



LUIS JAUREGUI
LIC. AR 0012124

IGNACIO J. ZABALETA
LIC. AR 0012101

[illegible]

PROJECT
NEW RESIDENCE FOR:
RAFAEL
URBINA
QUINTERO
LIVING TRUST

1516 UNIVERSITY DRIVE
CORAL GABLES, FL 33146

AL

PROJECT NO.
21-14

SHEET NO.

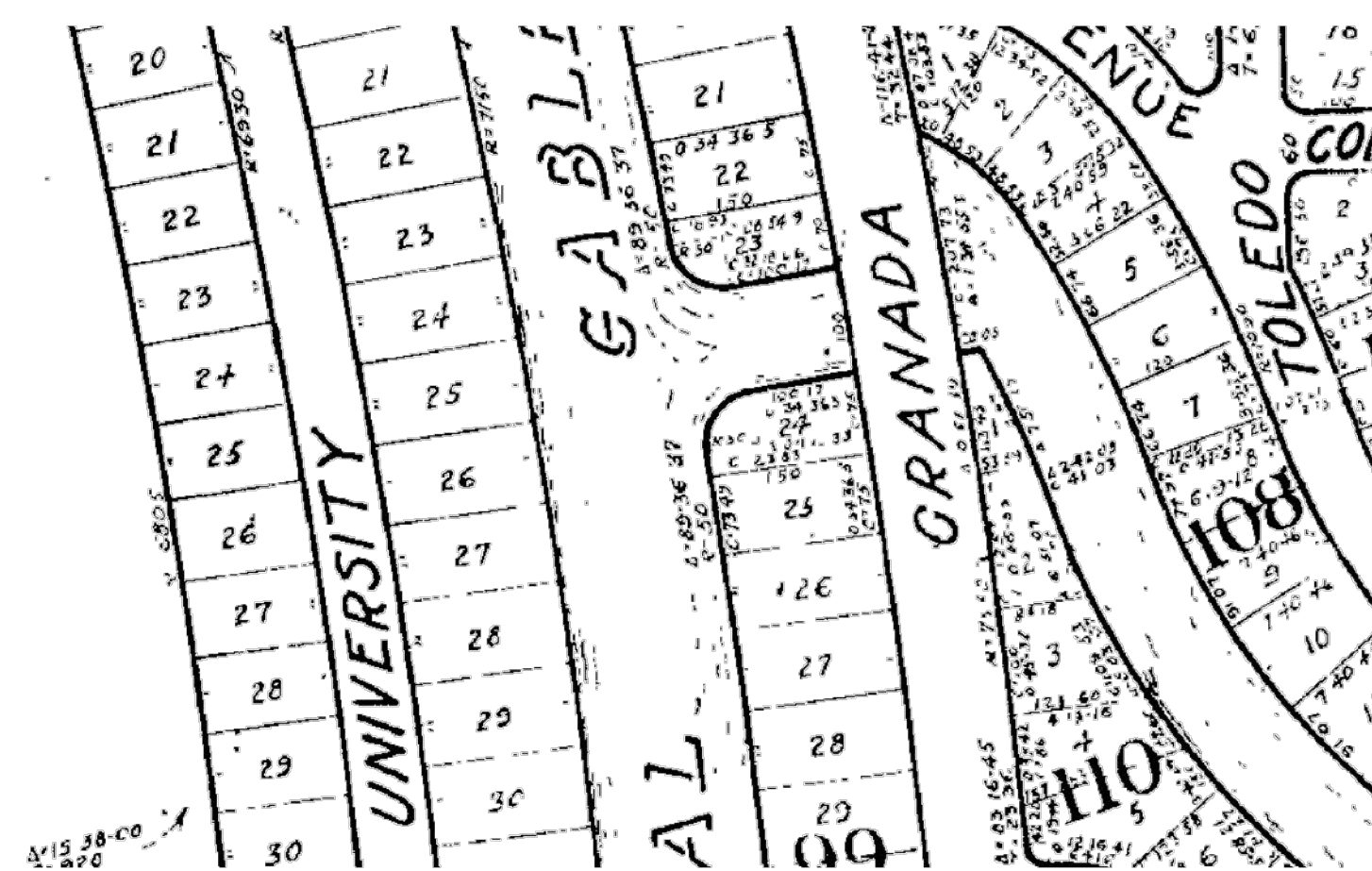
A-000

4516 UNIVERSITY DRIVE CORAL GABLES, FL 33146



CORAL GABLES BOARD OF ARCHITECTS PRELIMINARY SUBMITTAL

INDEX OF DRAWINGS	
ARCHITECTURAL	SHEET NO.
COVER SHEET + INDEX	A-000
SURVEY	A-001
CONTEXTUAL PHOTOS SHEET	A-002
SITE PLAN	A-101
ZONING SHEET	A-102
FLOOR PLAN	A-201
FRONT (EAST) AND LEFT SIDE (SOUTH) ELEVATIONS	A-401
REAR (WEST) AND RIGHT SIDE (NORTH) ELEVATIONS	A-402
TRANSVERSE BUILDING SECTION	A-601
LONGITUDINAL BUILDING SECTION	A-602



BOUNDARY SURVEY

#	SCIENTIFIC NAME	COMMON NAME	DBH (INCHES)	HEIGHT(±FT)	CANOPY(±FT)	TPZ	CONDITION	CRITICAL ROOT ZONE
1	QUERCUS VIRGINIA	LIVE OAK	36.8"	40'	40'		GOOD	
2	QUERCUS VIRGINIA	LIVE OAK	36.6"	40'	40'		GOOD	
3	PHOENIX ROEBELII	PYOMY DATE PALM	5"	8'	8'		GOOD	
4	QUERCUS VIRGINIA	LIVE OAK	18"	30'	20'		GOOD	
7	QUERCUS VIRGINIA	LIVE OAK	15"	15'	20'		GOOD	
17	QUERCUS VIRGINIA	LIVE OAK	54"	60'	30'		GOOD	
19	QUERCUS VIRGINIA	LIVE OAK	42"	60'	40'		GOOD	
20	QUERCUS VIRGINIA	LIVE OAK	16"	25'	20'		GOOD	
21	QUERCUS VIRGINIA	LIVE OAK	38"	40'	30'		GOOD	
24	QUERCUS VIRGINIA	LIVE OAK	54"	40'	40'		GOOD	
28	PTYCHOSPERMA ELEGANS	ALEXANDER	5"	22'	8'		GOOD	

LEGAL DESCRIPTION: The South 5 feet of Lot 23 and all of Lots 24 and 25, in Block 97, of AMENDED PLAT OF CORAL GABLES COUNTRY CLUB SECTION PART FIVE, as recorded in Plat Book 23, at Page 55, of the Public Records of Miami-Dade County, Florida. FOLIO 03-4119-001-4550

SURVEY FOR: RAFAEL URBINA
4516 UNIVERSITY DRIVE
CORAL GABLES, FLORIDA 33146

I HEREBY CERTIFY: That the BOUNDARY SURVEY of the above captioned property was completed under my supervision and/or direction, to the best of my knowledge and belief. This survey meets or exceeds the Minimum Technical Standards set forth by the Florida Board of Land Surveyors in Chapter 5J-17 Florida Administrative Code. Pursuant to Section 472.027, Florida Statutes.

DELTA MAPPING AND SURVEYING, INC. DELTA MAPPING AND SURVEYING, INC.
13301 SW 132 AVENUE SUITE 117
MIAMI, FLORIDA 33186

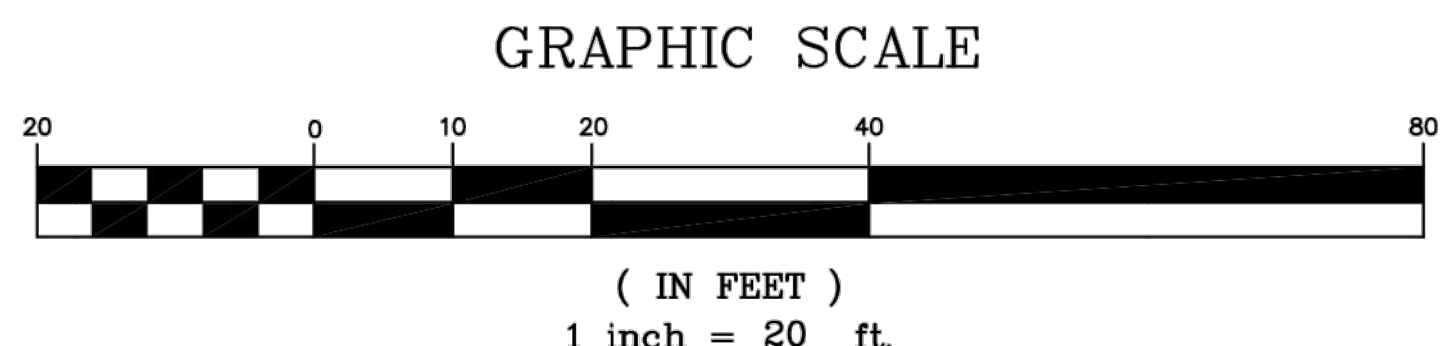
WALDO F. PAEZ DATE SIGNED: _____
PROFESSIONAL SURVEYOR AND MAPPER
NO. 3284
STATE OF FLORIDA

CERTIFICATE OF AUTHORIZATION
L.B. NO. 7950
STATE OF FLORIDA
786-429-1024
FAX: 786-592-1152

- 1)FLOOD ZONE: X BASE: PANEL NO. 12086C0457L
COMMUNITY NO. 120639 DATE OF MAP: 9-11-09
- 2)THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- 3)EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY
- 4) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED
- 5)LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
- 6)OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- 7)TYPE OF SURVEY: BOUNDARY SURVEY
- 8)THE HEREIN CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE SHOWN LEGAL DESCRIPTION: PROVIDED BY CLIENT
- 9)SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID AND FOR REFERENCE ONLY, UNLESS SIGNED AND SEALED WITH THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 10)THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- 11)UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 12)THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- 13)ACCURACY: THE EXPECTED USE OF LAND AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17 FAC), IS "SUBURBAN". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THE TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT
- 14)IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- 15)NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- 16)CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 17) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. 0.0 DENOTES EXISTING ELEVATION ELEVATION REFERS TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929
BENCHMARK: CG-139 ELEVATION: +11.58'
LOCATOR INDEX: GRANADA BLVD AND BLUE ROAD, NE CORNER BRIDGE OVER CORAL GABLES WATERWAY

BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF NORTH 08 DEGREES 44 MINUTES 35 SECONDS WEST FOR THE CHORD OF THE EAST PROPERTY LINE OF LOTS 24, 25 AND THE SOUTH 5' OF LOT 23
FIELD SURVEY DATE: 9-16-15 SCALE: 1" = 20' DRAWN BY: M.E.P.
DRAWING DATE: 9-17-15 FB: SKETCH DRAWING NO.: 15-0501
REVISED DATE: 9-28-15 (SHOW TREES)
REVISED DATE: 4-26-21 (UP-DATE)



SEAL

Delta Mapping and Surveying, Inc
13301 SW 132ND AVENUE, SUITE 117 MIAMI FL 33186
PHONE: (786) 429-1024 E-MAIL: DELTAMAPPING@MAIL.COM

Surveyors,
Land Planners
& Mappers

REVISIONS	DATE	REMARKS
	9-28-15	15-0501
	4-26-21	21-0138
	10-27-21	21-0382

DATE: 10-27-2021

SCALE: 1" = 20'

DRAWN BY: M.E.P.

DRAWING NO: 21-0382

1 OF 1

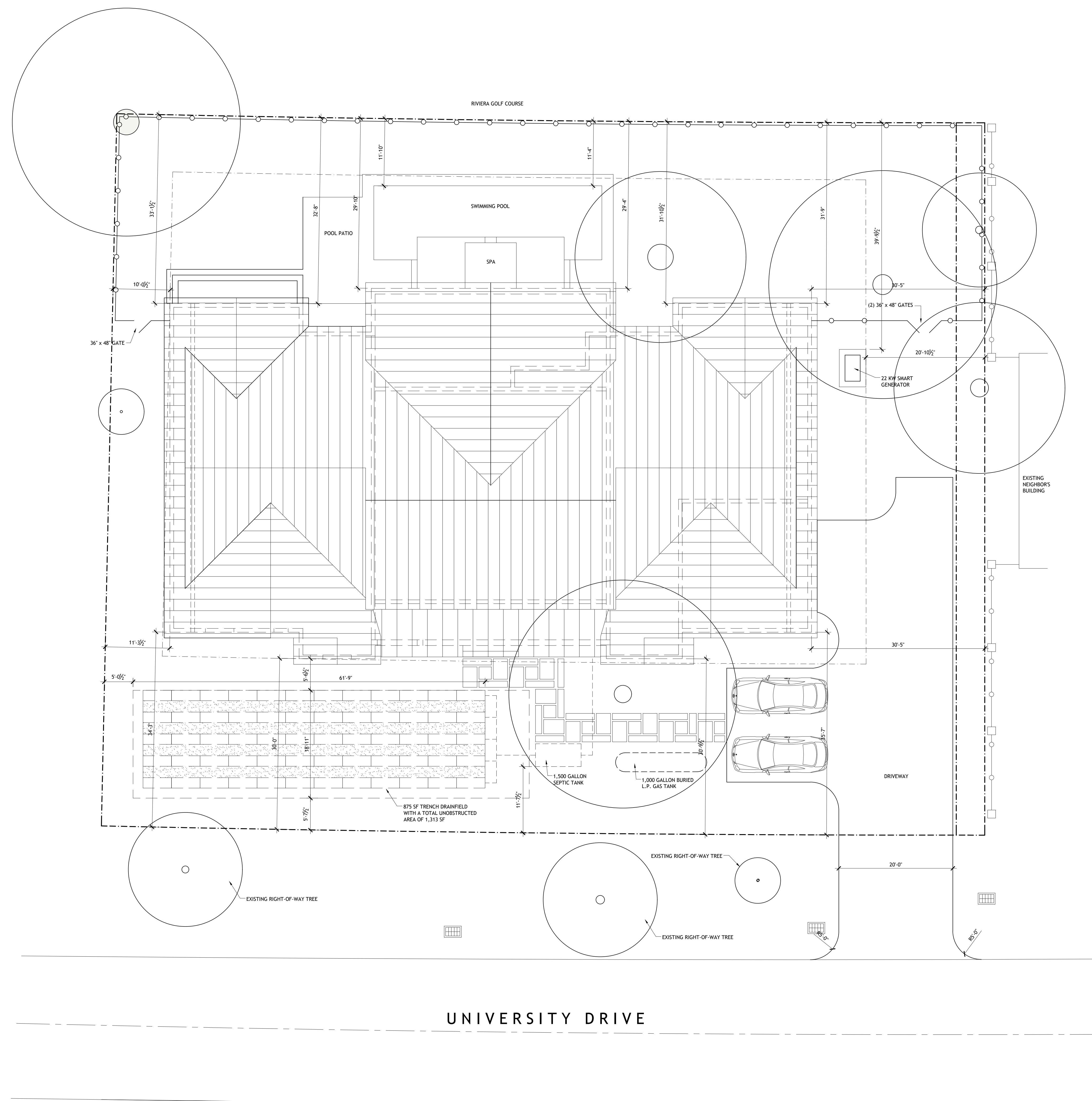
EASTSHORE ARCHITECTS
2727 SALZEDO ST
CORAL GABLES 33134
PH: (305) 648-2006
www.eastshore.net
EASTSHORE INTL CORP
CERT NO. AAC001608

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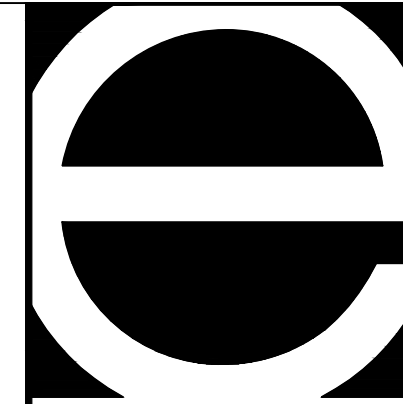
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SITE PLAN
SCALE: 1/8" = 1'-0"



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NO.	SUBMITTAL	DATE
	PRELIMINARY BOA REVIEW DRAWINGS	11/3/21

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21-14
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A-101

SCOPE OF WORK:

NEW ONE STORY
C.B.S. RESIDENCE

SETBACKS:

FRONT (UNIVERSITY DRIVE)
30'-0" REQUIRED

30'-0" PROPOSED

INTERIOR SIDES:

20% X 154'-4" = 30.87' REQUIRED

INTERIOR SIDE (SOUTH) = 10.04' PROPOSED

INTERIOR SIDE (NORTH) = 30.40' PROPOSED

TOTAL SIDE SETBACK = 40.44' PROPOSED

REAR:

10'-0" REQUIRED

29'-4" PRINCIPAL BUILDING (PROPOSED)

ADDRESS:

4516 UNIVERSITY DR., CORAL GABLES, FL 33134

FOLIO NUMBER:

03-4119-001-4550

LEGAL DESCRIPTION:

CORAL GABLES COUNTRY CLUB SEC PT 5

LOTS 24 & 25 & SOUTH 5' OF LOT 23, BLOCK 97

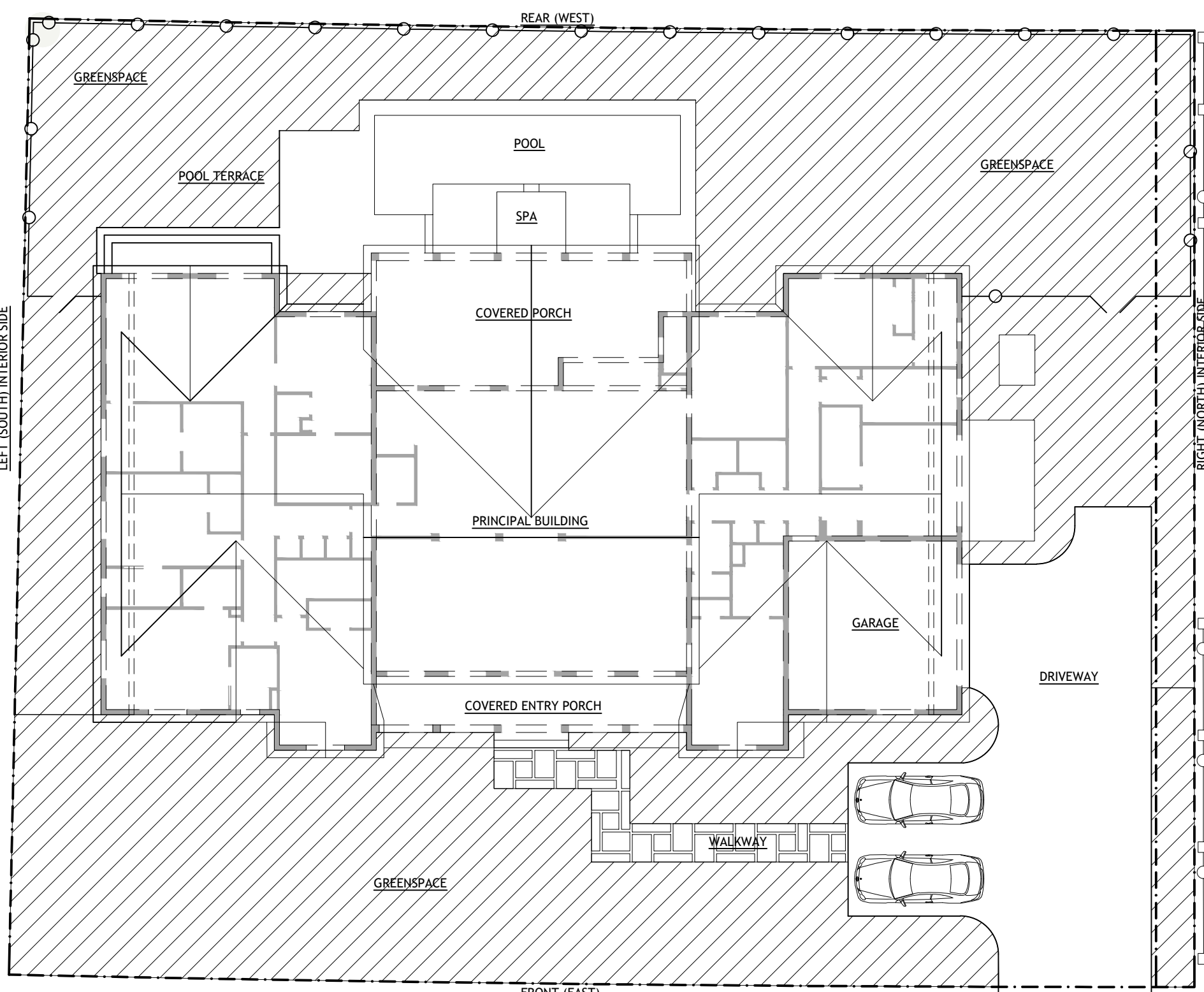
PLAT BOOK 23, PAGE 55

ZONING DATA SHEET



LOT SIZE = 19,203.38 sq ft

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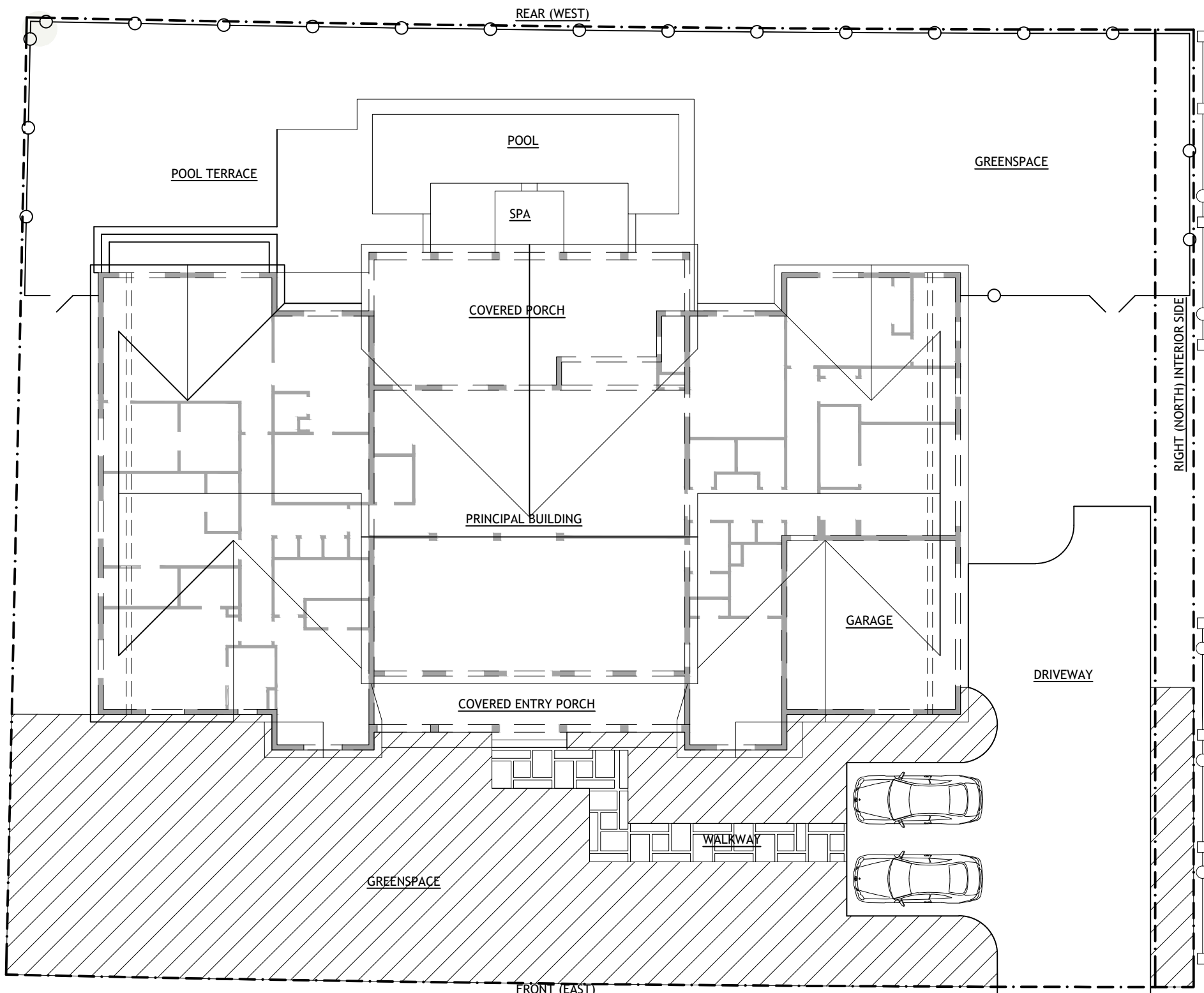


40% MINIMUM LANDSCAPE REQUIREMENT

19,203.38 sf X 40% = 7,681.35 sf

PROPOSED GREEN AREA

9,120.62 sf

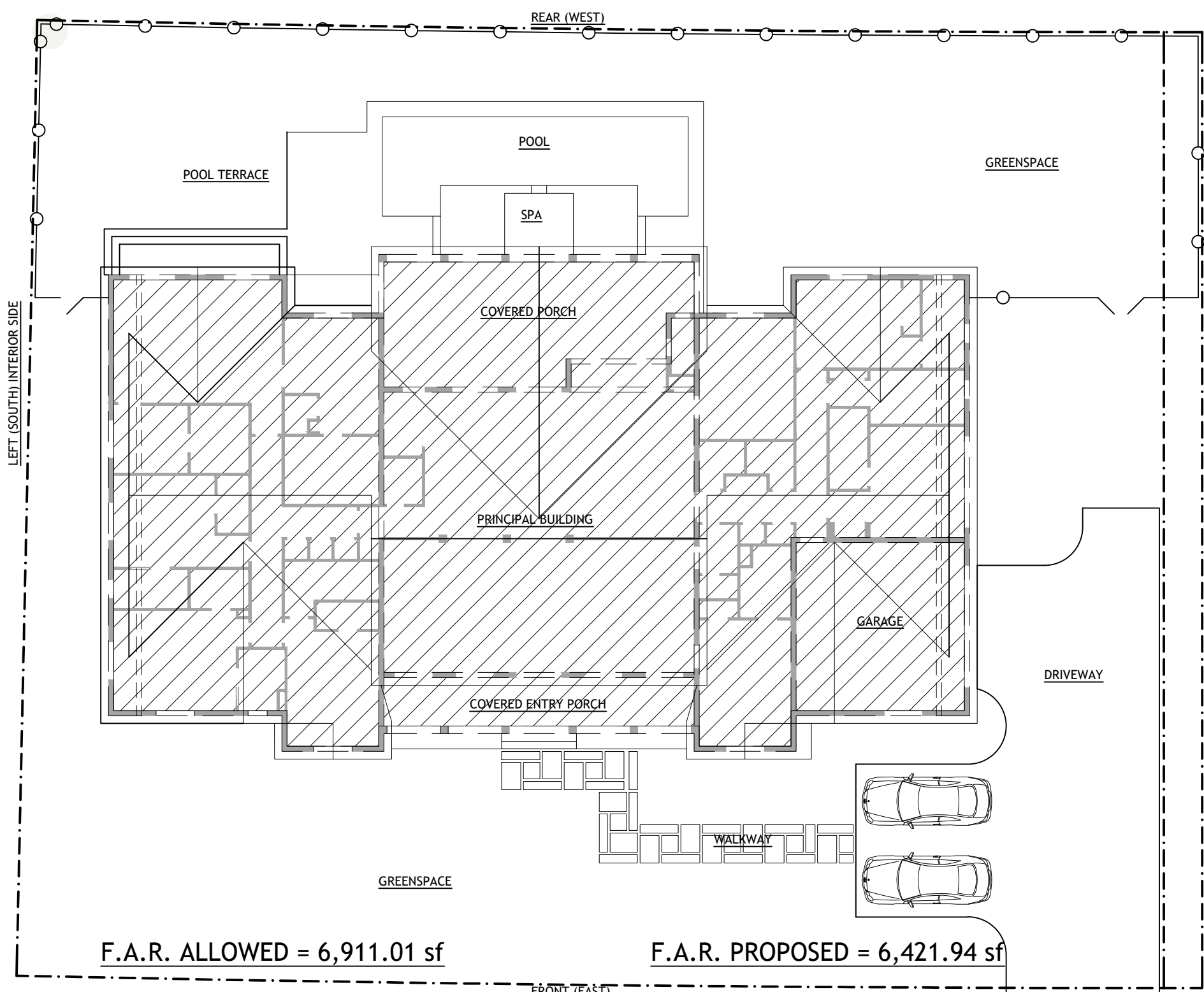


20% FRONT YARD LANDSCAPE MINIMUM

7,681.35 sf X 20% = 1,536.27 sf minimum

PROPOSED FRONT YARD LANDSCAPE MINIMUM

3,820.10 sf



F.A.R. ALLOWED = 6,911.01 sf

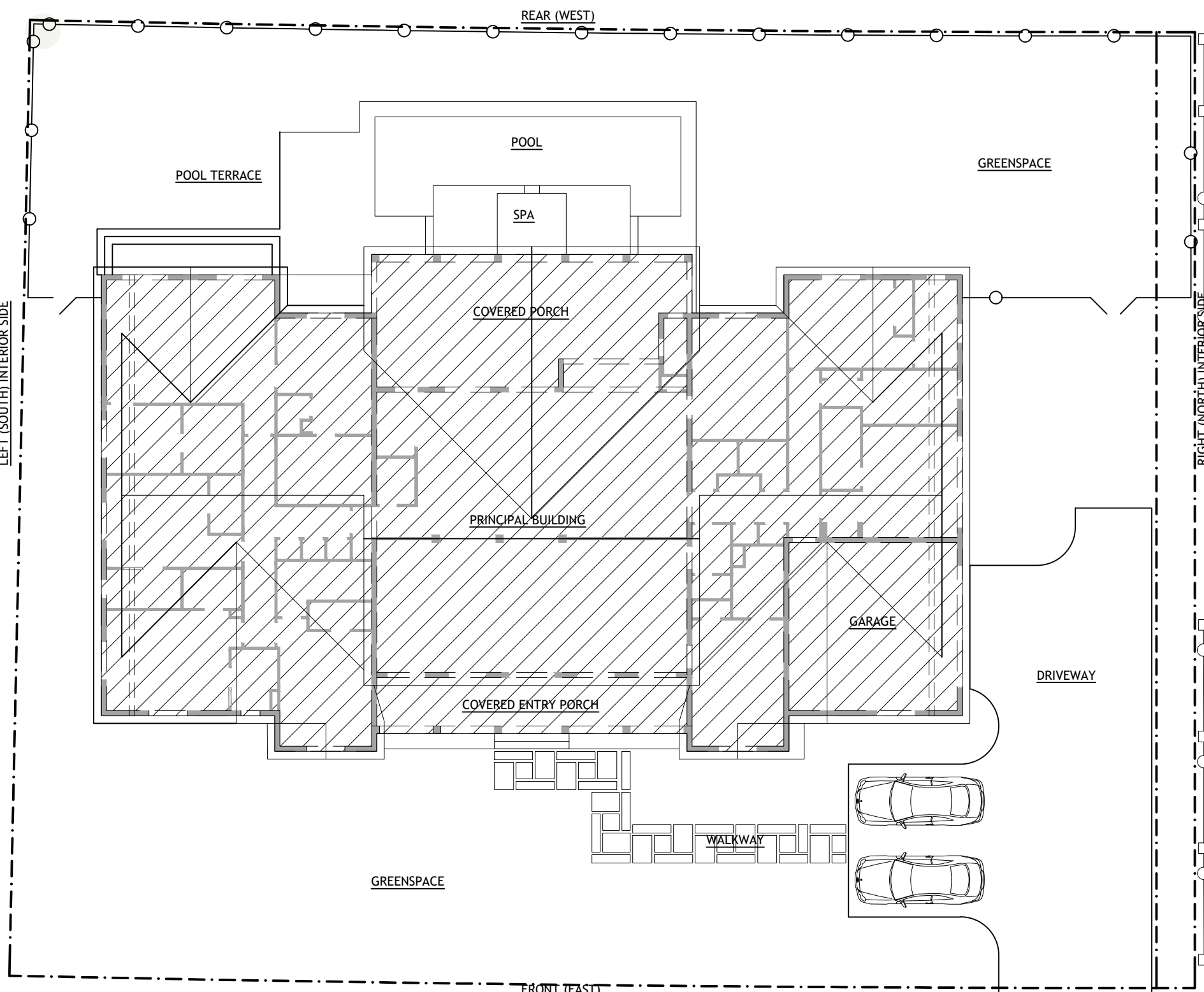
F.A.R. PROPOSED = 6,421.94 sf

5,000 X 48% = 2,400 sf

5,000 X 35% = 1,750 sf

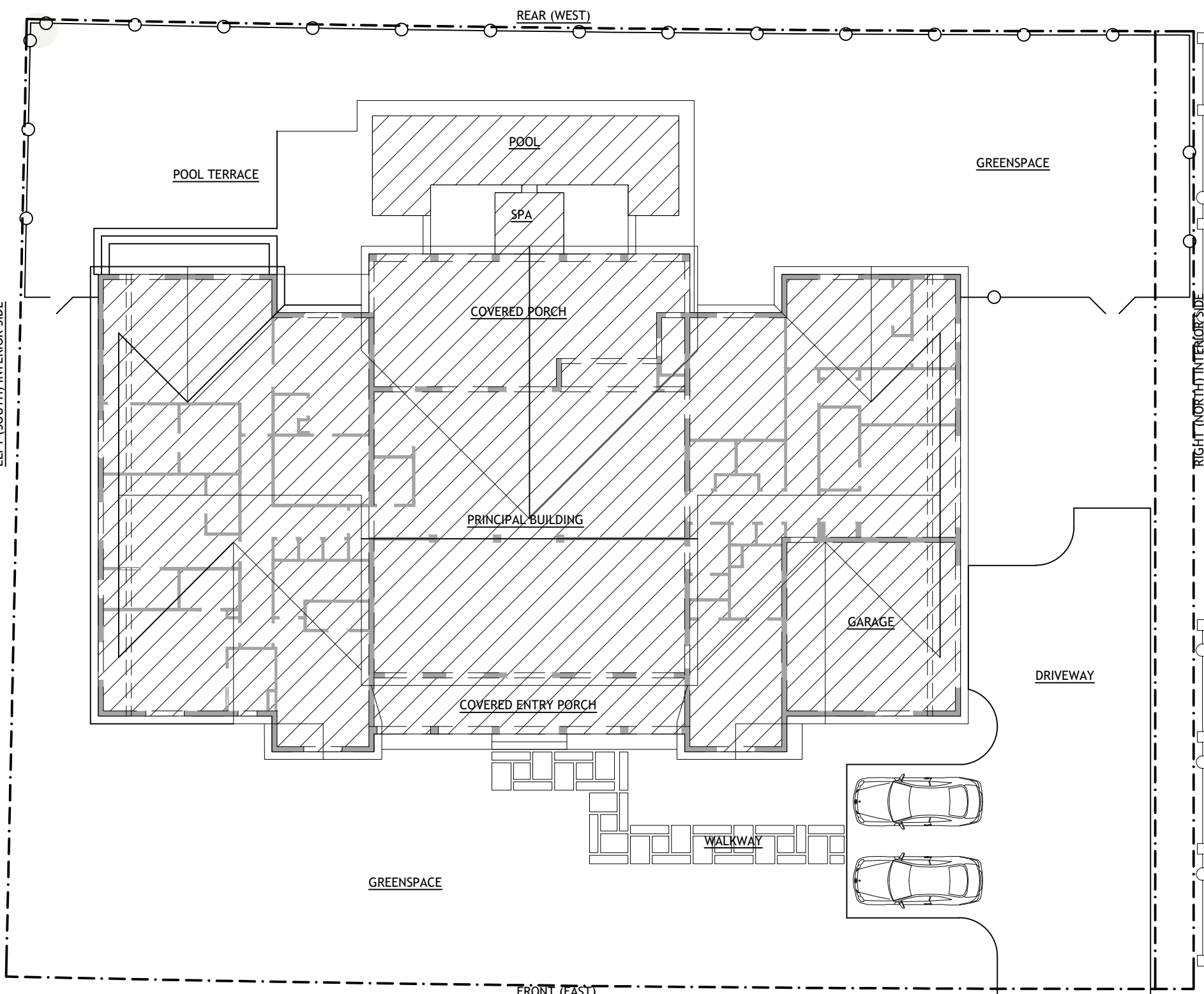
9,203.38 X 30% = 2,761.01 sf

AREA BREAKDOWN
PRINCIPAL BUILDING: 5,102.23 SF
GARAGE: 484 SF
COVERED ENTRY PORCH: 256.82 SF
REAR COVERED PORCH: 578.90 SF



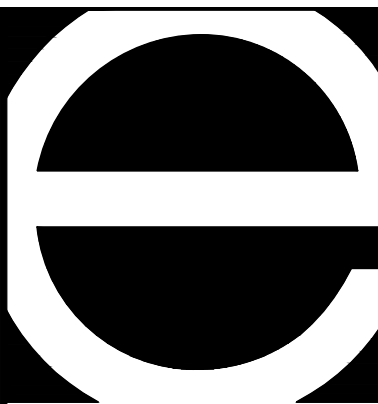
35% GROUND COVER ALLOWED = 6,721.18 sf

GROUND COVER PROPOSED = 6,700.62 sf



45% TOTAL AUXILIARY and/or ACCESSORY ALLOWED = 8,641.52 sf

PROPOSED AUXILIARY and/or ACCESSORY PROPOSED = 7,191.48 sf



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PRELIMINARY
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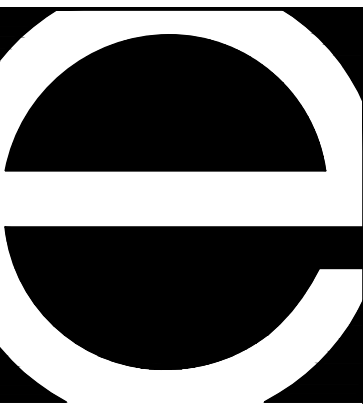
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A-102



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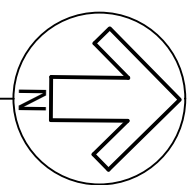
SEAL

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21-14
SHEET NO.

A-201



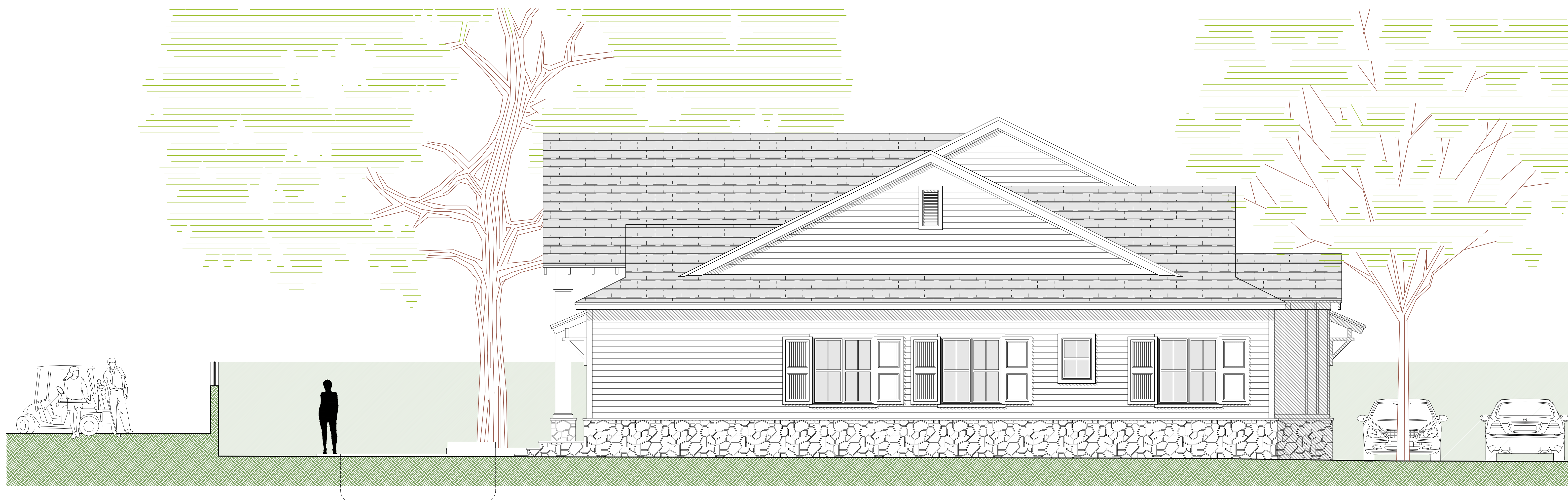
FLOOR PLAN
SCALE: 1/4" = 1'-0"





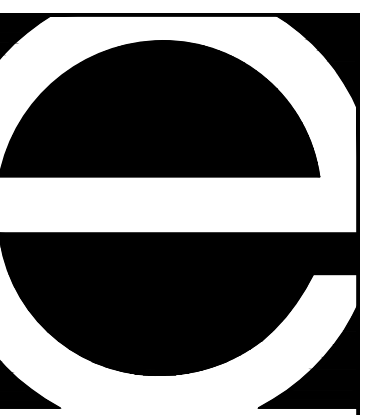
FRONT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



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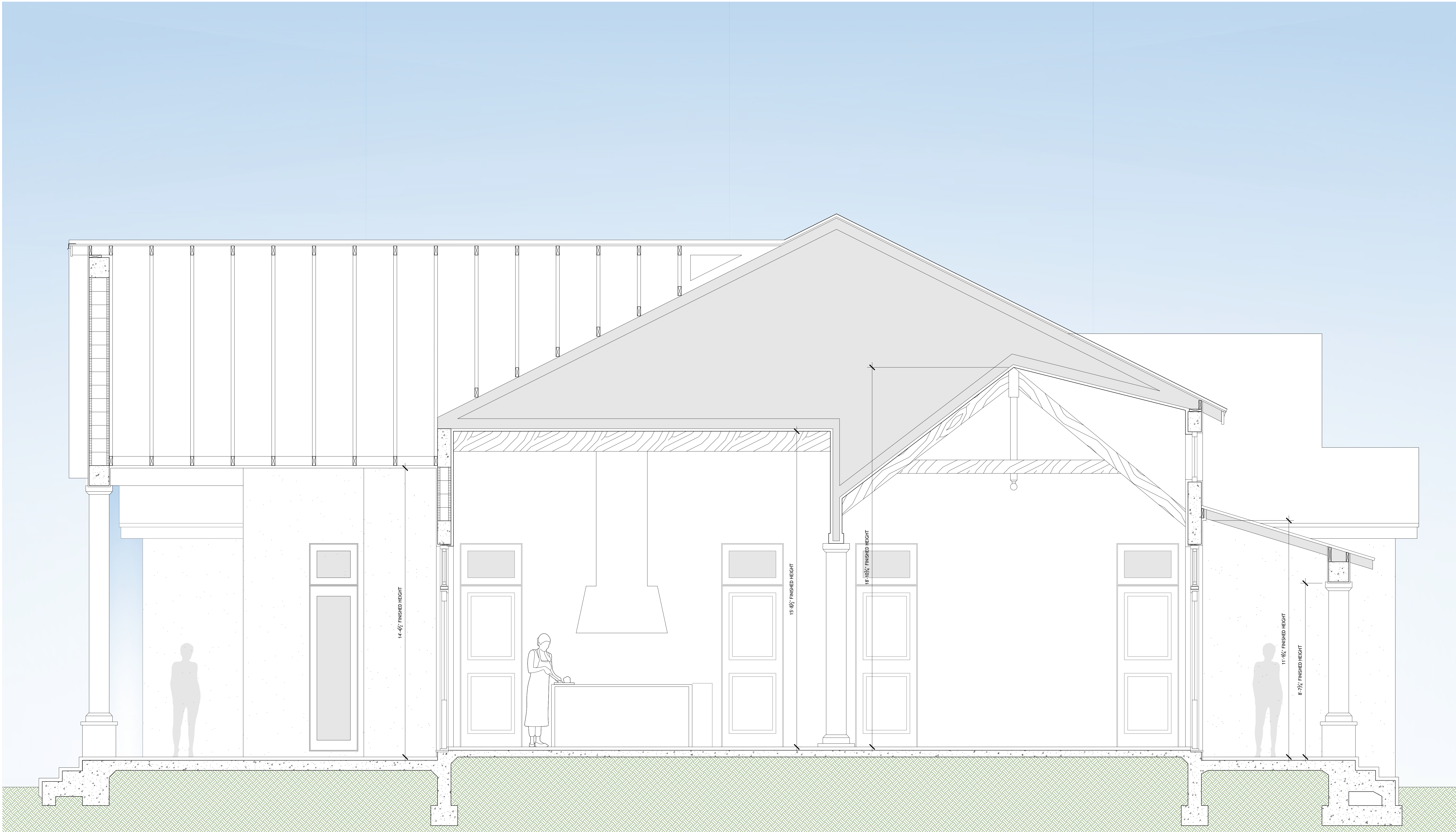
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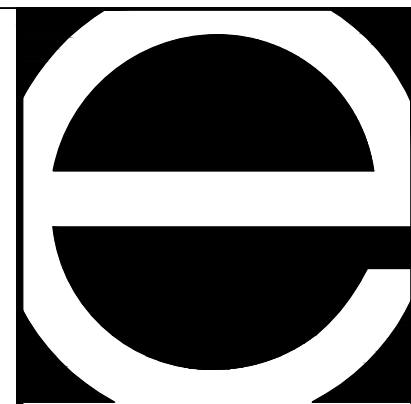
SHEET NO.

A-401



BUILDING CROSS-SECTION

SCALE: 1/2" = 1'-0"



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A-601



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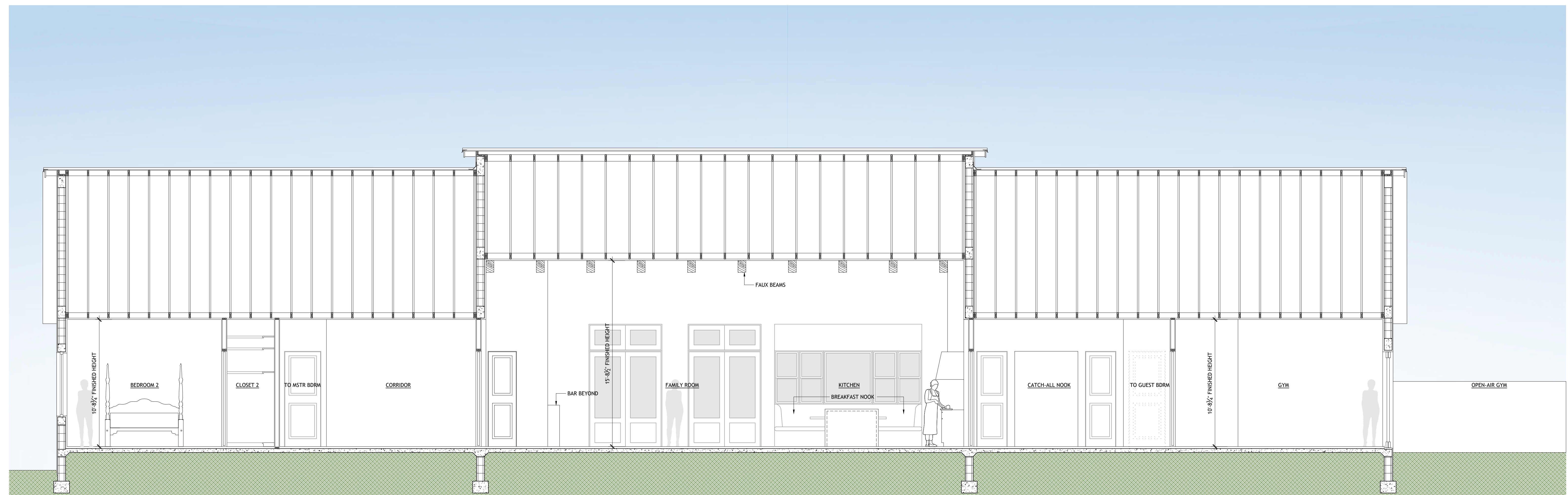
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SHEET NO.

A-602



LONGITUDINAL BUILDING SECTION

SCALE: 1/4" = 1'-0"