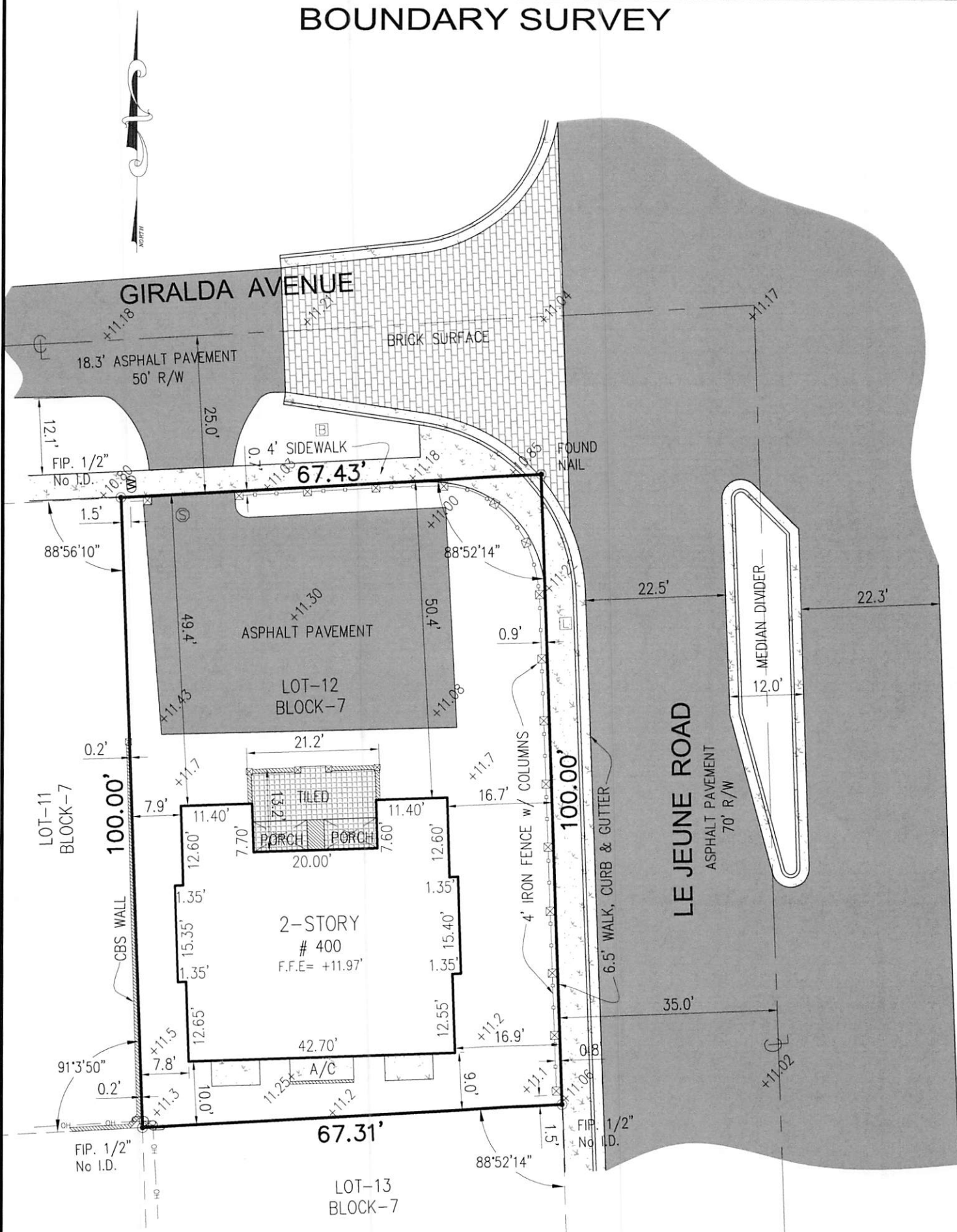


BOUNDARY SURVEY



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

ROYAL POINT
LAND SURVEYORS, INC.

LB # 7282
PHONE: 305-822-6062 * FAX: 305-827-9669
6175 NW 153rd ST. SUITE 321, MIAMI LAKES FL 33014
Job # RP21-0687

A=Arc
BRG=Bearing
CH=Chord
Δ=Delta
L=Length
R=Radius
T=Tangent

LEGEND

- OH Overhead Wire Line
- // Wood Fence
- x Chain Link Fence
- Iron Fence
- M Monument Line
- Centerline
- Property Line
- ▨ C.B.S.

- +0.00' =Existing Elevations
- ☐ =Catch Basin
- ⊕ =Water Meter
- ⊗ =Electric Box
- ⊙ =Sanitary Manhole
- ⊗ =Sprinkler Pump
- ⊙ =Wood Pole
- ⊕ =Conc. Pole
- ⊙ =Light Pole
- ⊗ =Fire Hydrant
- ⊗ =Water Valve
- ⊙ =Inlet
- ⊙ =Florida Power Light Transformer
- ⊙ =Cable Tv Box
- ⊙ =Electric Meter Box

- A/C=Air Conditioner
- Conc. =Concrete
- C.B.S. =Concrete Block & Stucco
- D.E. =Drainage Easement
- D.M.E.=Drainage Maintenance Easement
- F.F.E. =Finish Floor Elevation
- F.I.P. =Found Iron Pipe/Pin
- F.I.R. =Found Iron Rebar
- F.N. =Found Nail
- F.N&D =Found Nail & Disc
- L.M.E. =Lake Maintenance Easement
- (M) =Measured
- (P) =Platted
- (R) =Record
- Res. =Residence
- SIP/R =Set Iron Pin/Rebar
- U.E. =Utility Easement

BOUNDARY SURVEY

Property Address:

400 GIRALDA AVENUE, CORAL GABLES, FL 33134
Folio # 03-4108-001-1100

LEGAL DESCRIPTION:

Lot 12, in Block 7, of "CORAL GABLES SECTION B", according to the plat thereof as recorded in Plat Book 5, at Page 111, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- 1) The Legal Description was provided by the Client from most recent County Records available.
- 2) This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances.
ABSTRACT NOT REVIEWED.
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County, Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting this property.
- 4) No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences except as shown hereon.
- 5) Underground utilities are **not** depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- 6) Contact the appropriate authority prior to any design work on the herein-described parcel for Building and Zoning information.
- 7) The surveyor does not determine fence and/or wall ownership.
- 8) **Accuracy:**
The **Horizontal** positional accuracy of well-defined improvement on this survey is $\pm 0.2'$.
The **Vertical** accuracy of elevations of well-defined improvement on this survey is $\pm 0.1'$.
- 9) All measurements shown hereon are made in accordance with the United States Standard Feet.
- 10) Type of Survey: **BOUNDARY SURVEY.**
- 11) North arrow direction and/or Bearings are based on an assumed meridian as shown on the aforementioned Plat.
- 12) Elevations shown hereon are relative to **National Geodetic Vertical Datum of 1929.**
- 13) **Benchmark Used:** Coral Gables Benchmark #370. Elevation = +11.73'
- 14) **Flood Zone Data:**
FEMA/Panel # 120639/0294/L Dated: 9/11/09 Flood Zone: "X" Base Flood Elevation = N/A
- 15) This SURVEY has been prepared for the exclusive use of the entities named hereon.
The Certificate does not extend to any unnamed party:
A.) REGINA GUERRA & DANIELLA JARAMILLO JTRS
B.)

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY:

That this survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

Field Book: Electronic Files
Field Date: **May 3, 2021**
Job Number: **RP21-0687**


FOR THE FIRM: ROYAL POINT LAND SURVEYORS, INC. LB# 7282

- ☒ JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA.
☐ PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5880 STATE OF FLORIDA.



6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FLORIDA 33014
Phone: 305-822-6062 * Fax: 305-827-9669 * Email: info@royalpointLS.com

This Document is not full and complete without all Sheets, Containing a total of (2)

Sheet 1 of 2



400 GIRALDA (EXIST.)



400 GIRALDA (EXIST.)



400 GIRALDA (EXIST.)



400 GIRALDA & ADJACENT RES.



400 GIRALDA & ADJACENT RES.



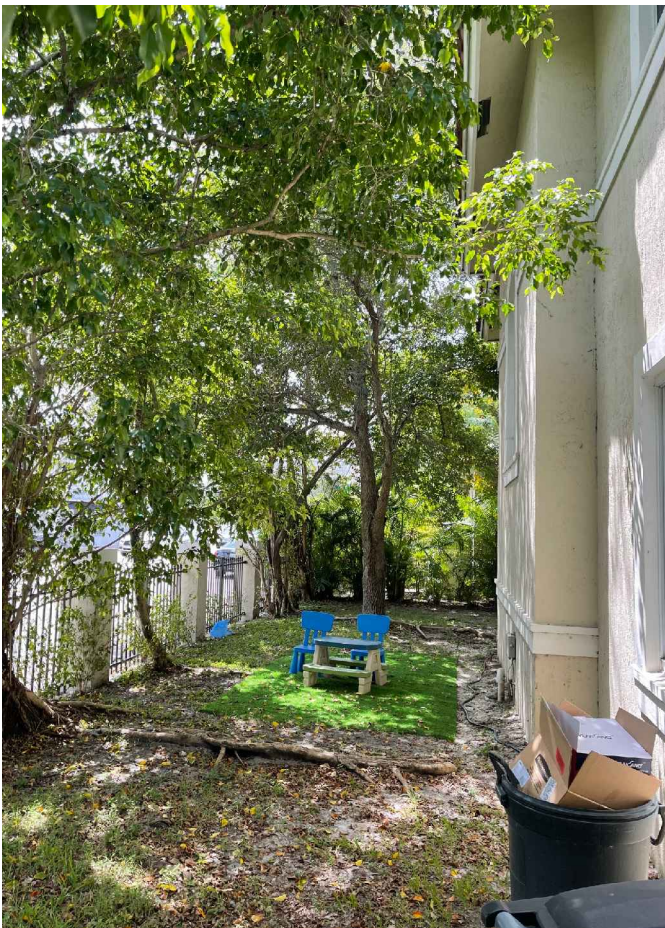
ADJACENT RESIDENCE



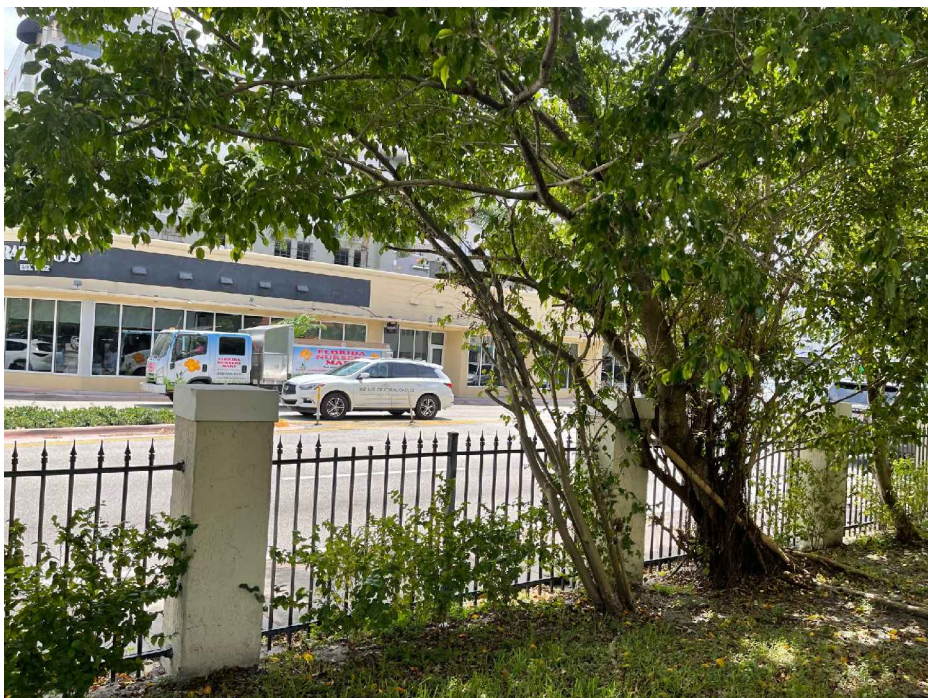
LE JEUNE RD. VIEW



LE JEUNE RD. VIEW



LE JEUNE RD. VIEW



LE JEUNE RD. VIEW



GIRALDA AVE.



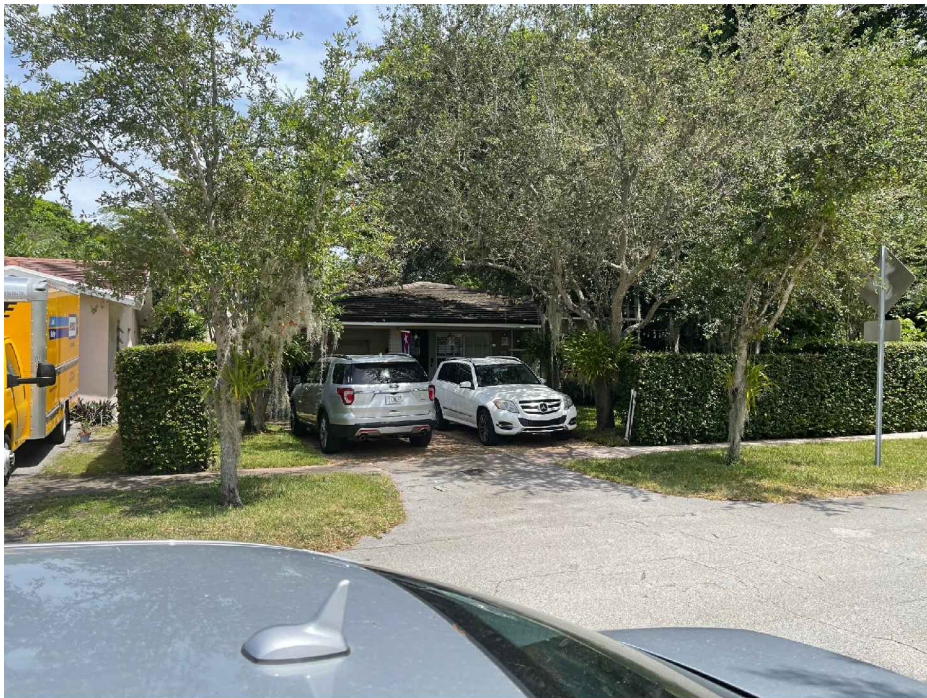
GIRALDA AVE.



INTERSECTION
GIRALDA AVE & LE JEUNE RD.



NEIGHBOR'S RESIDENCE



NEIGHBOR'S RESIDENCE



NEIGHBOR'S RESIDENCE



NEIGHBOR'S RESIDENCE



NEIGHBOR'S RESIDENCE



INTERSECTION
GIRALDA AVE & LE JEUNE RD.


HISTORY OF DRAWING ISSUED		
DESCRIPTION	DATE	ISSUED
PROGRESS		
PERMIT		
CONSTRUCTION		
REVISION BY		

NEW ADDITION FOR:
REGINA GUERRA & DANIELLA JARAMILLO
400 GIRALDA AVE., CORAL GABLES, FL 33134

ARCHITECTURE - PLANNING.

7600 SW 57 AVE.- SUITE 128 - S.MIAMI FL 33143

TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158



MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 15053
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

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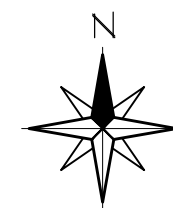
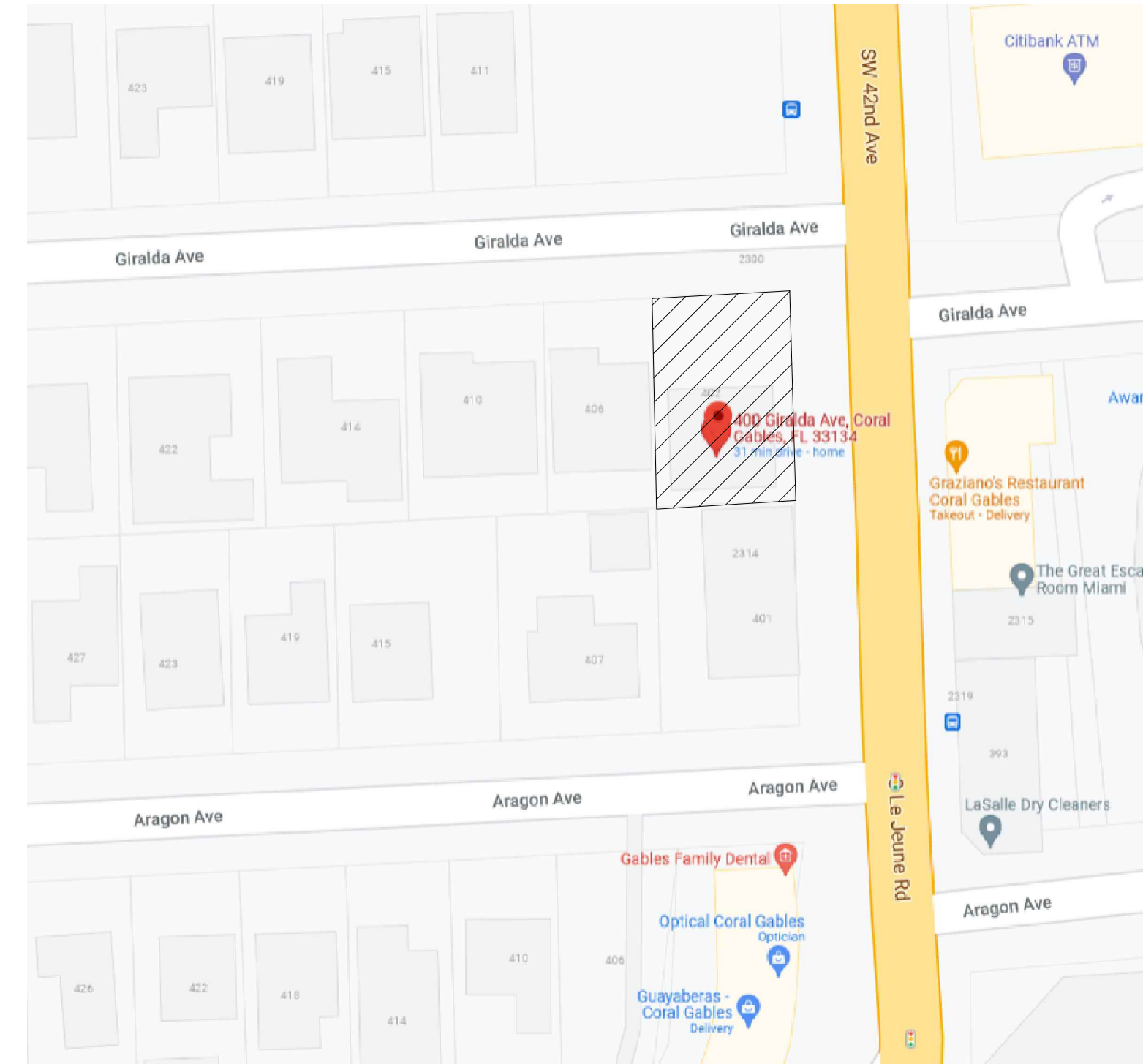
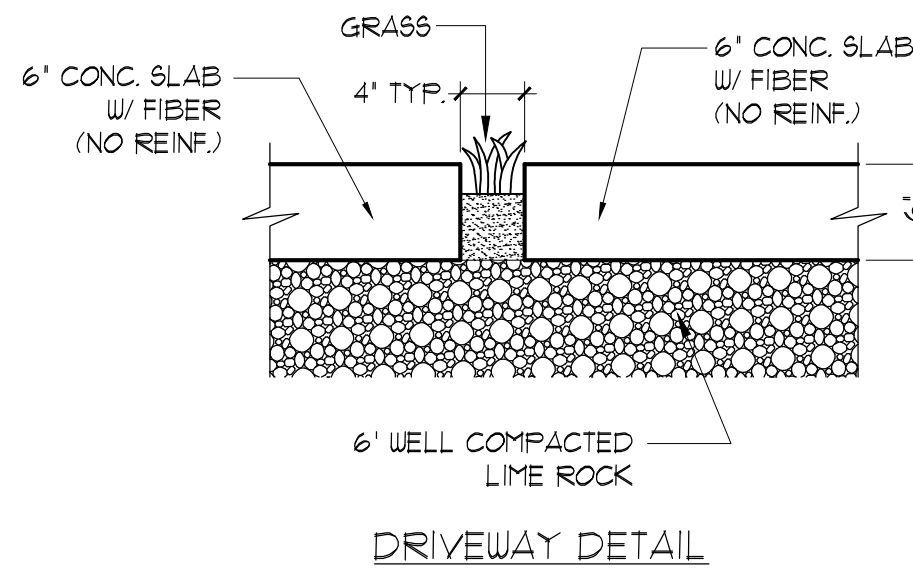
DATE	05-21-21
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-0.1
OF	SHEETS

GENERAL NOTES:

- 1.- All wood in contact with masonry or concrete shall be pressure treated.
- 2.- Truss manufacturer shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication.
- 3.- Hvac Subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication.
- 4.- All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
- 5.- Written dimensions shall take precedence over scaled dimensions.

- 6.- Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
- 7.- All wood bearing partitions to be one hour fire rated construction.
- 8.- Contractor shall stake out in the field all underground utilities known or encounter before to beginning excavation.
- 9.- Contractor shall coordinate all-trades before placing concrete.
- 10.- All finished materials shall be class "C" min. Flame spread.
- 11.- Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.

- 12.- Complete all bath wall/wallboard behind sinks, lavatories, bathtub, showers, water closets and bidets to be water resistance type.
- 13.- Contractor shall coordinate thickness of partitions to accommodate mechanical work.
- 14.- Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 22B F.S.I. nominal extreme fiber stress in bending.
- 15.- Contractor shall provide continuous caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with F.B.C.
- 16.- General Contractor shall verify with 'Flood Control Department' in Dade County before starting construction.
- 17.- If any discrepancies are found, stop working immediately and notify owner or Architect.



LOCATION PLAN

ARCHITECT'S NOTE

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL DADE COUNTY APPLICABLE CODES.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HER'S EMPLOYEE'S NEGLIGENCE ACTS, ERRORS, OR OMISSIONS.

ZONING LEGEND:

ZONING DISTRICT	= MF-1
LOT AREA	= 6,735 S.F.
EXIST. 1ST FL. A/C AREA	= 1,615 S.F.
NEW 1ST FL. A/C AREA	= 611 S.F.
EXIST. 2ND FL. AREA	= 1,712 S.F.
ENTRY	= 120 S.F.
BALCONY	= 120 S.F.
LOT COVERAGE PERMITTED	= 2,351.25 S.F. (35%)
LOT COVERAGE PROVIDED	= 2,352 S.F. (34.9%)
DRIVEWAY	= 1,400 S.F.
OTHER DECKS (NOT COVERED)	= 262 S.F.
IMPERVIOUS AREA	= 4,014 S.F. (59.6%)
GREEN AREA REQUIRED (40%)	= 2,694 S.F.
GREEN AREA PROVIDED	= 2,721 S.F. (40.4%)
FRONT YARD REQ'D (20% OF 2,694 S.F.)	= 538.8 S.F.
FRONT YARD PROVIDED	= 561.75 S.F.

TRIANGLE OF VISIBILITY NOTE:
NOTHING WILL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH MANNER WITHIN A TRIANGLE OF VISIBILITY SUCH AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-6" AND 8'-0" ABOVE ESTABLISHED GRADE MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION.

NOTE:
LANDSCAPING WILL COMPLY WITH ARTICLE 5, SECTION 5-1105(B)

NOTE:
THE BUILDING FLOOR ELEVATION IS A MINIMUM OF 8' ABOVE ESTABLISHED GRADE NON FLOOD ZONE

NOTE:
RETAIN ALL RAIN WATER WITHIN PROPERTY LINES

NOTE:
ALL UTILITY SERVICES SUCH AS ELECTRICAL, TELEPHONE, INTERNET, CABLE TV ETC. MUST BE RUN UNDER GROUND.

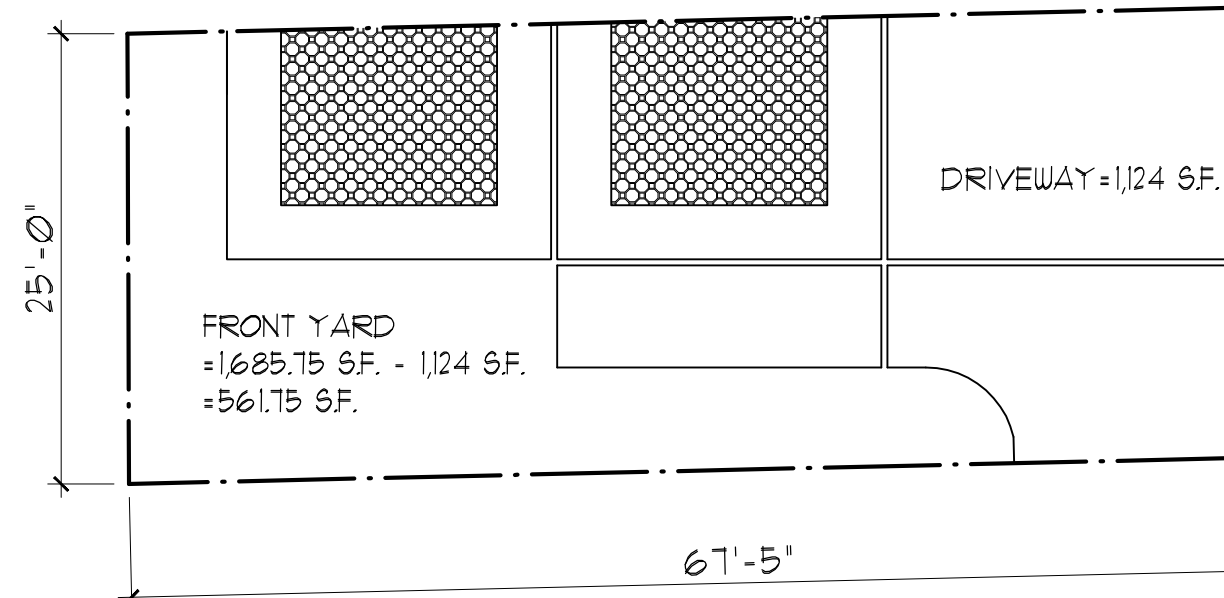
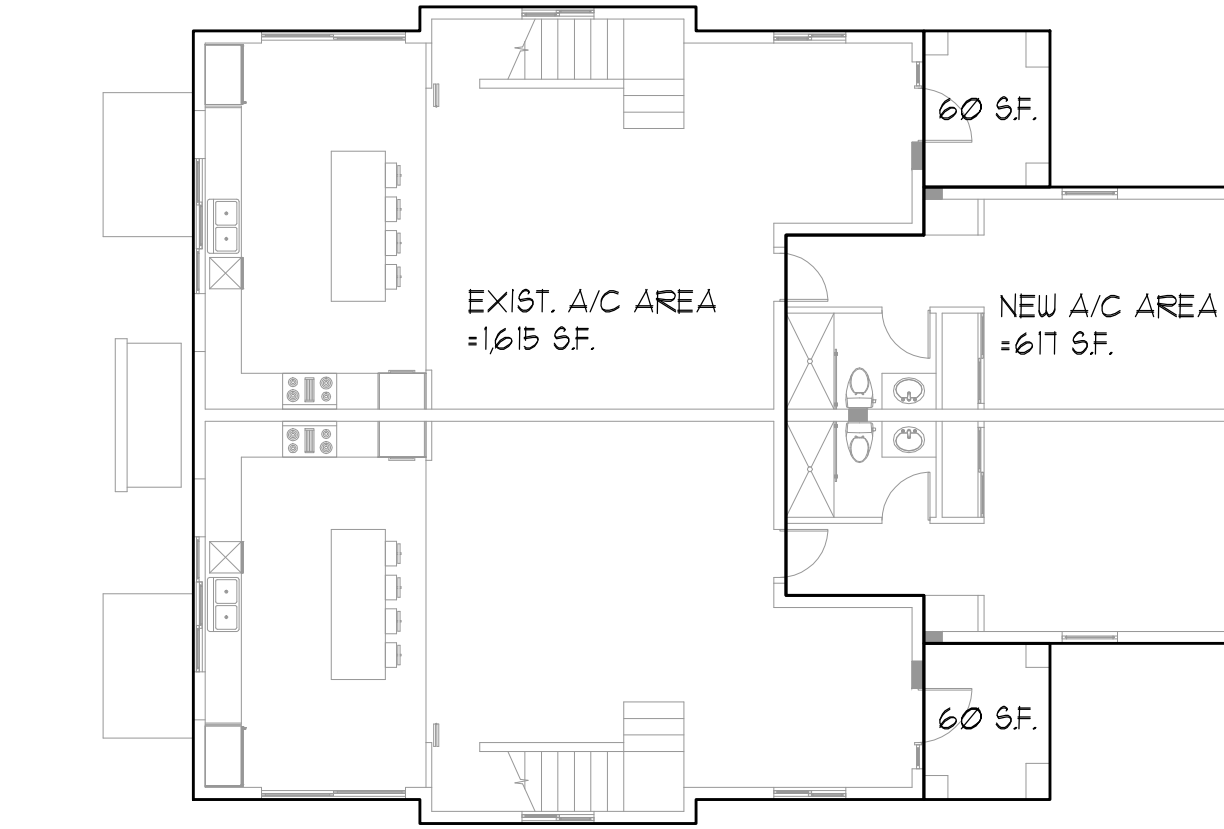
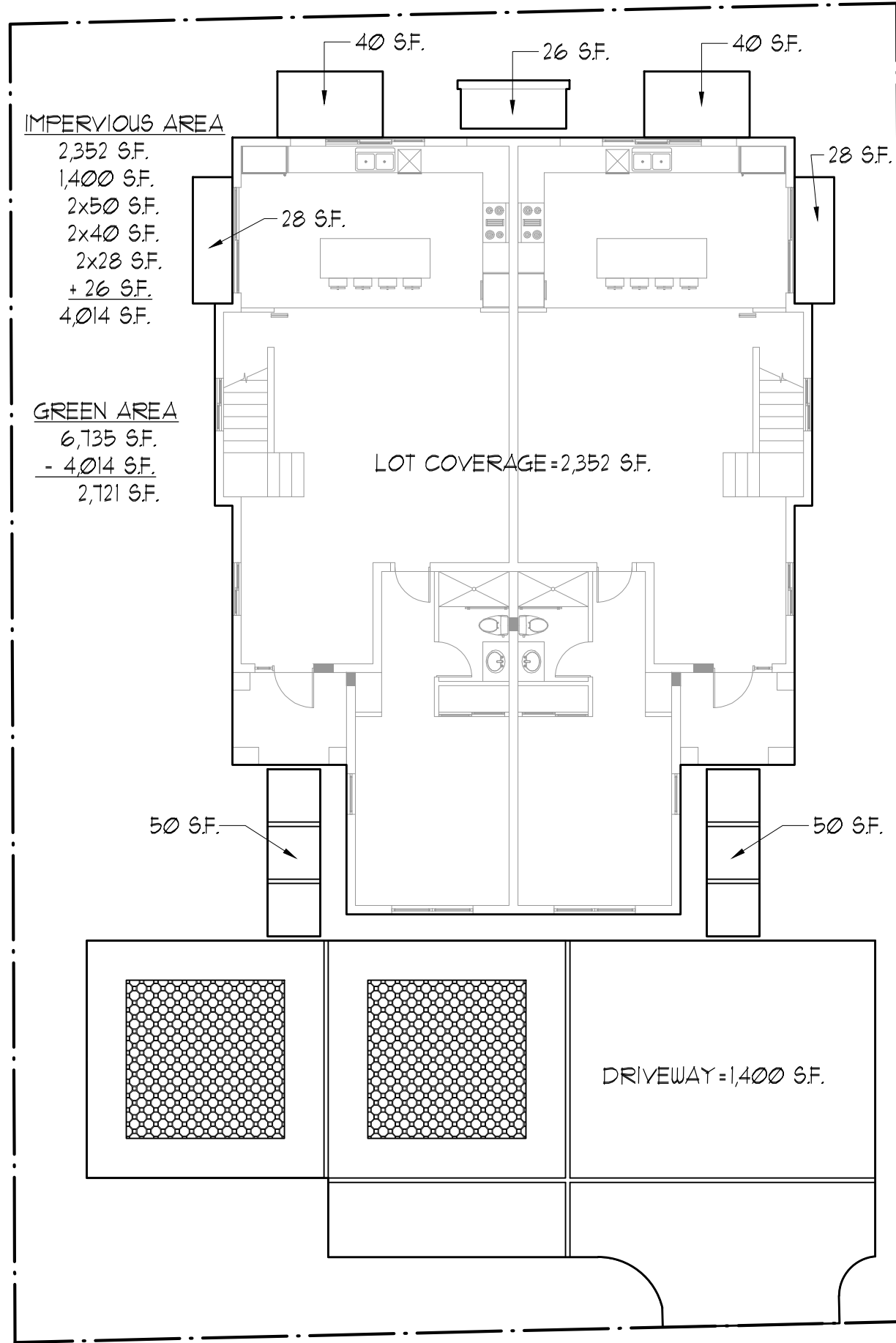
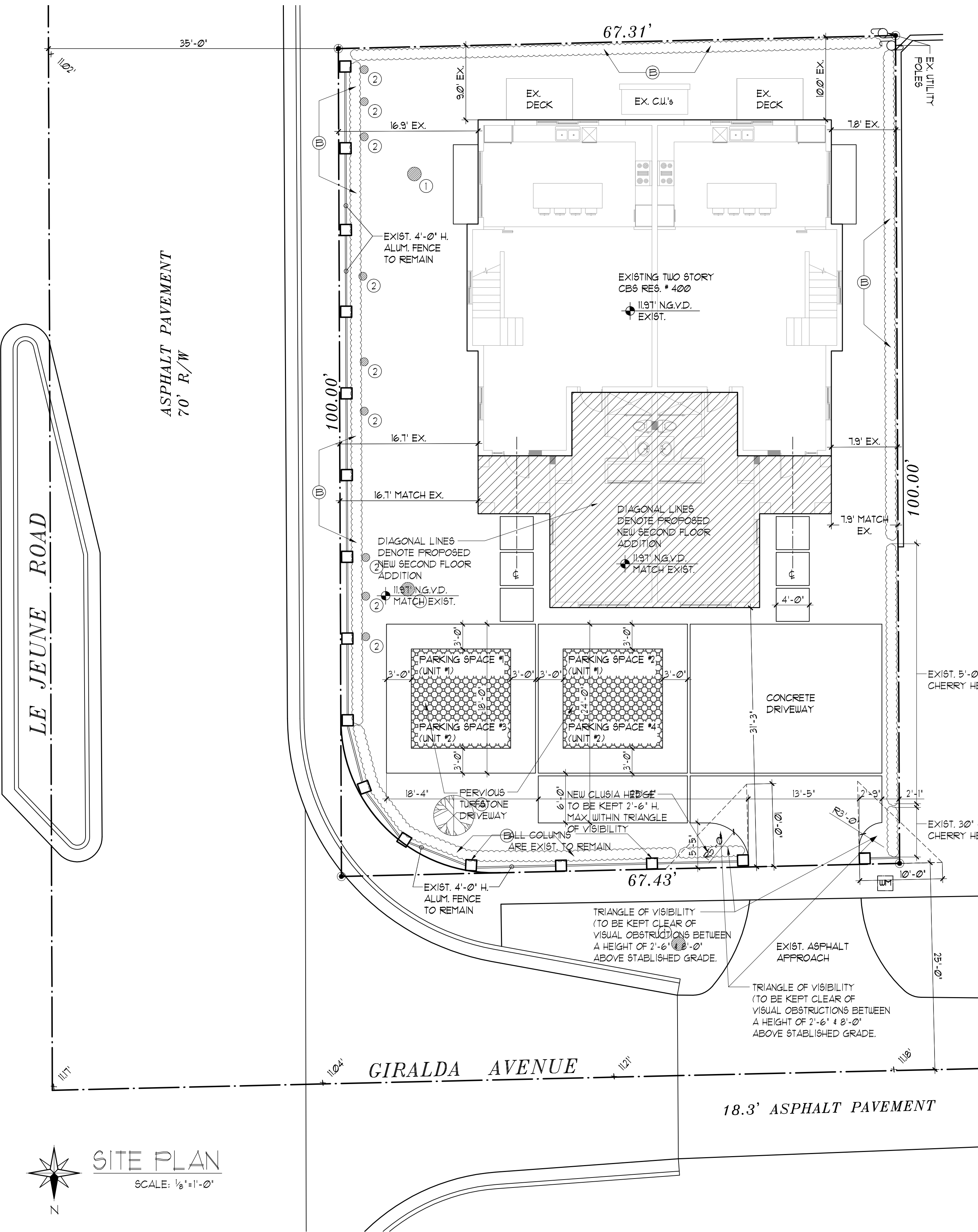
NOTE:
CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICES.

NOTE:
FILL WILL NOT BE INTRODUCED TO PROPERTY

LEGAL DESCRIPTION:

LOT 12, IN BLOCK 1, OF CORAL GABLES SECTION B, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5 AT PAGE 111, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THE AFORE-MENTIONED ONE STORY RESIDENCE HAS BEEN DESIGNED USING MATERIALS SUCH AS, SMOOTH STUCCO FINISH, PAINTED IN A MUTED PASTEL SCHEME (LIGHT GRAY COLOR AND DARK GRAY STUCCO BANDS, BRONZE ALUMINUM CASEMENT WINDOWS AND FRENCH DOORS. ENTIRE SCHEME SUGGESTS A TRANSITIONAL STYLE WITH SIMPLE AND CLEAN LINES, WHICH SHOULD BLEND NICELY WITH THE SURROUNDING EXISTING HOMES.



HISTORY OF DRAWING ISSUED	
DESCRIPTION	DATE OF ISSUED
PROGRESS	
PERMIT	
CONSTRUCTION	
REVISION BY	

NEW ADDITION FOR:
REGINA GUERRA & DANIELLA JARAMILLO
400 GIRALDA AVE, CORAL GABLES, FL 33134

ARCHITECTURE - PLANNING.

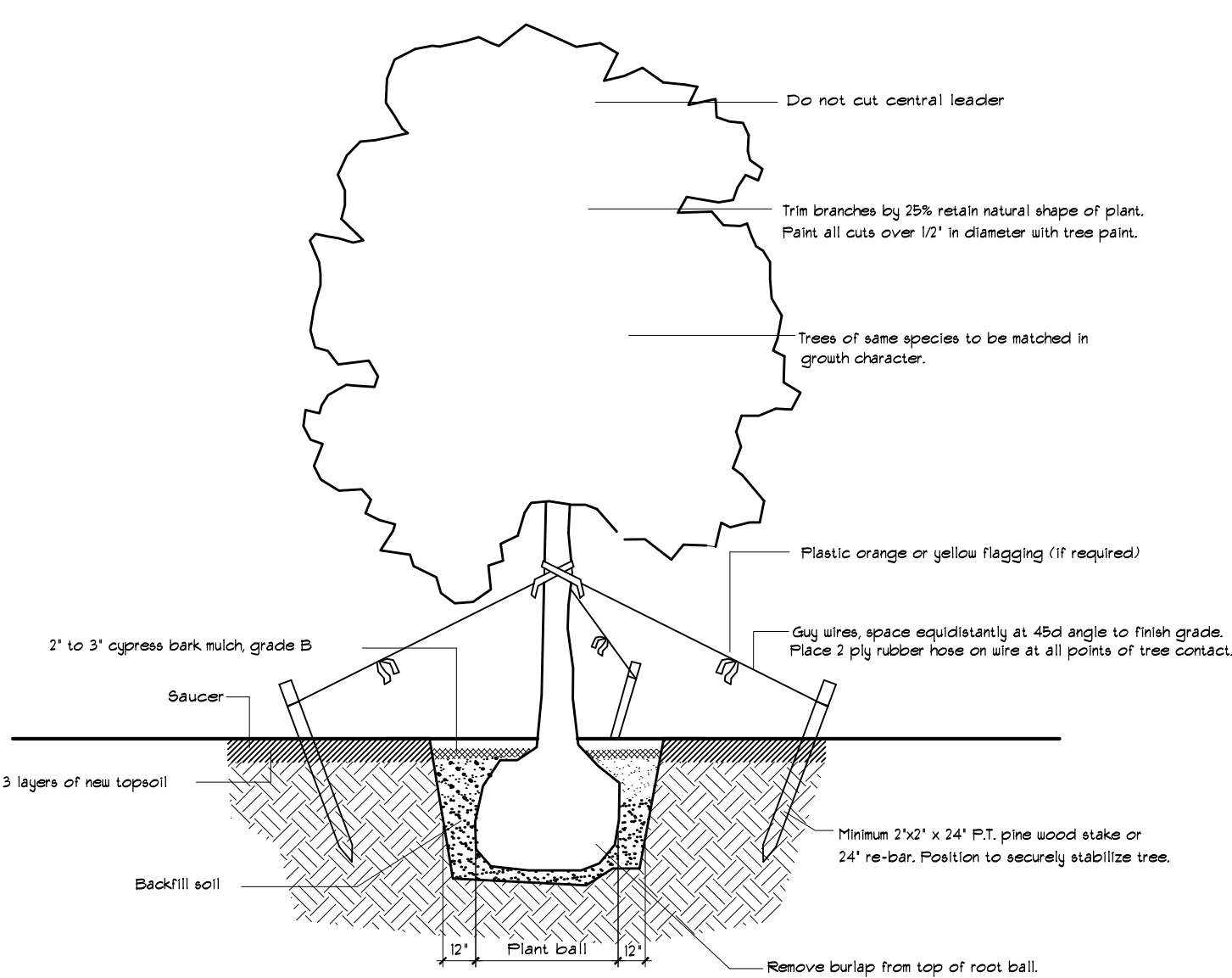
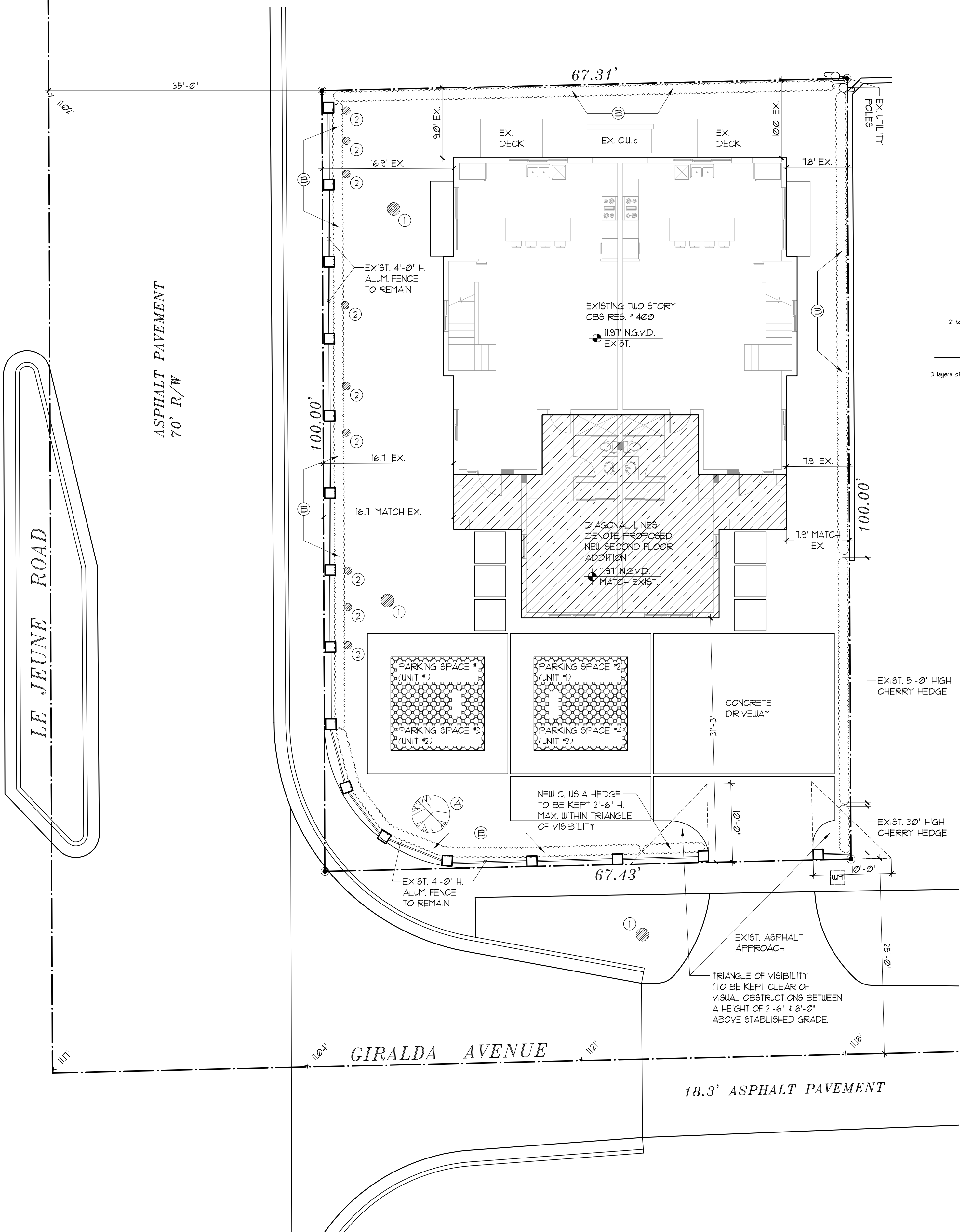
7600 SW 57 AVE.- SUITE 128 - S.MIAMI FL 33143

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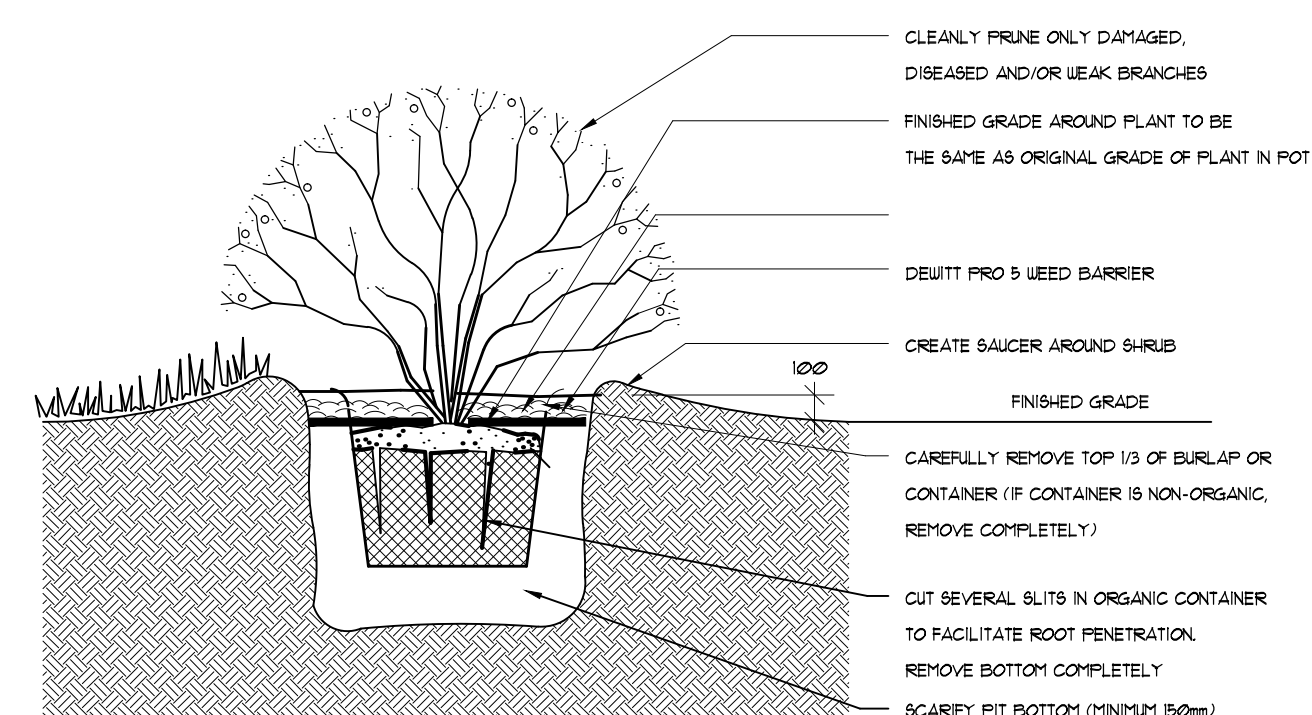


MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 15053
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE	05-21-21
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-1
OF	SHEETS



TREE PLANTING DETAIL
N.T.S.



WEED BARRIER
N.T.S.

PRO 5 WEED BARRIER TYPICAL SPECIFICATIONS		5 OZ WOVEN NEEDLE-PUNCHED MATERIAL FOR STRENGTH, DURABILITY AND WEED CONTROL.	
MATERIAL	POLYPROPYLENE	ALMOST 100% OPAQUE TO PREVENT PHOTOSYNTHESIS AND SEED GERMINATION	
COLOR	BLACK WITH A STRIPE EVERY 12"	10 YEAR GUARANTEE AGAINST UV DETERIORATION	
THICKNESS	28 MILS	COLOURED STRIPES ON TOP, SPACED 12" APART FOR EASY PLANT ALIGNMENT	
CONSTRUCTION	22 EPI X 11 PPI	REDUCES THE NEED FOR CONTINUAL USE OF CHEMICAL HERBICIDE TO CONTROL UNWANTED WEEDS OR GRASSES	
TENSILE STRENGTH LBS	100 X 600	AVAILABLE IN ROLLS OF 3' X 9' X 6' 8" AND 12' BY 250' LONG - ALSO AVAILABLE IN MASTER ROLLS UP TO 1500' IN LENGTH	
FABRIC WEIGHT	9.0 OZ/SY	HOLD IN PLACE WITH DOWEL ANCHORS PINS	
BURST (PSI)	225		
PUNCTURE (LBS)	60		
TRAP TEAR (LBS)	35 X 25		
UV RESISTANCE	87% AFTER 2500 HOURS		
WATER FLOW (GAL/MIN/PSI)	12		

LANDSCAPE LEGEND

ZONE _____ DISTRICT _____
GROSS LAND _____ (ACRE) NET LAND 6.139.8F. (ACRE) WATER BODIES NONE (ACRE)
REQ. FROV.
LANDSCAPE OPEN SPACE (IF APPLICABLE) 2.694.9F. 40% 2.121.9F. 40.4%

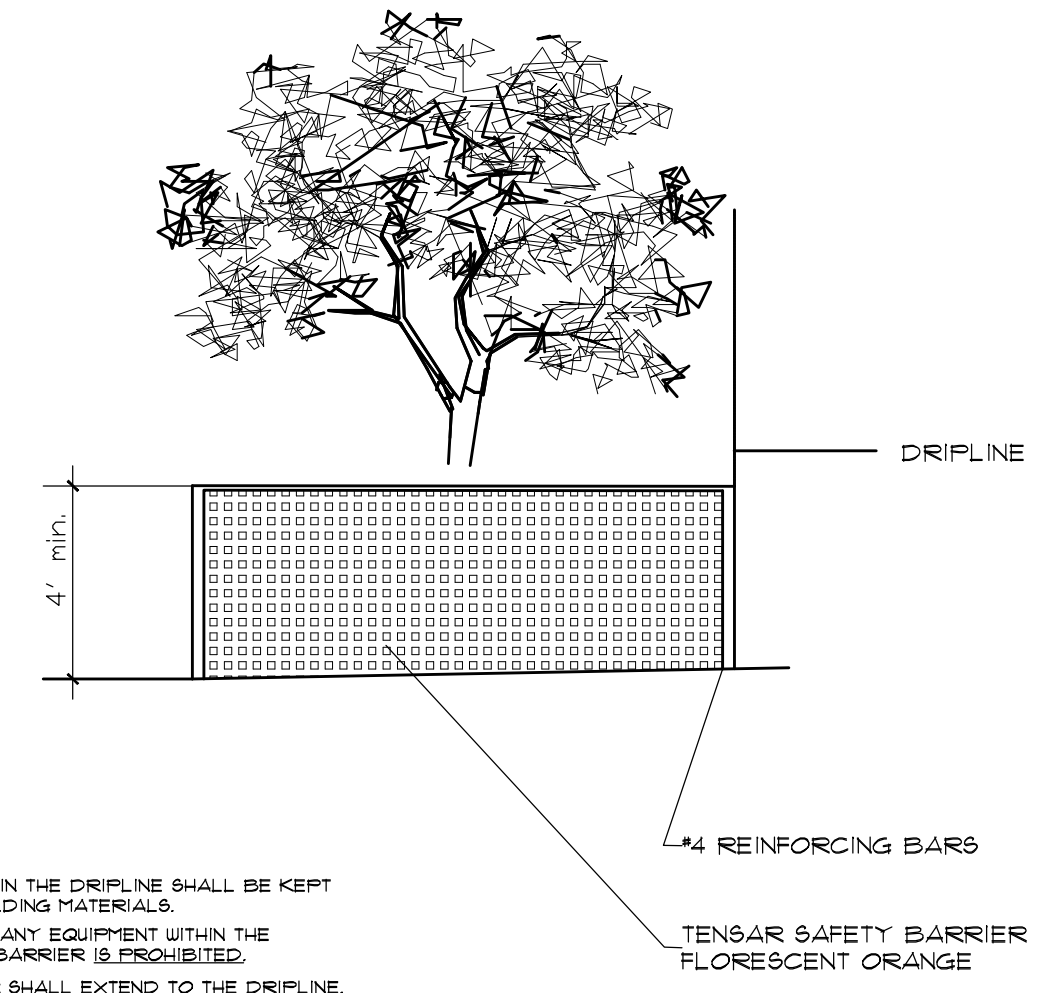
TREES PER NET LOT
(NOTE: 50% OF REQUIRED TREES AND/OR PALMS SHALL
BE NATIVE SPECIES. NO MORE THAN 20% OF THE NATIVE
TREE REQUIREMENT SHALL BE SAGUARO PALM/TO (CABBAGE PALM))
STREET TREES
(TREES IN THE RIGHT OF WAY (V) OR ON PRIVATE PROPERTY) WILL REQUIRED
PUBLIC WORKS APPROVAL OR SPECIAL TAXING DISTRICT.
TOTAL NUMBERS OF TREES
SHRUBS (10 SHRUBS FOR EACH TREE REQUIRED)
20% SHRUBS/HEDGES SHALL BE NATIVE SPECIES
IRRIGATION SYSTEM REQUIRED PURSUANT TO CHAPTER 33 DADE CODE.

LANDSCAPE SCHEDULE							
	NEW	EXIST.	SUGGESTED SPECIES NAME	NATIVE SPECIES YES/NO	HEIGHT	CANOPY DIAMETER	REMARKS
1		3	OAK TREE	YES			EXIST. TO REMAIN IN GOOD CONDITIONS
2		1	FIGUS	NO			EXIST. TO REMAIN IN GOOD CONDITIONS
A	1		OAK	YES	12'-0"	6'-0"	6'0
B	130		CLUSIA HEDGE	YES	36'		PLANTED @ 24' O.C.

NOTE: Irrigation system must be installed under separate permit, prior to issuing certificate of completion

LANDSCAPE NOTES:

- ALL PLANTING MATERIAL SHALL BE GRADED FLORIDA No.1 OR BETTER AS OUTLINED UNDER GRADES
AND STANDARDS FOR NURSERY PLANTS, STATE PLANT BOARD OF FLORIDA.
- PLANTING SOIL FOR ALL PLANTINGS SHALL CONSIST OF 50% FLORIDA PEAT MIXED WITH 50% EXISTING
SOIL UNLESS OTHERWISE NOTED, AND SHALL BE FREE OF DEBRIS, ROOTS, CLAY, STONES, PLANTS, AND
OTHER FOREIGN MATERIALS.
- MULCH MATERIALS SHALL BE SHREDDED CYPRESS MULCH MOISTENED AT THE TIME OF APPLICATION. ALL
TREES, SHRUBS, AND GROUND COVER BEDS SHALL RECEIVE TWO INCHES OF MULCH IMMEDIATELY AFTER
PLANTING.
- PROVIDED FULL AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO ALL LANDSCAPED AREAS.
IRRIGATION SYSTEM SHALL PROVIDE FOR A 100% COVERAGE WITH A 50% OVERLAP. AUTOMATIC
SYSTEM WITH RAIN MOISTURE SENSOR AS PER FLORIDA XERISCAPE LAW REQUIREMENTS. NO OVER
SPRAY SHALL FALL ONTO PAVED SURFACES. ALL GUIDELINES AS OUTLINED BY THE SOUTH FLORIDA WATER
MANAGEMENT DISTRICT (SRWD) SHALL BE STRICTLY ADHERED TO.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION AND AVOID AND PROTECT UTILITY LINES.
CUTS, BURIED CABLES, AND OTHER UTILITIES IN THE AREA.
- TREE, PALM, SHRUB AND GROUND COVER LOCATIONS AREA TO BE STAKED IN THE FIELD AND APPROVED BY
THE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL.
CUTS, BURIED CABLES, AND OTHER UTILITIES IN THE AREA.
- SOD SHALL BE ST. AUGUSTINE "FLORANTAM" STRONGLY ROOTED, AND FREE FROM WEED, FUNGUS AND DISEASE.
CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE
AS PER THE TOTAL SODDED AREA TO BE VERIFIED IN THE FIELD.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL
CARRY A 5 MONTH WARRANTY.
- ALL SHRUBS AND GROUND COVERS SHALL CARRY A 180-DAY WARRANTY -- ALL TREES AND PALMS SHALL
CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS ARE TO BE STAKED AS PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN
AND GROWERS ASSOCIATION (FNGA).
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE
QUANTITIES ON THE PLANTS AND PLANT LIST / BID FORM, THE QUANTITIES ON THE PLAN WILL BE HELD VALID.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING
INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATER UNTIL FINAL ACCEPTANCE BY THE OWNER.



NOTE:

- THE SOIL WITHIN THE DRIPLINE SHALL BE KEPT
FREE OF BUILDING MATERIALS.
- CLEANING OF ANY EQUIPMENT WITHIN THE
PROTECTIVE BARRIER IS PROHIBITED.
- THE BARRIER SHALL EXTEND TO THE DRIPLINE.

TREE PRESERVATION DETAIL
N.T.S.

HISTORY OF DRAWING ISSUED	
DESCRIPTION	DATE OF ISSUED
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REVISION BY	

NEW ADDITION FOR:
REGINA GUERRA & DANIELLA JARAMILLO
400 GIRALDA AVE, CORAL GABLES, FL 33134

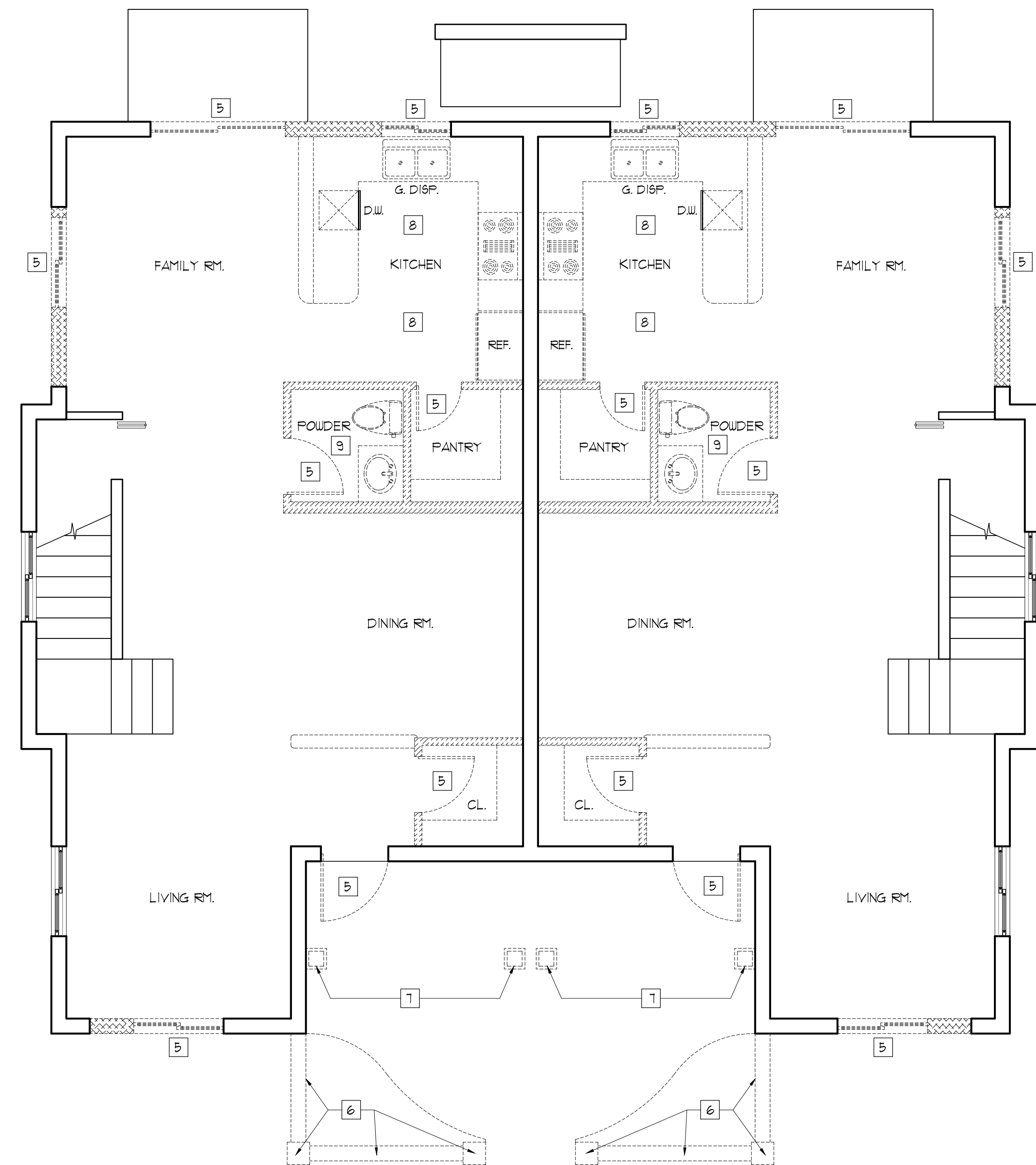
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MIAMI, FLORIDA 33143
GROUP INC
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158

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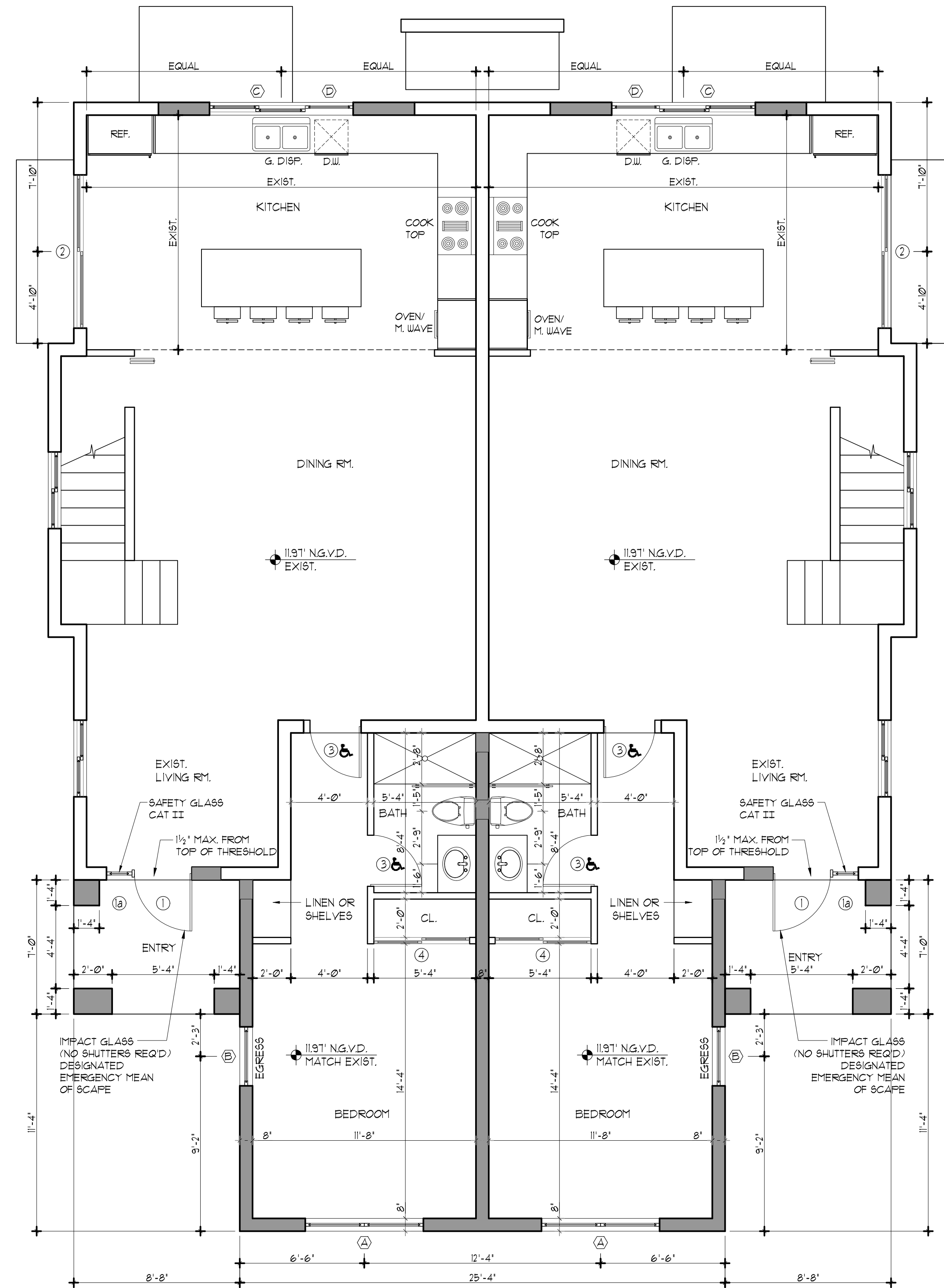
DATE	05-21-21
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	L-1
OF	SHEETS

1. ——— DENOTES EXIST. BLOCK WALLS TO REMAIN.
2. ——— DENOTES EXIST. PARTITION TO REMAIN.
3. [XXXX] DENOTES 8" BLOCK WALLS TO BE REMOVED
COORDINATE W/ STRUCT. PLANS FOR BEAM REINF.
4. [XXXX] DENOTES EXIST. PARTITION TO BE REMOVED.
5. [] EXIST. WINDOW/DOOR TO BE REMOVED
6. [] EXIST. COL'S & LOW WALL TO BE REMOVED
7. [] EXIST. COLUMN TO BE REMOVED, PROVIDE ADEQUATE SHORING
PRIOR REMOVAL, COORDINATE W/ STRUCTURAL PLANS
8. [] EXIST. KITCHEN CAB'S, APPLIANCES AND PLUMBING FIXTURES
TO BE REMOVED, CAP EXIST. SANITARY AND WATER LINES AS
REQUIRED
9. [] EXIST. CAB'S BATH FIXTURES AND PLUMBING
FIXTURES TO BE REMOVED, CAP AS REQUIRED.

- DEMOLITION NOTES
- 1.- DAMAGED AREAS WHERE WALLS HAVE BEEN REMOVED SHALL
BE PATCHED TO MATCH ADJACENT AREAS AND FINISH WITH
PAINT TO SUIT MATERIALS USED.
- 2.- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE
EXISTING RESIDENCE FROM SUSTAINING DAMAGE FROM
EXPOSURE TO THE WEATHER RESULTING FROM DEMOLITION
OF ROOFED AREAS AND REMOVAL OF EXISTING EXTERIOR
WALLS.
- 3.- THE CONDITIONS SHOWN ON THIS PLAN DENOTE THE BEST
INFORMATION AVAILABLE AT THE TIME PLANS WERE
PREPARED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
VERIFYING ALL EXISTING CONDITIONS AND OF INFORMING
THE ARCHITECT OF ANY SITUATION WHICH WILL IMPEDE
THE CONTRACTOR FROM CARRYING OUT THE INSTRUCTIONS
AS SET FORTH IN THE PLANS.
- 4.- ALL EXISTING OPENINGS TO BE CLOSED, SUCH AS DOORS,
WINDOWS, ETC. SHALL BE STRIPPED OF ALL FRAMES, BUCKS,
FURRING STRIPS, ETC. AND SHALL BE CLOSED W/ MATERIALS
MATCHING THE AREAS OF WORK.
- 5.- CONTRACTOR SHALL VERIFY EXIST. WINDOWS AND DOOR
OPENINGS DIMENSIONS IN THE FIELD PRIOR TO ORDERING
NEW WINDOWS AND DOORS (SEE WINDOW AND DOOR SCHEDULE).
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE
COMMENCING THE WORK. ANY MAJOR DISCREPANCY CONTACT
THE ARCHITECT IMMEDIATELY.
- 6.- CONTRACTOR SHALL CAP AND OR ISOLATE ALL EXISTING
WATER SANITARY LINES AND ELECTRICAL CIRCUITS PROPERLY
AS REQUIRED BY F.B.C.



1ST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

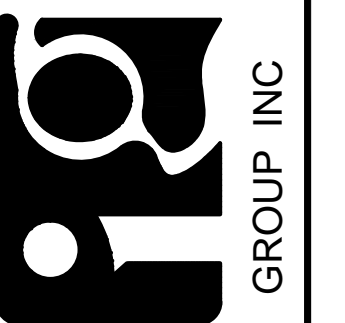
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REVISION BY		

NEW ADDITION FOR:
REGINA GUERRA & DANIELLA JARAMILLO
400 GIRALDA AVE., CORAL GABLES, FL 33134

ARCHITECTURE - PLANNING.

7600 SW 57 AVE., SUITE 128 - S.MIAMI FL 33143

TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158



MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 5053
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE	05-21-21
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-2
OF	SHEETS

DOOR SCHEDULE						
TYPE	WIDTH	HGT.	THICK.	TYPE	MATERIAL	REMARKS
①	3'-0"	6'-8"	---	SWING	ALUM. GLASS	
②	1'-4"		---	FIXED	ALUM. GLASS	
③	8'-0"		---	SLIDING	ALUM. GLASS	
④	2'-8"		1-3/8"	SWING	WD. SOLID	HANDICAP
⑤	5'-0"		1-3/8"	SLIDING	WD. SOLID	FULL LOUVERS

WINDOW SCHEDULE						
MARK	CODE	UNIT SIZE		TYPE	MAT.	REMARKS
		WIDTH	HEIGHT			
(A)	---	2'-3 1/2"	50 3/8"	CABEMENT	ALUM./GLASS	
(B)	24	3 1/2"	24"	FIXED		
(C)	---	2'-30"	36"	ROLLING		
(D)	---	30"	36"	FIXED		

NOTE:
ALL EGRESS WINDOWS TO COMPLY W/ 1005.4.2, F.B.C.;
AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE
WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR
OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT.
IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE
THAN 44" OFF THE FLOOR.

THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A
KEY, TOOL, SPECIAL KNOWLEDGE OF EFFORT TO MAKE
AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF
THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN
54" ABOVE THR FINISHED FLOOR.

NOTE:
21-2.4.3 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT
CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.

21-2.4.4 EVERY BATHROOM DOOR SHALL BE DESIGNED
TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY
WHEN LOCKED.

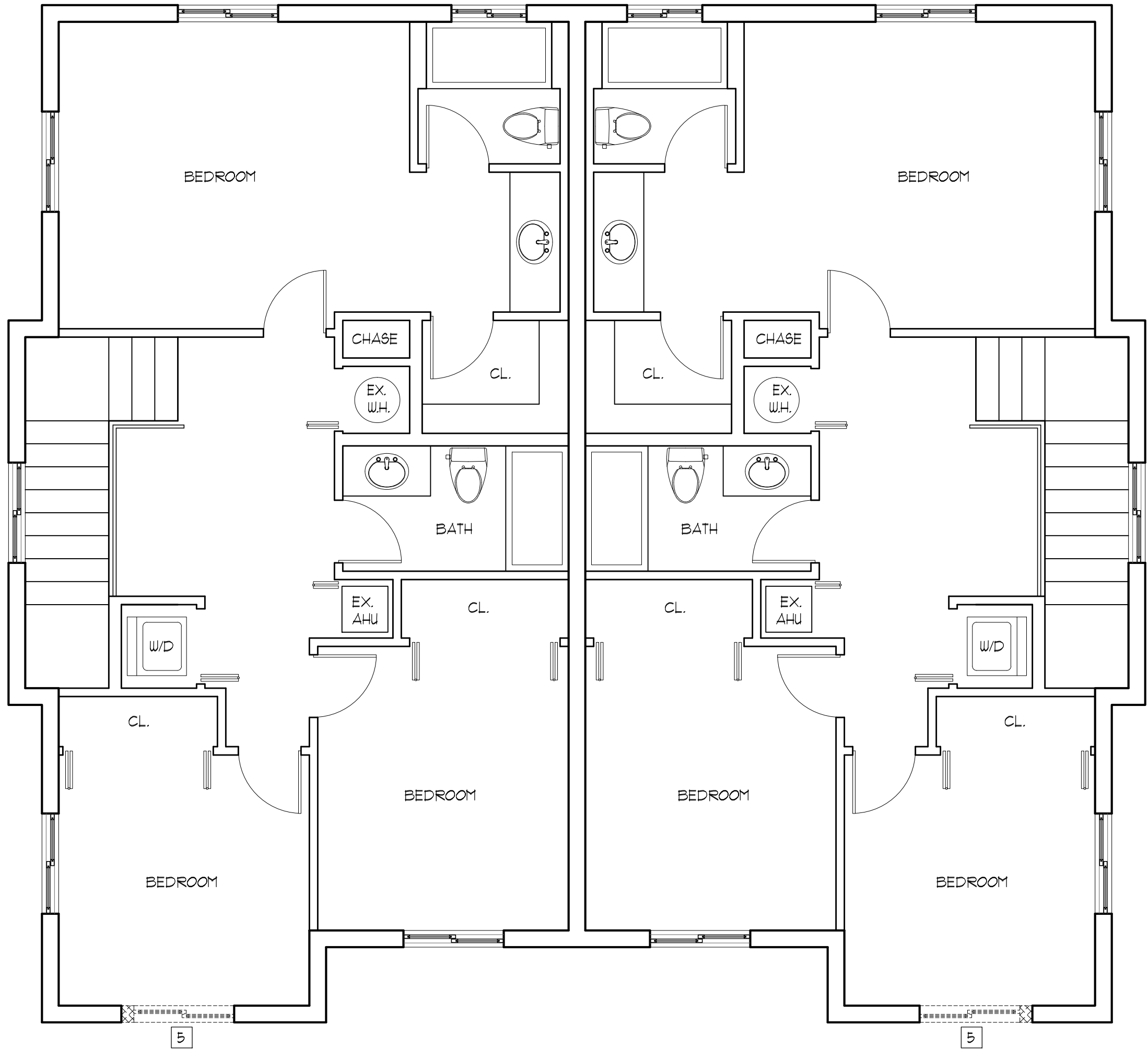
1. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX
OF NOT MORE THAN 25 & A SMOKE DEVELOPED INDEX OF NO
MORE THAN 450 PER R302.10.1
2. WALL AND CLG. FINISHES SHALL HAVE A FLAME SPREAD
INDEX NOT GREATER THAN 200 PER R 302.9.1 & SMOKE
DEVELOPED INDEX NOT GREATER THAN 450 PER 302.9.2
3. STEEL STUD FRAMING SUPPORTING WALL HUNG PLUMBING
FIXTURES & OR CABINETS SHALL BE DOUBLED PER R
441.4.5.1.1 & SHALL HAVE A HORIZONTAL MEMBER SECURED TO
NO LESS THAN TWO STUDS PER R 441.4.5.1.3

NOTE:
G.C. AND A.A. CONTRACTOR SHALL COORDINATE
A/C DUCT W/ STRUCTURAL AND ARCHITECTURAL
WALLS BEFORE BIDDING AND PRIOR COMMENCING
WORK. ANY DOUBT OR DISCREPANCIES CONTACT
ARCHITECT BEFORE COMMENCING ANY WORK.

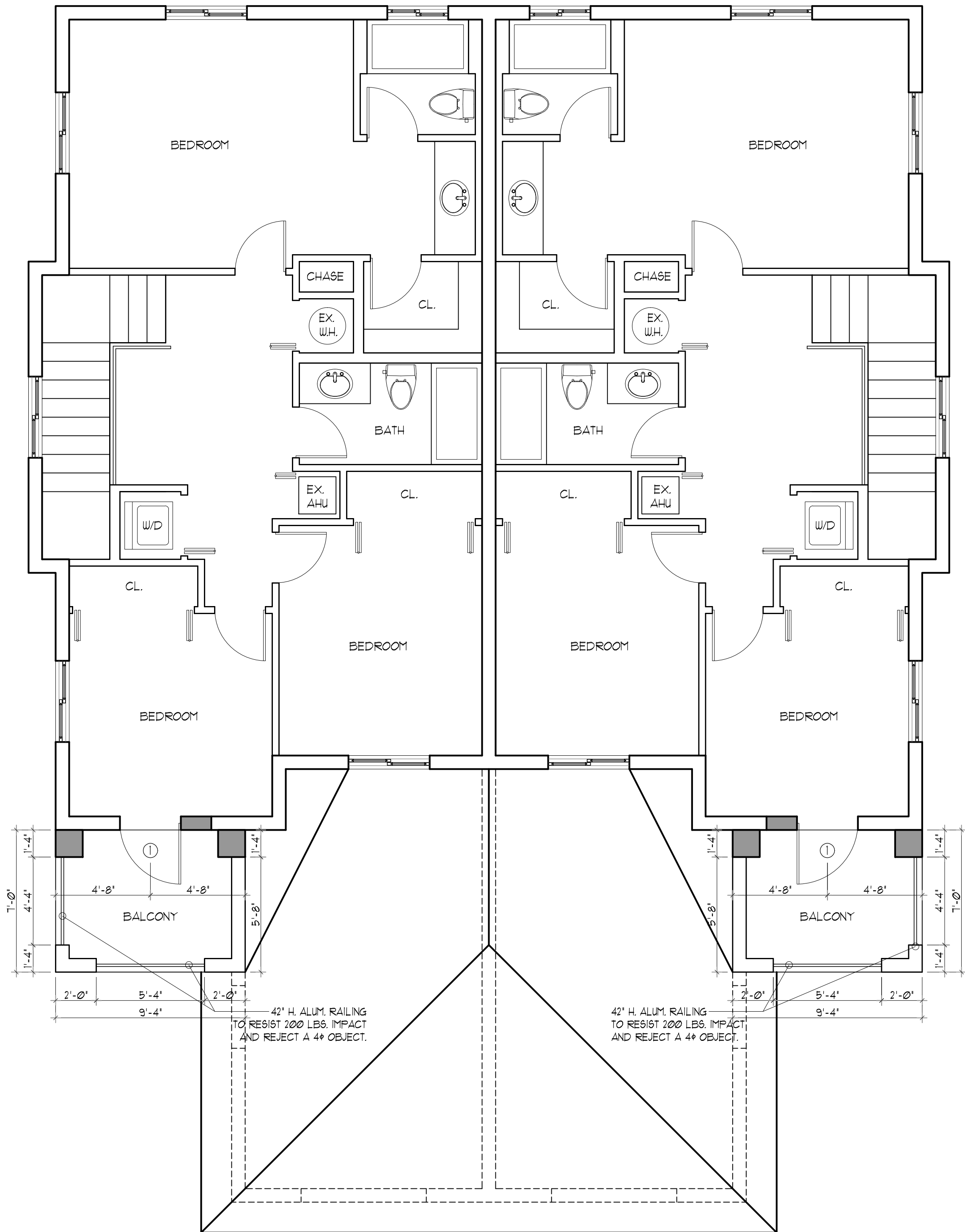
ALL GLASS PANELS/WINDOWS ADJACENT TO
SWING DOORS (WITHIN 48") TO BE SAFETY GLASS CAT II

SHOWER NOTES:
ALL SHOWERS, TUB-GLASS ENCLOSURE &
FIXED GLASS SHALL BE SAFETY GLASS TYPE II
ALL SHOWER AND TUB WALLS W/ MARBLE OR
CERAMIC TILE FULL HT. COMPLY W/ 1204.3 F.B.C.
PROVIDE 1/2" DUROCK FULL HEIGHT.

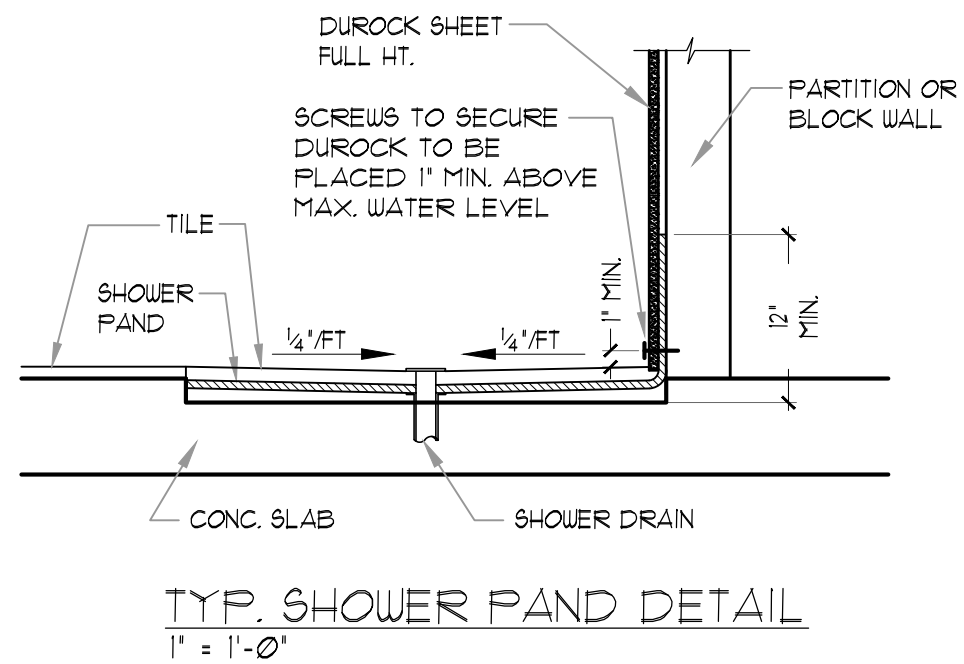
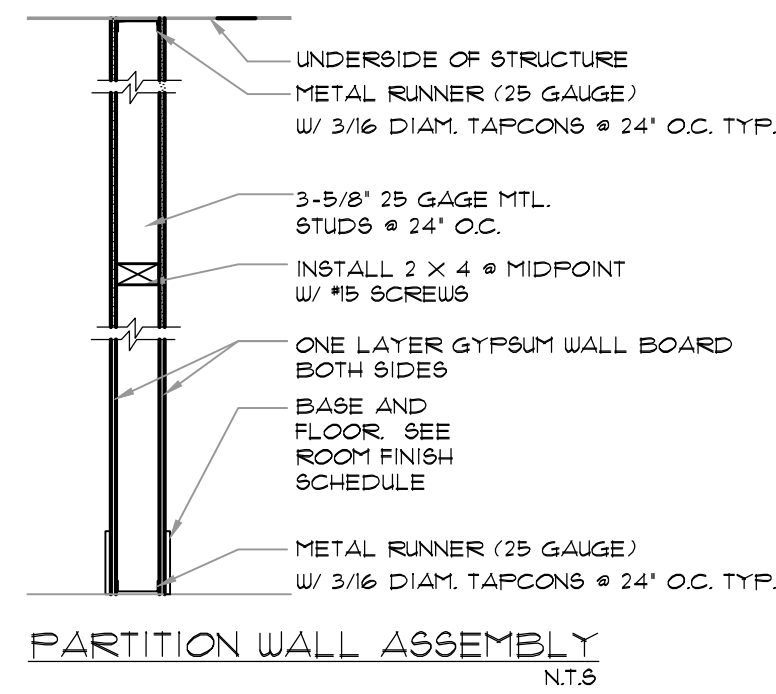
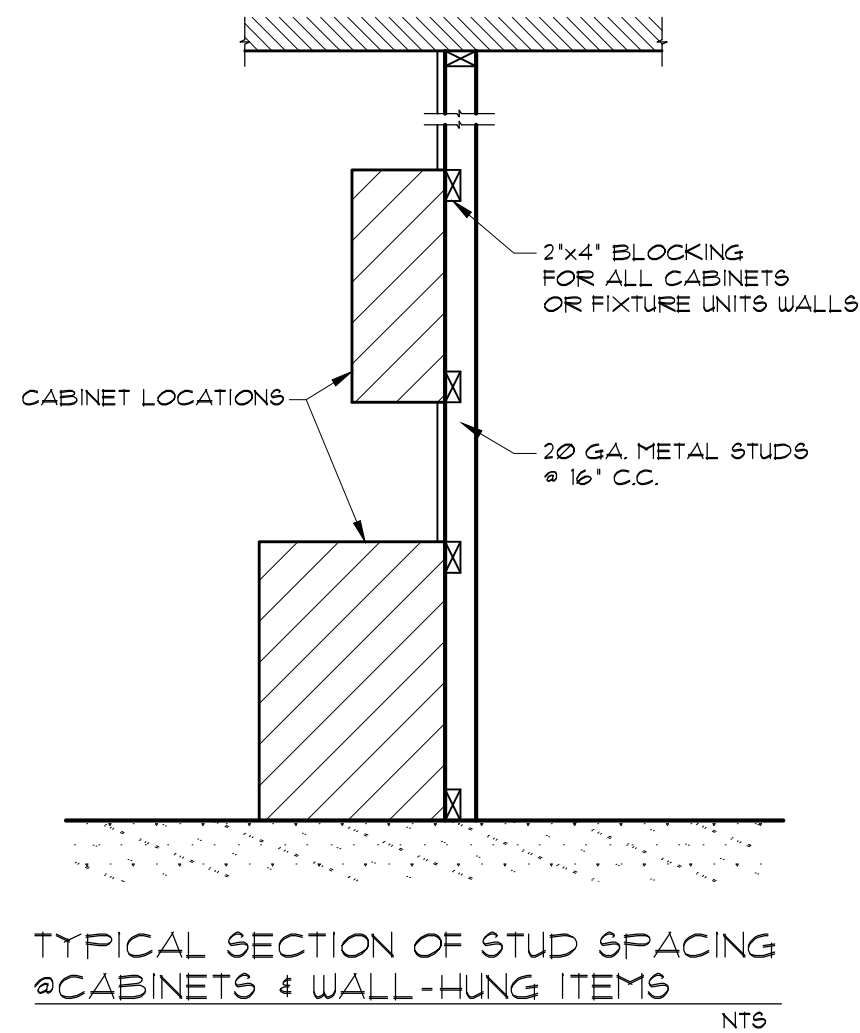
1. ——— DENOTES EXIST. BLOCK WALLS TO REMAIN.
2. ——— DENOTES EXIST. PARTITION TO REMAIN.
3. ——— DENOTES 8" BLOCK WALLS TO BE REMOVED
COORDINATE W/ STRUCT. PLANS FOR BEAM REINF.
4. ——— DENOTES EXIST. PARTITION TO BE REMOVED.
5. EXIST. WINDOW/DOOR TO BE REMOVED
6. EXIST. COL'S & LOW WALL TO BE REMOVED
7. EXIST. COLUMN TO BE REMOVED, PROVIDE ADEQUATE SHORING
PRIOR REMOVAL, COORDINATE W/ STRUCTURAL PLANS
8. EXIST. KITCHEN CAB'S, APPLIANCES AND PLUMBING FIXTURES
TO BE REMOVED, CAP EXIST. SANITARY AND WATER LINES AS
REQUIRED
9. EXIST. CAB'S BATH FIXTURES AND PLUMBING
FIXTURES TO BE REMOVED, CAP AS REQUIRED.



2ND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



HISTORY OF DRAWING ISSUED
DESCRIPTION DATE OF ISSUED
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ARCHITECTURE - PLANNING.
7600 SW 57 AVE.- SUITE 128 - S.MIAMI FL 33143
MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 65653
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143
GROUP INC
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158

MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 65653
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE 05-21-21
SCALE AS NOTED
DRAWING Y.T.
JOB
SHEET
OF
A-3
SHEETS



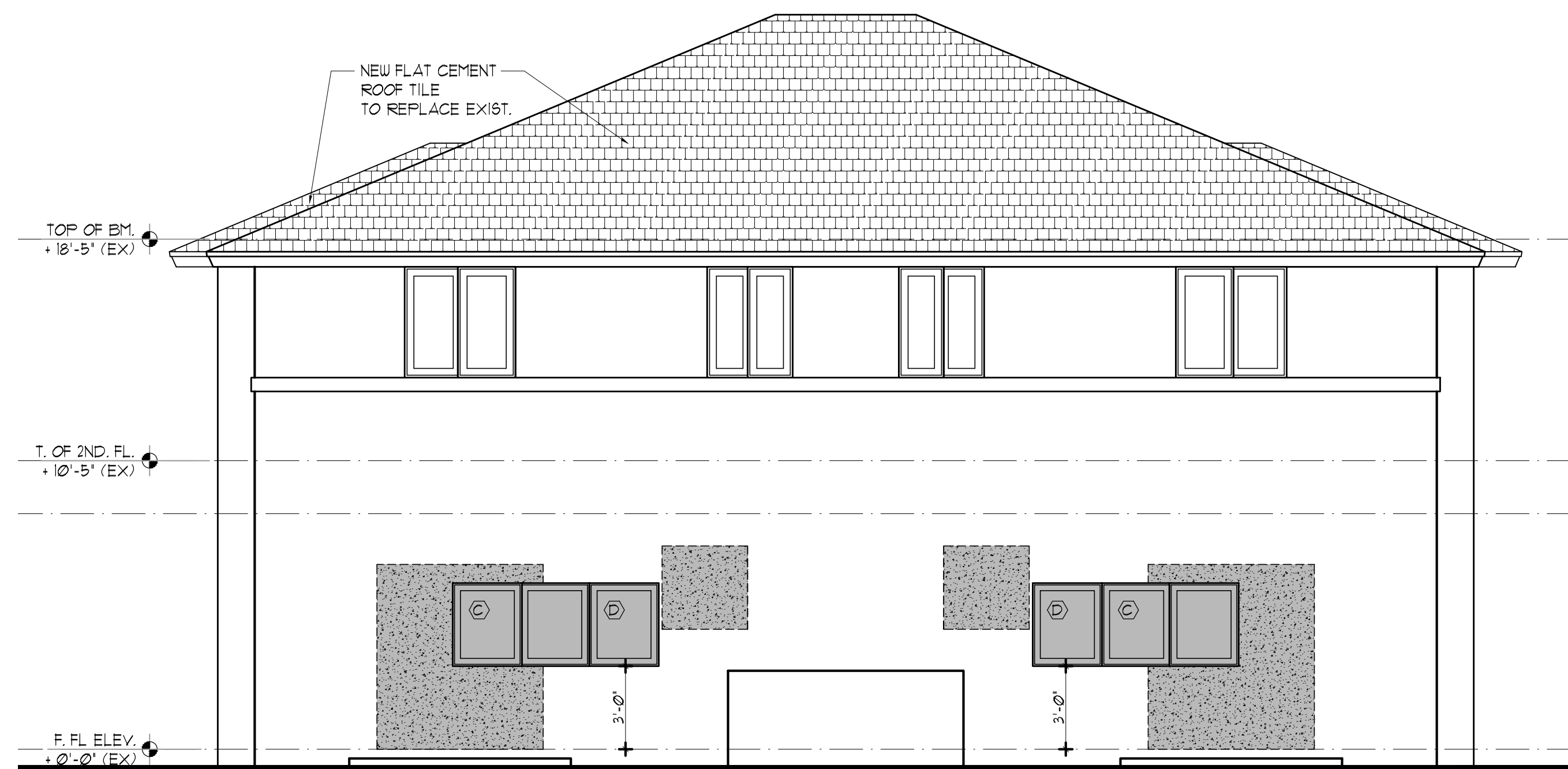
EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

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ARCHITECT
LICENSE # AR 5053
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE 05-21-21

SCALE AS NOTED

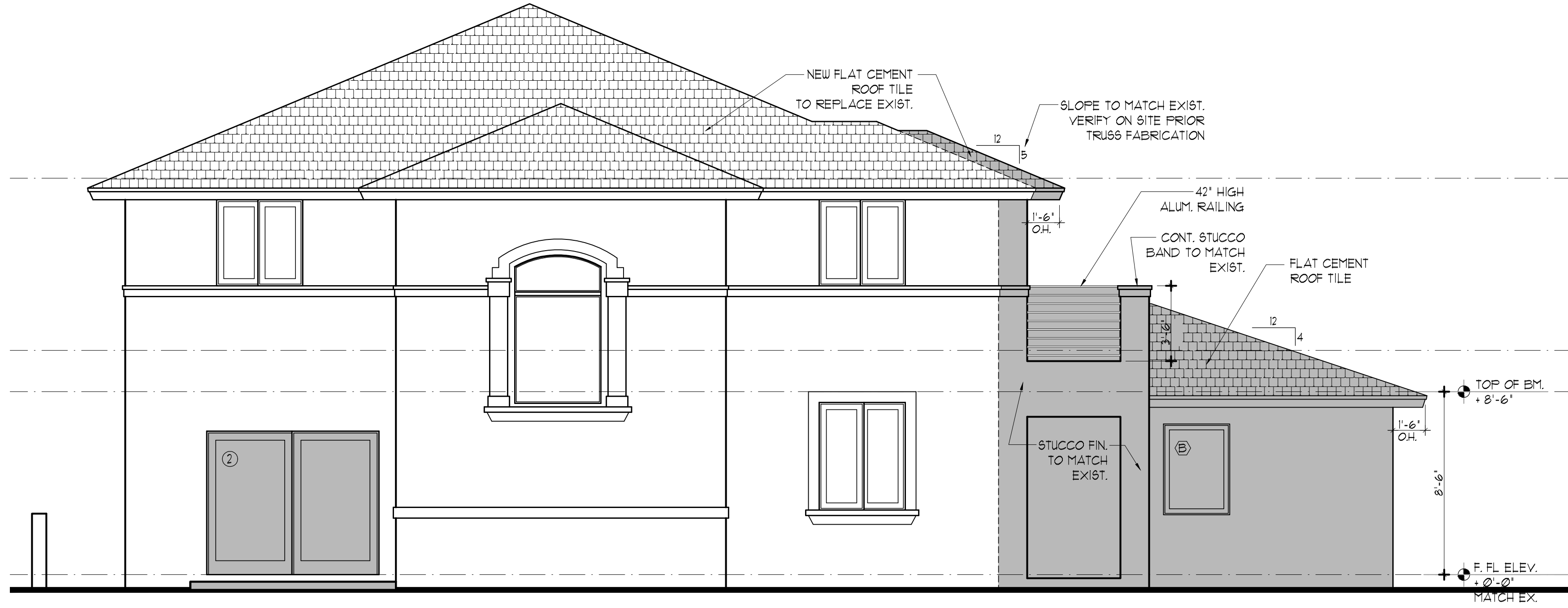
DRAWING Y.T.

JOB

SHEET

A-4

OF SHEETS



PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED	
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CONSTRUCTION	
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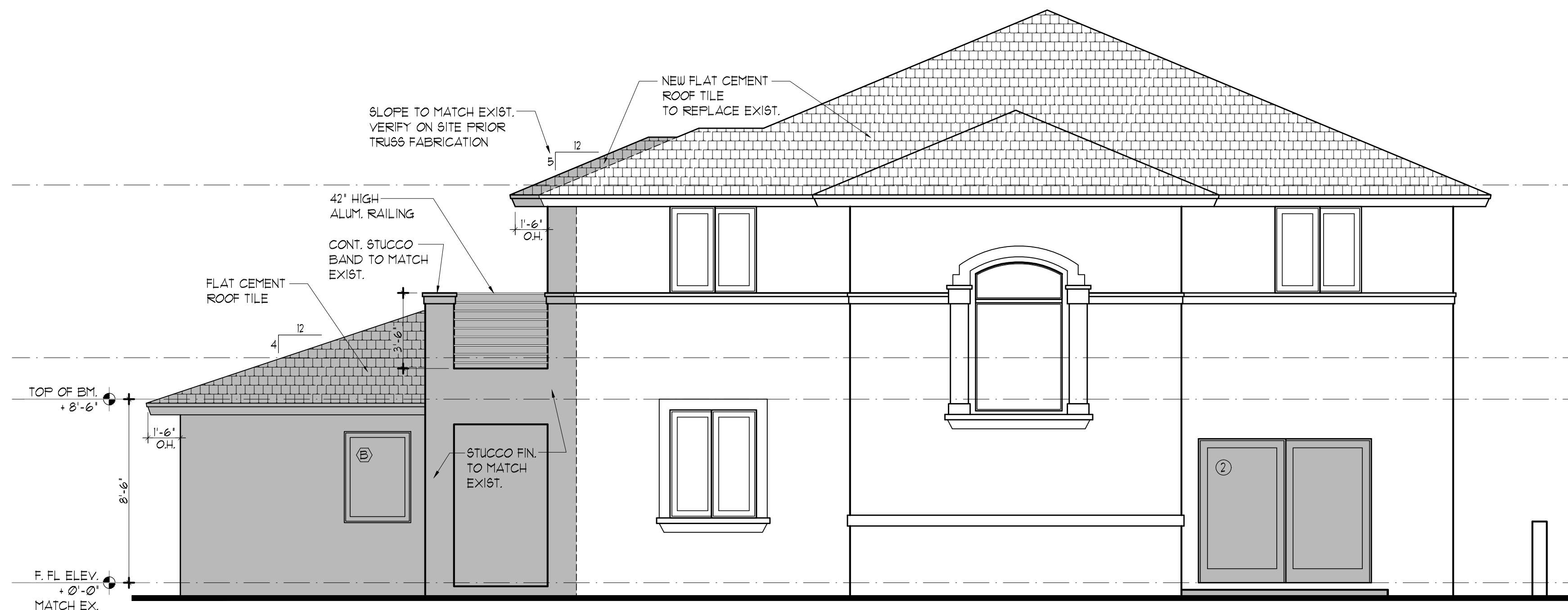
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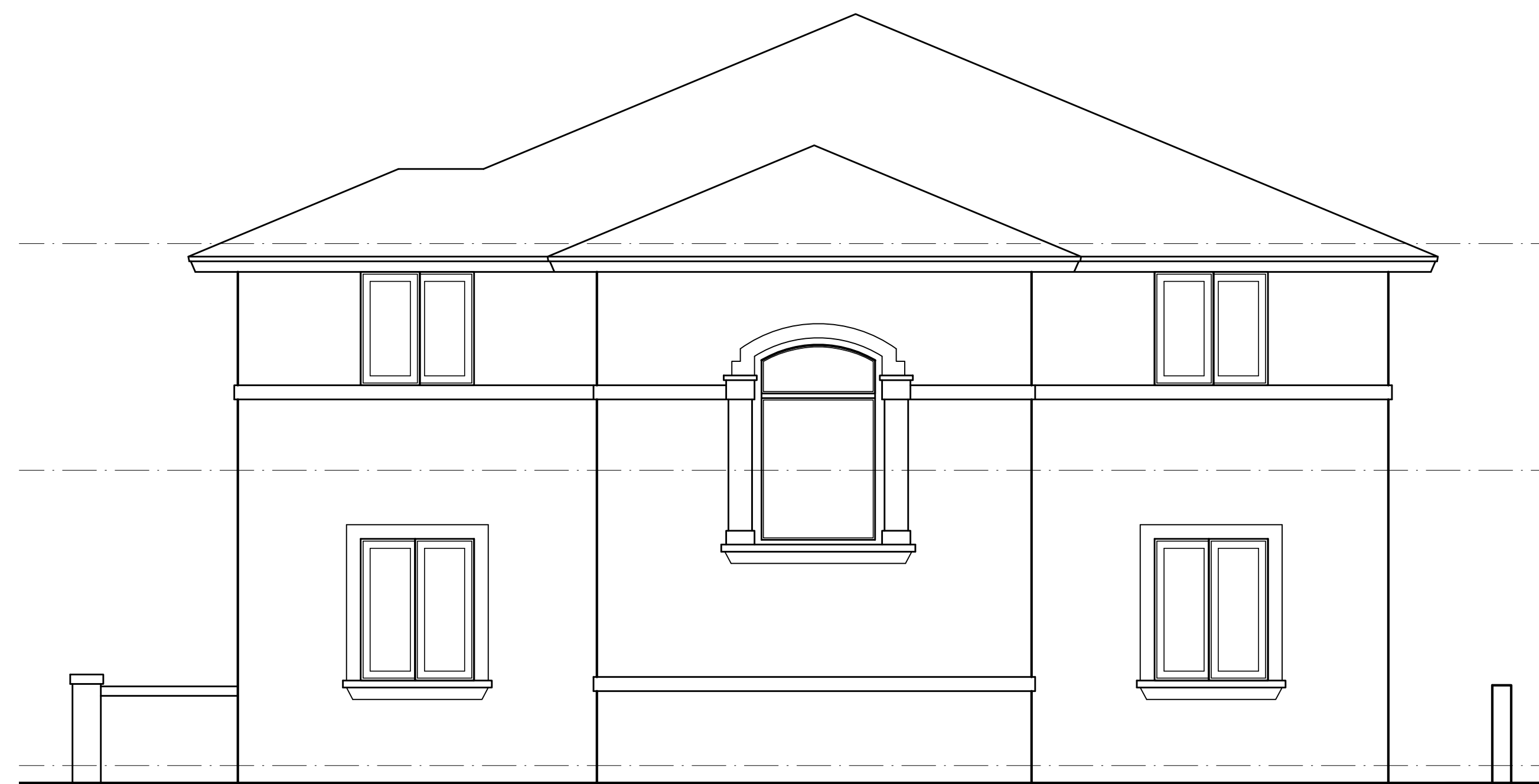


MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 15053
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

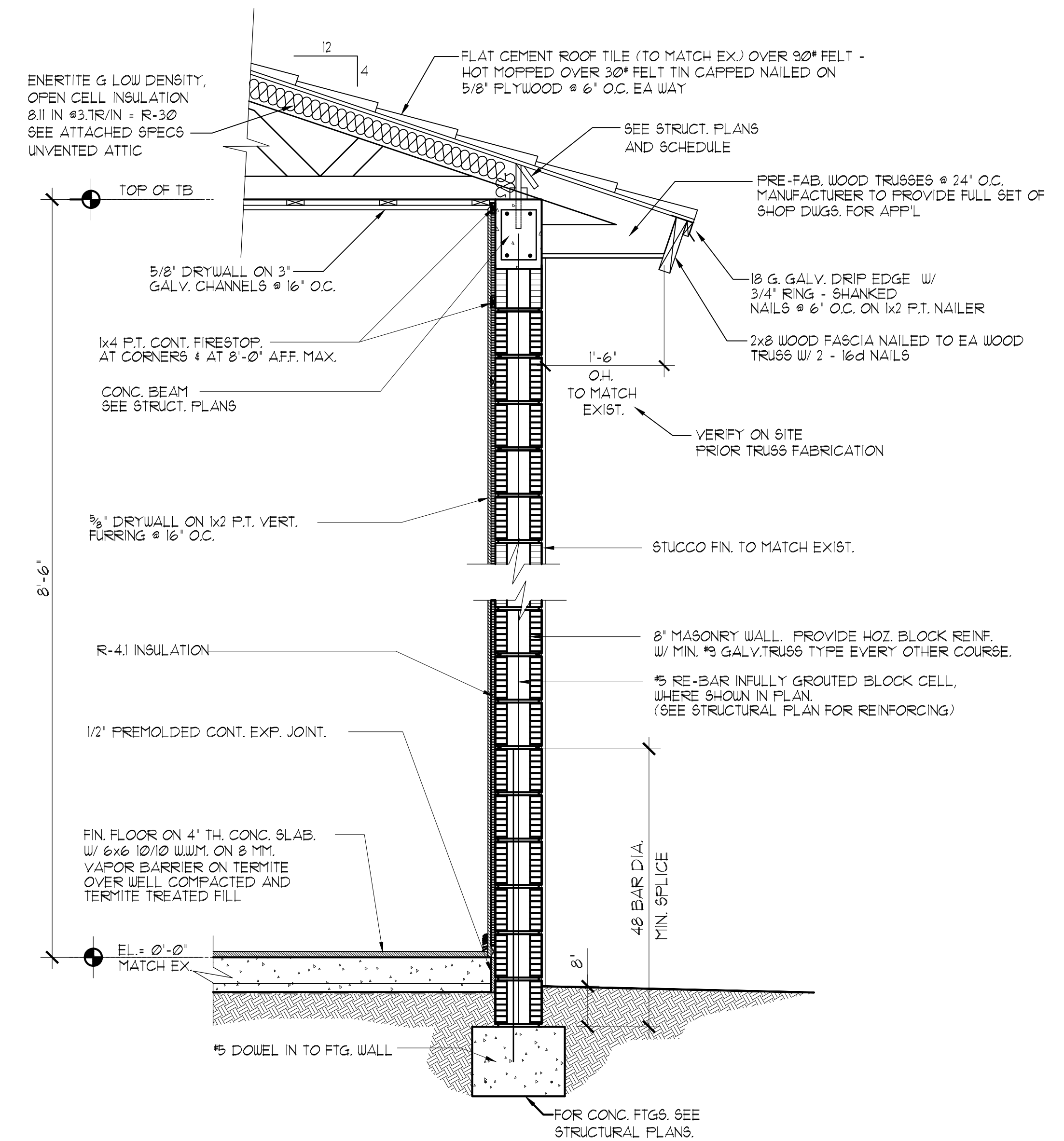
DATE 05-21-21
SCALE AS NOTED
DRAWING Y.T.
JOB
SHEET A-5
OF SHEETS



PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

HISTORY OF DRAWING ISSUED	
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MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # 14503
7600 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

DATE	05-21-21
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-6
OF	SHEETS



HISTORY OF DRAWING ISSUED	
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SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-0
OF	SHEETS