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PEREZ
KILIDJIAN
STARR**

ARCHITECTS+PLANNERS

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MARIO P. PASCUAL, AIA
LICENSE No. : AR 0008254
PETER KILIDJIAN, RA
LICENSE No. : AR 0093067
ANDREW STARR, RA
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1300 NW 84th AVENUE
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2039 ALHAMBRA CORAL GABLES FL, 33134
SINGLE FAMILY HOME - ADDITION
CORAL GABLES, FLORIDA

PASCUAL, PEREZ,
KILIDJIAN, STARR & ASSOC.

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REVISIONS:

OWNER:
CESAR BARON

SFH - ADDITION
2039 ALHAMBRA CIRCLE
CORAL GABLES, FLORIDA 33134

SEAL:

COVER SHEET

PROJECT
DATE : 2025-10-09
SCALE : AS SHOWN
DRAWN : MC
CHECK BY : PPKS
JOB NO. : 25-48

C-0

SHEET NO. :

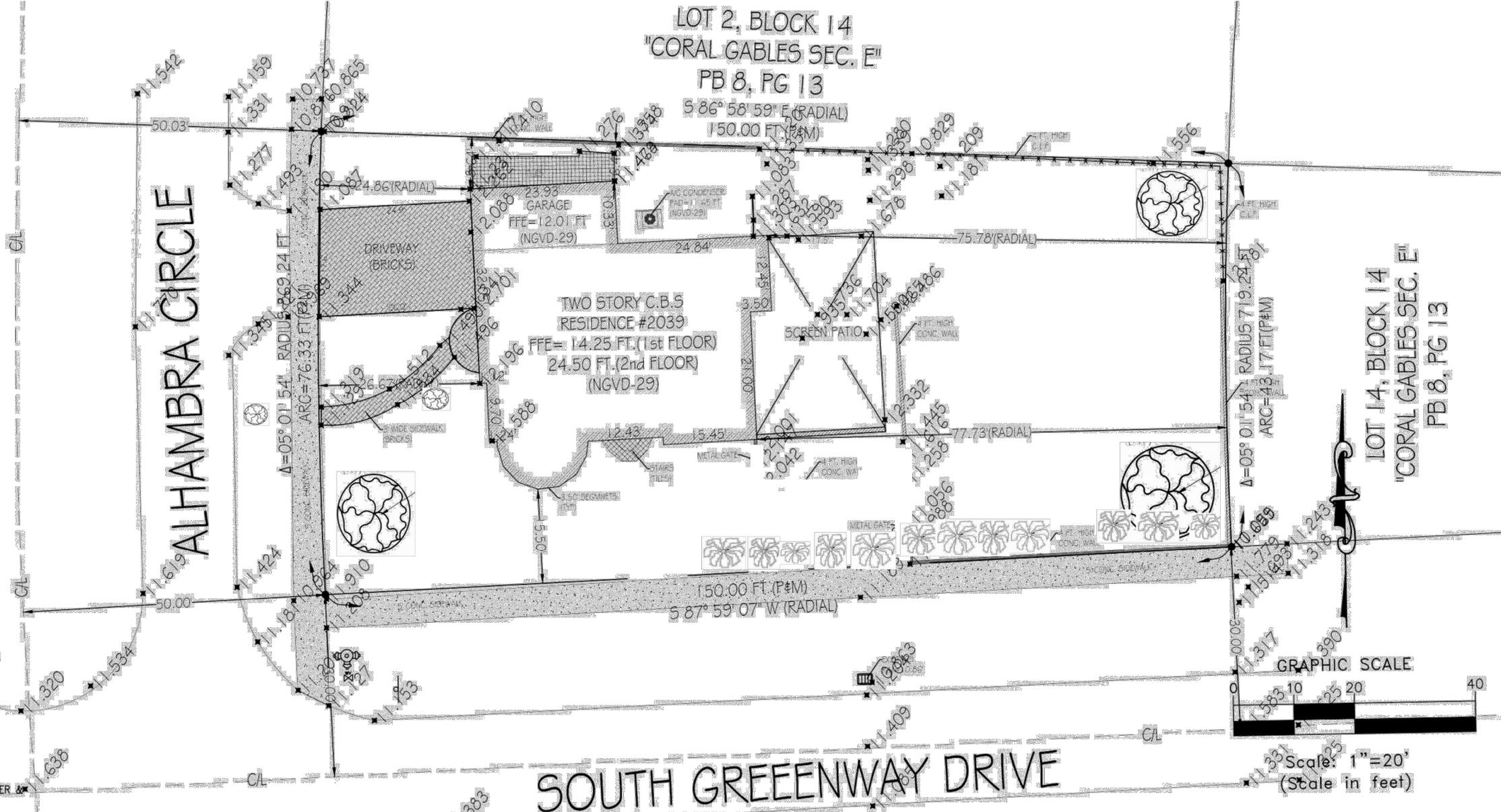
TOPOGRAPHIC SURVEY

LOT 2, BLOCK 14
"CORAL GABLES SEC. E"
PB 8, PG 13

5 86° 58' 59" E (RADIAL)
150.00 FT. (P#M)

LOT 14, BLOCK 14
"CORAL GABLES SEC. E"
PB 8, PG 13

SOUTH GREENWAY DRIVE



ABBREVIATIONS AND LEGEND

A	ARC
A/C	AIR CONDITIONER
BM	BENCHMARK
BRG	BEARING
(C)	CALCULATED
C.G.	CONCRETE GUTTER OR VALLEYED GUTTER
C&G	CURB & GUTTER
CH	CHORD
CHBRG	CHORD BEARING
C.M.E.	CANAL MAINTENANCE EASEMENT
C.N.A.	CORNER NOT ACCESSIBLE
CONC.	CONCRETE
Δ	DELTA
D.E.	DRAINAGE EASEMENT
E.O.P.	EDGE OF PAVEMENT
F.C.	FENCE CORNER
F.D.H.	FOUND DRILL HOLE
F.E.	FENCE ENDS
F.F.E.	FINISHED FLOOR ELEVATION

F.I.P./F.I.R.	FOUND IRON PIPE/ROD
F.N.	FOUND NAIL
F.N&D.	FOUND NAIL AND DISC
F.P.K.N.	FOUND PARKER KALON NAIL
GAR.	GARAGE
I.D.	SURVEYOR'S IDENTIFICATION
L	LENGTH
L.A.E.	LIMITED ACCESS EASEMENT
L.M.E.	LAKE MAINTENANCE EASEMENT
(M)	MEASURED
O/S	OFFSET
(P)	PLATTED
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.T.	POINT OF TANGENCY

(R)	RADIUS
(R)	RECORD
R/W	RIGHT-OF-WAY
R.E.E.	ROOF ENCROACHMENT EASEMENT
S.I.R./S.I.P.	SET 1/2" IRON ROD/PIPE
S.N.D.	SET NAIL AND DISC
TAN	TANGENT
(TYP.)	TYPICAL
U.E.	UTILITY EASEMENT
W.E.	WATER'S EDGE
CH	OVERHEAD WIRE LINE
# # #	WOOD FENCE
X X	CHAIN LINK FENCE
— 0 —	IRON/ALUMINUM FENCE
M — —	MONUMENT LINE
— C —	CENTERLINE
— P —	PROPERTY LINE
— S —	STRUCTURE LINE

☐	AIR CONDITIONER
⊙	BELLSOUTH BOX
⊞	CABLE BOX
⊞	CATCH BASIN
⊞	CONTROL VALVE BOX
⊞	ELECTRIC BOX
⊞	ELECTRIC METER
⊞	ELECTRIC SERVICE BOX
⊞	EXISTING ELEVATIONS
⊞	FIRE HYDRANT
⊞	FLORIDA POWER & LIGHT BOX
♿	HANDICAP SPACE
⊞	INLET
⊞	LIGHT POLE
⊞	METAL LIGHT POLE
⊞	SANITARY MANHOLE
⊞	SATELLITE DISH
⊞	WATER METER
⊞	WATER VALVE
⊞	WOOD POLE

WATER	▨
SOD	▨
CONCRETE	▨
UTILITY EASEMENT (U.E.)	▨

PROPERTY ADDRESS:
2039 Alhambra Circle
Coral Gables, Florida (33134)

LEGAL DESCRIPTION:
Lot 1, Block 14, "CORAL GABLES, SECTION E" according to the Plat thereof as recorded in Plat Book 8, Page 13, Public Records of Miami-Dade County, Florida.
Parcel Folio Number: 03-4107-016-1740

SURVEYOR'S NOTES:
All distances as shown are based on the US Survey foot. All bearings are based on "INDUSTRIAL AIRPORT SUBDIVISION" Plat geometrical data and Global Positioning System verification.
This is a BOUNDARY SURVEY.
Elevation is referred to Miami-Dade County Benchmark, N27 being a PK Nail and Brass Washer in concrete sidewalk. Elevation: 11.26 feet (NGVD-29).
The accuracy obtained for all horizontal control measurements, based on a 95% confidence level and office calculations of closed geometric figures, verified by redundant measurements, meets, or exceeds an equivalent linear closure standard of 1 foot in 7,500 feet for Suburban Areas. The elevations as shown are based on a closed level loop to benchmark noted above and meets or exceeds a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles.
This SKETCH OF BOUNDARY SURVEY is based on: (i) recovered monumentation; (ii) the underlying recorded plat of "INDUSTRIAL AIRPORT SUBDIVISION" according to the Plat thereof, as recorded in Plat Book 44, Page 80, of the Public Records of Miami-Dade County, Florida.
The client provided the legal description to the surveyor and also based on the Miami-Dade County Property Appraiser's Office, Folio Number 03-4107-016-1740, and the Warranty Deed recorded on Deed Book 340-45 Page 2709 as evidenced thereon. No title search has been conducted by nor was a title report provided to the surveyor. There may exist easements, rights of way and/or other encumbrances affecting the subject property not disclosed hereon that a title report would evidence.

A comparison between measured (M), Plat (P), record (CA) and calculated (C) dimensions is delineated hereon. Measured dimensions (M) are based directly on the recovered monumentation. Platted dimensions (P) are based on the said plat of "COUNTRY ISLES GARDENS" according to the Plat thereof, recorded in Plat Book 129, Page 11, of the Public Records of Broward County, Florida. Calculated dimensions (C) are a protraction based on the legal description of the aforementioned plat of "INDUSTRIAL AIRPORT SUBDIVISION" according to the Plat thereof, as recorded in Plat Book 44, Page 80, of the Public Records of Miami-Dade County, Florida. There was no measurable difference between the recorded dimensions shown on the said plat of "INDUSTRIAL AIRPORT SUBDIVISION" according to the Plat thereof, as recorded in Plat Book 44, Page 80, of the Public Records of Miami-Dade County, Florida.

The total area of the Surveyed Parcel as described hereon contains 10,464.00 square feet more or less gross area, (0.2402 Acres more or less, by calculation).

Encroachments are noted by this survey and shown in this Boundary Survey. The ownership of the fences and/or walls as shown hereon was not determined. The location of utilities on or adjacent to the property was not secured. The Surveyor has performed no subsurface investigation or determined the location of underground footers.

Only the surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. No subsurface investigation has been performed by the Surveyor. Underground footers have not been located. The owner or his agent should verify all utility locations with the appropriate utility provider before using.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplant in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller.



**LOCATION SKETCH
NOT TO SCALE**

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY FELIPE NAZARIO, PSM #LS6815 USING A DIGITAL SEAL CERTIFIED BY ENDTRUST SIGNATURE SERVICE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED WITHOUT THE SIGNATURE AND EMBOSSED SEAL OF A FLORIDA LICENSED SURVEYOR. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SURVEYOR'S CERTIFICATION:
To: CESAR BARON
SUN CITY TITLE INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

This is to certify to the herein named firm and/or persons, that in my professional opinion, this map or plat of the herein described property is true and correct as recently surveyed and platted under my direction. I further certify that this map or plat and the survey on which it is based meets the Standards of Practice, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 5J-17, Florida Administrative Code, under Sections 5J-17.051 and 5J-17.052 and is a "BOUNDARY SURVEY" as defined in Section 5J-17.050(2).

Dated: 05/17/2024
Marfel Surveyors Inc.
L.B. 8105

Felipe Nazario Digitally signed by Felipe Nazario
Professional Surveyor and Mapper # LS6815
State of Florida



<p>SCALE: 1 IN. = 20 FT. DATE: 12/24/2023 FILE NO.: 2024-024 DRAWN BY: FELIPE NAZARIO PROJECT NO.: 2024-024-001 SHEET: 1 of 1 SHEETS</p>	<p>RECORD OF REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION				<p>TYPE OF PROJECT: BOUNDARY SURVEY</p> <p>PROJECT LOCATION: 2039 ALHAMBRA CIRCLE</p> <p>CITY, STATE & ZIP CODE: CORAL GABLES, FLORIDA (33134)</p> <p>ENCROACHMENT NOTE:</p>
NO.	DATE	DESCRIPTION						

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KILIDDJIAN
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REVISIONS:

OWNER:
CESAR BARON

SFH - ADDITION
2039 ALHAMBRA CIRCLE
CORAL GABLES, FLORIDA 33134

SEAL:

PHOTOGRAPH

MICROFILM PICTURE

DATE: 2025-10-09
SCALE: AS SHOWN
DRAWN: MC
CHECK BY: PPKS
JOB NO.: 25-48

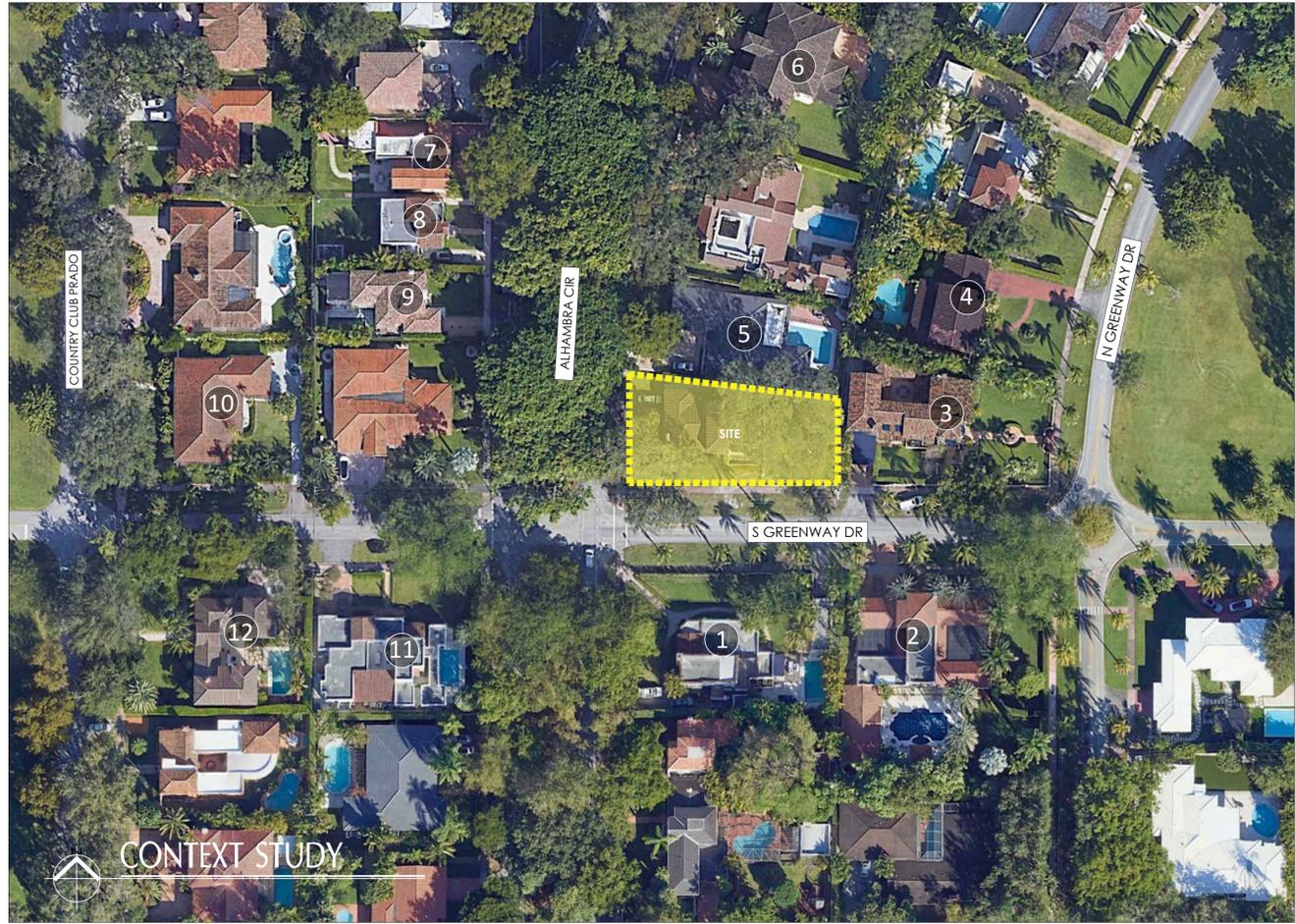
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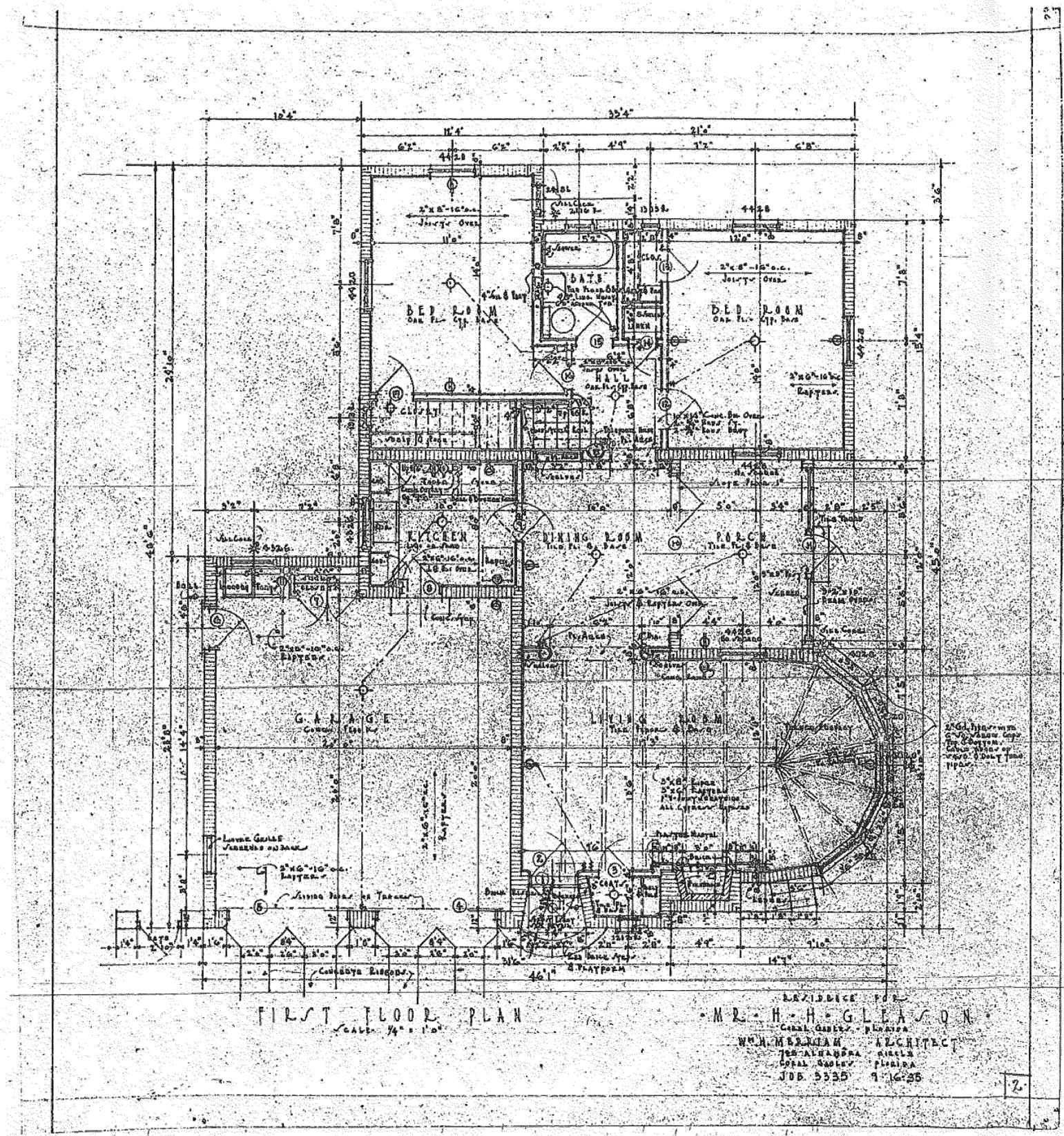


MICROFILM PICTURE

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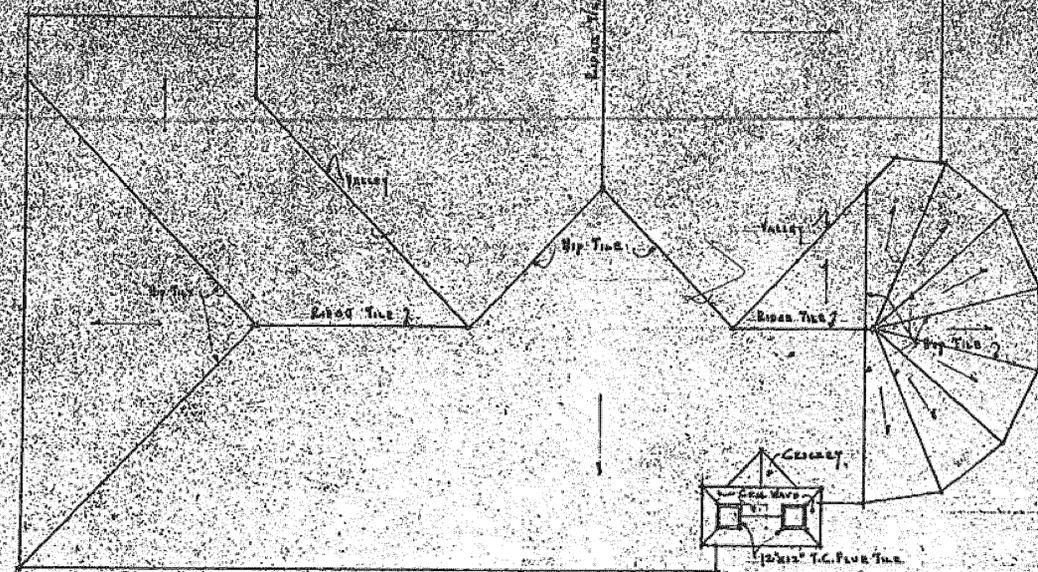
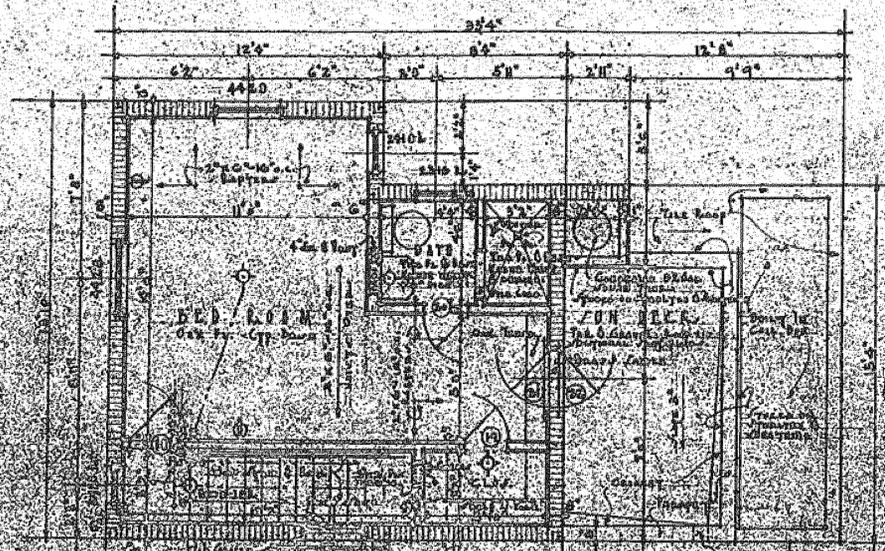


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
REVISED FOR
MR. H. H. GLEASON
CORAL GABLES, FLORIDA
W. H. KILIDDJIAN ARCHITECT
2039 ALHAMBRA CIRCLE
CORAL GABLES, FLORIDA
JOB 5335 9-16-25

5056

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DOOR SCHEDULE	
No.	DESCRIPTION
1	6'0" x 8'0" 1/2" SWING
2	6'0" x 8'0" 1/2" SWING
3	6'0" x 8'0" 1/2" SWING
4	6'0" x 8'0" 1/2" SWING
5	6'0" x 8'0" 1/2" SWING
6	6'0" x 8'0" 1/2" SWING
7	6'0" x 8'0" 1/2" SWING
8	6'0" x 8'0" 1/2" SWING
9	6'0" x 8'0" 1/2" SWING
10	6'0" x 8'0" 1/2" SWING
11	6'0" x 8'0" 1/2" SWING
12	6'0" x 8'0" 1/2" SWING
13	6'0" x 8'0" 1/2" SWING
14	6'0" x 8'0" 1/2" SWING
15	6'0" x 8'0" 1/2" SWING
16	6'0" x 8'0" 1/2" SWING
17	6'0" x 8'0" 1/2" SWING
18	6'0" x 8'0" 1/2" SWING
19	6'0" x 8'0" 1/2" SWING
20	6'0" x 8'0" 1/2" SWING
21	6'0" x 8'0" 1/2" SWING
22	6'0" x 8'0" 1/2" SWING
23	6'0" x 8'0" 1/2" SWING
24	6'0" x 8'0" 1/2" SWING
25	6'0" x 8'0" 1/2" SWING
26	6'0" x 8'0" 1/2" SWING
27	6'0" x 8'0" 1/2" SWING
28	6'0" x 8'0" 1/2" SWING
29	6'0" x 8'0" 1/2" SWING
30	6'0" x 8'0" 1/2" SWING

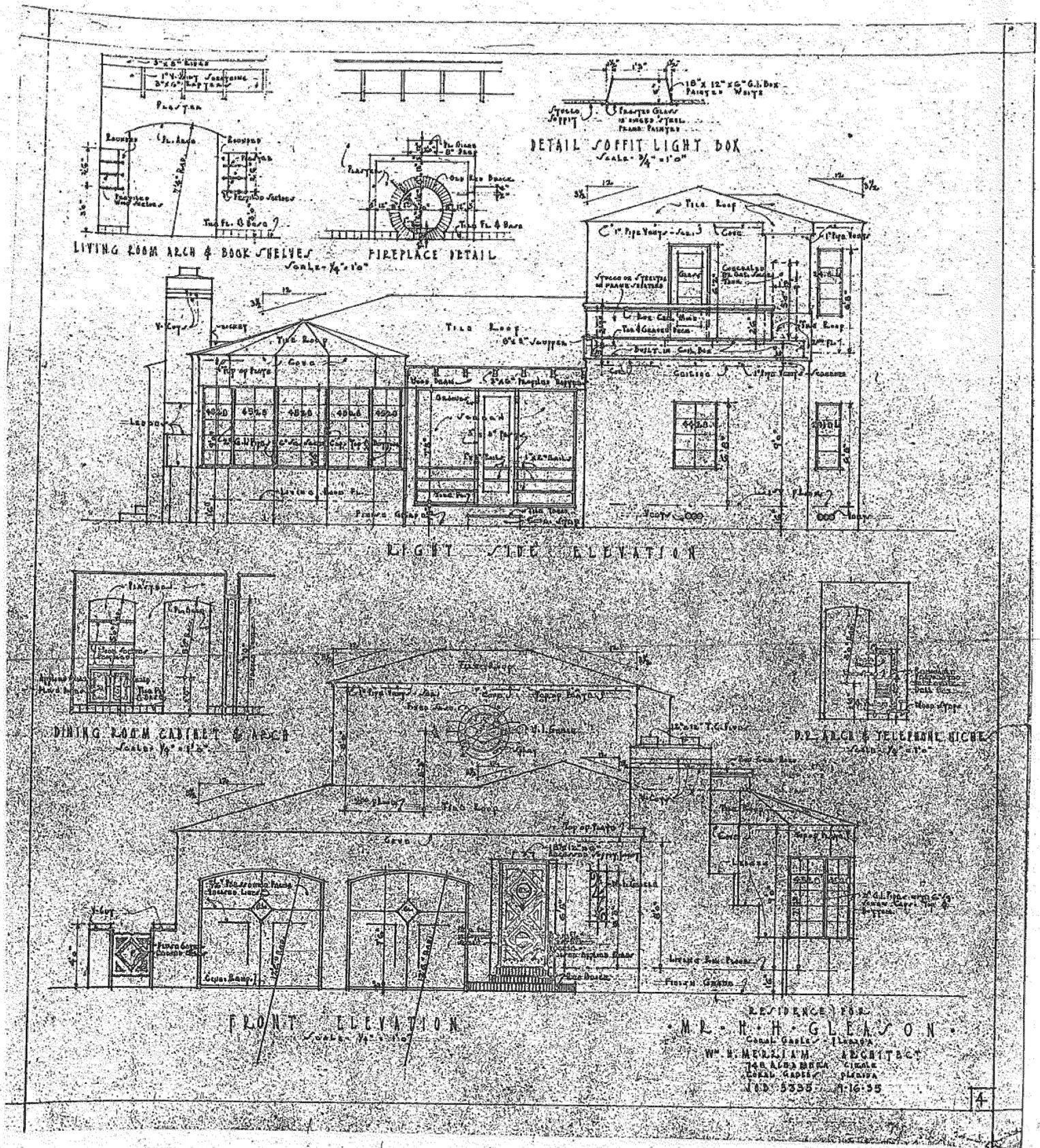


SECOND FLOOR & ROOF PLAN
Scale - 1/4" = 1'-0"

PREPARED FOR
MR. H. H. GLEASON
CORAL GABLES - FLORIDA
W. B. MERRILL ARCHITECT
100 ALHAMBRA AVENUE
CORAL GABLES - FLORIDA
JOB 3335 10-16-35

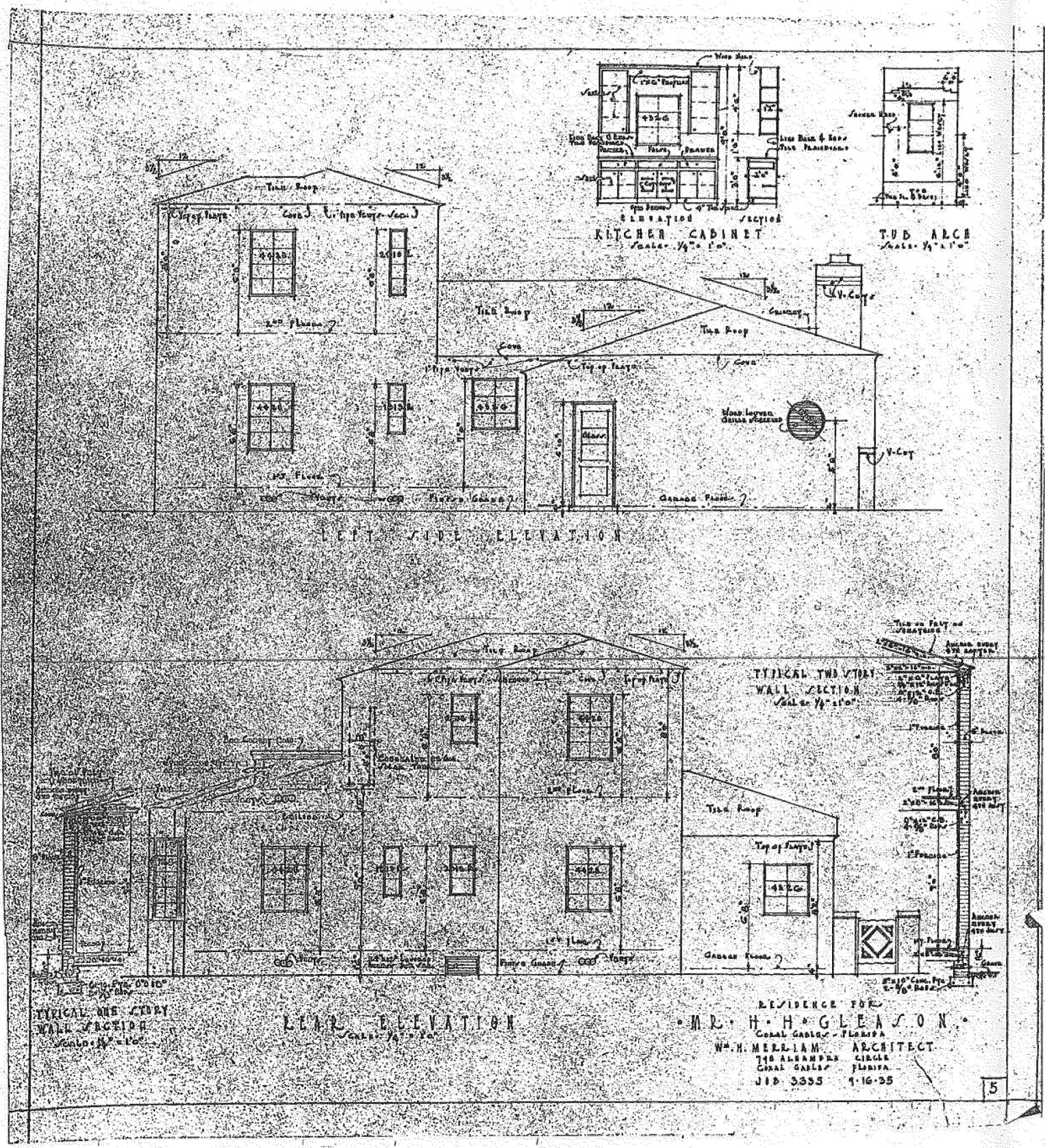
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RESIDENCE FOR
M. L. H. H. GLEASON
Coral Gables, Florida
W. H. MERRILL, ARCHT. & BLDG.
CORPORATION
CORAL GABLES, FLORIDA
JOB 5335 7-16-35

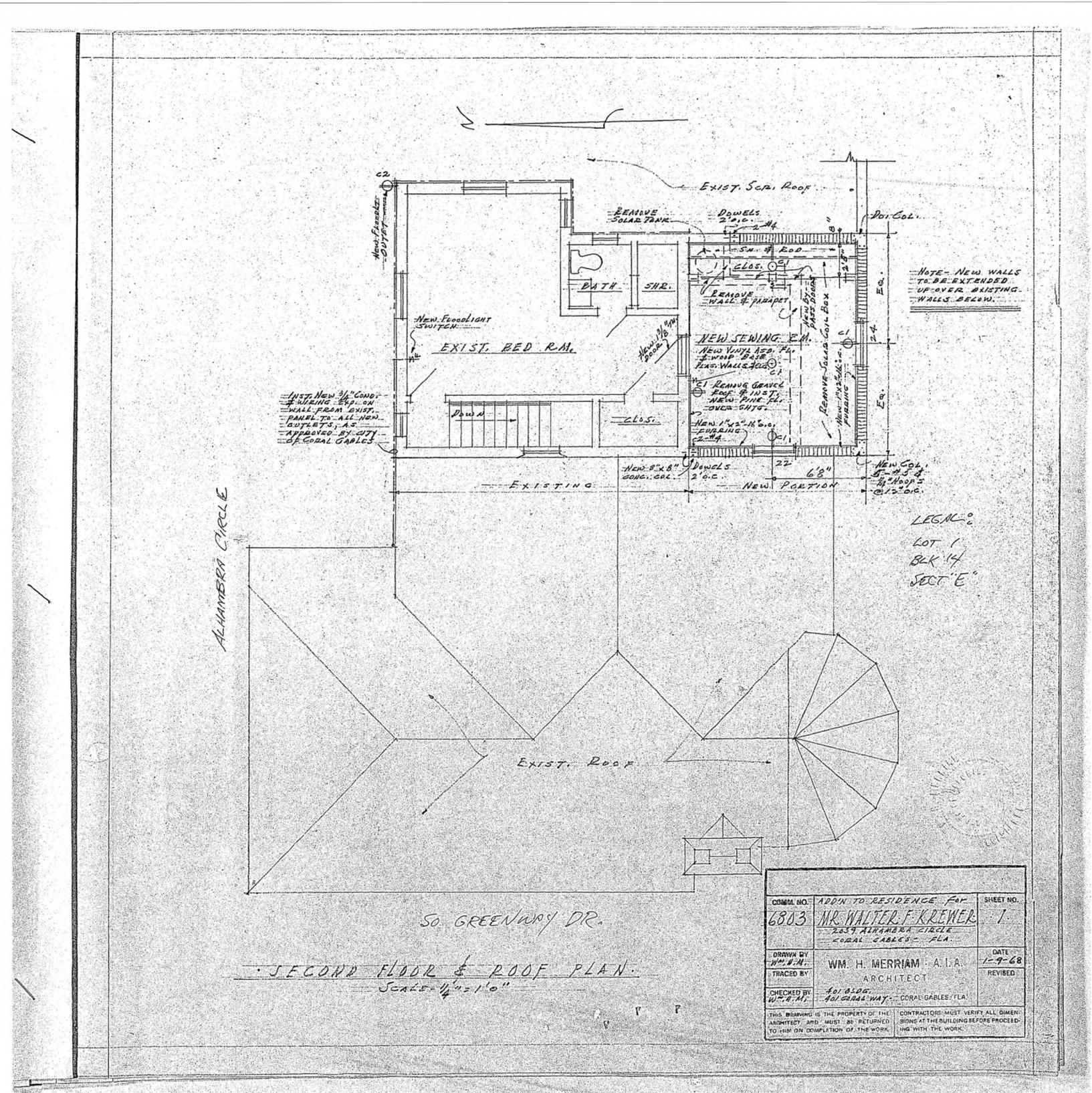
5056



RESIDENCE FOR
MR. H. H. GLEASON
CORAL GABLES - FLORIDA
W. H. MERLIAM ARCHITECT
248 ALHAMBRA CIRCLE
CORAL GABLES FLORIDA
JIB 3355 1-16-25

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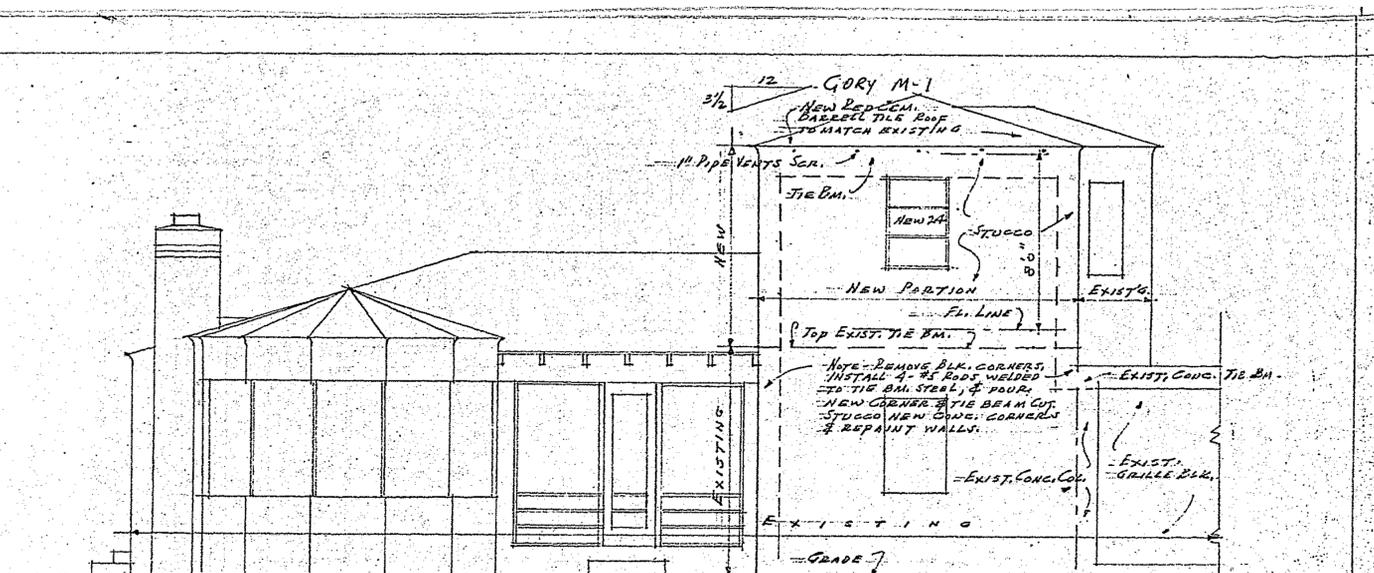


COMM. NO. 6803	ADDN TO RESIDENCE FOR MR. WALTER F. KREWER 2039 ALHAMBRA CIRCLE CORAL GABLES - FLA.	SHEET NO. 1
DRAWN BY W.M.H.	WM. H. MERRIAM, A.I.A. ARCHITECT	DATE 1-9-68
CHECKED BY W.M.H.	401 BLDG. 401 GREENWAY - CORAL GABLES, FLA.	REVISED

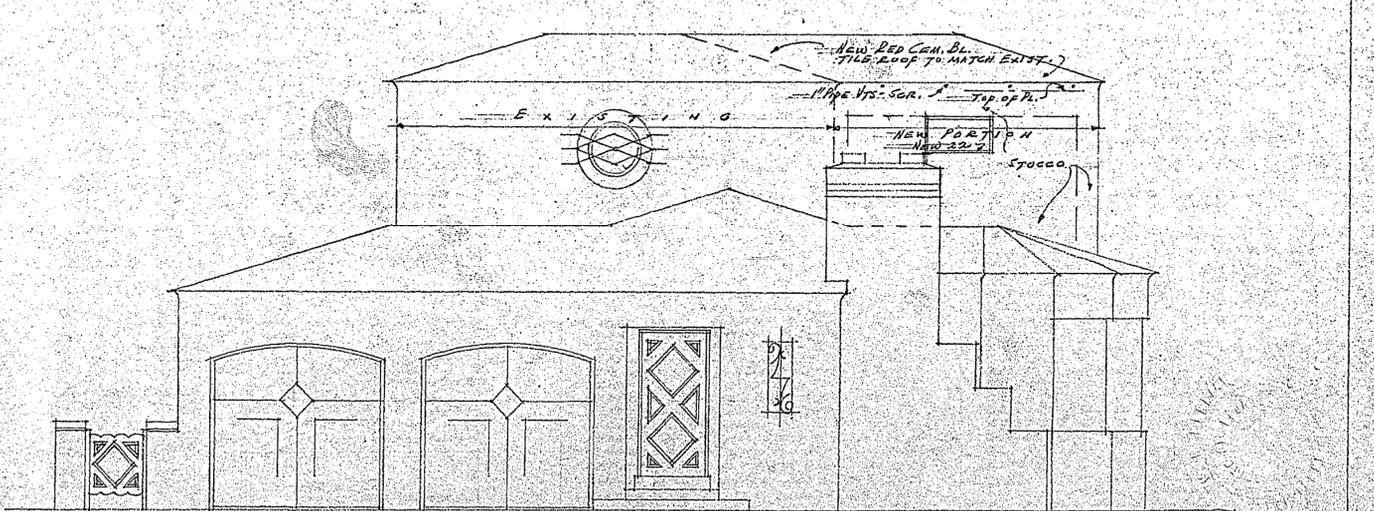
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19794 B

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RIGHT SIDE ELEVATION

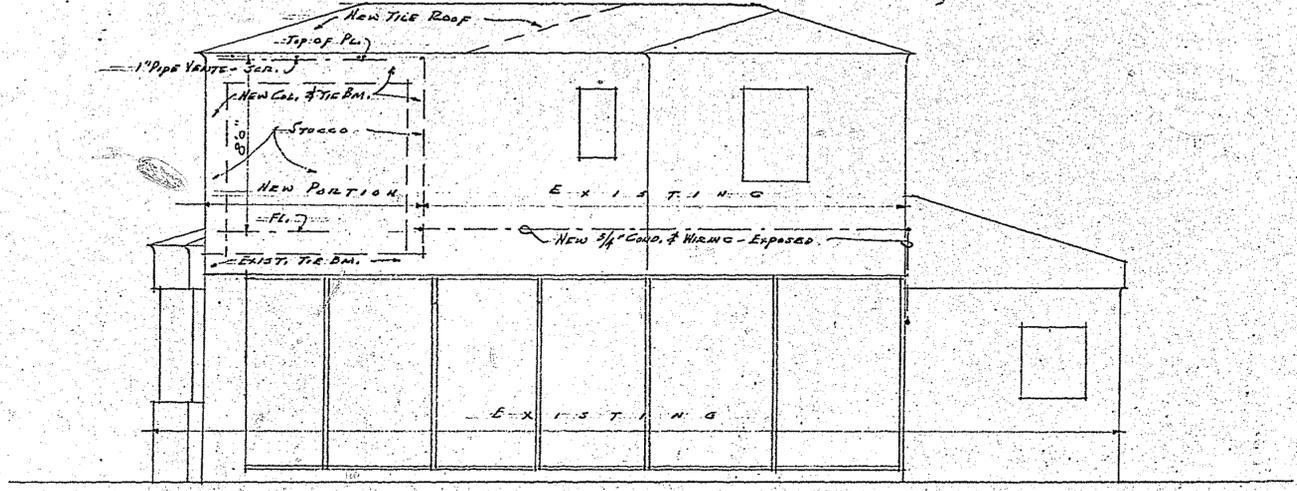


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

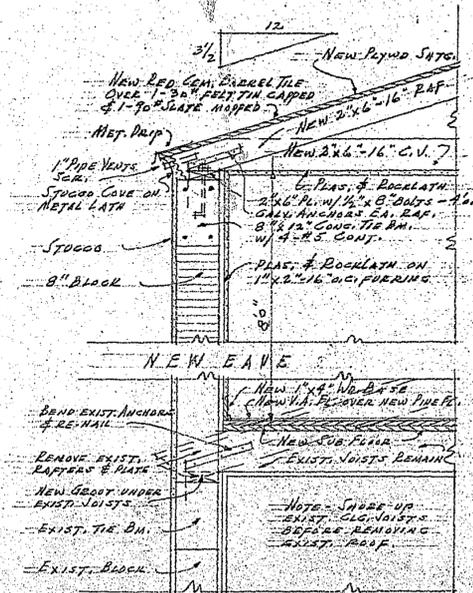
COMB. NO.	ADDN. TO RESIDENCE FOR 6803 MR. WALTER F. KREWER	SHEET NO.	2
DRAWN BY	W.M. HERRIAM	DATE	7-9-68
TRACED BY	W.M. HERRIAM A.I.A.	REVISED	
CHECKED BY	W.M. HERRIAM ARCHITECT		
	401 P.O. BOX 107 - CORAL GABLES, FLA.		

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19794 B



REAR ELEVATION SCALE - 1/4" = 1'-0"



NEW WALL SECTION SCALE - 3/4" = 1'-0"

SPECIFICATION NOTES CONT'D

- 7- WILLOWBERRY - FURNISH & INSTALL ALL NEW WIND BASE, TRIM, FINE FLOOR, DOORS & FRAMES, AS REQUIRED.
- 10- HARDWARE - FURNISH & INSTALL ALL NEW HARDWARE REQUIRED, TO MATCH EXISTING.
- 11- WINDOWS - FURNISH & INSTALL COMMUNITY GRADE ALUMINUM AWNING WINDOWS, COMPLETE WITH OPERATORS & SCREENS, ALL SECURELY ANCHORED & CALLED IN PLACE.
- 12- TILE STUBS - FURNISH & INSTALL ALL CERAMIC BULL NOSED TILE WINDOW STUBS, COLOR AS SELECTED BY OWNER.
- 13- PAINTING - FURNISH & INSTALL ALL EXTERIOR & INTERIOR PAINTING IN GOOD WORKMANLIKE MANNER, FREE FROM PRICKS, RUNS, & HOLIDAYS. ALL PAINT SHALL BE OF APPROVED MANUFACTURE, & SHALL NOT BE DILUTED WITH MINERAL SPIRITS. ALL STUCCO PAINT SHALL MATCH EXISTING MATERIAL, TWO COAT WORK. ALL INTERIOR PLASTER SHALL RECEIVE TWO COATS PVA, & ACRYLIC SEMI GLOSS ALSO ALL INTERIOR WOOD WORK (SAND BETWEEN COATS).
- 14- ELECTRIC - FURNISH & INSTALL ALL NEW CONDUIT & WIRING, SWITCHES & RECEPTACLES, FOR NEW SEWING ROOM AS SHOWN, ALSO NEW FLOOD LIGHT OUTLET & SWITCH. THIS NEW WORK SHALL BE FED FROM EXISTING PANEL IN GARAGE, & SHALL BE EXPOSED ON EXTERIOR OF BUILDING AS NOTED, USING CONDULET FITTINGS AT CORNERS. IF A NEW PANEL IS REQUIRED, FURNISH & INSTALL NEW 4 CIRCUIT PANEL, CONNECTED TO EXISTING PANEL, ALL AS APPROVED BY CITY OF CORAL GABLES. OWNER WILL FURNISH ALL NEW LIGHT FIXTURES & LAMPS, INCLUDING FLOOD LIGHT, BUT THIS CONTRACTOR SHALL INSTALL SAME.
- 15- GUARANTEES - ALL WORKMANSHIP & MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION & ACCEPTANCE.

SPECIFICATION NOTES

- 1- TEARING OUT - DO ALL TEARING OUT IN EXTERIOR MANNER, PROTECTING ALL FINISHED ROOMS ADJACENT. DO ALL SHADING REQUIRED.
- 2- CUTTING & PATCHING - DO ALL CUTTING & PATCHING FOR ALL TRADES.
- 3- REMOVAL WORK - REMOVE EXISTING SOLAR HEATER TANK & COILBOX, INCLUDING ALL PIPING IN CONNECTION THEREWITH, CAP ALL REMAINING PIPING. REMOVE EXISTING SODAS BOOTS, PARAPETS, WALL & ROUND SOLAR TANK, & FILL GRAVEL DECK AND FLASHING.
- 4- CONCRETE & STEEL - FURNISH & INSTALL ALL CONCRETE & REINFORCING STEEL REQUIRED, ALL PROPERLY PLACED & ANCHORED. CONCRETE SHALL BE 2500 PSI.
- 5- MASONRY - FURNISH & INSTALL ALL CONCRETE BLOCK & MORTAR. GLAZE ALL JOINTS TIGHT & POINT UP ALL BROKEN BLOCK FROM EXTERIOR BEFORE STUCCOING.
- 6- LATH, PLASTER, & STUCCO - FURNISH & INSTALL ALL ROCKLATH, METAL LATH, STUCCO PLASTER & STUCCO. STUCCO & PLASTER TEXTURE TO MATCH EXISTING WORK. ALL STUCCO SHALL BE WATERPROOFED.
- 7- ROOFING & TILE - FURNISH & INSTALL ALL ROOFING FELTS, FLASHING & DRIPS. COVER ALL NEW ROOF AREA WITH 1/2\"/>

COMM. NO.	ADDN TO RESIDENCE For	SHEET NO.
6803	MR. WALTER EKREWER	3
DRAWN BY	DATE	REVISED
W. H. MERRIAM A.I.A.	1-9-68	
CHECKED BY	DATE	REVISED
W. H. MERRIAM A.I.A.		

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GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 2023 8th EDITION AND ALL LOCAL ORDINANCES GOVERNING.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY RELATED O.S.H.A. REQUIREMENTS DURING CONSTRUCTION.
4. ALL WORK SHALL BE PERFORMED BY A LICENSED AND INSURED STATE CERTIFIED GENERAL CONTRACTOR OR BY THE OWNER IF APPROVED BY THE LOCAL BUILDING DEPARTMENT OFFICIAL.

ENVIRONMENTAL PROTECTION:

1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE ALLOWED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
2. TRAFFIC MAINTENANCE: CONDUCT REMOVAL OPERATIONS TO MAINTAIN TRAFFIC ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MATERIALS INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. USE METHODS APPROVED BY AIE BEFORE BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST IS NOT ALLOWED.

SCOPE OF WORK:

THE WORK ENTAILS AN EXISTING (2-STORY) SINGLE - FAMILY RESIDENCE WITH A NEW AREA ADDITION AND NEW LANDSCAPING.

Site Plan Notes:

1. APPROACHES TO BE PERPENDICULAR TO PL.
2. APPROACHES TO MAINTAIN 5 LF. CLEARANCE FROM TREES
3. MAXIMUM TURN -OUT RADIUS 10'-0" MINIMUM 5'-0"
4. ALL RAINWATER TO BE CONTAINED WITHIN PROPERTY
5. ALL SETBACKS ARE EXISTING TO REMAIN

Visibility Triangle Note:

THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE ESTABLISHED GRADE

Pool Safety Barrier Note:

ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH A HOT WIRED EXIT ALARM AS PER F.B.C. R4501.17.1.9. POOL AND POOL DECK IS UNDER A SEPARATE PERMIT AND NOT A PART OF THIS SCOPE OF WORK. IT HAS BEEN SHOWN FOR REFERENCE ONLY. NEW POOL SAFETY BARRIER AROUND NEW POOL AS PER F.B.C. R4501.17 TO BE PROVIDED UNDER POOL PERMIT.

Construction Area Calculations:

CONSTRUCTION AREA CALCULATIONS TO OUTSIDE FACE OF C.M.U. WALLS.	
FIRST FLOOR A/C SPACE	2,508.7 SQUARE FEET
SECOND FLOOR A/C SPACE	1,708.3 SQUARE FEET
TOTAL A/C SPACE	4,217.0 SQUARE FEET
2 CAR GARAGE	455.8 SQUARE FEET
COVERED ENTRY	11.4 SQUARE FEET
COVERED TERRACE	490.7 SQUARE FEET
BALCONY	205.4 SQUARE FEET
TOTAL GROSS SQUARE FEET	5,380.3 SQUARE FEET
TOTAL F.A.R.	4,287.6 SQUARE FEET (MAX ALLOWED 4,289.2)

DRIVEWAY NOTE

DRIVEWAY MUST BE SLOPED TO DRAIN TO PERVIOUS AREA INSIDE PROPERTY. DRIVEWAY APPROACH ALONG WITH 6" THICK SIDEWALK CONTINUITY ACROSS.

CONTRACTOR NOTE:

CONTRACTOR VERIFY ACCESS TO PARKING. REMOVE & REPAIR CURB AS NEEDED

NOTE:

NO TREES IN THE RIGHT OF WAY SHALL BE PLANTED ON TOP OF EXISTING STORM SEWER (FRENCH DRAINS) OR ADJACENT TO CATCH BASINS.

PERMITS NOTE:

- WINDOW & DOORS BY SEPARATE PERMIT
- TRUSS BY SEPARATE PERMIT
- DRIVEWAY BY SEPARATE PERMIT
- ROOFING SYSTEM - SEPARATE PERMIT

TERMITE PROTECTION-F.B.C.-2023

R4409.13.5 TERMITE PROTECTION. ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

RAINWATER NOTE:

ALL RAINWATER MUST BE RETAINED WITHIN PRIVATE PROPERTY.

PROPERTY ADDRESS

2039 ALHAMBRA CIRCLE CORAL GABLES, FL, 33134

LEGAL DESCRIPTION

LOT 1, BLOCK 14, "CORAL GABLES SECTION E", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 13, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

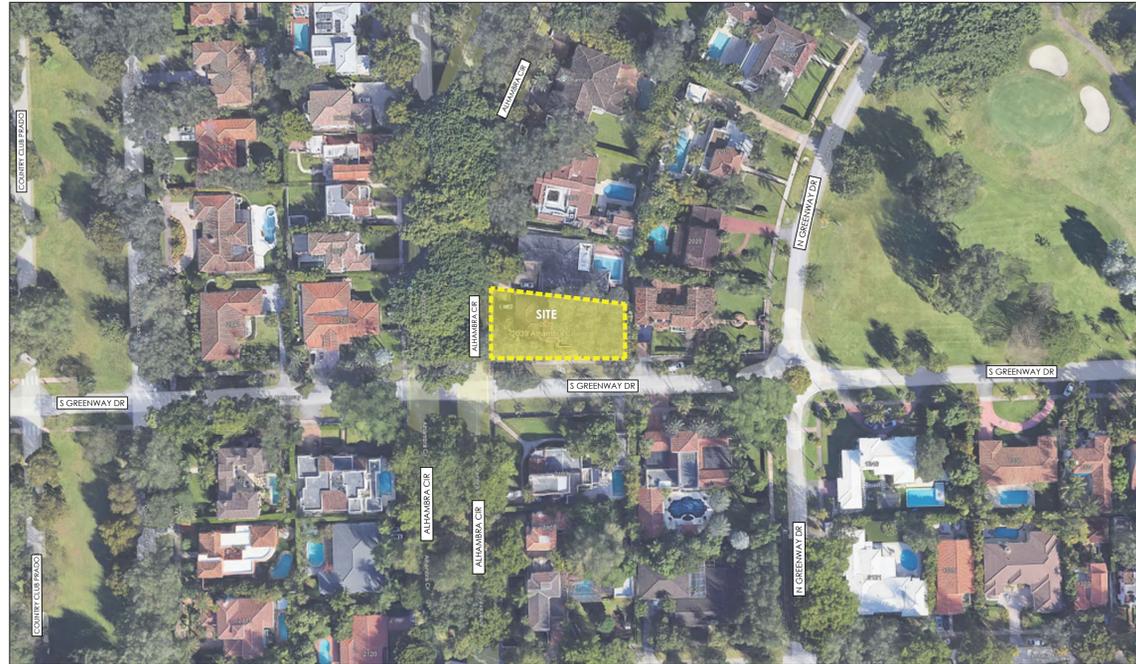
ZONING LEGEND

ZONING:	SFR	
FLOOD ZONE:	X	
NET LAND AREA	10,464.0 Sq. Ft.	
CODE	FBC 2023 RESIDENTIAL 8th EDITION	
	REQUIRED/ALLOWED	PROVIDED
HEIGHT (to 2nd floor t.b.)	25'-0"	21'-0"
LOT COVERAGE	3,662.4 S.F. (35%)	3,456.8 S.F. (33.04%)
PRINCIPAL BUILDING+ ACCESSORY	4,708.8 S.F. (45%)	3,953.2 S.F. (37.78%)
F.A.R.	4,289.2 S.F.	4,287.6 S.F.
	48% FIRST 5,000 S.F.+ 35% SEC OND 5,000 S.F. + 30% REMAINING S.F. = TO. F.A.R.	
SETBACKS		
Front	25'-0"	24'-10" (EXISTING TO REMAIN)
Interior Side	5'-0"	5'-0" (EXISTING TO REMAIN)
Side Street	15'-0"	15'-6" (EXISTING TO REMAIN)
Rear	10'-0"	30'-1"

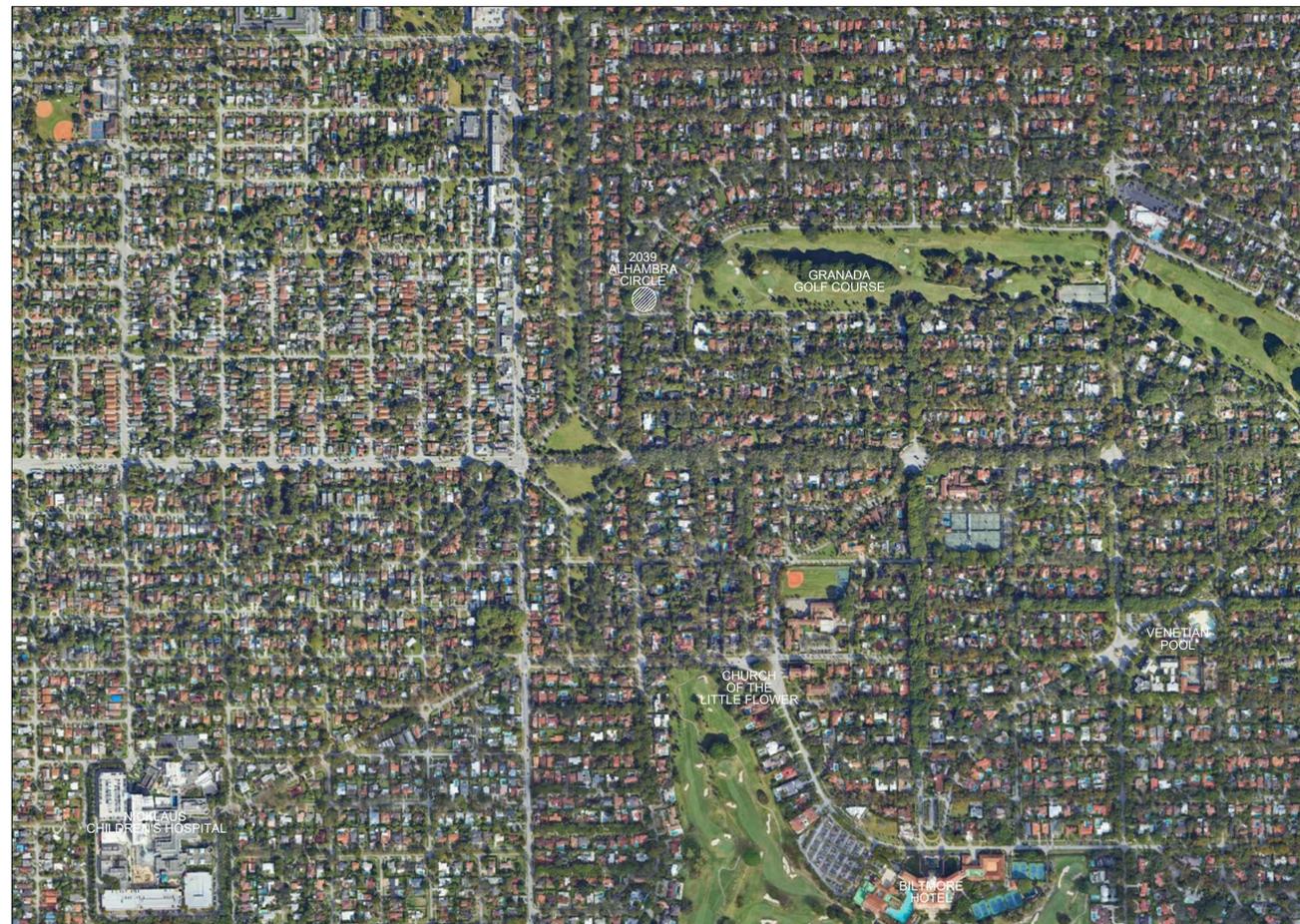
Lot will be graded so as to prevent direct overland discharge of overland discharge of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.

LANDSCAPE & OPEN SPACE

	REQUIRED	PROVIDED
MINIMUM OF 40% OF SITE	4,185.6 Sq. Ft.	5,390.3 Sq. Ft. (51.5%)
20% OF REQD. 40% IN FRONT YARD	837.1 Sq. Ft.	1,424.4 Sq. Ft. (26.4%)



LOCATION PLAN - NEIGHBORHOOD
NTS



GENERAL AREA LOCATION
NTS

PASCUAL PEREZ KILIDDJIAN STARR

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE No. : AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No. : AR 0008254
PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067
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REVISIONS:

OWNER:
CESAR BARON

SFH - ADDITION
2039 ALHAMBRA CIRCLE
CORAL GABLES, FLORIDA 33134

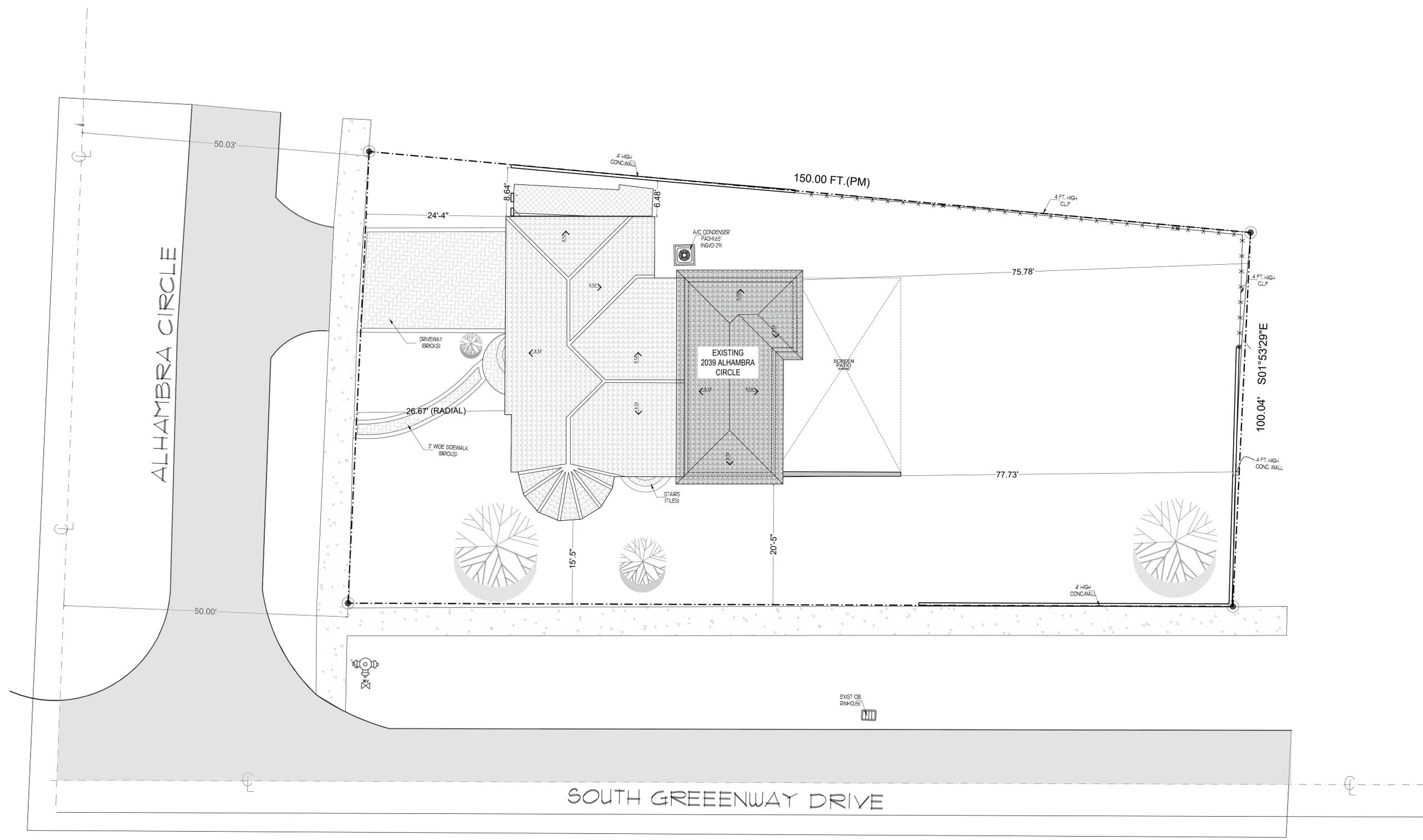
SEAL:

SITE LOCATION

EXISTING	
DATE:	2025-10-09
SCALE:	AS SHOWN
DRAWN BY:	MC
CHECK BY:	PPKS
JOB NO.:	25-48

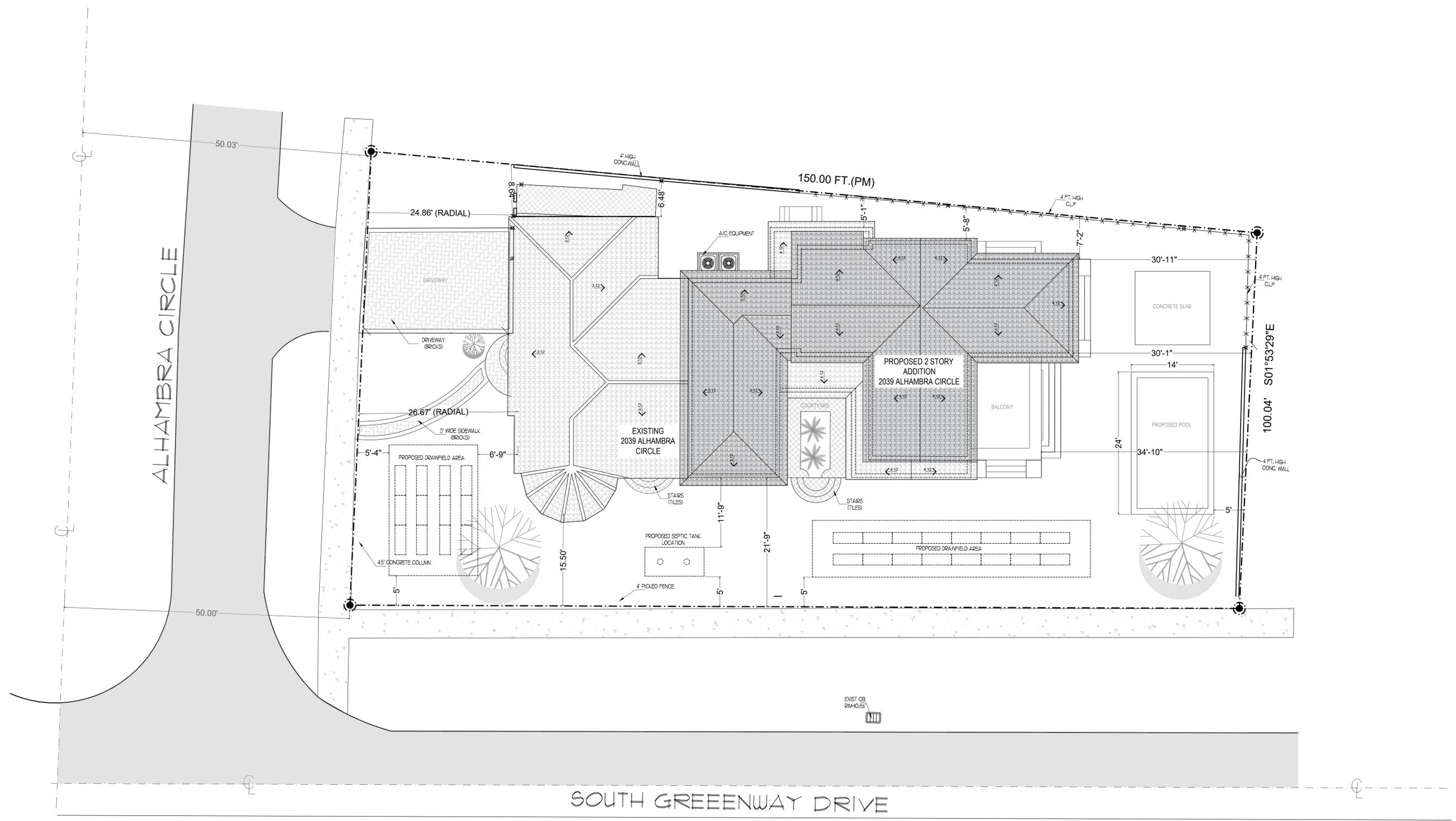
SP-1

SHEET NO.:



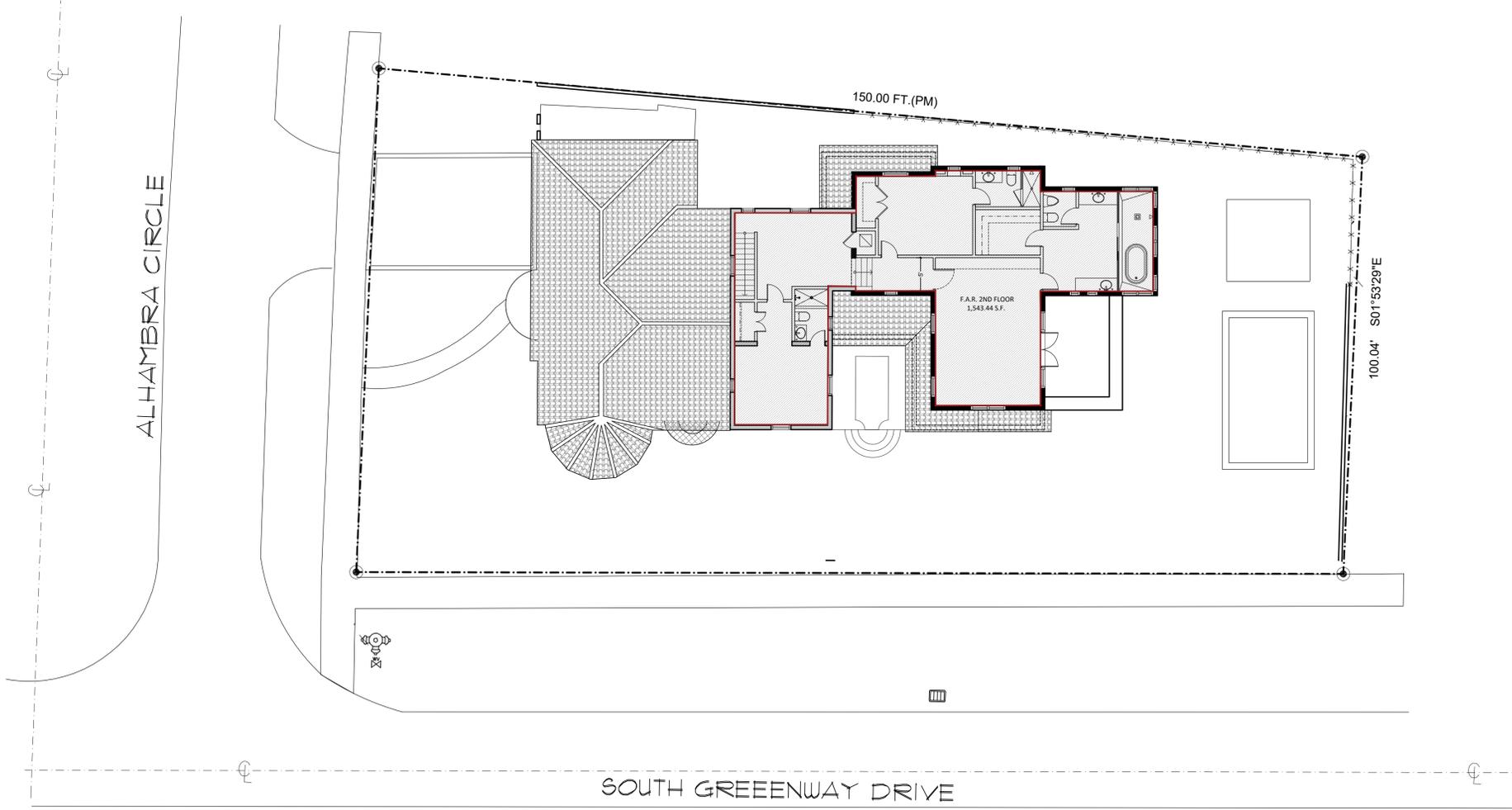
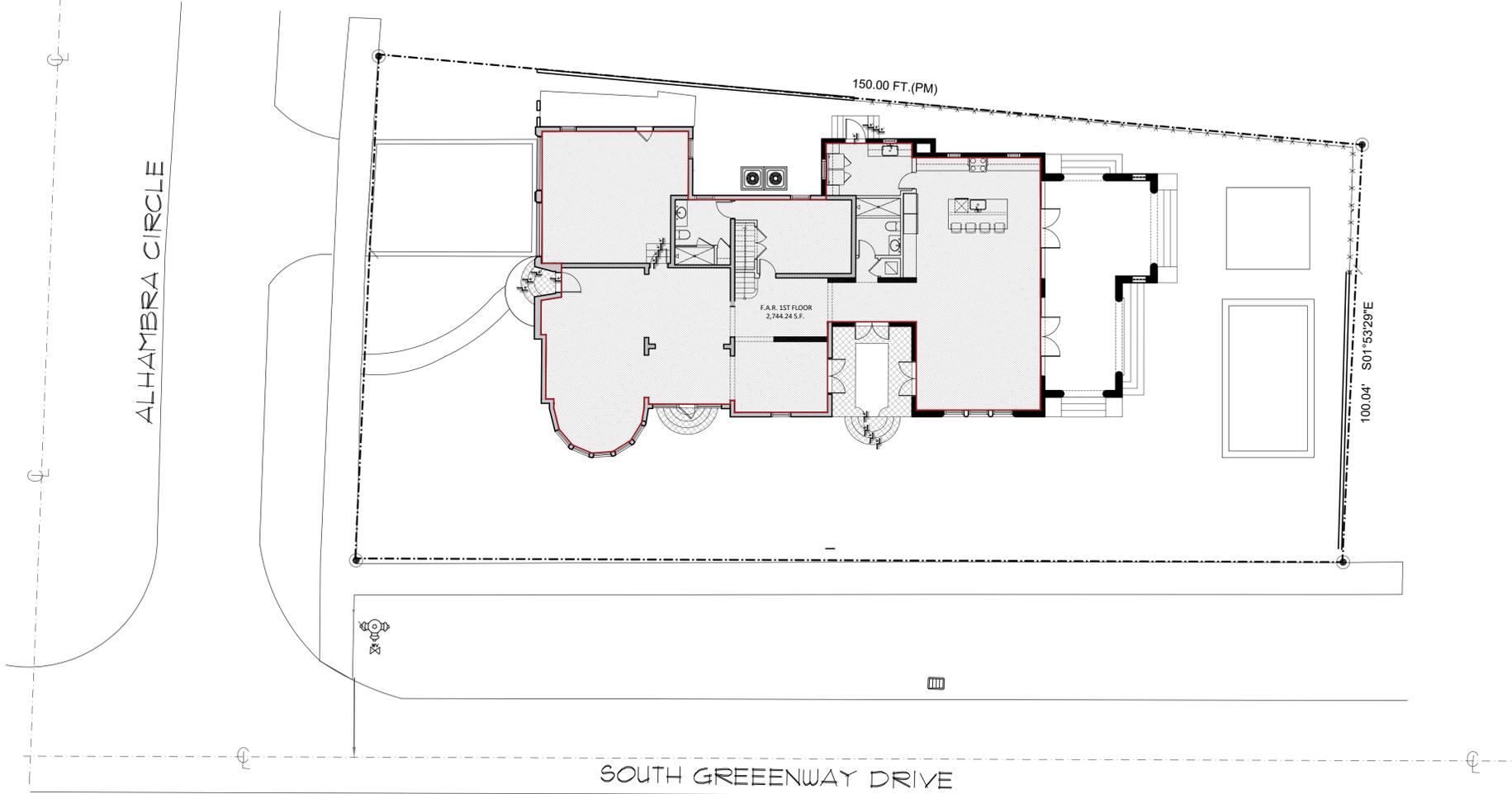
EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

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PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

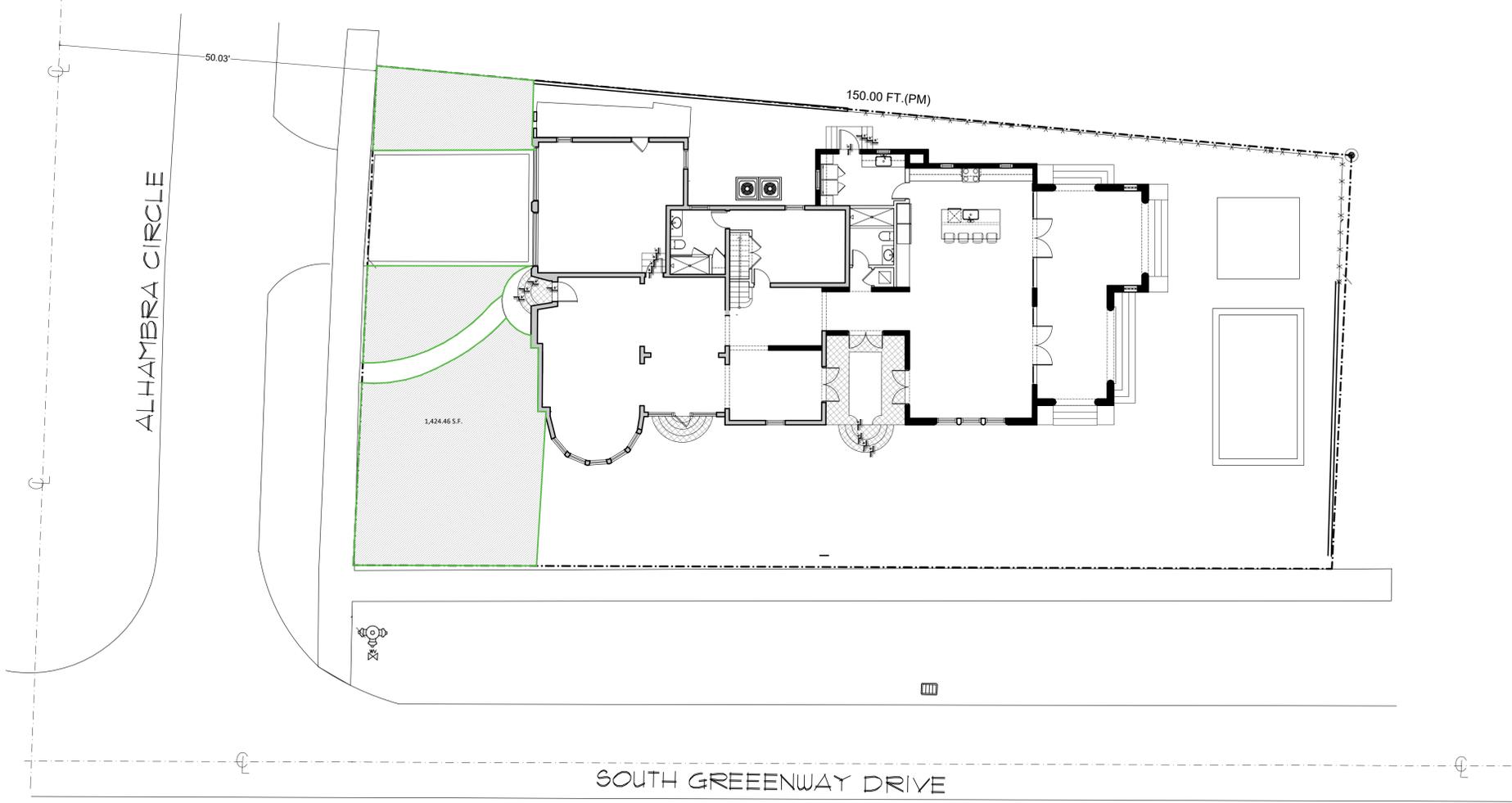
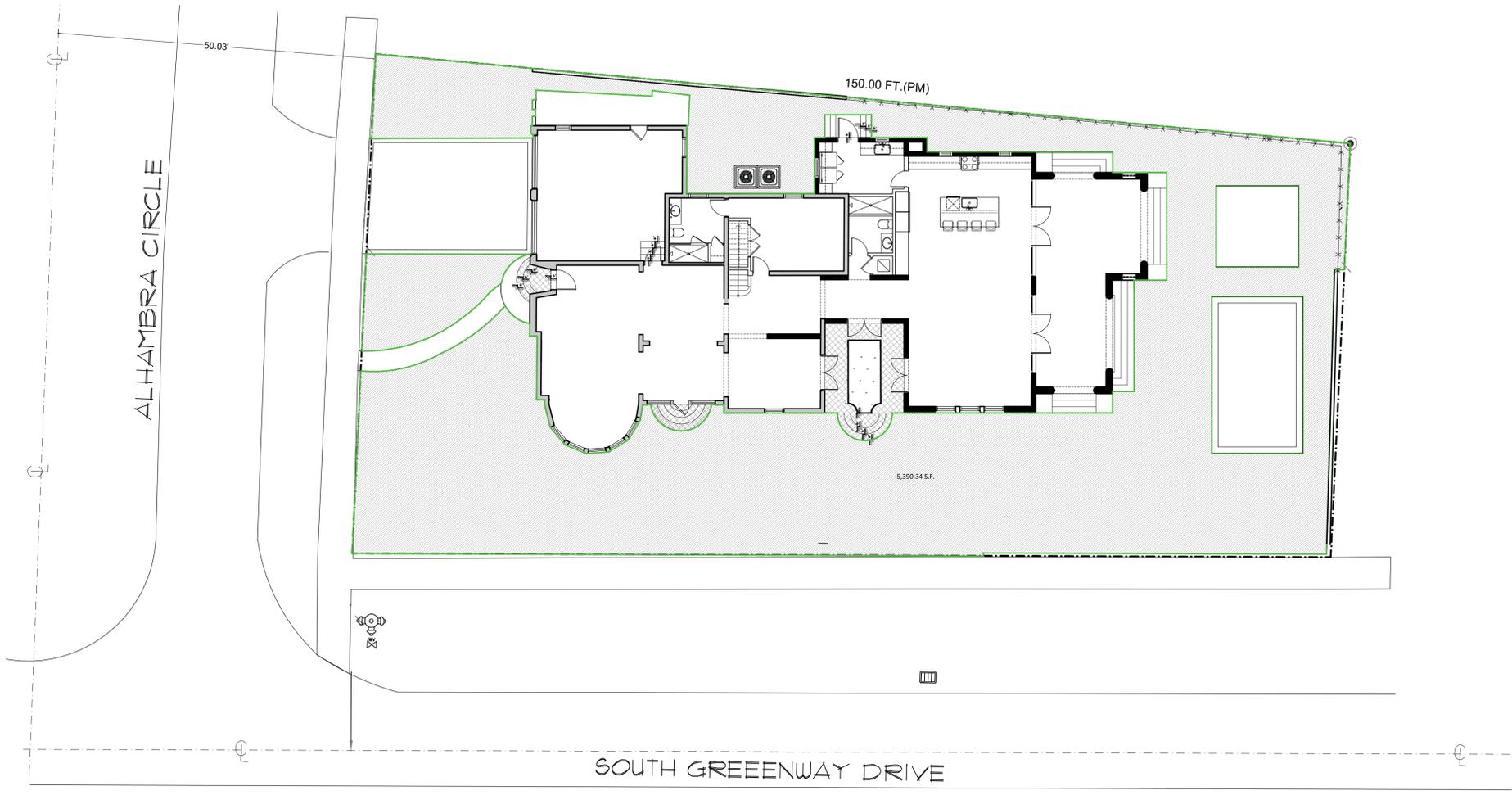
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FAR		
ZONING	SINGLE FAMILY SFR	
NET LAND AREA	10,464 SF	
FAR 48% FIRST 5,000 SF + 35% SECOND 5,000 SF + 30% REMAINING SF = TO FAR		
	REQUIRED / ALLOWED	PROVIDED
FIRST FLOOR		2,744.24 SF
SECOND FLOOR		1,543.44 SF
TOTAL	4,289.20 SF	4,287.68 SF

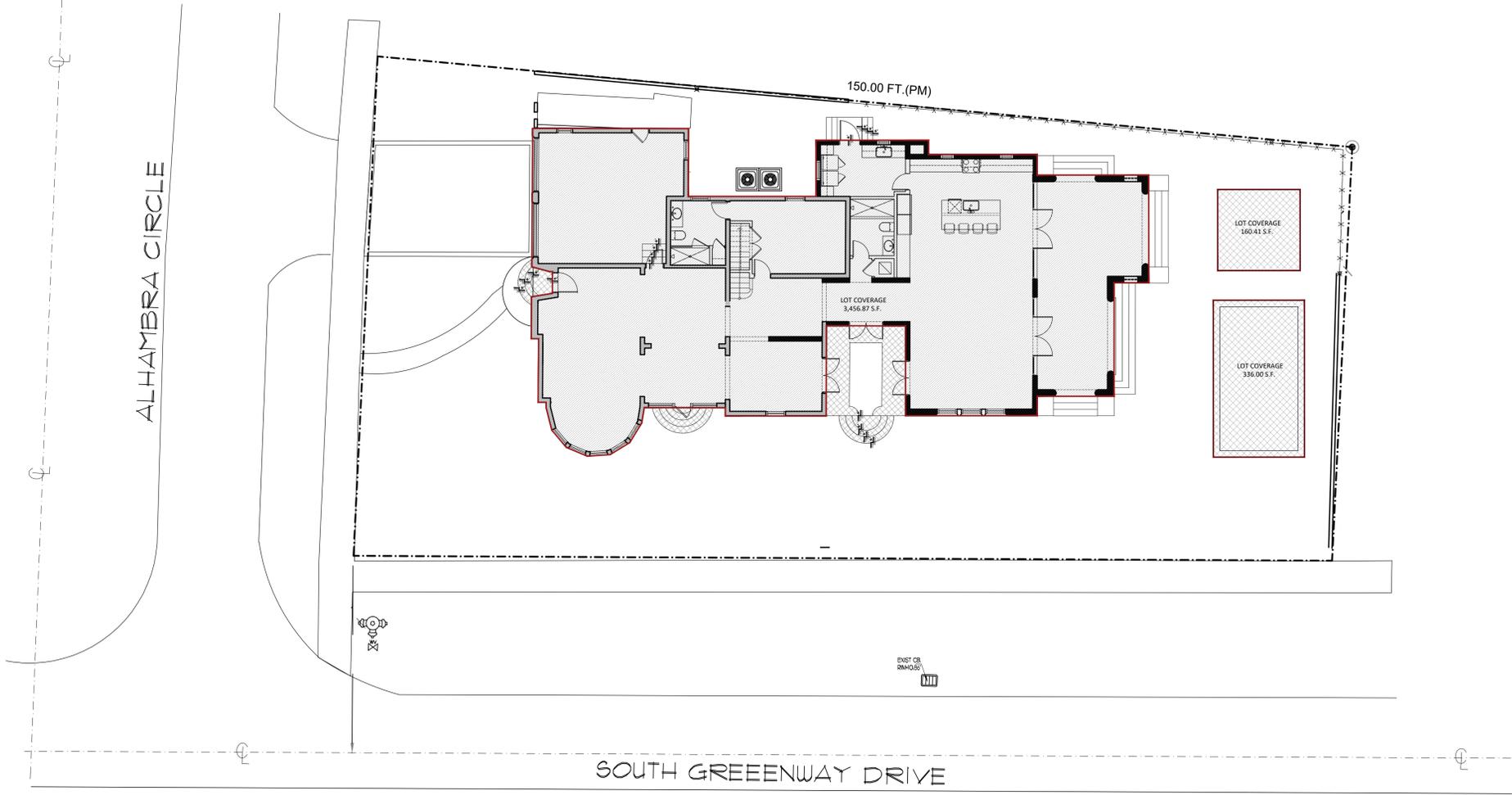
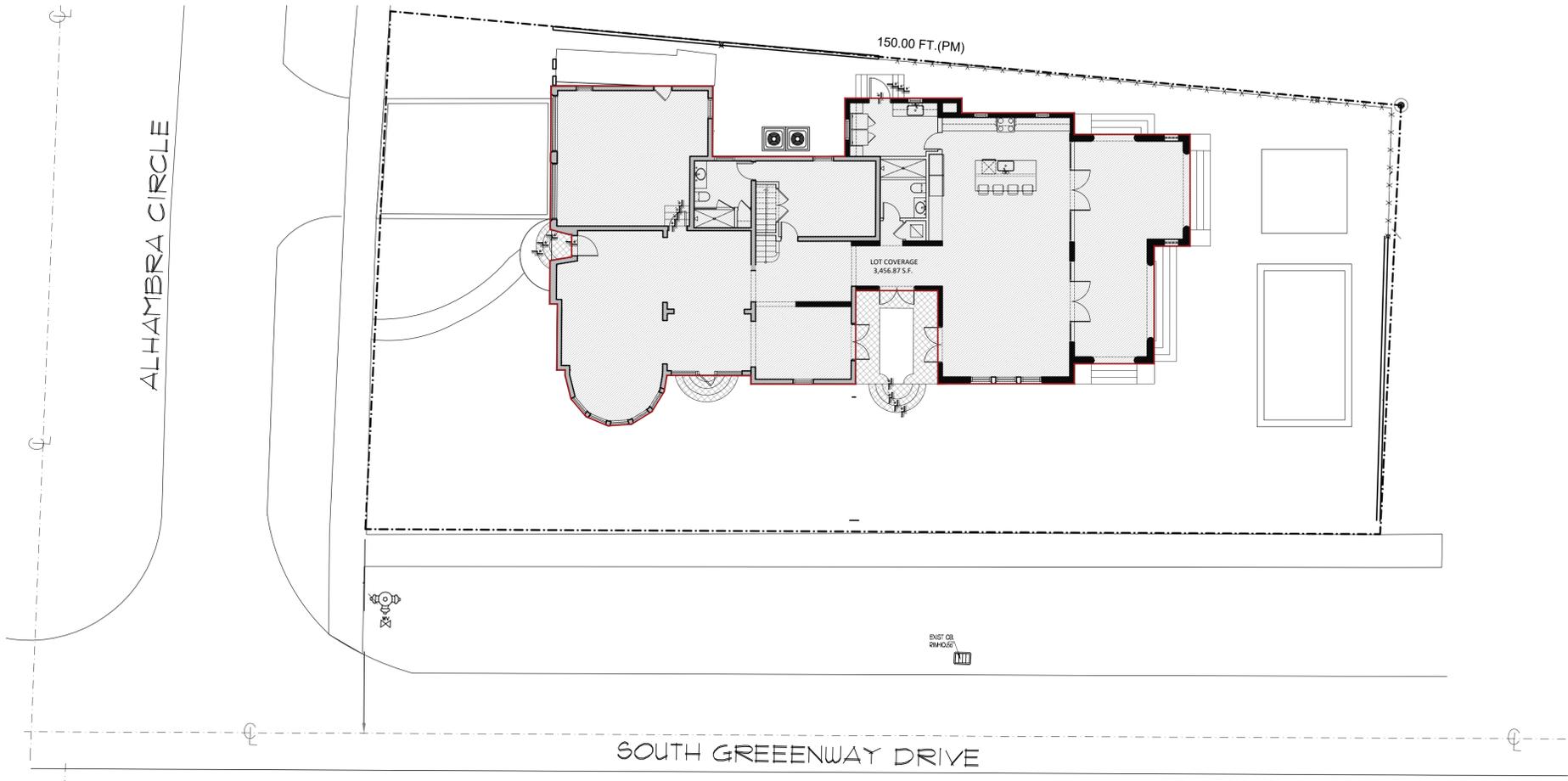
F.A.R. CALCULATIONS
SCALE: 3/32" = 1'-0"

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LANDSCAPE OPEN SPACE				
ZONING	SINGLE FAMILY SFR			
NET LAND AREA	10,464.00 SF			
	REQUIRED / ALLOWED		PROVIDED	
	SF	%	SF	%
MIN. 40% OF SITE	4,185.60	40	5,390.34	51.5
MIN. 20% OF REQD. 40% IN THE FRONT YARD	837.12	20	1,424.46	26.4

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LOT COVERAGE				
ZONING	SINGLE FAMILY SFR			
NET LAND AREA	10,464.00 SF			
LOT COVERAGE	REQUIRED / ALLOWED		PROVIDED	
	SF	%	SF	%
PRINCIPAL BUILDING (MAX 35%)	3,662.40	35	3,456.87	33.04
ACCESSORY			336.00	3.21
			160.41	1.53
PRINCIPAL BUILDING + ACCESSORY (MAX 45%)	4,708.80	45	3,953.28	37.78

LOT COVERAGE CALCULATIONS
 SCALE: 3/32" = 1'-0"

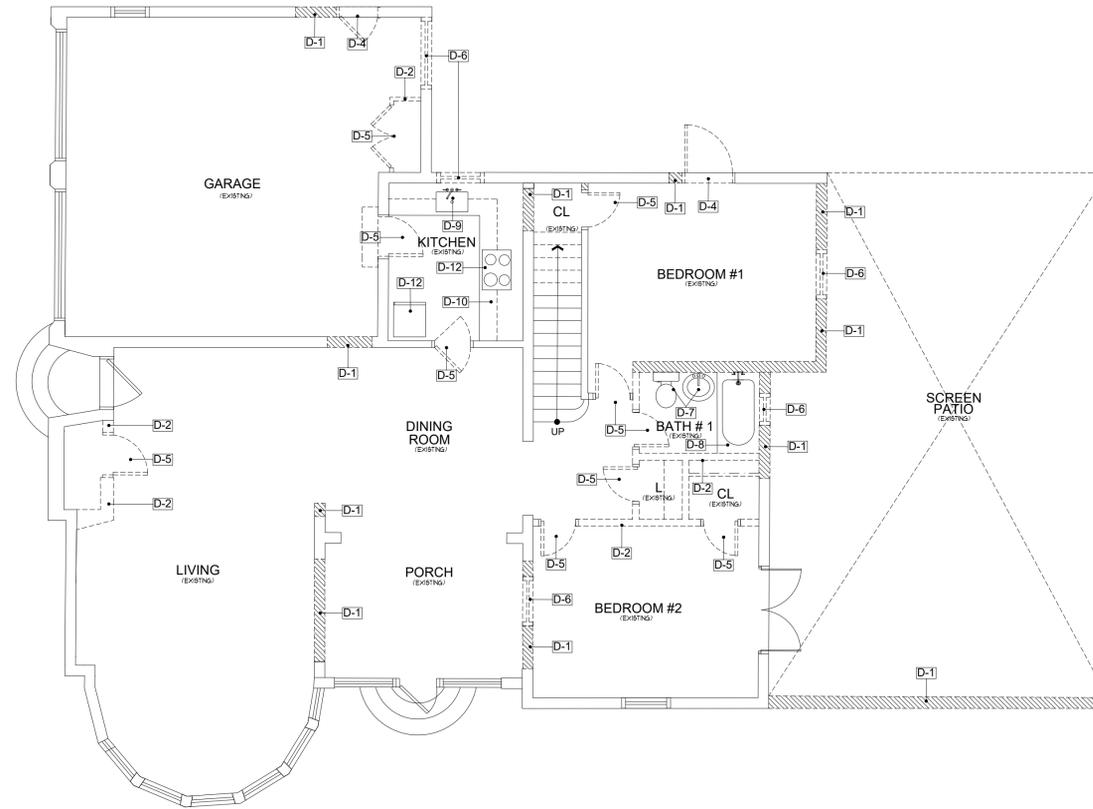
FLOOR LEGEND FOR DEMOLITION		
TYPE	SECTION	DESCRIPTION
D-1		EXISTING INTERIOR & EXTERIOR WALLS TO BE DEMOLISHED
D-2		EXISTING INTERIOR PARTITION TO BE REMOVED
D-3		EXISTING CMU WALL TO REMAIN
D-4		EXISTING EXTERIOR DOORS TO BE REMOVED
D-5		EXISTING INTERIOR DOORS TO BE REMOVED
D-6		EXISTING WINDOWS TO BE REMOVED
D-7		EXISTING TOILET/SINK TO BE REMOVED
D-8		EXISTING BATHTUB/SHOWER TO BE REMOVED
D-9		EXISTING SINK TO BE REMOVED
D-10		EXISTING COUNTER AND CABINETS TO BE DEMOLISHED
D-11		EXISTING SCREEN PATIO TO BE REMOVED
D-12		EXISTING APPLIANCES TO BE REMOVED

GENERAL DEMOLITION NOTES:

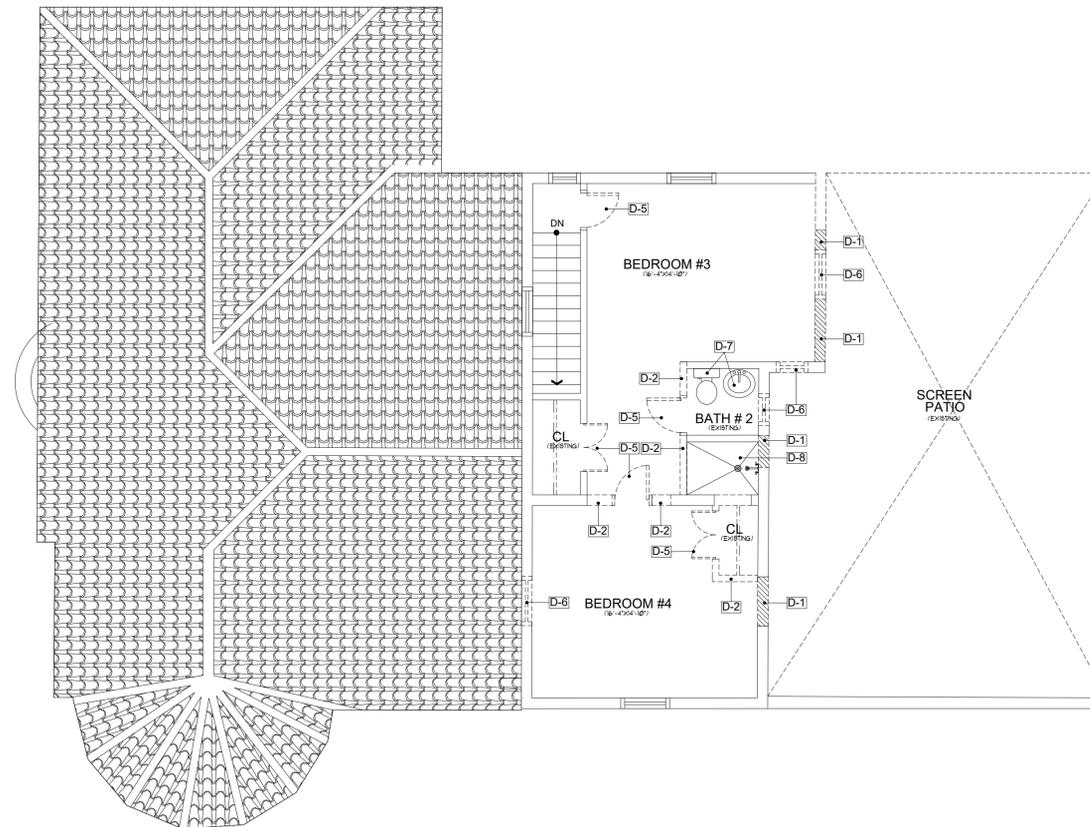
- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. THE OWNER AND CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.
- NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE PROJECT W/ THE INTENT OF IDENTIFYING POSSIBLE ITEM, NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL AND/OR RELOCATION.
- CUT, REMOVE, PATCH, ALTER AND REFINISH EXISTING CONSTRUCTION AS RESULT OF DEMOLITION AND AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
- PROVIDE SAFETY FEATURES DURING WORK AS REQUIRED BY APPLICABLE CODES, RULES AND REGULATIONS.
- THE OWNER AND GENERAL CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ARCHITECT / ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- THE OWNER AND GENERAL CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- THE OWNER AND CONTRACTOR SHALL INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES (MECHANICAL, PLUMBING AND/OR ELECTRICAL).
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGE BY DEMOLITION AND/OR NEW WORK AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
- ALL DEMOLITION IS DENOTED BY NOTES.
- THE OWNER AND GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.

NOTE:

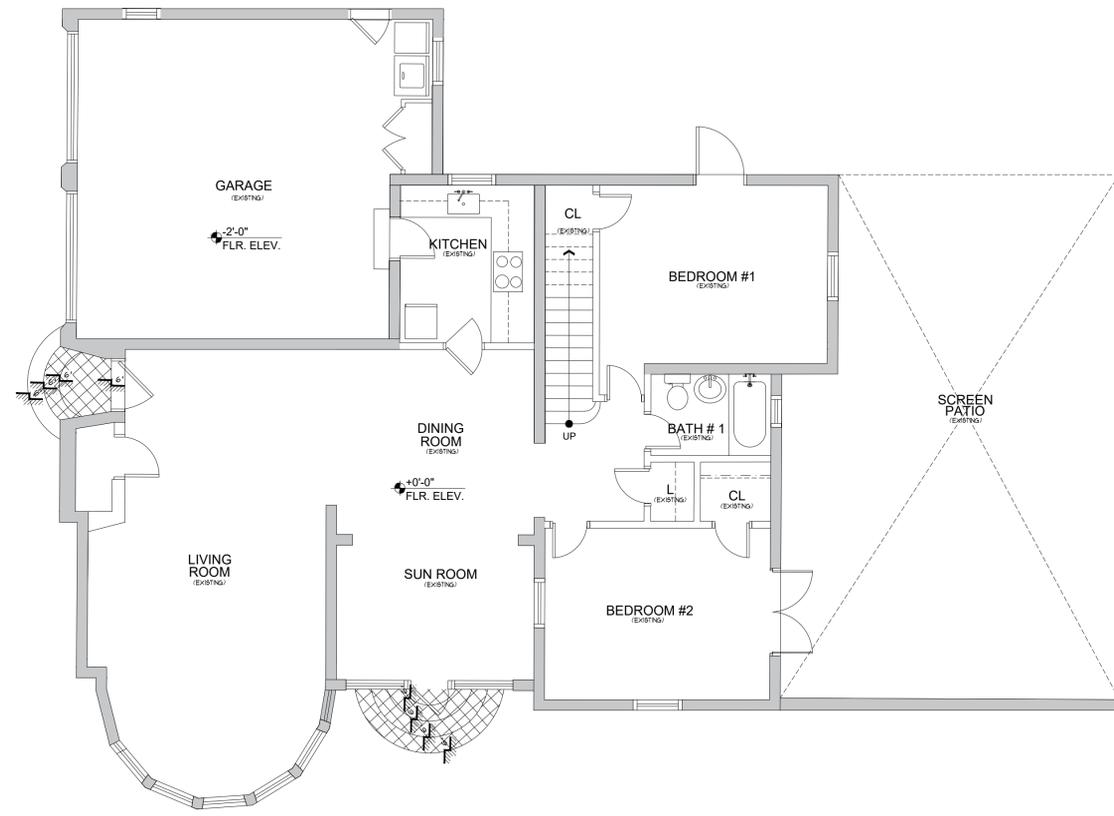
IF NECESSARY CEILING SHALL BE REMOVED PRIOR TO NEW CONSTRUCTION FOR VISUAL OBSERVATION OF EXISTING STRUCTURE CONDITION (TRUSSES). STRUCTURAL REPAIRS AND ENHANCEMENTS OF EXISTING ROOF STRUCTURE SHALL BE IN ACCORDING TO VISUAL OBSERVATION CONCLUSIONS BY QUALIFIED PROFESSIONAL.



DEMOLITION FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

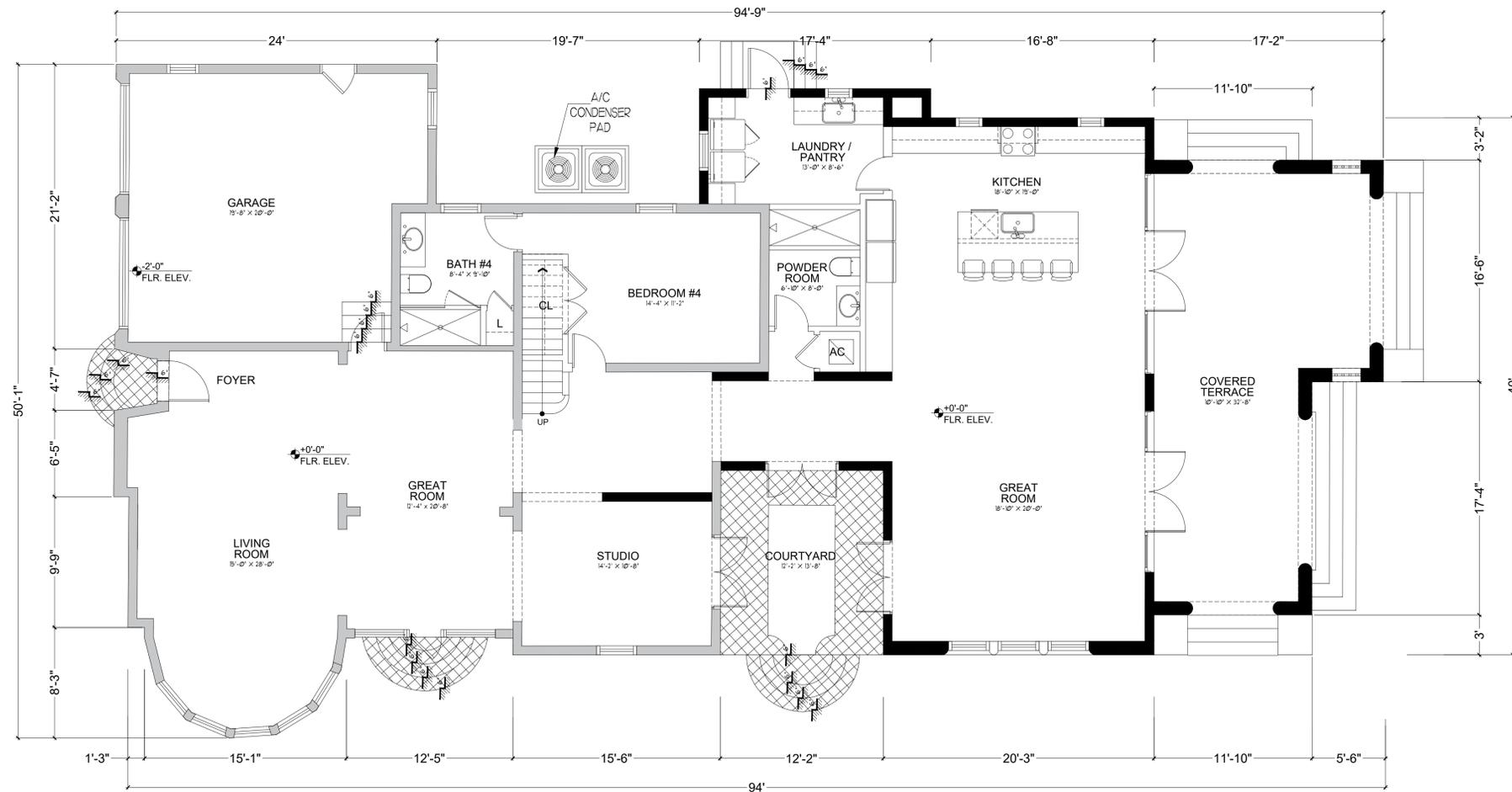


DEMOLITION SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



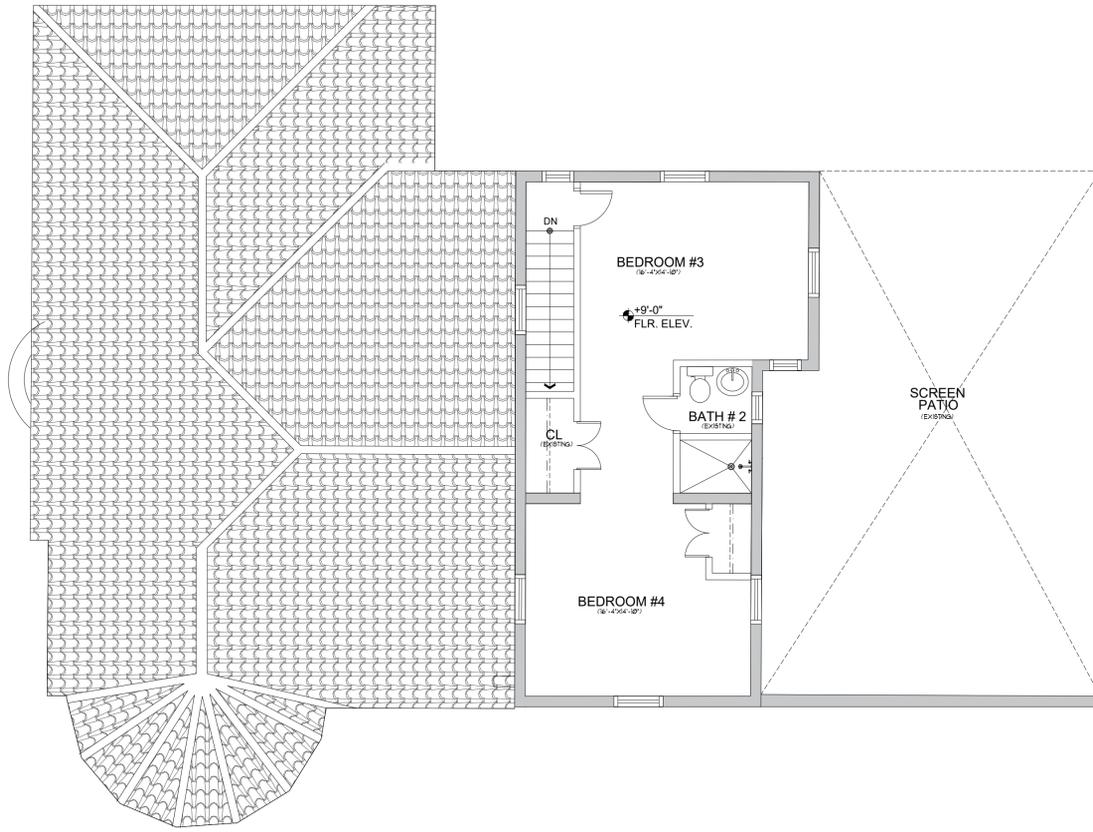
EXISTING FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

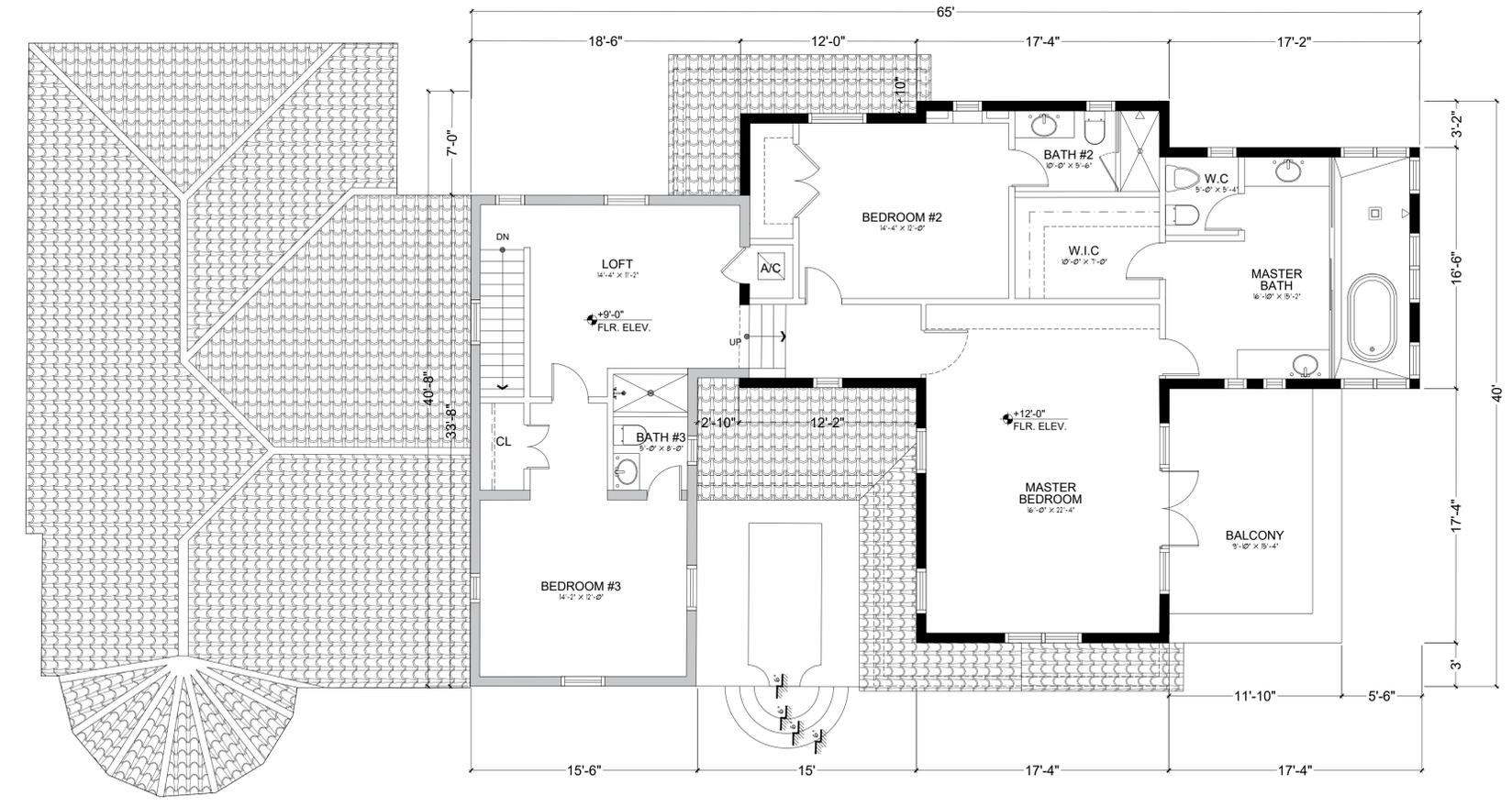


PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

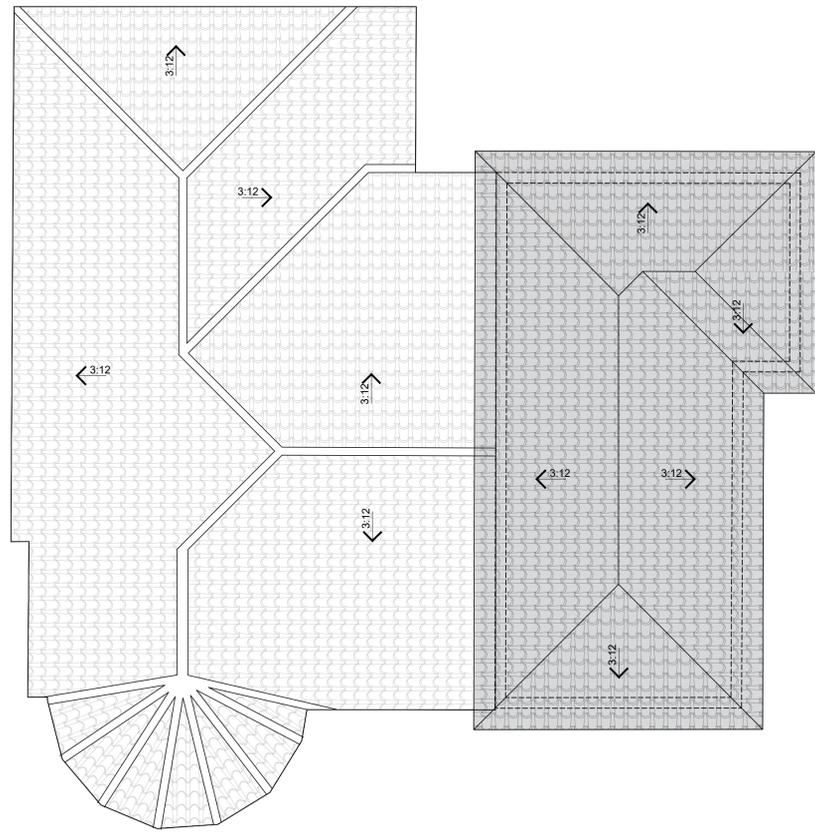


EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

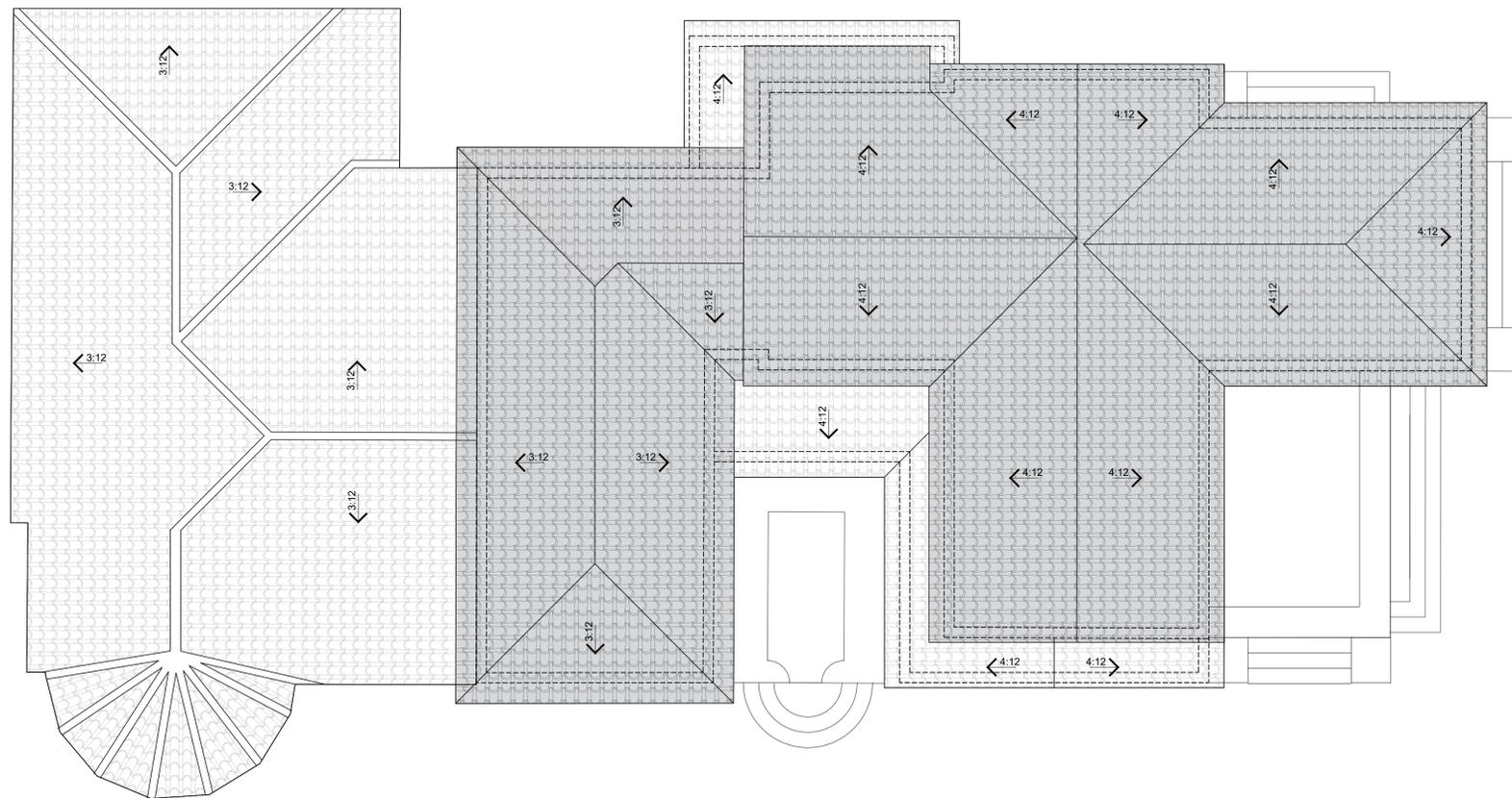


PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

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EXISTING ROOF PLAN
SCALE: 3/16" = 1'-0"

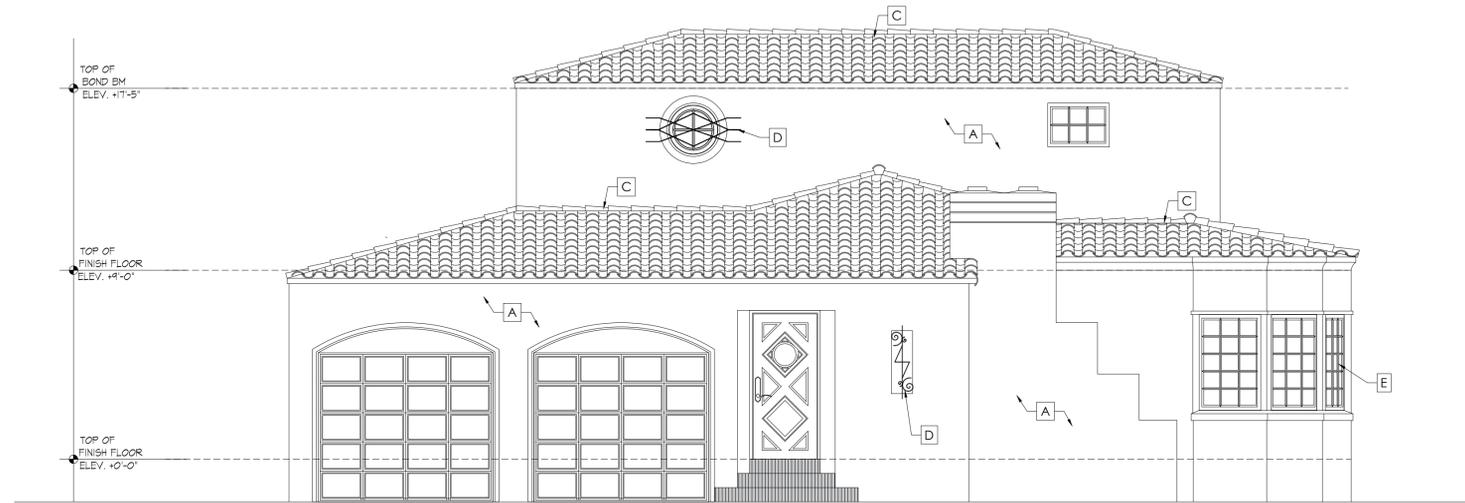


PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

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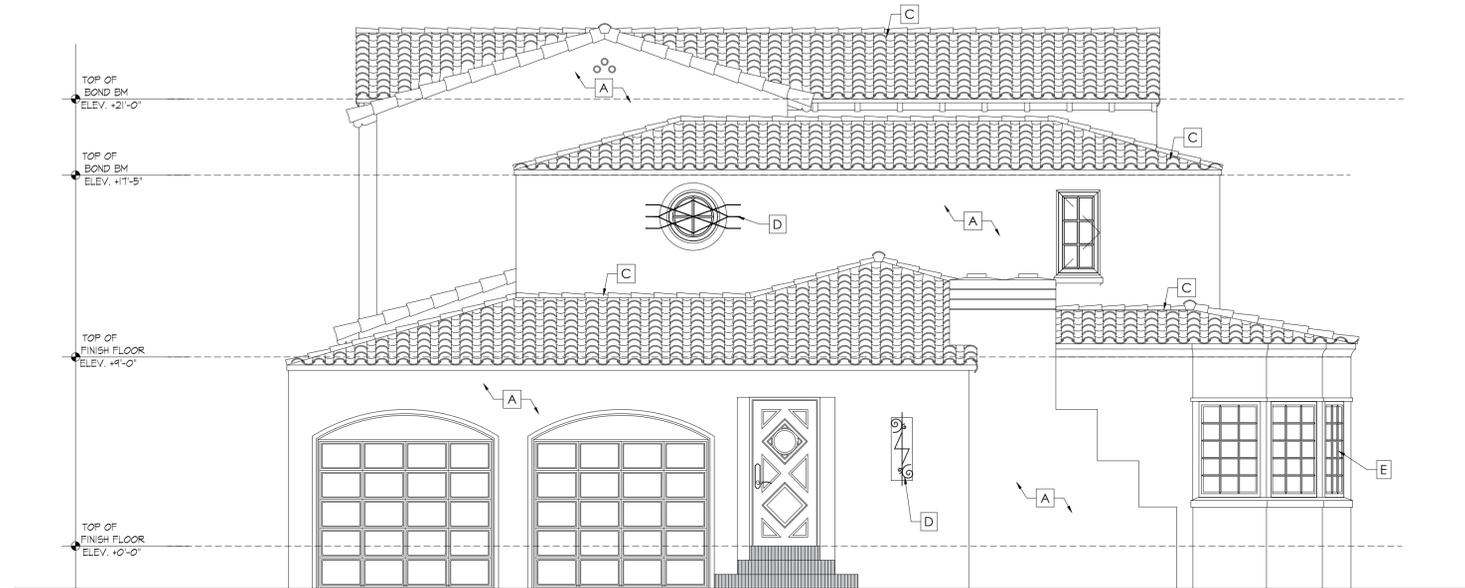
MATERIAL & FINISHES LEGEND

- A** BODY - TEXTURED STUCCO FINISH, ALABASTER SW 7757
- B** BANDS, STUCCO DESIGNS, COLUMNS, TOP FLOOR EYEBROWS, AND BALCONY CEILINGS, ALABASTER SW 7757
- C** BARREL ROOF TILE - SPANISH ROOF TILE
- D** ALUMINUM DECORATIVE MOTIF, BRONZE COLOR
- E** STOREFRONT WINDOW/DOOR, WHITE COLOR FRAMES, ALL WINDOWS TO BE IMPACT GLASS
- G** WOOD BRACKET - RAFTER, NATURAL WOOD COLOR
- I** COACH LIGHTS, SEAGULL CYLINDER STYLER TWO LIGHT LANTERN BRONZE



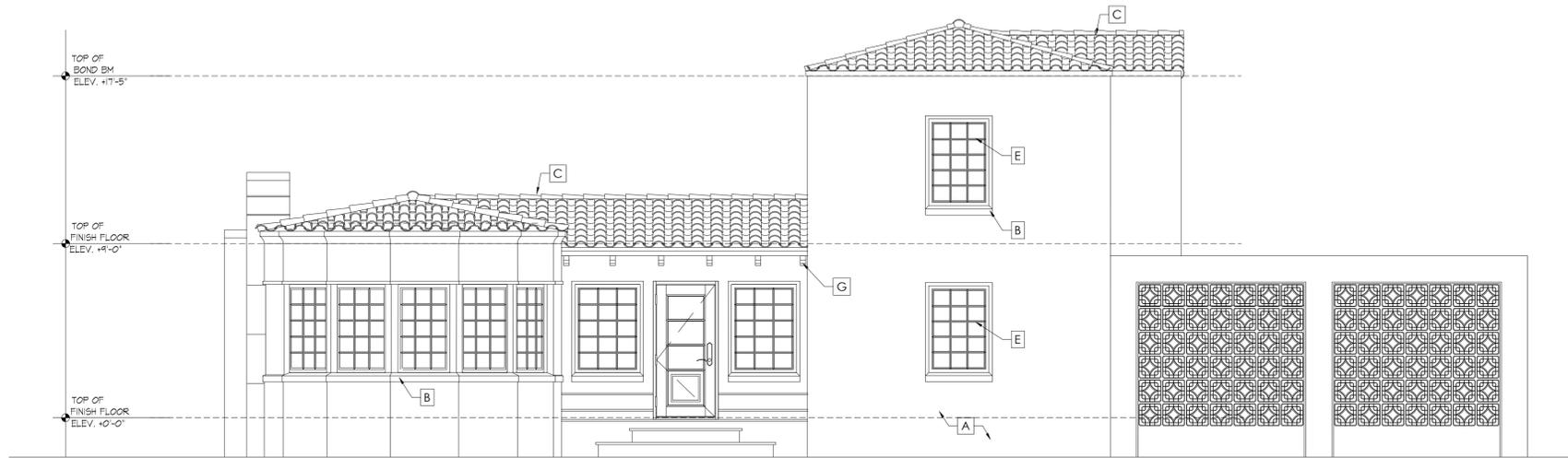
ALHAMBRA CIR. - FRONT (WEST) - EXISTING ELEVATION

SCALE: 3/16" = 1'-0"



ALHAMBRA CIR. - FRONT (WEST) - PROPOSED ELEVATION

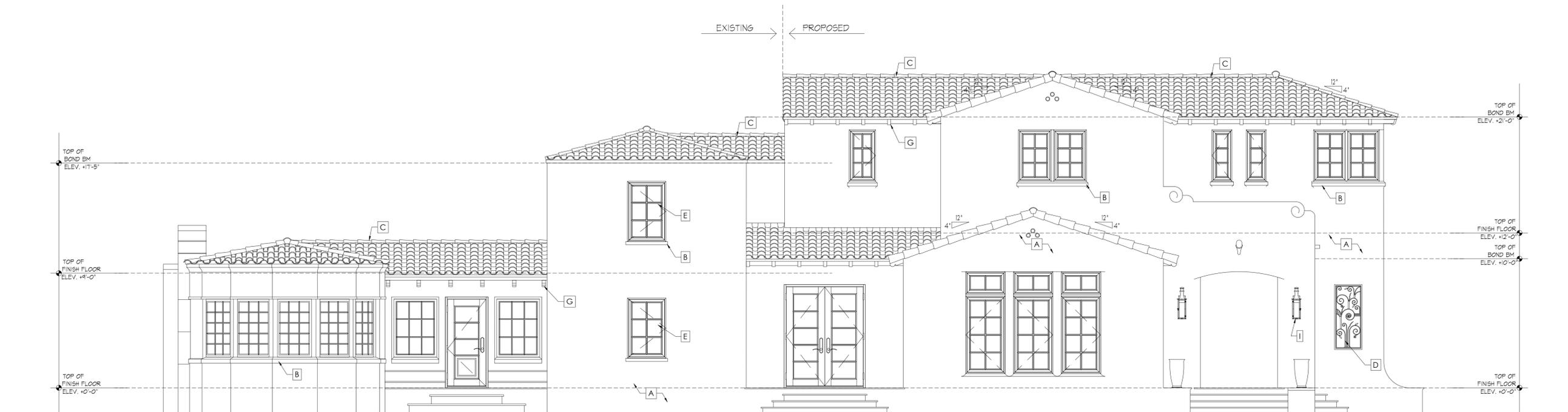
SCALE: 3/16" = 1'-0"



S GREENWAY DR - RIGHT (SOUTH) - EXISTING ELEVATION
SCALE: 3/16" = 1'-0"

MATERIAL & FINISHES LEGEND

- A BODY - TEXTURED STUCCO FINISH. ALABASTER SW 7757
- B BANDS, STUCCO DESIGNS, COLUMNS, TOP FLOOR EYEBROWS, AND BALCONY CEILINGS. ALABASTER SW 7757
- C BARREL ROOF TILE - SPANISH ROOF TILE
- D ALUMINUM DECORATIVE MOTIFF BRONZE COLOR
- E STOREFRONT WINDOW/DOOR. WHITE COLOR FRAMES. ALL WINDOWS TO BE IMPACT GLASS
- G WOOD BRACKET - RAFTER NATURAL WOOD COLOR
- I COACH LIGHTS SEAGULL CYLINDER STYLER TWO LIGHT LANTERN BRONZE



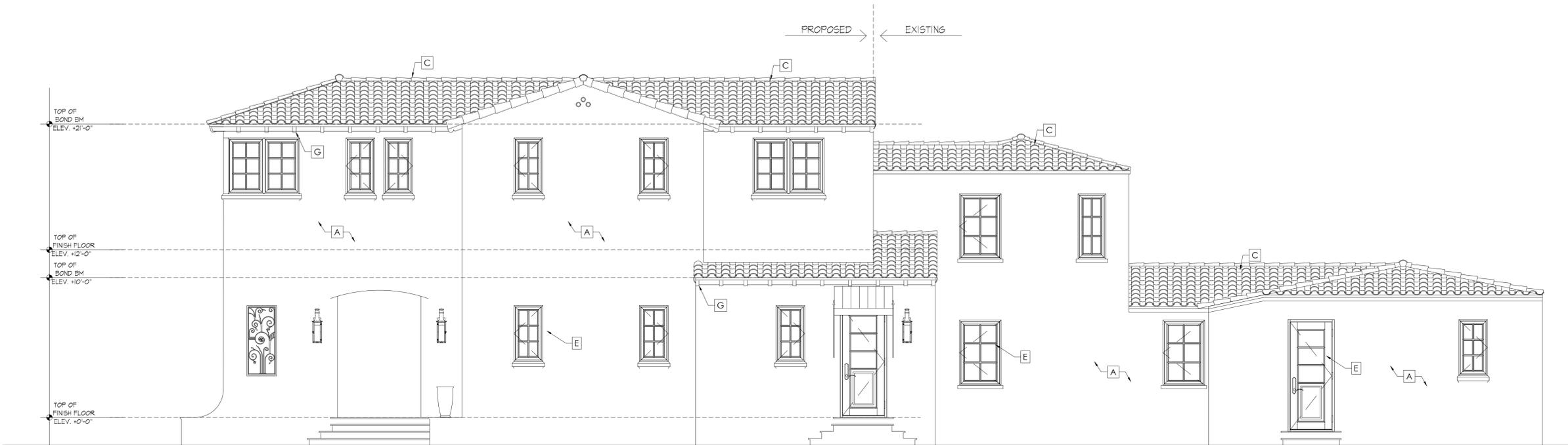
S GREENWAY DR - RIGHT (SOUTH) - PROPOSED ELEVATION
SCALE: 3/16" = 1'-0"



REAR (NORTH) - PROPOSED ELEVATION
SCALE: 3/16" = 1'-0"

MATERIAL & FINISHES LEGEND

- A** BODY - TEXTURED STUCCO FINISH. ALABASTER SW 7757
- B** BANDS, STUCCO DESIGNS, COLUMNS, TOP FLOOR EYEBROWS, AND BALCONY CEILINGS. ALABASTER SW 7757
- C** BARREL ROOF TILE - SPANISH ROOF TILE
- D** ALUMINUM DECORATIVE MOTIF BRONZE COLOR
- E** STOREFRONT WINDOW/DOOR. WHITE COLOR FRAMES. ALL WINDOWS TO BE IMPACT GLASS
- G** WOOD BRACKET - RAFTER NATURAL WOOD COLOR
- I** COACH LIGHTS SEAGULL CYLINDER STYLER TWO LIGHT LANTERN BRONZE



LEFT (EAST) - PROPOSED ELEVATION
SCALE: 3/16" = 1'-0"

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RENDERING



RENDERING

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

EDGARDO PEREZ, AIA

LICENSE No.: AR 0015394

MARIO P. PASCUAL, AIA

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REVISIONS:

OWNER:

CESAR BARON

SFH - ADDITION
2039 ALHAMBRA CIRCLE
CORAL GABLES, FLORIDA 33134

SEAL:

3D RENDERINGS

DATE: 2025-10-09

SCALE: AS SHOWN

DRAWN: MC

CHECK BY: PPKS

JOB NO.: 25-48

A-7

SHEET NO.:

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RENDERING



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