

**BROOKFIELD PROPERTIES**

These working drawings have been reviewed for design intent only. It is the Tenant's obligation to comply with all established Tenant Design Criteria as set forth in the lease agreement, lease plan, construction handbook, bulletins or as otherwise notified. It is also the Tenant's obligation to comply with all applicable laws, ordinance, building codes and regulations.

APPROVED  APPROVED AS NOTED  
 DISAPPROVED RESUBMIT

DATE: 8-4-22 BY: John P. O'Brien

**NOTE:**

**NO WORK SHALL BEGIN WITHOUT PROVIDING A COPY OF THE APPROVED MASTER PERMIT & THE GC'S C.O.I. TO THE MALL MANAGEMENT OFFICE.**

**ADA Compliance**

Tenant's leased premises must comply with Title III of the Americans with Disabilities Act (ADA). Compliance will include, but not limited to, the design, construction and/or alteration of the leased premises. Upon completion of work, Tenant or Tenant's Architect must supply to Landlord a letter, satisfactory to Landlord, stating that the leased premises have been designed and constructed in accordance and are in compliance with the ADA.

**SUBMIT MATERIAL SAMPLES AND COLOR BOARD FOR APPROVAL.**

**Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

After Brookfield Properties approval, any changes or modifications in the construction documents or Tenant improvements must be Approved by Brookfield Properties in writing.

A COPY OF THESE PLANS MUST BE IN THE POSSESSION OF THE TENANT'S GENERAL CONTRACTOR AT THE PRE CONSTRUCTION MEETING AND ON SITE DURING CONSTRUCTION.

**HAZARDOUS SUBSTANCE**  
 It is the responsibility of the Tenant and the Tenant's Contractor (s), when preparing for and proceeding with construction in the premises, to comply with all requirements of all applicable laws concerning hazardous substances. The Tenant shall not permit the installation or use of any hazardous substances in any component of the premises during its tenancy.

**GOVERNING CODES:**

- FLORIDA BUILDING CODE, BUILDING: 2020 1TH EDITION
- FLORIDA BUILDING CODE, PLUMBING: 2020 1TH EDITION
- FLORIDA BUILDING CODE, MECHANICAL: 2020 1TH EDITION
- FLORIDA FIRE PREVENTION CODE: 2020 1TH EDITION
- NFPA 101 NATIONAL ELECTRICAL CODE: NEC 2011 EDITION
- NFPA 101, LIFE SAFETY CODE, 2018

All reused material and equipment must be refurbished to "like new" condition.

**SHOPS AT MERRICK PARK GENERAL COMMENTS:**

- Contact Mall Operations prior to demo start. The mall requires advanced notice to order an asbestos survey - Cost to be reimbursed by contractor at pre-construction meeting.
- Any exterior improvements will require a separate visit to the City Board of Architects (BOA) prior to permit application. If cost of remodel is above \$75K, then add two weeks to BOA process - for City BOA official notification "posting" on property.
- Tenant contractor shall provide a phasing plan to Mall Operations for approval prior to work start. All work that would be considered noisy or otherwise disturbing must be performed during non-operating hours.

**LANDLORD GENERAL NOTES:**

- All construction phasing must be approved in writing by the Mall Operations Manager
  - All Landlord general notes appearing on this sheet shall apply to the entire Landlord reviewed set even if not explicitly appearing on each applicable page.
  - Tenant contractor shall perform first-class workmanship. Acceptance is contingent upon Landlord approval.
  - Approval is subject to verification of conditions and compliance with procedures form local Brookfield Properties authority.
  - Tenant GC shall be responsible for compliance with all Landlord construction procedures and ensuring that all subcontractors are also compliant. Fines will be assessed for Non-Compliance.
  - Tenant GC is responsible to ensure that all subcontractors bid and build off of the Landlord approved drawings.
  - Tenant GC to check in with local Brookfield Properties authority prior to work start.
  - Brookfield Properties cannot guarantee that internal changes have not occurred since these plans have been prepared. We strongly recommend that this space be field verified to ensure the accuracy of these drawings.
  - It is the responsibility of the Tenants Architect to field verify all dimensions, utility locations and conditions prior to and during construction.
  - Tenant contractor shall repair and/or repaint Landlord construction damaged during Tenant improvements.
  - All Tenant construction must be confined to the Tenants leased premises. No work or storage of materials may occur in any corridor, exterior of the space or Landlord common area.
  - All work that shall be considered noisy or disturbing to adjacent tenants or mall traffic must be performed outside of mall hours.
  - Tenant architect to ensure that all Landlord comments not included in bid package sent prior to Landlord approval are communicated to all subcontractors. All Landlord notes and comments must appear on final working drawings in the field. Tenant contractor must maintain a Landlord approved set on-site at all times.
  - All work by Tenant unless otherwise specified in Tenant's executed lease.
  - See "Merrick Park Construction Rules and Regulations" for a complete list of all Landlord required subcontractors.
- Recently the City of Coral Gables has shown an interest in all barricade and window graphics visible from public roadways. Code is very particular on the type that is permitted and the process to gain approvals if a store deviates. Graphic would need to be approved by the city as it would be visible from public street.
- oDetail should include the heights of the letters, how it will be affixed to the barricade, and how it would look on the barricade itself(rendering of some sort)
  - oAs part of the submittal package, you would need to show what the overall barricade would look like with the graphic.
  - oThey have a temp sign criteria that is restricted to 16 SF total and generally used on construction fencing.

**SCOPE OF WORK**

**NEW ALTERATION LEVEL 3**  
 THE SCOPE OF WORK FOR THIS PROJECT IS FOR ALTERATION LEVEL 3 OF AN EXISTING 416 SF. RETAIL STORE LOCATED IN CORAL GABLES, FLORIDA. NO CHANGE OF USE PROPOSED.

**PLUMBING:** RELOCATE AN EXISTING 3-COMPARTMENT SINK AND GREASE TRAP BY A FEW FEET, REMOVE ONE HANDWASH SINK, REMOVE ONE MOP SINK.

**ELECTRICAL:** REQUIRE AN EXISTING ELECTRICAL PANEL WITH NEW BREAKERS AND RECEPTACLES AS NOTED ON PLANS.

**MECHANICAL:** EXISTING HVAC SYSTEM TO REMAIN, ADD 2 NEW PIECES OF EQUIPMENT AS NOTED ON PLANS.

**STRUCTURAL:** ONLY NEW INTERIOR PARTITIONS, ALL EXISTING EXTERIOR WINDOWS AND DOORS TO REMAIN.

**INDEX OF DRAWINGS**

CS-1	PROJECT INFORMATION & NOTES
D-1	DEMOLITION PLAN
A-1	NEW FLOOR PLAN, DETAILS AND NOTES
A-2	REFLECTED CEILING PLAN AND NOTES
E-1	ELECTRICAL POWER PLAN AND NOTES
E-2	ELECTRICAL LIGHTING PLAN AND NOTES
M-1	MECHANICAL PLANS AND NOTES
P-1	PLUMBING PLANS, RISER AND NOTES

**PREPARED FOODS AND ALCOHOLIC BEVERAGE NOTE:**

TENANT TO SERVE ALCOHOLIC BEVERAGES, NON-ALCOHOLIC BEVERAGES AND JUICES, AND READY TO SERVE FOODS, PRE-COOKED (NO COOKING SHALL BE DONE ON PREMISES)

**BUILDING DATA SUMMARY**

BUILDING CONSTRUCTION: TYPE I-B, SPRINKLERED  
 TENANT NET FLOOR AREA: 416 SQ. FT.

**BUILDING CODE SUMMARY**

APPLICABLE CODE: FLORIDA BUILDING CODE CURRENT EDITION  
 OCCUPANCY TYPE: GROUP B - BUSINESS  
 GROSS TENANT SQUARE FOOTAGE: 416 SQ. FT.  
 CONSTRUCTION TYPE: TYPE I-B, SPRINKLERED  
 THIS SPACE HAS A FIRE SUPPRESSION / SPRINKLER SYSTEM  
 THIS SPACE HAS A FIRE ALARM SYSTEM

**LIFE SAFETY CRITERIA**

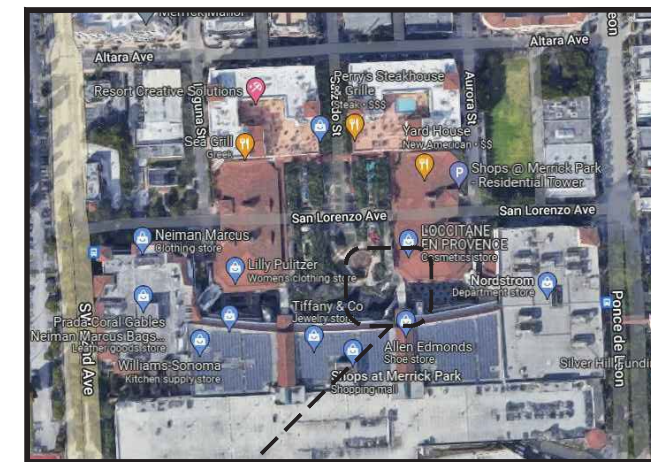
SPACE CLASSIFICATION: GROUP B - BUSINESS  
 OCCUPANCY: 5 PERSONS  
 (PER F.B.C. - CURRENT EDITION)  
 MEANS OF EGRESS REQUIRED: 2 INCHES PER PERSON x 5 = 10"  
 (PER F.B.C. - CURRENT EDITION)  
 MEANS OF EGRESS PROVIDED: 1 AT 36" (FRONT) (34" CLEAR)  
 TOTAL = 36" (34" CLEAR)

**LIFE SAFETY REQUIRED**

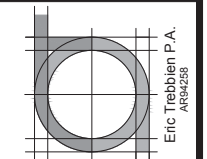
NUMBER OF EXITS - 1 (SINGLE MEANS OF EGRESS PERMITTED PER FBC TABLE 1006.2.1)  
 MEANS OF EGRESS - TRAVEL DISTANCE - 100' MAX  
 COMMON PATH OF TRAVEL - 100' MAX  
 DEAD END CORRIDOR - N/A  
 MIN. CORRIDOR WIDTH - 36" REQUIRED  
 INTERIOR FINISHES STATEMENT:  
 INTERIOR FINISHES - CLASS A OR B  
 INTERIOR FLOOR FINISH - CLASS I OR II



02 LOCATION MAP NOT TO SCALE



03 AERIAL NOT TO SCALE



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PROJECT NAME: **Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

SHEET TITLE: **Project Information, Site Plan & Notes**

REVISIONS:

RELEASED FOR PERMIT  
 DATE: 07/25/2022

PROJECT: 22150

**CS-1**

**Floor plan**

- Waterproofing is required in all wet areas. Landlord requires Laticrete 9235 or Mapei Mapelastc. A 24hr standing water test is required before flooring can be installed.
- Blocking must be provided or stiffeners installed in Landlord demising walls to prevent stud deflection as the result of shelving/fixtures mounted to demising walls. Fur out as needed to ensure that structural integrity of Landlord demising walls remains intact.
- Merchandise cannot be delivered to store until approval of final fire inspection and issuance of CO or TCO.
- Access panels in ceiling must be located to provide access to Landlord's mechanical equipment per local Brookfield Properties authority.
- Provide gypsum board ceiling with sprinkler head in back alcove. Ceiling finishes are to match service corridor finishes.
- It is the responsibility of the Tenant's Architect to field verify dimensions, utility locations, existing column lines, bulkhead conditions, neutral piers, etc. prior to and during construction.
- It is the architect's responsibility to ensure that all Landlord notes and comments must appear on final revised drawings and must appear on all drawings in the field.
- No utilities may be installed in Landlord provided demising walls.
- All plywood/wood must be fire retardant
- Tenant needs a metal reveal next to the neutral pier and bulk head.
- Interlock exhaust fan with bathroom light switches.
- All re-used equipment must be returned and repaired to "like new" condition.
- Hot work permit must be obtained from Landlord 24 hr in advance of Hot Work. A New Hot Work permit must be obtained each day that hot work will be performed.
- Electronic surveillance monitors located adjacent to the Tenant's entry must be concealed within interior architectural elements or the storefront construction. Free-standing pedestals containing sensor equipment are prohibited.
- Any modifications to the existing wet sprinkler fire protection system required to accommodate the Tenant improvements or local codes shall be performed by Landlord's Contractor at Tenant's sole cost and expense.
- Call security for access to the electrical room.
- All fire alarm/ electrical/ communication runs outside of tenant space in mall corridors and/ or parking deck must be in EMT. No BX or MC cable allowed in mall common areas, corridors or parking decks.
- Paint, patch, repair back door to restore to "like new" condition.
- Match surrounding corridor finishes into tenant rear vestibule.
- Tenant must upgrade fire/ life safety to current applicable code standards.
- Fires stop all floor penetrations both new and existing or abandoned to achieve 3 hr rating.
- All penetrations must have a cast iron sleeve with waterproofing installed around sleeve. Tenant must use Laticrete 9235 for waterproofing in all wet areas. A 24 hr water test is required.
- Modification to the Landlord's structure requires structural calculations by Landlord's engineer at Tenant's expense.
- Transformer and disconnect switch for tenant sign must be concealed.
- All demising walls must be retrofitted to achieve and maintain a 1 hr rating. Bulkheads must be 1 hr rated.
- No attachment to roof deck. All attachments must be to I-beam. This does apply to stud framing, kickers, unistrut etc.
- Tenant contractor will repaint and/or repair Landlord property (neutral piers, bulkhead, rear corridor, etc.) damaged during tenant improvements.
- Suspension of any load from the I-beams will require Landlord field approval.
- GC must contract with an x-ray company for an x-ray survey. GC must provide x-ray survey report to the Landlord for approval. X-ray surveys must occur outside of mall hours. Access to other tenant spaces must be coordinated with Mall Operations with advanced notice. GC will be responsible to provide security to the other tenant space during the x-ray survey.
- Per Tenant lease, insulation must be installed in demising walls to prevent sound intrusion into neighboring tenant stores, since sound levels will be over 40 decibels.
- Core only, no trenching allowed. Coring must be coordinated with Landlord no less than 72hrs in advance. GC must present x-ray survey from Davis Labs to Landlord prior to asking for permission to core. Landlord will provide approval to core in writing after review of the x-ray survey report. GC must coordinate with Mall Operations to obtain access to other tenant spaces for coring. Coring must occur outside of mall hours. GC is responsible to provide security to the other tenant space during coring.

**LANDLORD REQUIREMENTS:**

**GENERAL NOTES:**

- TENANTS ARE PROHIBITED FROM ALLOWING MUSIC OR OTHER SOUNDS TO EMANATE FROM THEIR SPACE INTO THE MALL COMMON AREA OR TO ADJACENT TENANT SPACE. TENANTS WHO GENERATE SOUND LEVELS EXCEEDING 40 DECIBELS ARE REQUIRED TO INSULATE THE DEMISING WALL AND CEILING AGAINST SOUND TRANSMISSION.
- SPEAKERS MAY NOT BE LOCATED WITHIN 8 FEET OF A STOREFRONT OR WITHIN 12 INCHES OF THE DEMISING WALL.
- WOOD BLOCKING, DECKING AND FRAMING IS ALLOWED ONLY BELOW THE CEILING LINE AND ONLY IF IT IS MILL STAMPED FIRE RETARDANT.
- ALL EXISTING AND NEW PENETRATIONS THROUGH RATED WALLS SHALL BE PROTECTED BY AN APPROVED FIRE STOP SYSTEM. SEE MALL OPERATIONS MANAGER.
- MATCH MALL TILE TO CENTERLINE OF STOREFRONT CLOSURE.
- ALL RAISED PLATFORMS MUST BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
- FLOOR TRANSITIONS MUST BE FLUSH, VINYL OR RUBBER REDUCING STRIPS NOT PERMITTED IN CUSTOMER AREAS, MAY USE METAL TERRAZZO STRIPS.
- DEMISING PARTITIONS MUST BE OF FIRECODE "X" SHEETROCK, TAPED AND SEALED AIRTIGHT TO DECK ABOVE.
- ANY PENETRATIONS OR MODIFICATIONS TO STRUCTURAL STEEL OR CONCRETE MUST BE COORDINATED WITH LOCAL BROOKFIELD PROPERTIES AUTHORITY.
- ALL TENANTS SHALL CONTACT GRANITE GRID FOR ACTIVATION OF PHONE / INTERNET SERVICE. GRANITE SALES AND SERVICE TEAM CAN BE REACHED AT 1-844-135-5473 OR WWW.GRANITENET.COM/GRID. INSTALLATIONS CAN TAKE UP TO 20 DAYS FROM THE TIME THE ORDER IS PLACED.

**ELECTRICAL NOTES:**

- SUBMIT COMPLETE ELECTRICAL PANEL SCHEDULE. ALL LOADS MUST BE SHOWN IN WATTAGE. ALL FIXTURE QUANTITIES MUST BE SHOWN.
- ALL ELECTRICAL LOADS TO BE BALANCED WITHIN 10% OF EACH PHASE.
- FINAL CONNECTION OF TENANT'S ELECTRICAL SERVICE SHALL BE BY LANDLORD'S ELECTRICAL CONTRACTOR.
- VERIFY REQUIREMENTS WITH CENTER MANAGEMENT.

**HVAC NOTES:**

- TENANT SHALL SPECIFY FILTER RATING BASED ON THE LATEST GUIDANCE FROM ASHRAE.
- ALL NEW TENANT HVAC EQUIPMENT SHALL BE SPECIFIED TO ALLOW FOR THE USE OF A MERV-13 FILTER AT MINIMUM.
- DURING THE TIME OF THE COVID-19 PANDEMIC, ASHRAE'S HAS BEEN FOR A MERV-13 FILTER AT MINIMUM.
- ACCESS PANELS IN CEILING MUST BE LOCATED TO PROVIDE ACCESS TO LANDLORD'S MECHANICAL EQUIPMENT PER ON-SITE OPERATIONS MANAGER.

**PLUMBING NOTES:**

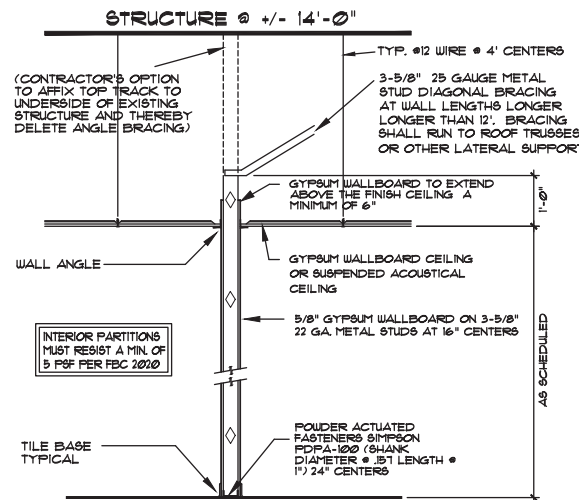
- PROVIDE WATER PROOF MEMBRANE IN WATER AREAS, SUCH AS UPPER LEVEL TOILET ROOMS. PROVIDE FLOOR DRAINS IN ALL TOILET ROOM AREAS.
- WATERPROOF MEMBRANE MUST BE WATER TESTED AND APPROVED BY ON-SITE OPERATIONS MANAGER.
- ALL FLOOR PENETRATIONS MUST BE SLEEVED AND SEALED LIQUID TIGHT.

**FIRE SPRINKLER NOTES:**

- SPRINKLER HEADS AT GYPSUM BOARD CEILING MUST BE FULLY RECESSED AND COVERED WITH METAL PLATES FINISHED TO MATCH ADJACENT SURFACE.
- CENTER SPRINKLER HEADS IN CEILING TILE WHERE APPLICABLE.

**GENERAL NOTES:**

- CONTRACTOR TO COMPLETELY REVIEW AND FAMILIARIZE HIMSELF WITH THE ENTIRE WORKING DRAWINGS AND REPORT ANY DISCREPANCIES, QUESTIONS, AND ITEMS THAT ARE UNCLEAR TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY DIMENSIONS SHOWN ON PLANS WITH EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS, OMISSIONS, AND/OR DEVIATIONS FROM PLANS TO THE ARCHITECT IN WRITING, PRIOR TO CONSTRUCTION.
- WORK SHALL BE IN CONFORMANCE WITH FLORIDA BUILDING CODE, 7TH EDITION (2020), AND ALL CODES, RULES, REGULATIONS, AND RESTRICTIONS HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS, FOLLOW WRITTEN DIMENSIONS.
- ALL UTILITY REQUIREMENTS SHALL BE VERIFIED WITH THE PROPER AUTHORITIES BEFORE THE START OF WORK.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.
- ALL WORK SHALL BE PERFORMED IN THE BEST STANDARDS OF WORKMANSHIP.
- WALLS AND COLUMNS PENETRATING CONCRETE SLABS ON FILL SHALL BE ISOLATED WITH 1/2" THICK PRE-MOLDED JOINT FILLER U.O.N.
- ALL INTERIOR FRAMING IS 2x WOOD OR 25 GA. MTL. STUD U.O.N.
- ALL FRAMING IS 16" O.C. U.O.N.
- ALL DIMENSIONS ARE STRUCTURE TO STRUCTURE FOR EXTERIOR OR MASONRY WALLS AND FINISH TO FINISH FOR ALL INTERIOR PARTITIONS U.O.N.
- REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
- SILICONE ALL TRIM, DOOR & WINDOW JAMBS, EQUIPMENT, MILLWORK, ETC.
- ALL INTERIOR FINISHES TO BE CLASS A, B, OR C.
- FIBER CEMENT, FIBER-MAT REINFORCED CEMENT, OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS - FBC R102.4.2.

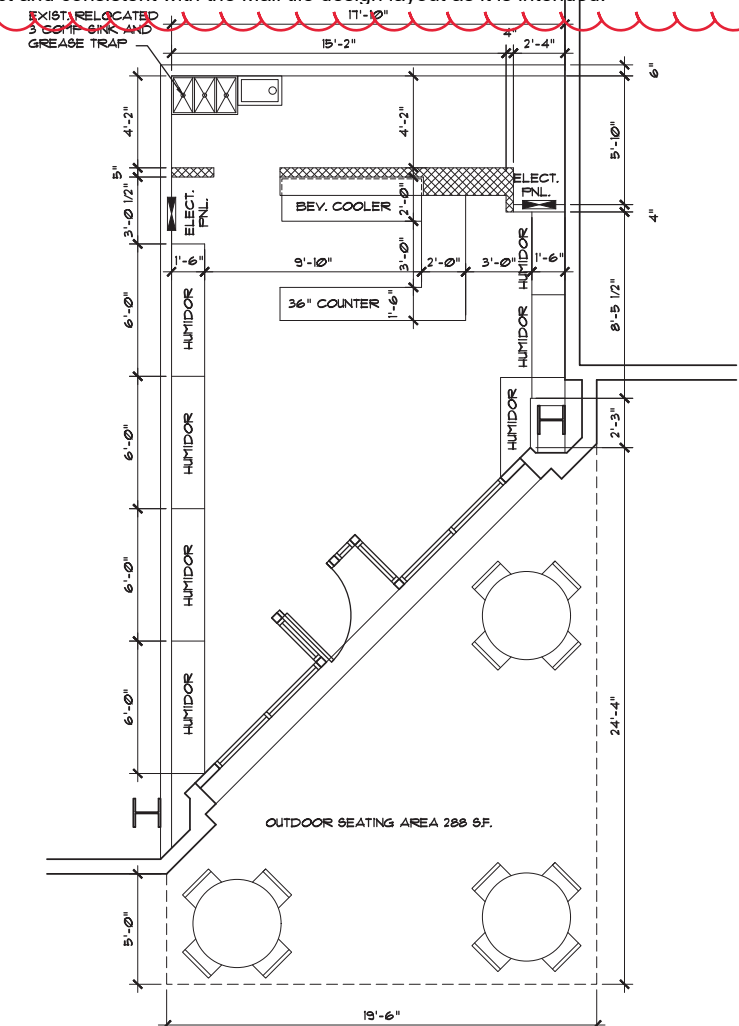


02 INTERIOR PARTITION DETAIL  
SCALE: 3/4" = 1'-0"

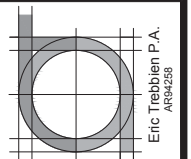
WALL LEGEND:	
	EXISTING EXTERIOR CMU WALL TO REMAIN UNDISTURBED
	EXIST. WALL TO BE REMOVED
	NEW REINFORCED CMU WALL
	EXIST. INTERIOR PARTITION TO REMAIN UNDISTURBED
	NEW INTERIOR PARTITION
	NEW LOW INTERIOR PARTITION

**Finish / fixture plan**

- Tenant's floor finish schedule should call for a minimum of 5/8" gypsum board smoke barrier running up the backside of the landlord bulkhead at the front lease line (from above the Tenant's storefront to the metal decking above) All work to be completed by the tenant.
- Repair mall tile to provide full continuous pieces installed to centerline of closure. Mall tile may be obtained from on-site mall team per criteria or lease cost.
- Do not dispose of construction materials or wash out grout or paint buckets into tenant sanitary lines. GC will be responsible for repairs to sanitary lines.
- Waterproofing is required in all wet areas. Landlord requires Laticrete 9235 or Mapei Mapelastc. 24hr standing water test is required
- Flush floor door stops
- Repair all cracked, chipped mall tile damaged from tenant construction.
- Provide a smooth level transition from mall tile to tenant flooring.
- Tenant must comply with local building and Fire code policies regarding movable fixtures.
- Merchandise cannot be delivered to store until approval of final fire inspection and issuance of CO or TCO.
- Notify Landlord tenant coordinator of fixture delivery schedule.
- Tenant is responsible to make sure that the Mall tile to closure and along storefront is correct and consistent with the Mall tile design layout as it is intended.



01 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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SHEET TITLE: Foundation Plan & Notes  
PROJECT NAME: Coco Cigars  
Shops at Merrick Park - Space 1250  
320 San Lorenzo Avenue # 1250  
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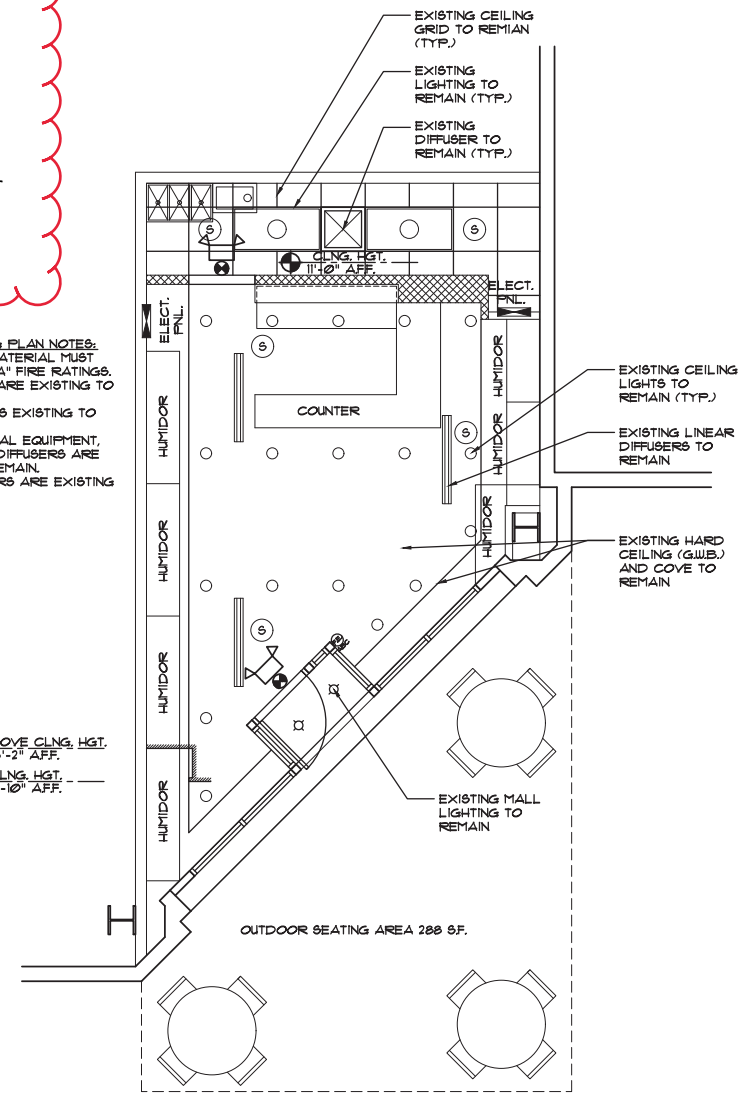
A-1

**Ceiling plan**

- No Fluorescents lights in the sales area.
- No combustible materials allowed above ceiling.
- Tenant GC must contract with Mall required Fire Alarm Vendor for Fire Alarm.
- No support wires for ceiling grid systems are to be connected to any of Landlord's mechanical, electrical, plumbing or fire protection piping equipment.
- All ceiling materials must have class A fire rating.
- All support wires must be connected to top chord of joist and/or members only. No attachment to deck above.
- Access panels in ceiling must be located to provide access to Landlord's mechanical equipment per local Brookfield Properties authority.
- Sprinkler heads within gypsum board ceilings are to be fully recessed and covered with metal plates to match adjacent surface. Sprinkler heads must be centered within ceiling tiles.
- Field verify all clear ceiling heights.
- Provide gypsum board ceiling with sprinkler head in back alcove. Ceiling finishes are to match service corridor finishes.
- It is the responsibility of the Tenant's Architect to field verify dimensions, utility locations, existing column lines, bulkhead conditions, neutral piers, etc. prior to and during construction.
- All re-used equipment must be returned and repaired to "like new" condition.
- Interlock exhaust fan with bathroom light switches.
- Tenant must upgrade all fire/ life safety systems to current applicable code.
- Fire Final must be coordinated between sprinkler contractor and Fire Alarm contractor to occur at the same time. Otherwise the fire inspection will be canceled.
- Fire inspections must occur outside of mall operating hours.
- Tenant GC must fill out a sprinkler shutdown form at the mall office 24 hours in advance of each sprinkler shutdown.
- Provide sprinkler as-builts to Landlord upon completion.
- Provide a label on duct detector with device address.
- If MQAA Testing is required, then GC must follow testing protocol listed in the Landlord Construction Criteria.
- No attachment to roof deck. All attachments must be to I-beam. This does apply to stud framing, kickers, unistrut etc.
- All fire alarm/ electrical/ communication runs outside of tenant space in mall corridors and/ or parking deck must be in EMT. No BX or MC cable allowed in mall common areas, corridors or parking decks.
- Tenant GC must contract with LL required Sprinkle Company for sprinkler work.

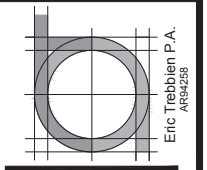
- REFLECTED CEILING PLAN NOTES:**
1. ALL CEILING MATERIAL MUST HAVE CLASS "A" FIRE RATINGS.
  2. ALL CEILING ARE EXISTING TO REMAIN.
  3. ALL LIGHTING IS EXISTING TO REMAIN.
  4. ALL MECHANICAL EQUIPMENT, DUCTING AND DIFFUSERS ARE EXISTING TO REMAIN.
  5. ALL SPRINKLERS ARE EXISTING TO REMAIN.

COVE CLNG. HGT. 8'-2" AFF.  
 CLNG. HGT. 11'-10" AFF.



**WALL LEGEND:**

[Solid line]	EXISTING EXTERIOR CMU WALL TO REMAIN UNDISTURBED
[Dashed line]	EXIST. WALL TO BE REMOVED
[Hatched pattern]	NEW REINFORCED CMU WALL
[Dotted pattern]	EXIST. INTERIOR PARTITION TO REMAIN UNDISTURBED
[Cross-hatched pattern]	NEW INTERIOR PARTITION
[Diagonal hatched pattern]	NEW LOW INTERIOR PARTITION



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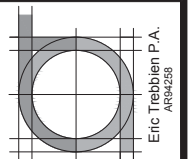
PROJECT NAME: **Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

SHEET TITLE: **New Floor Plan, Details & Notes**

REVISIONS:

RELEASED FOR: PERMIT  
 DATE: 07/25/2022  
 PROJECT: 22150

**REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"



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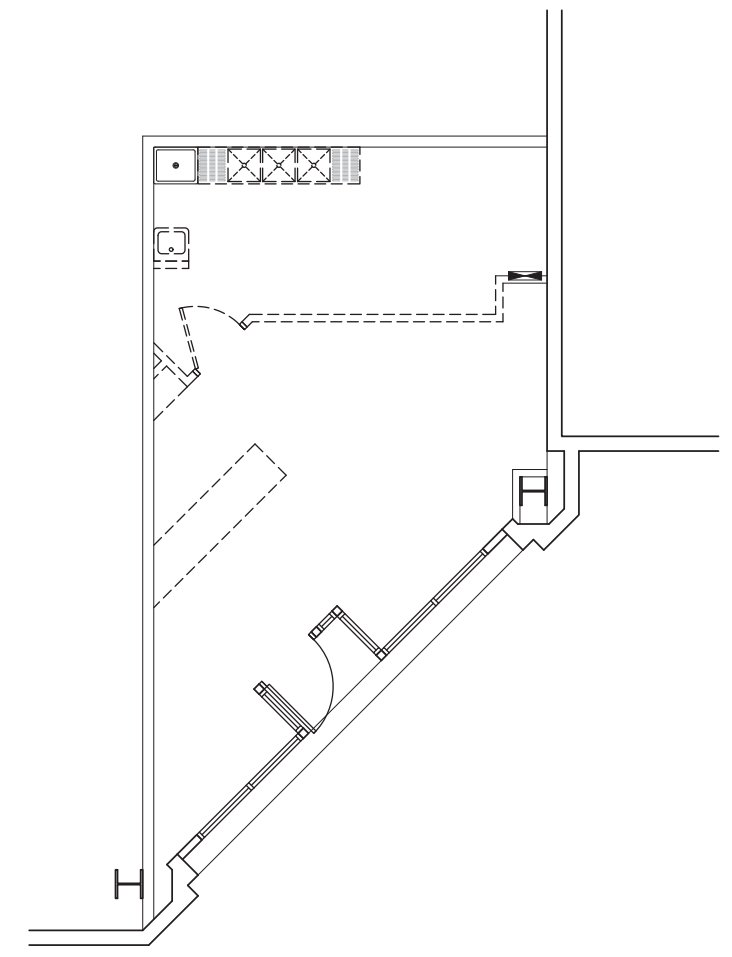
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- Demo plan**
- Tenant GC to provide temporary construction barricade prior to commencement of construction, per instruction of local Brookfield Properties authority. Do not fasten to mall finish material.
  - Barricade must be kept in good repair. Repair/ replace base, graphics etc as needed.
  - Protect Landlord common area tile when installing barricade. GC to use 3/4" plywood over 6 mil visqueen where mall tile is present.
  - Tenant contractor will repaint and/or repair Landlord property (neutral piers, bulkhead, rear corridor, etc.) damaged during tenant improvements.
  - Notify Mall required Fire Alarm required vendor before commencement of demo. All Fire alarm devices must be disconnected before commencement of demo.
  - All noisy, dusty work must occur outside of mall operating hours. Demo materials may only be removed from the space outside of mall operating hours.
  - GC must provide a walk off mat, and clean common area tile daily. GC will be charged for clean up of mall tile per the fee schedule in construction criteria.
  - GC must notify landlord of all weekend and night work.
  - Remove any abandoned utilities/equipment, such as HVAC units, curbs, ducts, plumbing vents, and wiring from the premises. Cap utilities at point of origin and coordinate this work with center management.
  - Remove all abandoned utilities to the source.
  - No utilities may be installed in Landlord provided demising walls.
  - No attachment to roof deck. All attachments must be to I-beam. This does apply to stud framing, kickers, unistrut etc.
  - All demising walls must be retrofitted to achieve and maintain a 1 hr rating. Bulkheads must be 1 hr rated.
  - If monokote exists in the space, GC must repair damage to monokote that occurs during demo.
  - Protect Landlord's neutral pier and floor during construction/ removal of the barricade and throughout tenant

WALL LEGEND:	
	EXISTING EXTERIOR CMU WALL TO REMAIN UNDISTURBED
	EXIST. WALL TO BE REMOVED
	NEW REINFORCED CMU WALL
	EXIST. INTERIOR PARTITION TO REMAIN UNDISTURBED
	NEW INTERIOR PARTITION
	NEW LOW INTERIOR PARTITION

**DEMOLITION NOTES:**

1. WORK SHALL INCLUDE ALL ITEMS INDICATED ON THESE DRAWINGS UNLESS OTHERWISE NOTED.
2. DEMOLITION CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION. ANY VARIATIONS AND/OR DISCREPANCIES DUE TO "AS-BUILT" CONDITIONS SHALL BE MADE KNOWN TO THE ARCHITECT IN WRITING, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 6TH EDITION (2017), AND ALL CODES, RULES & REGULATIONS HAVING JURISDICTION.
4. THE DEMOLITION CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE EXISTING STRUCTURE PRIOR TO DEMOLITION.
5. THE DEMOLITION CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE AND LEAVE THE STRUCTURE BROOM CLEAR DURING THE DEMOLITION PHASE.
6. THE DEMOLITION CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL EXISTING WORK FURNISHINGS AND FIXTURES THAT ARE TO REMAIN, SO THEY WILL NOT BE DAMAGED.
7. EXISTING CONCRETE SLAB AND FOUNDATION SHALL NOT BE DISTURBED DURING DEMOLITION, (UNLESS OTHERWISE NOTED). DEMOLITION CONTRACTOR SHALL EXERCISE PROPER CARE DURING DEMOLITION BY ALLOWING NO MASONRY WALLS, TRUSSES, HEAVY TIMBERS, OR DEBRIS TO FALL ON EXISTING FLOOR SLAB.
8. PROVIDE PROPER SHORING OF ALL EXISTING STRUCTURAL MEMBERS TO REMAIN PRIOR TO THE REMOVAL OF ANY EXISTING COLUMNS OR BEARING WALLS.
9. REMOVE AND CAP/PATCH AS REQUIRED ALL FINISHES, SLABS, ELECTRICAL CONDUIT, MECHANICAL EQUIPMENT, DUCTING, PLUMBING FIXTURES, PIPING, ETC., AS REQUIRED TO ACCOMPLISH THE FINISHED RESULTS INDICATED ON THESE DRAWINGS.



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

SHEET TITLE:  
**Foundation Plan & Notes**

PROJECT NAME:  
**Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

REVISIONS:

RELEASED FOR: PERMIT  
 DATE: 07/25/2022  
 PROJECT: 22150

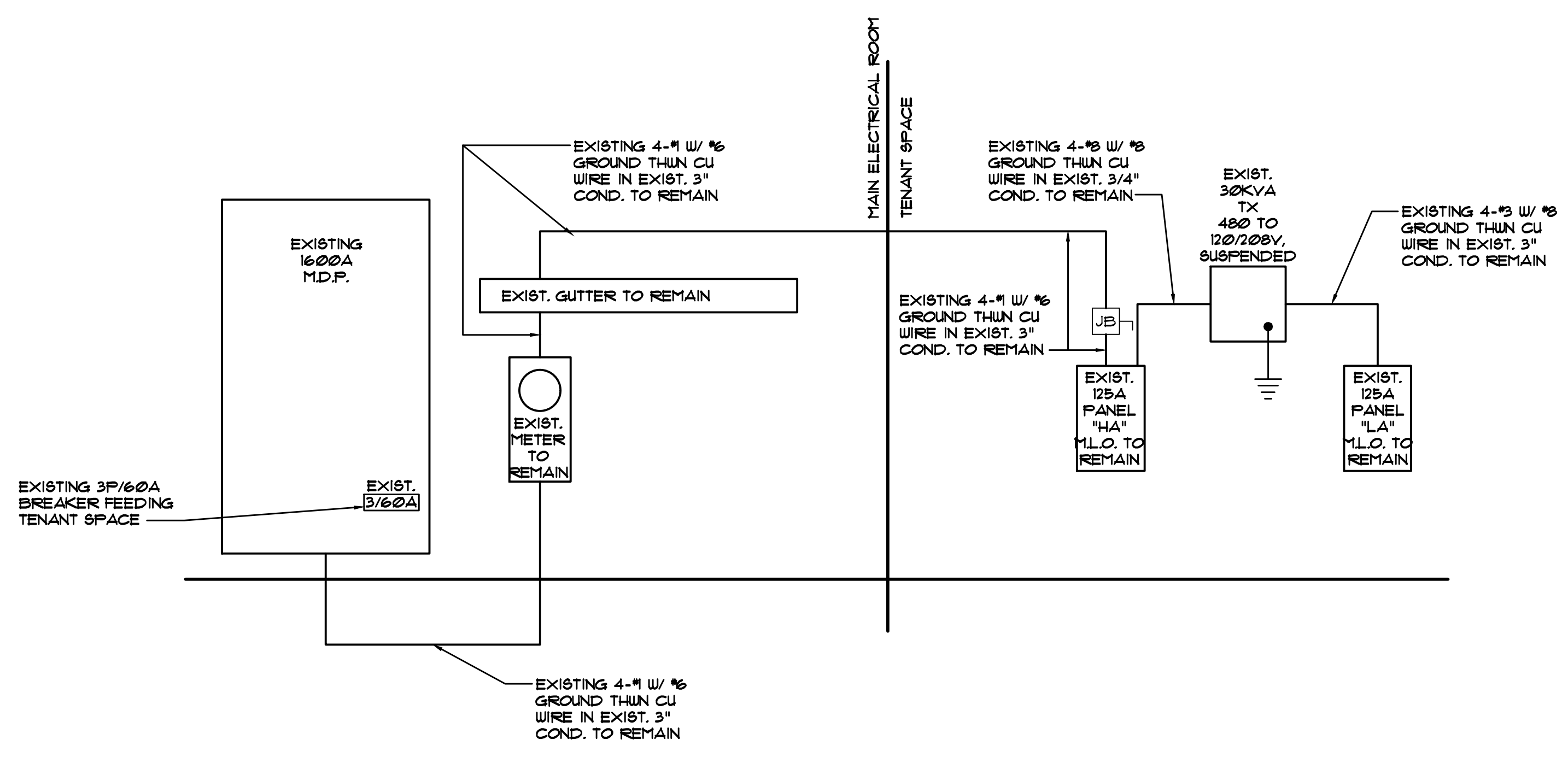
**D-1**

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SHEET TITLE:  
**Electrical Power**  
Plan & Notes

PROJECT NAME:  
**Coco Cigars**  
Shops at Merrick Park - Space 1250  
320 San Lorenzo Avenue # 1250  
Coral Gables, FL 33146

REVISIONS:  
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PROJECT: 22150



ELECTRICAL LEGEND	
	DUPLEX RECEPTACLE
	GFCI RECEPTACLE
	WATERPROOF RECEPTACLE
	DEDICATED RECEPTACLE
	220V RECEPTACLE
	RANGE OUTLET
	QUAD RECEPTACLE
	WALL SWITCH
	WALL SWITCH ON DIMMER
	3-WAY SWITCH
	DIMMER SWITCH
	DOWNLIGHT
	DOWNLIGHT VAPOR PROOF
	WALL SCONCE
	CEILING MOUNTED LIGHT FIXTURE
	WALL LITE
	CEILING FAN W/ LIGHT
	2x4 FLUORESCENT LIGHT FIXTURE

FIRE PLAN LEGEND:	
	NEW EXIT LIGHT FIXTURE, LED WITH BATTERY BACK UP
	EMERGENCY LIGHT UNIT, LED WITH BATTERY BACK UP, WALL
	FIRE SPRINKLERS, EXISTING TO REMAIN, NEW OR RELOCATED
	FIRE ALARM CONTROL PANEL IN MALL CONTROL ROOM
	FIRE ALARM MANUAL PULL STATION, MOUNT CENTER AT 46" AFF.
	FIRE ALARM VISUAL STROBE, MOUNT CENTER @ 84" AFF.
	FIRE ALARM HORN/STROBE, MOUNT CENTER @ 84" AFF.

PANEL: EXISTING PANEL HA TO REMAIN		POLES: 18		VOLTAGE: 277 / 480V - 3Ø - 4 WIRE						
MOUNTING: SURFACE		MAIN: 125 AMP		SPECS: SQUARE D NG						
A/C SYSTEM: 10000										
DESCRIPTION	WIRE	TRIP	QCT	A. PHASE (KW)	B. PHASE (KW)	C. PHASE (KW)	QCT	TRIP	WIRE	DESCRIPTION
EXIST. WATER SOURCE HEAT PUMP	#2	20	3	162	6.0		2	30	#0	ELECTRIC WATER HEATER (NSTA-HOT)
SPACE			7			162	6.0	0		SPACE
SPACE			9				10			SPACE
SPACE			11				12			SPACE
SPACE			13	5.59			14			SPACE
SPACE			15		5.59		16			SPACE
SPACE			17			5.59	18			SPACE
PANEL HA TOTALS:				1821	1821	1821				

NOTE: (E1) IDENTIFIES ANY BREAKER THAT CONTROLS AN EXIT SIGN AND/OR EMERGENCY LIGHT

A/C LOAD: 4.86 KVA @ 125% = 6.075 KVA  
ALL LIGHTS: 1.99 KVA @ 125% = 2.49 KVA  
WATER HEATER: 30.0 KVA @ 100% = 30.0 KVA  
RECEPTABLES - FIRST: 10.0 KVA @ 100% = 10.0 KVA  
REMAINDER: 4.78 KVA @ 50% = 2.39 KVA  
TOTAL: 38.96 KVA

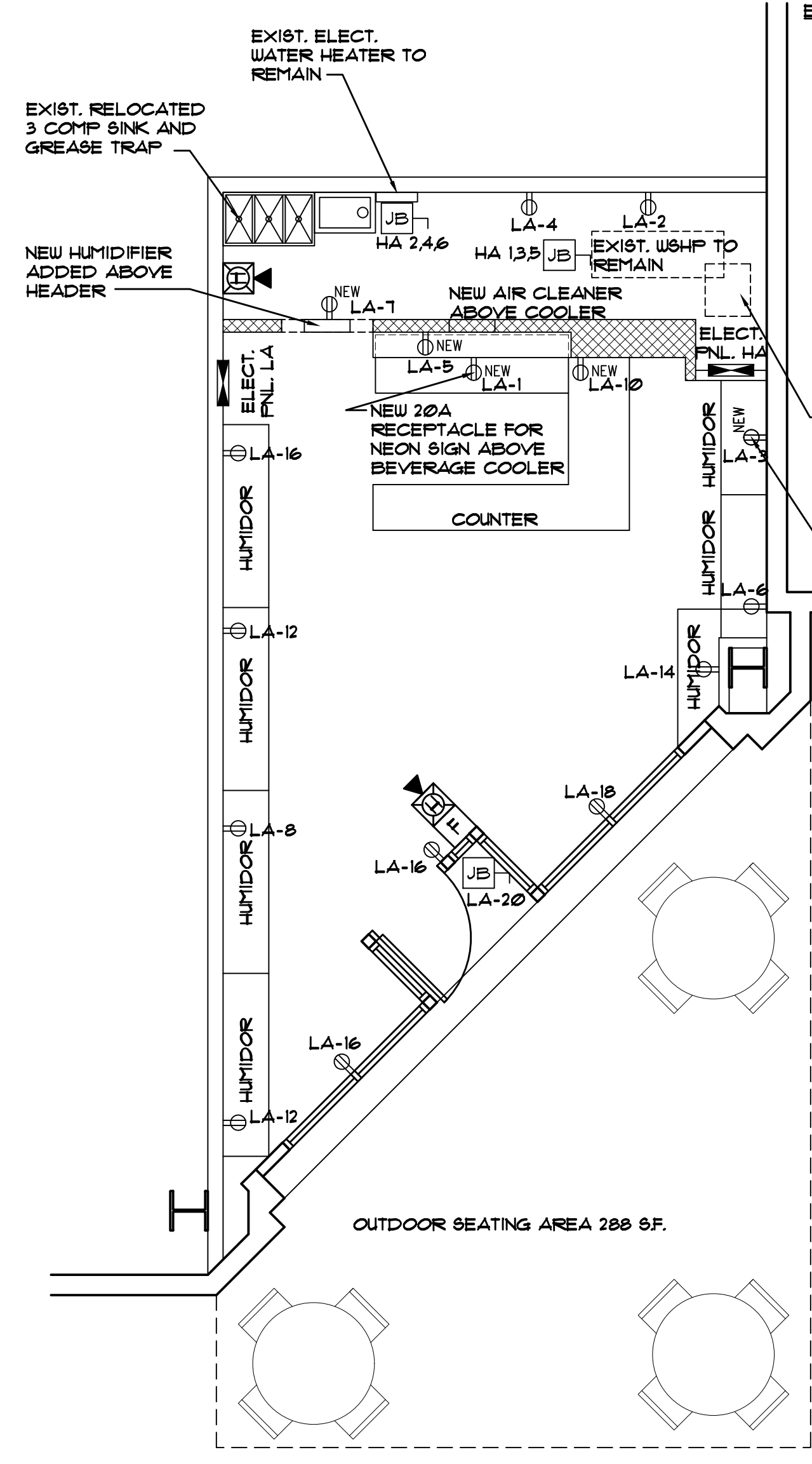
TOTAL AMPERAGE AT:  
3 PHASE - 480/277 VOLTS SERVICE =  
COMPUTED LOAD 38.96 = 46.9 AMPS  
831 VOLTS

PANEL: EXISTING PANEL LA TO REMAIN		POLES: 42		VOLTAGE: 120 / 208V - 3Ø - 4 WIRE						
MOUNTING: FLUSH		MAIN: 100 AMP		SPECS: SQUARE D NG						
A/C SYSTEM: 10000										
DESCRIPTION	WIRE	TRIP	QCT	A. PHASE (KW)	B. PHASE (KW)	C. PHASE (KW)	QCT	TRIP	WIRE	DESCRIPTION
NEW SIGNAGE	#2	20	1	15	1.0		2	20	#2	BACK RECEPTACLE
NEW HUMIDOR	#2	20	3		1.0	1.0	4	20	#2	BACK RECEPTACLE
NEW FM-2000 AIR CLEANER	#2	20	5			1.2	0.36	6	#2	FRONT RECEPTACLE
NEW HORTICAT HUMIDIFIER	#2	20	7	1.0	0.36		8	20	#2	FRONT RECEPTACLE
SPACE			9				10	20	#2	POS SYSTEM
SPACE			11				12	20	#2	FRONT RECEPTACLE
SPACE			13		1.0		14	20	#2	RECEPTABLES
SPACE			15			1.0	16	20	#2	RECEPTABLES
LIGHTING (E1)	#2	20	17			0.63	15	20	#2	SHOW WINDOW RECEPTACLE
LIGHTING (E1)	#2	20	19	0.75	1.5		20	20	#2	SIGN CIRCUIT
LIGHTING (E1)	#2	20	21		0.55	1.0	22	20	#2	SPARE
SPACE			23				24	20	#2	SPACE
SPACE			25				26			SPACE
SPACE			27				28			SPACE
SPACE			29				30			SPACE
SPACE			31				32			SPACE
SPACE			33				34			SPACE
SPACE			35				36			SPACE
SPACE			37				38			SPACE
SPACE			39				40			SPACE
PANEL LA TOTALS:				111	5.55	4.1				

NOTE: (E1) IDENTIFIES ANY BREAKER THAT CONTROLS AN EXIT SIGN AND/OR EMERGENCY LIGHT

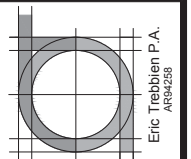
ALL LIGHTS: 1.99 KVA @ 125% = 2.49 KVA  
RECEPTABLES - FIRST: 10.0 KVA @ 100% = 10.0 KVA  
REMAINDER: 4.78 KVA @ 50% = 2.39 KVA  
TOTAL: 14.88 KVA

TOTAL AMPERAGE AT:  
3 PHASE - 208/120 VOLTS SERVICE =  
COMPUTED LOAD 14.88 = 41.33 AMPS  
360 VOLTS



- ELECTRICAL NOTES:**
1. ELECTRICAL PANELS ARE EXISTING TO REMAIN.
  2. ALL RECEPTABLES ARE EXISTING UNLESS MARKED NEW.
  3. CIRCUIT LA-1 REPURPOSED FOR NEW SIGNAGE ABOVE BEVERAGE COOLER.
  4. CIRCUIT LA-3 REPURPOSED FOR BEVERAGE COOLER.
  5. CIRCUIT LA-5 REPURPOSED FOR NEW HUMIDOR ABOVE BEVERAGE COOLER.
  6. CIRCUIT LA-6 REPURPOSED FOR AIR CLEANER ABOVE BEVERAGE COOLER.
  7. CIRCUIT LA-7 REPURPOSED FOR HUMIDIFIER ABOVE BEVERAGE COOLER.
  8. MAINTAIN FIRE RATING IN ALL PENETRATIONS THROUGH FIRE RATED WALLS.
  9. EXISTING FIRE ALARM SYSTEM AND DEVICES TO REMAIN, TEST ALL DEVICES FOR PROPER OPERATION, REPLACE ANY DEFECTIVE COMPONENTS AS NEEDED.

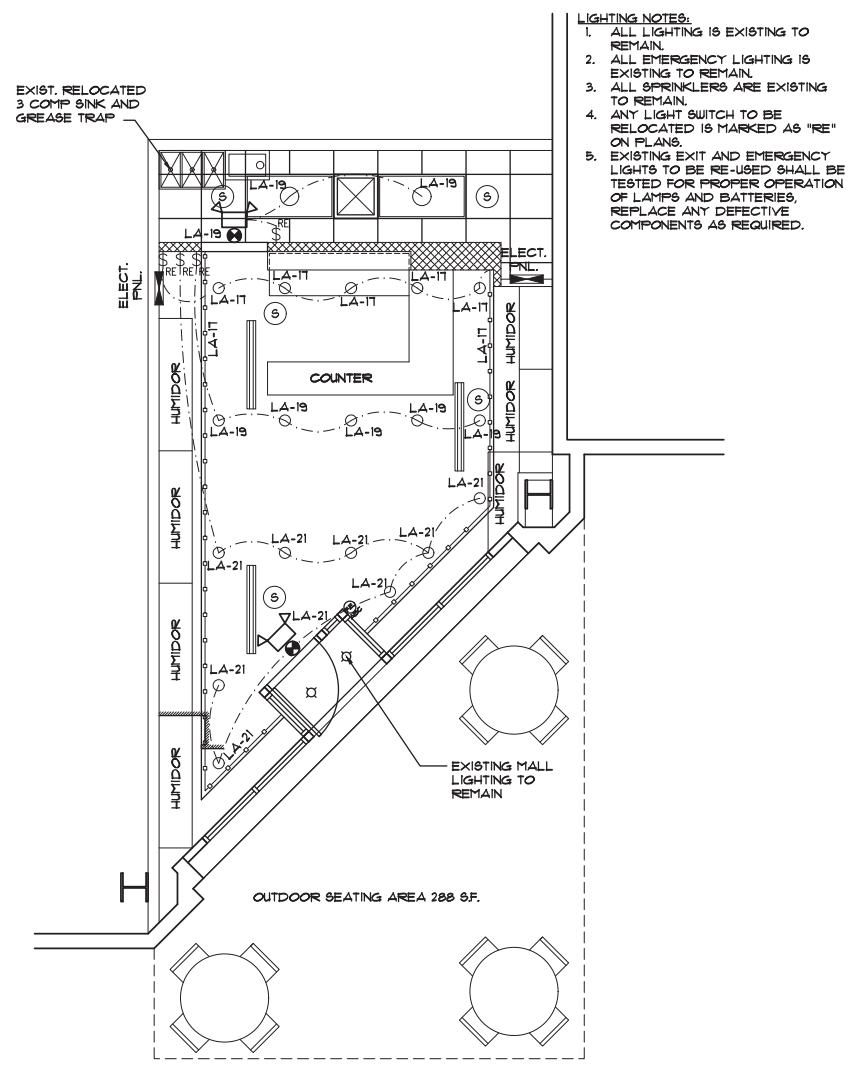
- LANDLORD REQUIREMENTS:**
- ELECTRICAL NOTES:**
1. SUBMIT COMPLETE ELECTRICAL PANEL SCHEDULE. ALL LOADS MUST BE SHOWN IN WATTAGE. ALL FIXTURE QUANTITIES MUST BE SHOWN.
  2. ALL ELECTRICAL LOADS TO BE BALANCED WITHIN 10% OF EACH PHASE.
  3. FINAL CONNECTION OF TENANT'S ELECTRICAL SERVICE SHALL BE BY LANDLORD'S ELECTRICAL CONTRACTOR.
  4. VERIFY REQUIREMENTS WITH CENTER MANAGEMENT.



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ELECTRICAL LEGEND	
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	GFCI RECEPTACLE
	WATERPROOF RECEPTACLE
	220V RECEPTACLE
	QUAD RECEPTACLE
	WALLSWITCH
	WALLSWITCH ON DIMMER
	3-WAY SWITCH
	DOWNLITE
	DOWNLITE VAPOR PROOF
	WALL LITE
	CEILING FAN W/ LIGHT
	2x4 FLUORESCENT LIGHT FIXTURE
	1x4 FLUORESCENT LIGHT FIXTURE
	LED ROPE LIGHTING



- LIGHTING NOTES:**
1. ALL LIGHTING IS EXISTING TO REMAIN.
  2. ALL EMERGENCY LIGHTING IS EXISTING TO REMAIN.
  3. ALL SPRINKLERS ARE EXISTING TO REMAIN.
  4. ANY LIGHT SWITCH TO BE RELOCATED IS MARKED AS "RE" ON PLANS.
  5. EXISTING EXIT AND EMERGENCY LIGHTS TO BE RE-USED SHALL BE TESTED FOR PROPER OPERATION OF LAMPS AND BATTERIES, REPLACE ANY DEFECTIVE COMPONENTS AS REQUIRED.

SHEET TITLE:  
**Electrical Lighting  
 Plan & Notes**

PROJECT NAME:  
**Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

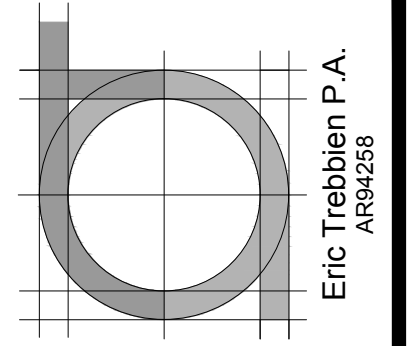
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RELEASED FOR: PERMIT  
 DATE: 07/25/2022  
 PROJECT: 22150

**E-2**

**ELECTRICAL LIGHTING PLAN**  
 SCALE: 1/4" = 1'-0"

Approved  
 Scott Lindelow  
 Savant Engineering of GA, LLC  
 8/3/2022



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SHEET TITLE:  
**Mechanical Plan**

PROJECT NAME:  
**Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

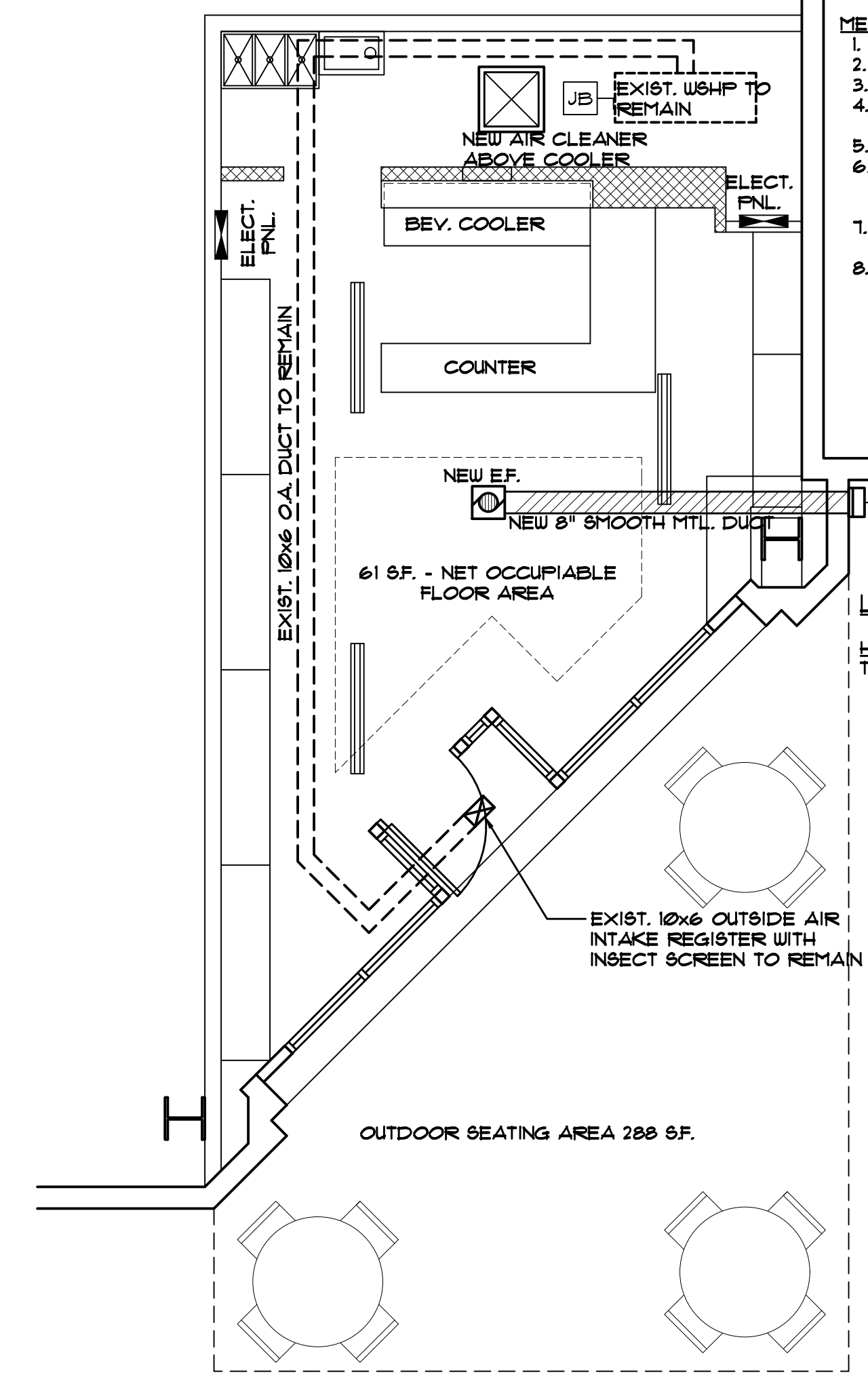
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 DATE: 07/25/2022  
 PROJECT: 22150

**M-1**

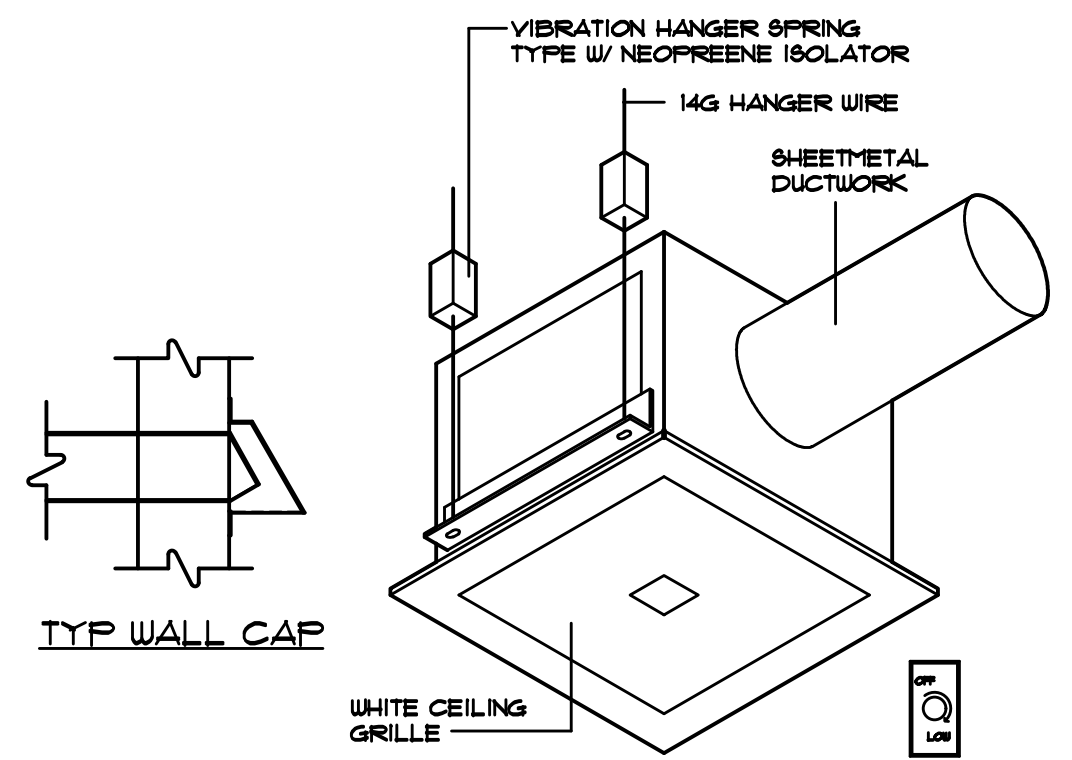
- FIRE ALARM / SPRINKLER:**
1. NO UTILITIES IN LANDLORD PROVIDED DEMISING WALLS.
  2. TENANT GC MUST CONTRACT WITH LL REQUIRED FIRE ALARM AND SPRINKLER CONTRACTOR.
  3. ALL FIRE ALARM / ELECTRICAL / COMMUNICATION RUNS OUTSIDE OF TENANT SPACE IN MALL CORRIDORS AND / OR PARKING DECK MUST BE IN EMT. NO BX OR MC CABLE ALLOWED IN MALL COMMON AREAS, CORRIDORS OR PARKING DECKS.
  4. TENANT GC MUST FILL OUT A SPRINKLER SHUT DOWN FORM AT THE MALL OFFICE 24 HRS. IN ADVANCE OF EACH SPRINKLER SHUTDOWN.
  5. PROVIDE SPRINKLER AND FIRE ALARM AS-BUILTS TO LANDLORD UPON COMPLETION.

- MECHANICAL NOTES:**
1. ALL HVAC EQUIPMENT IS EXISTING TO REMAIN UON.
  2. ALL DUCTWORK IS EXISTING TO REMAIN UON.
  3. ALL DIFFUSERS ARE EXISTING TO REMAIN.
  4. NEW AIR CLEANER ABOVE COOLER (PURE AND NATURAL MODEL FM-2000).
  5. OCCUPANT LOAD = 5 PERSONS
  6. OUTSIDE AIR INTAKE PER OCCUPANT = 60 CFM'S PER PERSON PER FBC-11 TABLE 403.3.11 FOR SMOKING LOUNGES.
1. MECHANICAL EXHAUST REQUIRED 60 CFM X 5 PERSONS = 300 CFM'S.  
 2. NEW EF. TO BE BROAN L-300.

- LANDLORD REQUIREMENTS:**
- HVAC NOTES:**
- TENANT HVAC FILTER REQUIREMENTS:
1. TENANT SHALL SPECIFY FILTER RATING BASED ON THE LATEST GUIDANCE FROM ASHRAE.
  2. ALL NEW TENANT HVAC EQUIPMENT SHALL BE SPECIFIED TO ALLOW FOR THE USE OF A MERV-13 FILTER AT MINIMUM.
  3. DURING THE TIME OF THE COVID-19 PANDEMIC, ASHRAE'S HAS BEEN FOR A MERV-13 FILTER AT MINIMUM.
  4. ACCESS PANELS IN CEILING MUST BE LOCATED TO PROVIDE ACCESS TO LANDLORD'S MECHANICAL EQUIPMENT PER ON-SITE OPERATIONS MANAGER.



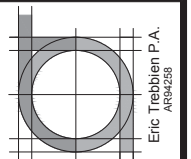
NOTE: THIS IS A TOBACCO SHOP, SMOKING WILL TAKE PLACE INSIDE THIS SPACE



- NOTES:**
- 1 - PROVIDE BACKDRAFT DAMPER W/ BIRDSCREEN
  - 2 - FLASH & SEAL WALL AND ROOF CAP
  - 3 - PROVIDE INTERNAL ISOLATION AND SOUND INSULATION
  - 4 - SUPPORT FAN FROM STRUCTURE

**02 CABINET EXHAUST FAN DTL.**  
 SCALE: N.T.S.

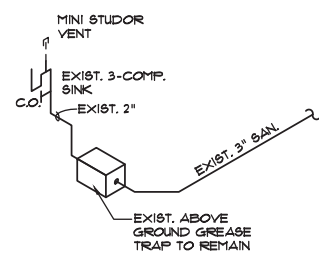
**01 MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"



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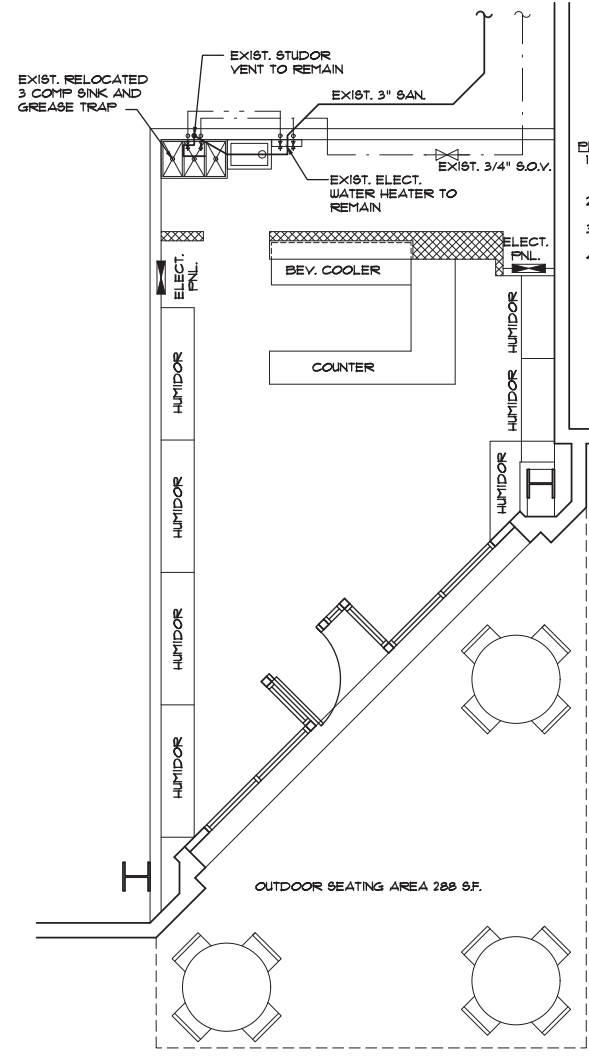
PLUMBING LEGEND	
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	SANITARY SEWER
	HOSE BIBB W/ VACUUM BREAKER
	WATER CLOSET (RISER)
	WALL CLEAN OUT (RISER)
	VENT THROUGH ROOF



**03 SANITARY RISER**  
 SCALE: 1/4" = 1'-0"

**PREPARED FOODS AND ALCOHOLIC BEVERAGE NOTE:**

TENANT TO SERVE ALCOHOLIC BEVERAGES, NON-ALCOHOLIC BEVERAGES AND JUICES, AND READY TO SERVE FOODS, PRE-COOKED (NO COOKING SHALL BE DONE ON PREMISES)



- PLUMBING NOTES:**
- EXISTING 3-COMPARTMENT SINK AND ABOVE GROUND GREASE TRAP TO REMAIN, RELOCATED 2 FEET TO THE LEFT ONLY.
  - EXISTING SANITARY LINES TO REMAIN UNDISTURBED.
  - EXISTING WATER SUPPLY TO REMAIN UNDISTURBED.
  - EXISTING ELECTRIC TANKLESS WATER HEATER TO REMAIN UNDISTURBED.

- LANDLORD REQUIREMENTS:**
- PLUMBING NOTES:**
- PROVIDE WATER PROOF MEMBRANE IN WATER AREAS, SUCH AS UPPER LEVEL TOILET ROOMS.
  - PROVIDE FLOOR DRAINS IN ALL TOILET ROOM AREAS.
  - WATERPROOF MEMBRANE MUST BE WATER TESTED AND APPROVED BY ON-SITE OPERATIONS MANAGER.
  - ALL FLOOR PENETRATIONS MUST BE BEEVEED AND SEALED LIQUID TIGHT.

- FIRE SPRINKLER NOTES:**
- SPRINKLER HEADS AT GYPSUM BOARD CEILING MUST BE FULLY RECESSED AND COVERED WITH METAL PLATES FINISHED TO MATCH ADJACENT SURFACE.
  - CENTER SPRINKLER HEADS IN CEILING TILE WHERE APPLICABLE

**01 PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0"

Approved  
 Scott Lindelow  
 Savant Engineering of GA, LLC  
 8/3/2022

SHEET TITLE:  
**Plumbing Plans**

PROJECT NAME:  
**Coco Cigars**  
 Shops at Merrick Park - Space 1250  
 320 San Lorenzo Avenue # 1250  
 Coral Gables, FL 33146

REVISIONS:

RELEASED FOR: PERMIT  
 DATE: 07/25/2022  
 PROJECT: 22150

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