



ZONING DATA

Address:  
2615 Alhambra Circle  
Coral Gables, FL 33134

Folio no.:  
03-4118-002-0760

Legal Description:  
The North 25 Feet of Lot 20  
and all of Lots 21 and 22,  
Block 10, Revised Plat Coral  
Gables Section "D", as  
recorded in Plat Book 25,  
Page 14 of the Public  
Records of Miami-Dade  
County, Florida.

Scope of Work:

THIS PROJECT CONSISTS OF  
NECESSARY LABOR,  
MATERIAL, EQUIPMENT AND  
SERVICES REQUIRED FOR  
MASTER BATH & CABANA  
BATH ADDITION AND  
INTERIOR RENOVATION.

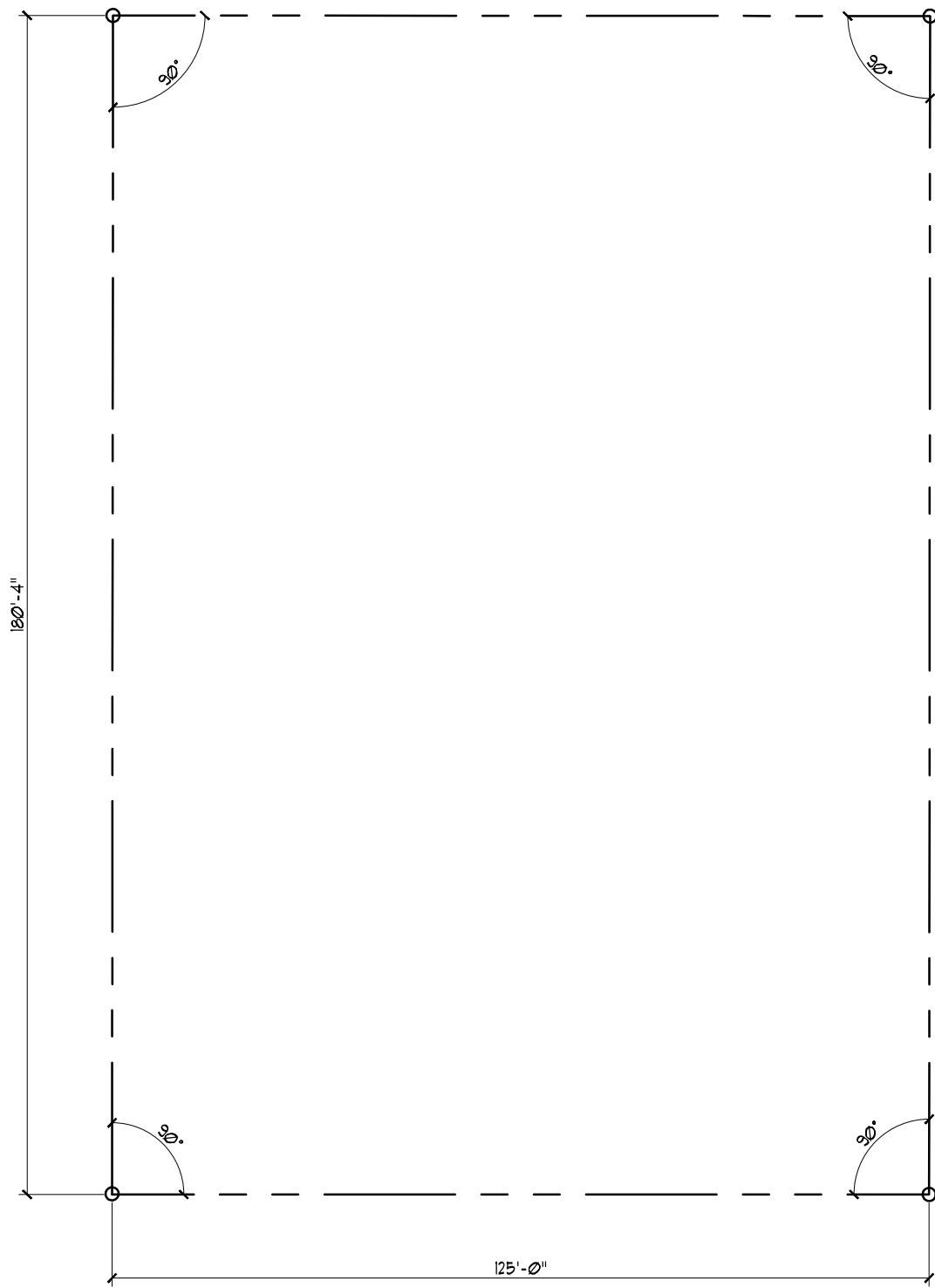
SETBACKS

FRONT:  
25'-0" REQUIRED  
30'-8" EXISTING, NO CHANGE

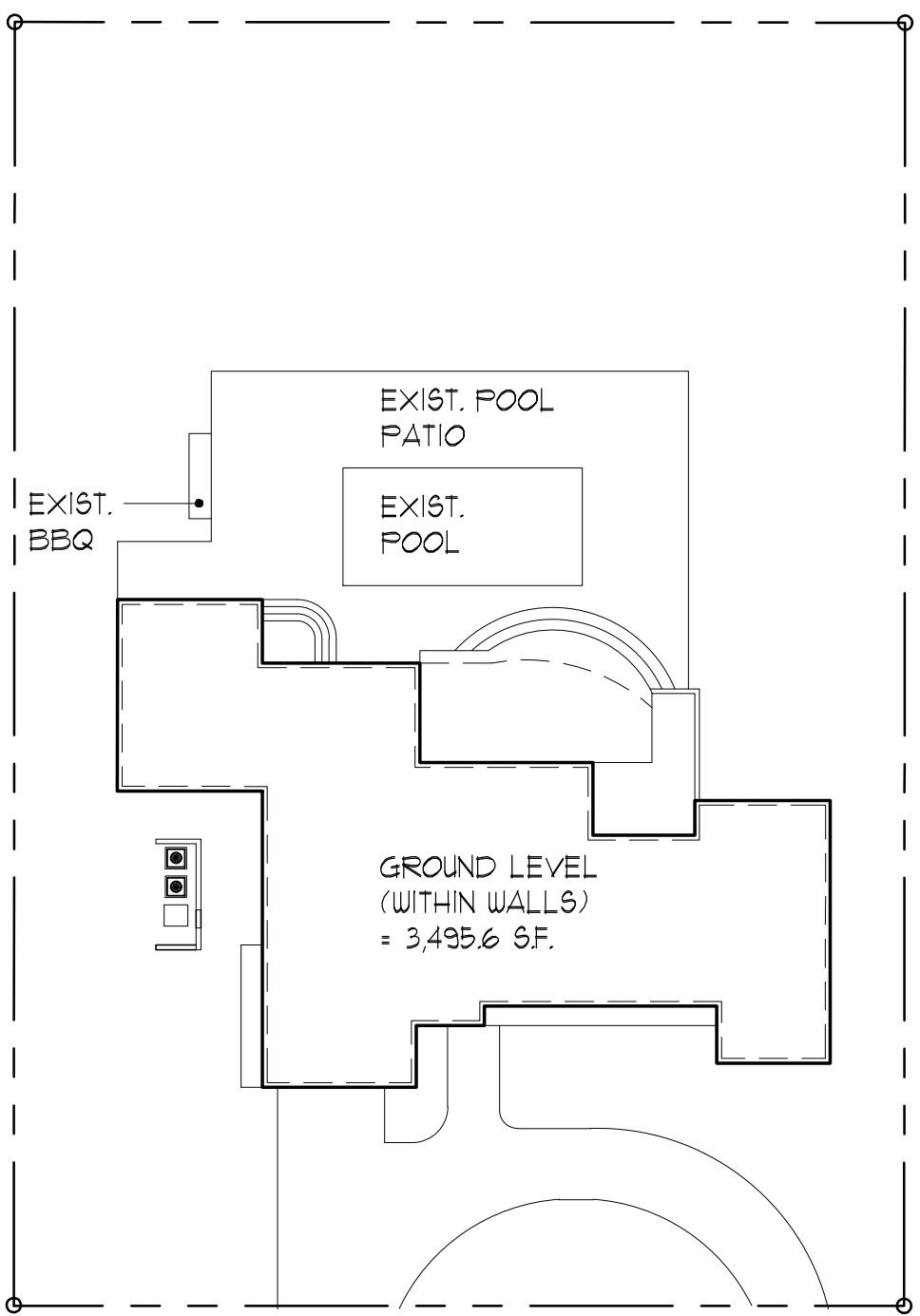
INTERIOR SIDE (SOUTH):  
25'-0" REQUIRED (20% OF  
COMBINED LOT WIDTH,  
MIN. 5')  
10'-5" EXISTING, NO CHANGE

INTERIOR SIDE (NORTH):  
25'-0" REQUIRED (20% OF  
COMBINED LOT WIDTH,  
MIN. 5')  
14'-6" EXISTING, NO CHANGE

REAR SETBACK:  
10'-0" REQUIRED  
81'-1" PROPOSED



LOT SIZE = 22,500 SF.



F.A.R.

F.A.R.

22,500 SF. TOTAL LOT

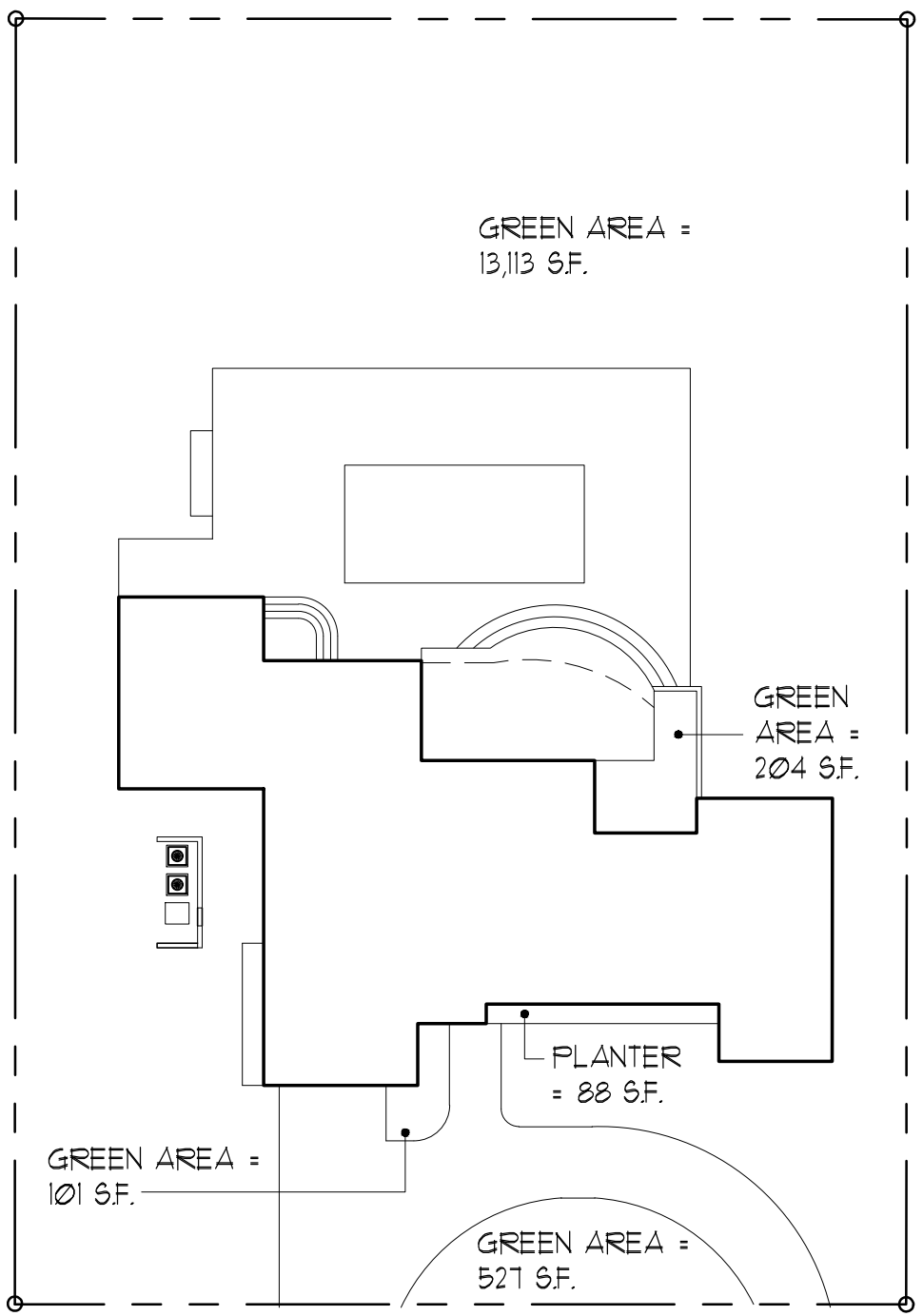
(x) 48% = 2,400 SF.  
ALLOWED  
(1ST 5,000 SF.)

(x) 35% = 1,750 SF.  
ALLOWED  
(2ND 5,000 SF.)

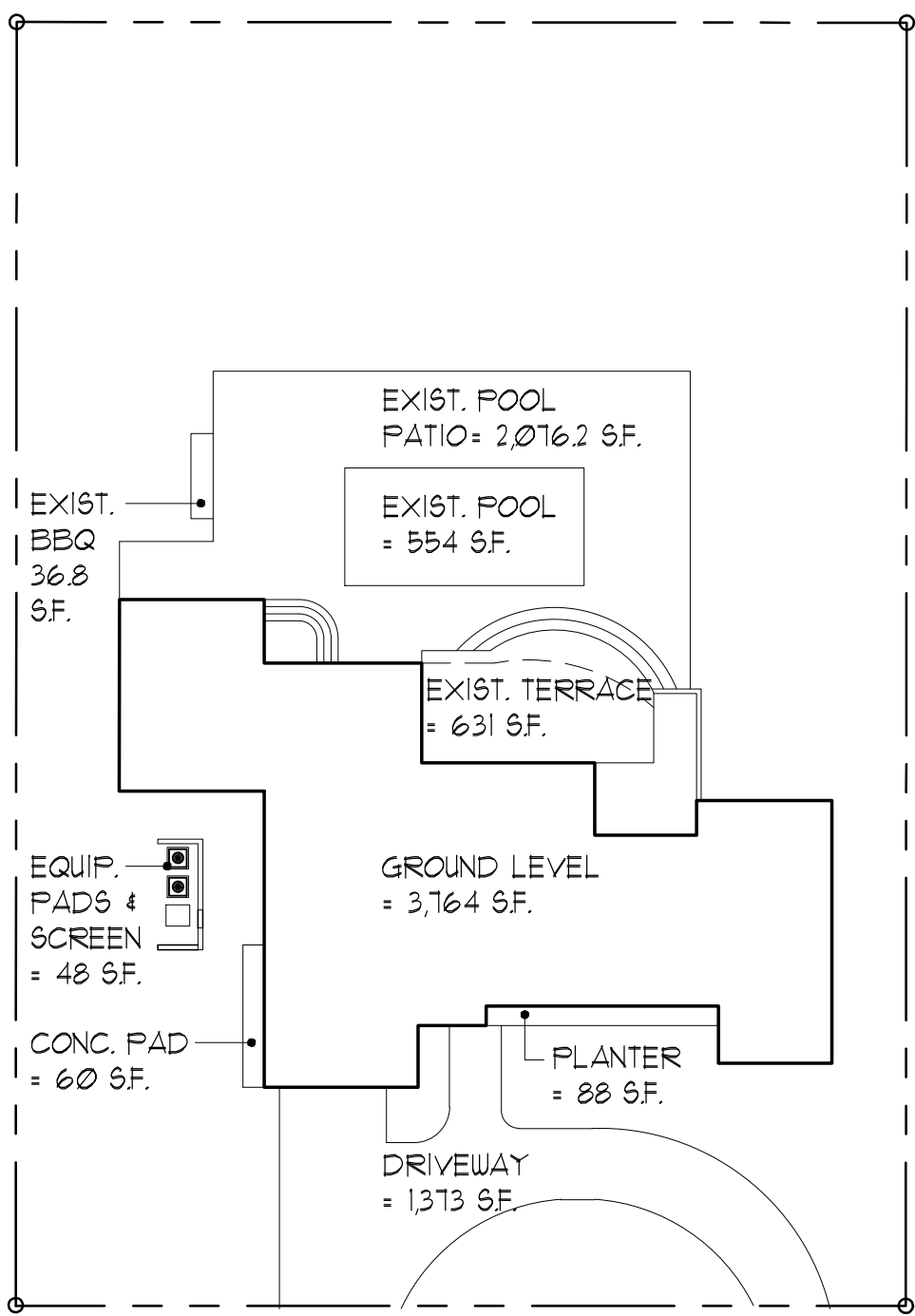
(x) 30% = 3,750 SF.  
ALLOWED  
(REMAINDER SF.)

1,900 SF.  
TOTAL ALLOWED

EXISTING: 3,161 SF.  
PROPOSED: 3,495.6 SF.



40% LANDSCAPE MINIMUM



35% GROUND COVERAGE

40% MINIMUM  
LANDSCAPE  
REQUIREMENT

22,500 X 40% = 9,000 SF.  
MINIMUM REQUIRED

GREEN AREA  
PROPOSED:

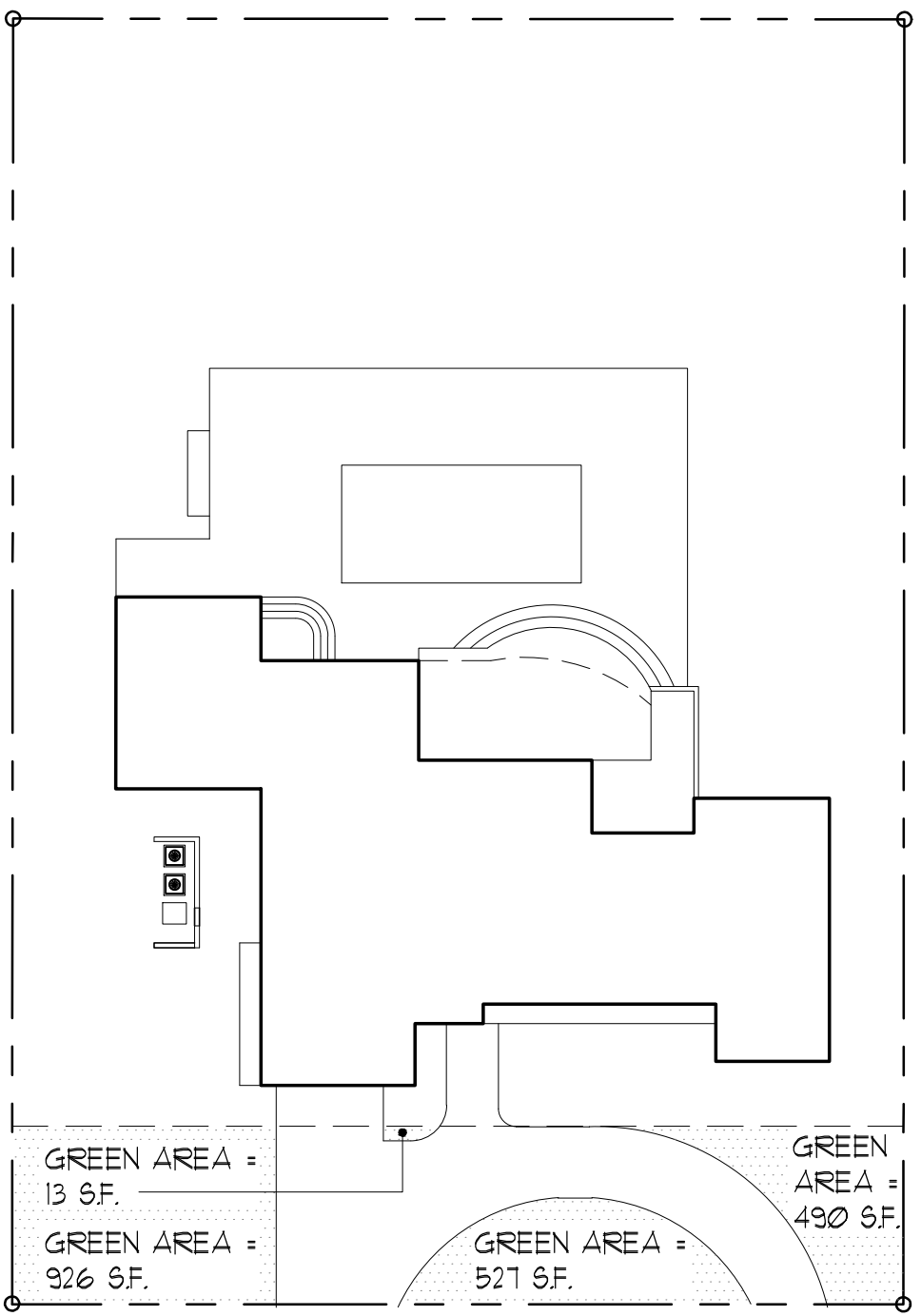
13,113 SF.  
204 SF.  
521 SF.  
101 SF.  
88 SF.  
14,033 SF. PROPOSED  
(62.4%)

35% GROUND  
COVERAGE

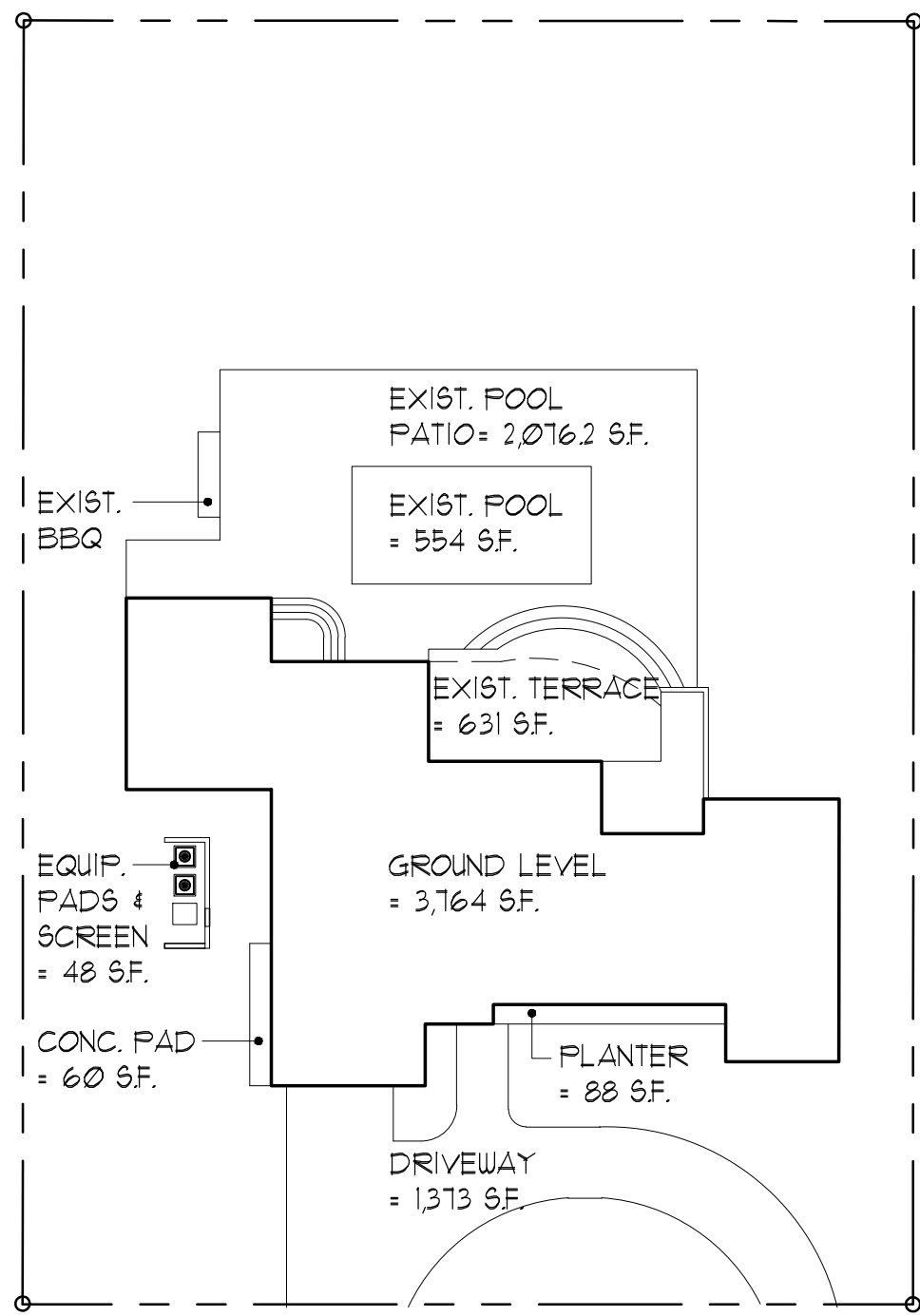
22,500 X 35% = 7,875 SF.  
MAXIMUM ALLOWED

GROUND LEVEL =  
3,764 SF.  
EXIST. TERRACE =  
631 SF.  
TOTAL = 4,395 SF. (19.5%)

7,875 SF. - 35% MAX.  
ALLOWED  
4,395 SF. - 19.5%  
PROPOSED



20% FRONT YARD LANDSCAPE MINIMUM



45% GROUND COVERAGE

20% MINIMUM  
FRONT YARD  
LANDSCAPE  
REQUIREMENT

3,125 X 20%  
= 312.5 SF.  
MINIMUM REQUIRED

GREEN AREA  
PROPOSED:

490 SF.  
521 SF.  
926 SF.  
13 SF.  
1,956 SF. PROPOSED  
(125%)

45% GROUND  
COVERAGE

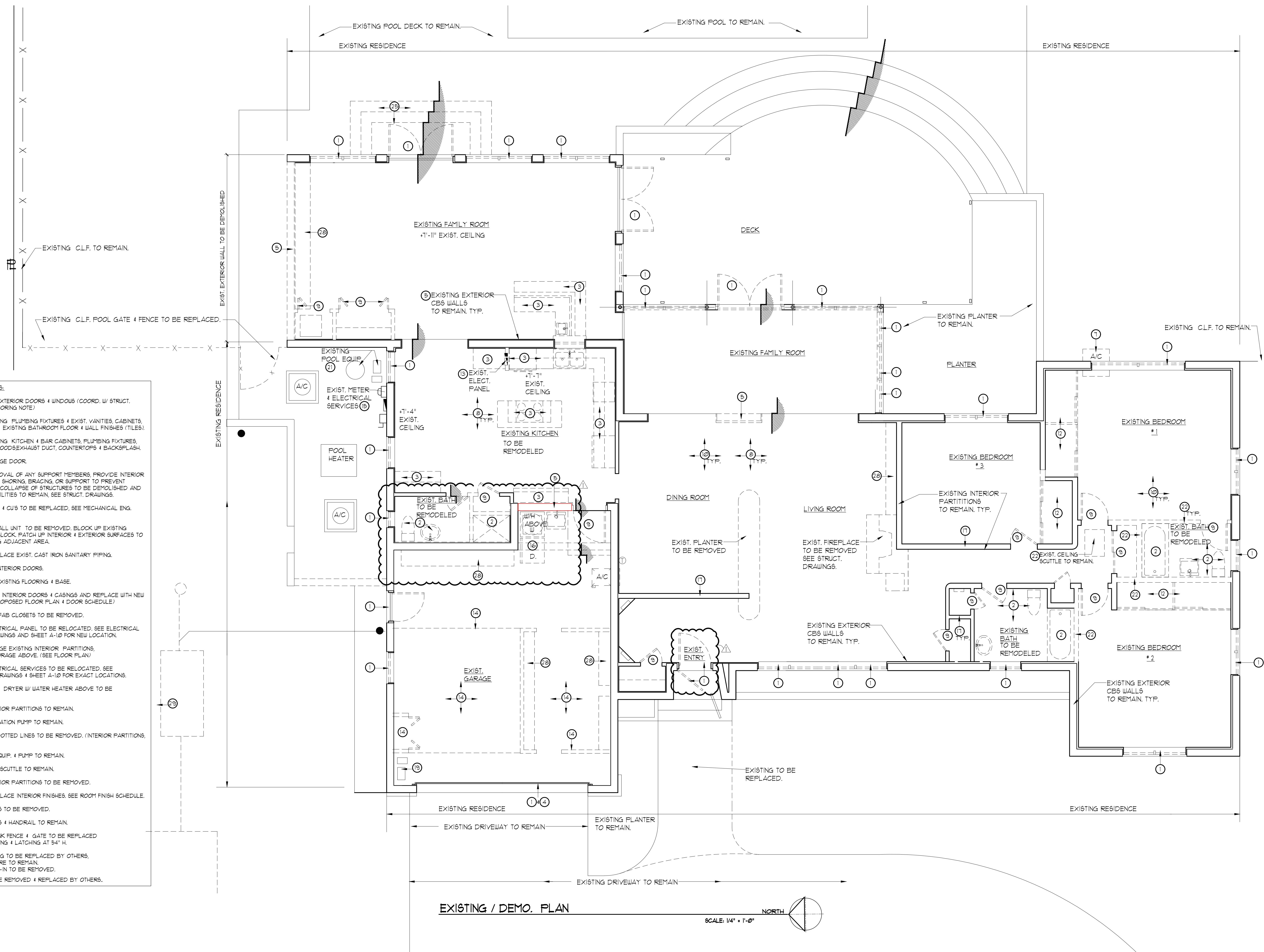
22,500 X 45% = 10,125 SF.  
MAXIMUM ALLOWED

1ST LEVEL = 3,764 SF.  
TERRACE = 631 SF.  
POOL = 554 SF.  
TOTAL = 4,949 SF.  
GROUND COVERAGE

10,125 SF. - 45% MAX.  
ALLOWED  
4,949 SF. - 22 %  
PROPOSED

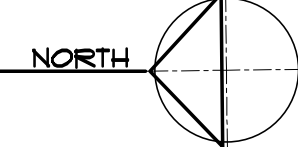


- DEMOLITION NOTES:**
1. REMOVE ALL EXTERIOR DOORS & WINDOWS (COORD. W/ STRUCT. DRAWINGS & SHORING NOTE).
  2. REMOVE EXISTING PLUMBING FIXTURES & EXIST. VANITIES, CABINETS, ACCESSORIES, EXISTING BATHROOM FLOOR & WALL FINISHES (TILES).
  3. REMOVE EXISTING KITCHEN & BAR CABINETS, PLUMBING FIXTURES, APPLIANCES, HOOD/EXHAUST DUCT, COUNTERTOPS & BACKSPLASH.
  4. REMOVE GARAGE DOOR.
  5. PRIOR TO REMOVAL OF ANY SUPPORT MEMBERS, PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN, SEE STRUCT. DRAWINGS.
  6. EXISTING AHU'S & CU'S TO BE REPLACED, SEE MECHANICAL ENG. DRAWINGS.
  7. EXISTING AC WALL UNIT, TO BE REMOVED, BLOCK UP EXISTING OPENING WITH BLOCK, PATCH UP INTERIOR & EXTERIOR SURFACES TO MATCH EXISTING ADJACENT AREA.
  8. REMOVE & REPLACE EXIST. CAST IRON SANITARY PIPING.
  9. REMOVE ALL INTERIOR DOORS.
  10. REMOVE ALL EXISTING FLOORING & BASE.
  11. REMOVE EXIST. INTERIOR DOORS & CASINGS AND REPLACE WITH NEW DOOR (SEE PROPOSED FLOOR PLAN & DOOR SCHEDULE).
  12. EXISTING PRE-FAB CLOSETS TO BE REMOVED.
  13. EXISTING ELECTRICAL PANEL TO BE RELOCATED, SEE ELECTRICAL ENGINEER DRAWINGS AND SHEET A-10 FOR NEW LOCATION.
  14. REMOVE GARAGE EXISTING INTERIOR PARTITIONS, SHELVES & STORAGE ABOVE. (SEE FLOOR PLAN).
  15. EXISTING ELECTRICAL SERVICES TO BE RELOCATED, SEE ELECTRICAL DRAWINGS & SHEET A-10 FOR EXACT LOCATIONS.
  16. EXIST. WASHER, DRYER W/ WATER HEATER ABOVE TO BE RELOCATED.
  17. EXISTING INTERIOR PARTITIONS TO REMAIN.
  18. EXISTING IRRIGATION PUMP TO REMAIN.
  19. ALL ITEMS W/ DOTTED LINES TO BE REMOVED. (INTERIOR PARTITIONS, ETC.).
  20. EXIST. POOL EQUIP. & PUMP TO REMAIN.
  21. EXIST. CEILING SCUTTLE TO REMAIN.
  22. EXISTING INTERIOR PARTITIONS TO BE REMOVED.
  23. REMOVE & REPLACE INTERIOR FINISHES, SEE ROOM FINISH SCHEDULE.
  24. EXISTING STEPS TO BE REMOVED.
  25. EXISTING STEPS & HANDRAIL TO REMAIN.
  26. EXIST. CHAINLINK FENCE & GATE TO BE REPLACED W/ SELF-CLOSING & LATCHING AT 54" H.
  27. EXISTING AWNING TO BE REPLACED BY OTHERS, EXIST. STRUCTURE TO REMAIN.
  28. EXISTING BUILT-IN TO BE REMOVED.
  29. EXISTING TO BE REMOVED & REPLACED BY OTHERS.



EXISTING / DEMO. PLAN

SCALE: 1/4" = 1'-0"



**GC NOTE:**

- PRIOR TO REMOVAL OF ANY SUPPORT MEMBERS.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.
- NEW FLOORING TO ALIGN WITH EXISTING FLOORING.
- NEW CONC. SLAB OR EXISTING 3/8" OAK FLOORING TO ALIGN WITH NEW FLOORING.

**FLOOR PLAN GARAGE NOTES:**

1. POST SIGN IN GARAGE MINIMUM 1/2" HIGH LETTERS THAT READS: DANGERS DO NOT OPERATE ENGINES WITH DOOR CLOSED. CARBON-MONOXIDE EMISSION IS LETHAL.
2. PROVIDE 8"x16" VENT BLOCKS W/ MIN. OF 60" x INCH OF VENT EA WITHIN 1" OF FL. (1) REQUIRED FOR EA VEHICLE.
3. GARAGE DOOR JAMB: SEE TYP. DETAIL.

**FLOOR PLAN NOTES:**

1. REMOVE DOOR & FRAME, BLOCK UP EXISTING OPENING, FINISH INTERIOR & EXTERIOR SURFACES TO MATCH EXISTING ADJACENT AREAS.
2. KITCHEN, PANTRY, BUILT-INS & LAUNDRY CABINETS, TO BE DESIGN BY INTERIOR DESIGNER.
3. ALL MILLWORK, DOORS AND DOOR TRIMS SHALL BE NEW, COORDINATE WITH DOOR SCHEDULE SHEET A-5.0.
4. ALL WINDOWS, GARAGE DOOR AND INTERIOR & EXTERIOR DOORS SHALL BE NEW, COORDINATE WITH WINDOW & DOOR SCHEDULE SHEET A-5.0 & STRUCTURAL DRAWINGS.

**TYPICAL NOTE:**

5. ALL PLUMBING FIXTURES TO BE NEW, COORDINATE WITH OWNER, GC, AND PLUMBING DRAWINGS.
6. ALL SHOWER ENCLOSURES GLASS TO BE CAT. II TEMP. GLASS. (SEE TYP. SHOWER DETAIL & MASTER BATH NOTES)
7. FOR NEW VANITIES & MIRRORS, SEE INTERIOR DESIGN DRAWINGS.
8. SEE MASTER BATHROOM NOTES [2] [23] & [27] THIS SHEET, FOR MORE INFORMATION.
9. LINEAR SHOWER DRAIN.

**TYPICAL NOTE:**

10. PLUMBING TRENCH TO BE FILLED WITH CONCRETE & ALIGNED/FLUSH WITH EXISTING FLOOR SLAB.
11. ALL CAST IRON PIPES FROM KITCHEN TO POWDER ROOM AND BATHROOMS TO BE REMOVED & REPLACED WITH PVC PIPING. ALL PLUMBING TRENCH TO BE FILLED WITH CONCRETE AND ALIGNED/FLUSH WITH EXISTING FLOOR SLAB.
12. ALL NEW BUILT-INS, BENCHES, CLOSETS BUILT-INS, CABINETS W/ OVER-HEAD CABINETS, ETC. TO BE DESIGNED BY I.D.
13. EXISTING WINDOW OPENINGS AND EXTERIOR DOOR OPENINGS TO REMAIN, VERIFY EXACT OPENING DIMENSIONS IN FIELD PRIOR WINDOW/DOOR FABRICATION.

**TILE FLOORING OVER EXISTING WOOD SUB-FLOOR:**

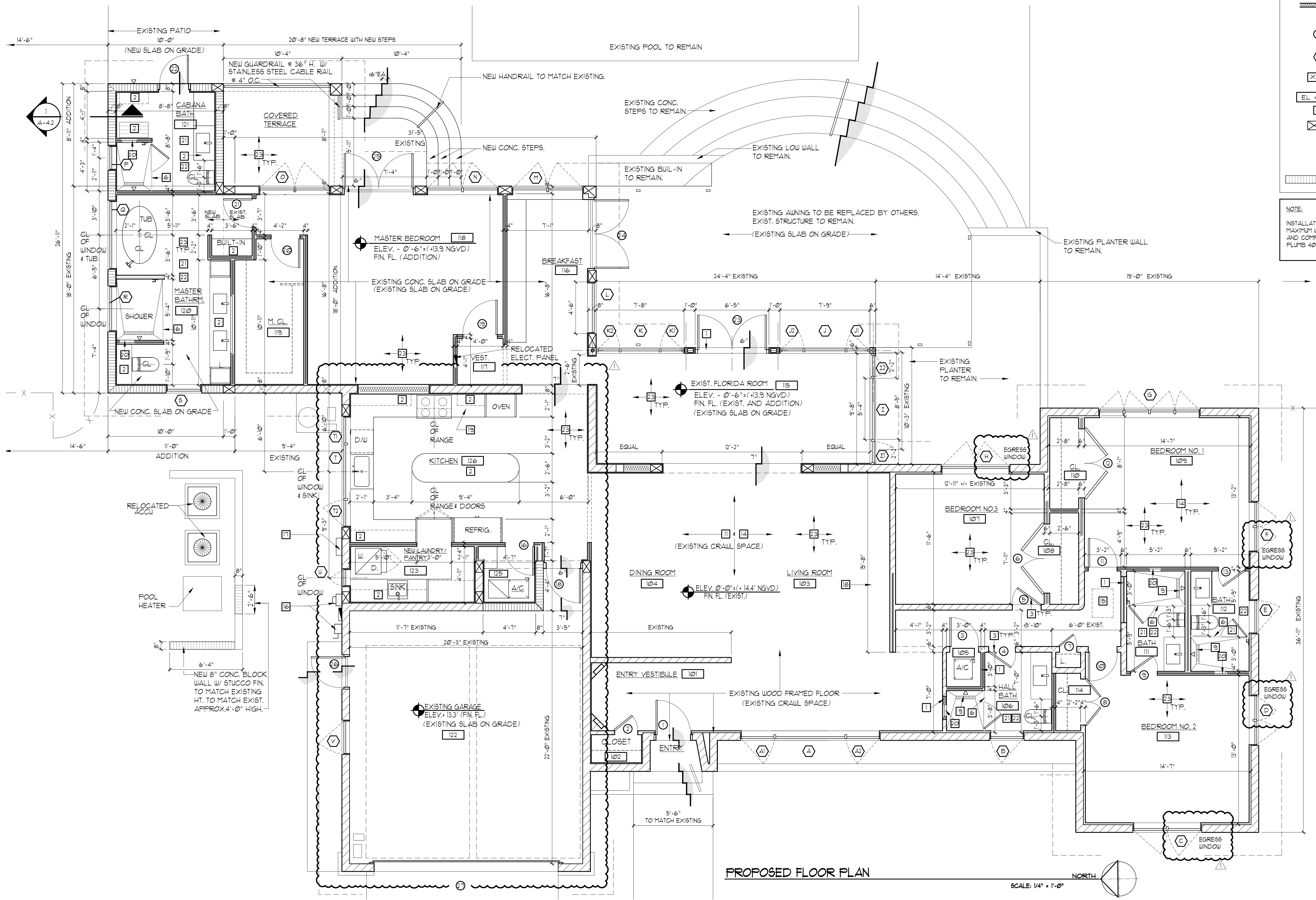
14. REMOVE EXISTING STRIP OR PARQUET FLOORING. CLEAN & PREP EXISTING DIAGONAL SUB-FLOORING. INSTALL 3/4" MARINE GRADE FLYWOOD, GLEUED & SCREWED @ 16" ON CENTER EACH DIRECTION TO SUB FLOOR. INSTALL SKATILE, 275 FRACTURE GUARD TO ALL EXIST FLOOR AREAS TO RECEIVE TILE. INSTALL FLOOR TILE USING AN APPROVED MODIFIED THIN SET MORTAR.
15. EXISTING 21" x 30" CEILING SCUTTOLE TO REMAIN.
16. RELOCATED ELECTRICAL SERVICES, SEE ELECT. DRAWINGS.
17. NEW LP GAS INSTANT TANKLESS WATER HEATER FOR THE WHOLE HOUSE, WITH RE-CIRCULATION PUMP.

**FLOOR PLAN LEGEND:**

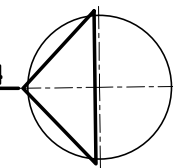
- NEW 8" CBS WALL, W/ MIN. R-5.1 INSULATION (COORD. W/ TYP. WALL.) W/ PAINTED STUCCO FINISH TO MATCH EXIST. # EXTERIOR, # WALLBOARD # INTERIOR TO MATCH EXIST.
- EXISTING WALL TO REMAIN.
- EXISTING PARTITION TO REMAIN.
- NEW MTL. STUD WALL PARTITION W/ MIN. R-11 SOUND ATTENUATION BLANKET (SEE TYP. PARTITION DTL.)
- DOOR MARK SEE SCHEDULE
- WINDOW MARK-PER SCHEDULE
- ROOM TITLE SEE FINISH SCHEDULE
- FIN FLOOR ELEVATION MARK PROJECT NOTE MARK
- SEE STRUCTURAL DRAWINGS FOR NEW COLUMNS, EXISTING COLUMNS & NEW CONC. CELLS, FIELD VERIFY.
- NEW 8" CBS WALL, W/ PAINTED STUCCO FINISH TO MATCH EXIST. EXTERIOR, & INTERIOR TO MATCH EXISTING, HEIGHT TO MATCH EXISTING ADJACENT LOW WALL.

**NOTE:**

INSTALLATION OF PLUMBING FIXTURES REQUIRES COMPLIANCE WITH MAXIMUM WATER CONSUMPTION RATES AS PER FBC PLUMB. 604.4, AND COMPLIANCE WITH REFERENCED STANDARDS AS PER FBC PLUMB 406-421







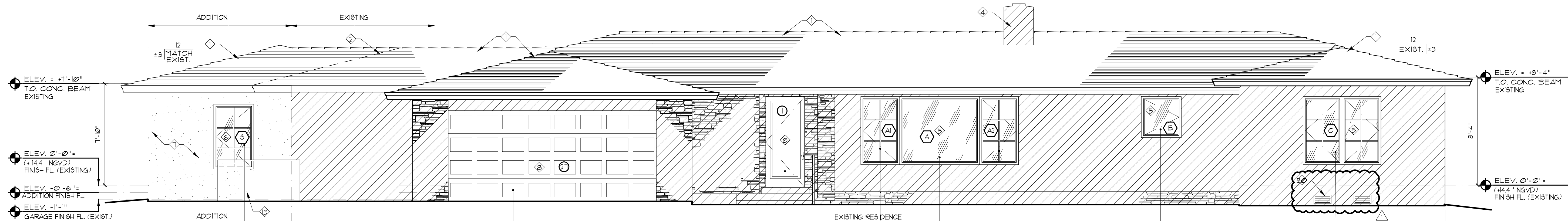






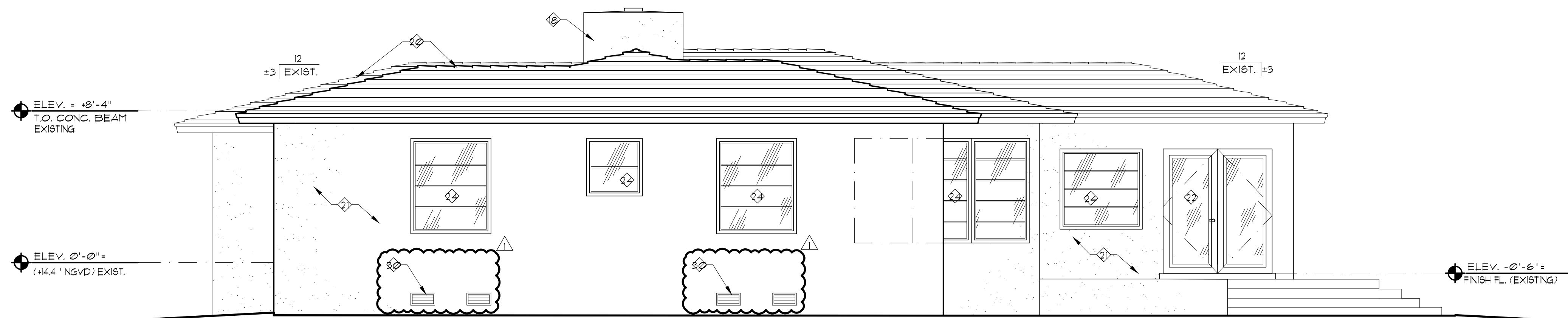
EXIST. WEST ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"



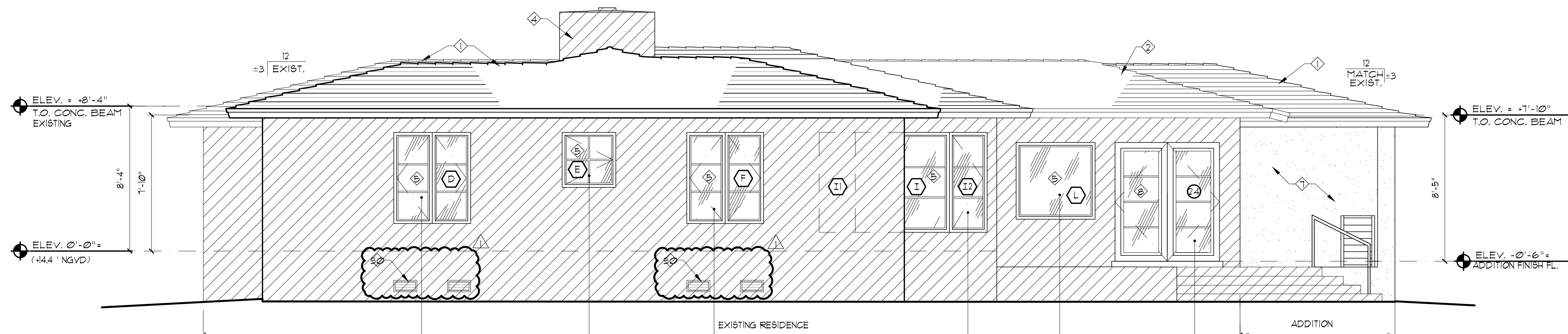
PROPOSED WEST ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"



EXIST. SOUTH ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

**ELEVATION LEGEND:**

HATCHED AREA DENOTES NO WORK BEING DONE. AREA IS EXISTING TO REMAIN AS IS.

ELEVATION KEY MARK

**ELEVATION NOTES:**

1. FOR ALL WINDOW & DOOR SIZES, REFER TO WINDOW & DOOR SCHEDULE.

**EXTERIOR FINISH NOTES:**

1. ALL STUCCO FINISH SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR GRADE LATEX PAINT.

2. ALL DRIP EDGES, & WD. FASCIA SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR OIL BASE PAINT.

3. WINDOWS WILL HAVE DARK FINISHES.

**STUCCO NOTE:**

ANY EXIST. EXTERIOR WALLS WITH DAMAGED AREAS DUE TO CONSTRUCTION SHALL RECEIVE NEW MIN. 5/8" THICK SMOOTH STUCCO FINISH. CONTRACTOR SHALL PRESSURE CLEAN & APPLY A BONDING AGENT TO ALL EXIST. SURFACES TO RECEIVE NEW STUCCO PRIOR TO APPLICATION.

**MATERIALS & COLORS SAMPLES**

EXTERIOR STUCCO WALL PAINT  
CREAM FROTH BY BENJAMIN MOORE  
OR SIMILAR

ROOF TRIM PAINT  
HOT SPRING STONE BY BENJAMIN MOORE  
OR SIMILAR

**ELEVATION KEY NOTES**

1. NEW CEMENT TILE ROOF TO MATCH EXIST.

2. LINE OF EXIST. ROOF STRUCTURE

3. NOT USED

4. EXIST. CHIMNEY TO REMAIN

5. NEW WINDOW PER SCHEDULE IN EXIST. CBS WALL (SEE STRUCT. DUGS)

6. NEW WINDOW PER SCHEDULE IN NEW CBS WALL (SEE STRUCT. DUGS)

7. PAINTED STUCCO FINISH.

8. NEW DOOR PER SCHEDULE IN EXIST. CBS WALL (SEE STRUCT. DUGS)

9. NEW DOOR PER SCHEDULE IN NEW CBS WALL (SEE STRUCT. DUGS)

10. EXIST. COND. UNIT ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

11. EXIST. POOL HEATER ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

12. NEW LP GAS INSTANT. (WHOLE HOUSE) WATER HEATER WITH RE-CIRCULATION PUMP.

13. NEW CONCRETE LOW WALL WITH STUCCO FINISH TO MATCH EXISTING, SEE PROPOSED FLOOR PLAN, SHEET A-10

14. NEW ELECTRICAL METER & SERVICES (RELOCATED).

15. 3'-0" HIGH (MIN) RAILING, COORD. W/ OWNER, (SUBMIT SHOP DUGS FOR ARCHITECT REVIEW & APPROVAL)

16. CONC. STEPS & LANDING (SEE STRUCT. DUGS)

17. EXIST. AWNING TO BE REPLACED, EXIST. STRUCTURE TO REMAIN (UNDER SEPARATE PERMIT)

18. EXIST. CHIMNEY TO REMAIN

19. EXIST. AWNING

20. EXIST. DARK BROWN CEMENT TILE ROOF

21. EXIST. STUCCO FINISH

22. EXIST. FRENCH DOOR

23. EXIST. GARAGE DOOR

24. EXIST. AWNING WINDOW

25. EXIST. SWING DOOR

26. EXIST. COND. UNIT ON EXIST. CONC. SLAB

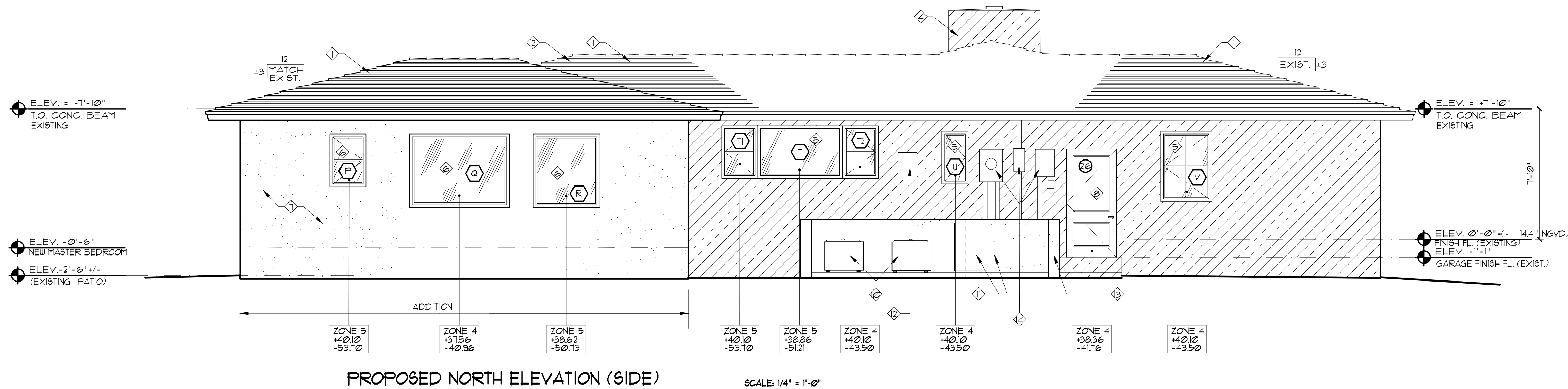
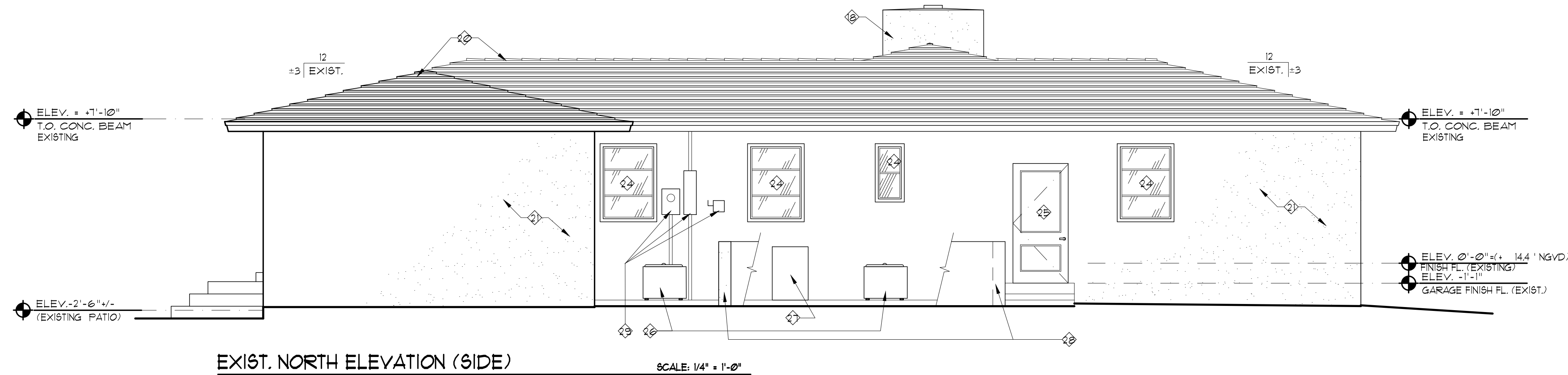
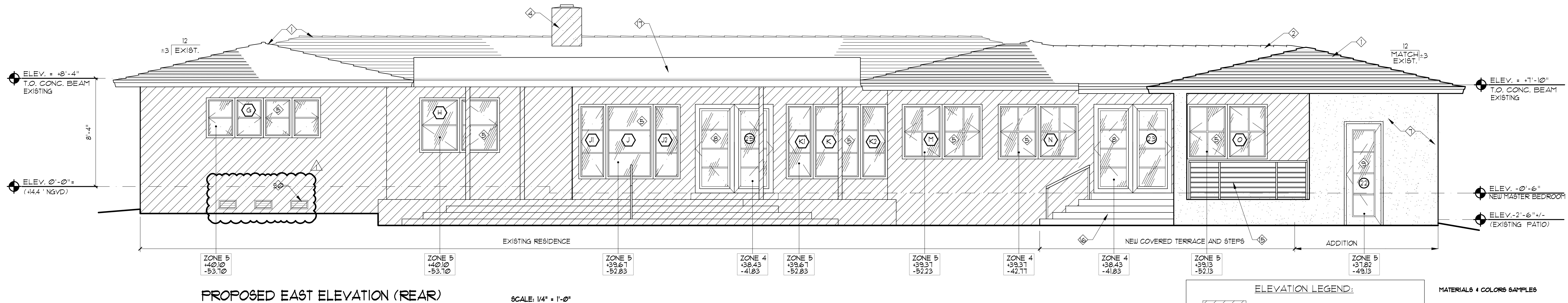
27. EXIST. POOL HEATER ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

28. EXIST. CONCRETE LOW WALL WITH STUCCO FINISH

29. EXISTING ELECTRICAL METER & SERVICES

30. EXIST. GRATE SPACE VENTS, TYP.





**ELEVATION LEGEND:**

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ELEVATION KEY MARK

**ELEVATION NOTES:**

1. FOR ALL WINDOW & DOOR SIZES, REFER TO WINDOW & DOOR SCHEDULE.

**EXTERIOR FINISH NOTES:**

1. ALL STUCCO FINISH SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR GRADE LATEX PAINT.

2. ALL DRIP EDGES, & WD. FASCIA SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR OIL BASE PAINT.

3. WINDOWS WILL HAVE DARK FINISHES.

**STUCCO NOTE:**

ANY EXIST. EXTERIOR WALLS WITH DAMAGED AREAS DUE TO CONSTRUCTION SHALL RECEIVE NEW MIN. 5/8" THICK SMOOTH STUCCO FINISH. CONTRACTOR SHALL PRESSURE CLEAN & APPLY A BONDING AGENT TO ALL EXIST. SURFACES TO RECEIVE NEW STUCCO PRIOR TO APPLICATION.

**ELEVATION KEY NOTES**

1. NEW CEMENT TILE ROOF TO MATCH EXIST.

2. LINE OF EXIST. ROOF STRUCTURE

3. NOT USED

4. EXIST. CHIMNEY TO REMAIN

5. NEW WINDOW PER SCHEDULE IN EXIST. CBS WALL (SEE STRUCT. DIAGS)

6. NEW WINDOW PER SCHEDULE IN NEW CBS WALL (SEE STRUCT. DIAGS)

7. PAINTED STUCCO FINISH.

8. NEW DOOR PER SCHEDULE IN EXIST. CBS WALL (SEE STRUCT. DIAGS)

9. NEW DOOR PER SCHEDULE IN NEW CBS WALL (SEE STRUCT. DIAGS)

10. EXIST. COND. UNIT ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

11. EXIST. POOL HEATER ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

12. NEW LP GAS INSTANT. (WHOLE HOUSE) WATER HEATER WITH RE-CIRCULATION PUMP.

13. NEW CONCRETE LOW WALL WITH STUCCO FINISH TO MATCH EXISTING, SEE PROPOSED FLOOR PLAN, SHEET A-10

**MATERIALS & COLORS SAMPLES**

EXTERIOR STUCCO WALL PAINT  
CREAM FROTH BY BENJAMIN MOORE  
OR SIMILAR

ROOF TRIM PAINT  
HOT SPRING STONE BY BENJAMIN MOORE  
OR SIMILAR

14. NEW ELECTRICAL METER & SERVICES (RELOCATED).

15. 3'-0" HIGH (MIN.) RAILING, COORD. W/ OWNER, (SUBMIT SHOP DIAGS FOR ARCHITECT REVIEW & APPROVAL)

16. CONC. STEPS & LANDING (SEE STRUCT. DIAGS)

17. EXIST. ALUING TO BE REPLACED, EXIST. STRUCTURE TO REMAIN (UNDER SEPARATE PERMIT)

18. EXIST. CHIMNEY TO REMAIN

19. EXIST. ALUING

20. EXIST. DARK BROWN CEMENT TILE ROOF

21. EXIST. STUCCO FINISH

22. EXIST. FRENCH DOOR

23. EXIST. GARAGE DOOR

24. EXIST. ALUING WINDOW

25. EXIST. SWING DOOR

26. EXIST. COND. UNIT ON EXIST. CONC. SLAB

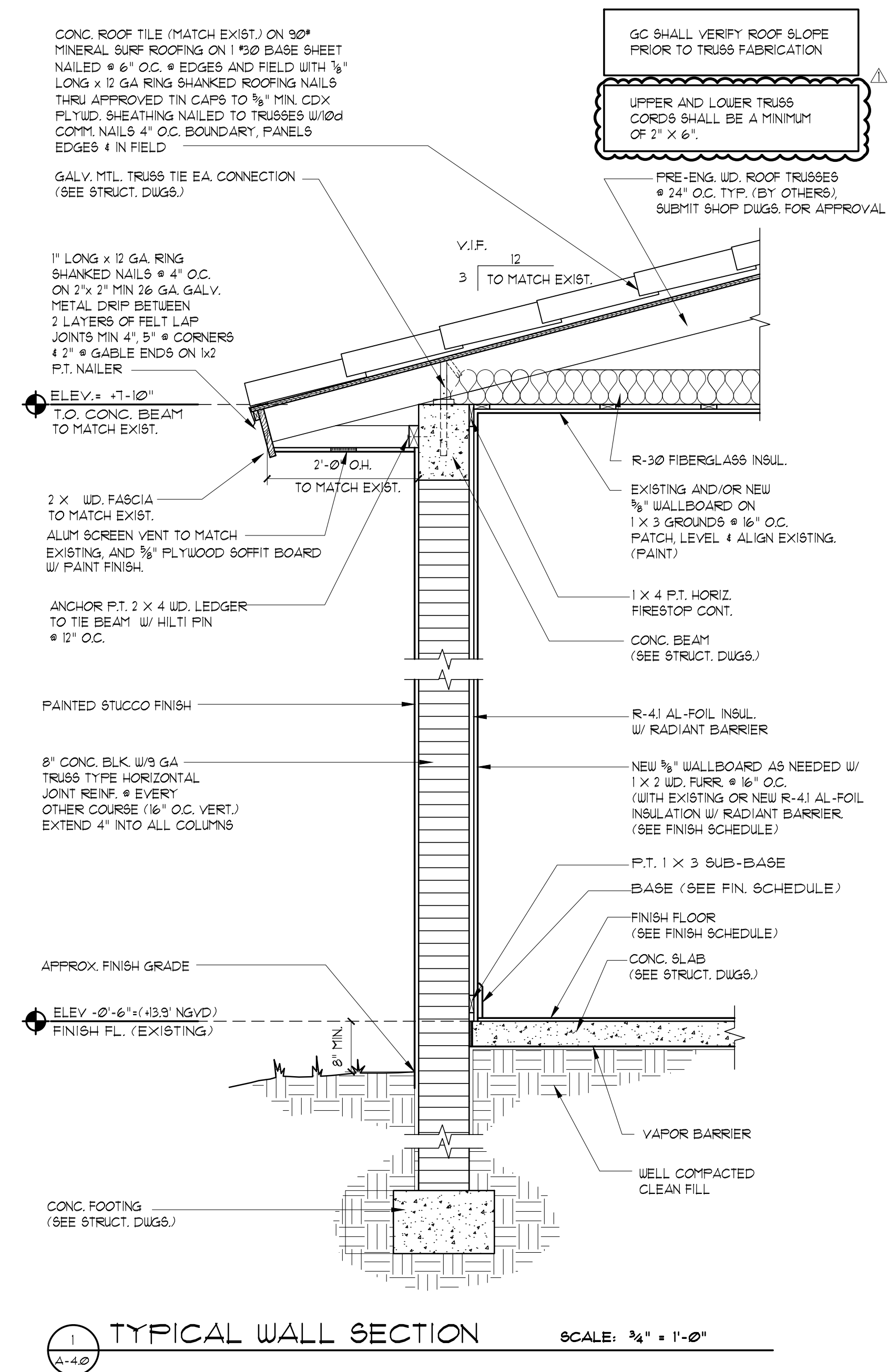
27. EXIST. POOL HEATER ON EXIST. CONC. SLAB TO BE RELOCATED (SEE MEP PLANS)

28. EXIST. CONCRETE LOW WALL WITH STUCCO FINISH

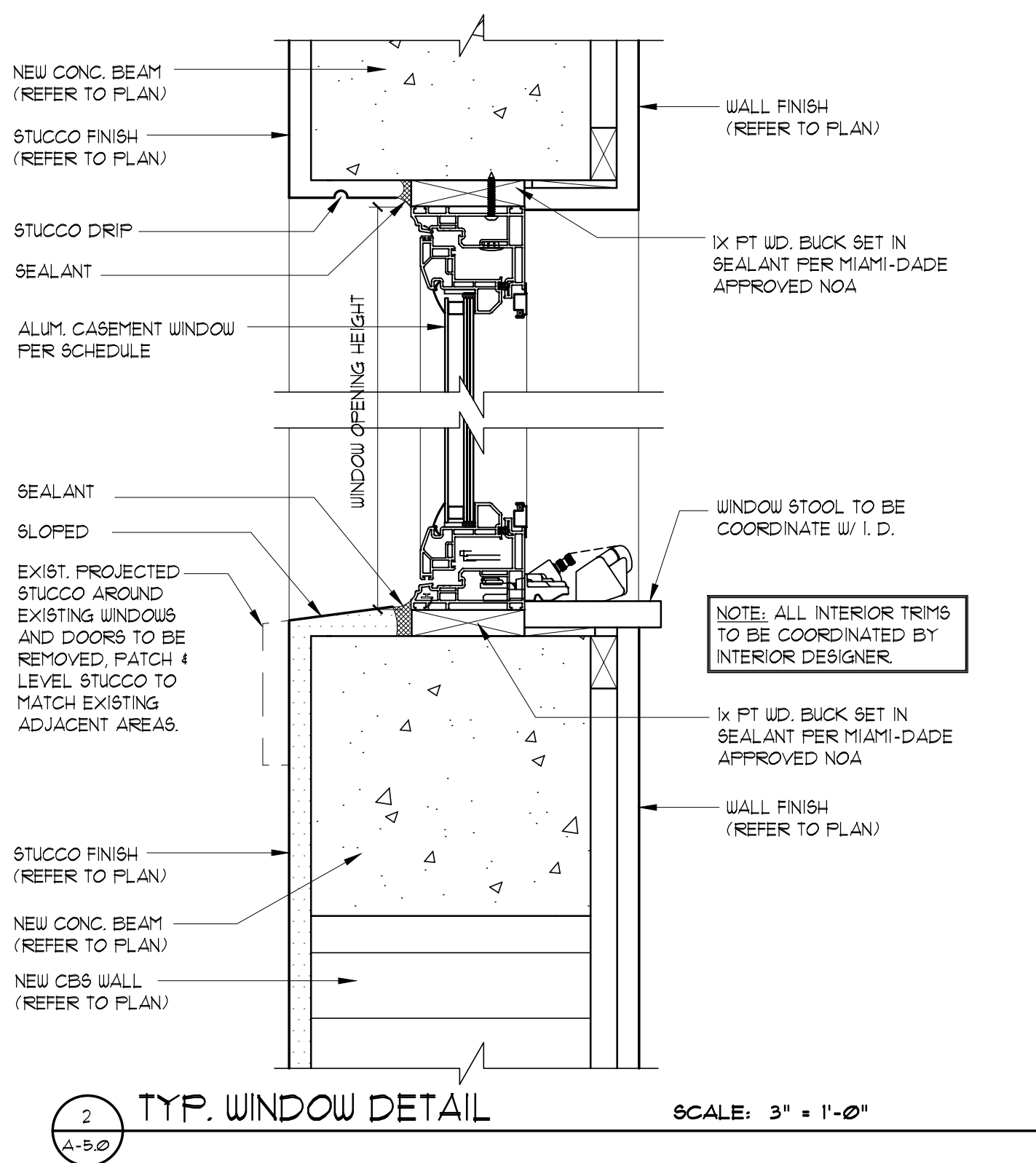
29. EXISTING ELECTRICAL METER & SERVICES

30. EXIST. CRAWL SPACE VENTS, TYP.









DOOR SCHEDULE

MARK	LOCATION	DOORS PER OPENING	SIZE W	H	T	ELEV.	TYPE	MATERIAL	FRAME	THRESH.	WIND PRESSURE	REMARKS
1	ENTRY DOOR	1	3'-0"	6'-10"	1 3/4"	1	FRENCH SWING	ALUM./GLASS	ALUM.	ALUM.	38.1T 49.83	CAT. II GLASS/IMPACT
2	CLOSET	1	2'-0"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
3	A/C CLOSET #1	1	2'-6"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
4	HALL BATHROOM	1	2'-6"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
5	BEDROOM #3	1	2'-8"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
6	BEDROOM #3 CLOSET	2	3'-0"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
7	LINEN	1	1'-6"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
8	BEDROOM #2 CLOSET	2	2'-0"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
9	BEDROOM #2 BATHROOM	1	2'-4"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
10	BEDROOM #2	1	2'-8"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
11	BEDROOM #1	1	2'-6"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
12	BEDROOM #1 CLOSET	2	3'-0"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
13	BEDROOM #1 BATHROOM	1	2'-4"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
14	NOT USED											
15	NOT USED											
16	A/C CLOSET #2	1	2'-6"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
17	NOT USED											
18	GARAGE INTERIOR	1	3'-0"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD	MTL		20 MIN. FIRE RATED, SELF CLOSING
19	MASTER BEDROOM	1	3'-0"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
20	MASTER CLOSET	1	2'-6"	7'-0"	1 3/8"	3	SWING/LOUVER	WOOD	WOOD			FULL LOUVER DOOR
21	MASTER BATHROOM	1	2'-6"	7'-0"	1 3/4"	2	SWING	MDF/PAINTED	WOOD			
22	CABANA BATHROOM	1	2'-6"	6'-10"	1 3/4"	1	FRENCH SWING	ALUM./GLASS	ALUM.	ALUM.	37.82 49.13	CAT. II GLASS/IMPACT, OPAQUE GLASS
23	FAMILY ROOM	2	3'-0"	6'-10"	1 3/4"	1	FRENCH SWING	ALUM./GLASS	ALUM.	ALUM.	38.43 41.83	CAT. II GLASS/IMPACT
24	BREAKFAST	2	3'-0"	6'-10"	1 3/4"	1	FRENCH SWING	ALUM./GLASS	ALUM.	ALUM.	38.43 50.36	CAT. II GLASS/IMPACT
25	MASTER BEDROOM TERRACE	2	3'-0"	6'-10"	1 3/4"	1	FRENCH SWING	ALUM./GLASS	ALUM.	ALUM.	38.43 41.83	CAT. II GLASS/IMPACT
26	GARAGE EXTERIOR	1	2'-8"	6'-8"	1 3/4"	2	SWING	ALUM.	ALUM.	ALUM.	38.36 41.16	
27	GARAGE DOOR	1	16'-0"	7'-0"	1 3/4"	4	OVERHEAD	STEEL	WOOD			

DOOR TYPES

TYPE 1

TYPE 2

TYPE 3

TYPE 4

DOOR NOTES:

1. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT IT CAN BE READILY OPENED FROM THE INSIDE IN CASE OF EMERGENCY EVERY BATHROOM DOOR SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN CASE OF EMERGENCY.

2. APPROVED STORM PANELS SHALL BE PROVIDED FOR ALL DOORS NOT APPROVED FOR IMPACT RESISTANCE.

3. THRESHOLD/ SADDLE NOTE: EACH SHALL BE THE WIDTH OF DOOR FRAME FLUSH W/ ADJACENT FLOORING OR RAISED 1/2" \* TILE TO WOOD CONDITIONS.

4. ALL WOOD DOORS SHALL CONFORM TO NWDOA SPECS. FOR SELECT GRADE DOORS.

5. ALL REQ. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT. ALL HARDWARE MUST BE DIRECT ACTING, REQUIRING NO MORE THAN ONE OPERATION (PER F.B.C. 1012.1.1)

6. ALL EXTERIOR DOOR OPENINGS TO BE COORDINATED WITH DOOR NO.A.1/2

7. HARDWARE TO BE COORDINATED WITH MANUFACTURE AND OWNER FOR FINISHES.

8. PROVIDE ALL NECESSARY FINISH HARDWARE--HINGES, LOCKS LATCHES, LEVERS, DEADBOLTS, CYLINDERS, WALL AND DOOR STOPS, PROVIDE SUBMITTAL FOR REVIEW AND APPROVAL.

9. GLASS IN DOORS SHALL BE CAT. II PER F.B.C. 3508.3 AS, F.B.C 2406, AND F.B.C. R44102.6.

10. COORDINATE ALL DOOR TYPES, & FINISHES WITH OWNER

EXTERIOR DOOR GLASS ENERGY SPECIFICATIONS:

1. CLEAR LG GLASS, IMPACT RESISTANT, U FACTOR 0.18, & SOLAR HEAT GAIN COEFFICIENT = 0.45

DOOR PRODUCT APPROVAL INFORMATION LEGEND:

GARAGE DOOR:

MFR: RAYNOR GARAGE DOORS, SHOWCASE / MASTERPIECE / TC100 STEEL SECTIONAL GARAGE DOORS UP TO 16'-0" WIDE, IMPACT RESISTANT  
DADE COUNTY PRODUCT APPROVAL NO. #20-201102, EXP. DATE: 10/20/2025

FRENCH DOORS:

MFR: WINDOOR, INC. SERIES FD450 IMPACT-RESISTANT, INSULWING & OUTSWING, FRENCH DOOR FLORIDA PRODUCT APPROVAL NO. FL-297831

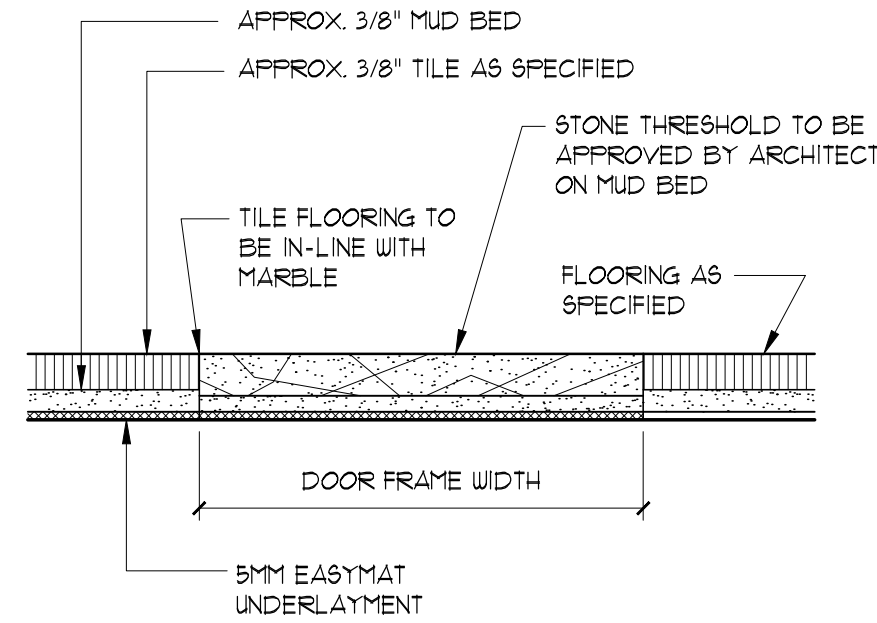
FRONT ENTRY DOOR:

MFR: WINDOOR, INC. SERIES FD450 IMPACT-RESISTANT, INSULWING & OUTSWING, FRENCH DOOR FLORIDA PRODUCT APPROVAL NO. FL-297831

WINDOW & DOOR NOTE:

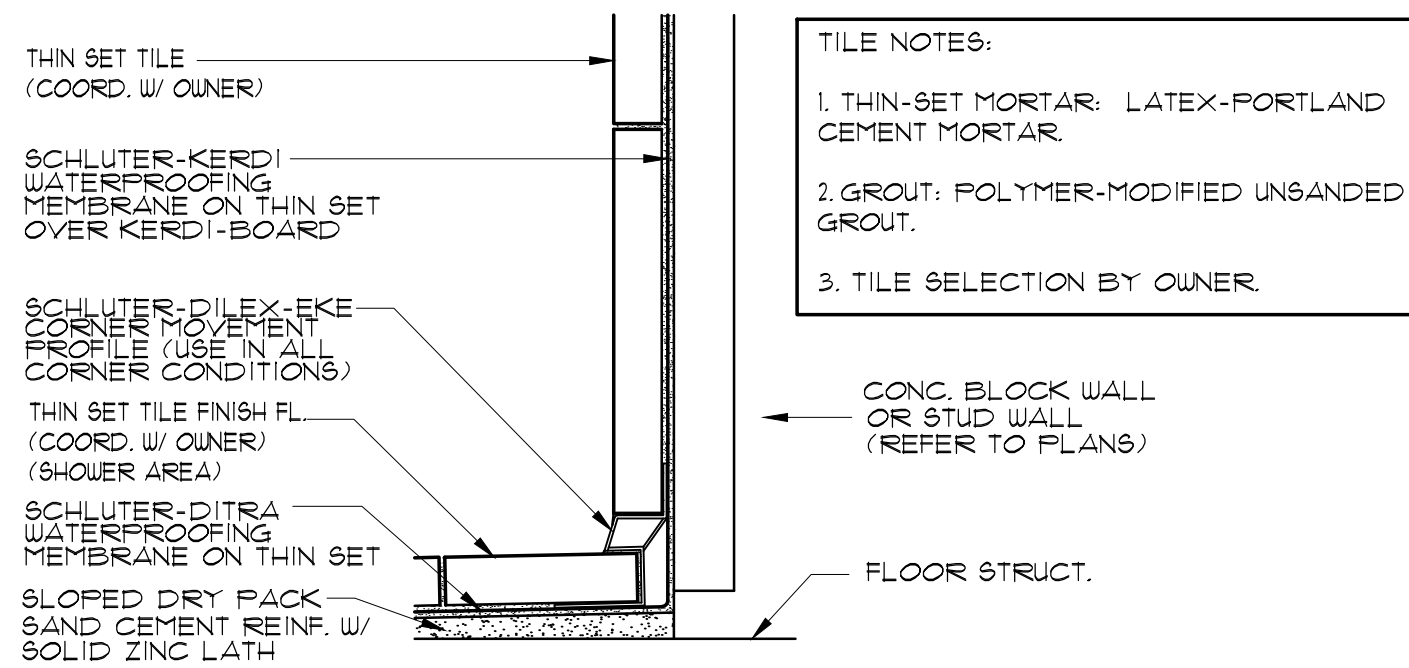
WINDOW AND DOOR OPENINGS SHALL BE PREPARED IN ADVANCE OF WOOD BUCK INSTALLATION WITH A WATER PROOFING APPLICATION ON ALL HORIZONTAL SURFACES EQUAL TO TOWER SEALANTS AU-11 THAT EXTENDS 8 INCHES ON BOTH INTERIOR AND EXTERIOR SIDES. WOOD BUCK SHALL BE SET IN A FULL BED OF TRENCO VULKEM 2300 OR EQUIVALENT AND BACK FLASHED TO PROVIDE 100% COVERAGE. EACH TO BE APPLIED PER MFG'S PRINTED INSTRUCTIONS.





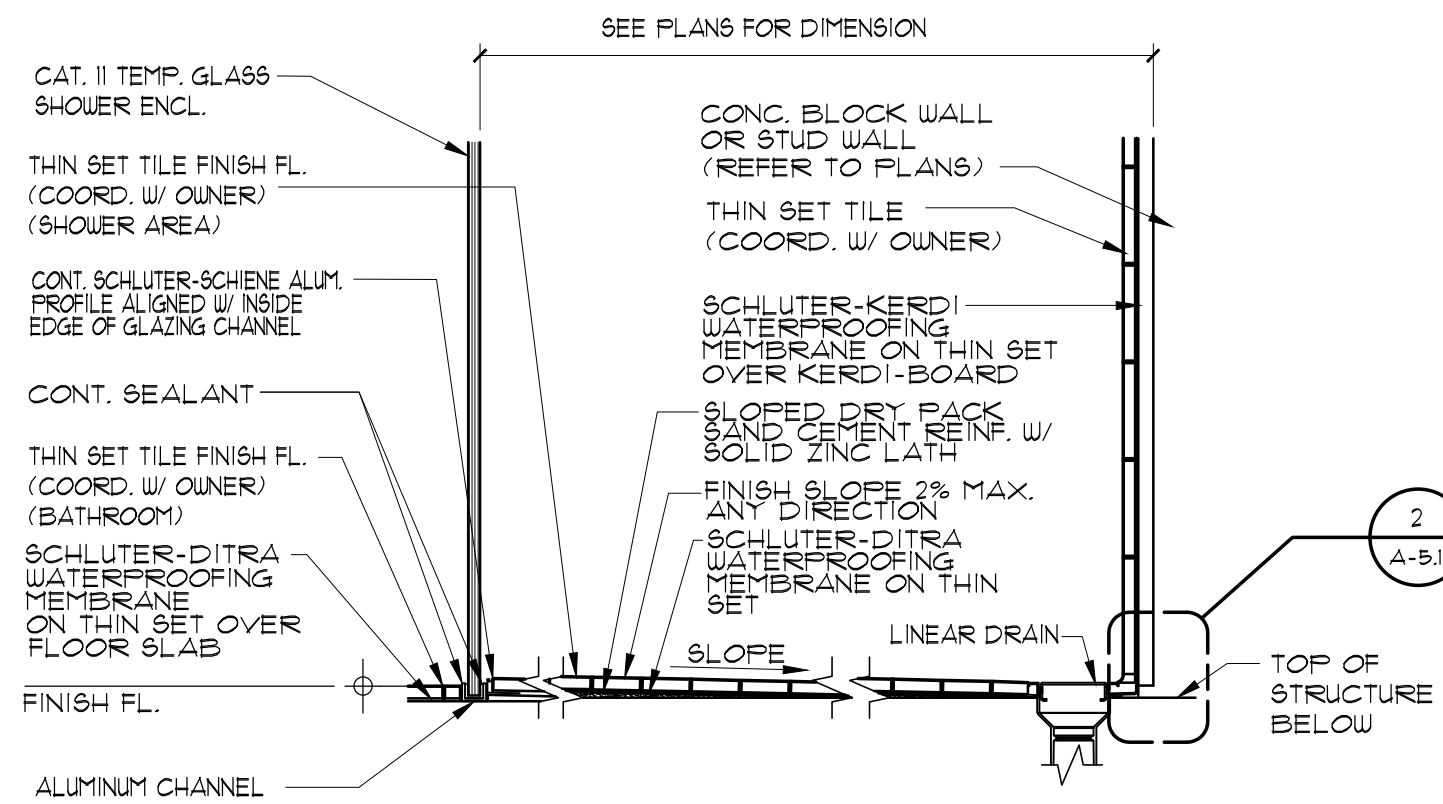
NOTE:  
PROVIDE TYP. DETAIL WHEN FLOOR MATERIAL  
CHANGES & PROVIDE AT ALL BATHROOMS

1 TYP. INTERIOR DOOR THRESHOLD DETAIL SCALE: 6" = 1'-0"

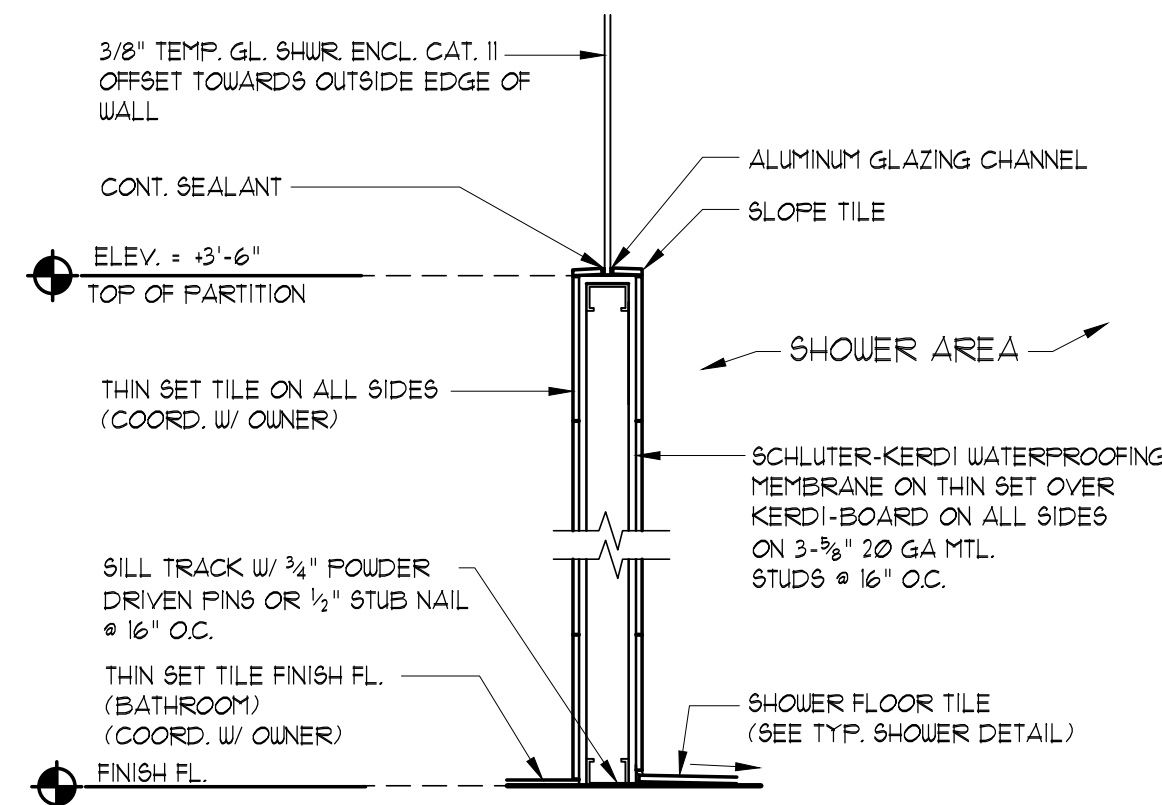


TILE NOTES:  
1. THIN-SET MORTAR: LATEX-PORTLAND CEMENT MORTAR.  
2. GROUT: POLYMER-MODIFIED UNSANDED GROUT.  
3. TILE SELECTION BY OWNER.

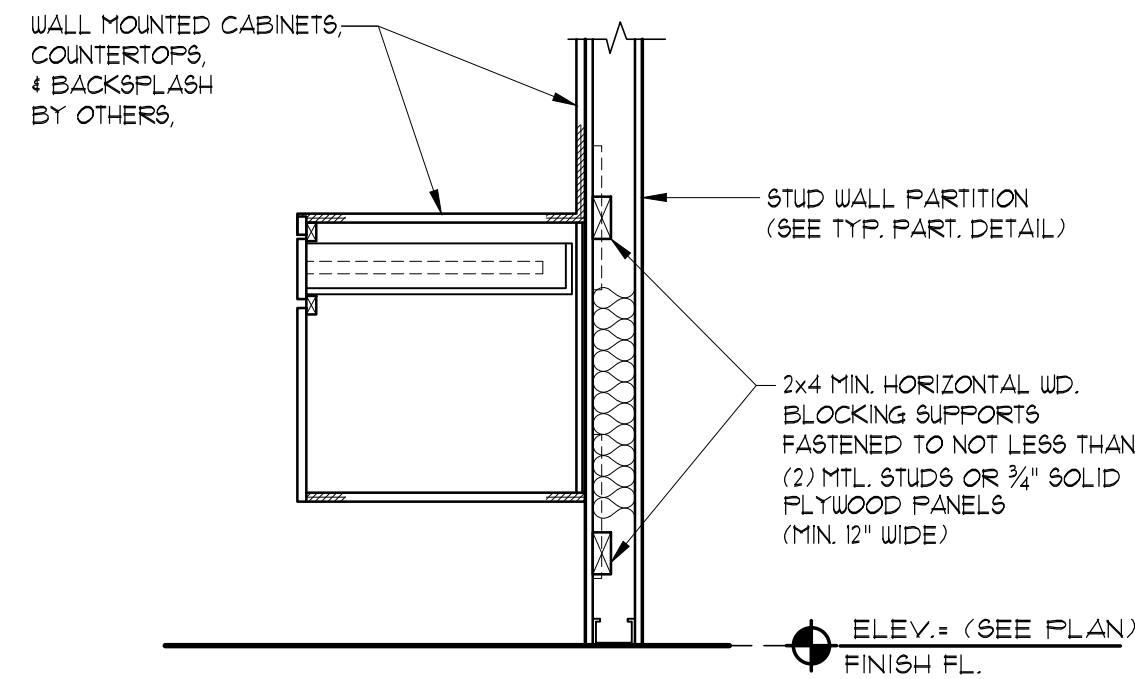
2 SHOWER CORNER DETAIL SCALE: 6" = 1'-0"



3 TYP. SHOWER DETAIL SCALE: 1 1/2" = 1'-0"

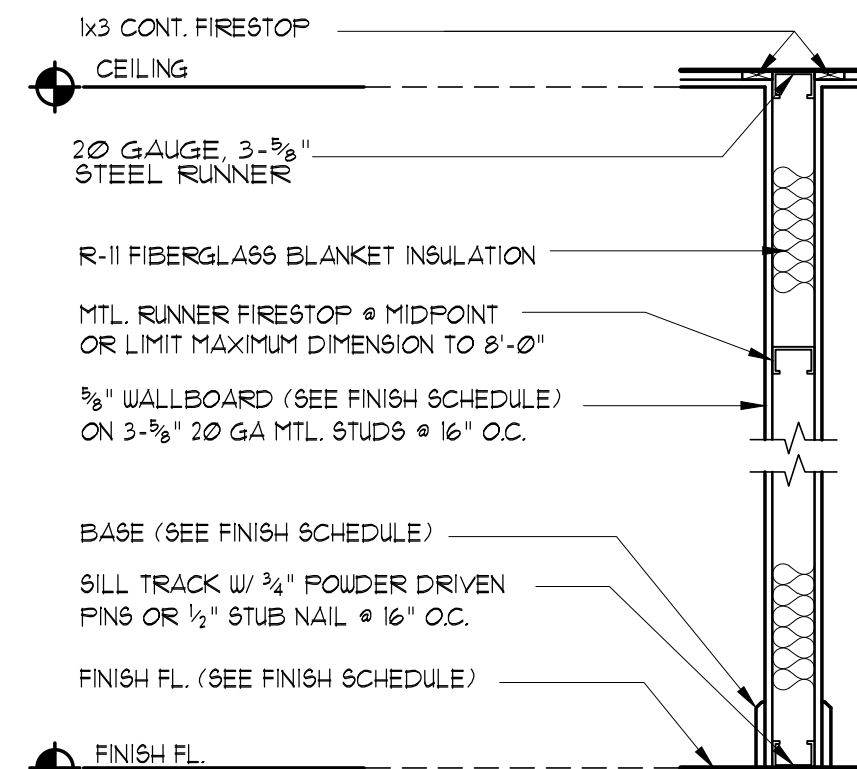


4 LOW WALL DETAIL @ SHOWER SCALE: 3/4" = 1'-0"



NOTE:  
STEEL STUDS SUPPORTING WALL HUNG FIXTURES  
SHALL BE DOUBLED OR NOT LESS THAN  
20 GAGE WITH A MINIMUM EFFECTIVE MOMENT OF  
INERTIA EQUAL TO 0.864 IN.

5 TYP. WALL SUPPORT DETAIL SCALE: 3/4" = 1'-0"

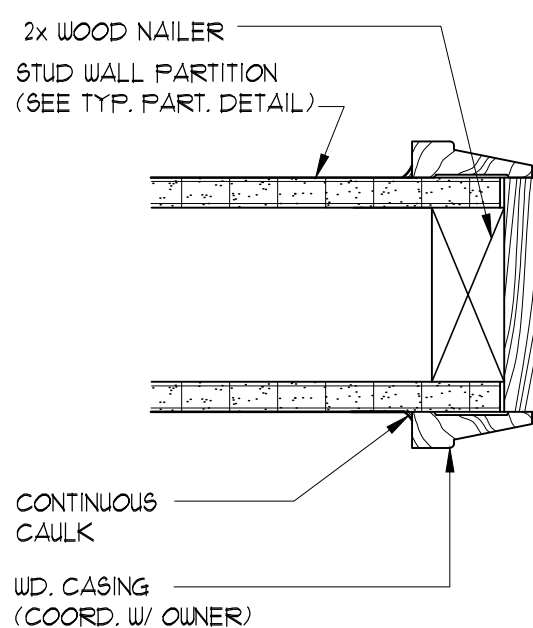


NOTES:  
1.) PROVIDE BACKING FOR SURFACE MOUNTED MILLWORK, CABINETS, & ACCESSORIES

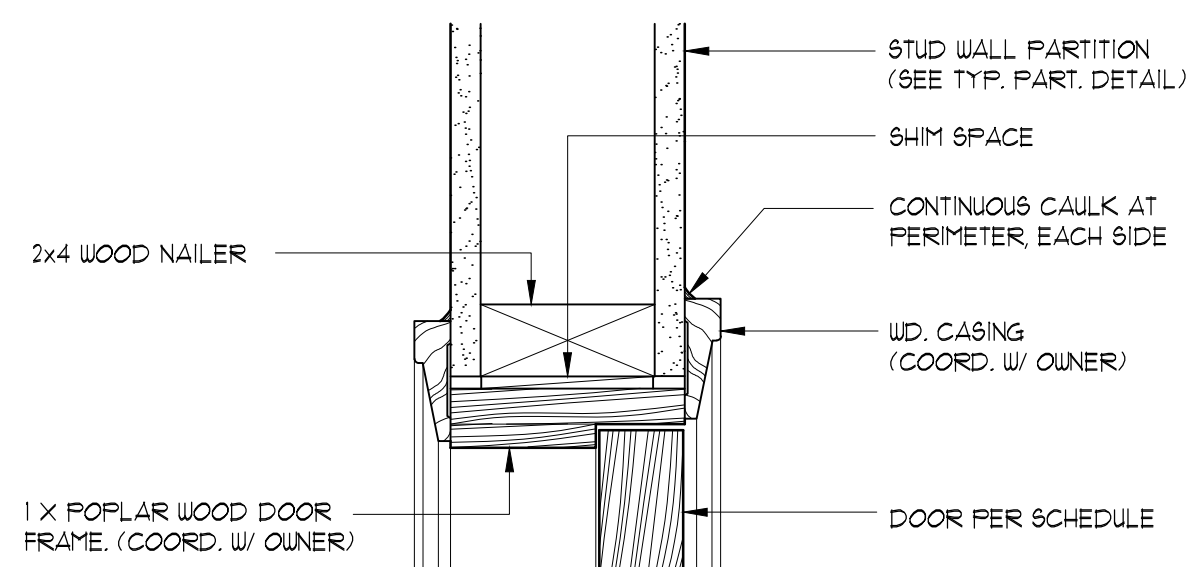
5 TYP. PARTITION DETAIL SCALE: 3/4" = 1'-0"

ROOM FINISH SCHEDULE			EXISTING WALLS & CEILING ARE ROCKLATH & PLASTER. ALL WORK ADJACENT SHALL BE VENEER PLASTER ON 5/8\"/>				
MARK	SPACE	FLOOR	WALLS	CEILING	BASE	CEILING HEIGHT	REMARKS
101	ENTRY VESTIBULE	* *	EXISTING PLASTER *	EXISTING TO REMAIN, PATCH TO MATCH EXIST. PAINT.	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
102	CLOSET	* *	EXISTING PLASTER *	EXISTING TO REMAIN, PATCH TO MATCH EXIST. PAINT.	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
103	LIVING ROOM	* *	EXISTING PLASTER *	EXISTING TO REMAIN, PATCH TO MATCH EXIST. PAINT.	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
104	DINING ROOM	* *	EXISTING PLASTER *	EXISTING TO REMAIN, PATCH TO MATCH EXIST. PAINT.	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
105	NEW A/C CLOSET #1	* *	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
106	HALL BATHROOM	* *	TILE FULL HEIGHT @ ALL WALLS	5/8\"/>	TILE	8'-4\"/>	DENSHIELD @ ALL WALLS RECEIVING TILE & PROVIDE SCHLUTER KERDI-BOARD @ SHOWER
107	BEDROOM #3	* *	EXISTING PLASTER *	EXISTING TO REMAIN & PATCH TO MATCH	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
108	BEDROOM #3 CLOSET	* *	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
109	BEDROOM #1	* *	EXISTING PLASTER *	EXISTING TO REMAIN & PATCH TO MATCH	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
110	BEDROOM #1 CLOSET	* *	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
111	BEDROOM #2 BATH	* *	TILE FULL HEIGHT @ ALL WALLS	5/8\"/>	TILE	8'-4\"/>	DENSHIELD @ ALL WALLS RECEIVING TILE & PROVIDE SCHLUTER KERDI-BOARD @ SHOWER
112	BEDROOM #1 BATH	* *	TILE FULL HEIGHT @ ALL WALLS	5/8\"/>	TILE	8'-4\"/>	DENSHIELD @ ALL WALLS RECEIVING TILE & PROVIDE SCHLUTER KERDI-BOARD @ SHOWER
113	BEDROOM #2	* *	EXISTING PLASTER *	EXISTING TO REMAIN & PATCH TO MATCH	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
114	BEDROOM #2 CLOSET	* *	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
115	EXIST. FLORIDA ROOM	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	EXISTING TO REMAIN	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	EXPOSED WOOD BEAM & DECK, EXIST TO REMAIN
116	NEW BREAKFAST	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
117	VESTIBULE	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
118	M. BEDROOM	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
119	M. WALK-IN CLOSET	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	8'-4\"/>	
120	M. BATHROOM	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	TILE FULL HEIGHT @ ALL WALLS	5/8\"/>	TILE	8'-4\"/>	DENSHIELD AT ALL WALLS RECEIVING TILE AND PROVIDE SCHLUTER KERDI-BOARD AT SHOWER
121	CABANA BATH	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	TILE FULL HEIGHT @ ALL WALLS	5/8\"/>	TILE	9'-1\"/>	DENSHIELD @ ALL WALLS RECEIVING TILE AND PROVIDE SCHLUTER KERDI-BOARD AT SHOWER
122	EXISTING GARAGE	SMOOTH CONC. TROBEL FINISH W/ SEALERS	CONC. BLOCK/ STUCCO & PAINTED	EXISTING EXPOSED	---	VARIABLE	
123	LAUNDRY/ PANTRY	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	1'-10\"/>	
124	NOT USED						
125	A/C CLOSET #2	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	1'-10\"/>	
126	KITCHEN	TILE ON CONC. SLAB TO BE SELECTED BY W/ OWNER	5/8\"/>	5/8\"/>	NEW WOOD BASE COORDINATE W/ OWNER	1'-10\"/>	

NOTES:  
\* • FOR NEW AND RENOVATED EXISTING, COORDINATE ALL FINISHES, & COLORS W/ OWNER. FOR ALL AREAS TO REMAIN, PATCH AND REPAIR. EXIST. AREAS TO MATCH EXISTING ADJACENT AREAS. ALL AREAS TO BE PAINTED, COLOR & MANUF. TO BE SELECTED BY OWNER.  
\*\* TILE FLOORING OVER EXISTING WOOD SUB-FLOOR.  
• REMOVE EXISTING STRIP OR PARQUET FLOORING. CLEAN & PREP EXISTING DIAGONAL SUB-FLOORING.  
• INSTALL 3/4\"/>



6 TYP. OPENING HEAD/JAMB DETAIL SCALE: 3" = 1'-0"



7 TYP. INTERIOR DOOR HEAD/JAMB DETAIL SCALE: 3" = 1'-0"