

HARDEE

S DIXIE HWY

S ALHAMBRA CIR

CABALLERO BLVD

Stipso Park
Sewal Outbox

HERALDO ST

MANATI AVE

ADUANA AVE

PLACETAS AVE

HERALDO ST

ANDORA AVE

CORAL
GALES

SANTONA



1209 AUDORA AVE
(PROPOSED NEW HOUSE)

1213 AUDORA AVE



1216 AUDORA AVE



1205 ANDORA AVE



PROPOSED NEW
HOUSE- 1209

1213 ANDORA AVE



(AUDORA AVE) EAST VIEW



WEST VIEW



1205 AUDORA





1204 AUDORA AVE



HOUSE ON AUDORA XUE



1200 AUDORA XUE



HOUSES ON AUDORA AVE





1217 ANDORA



HOUSE ON LEONARDO AVE.

Boundary Survey

Scale 1"= 20'

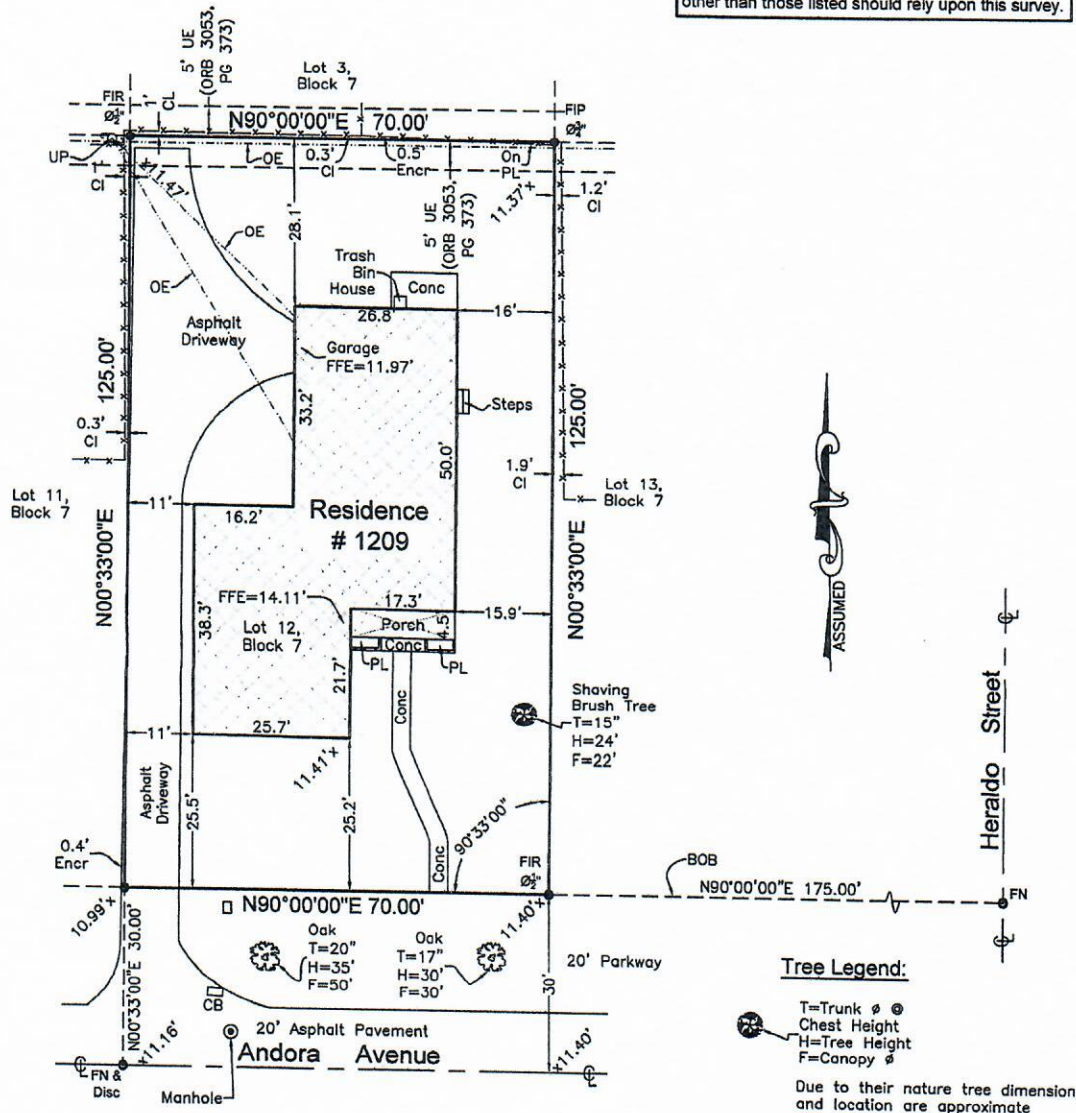
Property Address:

1209 Andora Avenue, Coral Gables, Florida 33146

Legal Description:

Lot 12, Block 7, of UNIVERSITY ESTATES, according to the Plat thereof, as recorded in Plat Book 44, at Page 86, of the Public Records of Miami-Dade County, Florida.

This survey is certified only to the entities listed and only for this particular transaction. Any use or reproduction of this survey without the express written permission of the surveyor is prohibited. Use of this survey in any subsequent transactions is expressly prohibited and is not authorized. The surveyor expressly disclaims any certification to any parties in future transactions. No entity other than those listed should rely upon this survey.



There may be easements and/or other instruments affecting this property, recorded in the Public Records not shown on this survey

Flood Plain Information:

Flood Zone: X; Panel No: 12086C0459L, effective 09-11-2009; Community Name / No: City of Coral Gables / 120639

Reference Bench Marks:

City of Coral Gables
BM No 246, Elev=9.23 ft &
No 249, Elev=12.37 ft
NGVD 1929

LEGAL NOTES

This Survey does not reflect or determine ownership; Examination of the Abstract of Title will have to be made to determine Recorded Instruments, if any, affecting the property; This Survey is subject to dedications, limitations, restrictions, reservations or easements of records; Legal Description provided by client; The Liability of this Survey is limited to the cost of the Survey; Underground Encroachments, if any, are not shown; This firm has not attempted to locate footing and/or foundations and/or underground improvements of any nature; If shown, Bearings are referred to an Assumed Meridian; If shown, Elevations are referred to National Geodetic Vertical Datum of 1929 (NGVD 1929)

Date of Field Work 08-12-2020
Revised 12-07-2020

Aniano J. Garcia PLSM 5105

Not valid without the signature and the original raised seal of a Florida-licensed surveyor and mapper

For:

Hector J. Sanchez & Angela Sanchez

Order No 20-0229

LEGEND AND ABBREVIATIONS

A = Arc Length; AC = Air Conditioner; AE = Anchor Easement; BC = Block Corner; BM = Bench Mark; BOB = Basis Of Bearings; (C) = Calculated Dimension; CB = Catch Basin; CBS = Concrete Block Structure; CFW = Concrete Fence Wall; CH = Chord Length; CHB = Chord Bearing; CI = Clear; CML = City Monument Line; CME = Canal Maintenance Easement; Conc = Concrete; DE = Drainage Easement; DME = Drainage & Maintenance Easement; Dr = Drive; E = East; Elev = Elevation; ENCR = Encroached; ETP = Electric Transformer; FDH = Found Drill Hole; FIR = Found Iron Rod; FFE = Finished Floor Elevation; FH = Fire Hydrant; FIP = Found Iron Pipe; FN = Found Nail; FT = Feet; LME = Lake Maintenance Easement; LB = Licensed Business; LFE = Lowest Floor Elevation; LP = Light Pole; (M) = Measured Dimension; ME = Maintenance Easement; MON = Monument; N = North; NGVD 1929 = National Geodetic Vertical Datum of 1929; NTS = Not To Scale; OE = Overhead Cables; OH = Over Hang; ORB = Official Record Book; O/S = Off Set; Pb = Plat Book; PC = Point of Curvature; PCC = Point of Compound Curvature; PCOR = Property Corner; PCP = Permanent Control Point; Pg = Page; PL = Planter or Property Line; PLS = Professional Land Surveyor; PLSM = Professional Land Surveyor and Mapper; POB = Point of Beginning; POC = Point Of Commencement; PRC = Point Of Reverse Curve; PRM = Permanent Reference Way; Sec = Section; T = Tangent; S = South; SIP = Set Iron Pipe With Cap Stamped PLS 5105; UE = Utility Easement; UP = Utility Pole; UT = Utility; W = West; WF = Wood Fence; WM = Water Meter; WV = Water Valve; ϕ = Centerline; --- = Chain Link Fence; \square = Concrete Wall; \circ = Degrees; Δ = Central Angle; ϕ = Diameter; 0.00 = Existing Elevation; ' = Minutes; " = Seconds; --- = Wood Fence; Unless otherwise noted, found markers had no identification



1229 1221 1217 1213 1209 1205 1201



ANDORA AVENUE 1209 1209



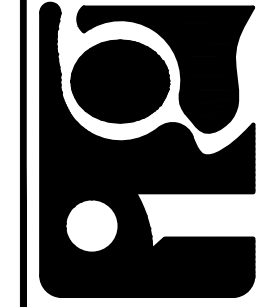
1227 1224 1220 1216 1212 1206 1200



HISTORY OF DRAWING ISSUED	
DESCRIPTION	DATE OF ISSUED
<input type="checkbox"/> PROGRESS	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	
REVISION BY	

NEW ONE STY. RESIDENCE FOR:
MR. & MRS. HECTOR SANCHEZ
1209 ANDORA AVE. , CORAL GABLES, FLORIDA 33134

ARCHITECTURE - PLANNING.
7600 SW 57 AVE.- SUITE 128 - S MIAMI FL 33143
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158



THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS FOR THIS BUILDING AND/OR OVERALL PROJECT ARE THE LEGAL PROPERTY OF AND ALL RIGHTS ARE RESERVED BY THE ARCHITECT. THEIR USE FOR REPRODUCTION, CONSTRUCTION, OR DISTRIBUTION IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT.

MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 5063
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE	12-03-20
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-0
OF	SHEETS



HISTORY OF DRAWING ISSUED	
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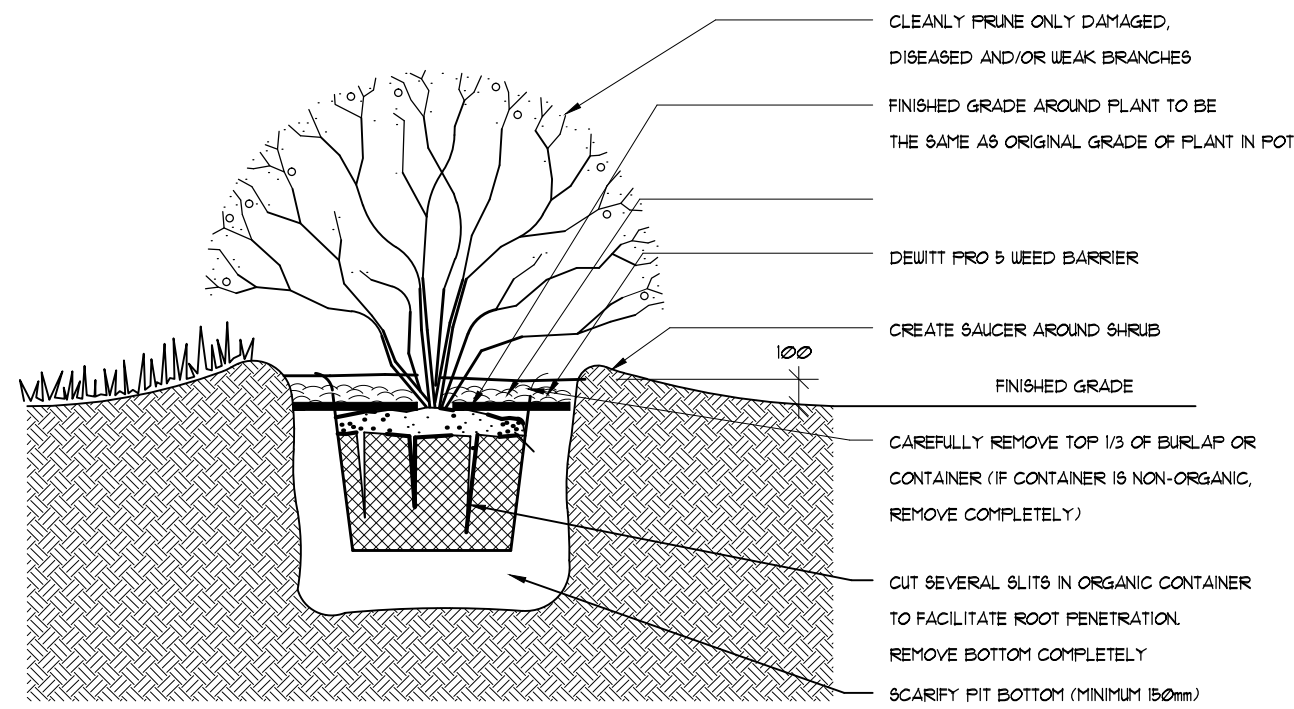
1229 1221 1217 1213 1209 1205 1201



ANDORA AVENUE 1209 1209



1227 1224 1220 1216 1212 1206 1200



WEED BARRIER

N.T.S.

PRO 3 WEED BARRIER TYPICAL SPECIFICATIONS

MATERIAL

COLOR

THICKNESS

CONSTRUCTION

TENSILE STRENGTH

LBS

FABRIC WEIGHT

BURST (PSI)

PUNCTURE (LBS)

TRAP TEAR (LBS)

UV RESISTANCE

STRENGTH RET.%

WATER FLOW

(GAL./MIN./SF)

POLYPROPYLENE

BLACK WITH A STRIPE

EVERY 12"

28 MILS

22 EPI X 11 FPI

1000 X 600

5.0 OZ/SY

225

600

35 X 25

1810% AFTER 2500 HOURS

12

5 OZ WOVEN NEEDLE-PUNCHED MATERIAL FOR STRENGTH, DURABILITY AND WEED CONTROL

ALMOST 100% OPAQUE TO PREVENT PHOTOSYNTHESIS AND SEED GERMINATION

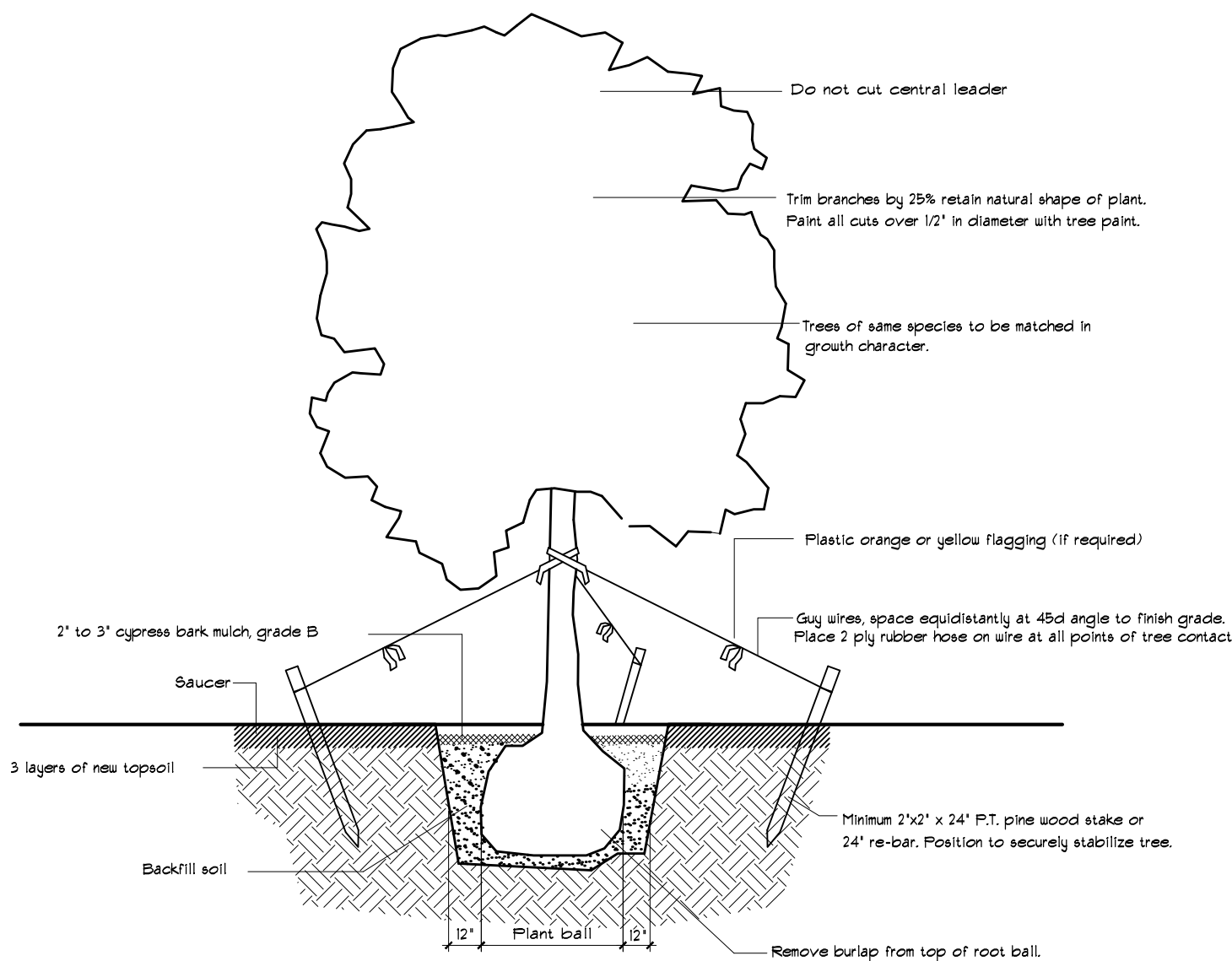
10 YEAR GUARANTEE AGAINST UV DETERIORATION

COLOURED STRIPES ON TOP, SPACED 12" APART FOR EASY PLANT ALIGNMENT

REDUCES THE NEED FOR CONTINUAL USE OF CHEMICAL HERBICIDE TO CONTROL UNWANTED WEEDS OR GRASSES

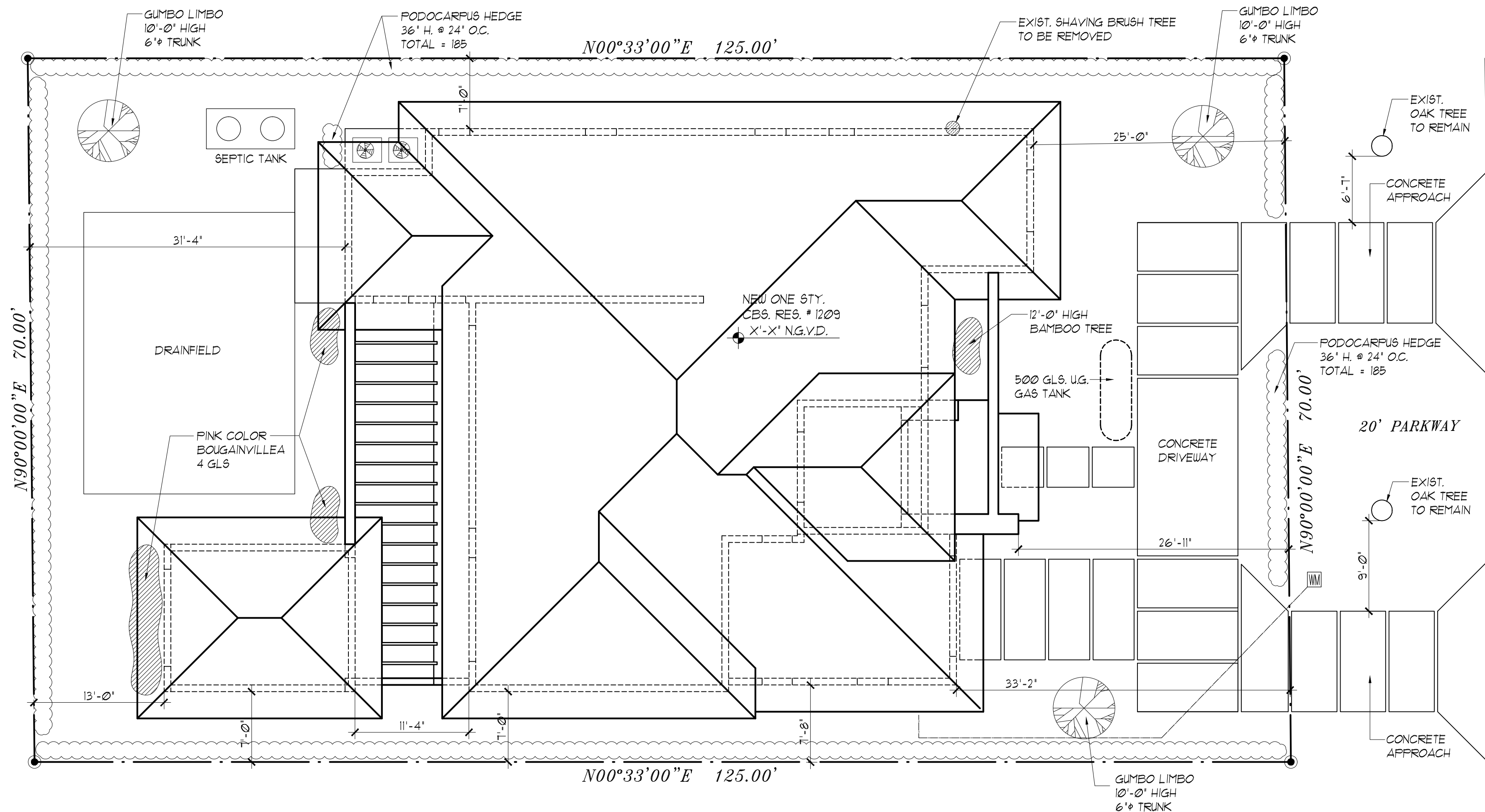
AVAILABLE IN ROLLS OF 3'x15'x5' AND 12' BY 250' LONG - ALSO AVAILABLE IN MASTER ROLLS UP TO 500' IN LENGTH

HOLD IN PLACE WITH DEWITT ANCHORING PINS



TREE PLANTING DETAIL

N.T.S.



IN ADDITION TO THE REQUIREMENTS IN THE TOWN'S LANDSCAPE CODE, ALL DEVELOPMENTS FOR WHICH A LANDSCAPE PLAN IS REQUIRED SHALL COMPLY WITH THE FLORIDA FRIENDLY LANDSCAPING GUIDING PRINCIPLES OF THE FLORIDA YARD AND NEIGHBORHOOD PROGRAMS. THE APPLICANT SHALL PROVIDE WRITTEN EVIDENCE OF COMPLIANCE WITH EACH PRINCIPLE.

NOTHING SHALL BE PLANTED, INSTALLED OR PLACED WITHIN A UTILITY EASEMENT, DRAINAGE EASEMENT OR RIGHT-OF-WAY WITHOUT THE CONSENT OF THE TOWN, MIAMI-DADE COUNTY OR FLORIDA DEPARTMENT OF TRANSPORTATION AND THE EASEMENT HOLDER, AS APPLICABLE.

LANDSCAPE NOTES:

- ALL PLANTING MATERIAL SHALL BE GRADED FLORIDA No. 1 OR BETTER AS OUTLINED UNDER GRADES AND STANDARDS FOR NURSERY PLANTS, STATE PLANT BOARD OF FLORIDA.
- PLANTING SOIL FOR ALL PLANTINGS SHALL CONSIST OF 50% FLORIDA PEAT MIXED WITH 50% EXISTING SOIL UNLESS OTHERWISE NOTED, AND SHALL BE FREE OF DEBRIS, ROOTS, CLAY, STONES, PLANTS, AND OTHER FOREIGN MATERIALS.
- MULCH MATERIALS SHALL BE SHREDDED CYPRESS MULCH MOISTENED AT THE TIME OF APPLICATION. ALL TREES, SHRUBS, AND GROUND COVER BEDS SHALL RECEIVE TWO INCHES OF MULCH IMMEDIATELY AFTER PLANTING.
- PROVIDED FULL AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO ALL LANDSCAPED AREAS. IRRIGATION SYSTEM SHALL PROVIDE FOR A 100% COVERAGE WITH A 50% OVERLAP. AUTOMATIC SYSTEM WITH RAIN MOISTURE SENSOR AS PER FLORIDA XERISCAPE LAW REQUIREMENTS. NO OVER SPRAY SHALL FALL ONTO PAVED SURFACES. ALL GUIDELINES AS OUTLINED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) SHALL BE STRICTLY ADHERED TO.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION AND AVOID AND PROTECT UTILITY LINES, DUCTS, BURIED CABLES, AND OTHER UTILITIES IN THE AREA.
- TREE, PALM, SHRUB AND GROUND COVER LOCATIONS AREA TO BE STAKED IN THE FIELD AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL.
- 500 SHALL BE ST. AUGUSTINE FLORANTAN, STRONGLY ROOTED, AND FREE FROM WEED, FUNGUS AND DISEASE. CONTRACTOR SHALL 500 ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE AS PER THE TOTAL BODDED AREA, TO BE VERIFIED IN THE FIELD.
- 500 SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. 500 SHALL CARRY A 5 MONTH WARRANTY.
- ALL SHRUBS AND GROUND COVERS SHALL CARRY A 180-DAY WARRANTY - ALL TREES AND PALMS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS ARE TO BE STAKED AS PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN AND GROWERS ASSOCIATION (FNGA).
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLANTS AND PLANT LIST / BID FORM, THE QUANTITIES ON THE PLAN WILL BE HELD VALID.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATER UNTIL FINAL ACCEPTANCE BY THE OWNER.

LANDSCAPING PLAN

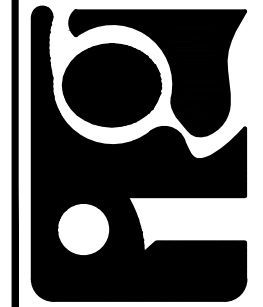
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HISTORY OF DRAWING ISSUED	
DESCRIPTION	DATE OF ISSUED
PROGRESS	
PERMIT	
CONSTRUCTION	
REVISION BY	

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1209 ANDORA AVE., CORAL GABLES, FLORIDA 33134

ARCHITECTURE - PLANNING.

7600 SW 57 AVE., SUITE 128 - S. MIAMI FL 33143



GROUP INC

AAC # 002158

MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 5053
7600 SW 57 AVE., SUITE 128
MIAMI, FLORIDA 33143

DATE 12-03-20

SCALE AS NOTED

DRAWING Y.T.

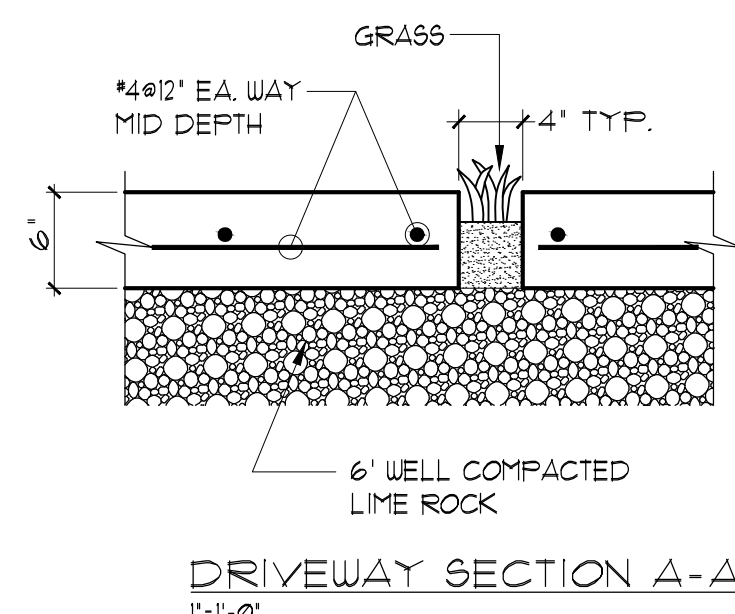
JOB

SHEET

OF

L-1

SHEETS



NOTE:
CONTRACTOR SHALL VERIFY
LOCATION OF ALL UTILITY
SERVICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL DADE COUNTY APPLICABLE CODES.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HERSELF EMPLOYEE'S NEGLIGENT ACTS, ERRORS, OR OMISSIONS.

6" CONC. SLAB
W/ FIBER
(NO REINF.)

4" TYP.

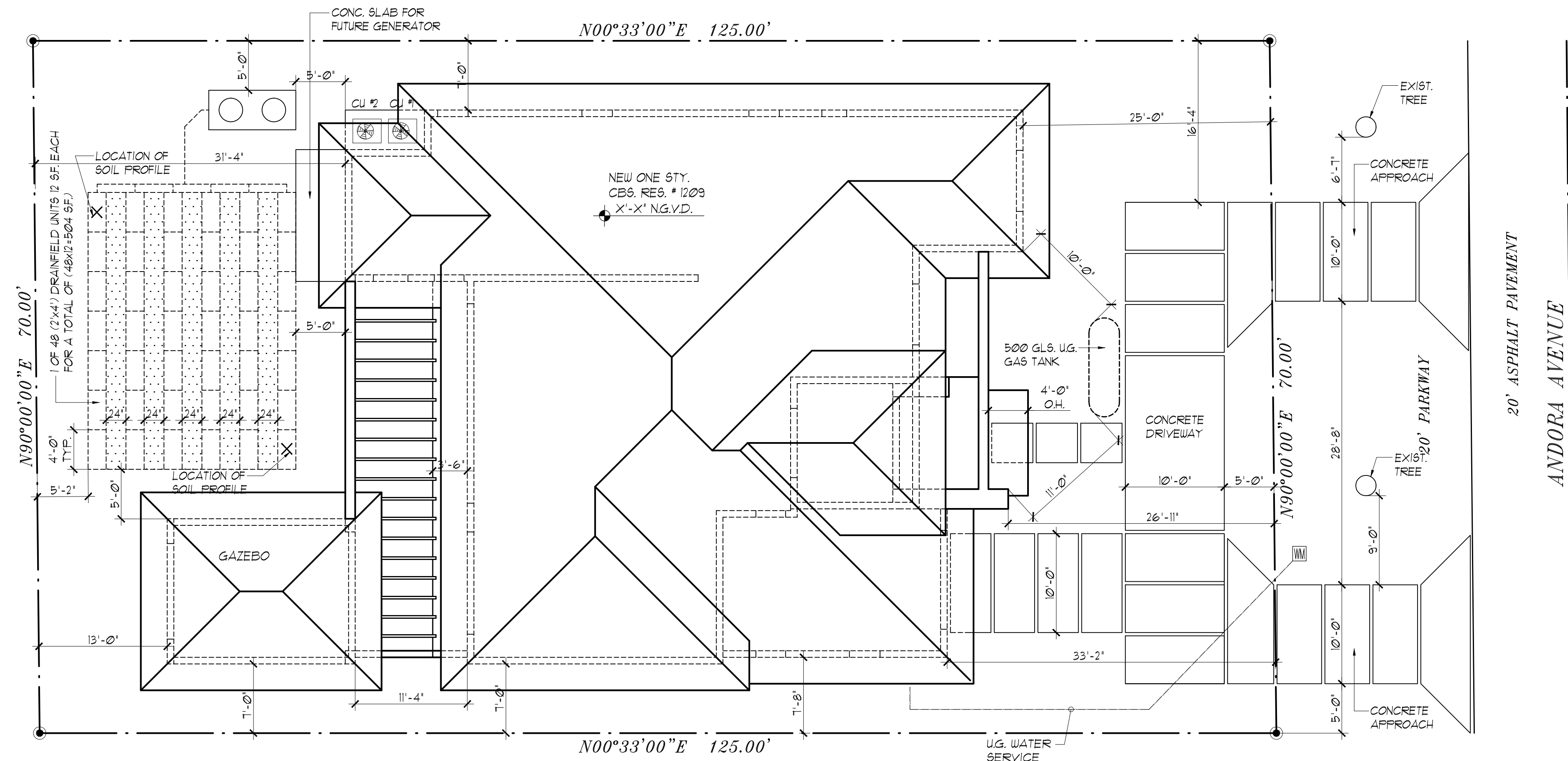
GRASS

6" CONC. SLAB
W/ FIBER
(NO REINF.)

6" WELL COMPACTED
LIME ROCK

APPROACH SECTION B-B

1"=1'-0"



LOT 12, IN BLOCK 7 'UNIVERSITY ESTATES' ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 44, PAGE 86 OF THE PUBLIC RECORDS OF MIAMI-DADE
COUNTY, FLORIDA

CERTIFICATION OF DESIGN:
WE HEREBY CERTIFY THAT THE PROPOSED NEW ONE STORY CBS RESIDENCE LOCATED AT 1209 ANDORA AVE., CORAL GABLES, FLORIDA IS AN ORIGINAL ARCHITECTURAL DESIGN EXCLUSIVELY FOR THIS LOT. IT IS NOT A REPRODUCTION OF ANY PREVIOUS DESIGN IN THE CITY OF CORAL GABLES.

- 1.- All wood in contact with masonry or concrete shall be pressure treated.
- 2.- Truss manufacturer shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication
- 3.- Hvac Subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication
- 4.- All work to be in full strict accordance and compliance with all codes and authorities having jurisdiction.
- 5.- Written dimensions shall take precedence over scaled dimensions.
- 6.- Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
- 7.- All wood bearing partitions to be one hour fire rated construction.
- 8.- Contractor shall stake out in the field all underground utilities known or encounter before to beginning excavation.
- 9.- Contractor shall coordinate all trades before placing concrete.
- 10.- All finished materials shall be class 'C' min. Flame spread.
- 11.- Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.
- 12.- Complete all bath wall/wallboard between sinks, lavatories, bathtub, showers, water closets and bidets to be water resistance type.
- 13.- Contractor shall coordinate thickness of partitions to accommodate mechanical work.
- 14.- Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 22S F.S.J. nominal extreme fiber stress in bending.
- 15.- Contractor shall provide continuous caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with F.B.C.
- 16.- General Contractor shall verify with 'Flood Control Department' in Dade County before starting construction.
- 17.- If any discrepancies are found, stop working immediately and notify owner or Architect.

LOT AREA	=	8,750 S.F.
A/C AREA	=	2,560 S.F.
GARAGE	=	337 S.F.
ENTRY	=	115 S.F.
LOT COVERAGE PERMITTED	=	3062.5 S.F. (35%)
LOT COVERAGE PROVIDED	=	3012 S.F. (34.4%)
GAZEBO	=	219 S.F.

Net Land Area	=	8,750 SF.
Lot Coverage (everything under roof)	=	3,012 SF.
SETBACKS:	REQ.	PROVIDED
FRONT	25'-0"	25'-0"
SIDE	1'-0"	1'-0"
SIDE	1'-0"	1'-0"
REAR	10'-0"	13'-0"

Area adjacent to lake or canal to be graded so as to prevent direct overland discharge of storm water into lake or canal.

Lot will be graded so as to prevent direct overland discharge or storm water into adjacent property. Applicant will provide certification prior to final inspection.

ANY APPLICABLE RESOLUTIONS:

NOTICE:

In addition to the requirements of this permit, there may be additional restriction applicable to this property that may be found in the public records of this County. Section 553.19(10) Florida Statutes, Effective 7/10/87

A separate permit will be required for all driveway approaches into public right of way. Contact public Works Department.

The height of fences, wall and edges shall no exceed 2.5' in height within 10' of the edge of any driveway leading to a right of way

The height of fences, is being measured form grade, Grade = Elevation of public sidewalk or crown of road.

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MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 5053
7600 SW 57 AVE.-SUITE 12
MIAMI, FLORIDA 33143

DATE 12-03-20

SCALE AS NOTED

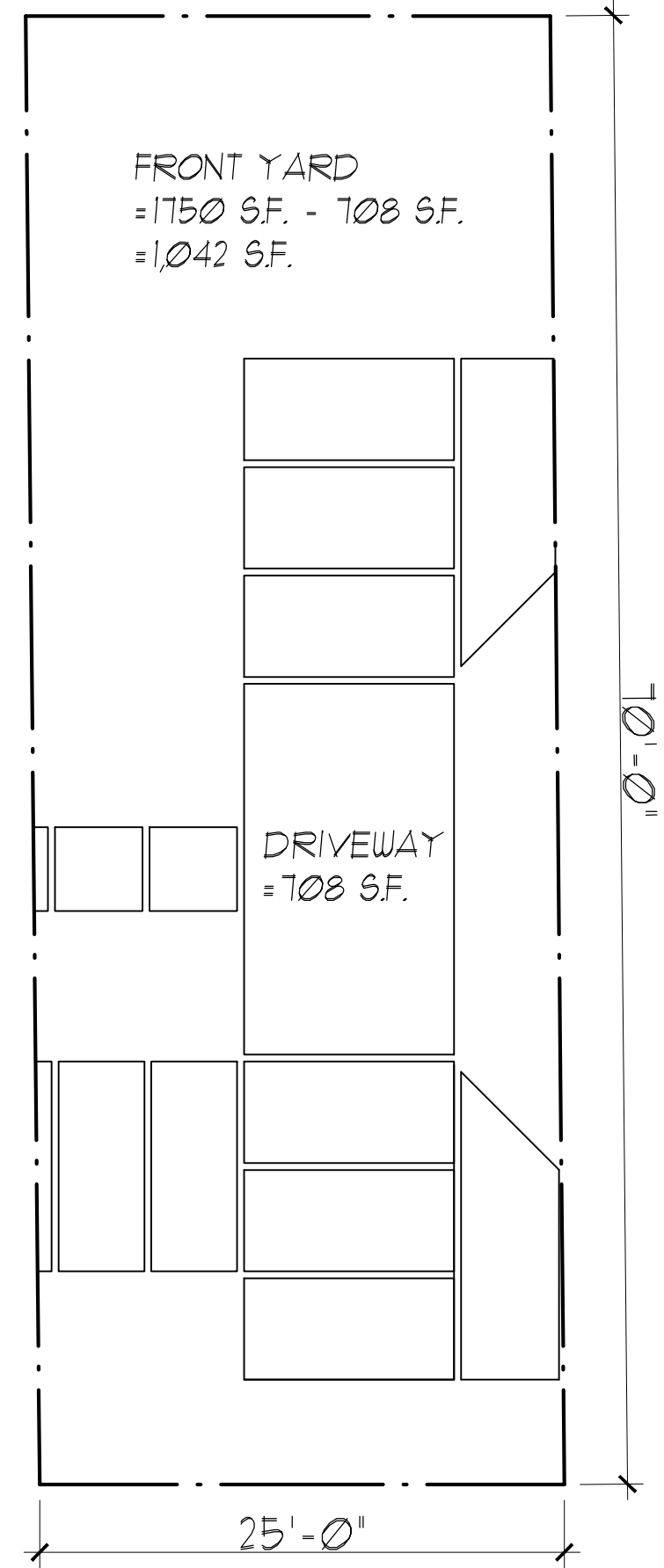
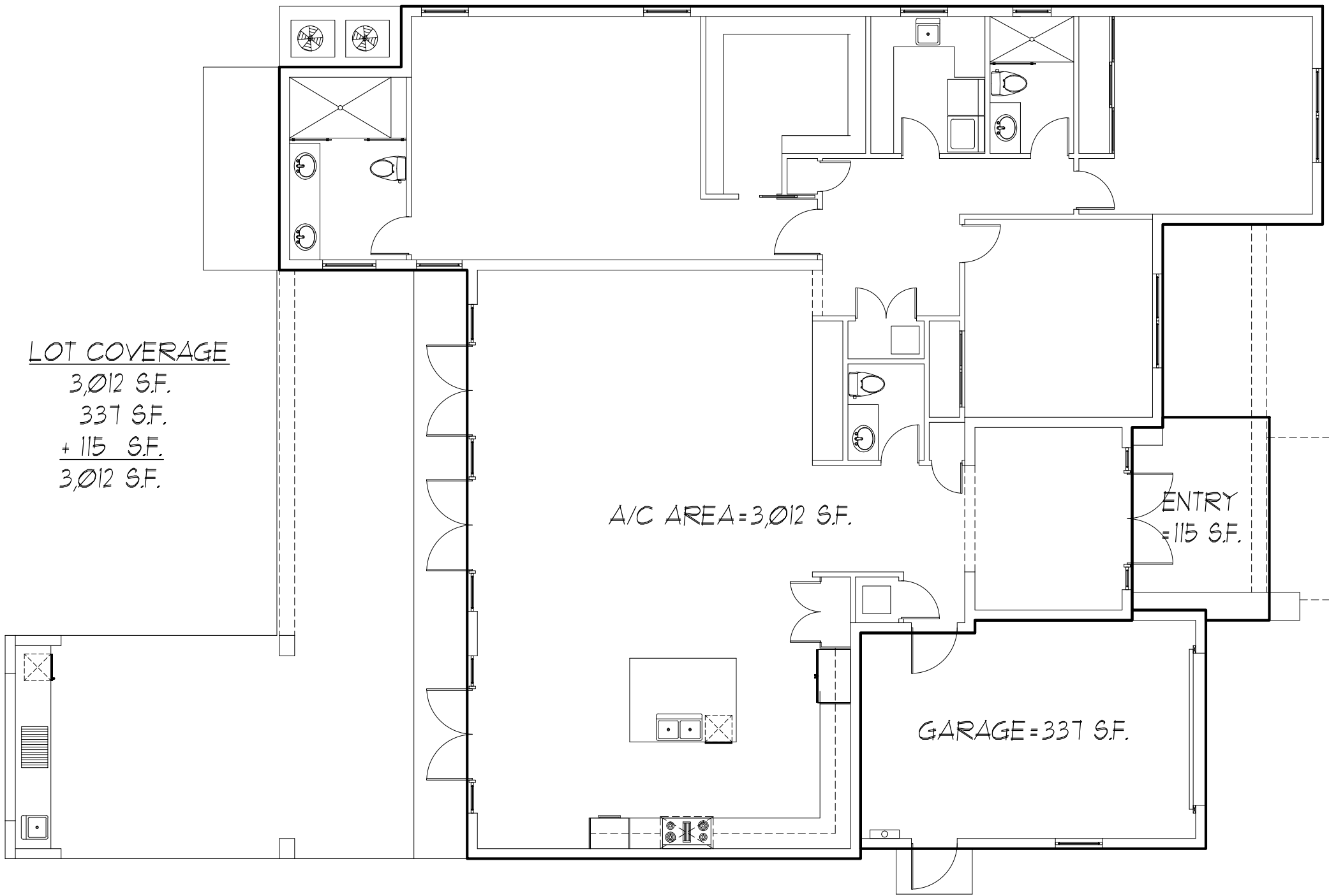
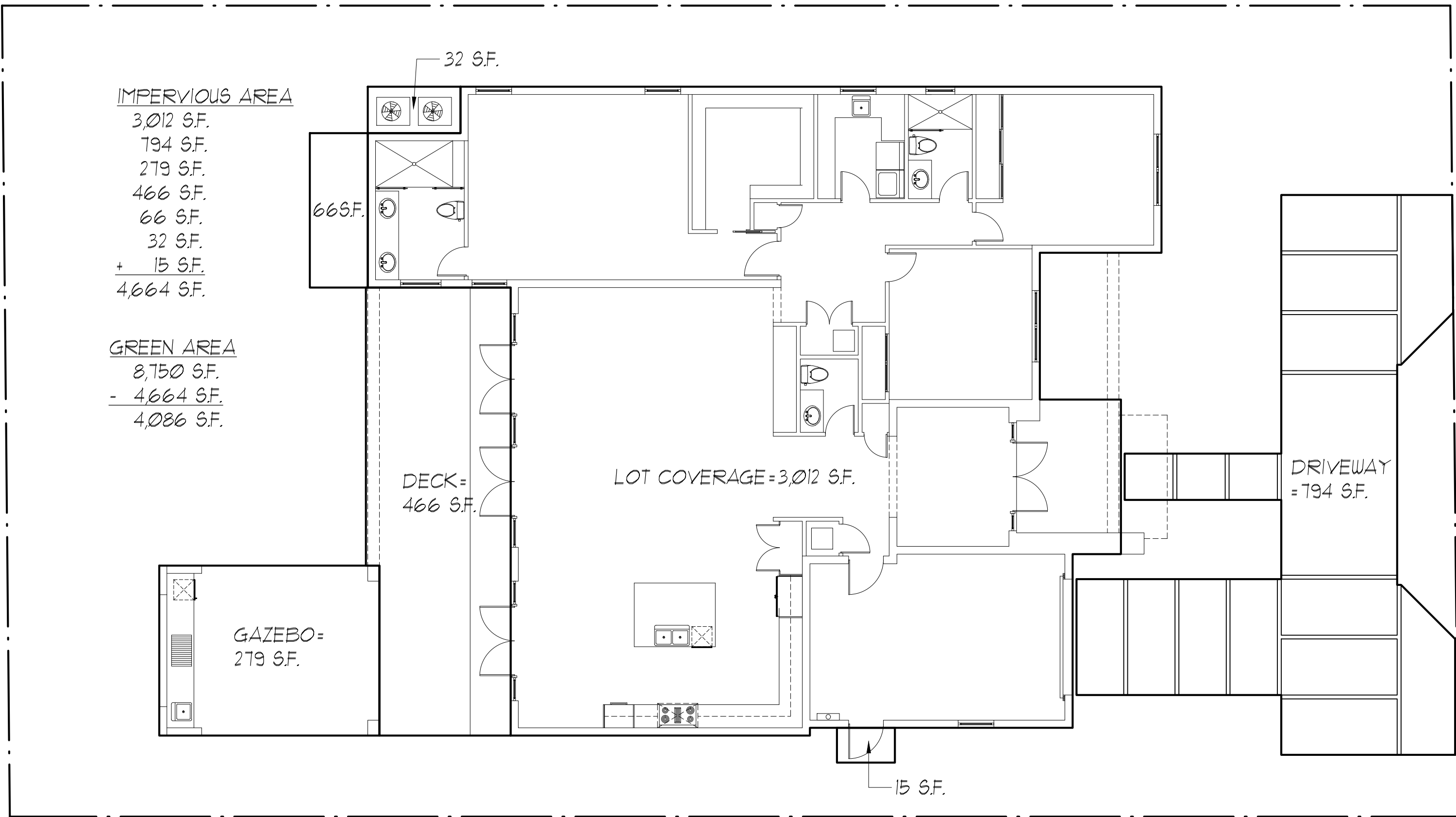
DRAWING Y.T.

JOB

SHEET

A-1

OF SHEETS



HISTORY OF DRAWING ISSUED
DESCRIPTION DATE OF ISSUED

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<input type="checkbox"/>	CONSTRUCTION	_____
REVISION BY		_____

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GROUP INC

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OF	SHEETS

NOTE:
ALL EGRESS WINDOWS TO COMPLY W/ 1003.4.2, F.B.C.:
AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE
WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR
OPENING OF NOT LESS THAN 20' WIDE X 24' HIGH AND 5.7 SQ. FT.
IN AREA, THE BOTTOM OF THE OPENING SHALL NOT BE MORE
THAN 44" OFF THE FLOOR.

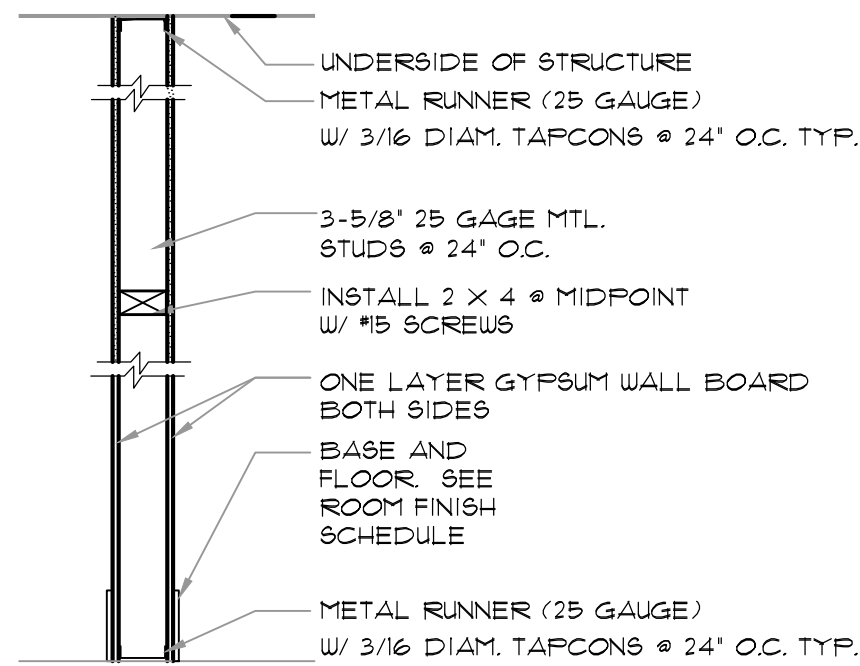
THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A
KEY, TOOL, SPECIAL KNOWLEDGE OF EFFORT TO MAKE
AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF
THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN
54" ABOVE THE FINISHED FLOOR.

NOTE:
21-2.4.3 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT
CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.

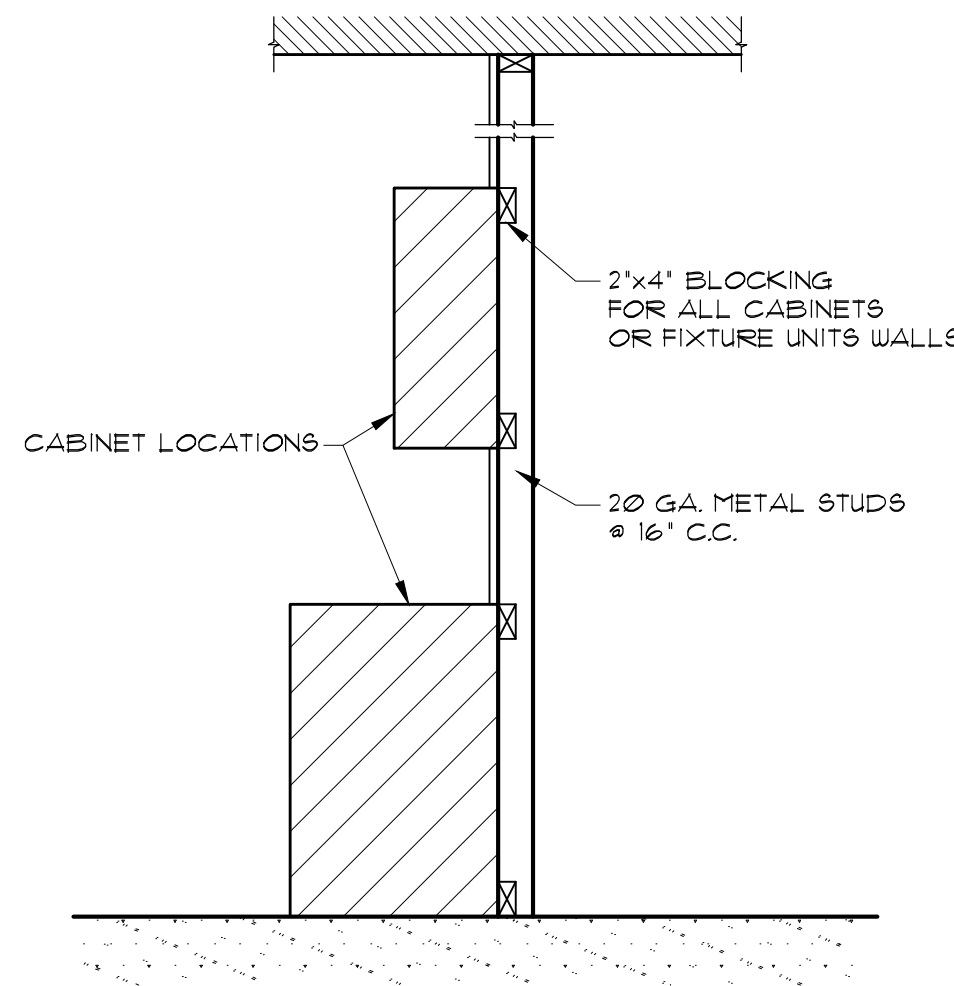
21-2.4.4 EVERY BATHROOM DOOR SHALL BE DESIGNED
TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY
WHEN LOCKED.

1. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX
OF NOT MORE THAN 25 & A SMOKE DEVELOPED INDEX OF NO
MORE THAN 450 PER R302.10.1
2. WALL AND CLG FINISHES SHALL HAVE A FLAME SPREAD
INDEX NOT GREATER THAN 300 PER R 302.3.1 & SMOKE
DEVELOPED INDEX NOT GREATER THAN 450 PER 302.3.2
3. STEEL STUD FRAMING SUPPORTING WALL HUNG PLUMBING
FIXTURES & OR CABINETS SHALL BE DOUBLED PER R
4411.4.5.1.1 & SHALL HAVE A HORIZONTAL MEMBER SECURED TO
NO LESS THAN TWO STUDS PER R 4411.4.5.1.3

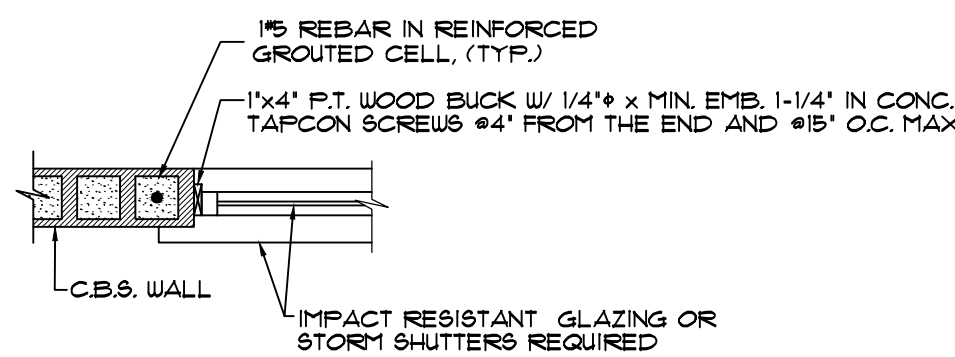
NOTE:
G.C. AND A.A. CONTRACTOR SHALL COORDINATE
A/C DUCT W/ STRUCTURAL AND ARCHITECTURAL
WALLS BEFORE BIDDING AND PRIOR COMMENCING
WORK. ANY DOUBT OR DISCREPANCIES CONTACT
ARCHITECT BEFORE COMMENCING ANY WORK.



PARTITION WALL ASSEMBLY
N.T.S.



TYPICAL SECTION OF STUD SPACING
@ CABINETS & WALL-HUNG ITEMS
N.T.S.

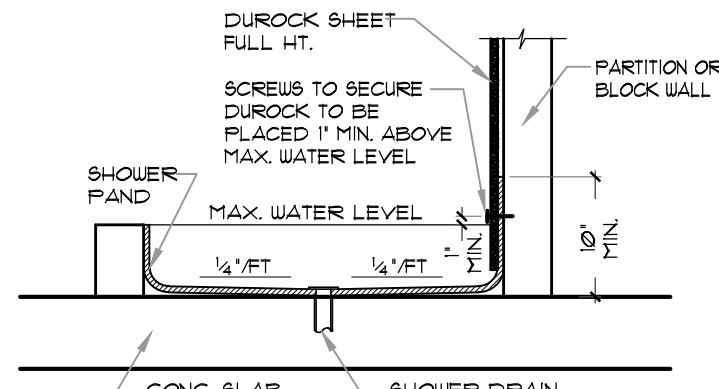


WINDOW BUCK DETAIL
N.T.S.

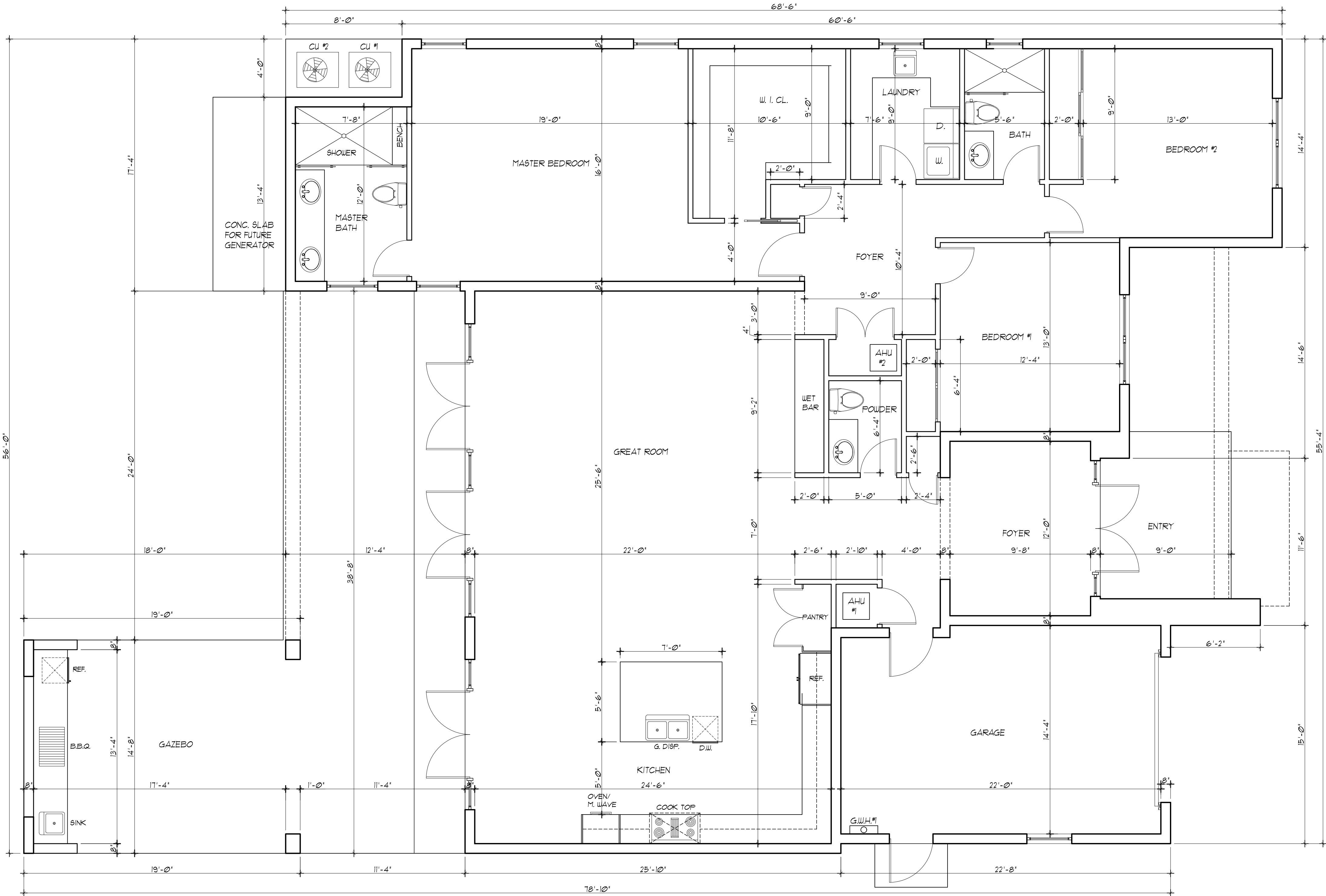
ALL GLASS PANELS/WINDOWS ADJACENT TO
SWING DOORS (WITHIN 48\") TO BE SAFETY GLASS CAT II

NOTE:
ALL SHOWERS, TUB-GLASS ENCLOSURE &
FIXED GLASS SHALL BE SAFETY GLASS TYPE II
ALL SHOWER AND TUB WALLS W/ MARBLE OR
CERAMIC TILE FULL HT. COMPLY W/ 1204.3 F.B.C.
PROVIDE 1/2\"/>

1. ALL EXTERIOR GLASS WINDOWS AND DOORS ARE
IMPACT RESISTANT, NO SHUTTERS REQUIRED
2. USE CASEMENT SYSTEM FOR ALL WINDOWS
INCLUDING DESIGNATED UNITS FOR EGRESS



TYP. SHOWER PAND DETAIL
1\"/>

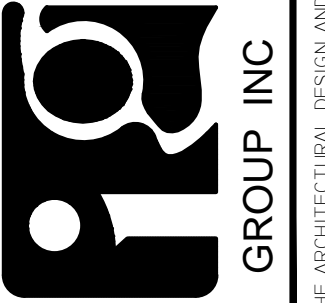


1ST. FLOOR PLAN
SCALE: 1/4\"/>

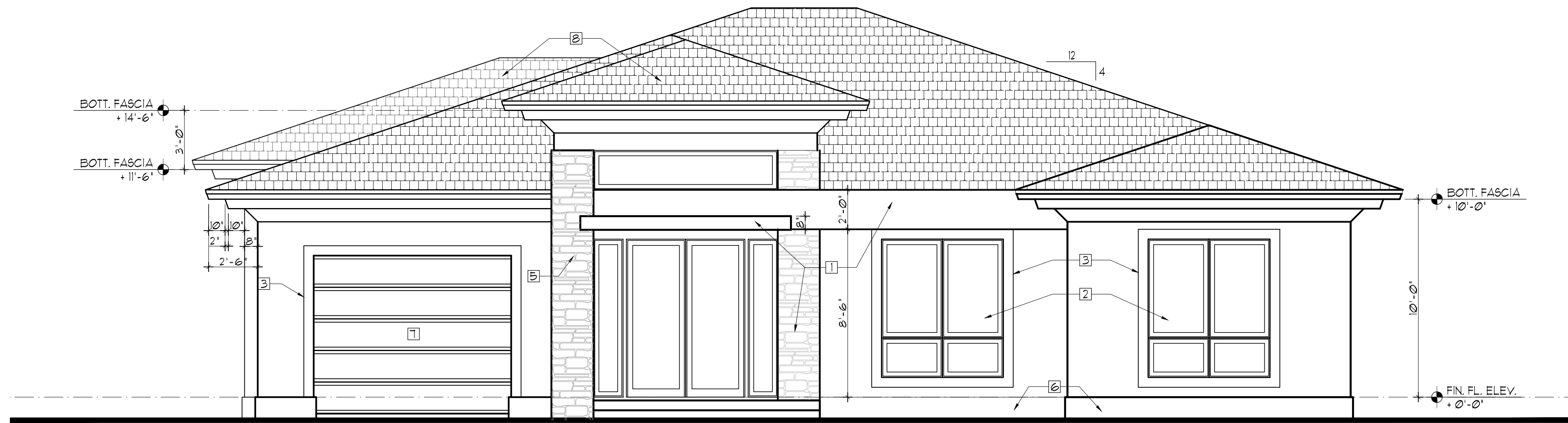
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ARCHITECTURE - PLANNING.
7600 SW 57 AVE., SUITE 128 - S.MIAMI FL 33143
ARCHITECT
MIGUEL A. GONZALEZ
LICENSE # AR 5053
7600 SW 57 AVE., SUITE 128
MIAMI, FLORIDA 33143
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158



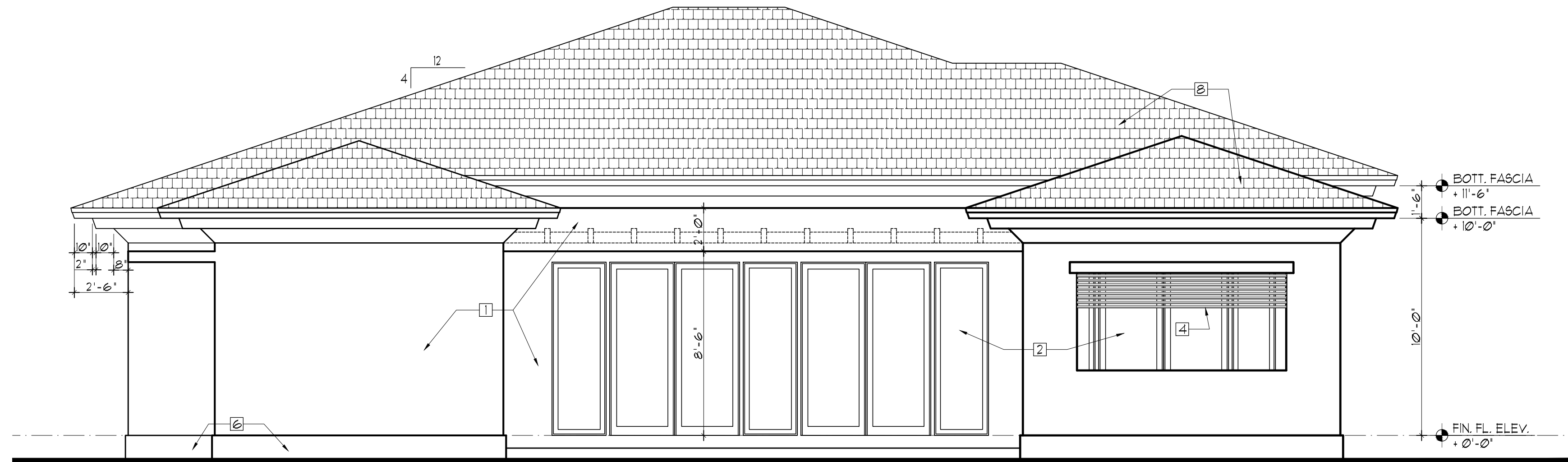
DATE 12-03-20
SCALE AS NOTED
DRAWING Y.T.
JOB
SHEET
A-2
OF SHEETS



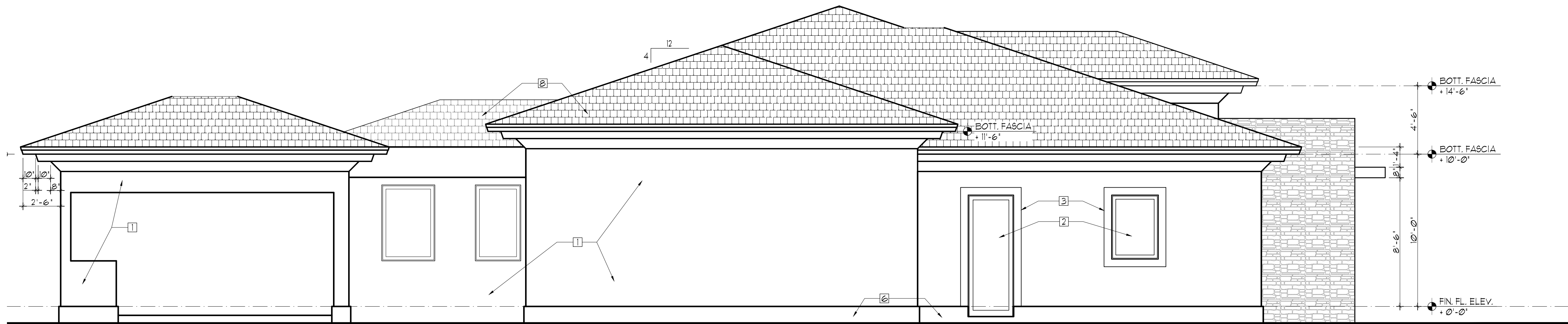
FRONT ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 SMOOTH STUCCO FINISH (WHITE)
- 2 WHITE ALUM. CASEMENT/FIXED WINDOWS AND DOORS
- 3 CONT. STUCCO BAND (WHITE)
- 4 DECORATIVE ALUM. LOUVERS (WHITE)
- 5 LIGHT GRAY STONE FINISH
- 6 LIGHT GRAY BASE
- 7 METAL GARAGE DOOR (WHITE)
- 8 FLAT CEMENT TILE (LIGHT GRAY)



REAR ELEVATION
SCALE: 1/4"=1'-0"

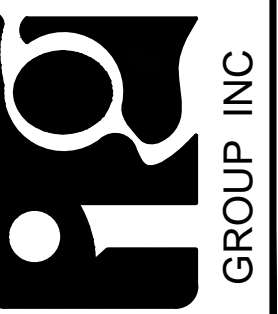


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED	
DESCRIPTION	DATE OF ISSUED
PROGRESS	
PERMIT	
CONSTRUCTION	
REVISION BY	

NEW ONE STY. RESIDENCE FOR:
MR. & MRS. HECTOR SANCHEZ
1209 ANDORA AVE. , CORAL GABLES, FLORIDA 33134

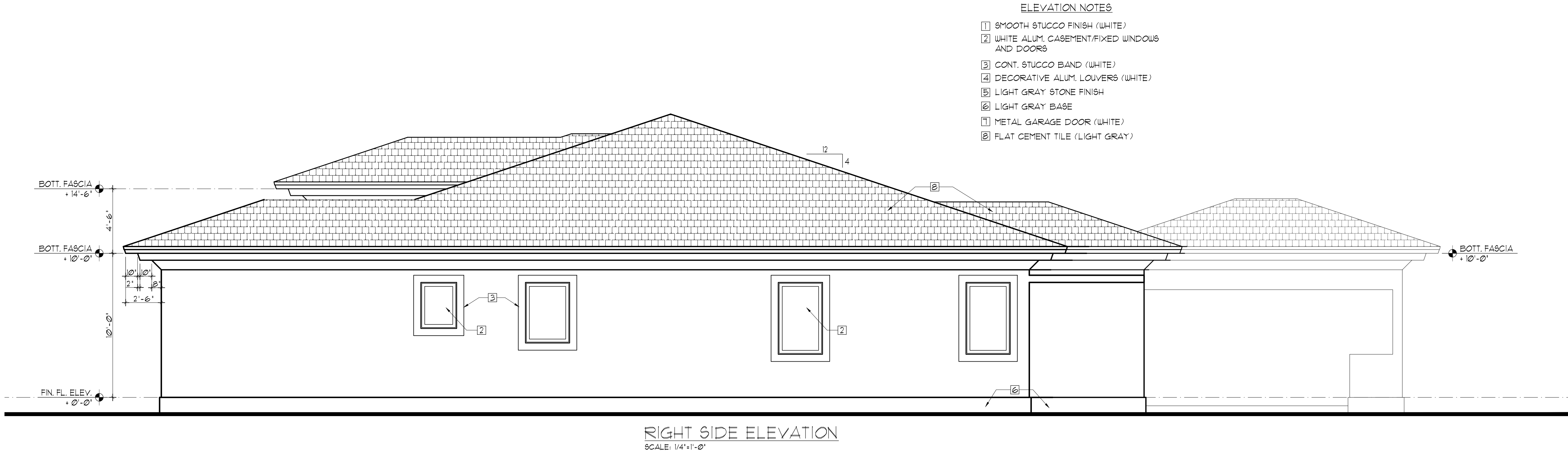
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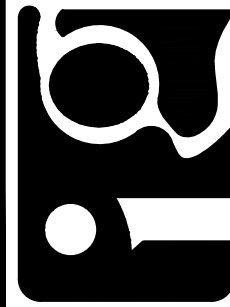
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DRAWING Y.T.

JOB

SHEET

OF

A-4

SHEETS