

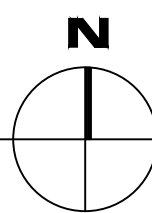
ALTERATION LEVEL 2:
A Residential Remodeling and Addition :
The Guzman Residence
 809 Coral Way
 Coral Gables, Florida 33134

Historic Preservation Board Submittal Set
 September 15, 2024

LOCATION OF PROPERTY



LOCATION MAP
 A100 N.T.S.



LEGAL DESCRIPTION:

LOTS 14 AND THE WEST 30.00 FEET OF LOT 13, BLOCK 34 OF "CORAL GABLES SECTION B" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5 AT PAGE 111 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

AND

ALL OF LOT 12 AND THE EAST TWENTY(20) FEET OF LOT 13 IN BLOCK 34 OF "CORAL GABLES SECTION B" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK:

THE WORK COVERED UNDER THIS APPLICATION CAN BE SUMMARIZED AS THE CONSTRUCTION OF A NEW 2-STORY, 300 S.F. ADDITION STRUCTURE, TO BE ATTACHED TO AN EXISTING 2-STORY CBS, SINGLE-FAMILY RESIDENCE AS DESCRIBED HEREIN. ADDITIONALLY, EXISTING SECOND FLOOR WEST WING SHALL BE REMODELED AS DESCRIBED HEREIN.

THIS PROPERTY LIES WITHIN A HISTORIC NEIGHBORHOOD AND IS SUBJECT TO REVIEW BY THE HISTORICAL RESOURCES DEPARTMENT OF THE CITY OF CORAL GABLES. VARIOUS MEETINGS HAVE BEEN HELD AND THE DESIGN SHOWN IN THIS PRESENTATION HAVE BEEN APPROVED BY SAID AGENCY. THE DESIGN SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED AND APPROVED BY HISTORIC RESOURCES DEPARTMENT.

PLEASE SEE SHEET A100.1 FOR FULL ZONING ANALYSIS AND DIAGRAMS

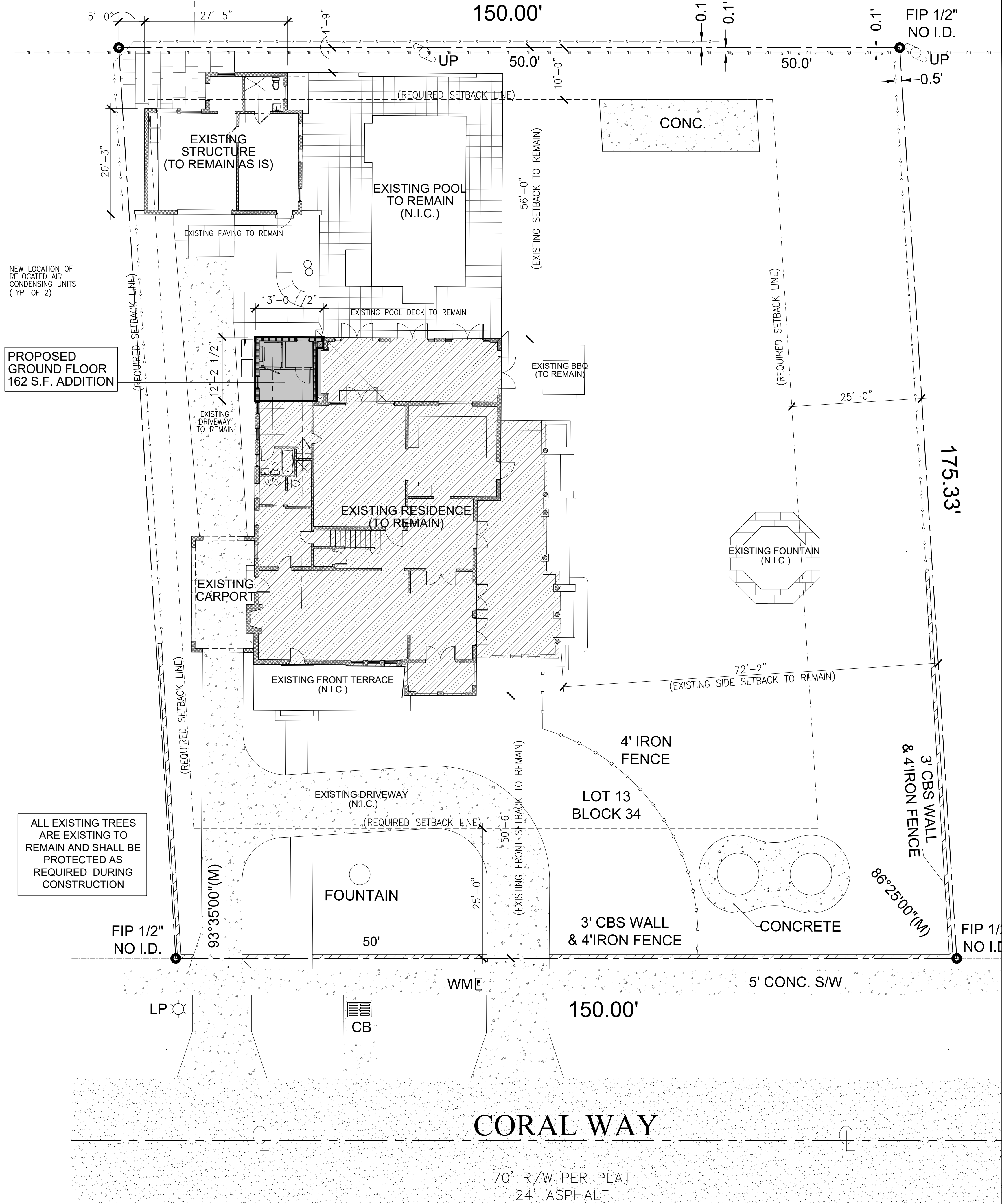
BUILDING CODE VERSION STATEMENT
 THIS PROJECT HAS BEEN DESIGNED AND IS BEING PERMITTED UNDER THE 2023 FLORIDA BUILDING CODE 8th. EDITION AND THE FLORIDA BUILDING CODE (EXISTING) & (RESIDENTIAL) WITH ALL SUPPLEMENTS

APPLICABLE WORK SHALL COMPLY WITH NFPA 241: STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS

FLOOD ZONE : X
 EXIST. CROWN OF ROAD : 9.82' N.G.V.D.
 EXIST. HOUSE LOWEST F.F.E. : 10.47' N.G.V.D.
 EXIST.HOUSE HIGHEST F.F.E.: 11.66' N.G.V.D

GENERAL NOTES :

1. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREMITH SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL OF HIS SUB-CONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUB-CONTRACTORS' PARTICULAR WORK WITH ALL OTHER SUB-CONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL CARRY WORKMENS COMPENSATION INSURANCE IN STATUTORY AMOUNTS AS REQUIRED BY LAW. LIABILITY, BODILY INJURY, AUTOMOTIVE, AND OTHER INSURANCES IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR, TO THE FULLEST EXTENT PERMITTED BY LAW. THE GENERAL CONTRACTOR AND ALL OF HIS SUB-CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK ASSOCIATED WITH THIS PROJECT.
3. EXISTING CONDITIONS: BEFORE BIDDING, THE CONTRACTOR SHALL VISIT THE JOB SITE AND ASCERTAIN ALL EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK. FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY WHEN THE EXISTING CONDITIONS RESULT IN EXTRA MATERIALS. ANY EXISTING CONDITIONS FOUND BY THE CONTRACTOR WHICH WILL ADVERSELY AFFECT THE WORK SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETELY ASSESSED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENTS OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
4. ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE FLORIDA BUILDING CODE 2023 AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO, OR AT THE TIME OF PERMITTING. ANY REQUIRED CHANGES WILL BE SHOWN AS DETERMINED BY THE ARCHITECT, OR REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR.
5. THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL MAKE ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED OR HIS PORTION OF WORK.
6. THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE GENERAL CONTRACTOR MUST ENSURE THAT THE INSPECTIONS PROCESS IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE INSPECTIONS SECTION, OF THE FLORIDA BUILDING CODE 2023.
7. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO BE AWARE OF ALL COMMENTS AND NOTES MADE BY THE BUILDING OFFICIAL UPON THE PERMITTED, SIGNED AND SEALED JOBSITE SET OF CONSTRUCTION DOCUMENTS, AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONTRACTORS' SCOPE OF WORK. IT SHALL AS WELL, BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN AN AS-BUILT SET OF CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE ARCHITECT OF ANY AND ALL CHANGES MADE DUE TO FIELD DIRECTIVES BY THE BUILDING INSPECTORS. AT SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF DRAWINGS TO THE ARCHITECT, WITH ALL AUTHORIZED FIELD CHANGES CLEARLY INDICATED IN RED INK OR PENCIL.
8. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF BUILDING OCCUPANTS FROM ALL HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE BUILDING OCCUPANTS.
9. WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
10. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUB-CONTRACTOR RESPONSIBLE THEREFOR.
11. THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: ELECTRICAL AND AIR CONDITIONING EQUIPMENT; PLUMBING FIXTURES; APPLIANCES; CABINETRY; AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW AND CORRECTION OR APPROVAL. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER.
12. ALL REQUIRED TESTS PERTAINING TO THIS PROJECT SHALL BE PERFORMED AT THE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED EACH TIME A TEST IS COMPLETED.
13. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUB-CONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
14. NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR HIS ENGINEER.
15. ALL EXISTING DISTURBED OR DAMAGED SURFACES (I.E. DRYWALL, STUCCO, PAINT, ETC.), WITHIN THE AREA OF CONSTRUCTION, SHALL BE REPAIRED, AS NECESSARY, TO MATCH EXISTING FINISHES.
16. AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY PLASTER, PAINT SMEARS OR SPLATTERS, AND THE BUILDING IS TO BE BROOM CLEANED.
17. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUB-CONTRACTORS SHALL PROVIDE AND INSTALL 2X WOOD BACKING FOR ANY CABINETS, VANES, BASE AND WALL-MOUNTED CABINETS AND SURFACE-MOUNTED ACCESSORIES PRIOR TO THE INSTALLATION OF ANY WALLBOARD. PROVIDE BACKING EVEN IF CABINETS AND ACCESSORIES ARE "BY OTHERS" OR "NOT IN CONTRACT" (N.I.C.). CONTRACTOR SHALL MARK LOCATION OF BACKING ON WALLBOARD FOR THE USE OF THE CABINET/EQUIPMENT INSTALLERS.
18. CABINET MANUFACTURER SHALL FIELD MEASURE EXACT FINISHED LOCATION OF ALL CABINETS AND ELECTRICAL RECEPTACLES AT THE JOBSITE PRIOR TO FABRICATION OF ANY CABINETS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS FOR RESOLUTION.
19. ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS, AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS, SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION, AND WITH THE OWNER'S APPROVAL OF SATISFACTION. DURING THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE, AS NECESSARY, ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF THE GENERAL CONTRACTOR'S WORK FORCE, OR THAT OF HIS SUB-CONTRACTORS.
20. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.
21. PLANS: DRAWINGS ARE BASICALLY DIAGRAMS INTENDED TO DEPICT APPROXIMATELY EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW EVERY MINOR DETAIL. PLANS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION AND DIMENSIONS.
22. INTERFERENCE: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES SO THAT INTERFERENCE WITH EXISTING CONDITIONS, CONDUITS, PIPING, EQUIPMENT, ARCHITECTURAL AND STRUCTURAL MEMBERS BE AVOIDED.
23. SUBSTITUTIONS: PRODUCTS AND MATERIALS CALLED OUT BY TRADE NAME AND/OR CATALOG NUMBERS ESTABLISH A STANDARD OF QUALITY, APPEARANCE, PERFORMANCE AND DIMENSION. CONTRACTORS SHALL BASE HIS PROPOSAL ON THOSE ITEMS AS THEY SHALL BE CONSIDERED AS A BASIS OF BIDDING. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT/ENGINEER, DEMONSTRATING THAT PRODUCT IS OF COMPARABLE AND BASIC DESIGN, CONSTRUCTION, STANDARDS AND WARRANTIES, DIMENSIONS TO FIT WITHOUT CHANGE, AND DOES NOT CAUSE EXTRA WORK TO OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUALITY OF SUBSTITUTION; ARCHITECT/ENGINEER WILL, UNDER NO CIRCUMSTANCES, BE REQUIRED TO PROVE SUCH ITEM IS OR IS NOT OF EQUAL QUALITY TO THE SPECIFIED ITEM. ARCHITECT/ENGINEER EXPENSES INCURRED DUE TO CONTRACTOR'S REQUESTED REVISIONS OR SUBSTITUTIONS SHALL BE PAID BY CONTRACTOR.
24. RECORD DRAWINGS: MAINTAIN A COMPLETE SET OF PRINTS FOR INDICATING ALL CHANGES. USE COLORED PENS TO MARK CHANGES AT THE TIME OF EXECUTION AND DELIVER THE SET TO THE ARCHITECT/ENGINEER UPON COMPLETION. CONTRACTOR SHALL STAMP "AS BUILT" ON PRINTS AND PLANS, DATE AND SIGN IN INK.
25. SCHEDULING: CONTRACTOR SHALL COORDINATE WITH OWNER APPROPRIATE TIMES TO PERFORM WORK. CONTRACTOR MUST BE AWARE OF VARYING AVAILABILITY OF APPROPRIATE TIME WINDOWS. CLOSE CONSULTATION WITH OWNER IS THEREFORE NECESSARY.



ALL EXISTING TREES ARE EXISTING TO REMAIN AND SHALL BE PROTECTED AS REQUIRED DURING CONSTRUCTION

1 PROPOSED SITE PLAN
 A100 3/32" = 1'-0"

NOTE:
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DALIMA STUDIO ARCHITECTURE
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 CORAL GABLES, FLORIDA 33134
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 EMAIL: dalimastudio@bellsouth.net
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Residential Level 2 Remodeling and Addition:
The Guzman Residence
 809 Coral Way
 Coral Gables, Florida 33134

ALBERT I. RODRIGUEZ
 FLORIDA REGISTERED ARCHITECT
 AR No. 16282

REVISIONS:

NO.	DATE	DESCRIPTION

COVER SHEET PROPOSED SITE PLAN

DRAWN	C.S.
CHECKED	
AR.	
DATE	September 15, 2024
SCALE	
SEE PLAN	
JOB NO.	
SHEET	

A100
 OF SHEETS

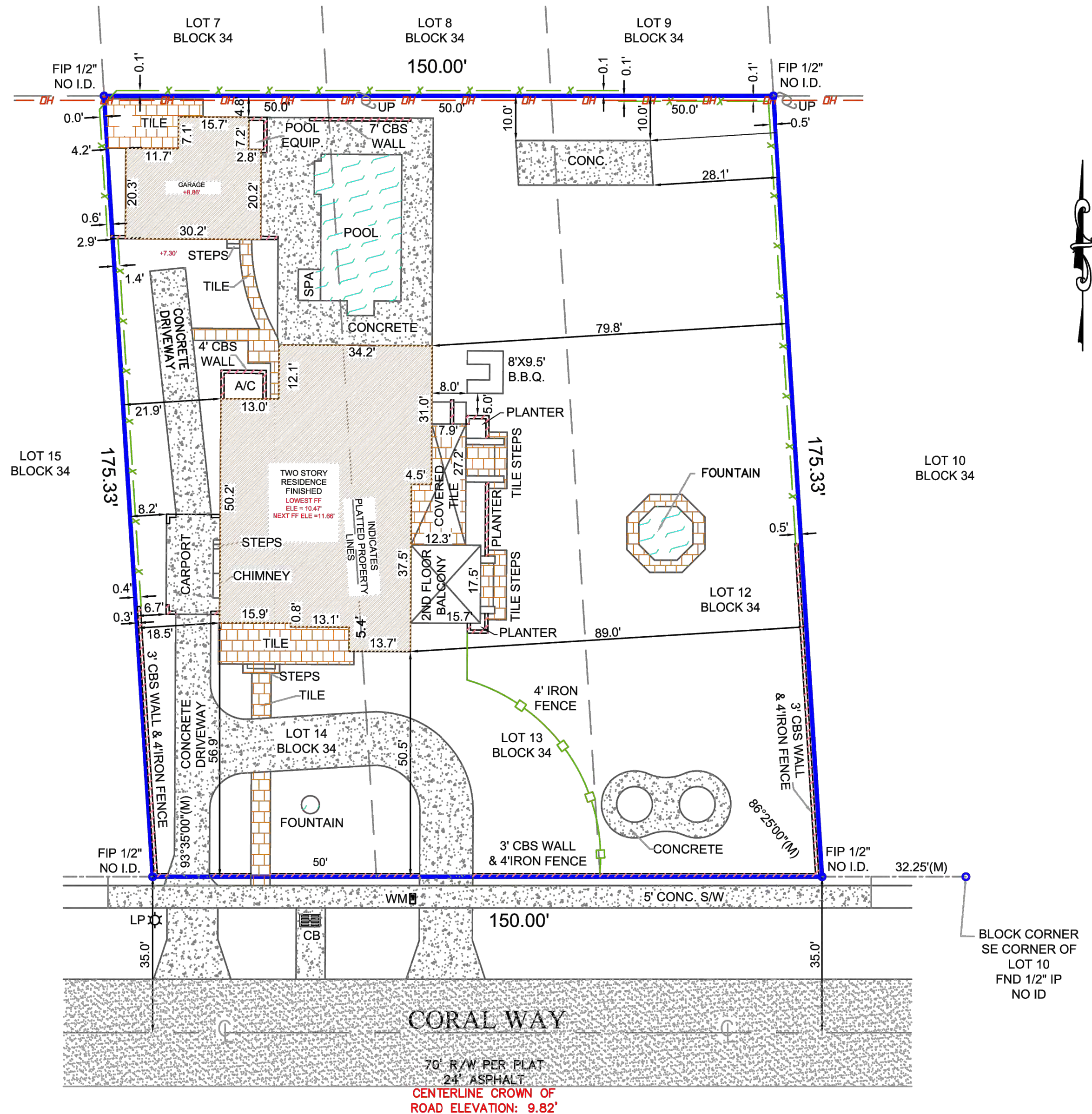
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- GENERAL LEGEND:**
- AF = ALUMINUM FENCE
 - BCR = BROWARD COUNTY RECORDS
 - BM = BENCHMARK
 - CB = CATCH BASIN
 - CME = CANAL MAINTENANCE EASEMENT
 - CL = CENTERLINE
 - CLF = CHAIN LINK FENCE
 - CBS = CONCRETE BLOCK STRUCTURE
 - CHATT = CHATTAHOOCHEE
 - CONC = CONCRETE
 - D = DELTA (CENTRAL ANGLE)
 - DE = DRAINAGE EASEMENT
 - E = EAST
 - ELE = ELEVATION
 - X 0.00' = ELEVATION
 - EOP = EDGE OF PAVEMENT
 - EOW = EDGE OF WATER
 - FF = FINISHED FLOOR
 - FH = FIRE HYDRANT
 - FN = FOUND NAIL
 - FIP = FOUND IRON PIPE
 - FIR = FOUND IRON ROD
 - FN = FOUND NAIL
 - FND = FOUND NAIL & DISC
 - IF = IRON FENCE
 - INV = INVERT
 - L = ARC LENGTH
 - LP = LIGHT POLE
 - LME = LAKE MAINTENANCE EASEMENT
 - N = NORTH
 - N&D = NAIL & DISC
 - MF = METAL FENCE
 - MH = MAN HOLE
 - OH = OVERHEAD CABLES
 - OR = OFFICIAL RECORD BOOK
 - O/S = O/S
 - PB = PLAT BOOK
 - PBCR = PALM BEACH COUNTY RECORDS
 - PC = POINT OF CURVATURE
 - PG = PAGE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - PVCF = POLYVINYL CHLORIDE FENCE
 - R = RADIUS
 - R/W = RIGHT OF WAY
 - S = SOUTH
 - S/W = SIDEWALK
 - SIR = SET 3/4" IRON ROAD
 - SND = SET NAIL & DISC
 - TYP = TYPICAL
 - UE = UTILITY EASEMENT
 - W = WEST
 - WF = WOOD FENCE
 - WM = WATER METER
- OVERHEAD CABLES (OH)
POLYVINYL CHLORIDE FENCE (PVCF)
CHAIN LINK FENCE (CLF)
WOOD FENCE (WF)
METAL FENCE (MF)
* DEGREE SYMBOL



LEGAL DESCRIPTION:
LOTS 14 AND THE WEST 30.00 FEET OF LOT 13, BLOCK 34 OF "CORAL GABLES SECTION B" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

AND ALSO
ALL OF LOT 12 AND THE EAST TWENTY (20) FEET OF LOT 13 IN BLOCK 34 OF "CORAL GABLES SECTION B" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATIONS:
SUSAN & LEOPOLDO GUZMAN

SURVEYORS NOTES:
(1). ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
(2). LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
(3). NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
(4). THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
(5). NGVD = NATIONAL GEODETIC VERTICAL DATUM OF 1929
THE FLOOD ZONE DATUM SHOWN BELOW IS REFERENCED TO 1929
BENCHMARK REFERENCE # 459, ELE = 11.35' (NGVD 1929)

Boundary Survey
PROPERTY ADDRESS:
809 CORAL WAY,
CORAL GABLES, FL. 33134

FLOOD ZONE DATA:	REVISIONS:	DATE:	SCALE: 1" = 30'
ZONE: X N/A	FIELD LOCATION OF IMPROVEMENTS	03/13/2019	CADD: LJ
COMMUNITY #: 120639			CHECKED BY: JSP
PANEL & SUFFIX: 0457 L			INVOICE #: 19- 49969
DATE OF FIRM: 8/18/14			SHEET # 1 OF 1

THIS SURVEYS MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
JULIO S. PITA, PSM., STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER LS 5789
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ALL COUNTY SURVEYORS
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSE NO. 6677
OFFICE: (954) 777-4747
FAX: (954) 777-2707
5400 SOUTH UNIVERSITY DRIVE
DAVIE, FLORIDA 33328 SUITE 216

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ALBERT I. RODRIGUEZ
FLORIDA REGISTERED ARCHITECT
AR. NO. 16262

REVISIONS:

SURVEY (NOT OFFICIAL)

DRAWN C.S.
CHECKED A.R.
DATE September 15, 2024
SCALE SEE PLAN
JOB NO.
SHEET A000
OF SHEETS

SURVEY (NOT OFFICIAL)
(shown here for reference only)

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ALBERT I. RODRIGUEZ
FLORIDA REGISTERED ARCHITECT
AR. NO. 16282

REVISIONS:

CONTEXT
PHOTOS

DRAWN
C.C.
CHECKED
A.R.
DATE
September 15, 2024
SCALE
SEE PLAN
JOB NO.

SHEET
A001
OF SHEETS



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REVISIONS:

CONTEXT
PHOTOS

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SCALE
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JOB NO.

SHEET

A002

OF SHEETS

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ALBERT I. RODRIGUEZ
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AR. NO. 12622

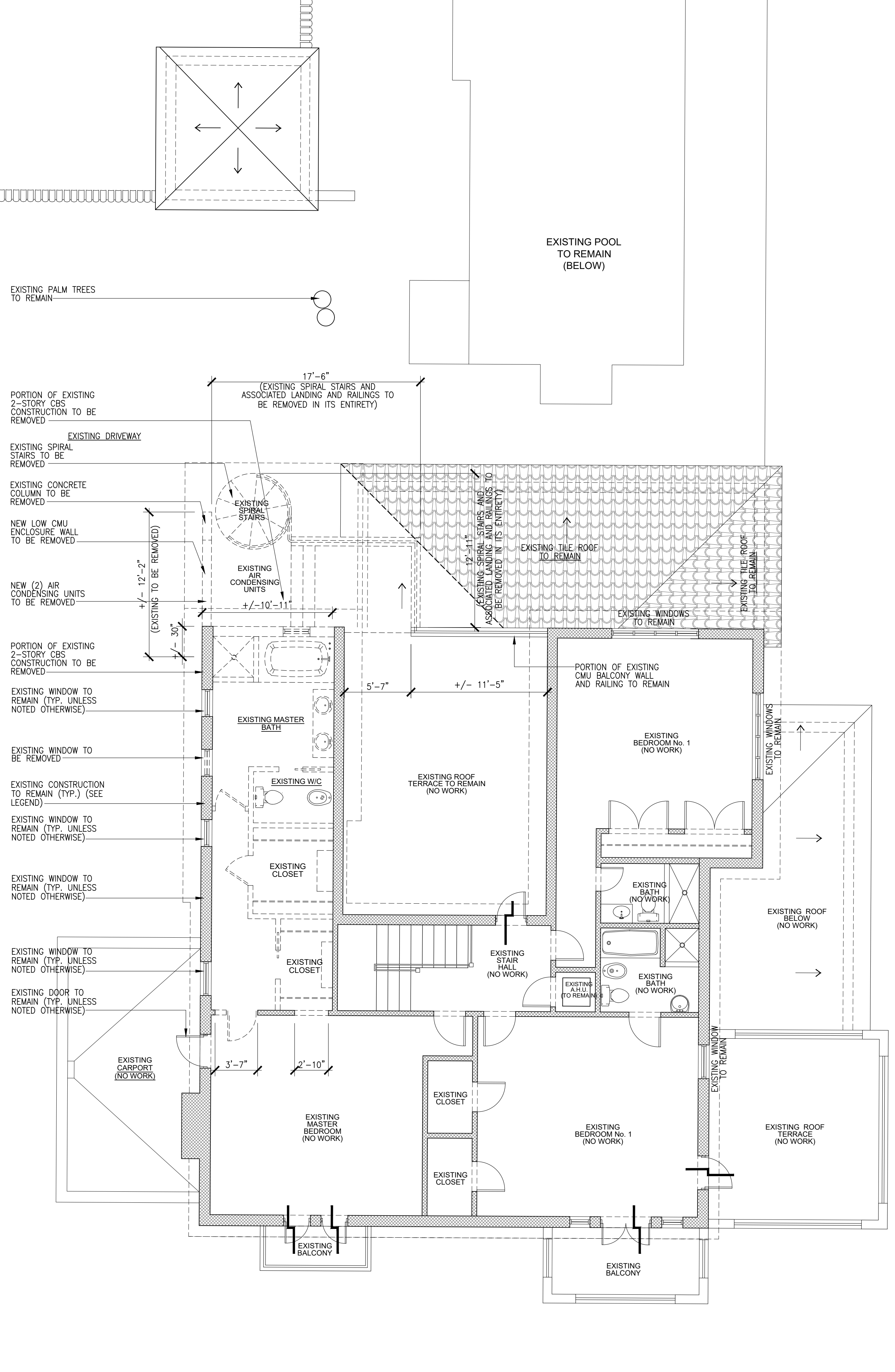
REVISIONS:

CONTEXT
PHOTOS

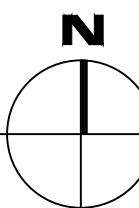
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DATE
September 15, 2024
SCALE
SEE PLAN
JOB NO.

SHEET
A003
OF SHEETS

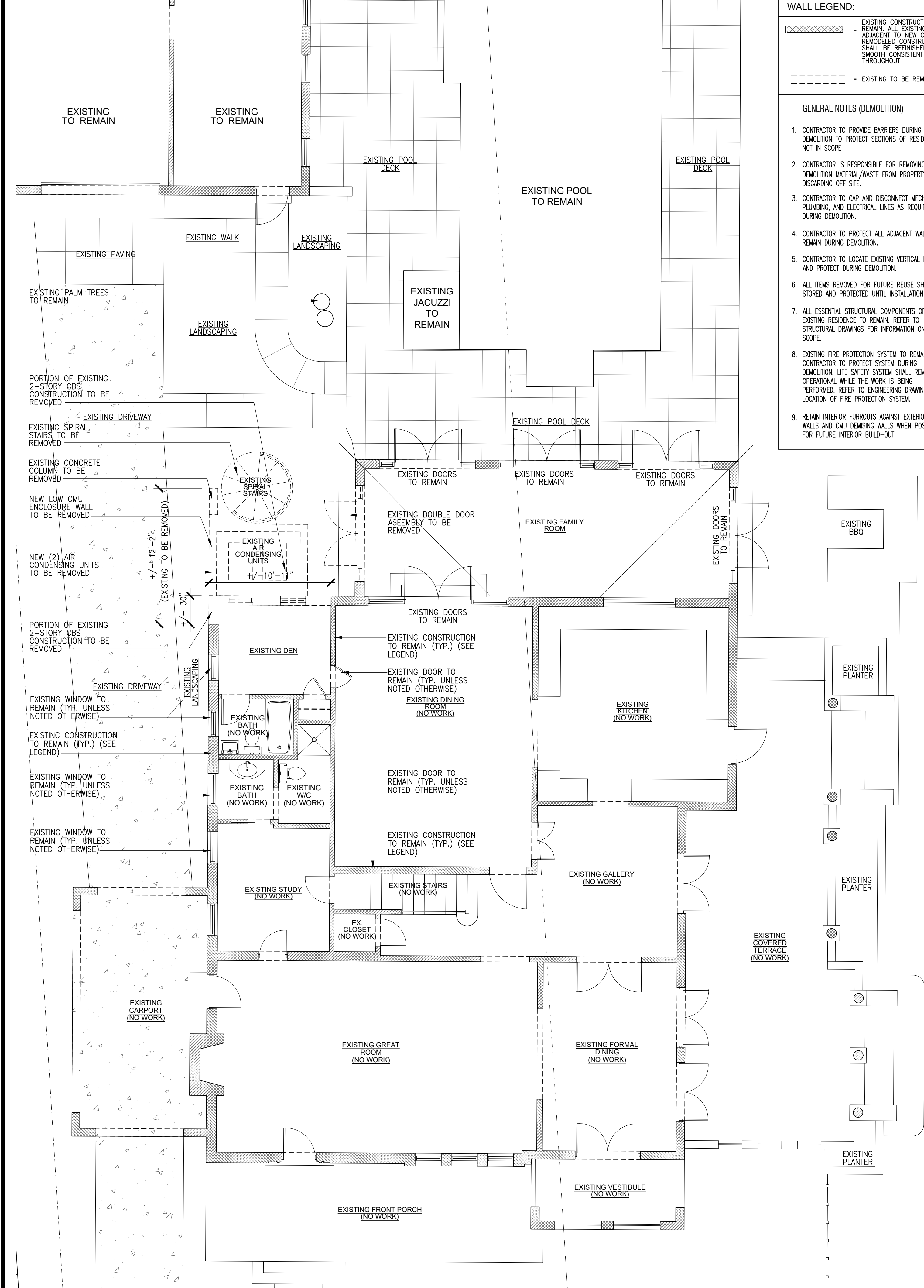
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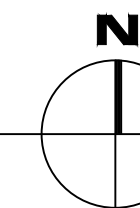
SHORING NOTE:
CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SHORING



2 SECOND FLOOR DEMOLITION PLAN
D201 3/16" = 1'-0"



SHORING NOTE:
CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SHORING



1 GROUND FLOOR DEMOLITION PLAN
D200 3/16" = 1'-0"

- WALL LEGEND:**
- = REMAIN ALL EXISTING WALLS ADJACENT TO NEW OR REMODELED CONSTRUCTION SHALL BE REFINISHED FOR SMOOTH CONSISTENT FINISH THROUGHOUT
 - = EXISTING TO BE REMOVED
- GENERAL NOTES (DEMOLITION)**
1. CONTRACTOR TO PROVIDE BARRIERS DURING DEMOLITION TO PROTECT SECTIONS OF RESIDENCE NOT IN SCOPE
 2. CONTRACTOR IS RESPONSIBLE FOR REMOVING DEMOLITION MATERIAL/WASTE FROM PROPERTY AND DISCARDING OFF SITE.
 3. CONTRACTOR TO CAP AND DISCONNECT MECHANICAL, PLUMBING, AND ELECTRICAL LINES AS REQUIRED DURING DEMOLITION.
 4. CONTRACTOR TO PROTECT ALL ADJACENT WALLS TO REMAIN DURING DEMOLITION.
 5. CONTRACTOR TO LOCATE EXISTING VERTICAL LINES AND PROTECT DURING DEMOLITION.
 6. ALL ITEMS REMOVED FOR FUTURE REUSE SHALL BE STORED AND PROTECTED UNTIL INSTALLATION.
 7. ALL ESSENTIAL STRUCTURAL COMPONENTS OF EXISTING RESIDENCE TO REMAIN. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION ON SCOPE.
 8. EXISTING FIRE PROTECTION SYSTEM TO REMAIN AND CONTRACTOR TO PROTECT SYSTEM DURING DEMOLITION. LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE THE WORK IS BEING PERFORMED. REFER TO ENGINEERING DRAWINGS FOR LOCATION OF FIRE PROTECTION SYSTEM.
 9. RETAIN INTERIOR FURROUTS AGAINST EXTERIOR CMU WALLS AND CMU DEMISING WALLS WHEN POSSIBLE FOR FUTURE INTERIOR BUILD-OUT.

NOTE:
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AR No. 16282

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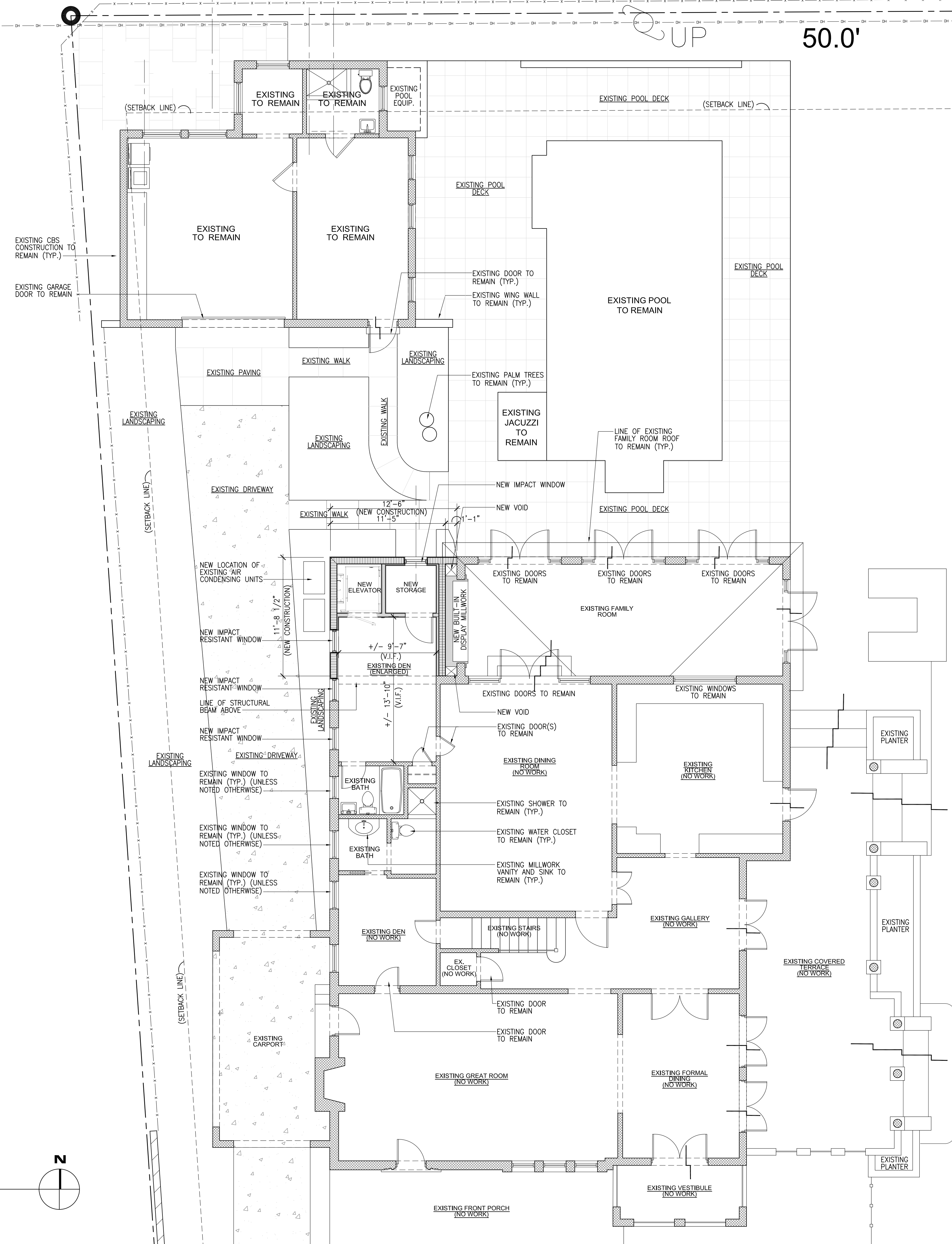
NO.	DESCRIPTION

DEMOLITION PLANS

DRAWN
MC
CHECKED
AR
DATE
September 15, 2024
SCALE
SEE PLAN
JOB NO.
SHEET

D200
OF SHEETS

ALL WORK SHOWN, UNLESS OTHERWISE SPECIFIED, SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.



1 PROPOSED FIRST FLOOR PLAN
A200 3/16" = 1'-0"

WALL LEGEND:

- EXISTING CONSTRUCTION TO REMAIN. ALL EXISTING WALLS TO BE RETIRED TO MATCH NEW ADJACENT CONSTRUCTION FOR SMOOTH CONSISTENT FINISH THROUGHOUT
- EXISTING TO BE REMOVED
- NEW 8" CMU WALL WITH FINISH TO MATCH EXISTING EXTERIOR SIDE AND 5/8" DRYWALL WITH MATCH TO EXISTING FINISH ON HI-HAT METAL FURRING STRIPS @ 16" O.C. W/ MIN. R=4.1 RIGID INSULATION ON INTERIOR SIDE (TYP.) (@ BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
- NEW INTERIOR PARTITION - USE 2 X (22-GA) METAL FRAMING @ 16" O.C. WITH 5/8" DRYWALL @ BOTH SIDES (TYP.) (@ BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
- (SEE BACKING BOARD FOR CERAMIC TILE BELOW)
- NEW CONCRETE CONSTRUCTION (SEE STRUCTURAL)

SHOWER /TUB SHALL HAVE FLOOR/WALLS TO FULL HEIGHT OF NON-ABSORBENT FINISH

BACKING BOARD FOR CERAMIC TILE TO BE CEMENT FIBER, OR GLASS MAT

ALL INTERIOR WALL FINISHES SHALL BE MINIMUM LEVEL 4 FINISH

FIRESTOPS SHALL BE PROVIDED IN FURRED SPACE AT CEILING, FLOOR & TO LIMIT THE MAX. DIMENSION TO 8' AT WALL FURRED SPACE

CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL WINDOW SIZES / MASONRY OPENINGS PRIOR TO ORDERING.

ALL NEW WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANT AND SHALL BE UNDER SEPARATE PERMIT

INSULATION FLAME SPREAD NOTE:
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450

FBC R308- GLAZING
Doors, bath and shower enclosures, and sliding glass doors containing glazing material greater than 9 square feet (0.84 m2) in surface area shall be classified as Category II glazing products. (see sheet A500 for additional safety glass requirements)

FIRESTOPS SHALL BE PROVIDED IN FURRED SPACE(*) AT CEILING, FLOOR & TO LIMIT THE MAX. DIMENSION TO 8'

FLOOD ZONE : X
EXIST. CROWN OF ROAD : 13.54' N.G.V.D.
EXIST. HOUSE LOWEST F.F.E. : 16.33' N.G.V.D.
EXIST. HOUSE HIGHEST F.F.E. : 16.45' N.G.V.D
PROPOSED ADDITION F.F.E. : 16.45' N.G.V.D

THERMAL INSULATION NOTE:
ALL ROOF INSULATION SHALL HAVE A MIN. R VALUE OF 30.
(APPLY ICYNENE CLASSIC PLUS OPEN CELL SPRAY ON INSULATION AS PER MFGR.'S SPECIFICATIONS TO A MIN. THICKNESS OF 8.5" TO ACHIEVE THE MIN. REQUIRED ROOF R-VALUE OF 30.

ALL EXTERIOR WALL RIGID INSULATION SHALL HAVE A MIN. R VALUE OF XXXX

TYPICAL INTERIOR PARTITION (NON-RATED)

NOTE:
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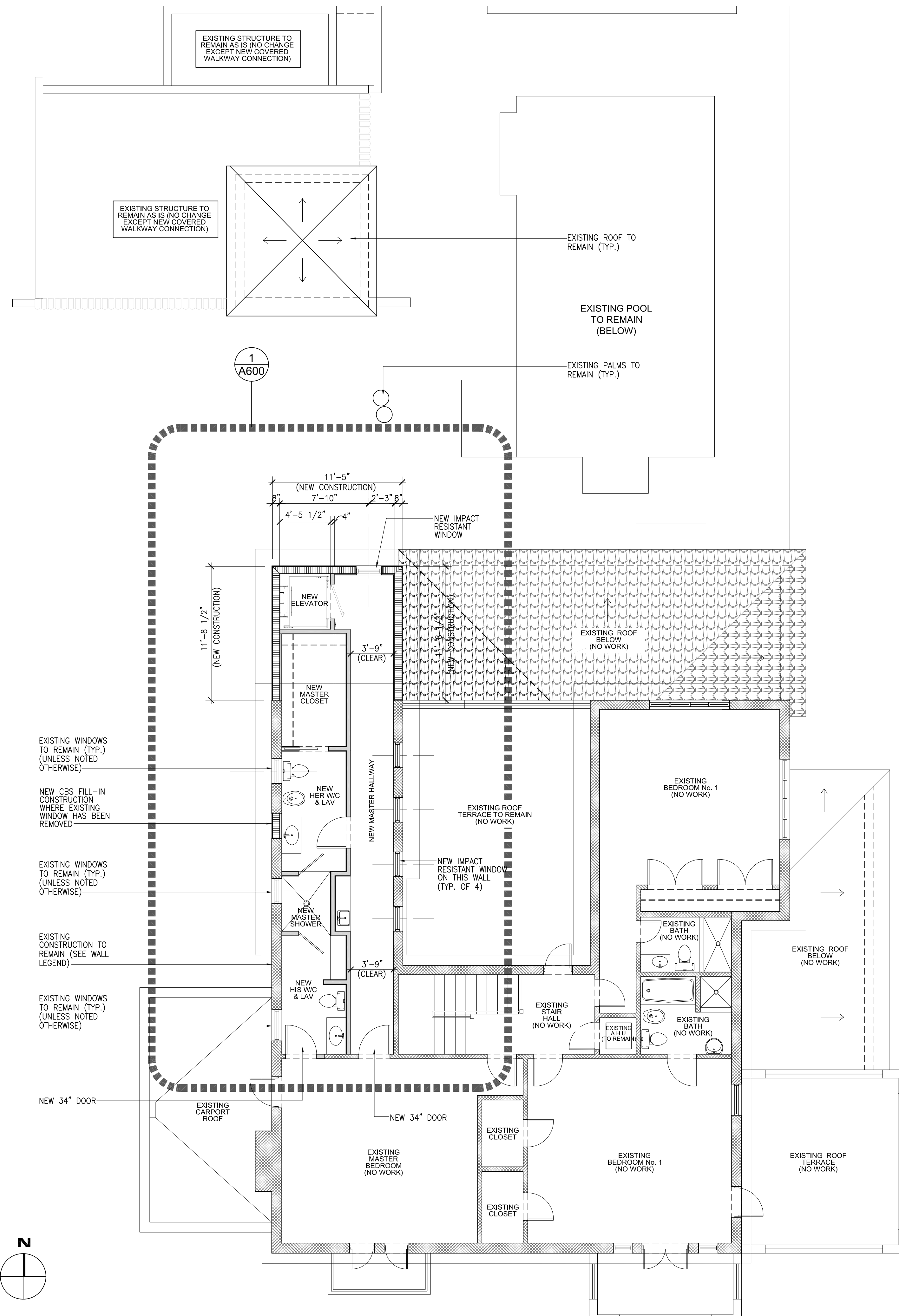
REVISIONS:

PROPOSED FIRST FLOOR PLAN

DRAWN C.C.
CHECKED A.R.
DATE August 28, 2024
SCALE SEE PLAN
JOB NO.

SHEET **A200**
OF SHEETS

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. FINISHES ARE TO BE MATCHED TO ADJACENT AREAS UNLESS OTHERWISE NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ELECTRICAL, MECHANICAL, OR PLUMBING DESIGN OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE LANDSCAPE DESIGN OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE SITEWORK OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE REPAIRS OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE DEMOLITION OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE DISPOSAL OF DEBRIS FROM THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES FROM THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE WELL-BEING OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ENVIRONMENTAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE SOCIAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ECONOMIC IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE CULTURAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE HISTORICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE LEGAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE POLITICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE RELIGIOUS IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ETHICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE MORAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE PSYCHOLOGICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE PHYSICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ENVIRONMENTAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE SOCIAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ECONOMIC IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE CULTURAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE HISTORICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE LEGAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE POLITICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE RELIGIOUS IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ETHICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE MORAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE PSYCHOLOGICAL IMPACT OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE PHYSICAL IMPACT OF THE PROJECT.



1 PROPOSED SECOND FLOOR PLAN
A201 3/16" = 1'-0"

WALL LEGEND:

- = EXISTING CONSTRUCTION TO REMAIN. ALL EXISTING WALLS TO BE RETIRED TO MATCH NEW ADJACENT CONSTRUCTION FOR SMOOTH CONSISTENT FINISH THROUGHOUT
- = EXISTING TO BE REMOVED
- = NEW 8" CMU WALL WITH FINISH TO MATCH EXISTING EXTERIOR SIDE AND 5/8" DRYWALL WITH MATCH TO EXISTING FINISH ON HI-HAT METAL FURRING STRIPS @ 16" O.C. W/ MIN. R=4.1 RIGID INSULATION ON INTERIOR SIDE (TYP.) (@ BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
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- (SEE BACKING BOARD FOR CERAMIC TILE BELOW)
- = NEW CONCRETE CONSTRUCTION (SEE STRUCTURAL)

- SHOWER /TUB SHALL HAVE FLOOR/WALLS TO FULL HEIGHT OF NON-ABSORBENT FINISH
- BACKING BOARD FOR CERAMIC TILE TO BE CEMENT FIBER, OR GLASS MAT
- ALL INTERIOR WALL FINISHES SHALL BE MINIMUM LEVEL 4 FINISH
- FIRESTOPS SHALL BE PROVIDED IN FURRED SPACE AT CEILING, FLOOR & TO LIMIT THE MAX. DIMENSION TO 8' AT WALL FURRED SPACE
- CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL WINDOW SIZES / MASONRY OPENINGS PRIOR TO ORDERING.
- ALL NEW WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANT AND SHALL BE UNDER SEPARATE PERMIT
- INSULATION FLAME SPREAD NOTE:**
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450

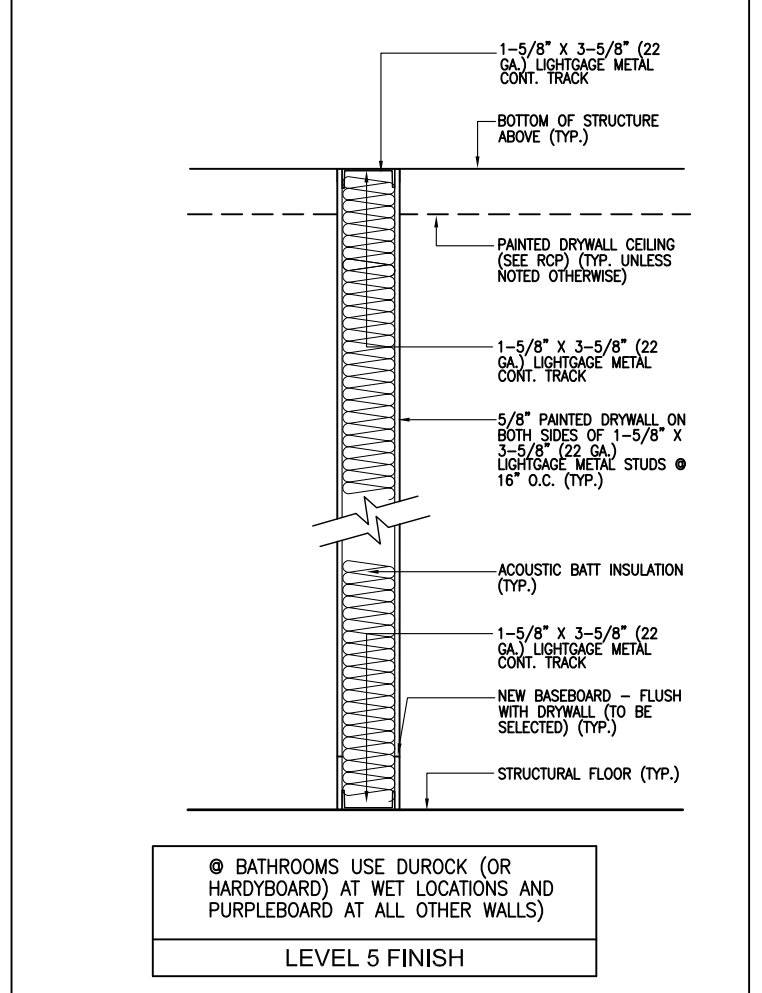
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PROPOSED ADDITION F.F.E. : 16.45' N.G.V.D.

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ALL EXTERIOR WALL RIGID INSULATION SHALL HAVE A MIN. R VALUE OF XXXX



A TYPICAL INTERIOR PARTITION (NON-RATED)

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ALBERT I. RODRIGUEZ
FLORIDA REGISTERED ARCHITECT
AR No. 16282

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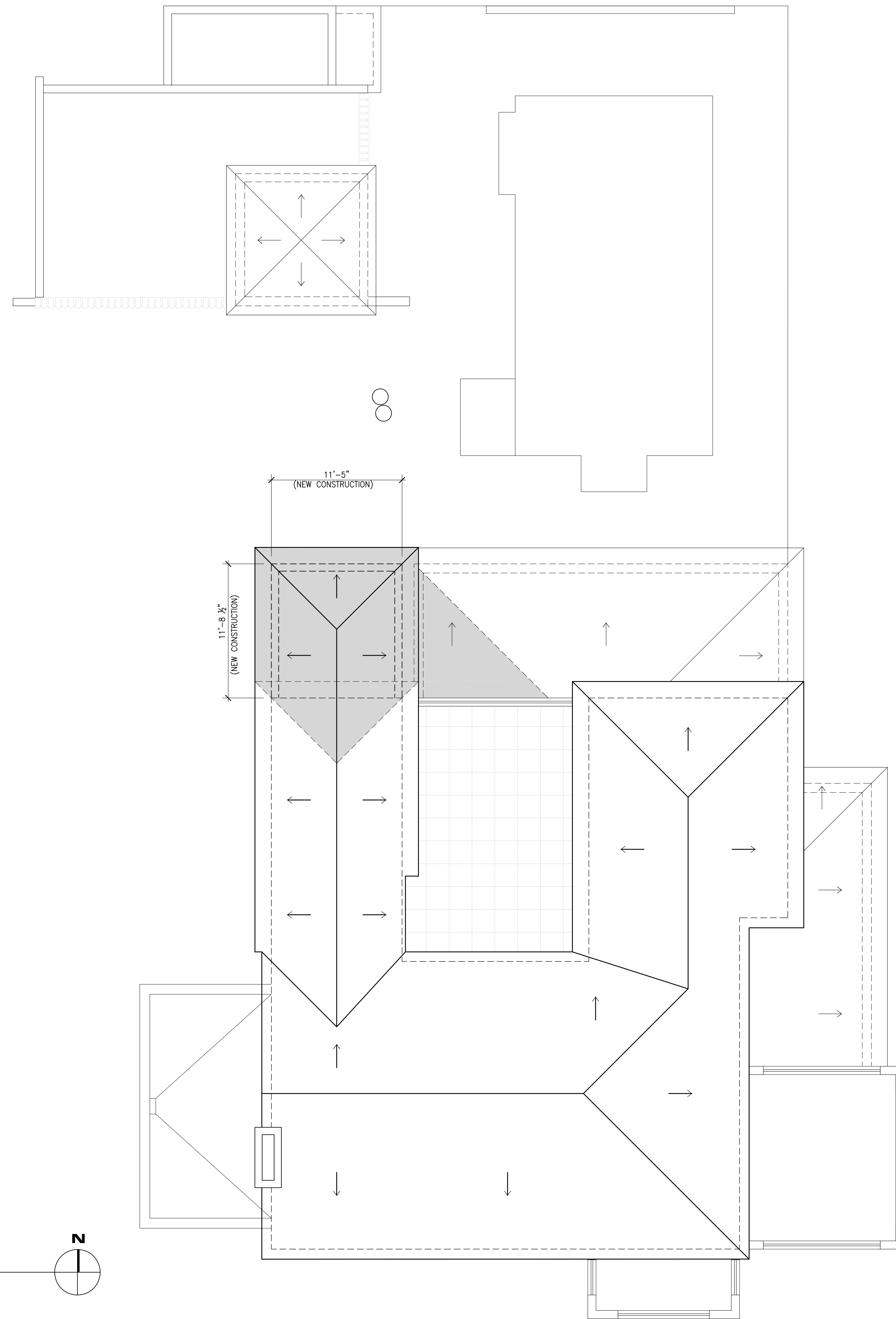
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PROPOSED SECOND FLOOR PLAN

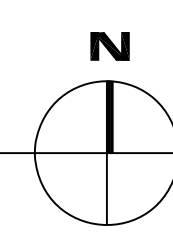
DRAWN
C.C.
CHECKED
A.R.
DATE
August 28, 2024
SCALE
SEE PLAN
JOB NO.

SHEET
A201
OF SHEETS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE ARCHITECT. THE ARCHITECT'S DESIGN SHALL BE THE SOLE PROPERTY OF DALIMA STUDIO. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTS.



1 PROPOSED ROOF PLAN
3/16" = 1'-0"



WALL LEGEND:

- [Pattern] = EXISTING CONSTRUCTION TO REMAIN. ALL EXISTING WALLS TO BE REFRESHED TO MATCH NEW ADJACENT CONSTRUCTION FOR SMOOTH CONSISTENT FINISH THROUGHOUT
- [Pattern] = EXISTING TO BE REMOVED
- [Pattern] = NEW 8" CMU WALL WITH FINISH TO MATCH EXISTING EXTERIOR SIDE AND 5/8" DRYWALL WITH MATCH TO EXISTING FINISH ON HI-HAT METAL FURRING STRIPS @ 16" O.C. W/ MIN. R=4.1 RIGID INSULATION ON INTERIOR SIDE (TYP.) (@ BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
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EXIST. HOUSE LOWEST F.F.E. : 16.33' N.G.V.D.
EXIST. HOUSE HIGHEST F.F.E. : 16.45' N.G.V.D.
PROPOSED ADDITION F.F.E.: 16.45' N.G.V.D

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ALL EXTERIOR WALL RIGID INSULATION SHALL HAVE A MIN. R VALUE OF XXXX

TYPICAL INTERIOR PARTITION (NON-RATED)

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FLORIDA REGISTERED ARCHITECT
AR No. 16282

REVISIONS:

PROPOSED ROOF PLAN

DRAWN	C.C.
CHECKED	A.R.
DATE	August 28, 2024
SCALE	SEE PLAN
JOB NO.	
SHEET	A202
OF	SHEETS

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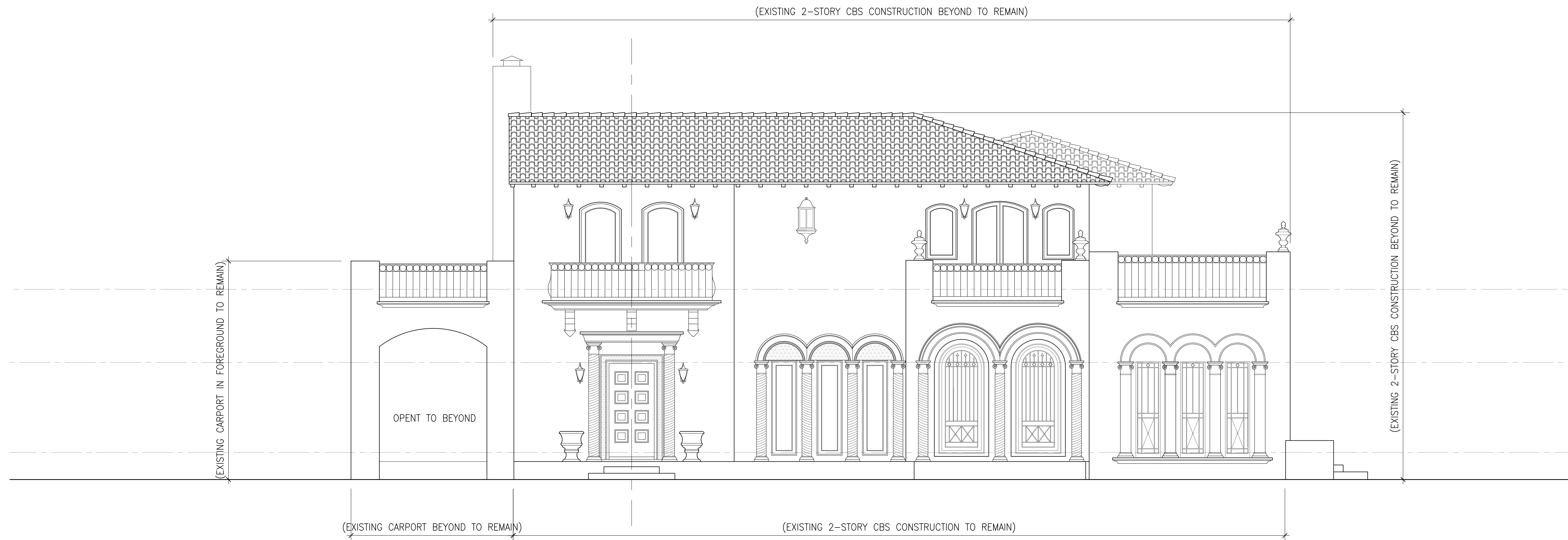
EXTERIOR ELEVATIONS

DRAWN
C.C.
CHECKED
A.R.
DATE
August 28, 2024
SCALE
SEE PLAN
JOB NO.

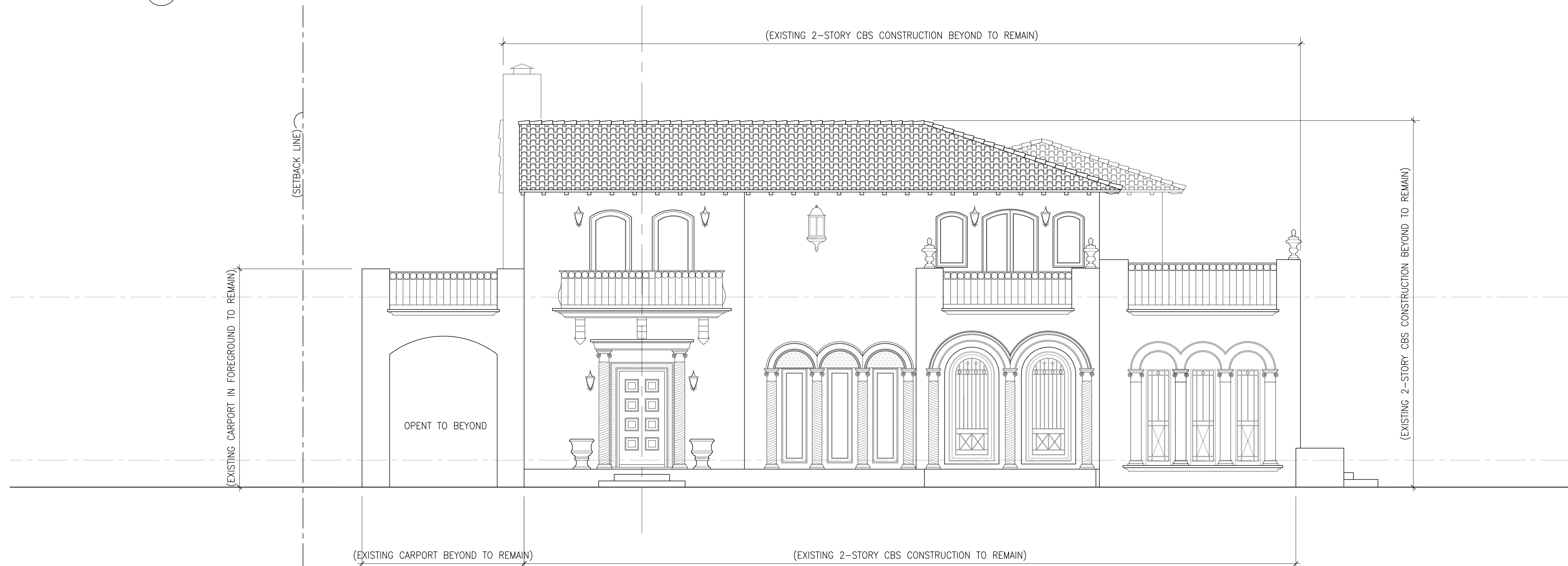
SHEET

A300

OF SHEETS



1 EXISTING SOUTH ELEVATION - (FACING CORAL WAY)
A300 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION - (FACING CORAL WAY)
A300 1/4" = 1'-0"

PROPOSED ADDITION HAS NO VISUAL IMPACT ON
FRONT ELEVATION FACING CORAL WAY

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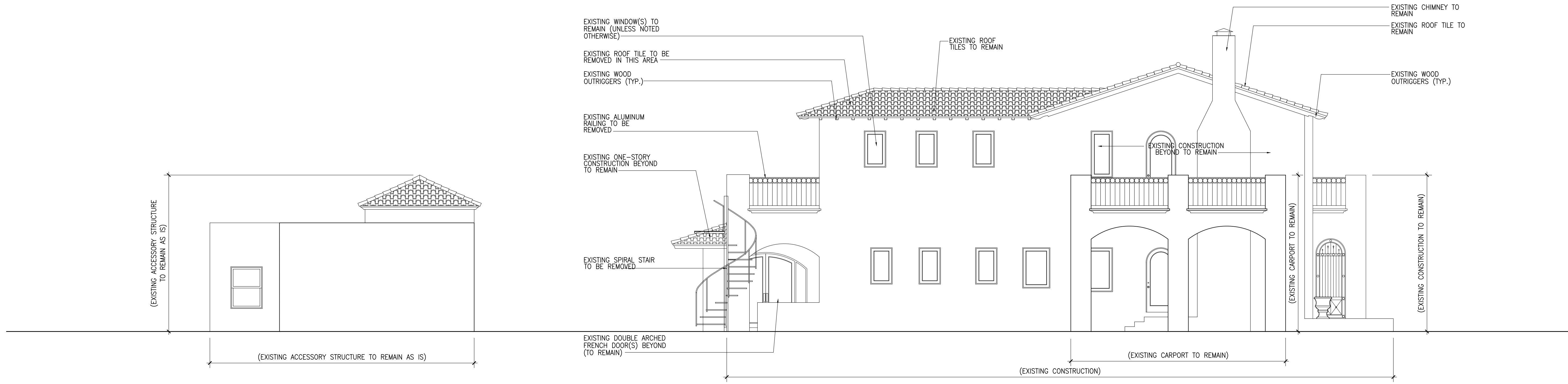
REVISIONS:

NO.	DATE	DESCRIPTION

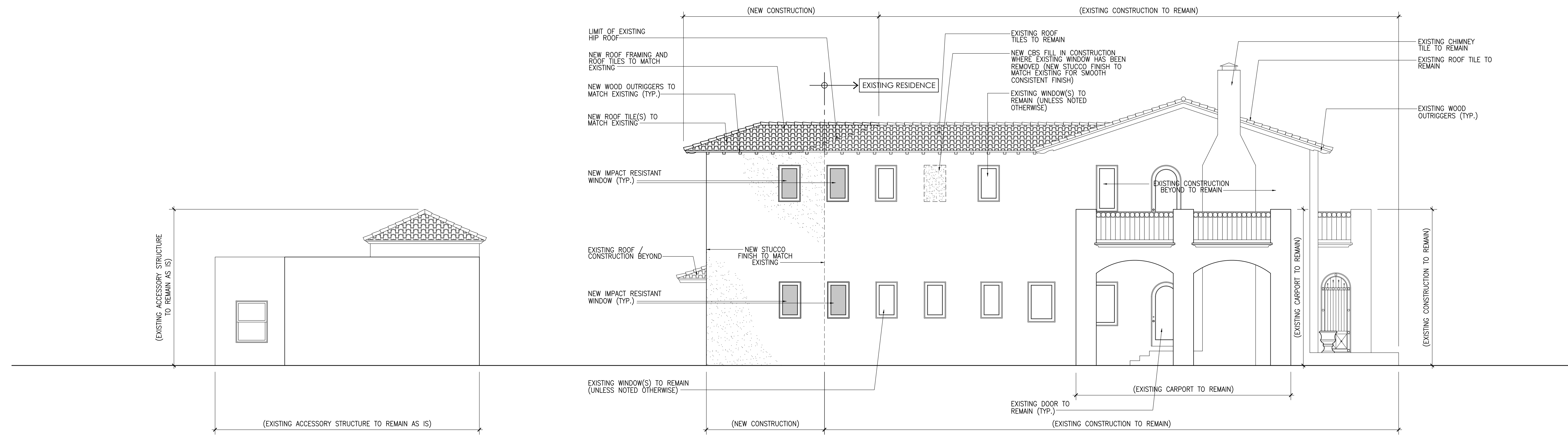
EXTERIOR
ELEVATIONS

DRAWN
C.C.
CHECKED
A.R.
DATE
September 15, 2024
SCALE
SEE PLAN
JOB NO.

SHEET
A301
OF SHEETS

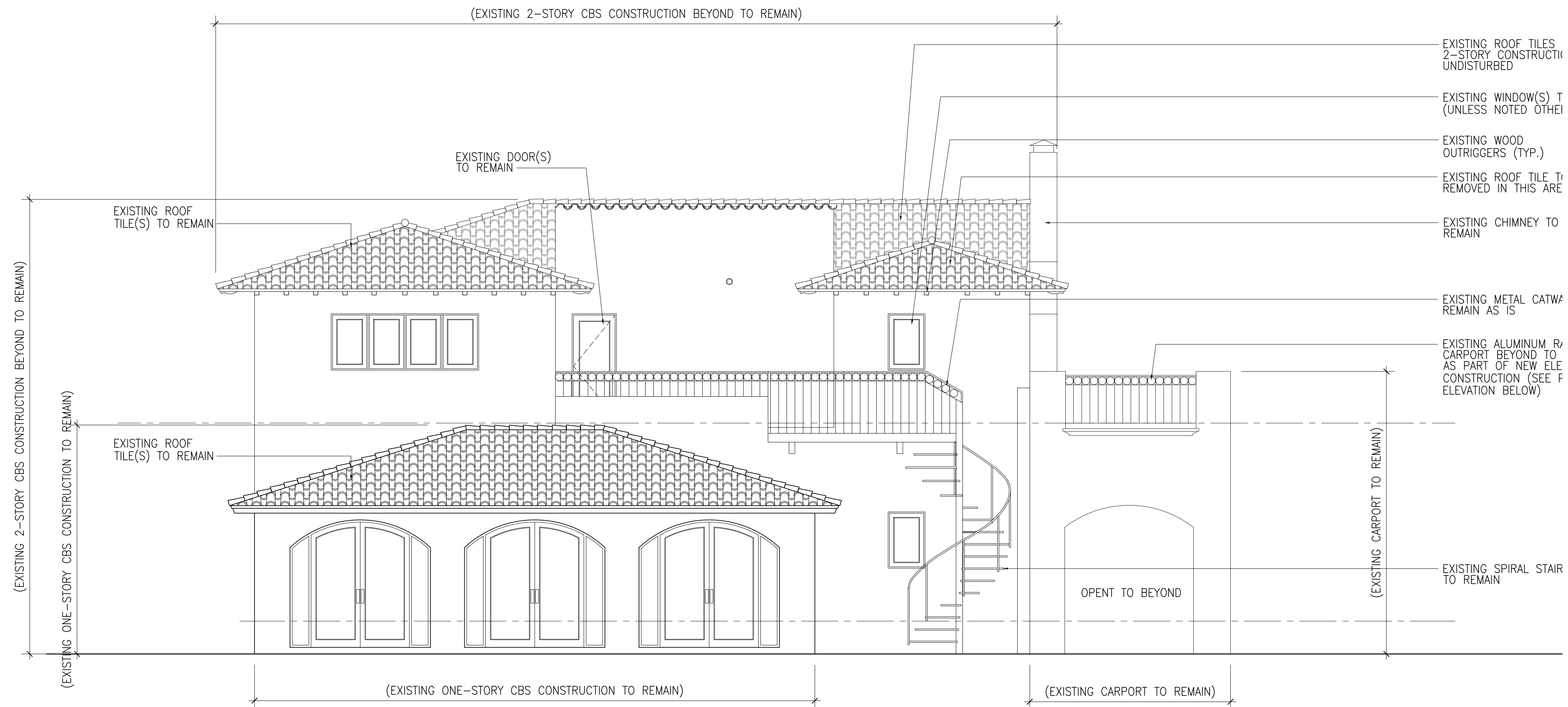


1 EXISTING WEST ELEVATION
A301 3/16" = 1'-0"

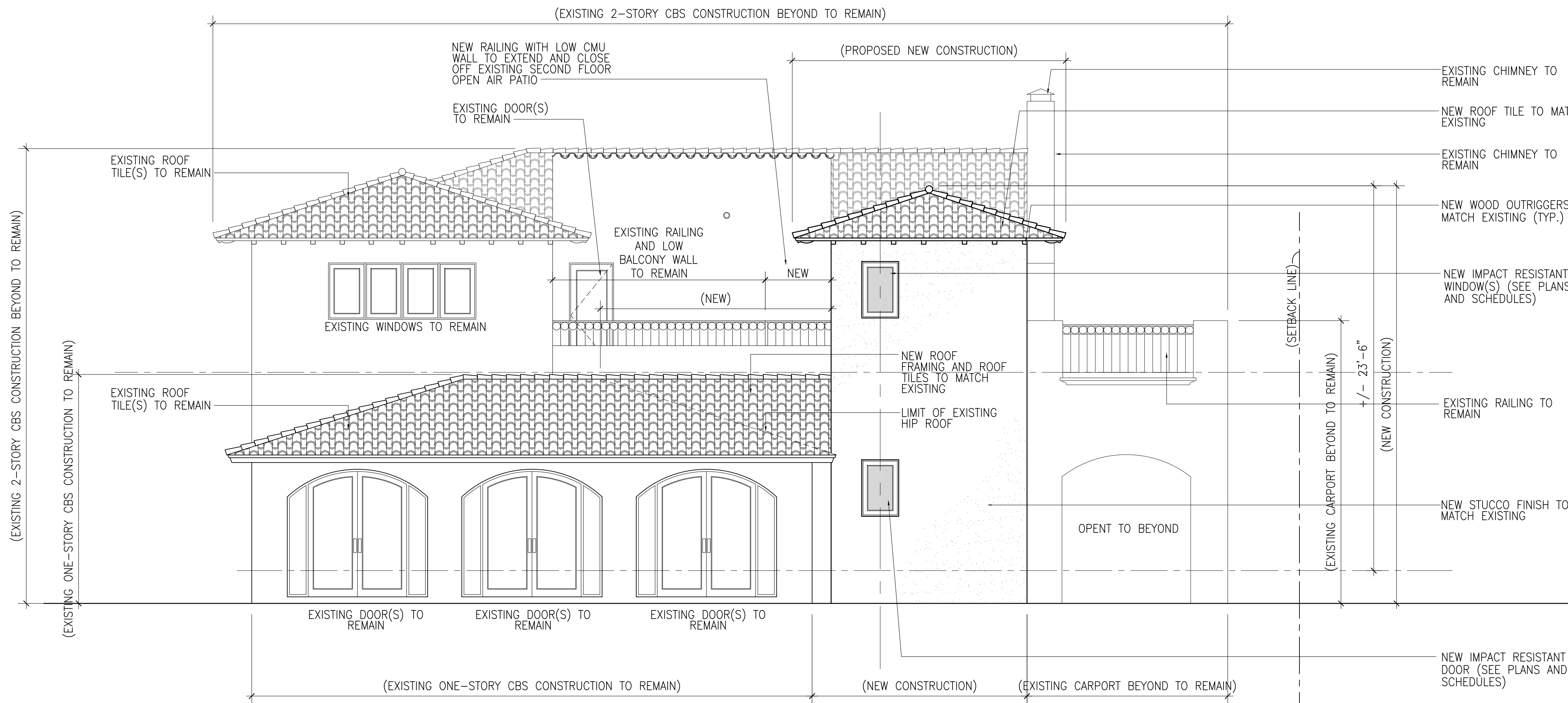


2 PROPOSED WEST ELEVATION
A301 3/16" = 1'-0"

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1
A301
EXISTING NORTH (REAR) ELEVATION
1/4" = 1'-0"



2
A302
PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0"

NOTE:
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REVISIONS:

NO.	DESCRIPTION

EXTERIOR ELEVATIONS

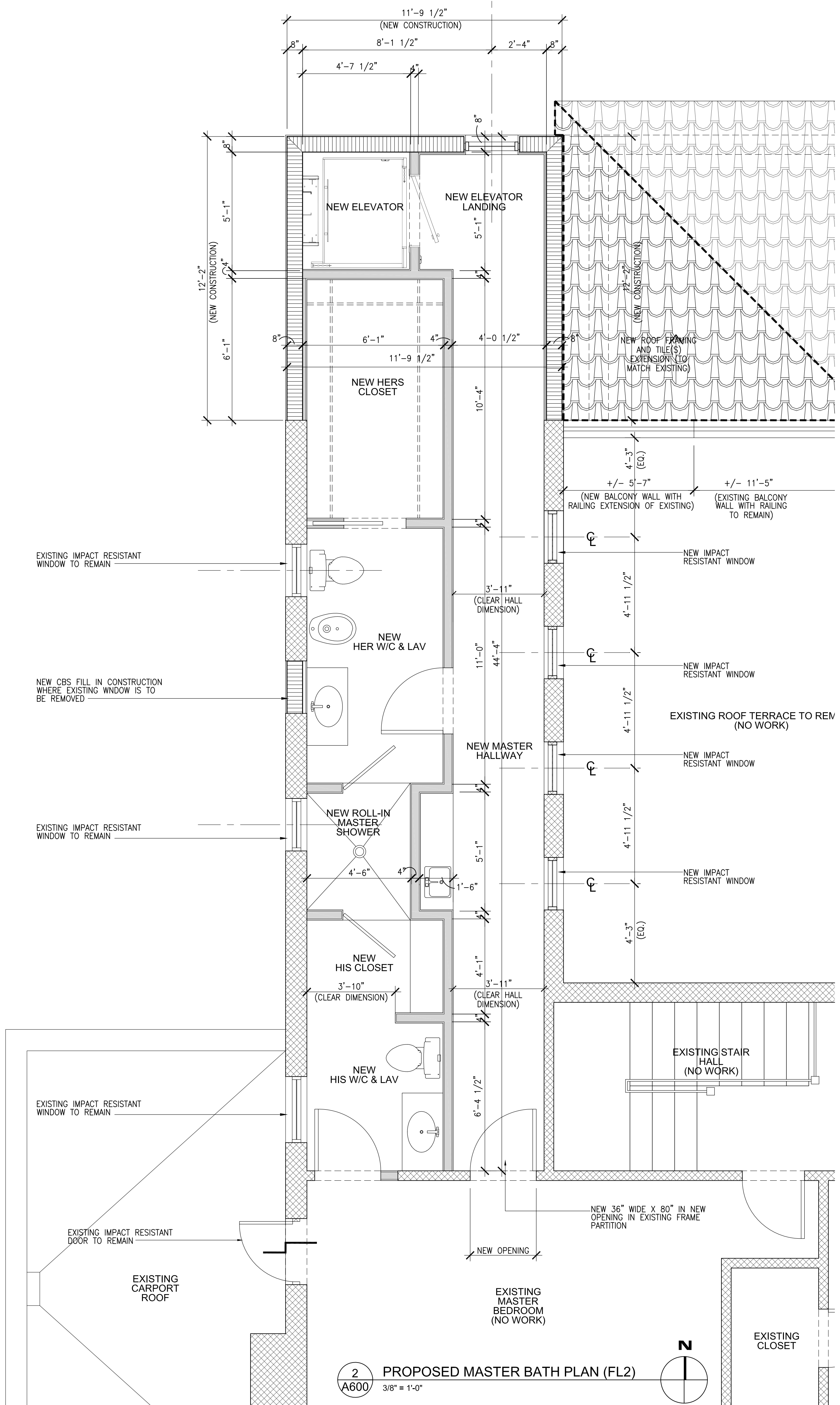
DRAWN
C.C.
CHECKED
A.R.
DATE
August 28, 2024
SCALE
SEE PLAN
JOB NO.

SHEET

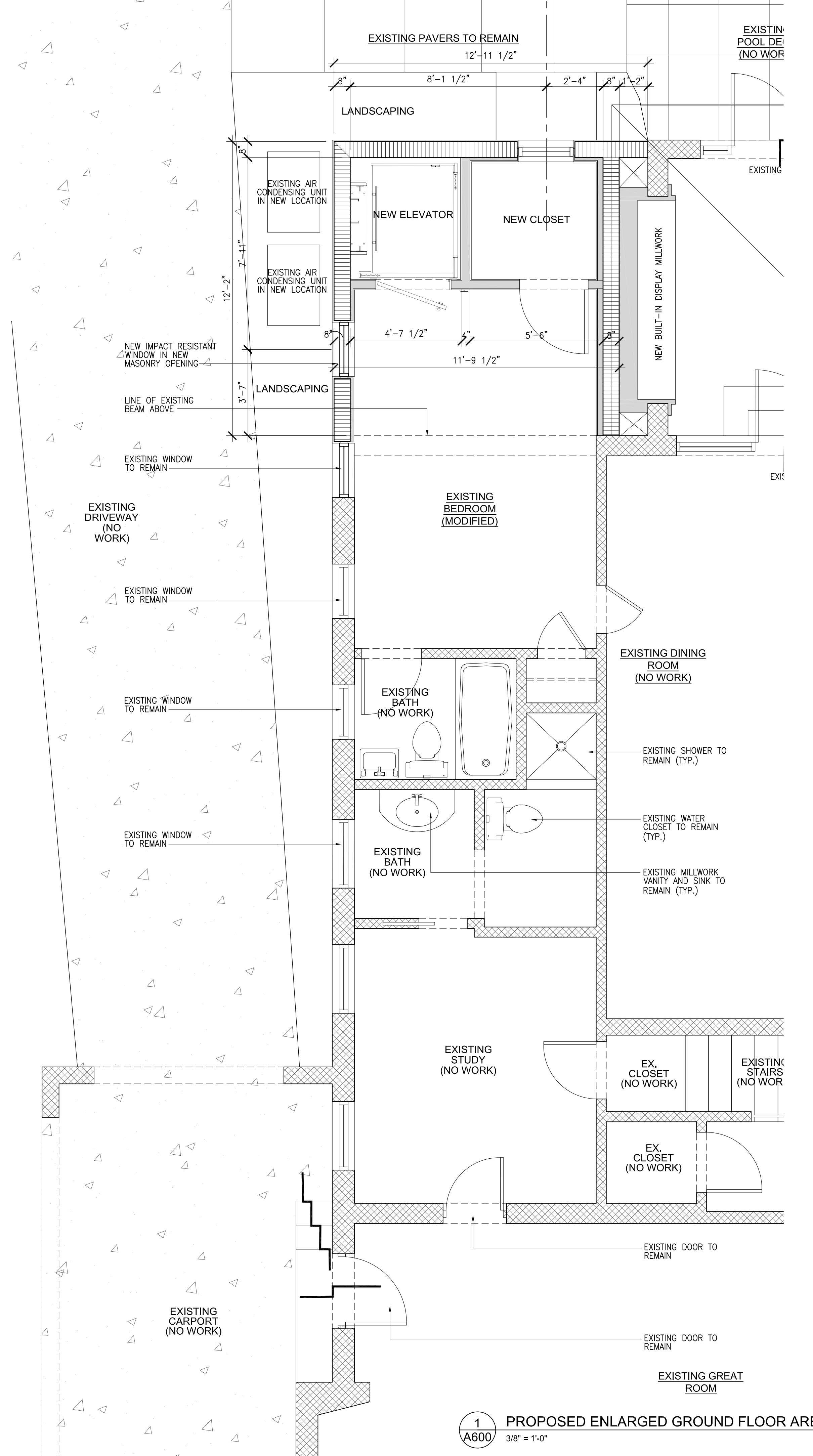
A302

OF SHEETS

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2 PROPOSED MASTER BATH PLAN (FL2)
A600 3/8" = 1'-0"



1 PROPOSED ENLARGED GROUND FLOOR AREA
A600 3/8" = 1'-0"

WALL LEGEND:

- EXISTING CONSTRUCTION TO REMAIN. ALL EXISTING WALLS TO BE REFRESHED TO MATCH NEW ADJACENT CONSTRUCTION FOR SMOOTH CONSISTENT FINISH THROUGHOUT
- EXISTING TO BE REMOVED
- NEW 8" CMU WALL WITH FINISH TO MATCH EXISTING EXTERIOR SIDE AND 5/8" DRYWALL WITH MATCH TO EXISTING FINISH ON HI-HAT METAL FURRING STRIPS @ 16" O.C. W/ MIN. R=4.1 RIGID INSULATION ON INTERIOR SIDE (TYP.) (BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
- NEW INTERIOR PARTITION - USE 2 X 2 (22-24) METAL FRAMING @ 16" O.C. WITH 5/8" DRYWALL @ BOTH SIDES (TYP.) (BATHROOMS USE DUROCK (OR HARDYBOARD) AT WET LOCATIONS AND PURPLEBOARD AT ALL OTHER WALLS)
- (SEE BACKING BOARD FOR CERAMIC TILE BELOW)
- NEW CONCRETE CONSTRUCTION (SEE STRUCTURAL)

SHOWER /TUB SHALL HAVE FLOOR/WALLS TO FULL HEIGHT OF NON-ABSORBENT FINISH

BACKING BOARD FOR CERAMIC TILE TO BE CEMENT FIBER, OR GLASS MAT

ALL INTERIOR WALL FINISHES SHALL BE MINIMUM LEVEL 4 FINISH

FIRESTOPS SHALL BE PROVIDED IN FURRED SPACE AT CEILING, FLOOR & TO LIMIT THE MAX. DIMENSION TO 8' AT WALL FURRED SPACE

CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL WINDOW SIZES / MASONRY OPENINGS PRIOR TO ORDERING.

ALL NEW WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANT AND SHALL BE UNDER SEPARATE PERMIT

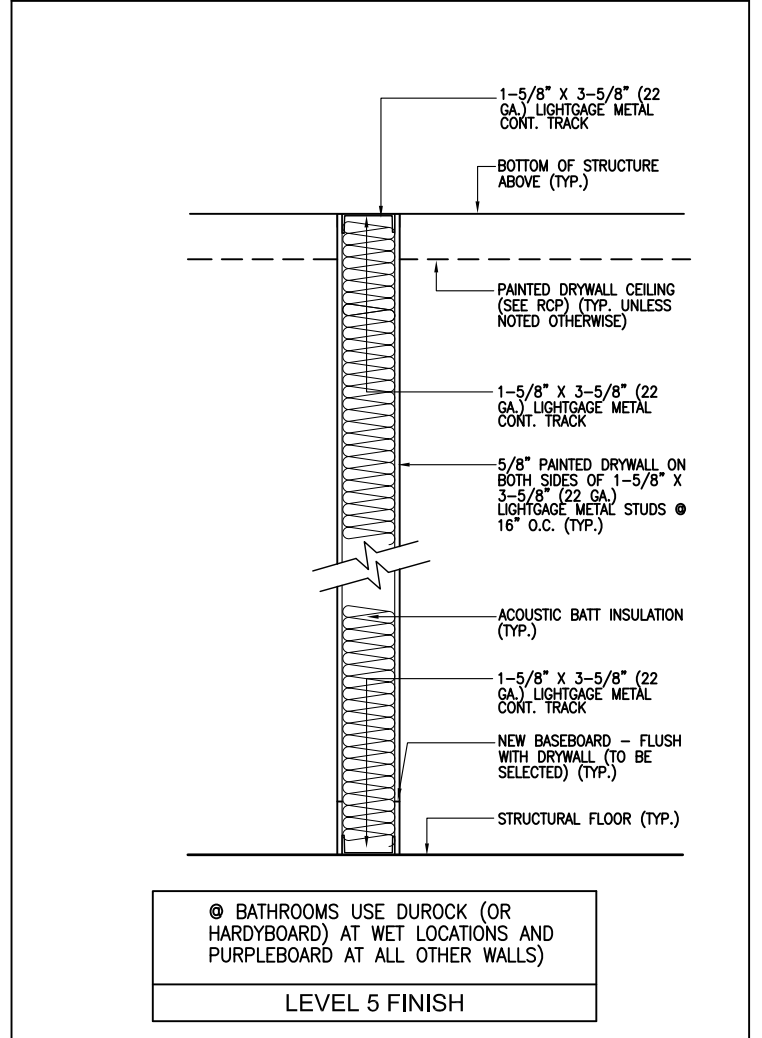
INSULATION FLAME SPREAD NOTE:
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450

FBC R308- GLAZING
Doors, bath and shower enclosures, and sliding glass doors containing glazing material greater than 9 square feet (0.84 m2) in surface area shall be classified as Category II glazing products. (see sheet A500 for additional safety glass requirements)

FIRESTOPS SHALL BE PROVIDED IN FURRED SPACE(*) AT CEILING, FLOOR & TO LIMIT THE MAX. DIMENSION TO 8'

FLOOD ZONE : X
EXIST. CROWN OF ROAD : 13.54' N.G.V.D.
EXIST. HOUSE LOWEST F.F.E. : 16.33' N.G.V.D.
EXIST. HOUSE HIGHEST F.F.E. : 16.45' N.G.V.D.
PROPOSED ADDITION F.F.E. : 16.45' N.G.V.D

THERMAL INSULATION NOTE:
ALL ROOF INSULATION SHALL HAVE A MIN. R VALUE OF 30.
(APPLY ICYNENE CLASSIC PLUS OPEN CELL SPRAY ON INSULATION AS PER MFRG.'S SPECIFICATIONS TO A MIN. THICKNESS OF 8.5" TO ACHIEVE THE MIN. REQUIRED ROOF R-VALUE OF 30.
ALL EXTERIOR WALL RIGID INSULATION SHALL HAVE A MIN. R VALUE OF XXXX



A TYPICAL INTERIOR PARTITION (NON-RATED)
LEVEL 5 FINISH

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DALIMA STUDIO ARCHITECTURE

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Residential Level 2 Remodeling and Addition:
The Guzman Residence
809 Coral Way
Coral Gables, Florida 33134

ALBERT I. RODRIGUEZ
FLORIDA REGISTERED ARCHITECT
AR No. 16282

REVISIONS:

ENLARGED FLOOR PLANS

DRAWN
C.C.
CHECKED
A.R.
DATE
August 28, 2024
SCALE
SEE PLAN
JOB NO.

SHEET
A600
OF SHEETS