



North Ponce Community Visioning Workshop Report

August 25, 2015

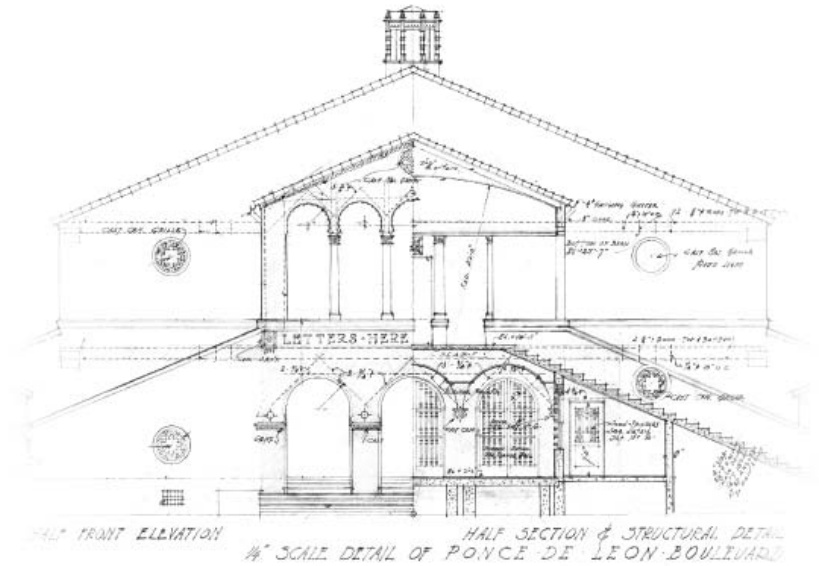
City Commission Follow Up

DRAFT 08.19.15

North Ponce

Community Visioning Workshop Report

City staff will discuss the community input received during the North Ponce Community Visioning Workshop. City staff and consultant Chuck Bohl will present policy recommendations, as well as action steps for implementation, based upon the community input received. These general recommendations are for Commission information. Further comments from the public, staff and Commission will be collected and incorporated into a final draft, to be presented at a future date. The attached report is preliminary and should be used as the starting point of a long-term planning process.

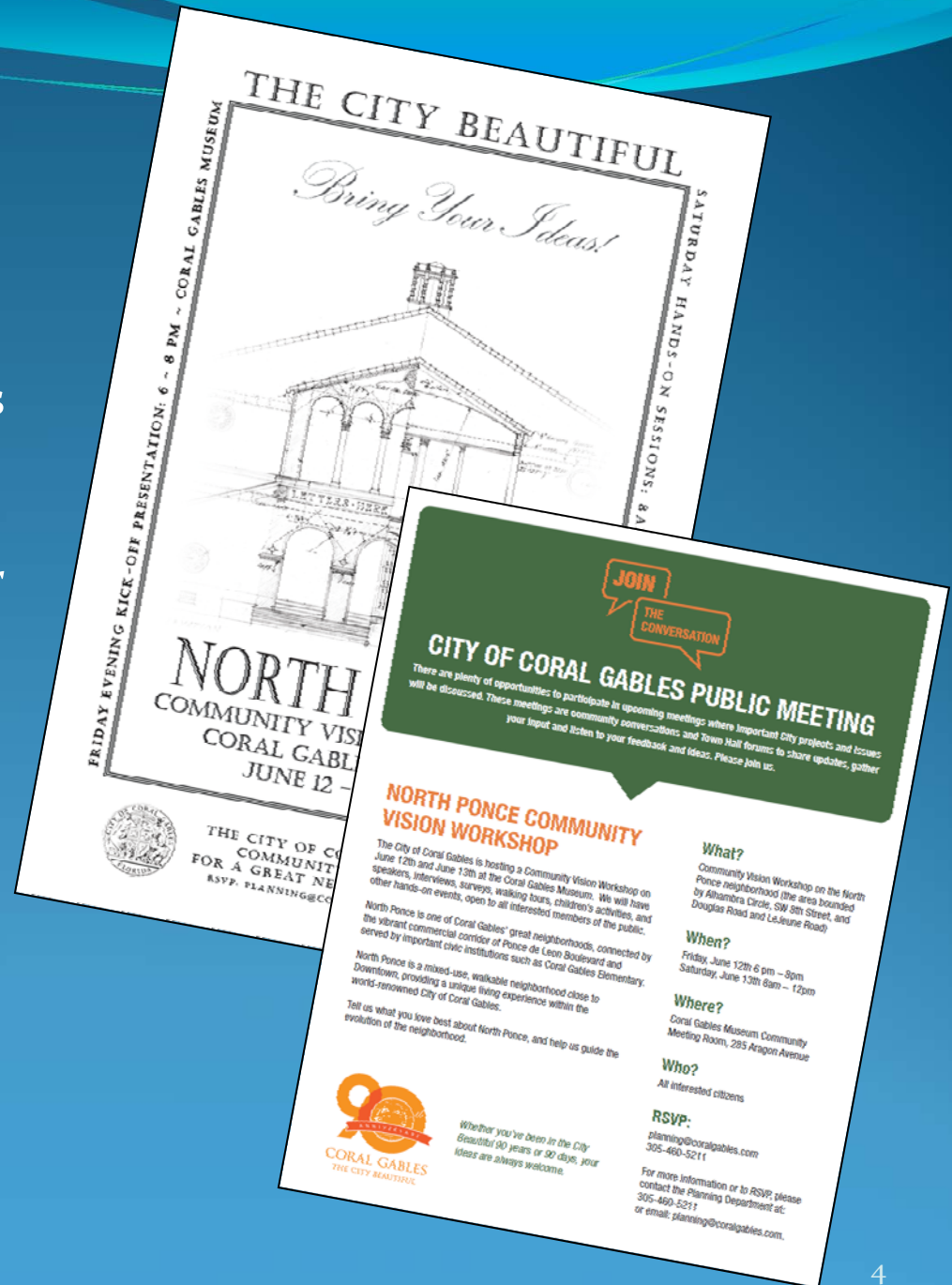


*A follow-up report to the Coral Gables City Commission
on the findings and recommendations from the June 12 -
June 13, 2015 North Ponce Community Vision Workshop*

Workshop Summary Video

Public Outreach

- Special Town Hall E-News
- Regularly Scheduled E-News
- City Website - Upcoming Events
- City Website - Master Calendar
- Emails to registered homeowner associations in the study area
- Flyers distributed to local businesses and public buildings
- Coral Gables TV promotion
- Newspaper Advertisement



Workshop Agenda

Friday, June 12, 2015

6:00 – 8:30 pm Kickoff Presentations and Public Discussion:

- Five Points of a Healthy Neighborhood, Joanna Lombard
- Residential Building Types and Historic Preservation, Jorge L. Hernandez
- Creating Quality Urban Neighborhoods, Elizabeth Plater-Zyberk
- Coral Gables 2002 Charrette: Recap and Changes Since, Charles C. Bohl
- Audience Q & A

Saturday, June 13, 2015

- 8:30 am - 9:00 am Workshop Registration and Refreshments
- 9:00 am - 11:00 am Study Area Trolley & Walking Tour
- 11:00 am - 11:30 am Individual and Group Workshop Activities
- 11:30 am- 12:15 pm Report back from team discussion sessions
- 12:15 pm – 12:30 pm Wrap up and next steps





Study Area

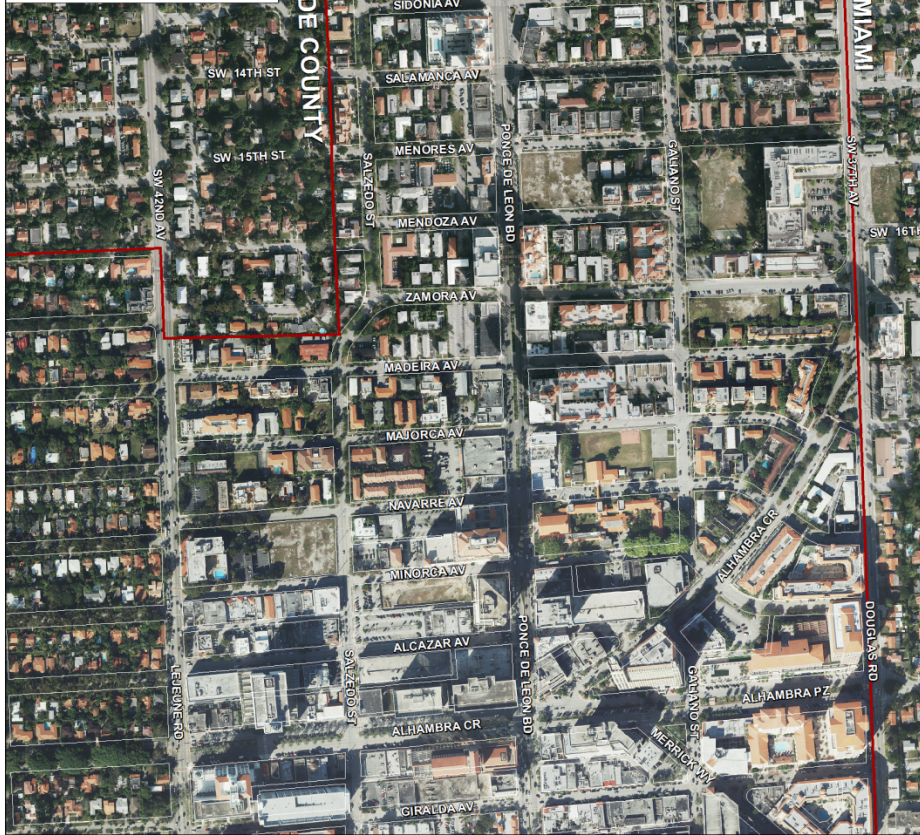
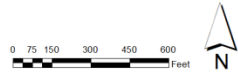
Analysis Maps





NORTH PONCE AERIAL

DEVELOPMENT SERVICES DEPARTMENT
PLANNING AND ZONING DIVISION
JUNE 2015

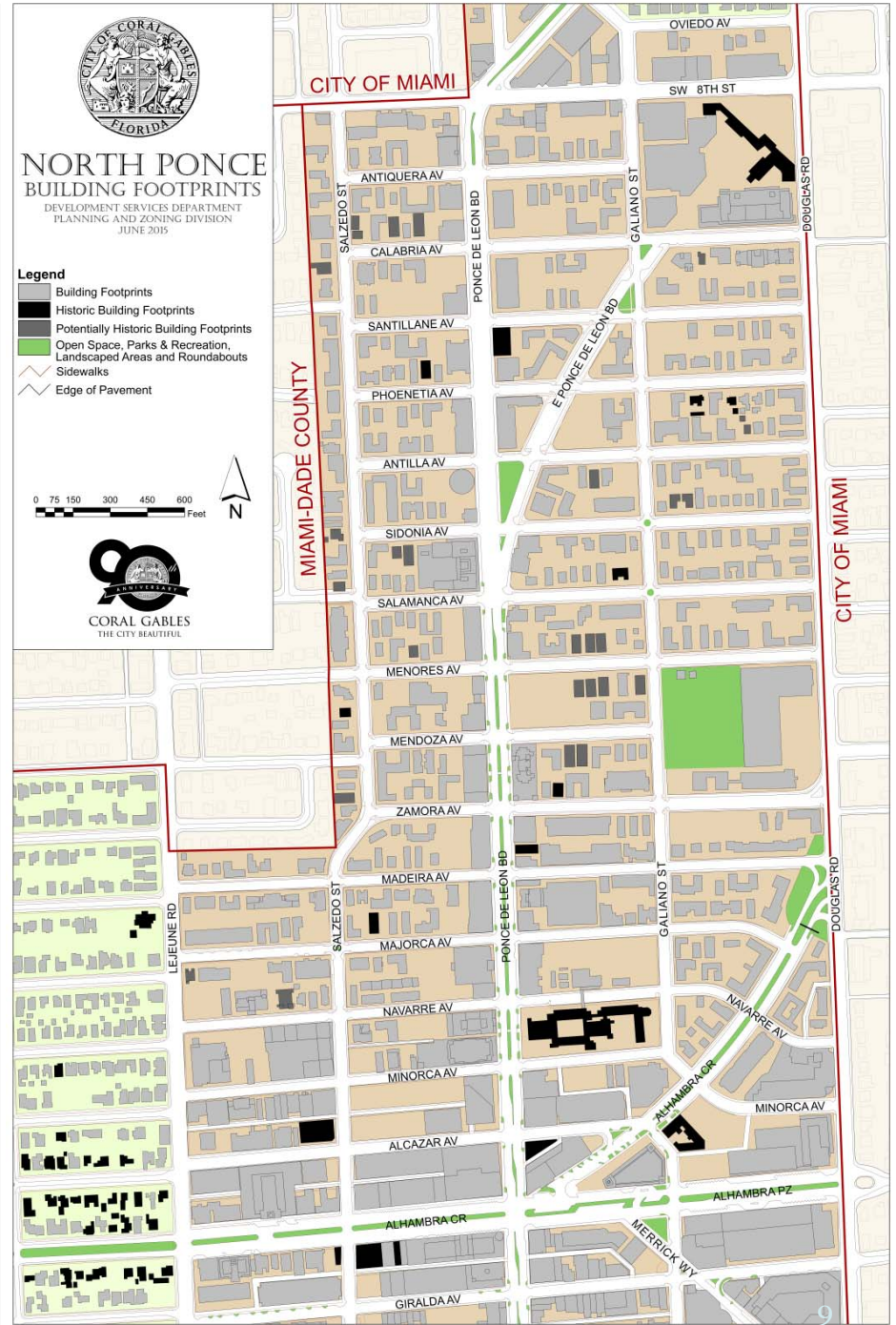
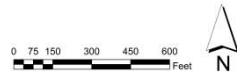


NORTH PONCE BUILDING FOOTPRINTS

DEVELOPMENT SERVICES DEPARTMENT
PLANNING AND ZONING DIVISION
JUNE 2015

Legend

- Building Footprints
- Historic Building Footprints
- Potentially Historic Building Footprints
- Open Space, Parks & Recreation, Landscaped Areas and Roundabouts Sidewalks
- Edge of Pavement

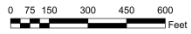




NORTH PONCE FUTURE LAND USE MAP

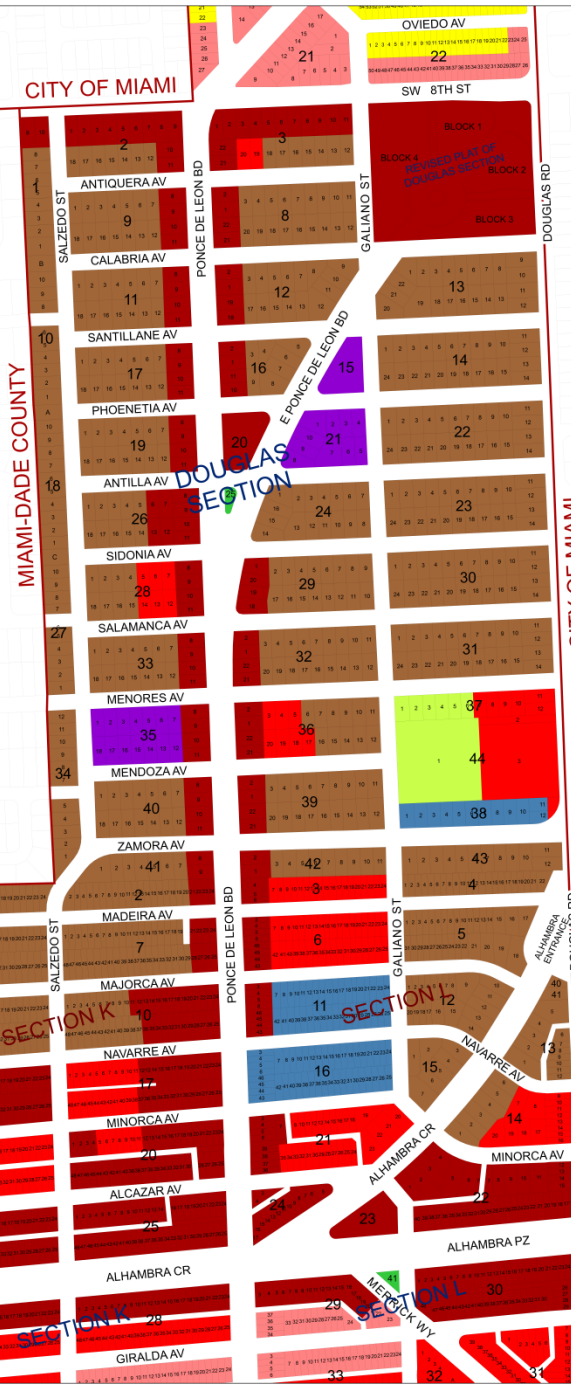
DEVELOPMENT SERVICES DEPARTMENT
PLANNING AND ZONING DIVISION
JUNE 2015

- LAND USE CLASSIFICATIONS**
- Single-Family Low Density (6 Units/Acre)
 - Single-Family High Density (9 Units/Acre)
 - Multi-Family Duplex Density (9 Units/Acre)
 - Multi-Family Low Density (50 Feet; 20 Units/Acre)
 - Multi-Family Medium Density (70 Feet; 40 Units/Acre)
 - Multi-Family High Density (150 Feet; 60 Units/Acre)
 - Commercial Low-Rise Intensity (50 Feet; 3.0 FAR)
 - Commercial Mid-Rise Intensity (70 Feet; 3.0 FAR)
 - Commercial High-Rise Intensity (150 Feet; 3.0 FAR)
 - Industrial (70 Feet; 3.0 FAR)
 - Education (2.0 FAR)
 - Parks and Recreation (2.0 FAR)
 - Open Space (0.0 FAR)
 - Conservation Areas (0.0 FAR)
 - Public Buildings and Grounds (2.0 FAR)
 - Hospital (2.0 FAR)
 - Religious/Institutional (2.0 FAR)



CORAL GABLES
THE CITY BEAUTIFUL

CITY OF MIAMI



NORTH PONCE ZONING MAP

DEVELOPMENT SERVICES DEPARTMENT
PLANNING AND ZONING DIVISION
JUNE 2015

- ZONING DISTRICTS**
- (SFR) Single-Family Residential
 - (MF1) Multi-Family 1 Duplex
 - (MF2) Multi-Family 2
 - (MFSa) Multi-Family Special Area
 - (CL) Commercial Limited
 - (C) Commercial
 - (I) Industrial
 - (S) Special Use
 - (UCD) University Campus District
 - (P) Preservation
 - (CBD) Central Business District
 - City Limits



CORAL GABLES
THE CITY BEAUTIFUL


CITY OF MIAMI




Public Input

One-word
Cards

In ONE word...
Describe North Ponce today:
Confused
What is your vision for the future?
Liveable




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WORKSHOP




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In ONE word...
Describe North Ponce today:
CHARACTER
What is your vision for the future?
PRESERVATION




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In ONE word...
Describe North Ponce today:
Mediterranean
What is your vision for the future?
Diversity, more families.




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In ONE word...
Describe North Ponce today:
NO SHADE TREES
What is your vision for the future?
BIKABLE




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In ONE word...
Describe North Ponce today:
neglected
What is your vision for the future?
healthy




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In ONE word...
Describe North Ponce today:
HODGEPODGE
What is your vision for the future?
HARMONIOUS



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Community Survey

COMMUNITY SURVEY HANDS-ON SESSION, JUNE 13, 2015

Thank you for your participation and for sharing your ideas.
Please leave this form at the sign-in table when complete.

1. Do you live or work within the study area? (please circle)

Live Work Neither Other (explain)

If so, for how long?

24 YEARS

2. What do you love most about the North Ponce area?

LOTS OF SPACE, BUT MOST WASTED

3. In your opinion, what aspects of the North Ponce area need the most improvement?

NEED CANOPY TREES, BOARD WALKS
PEDESTRIAN & BIKE ROUTES, CAFEES

4. What uses do you feel should be added to North Ponce in the future?
(for example, civic uses, types of businesses, shops, housing, open spaces, etc)

5. What character should the North Ponce area have in the long-term future?

LIVING SPACE & WALKWAYS

6. Additional Comments and Suggestions (continue on back if necessary)



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COMMUNITY VISION
WORKSHOP



Community Survey

COMMUNITY SURVEY HANDS-ON SESSION, JUNE 13, 2015

Thank you for your participation and for sharing your ideas.
Please leave this form at the sign-in table when complete.

1. Do you live or work within the study area? (please circle)

Live Work Neither Other (explain)

If so, for how long?

8 years

2. What do you love most about the North Ponce area?

• Ponce trolley • affordable • small, old buildings
• walkable, grid streets • diverse

3. In your opinion, what aspects of the North Ponce area need the most improvement?

• trolley improvements • reduced parking requirements
• street trees (shade) • parks
• supportive historic preservation • sidewalks at Alhambra entrance

4. What uses do you feel should be added to North Ponce in the future? (for example, civic uses, types of businesses, shops, housing, open spaces, etc)

civic uses, small units

5. What character should the North Ponce area have in the long-term future?

a healthy mix of historic, Mediterranean + modern Mediterranean

6. Additional Comments and Suggestions (continue on back if necessary)

• temporary parks on unbuilt lots
• trolley improvements (GPS tractor, app, shorter headway)
• splash pad @ Ponce + Mendoza



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COMMUNITY VISION
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• limit tall buildings to only Ponce
• open Elementary school street after hours
• bike lanes on Alhambra Cir

• incentivize small development by reducing parking requirements

+ Park @ Majorca + Selzedo

Trolley Tour Survey

TROLLEY TOUR WORKSHEET HANDS-ON SESSION, JUNE 13, 2015

*Thank you for your participation and for sharing your ideas.
Please leave this form at the sign-in table when complete.*

1. What was your favorite part of the tour?

The intersection of Victoria and Ponce going north and the possibility for an expansion of the park connecting it to the children's play area + cemetery. Coffee shop connection to the hotel.

2. Did you learn anything new about the North Ponce area? What did you learn?

Architectural detail and variety. Massing, FAR, typology + style combinations. Parking challenges.

3. Of all of the ideas discussed on the tour and during the Workshop presentations, which ideas are the most exciting to you?

Increasing of affordable housing attracting the creative class by providing smaller + more numerous apartment units. Encouraging more mix of uses.

If you would like to be contacted about your responses, please write your name and contact information on this page.



NORTH PONCE
COMMUNITY VISION
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Public Input

Visual Preference Survey



ONE OF THE BEST!!



Good Architecture
Bad parking area
in front

Public Input

Visual Preference Survey



No shade
Trees.



No trees.
Blank walls



No open
retail.

Public Input

Visual Preference Survey



-
-
- Affordability OK
Too much driveway
Needs landscaping.
-
- Bad Parking Garage
No lines
Bad Street scape
OK transition



- Bad 1st Floor
-
- Hotel/Inntel? Transient pop.
O otherwise Not effective
-
-

Public Input

Visual Preference Survey



greenery



no



-NO DOORS
for shops
-Tall Blank
walls.



-utilities on
sidewalk
-No shade trees

Table 1:

- Want to see more varied roof lines
- Eyes on the street, stoops, porches, windows
- Like shady streets
- Want to see more parks and improved parks

Public Input

Table 1 Study Map

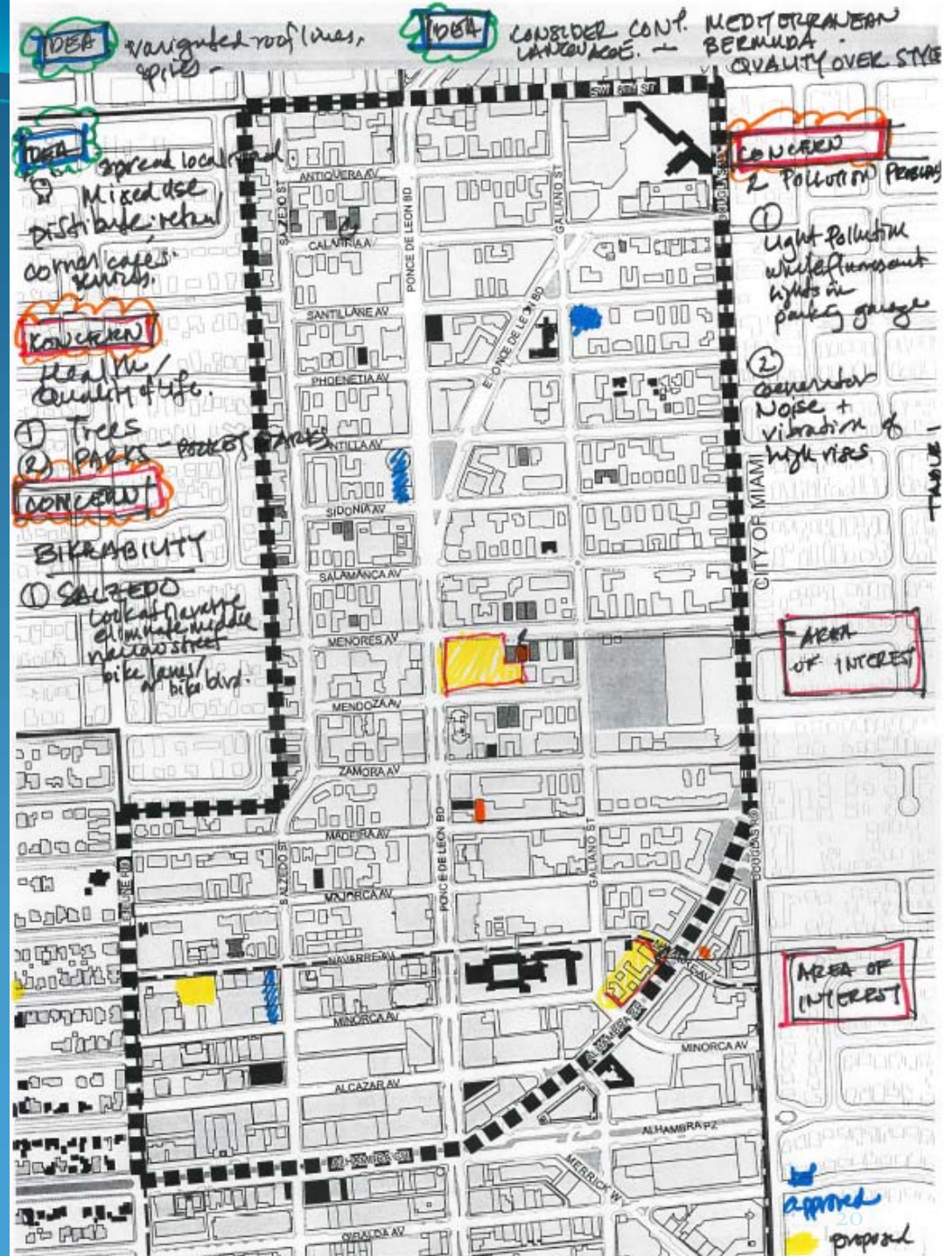


Table 2:

- Small urban incremental development that fits in rather than superblocks
- Less parking
- Take advantage of the new sharing economy: Car2Go, Uber
- North Ponce is a multimodal neighborhood already – make it better, support its strengths
- The diagonal of East Ponce is an opportunity to shape a great urban space – terminated vistas on both ends

Table 3:

- No parking for buildings less than 3 stories
- Encourage historic preservation through policy incentives
- Coding for building type and scale
- Alhambra Circle – want to keep it quiet and residential. People come here to get away from noise, traffic, night life on Brickell. Keep it quiet, preserve the historic buildings.
- Big issue – how deep will big development go into the neighborhood

Table 4:

- Need a small market / grocery on Ponce (Publix turns its back on the neighborhood)
- Ponce Park should be urban, green, and usable
- Make pedestrian areas exceed 50% of the ROW width
- The frontage is not so nice when it is used for parking / driveways. Keep it green.
- Mandatory Mediterranean Architecture

The Community Vision expressed in the workshop was:

- Protect the unique character of this neighborhood of small scale historic and older apartment buildings,
- Develop standards for compatible new development, and
- Protect and enhance the area's compact, diverse, walkable and verdant character.

Short-Term Action Steps

1. Historic Preservation

- (A) Verify accuracy of maps. Create an interactive map for public information, as a 90th anniversary project.
- (B) Prepare marketing documents for TDR program.

2. Public Space, Streets and Pedestrian-Friendly Design

- (C) Coordinate with Elizabeth Plater-Zyberk a design studio for Ponce de Leon Park and its vicinity.
- (D) Identify four neighborhood parks, to be included in the City Capital program.
- (E) Identify four neighborhood parking lots, to be included in the City Capital program.

3. East Ponce Boulevard Quadrant

- (F) Identify two neighborhood streets for enhanced sidewalks and landscaping, to be included in the City Capital program.

4. Alhambra Circle Corridor/Quadrant

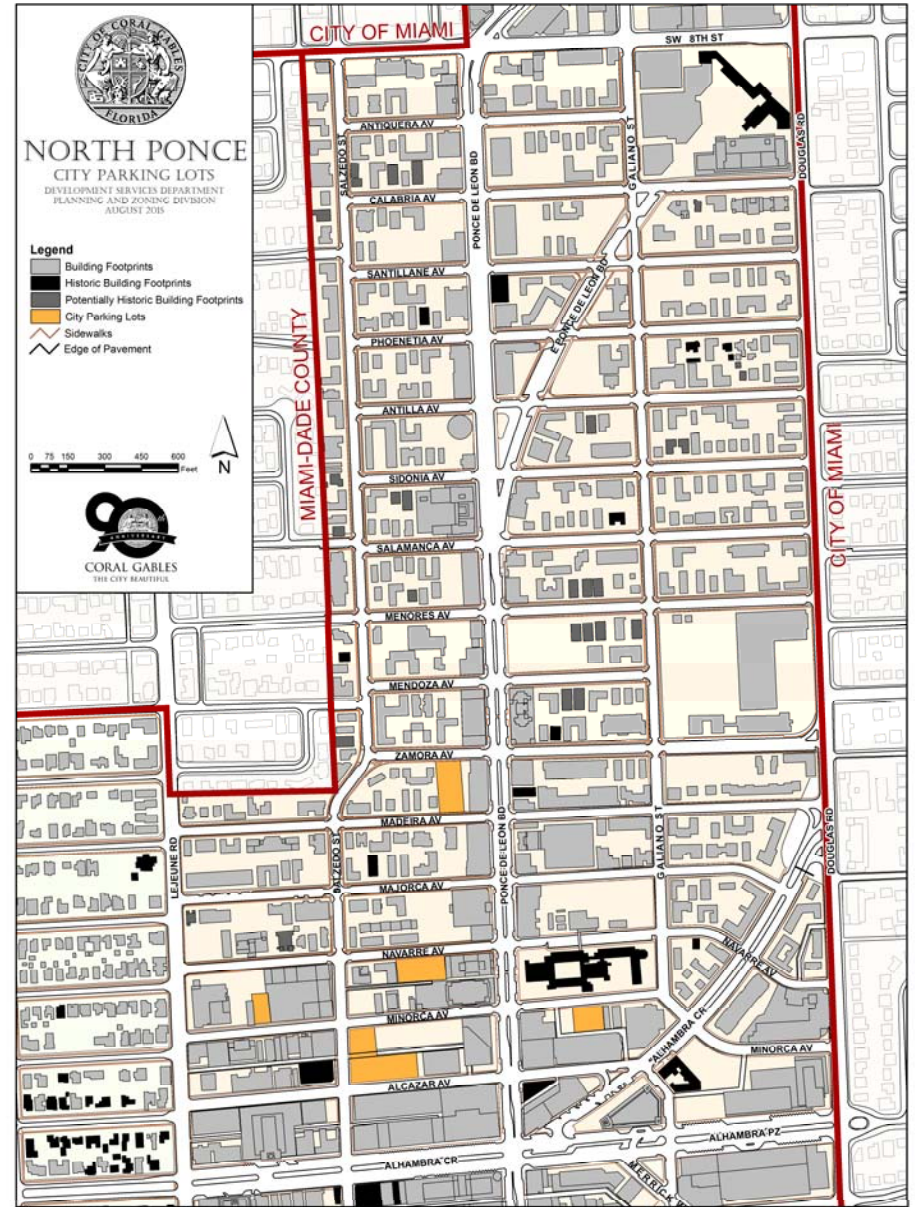
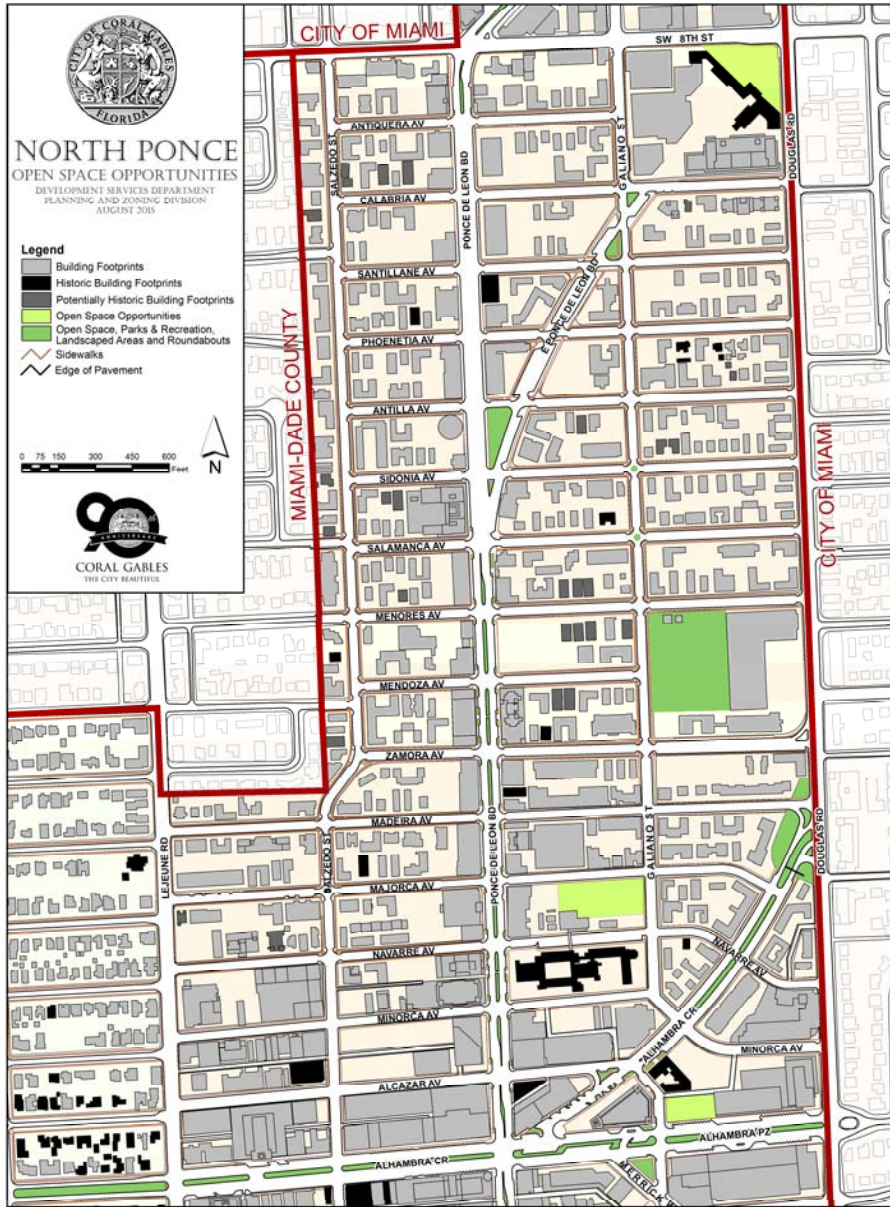
- (G) Review proposed changes of land use or zoning based on input from workshop. Proposed land uses for North Ponce project located within the Central Business District should not exceed Commercial mid-rise.
- (H) Require enhanced pedestrian features, such as arcades, paseos and enhanced sidewalks, through the site plan review process.

5. Large Scale Development on Major Commercial Corridors

- (I) Propose shared parking program, including remote locations for residential parking in the evening.
- (J) Revise parking requirements for small restaurants and delis located at the ground floor of mixed-used buildings.
- (K) Eliminate parking requirements for existing and new buildings under FAR of 1.4.

Illustrative Master Plan - Short-Term Action Steps





Long-Range Action Steps

1. Historic Preservation
 - (A) Promote historic preservation of existing small apartment buildings as an affordable housing strategy.
2. Public Space, Streets and Pedestrian-Friendly Design
 - (B) Develop neighborhood park and landscape master plan.
3. East Ponce Boulevard Quadrant
 - (C) Study design of neighborhood streets, with an emphasis on reducing pavement, enhancing tree cover and widening sidewalks.
4. Large Scale Development on Major Commercial Corridors
 - (D) Prepare Ponce Mixed-Use Zoning Overlay, which should include:
 - Requirements for building massing and stepbacks
 - Guidelines for paseos and public space
 - Parking requirements, including shared parking strategies
 - Allowed uses, including bed and breakfast

Illustrative Master Plan - Long-Range Action Steps

