
5	✓	✓	Building facades.	Facades in excess of one hundred and fifty (150) feet in length shall incorporate vertical breaks, setbacks or variations in bulk/massing at a minimum of one hundred (100) foot intervals.	Satisfied
6	✓	✓	Building lot coverage.	No minimum or maximum building lot or ground coverage is required.	Satisfied
7	✓	✓	Drive through facilities.	Drive through facilities including banking facilities, restaurants, pharmacies, dry cleaners, or other drive-through businesses are prohibited access to/from Ponce de Leon Boulevard from S.W. 8 th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.	N/A
8	✓	✓	Landscape open space area.	Each property shall provide the following minimum ground-level landscape open area (percentage based upon total lot area): a. Five (5%) percent for nonresidential properties; b. Ten (10%) percent for mixed use properties; and c. Twenty-five (25%) percent for residential properties. The total area shall be based upon the total lot area. This landscape area can be provided at street level, within the public right-of-way, planter boxes, planters, and other ground-floor locations.	Satisfied
9	✓	✓	Lighting, street.	Street lighting shall be provided and located on all streets/rights-of-way. The type of fixture shall be the approved City of Coral Gables light fixture. The location, spacing, and other specifications shall be subject to review and approval by the Department of Public Works.	Satisfied
10	✓	✓	Parking garages.	Ground floor parking as a part of a multi-use building shall not front on a primary street. ADA parking is permitted on the ground floor. Ground floor parking is permitted on secondary/side streets and shall be fully enclosed within the structure and/or shall be surrounded by retail uses and/or residential units. Ground floor parking is permitted on alley frontages. Parking facilities shall strive to accommodate pedestrian access to all adjacent street(s) and alleys.	Satisfied
11	✓	✓	Porte-cocheres.	Porte-cocheres are prohibited access to/from Ponce de Leon Boulevard from S.W. 8 th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.	N/A
12		✓	Sidewalks/ pedestrian access.	All buildings, except accessory buildings, shall have their main pedestrian entrances oriented towards adjoining streets. Pedestrian pathways or sidewalks shall be provided from all pedestrian access points and shall connect to one another to form a continuous pedestrian network from buildings, parking facilities, parking garages entrances, and other structures. Wherever possible pathways shall be separated from vehicular traffic.	
13	✓	✓	Soil, structural.	Structural soil shall be utilized within all rights-of-way for all street level planting areas with root barriers approved by the Public Works Landscape Division.	Satisfied
14	✓	✓	Windows on Mediterranean buildings.	Mediterranean buildings shall provide a minimum window casing depth of four (4) inches as measured from the face of the building.	Satisfied

Table 1. Required standards					719 Biltmore Way
Reference Number	Residential	Mixed Use	Type	Requirements	Compliance Notes
1	✓	✓	Architectural elements on building facades.	Similar exterior architectural relief elements shall be provided on all sides of all buildings. No blank walls shall be permitted unless required pursuant to applicable City, State and Federal requirements (e.g., Fire and Life Safety Code, or other applicable code). Parking garages shall include exterior architectural treatments compatible with buildings or structures that occupy the same property and/or street.	Satisfied
2		✓	Architectural relief elements at street level.	On any building facades fronting streets, where an adjoining pedestrian sidewalk is located, one (1) or more of the following design features shall be included at the street level: a. Display windows or retail display area; b. Landscaping; and/or c. Architectural relief elements or ornamentation.	
3	✓	✓	Architectural elements located on the top of buildings.	Exclusion from height. The following shall be excluded from computation of building height in MX Districts: a. Air-conditioning equipment room. b. Elevator shafts. c. Elevator mechanical equipment rooms. d. Parapets. Roof structures used only for ornamental and aesthetic purposes not exceeding a combined area of twenty-five (25%) percent of the floor area immediately below. Such exclusion shall be subject to the provisions that no such structure shall exceed a height of more than twenty-five (25) feet above the roof, except for commercial buildings in the Central Business District (CBD) where no such structure shall exceed one-third (1/3) of the allowable total building height.	N/A
4	✓	✓	Bicycle storage.	To encourage the use of bicycles, bicycle storage facilities (racks) shall be provided. A minimum of five (5) bicycle storage spaces shall be provided for each two hundred and fifty (250) parking spaces or fraction thereof.	Satisfied
5	✓	✓	Building facades.	Facades in excess of one hundred and fifty (150) feet in length shall incorporate vertical breaks, setbacks or variations in bulk/massing at a minimum of one hundred (100) foot intervals.	Satisfied
6	✓	✓	Building lot coverage.	No minimum or maximum building lot or ground coverage is required.	Satisfied
7	✓	✓	Drive through facilities.	Drive through facilities including banking facilities, restaurants, pharmacies, dry cleaners, or other drive-through businesses are prohibited access to/from Ponce de Leon Boulevard from S.W. 8 th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.	N/A
8	✓	✓	Landscape open space area.	Each property shall provide the following minimum ground-level landscape open area (percentage based upon total lot area): a. Five (5%) percent for nonresidential properties; b. Ten (10%) percent for mixed use properties; and c. Twenty-five (25%) percent for residential properties. The total area shall be based upon the total lot area. This landscape area can be provided at street level, within the public right-of-way, planter boxes, planters, and other ground-floor locations.	Satisfied
9	✓	✓	Lighting, street.	Street lighting shall be provided and located on all streets/rights-of-way. The type of fixture shall be the approved City of Coral Gables light fixture. The location, spacing, and other specifications shall be subject to review and approval by the Department of Public Works.	Satisfied
10	✓	✓	Parking garages.	Ground floor parking as a part of a multi-use building shall not front on a primary street. ADA parking is permitted on the ground floor. Ground floor parking is permitted on secondary/side streets and shall be fully enclosed within the structure and/or shall be surrounded by retail uses and/or residential units. Ground floor parking is permitted on alley frontages. Parking facilities shall strive to accommodate pedestrian access to all adjacent street(s) and alleys.	Satisfied
11	✓	✓	Porte-cocheres.	Porte-cocheres are prohibited access to/from Ponce de Leon Boulevard from S.W. 8 th Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.	N/A
12		✓	Sidewalks/ pedestrian access.	All buildings, except accessory buildings, shall have their main pedestrian entrances oriented towards adjoining streets. Pedestrian pathways or sidewalks shall be provided from all pedestrian access points and shall connect to one another to form a continuous pedestrian network from buildings, parking facilities, parking garages entrances, and other structures. Wherever possible pathways shall be separated from vehicular traffic.	
13	✓	✓	Soil, structural.	Structural soil shall be utilized within all rights-of-way for all street level planting areas with root barriers approved by the Public Works Landscape Division.	Satisfied
14	✓	✓	Windows on Mediterranean buildings.	Mediterranean buildings shall provide a minimum window casing depth of four (4) inches as measured from the face of the building.	Satisfied



GROUND FLOOR AREA

GROUND FLOOR AREA.....0 SF



FLOOR AREA : 203 SF

SECOND FLOOR AREA (BOH CONT.)

SECOND FLOOR AREA.....203 SF

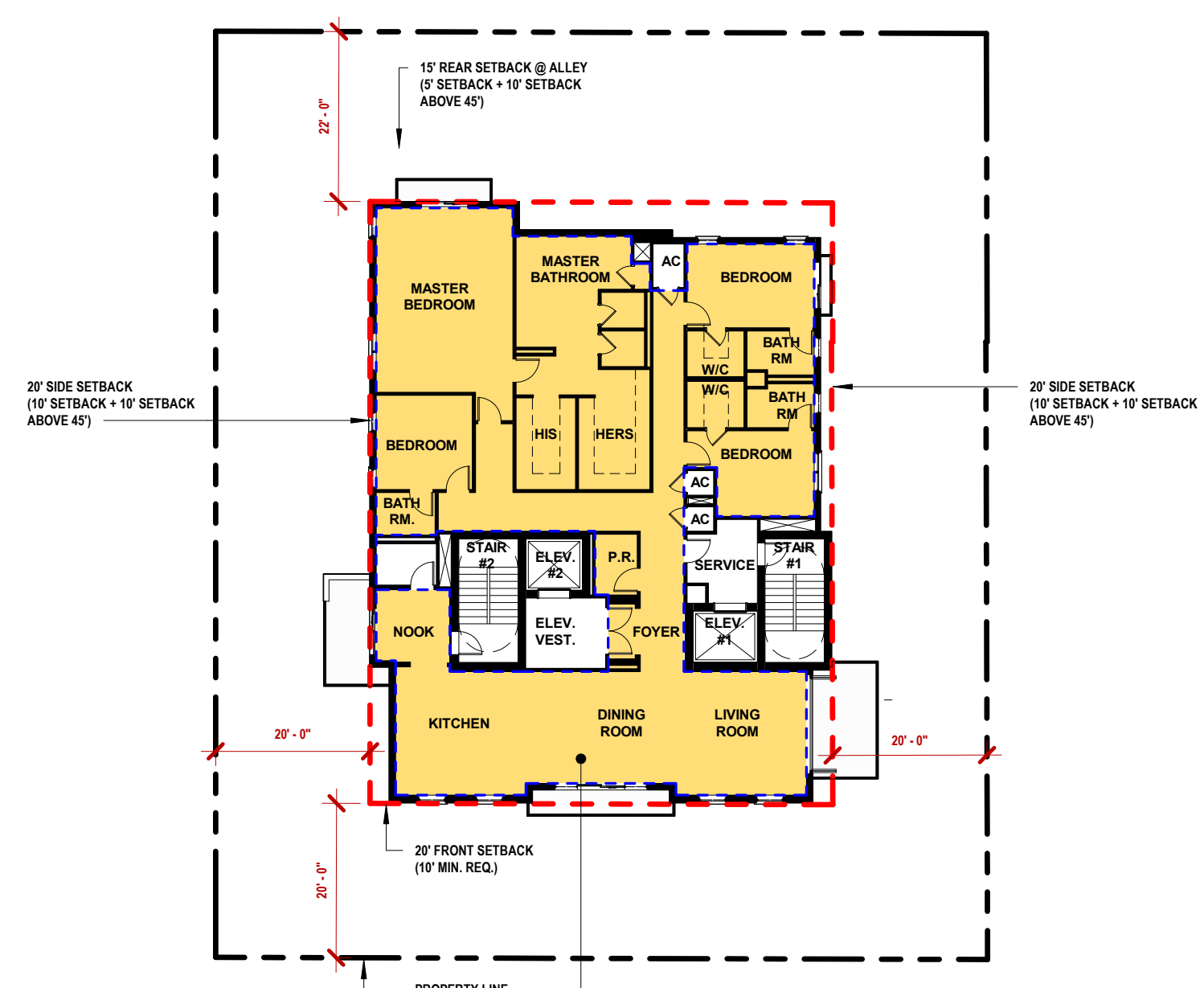
PROPOSED FLOOR AREA RATIO SUMMARY

GROUND FLOOR AREA.....	0 SF
SECOND FLOOR AREA.....	203 SF
3RD TO 11TH FLOOR AREA.....	29,079 SF
ROOF LEVEL.....	647 SF
TOTAL FLOOR AREA.....	29,929 SF

LOT AREA.....	11,981.30 SF
PROPOSED FLOOR AREA RATIO.....	2.5

ALLOWED FLOOR AREA RATIO SUMMARY

LOT AREA.....	11,981.30 SF
ALLOWED FLOOR AREA RATIO.....	2.5
ALLOWED FLOOR AREA.....	29,953.25 SF

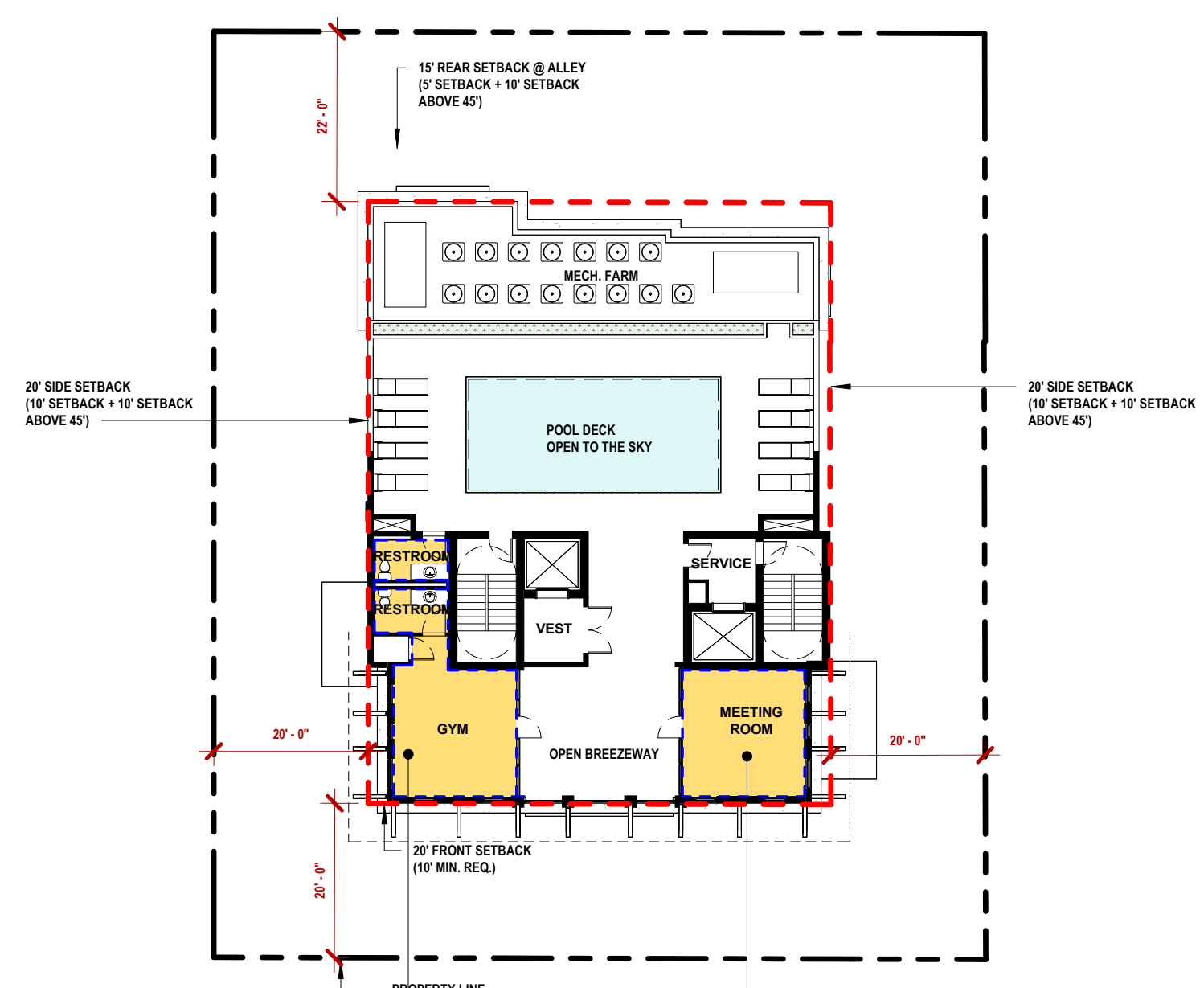


FLOOR AREA : 3,231 SF

3RD TO 11TH FLOOR AREA

3RD-11TH FLOOR AREA.....3,231 SF
9 X 3,255 SF = 29,079 SF

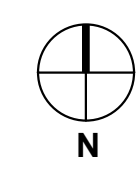
TERRACES \ BALCONIES
3RD-4TH - 598 SF (598 X 2 = 1,196 SF)
5TH-12TH - 324 SF (324 X 7 = 2,268 SF)
TOTAL TERRACE \ BALCONY AREA: 3,460 SF

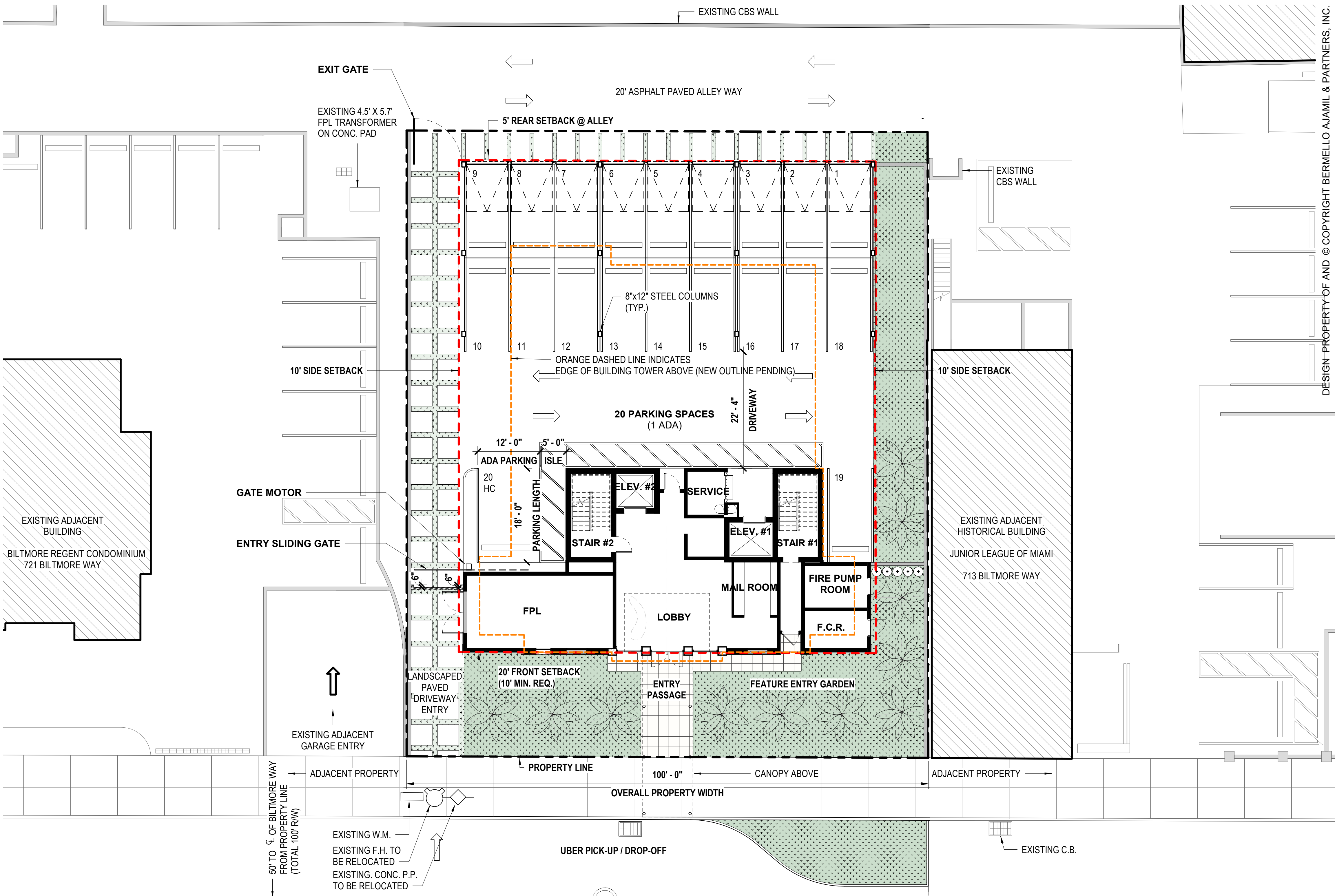


FLOOR AREA : 388 SF FLOOR AREA : 259 SF

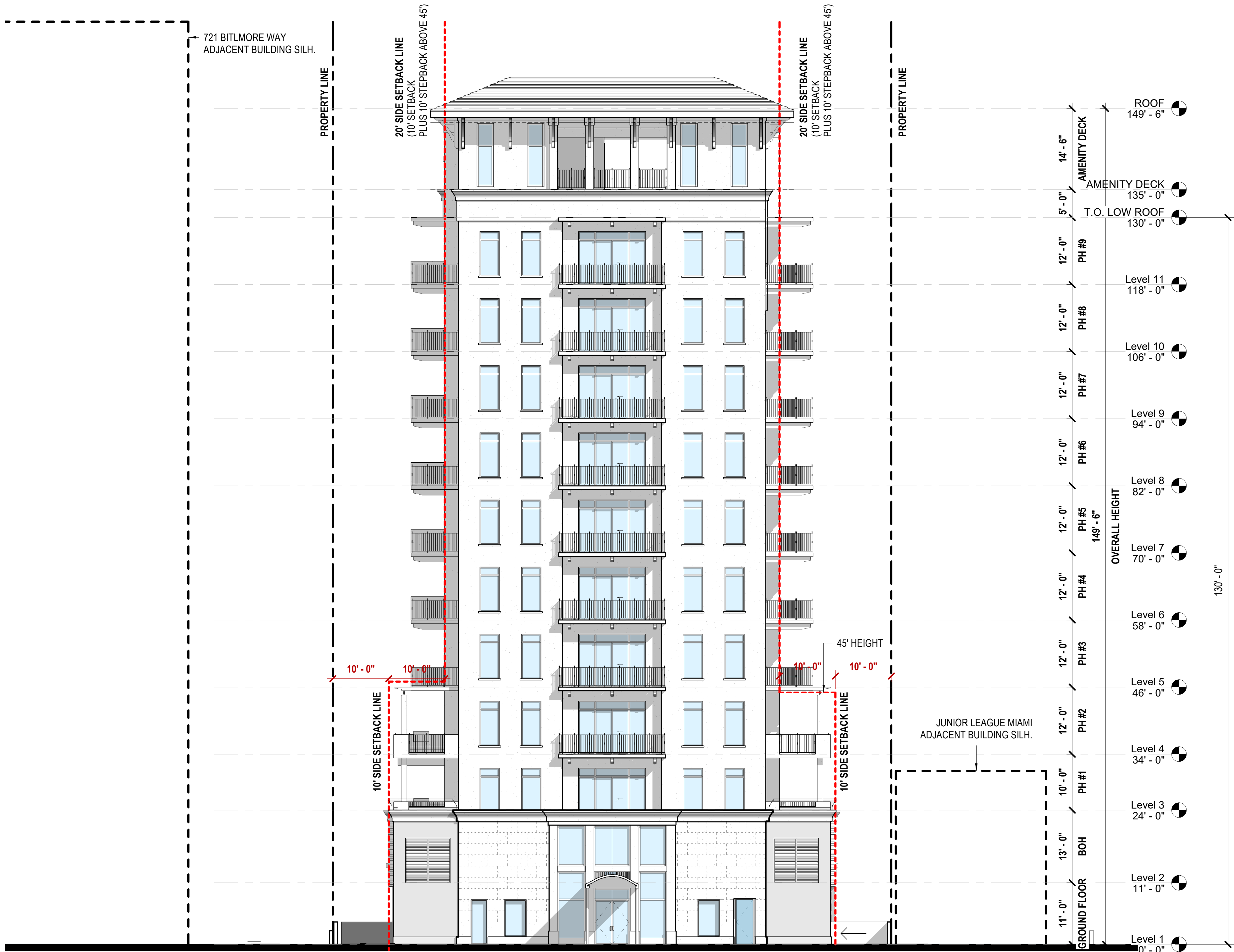
ROOF DECK

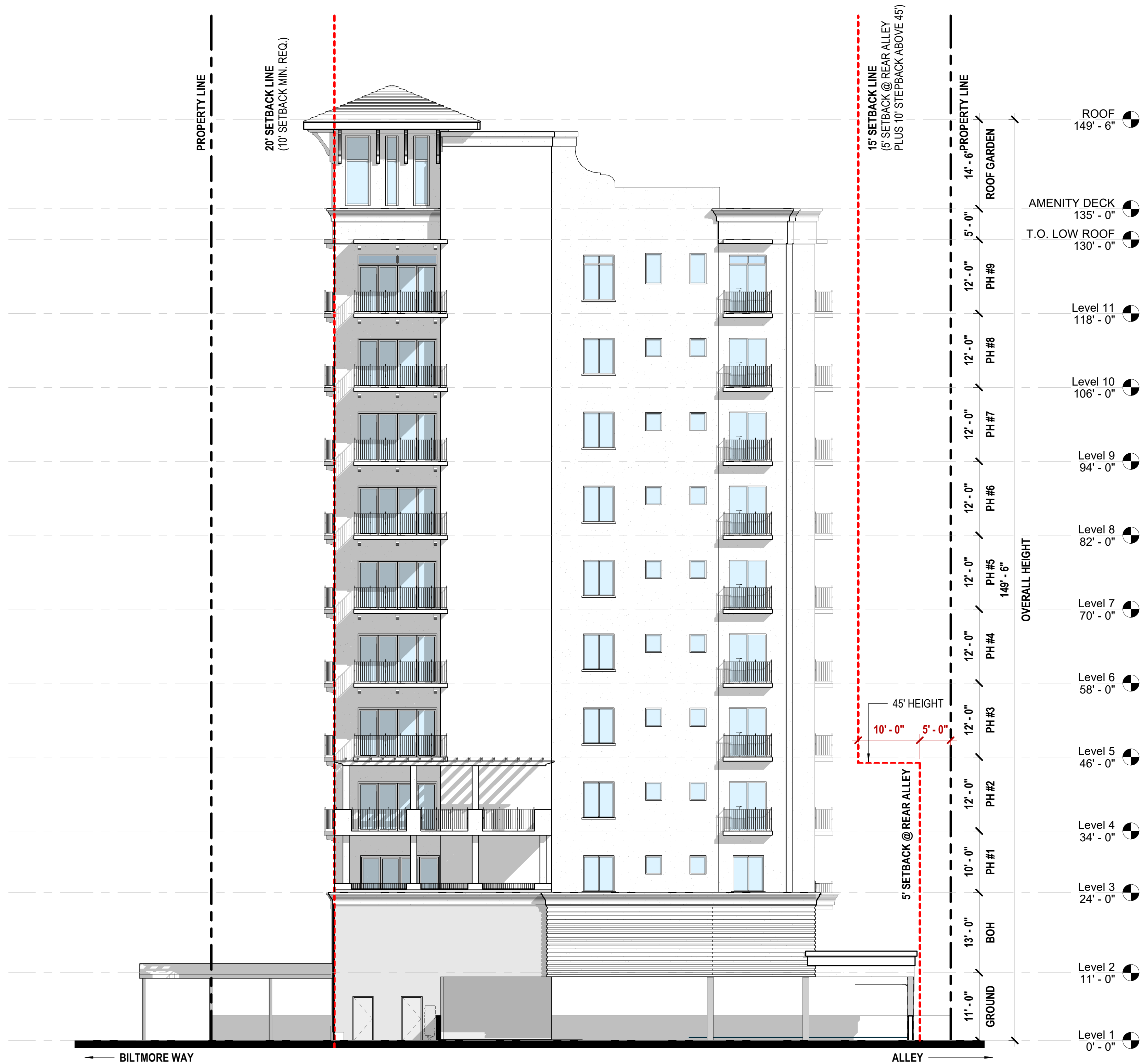
ROOF DECK FLOOR AREA.....647 SF

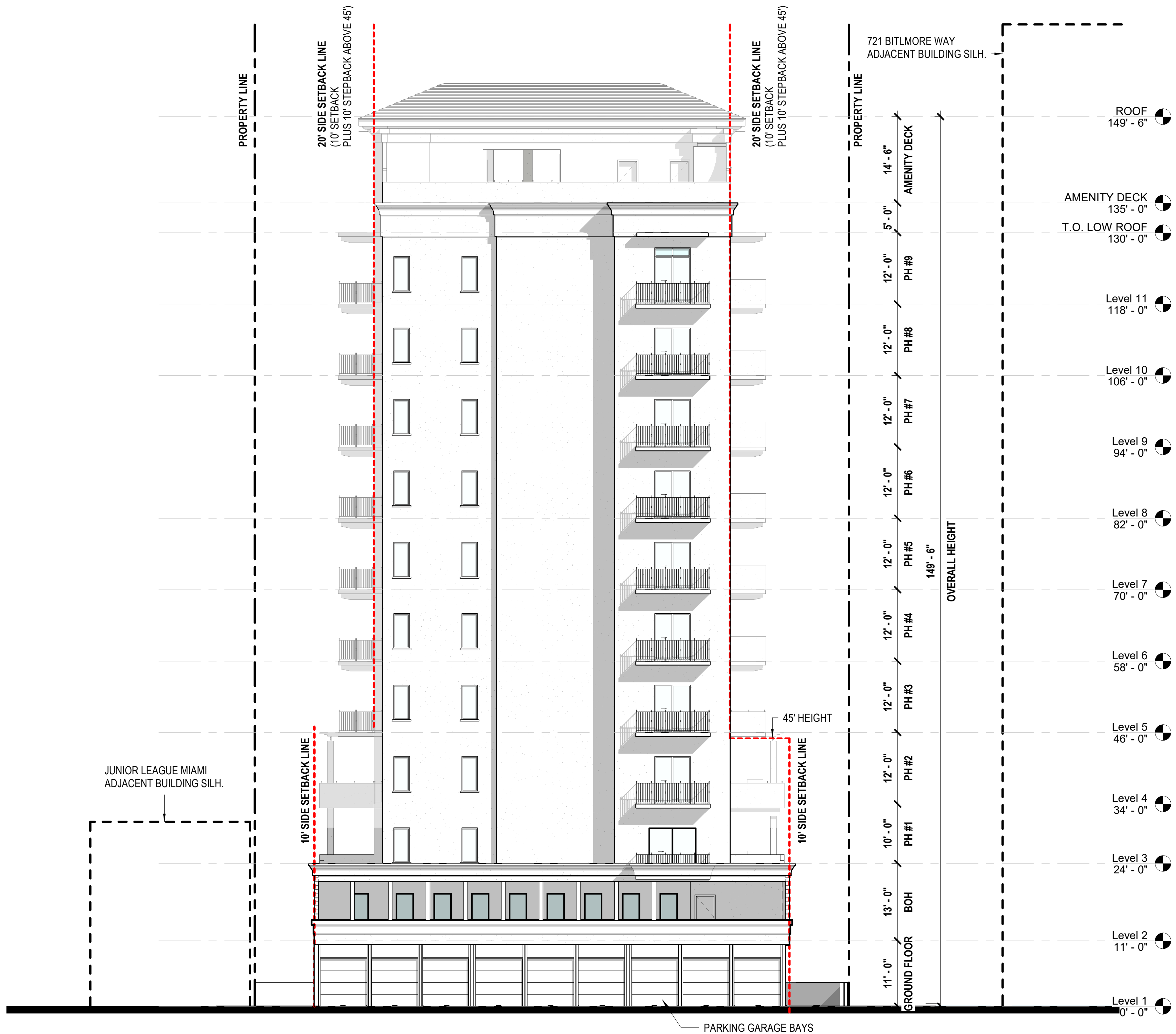




DESIGN PROPERTY OF AND © COPYRIGHT BERMELO AJAMIL & PARTNERS, INC.









ADJACENT BUILDING
GRANADA PARK
CONDOMINIUM
720 CORAL WAY
APPROX. 140' HIGH
DISTANCE BETWEEN
BUILDINGS SHOWN
DIAGRAMATICALLY
ACTUAL DISTANCE
NOT REFLECTED.



ADJACENT BUILDING
THE DAVID
WILLIAM
700 BILTMORE WAY
APPROX. 146'-10" HIGH
DISTANCE BETWEEN
BUILDINGS SHOWN
DIAGRAMATICALLY
ACTUAL DISTANCE
NOT REFLECTED.



PERSPECTIVE

719 Biltmore Way, Coral Gables, Florida

A21

05/06/22 DRC



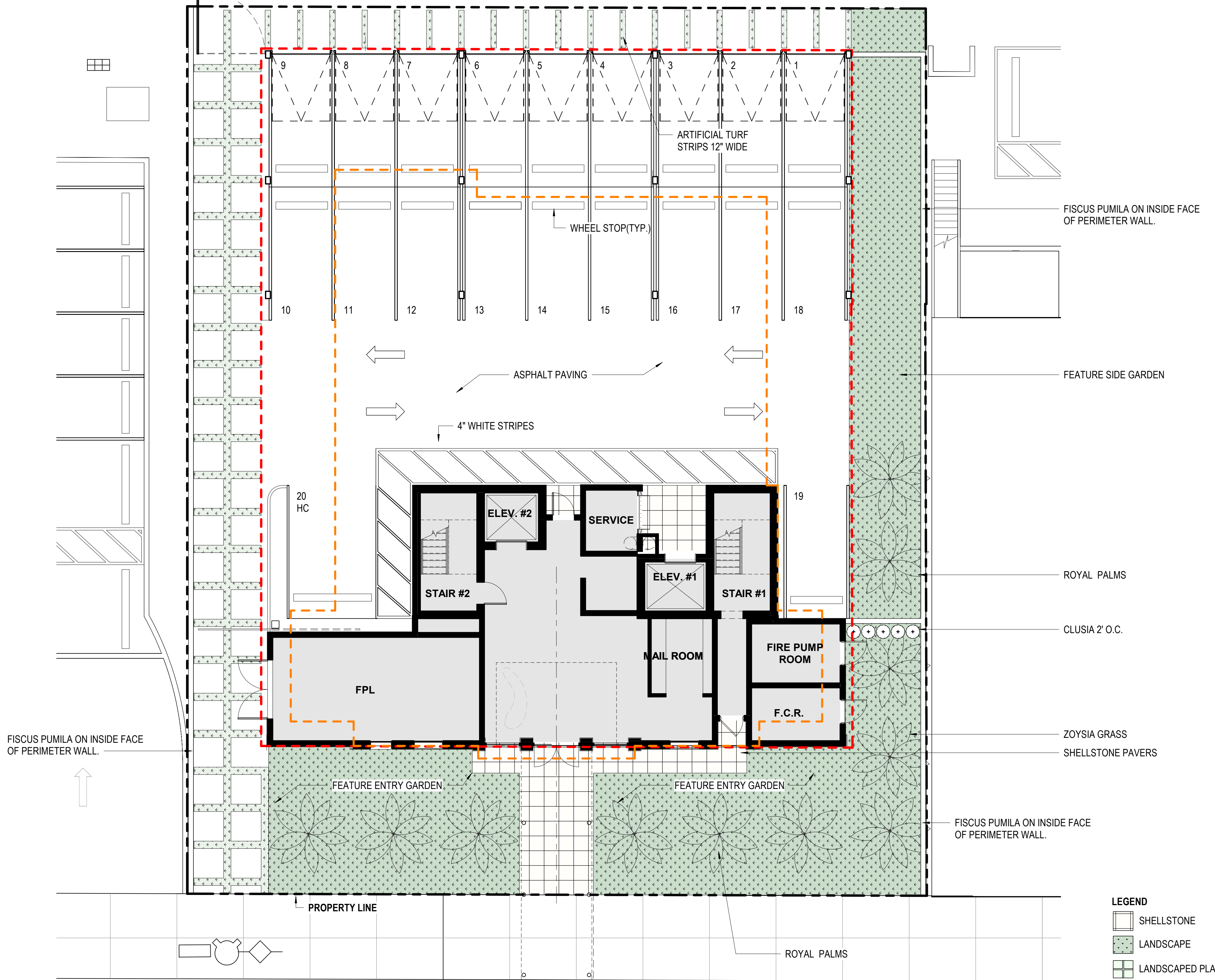
PERSPECTIVE

719 Biltmore Way, Coral Gables, Florida



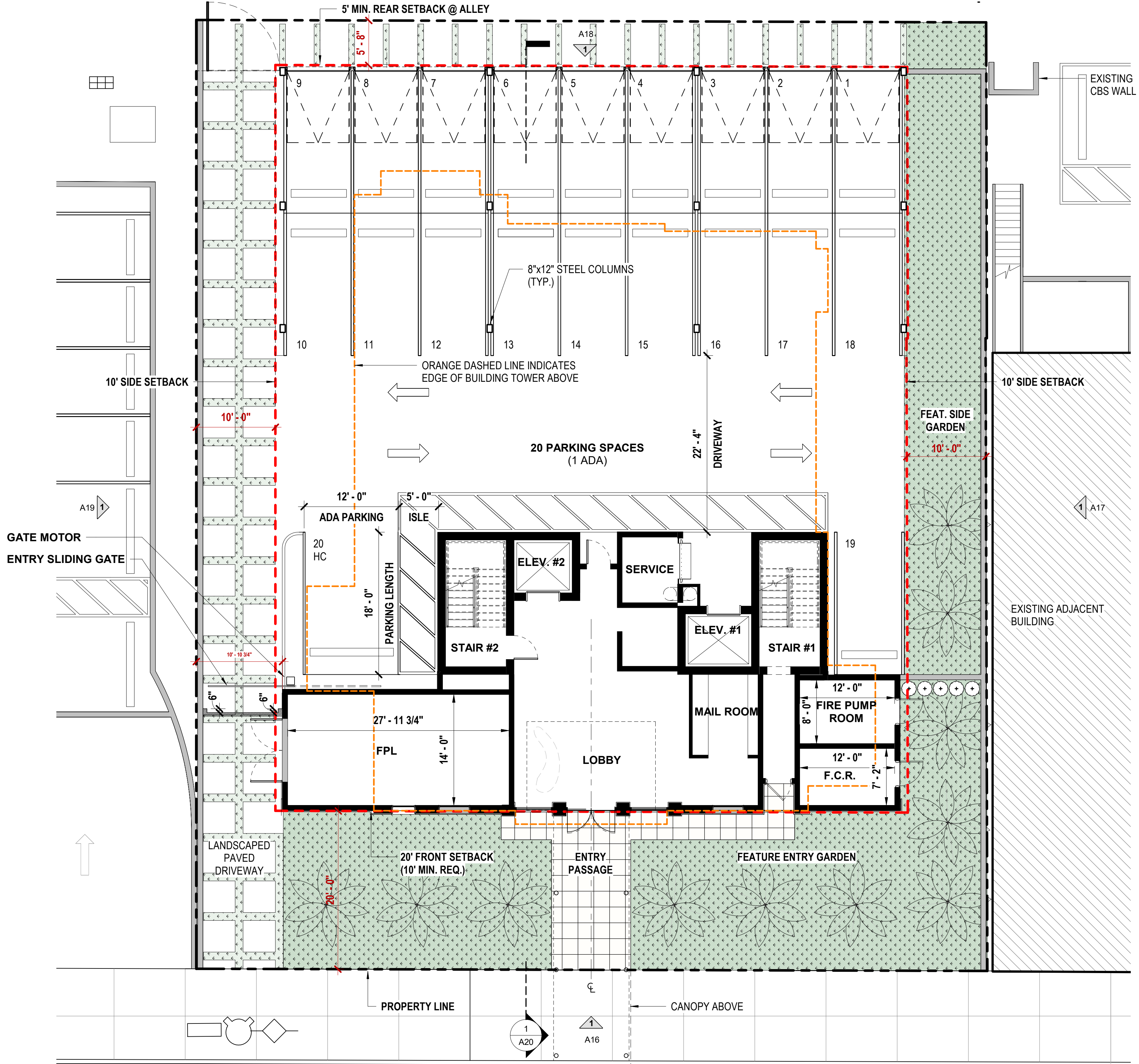
PERSPECTIVE

719 Biltmore Way, Coral Gables, Florida



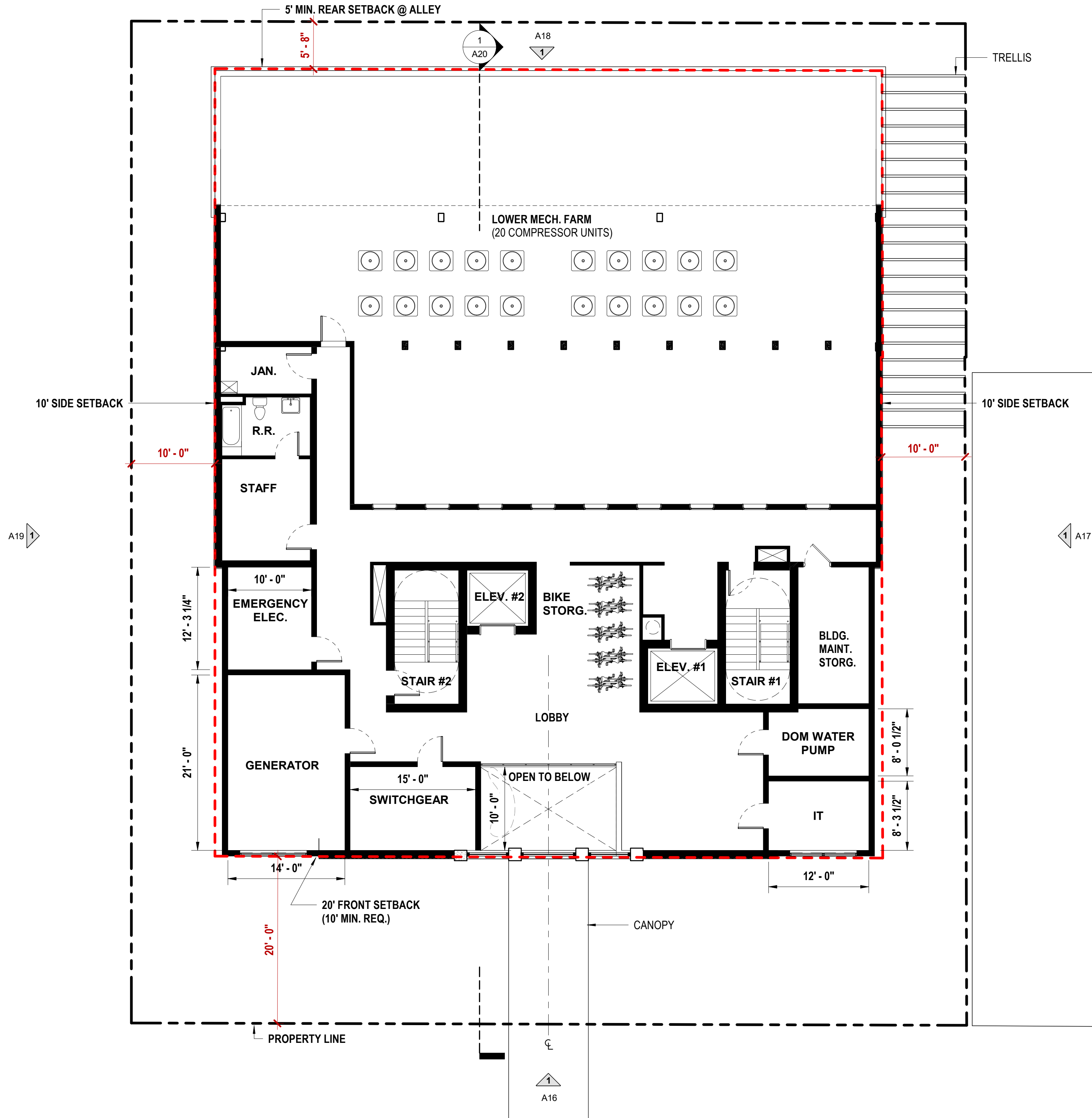
LEGEND

	SHELLSTONE
	LANDSCAPE
	LANDSCAPED PLAZA



GROUND FLOOR PLAN

719 Biltmore Way, Coral Gables, Florida



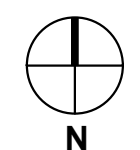
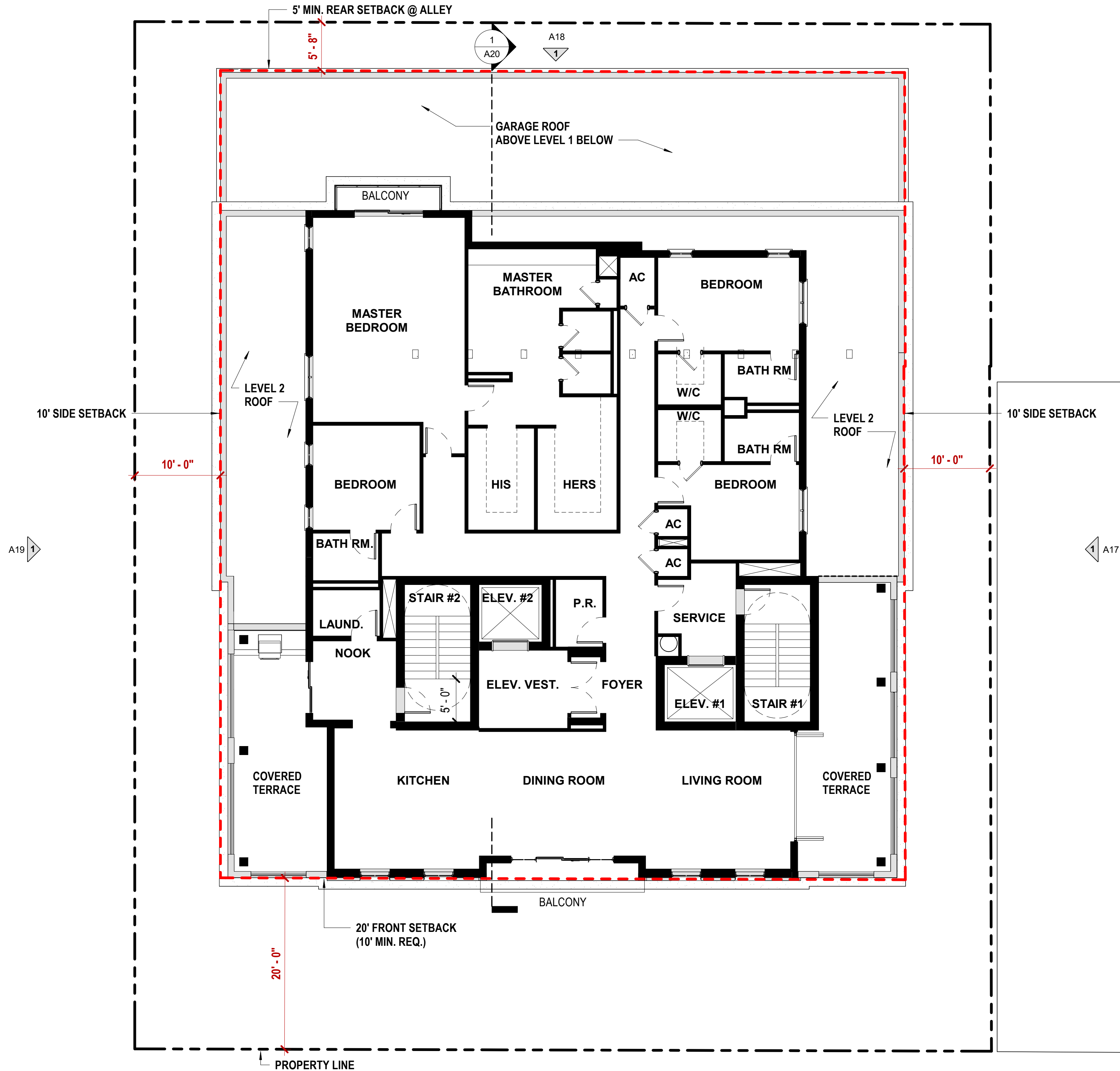
SECOND FLOOR PLAN

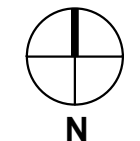
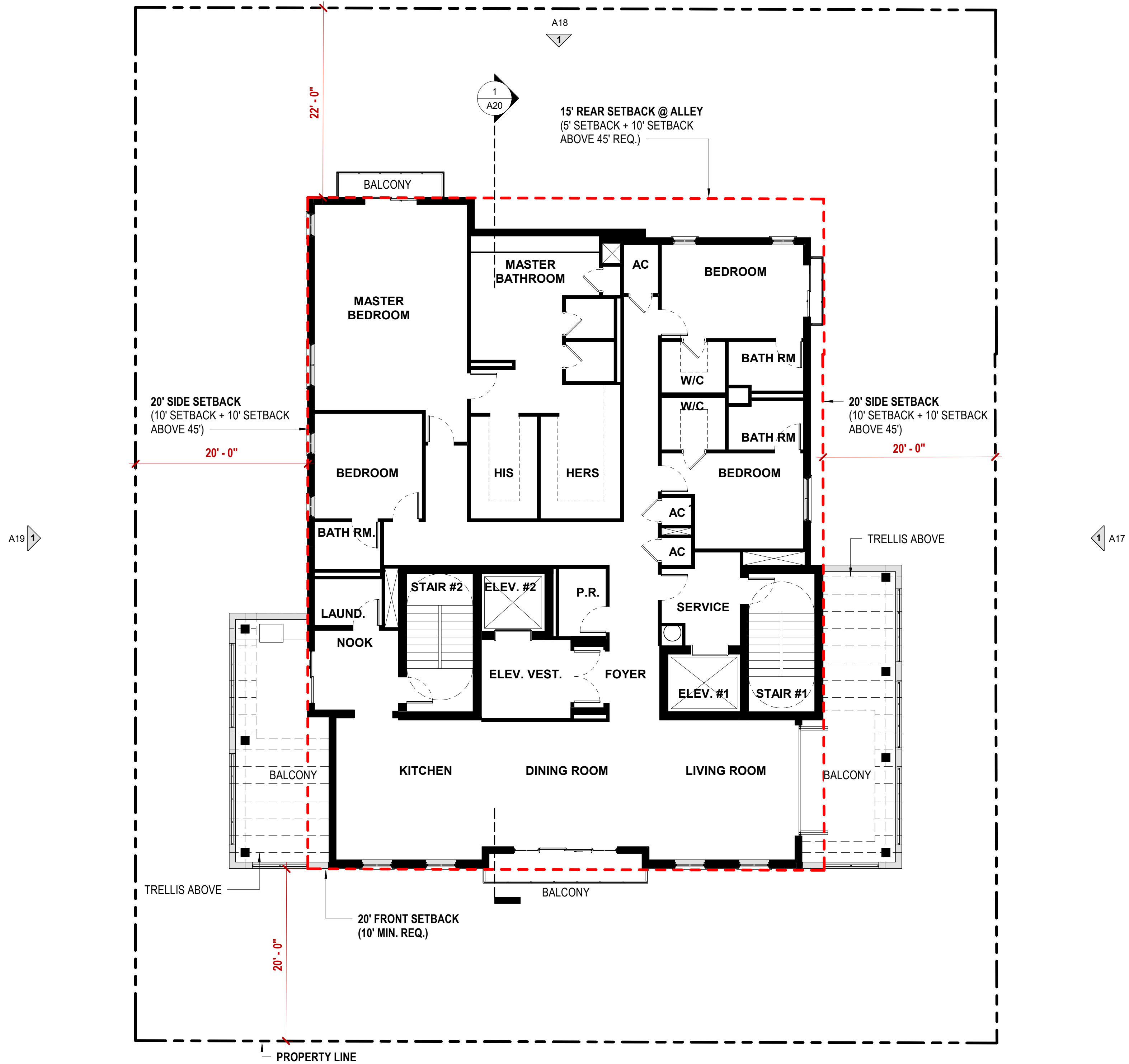
719 Biltmore Way, Coral Gables, Florida

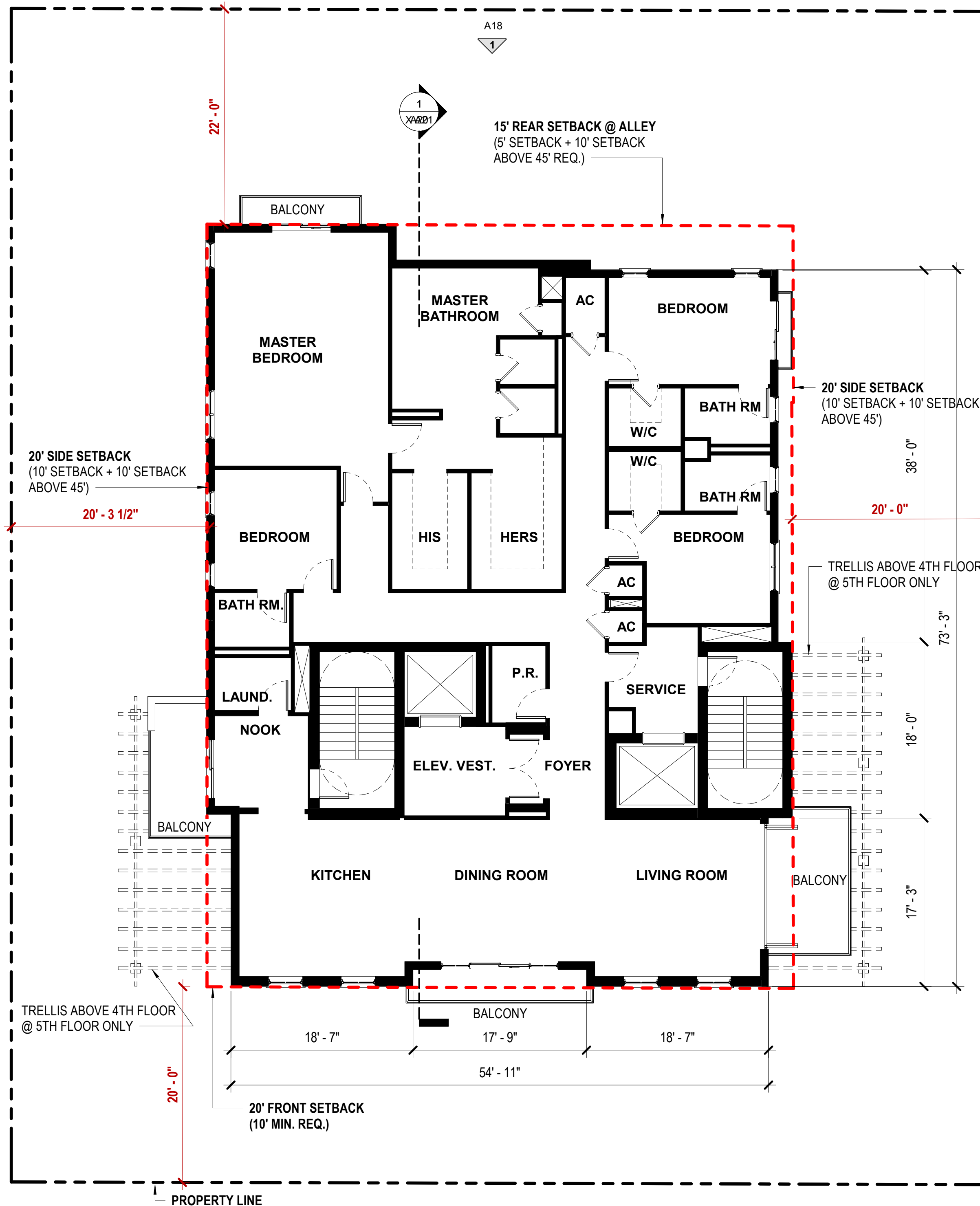


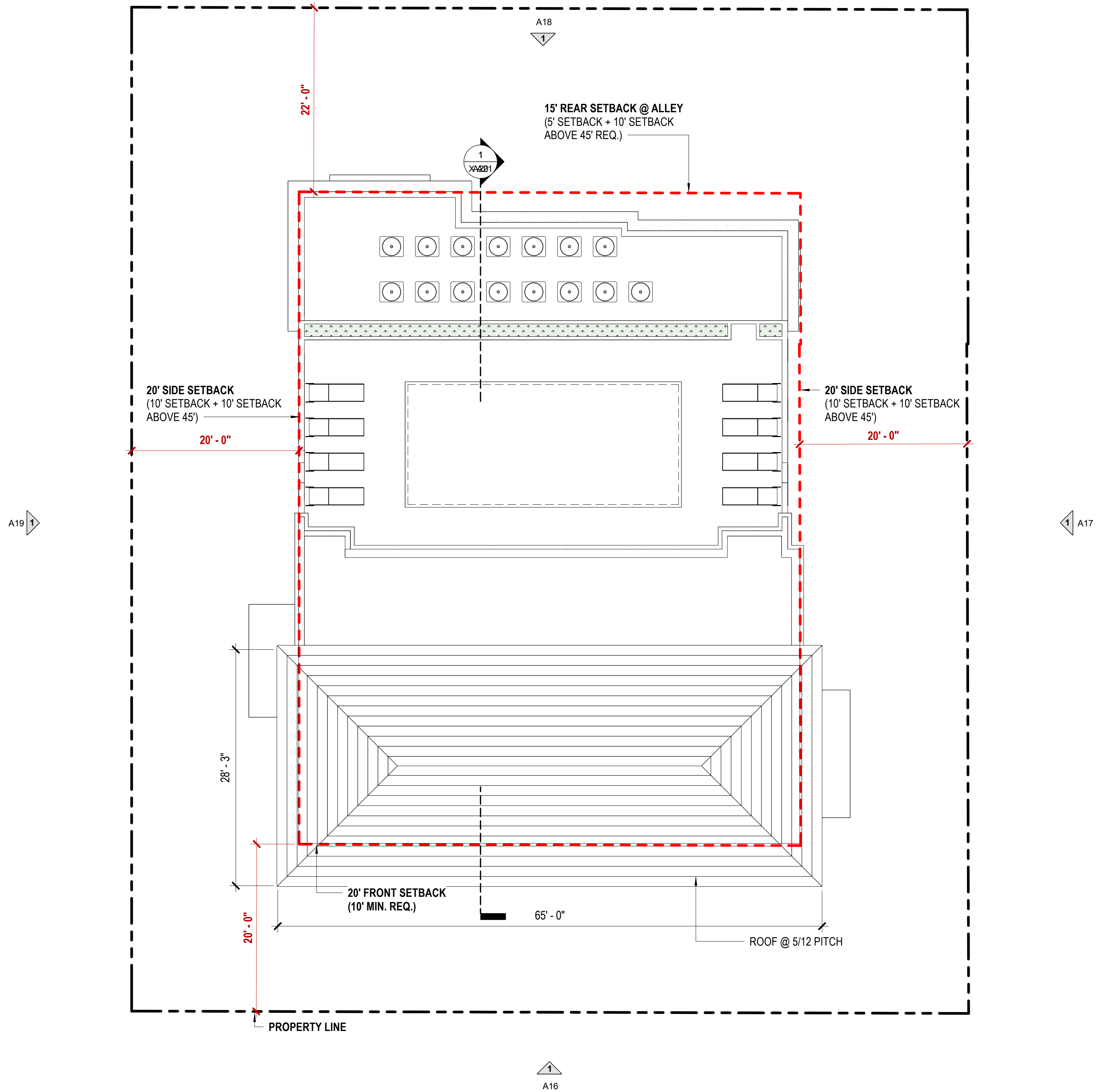
0' | 5' | 10' | 25'











From: [Cynthia Garcia \(Coral Gables, FL\)](#)
To: [Behar, Roberto](#)
Subject: City of Coral Gables – No Records for Public Records Request PRR-2022-558
Date: Friday, May 6, 2022 9:29:27 AM

RE: PUBLIC RECORDS REQUEST of Reference # [Request Number: PRR-2022-558](#)

Dear Roberto Behar,

The City received a public information request from you on 5/4/2022 at 10:57:28 am. Your request mentioned:

I would like to request a ordinances, resolutions, covenants, development agreements and all other approvals granted for the property. 719 Biltmore Way

The City has reviewed its files and has determined there are no responsive documents to your request.

If you have any questions, or wish to discuss this further, please contact our office.

Sincerely,

City Clerk's Office
405 Biltmore Way, First Floor
Coral Gables, FL 33134
305-569-1839

WARRANTY DEED

2362 50

88-176
28887

This Warranty Deed made this 5 day of May, 1988, between John J. Manyak, a married man, of the County of Indian River, in the State of Florida, party of the first part and T. Russell Sherrill, and Rita D. Sherrill, as joint tenants with right of survivorship and not as tenants in common, of the County of Dade, in the State of Florida, whose post office address is 940 Sevilla Avenue, Coral Gables, Florida parties of the second part,

WITNESSETH, that the said party of the first part, for and in consideration of the sum of TEN (\$10.00) DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION, to him in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said parties of the second part, their heirs and assigns forever, the following described land, situate, and being in the County of Dade, State of Florida, to-wit:

Lots 20, 21, 22 and 23, less the South 80 feet of the East .16 feet of Lot 20, in Block 1, of CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Dade County, Florida.

SUBJECT TO:

1. Taxes for the year 1988 and subsequent years.
2. Conditions, restrictions, limitations, easements and reservations of record.
3. Applicable zoning ordinances.
4. A Purchase Money Mortgage of even date given by the Grantees herein to the Grantor herein.

GRANTOR HEREIN STATES UNDER OATH THAT SUBJECT PROPERTY BEING CONVEYED IS COMMERCIAL PROPERTY AND NOT THE HOMESTEAD OF THE GRANTOR HEREIN, WHO RESIDES AND IS DOMICILED AT 2401 CORDOVA AVE., VERO BEACH, FLORIDA 32960.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
[Signature]

John J. Manyak
John J. Manyak

This instrument was prepared by:
Raul E. Valdes-Fauli, Esquire
Valdes-Fauli, Cobb & Petrey, P.A.
3400 One Biscayne Tower
2 South Biscayne Boulevard
Miami, Florida 33131

Documentary Stamps Collected \$ 2887.50
\$ 2362.50 SURTAX Doc. Stamps Collected
Class C Intangible Tax Collected \$ ---
Richard P. Brinker, Clerk, Dade County, Fla.
By *[Signature]* 5-6-88

10.50

STATE OF FLORIDA)
) SS.
COUNTY OF DADE)

I HEREBY CERTIFY that of this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared John J. Manyak, a married man, to me known to be the person described in and who executed the foregoing instrument and that he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 5 day of May, 1988.

[Handwritten Signature]
NOTARY PUBLIC, State of Florida

My Commission Expires:

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. FEB. 21, 1992
BONDED THRU GENERAL INS. UND.

RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF DADE, FLORIDA
ON MAY 11, 1988
BY [Signature]
[Signature]