

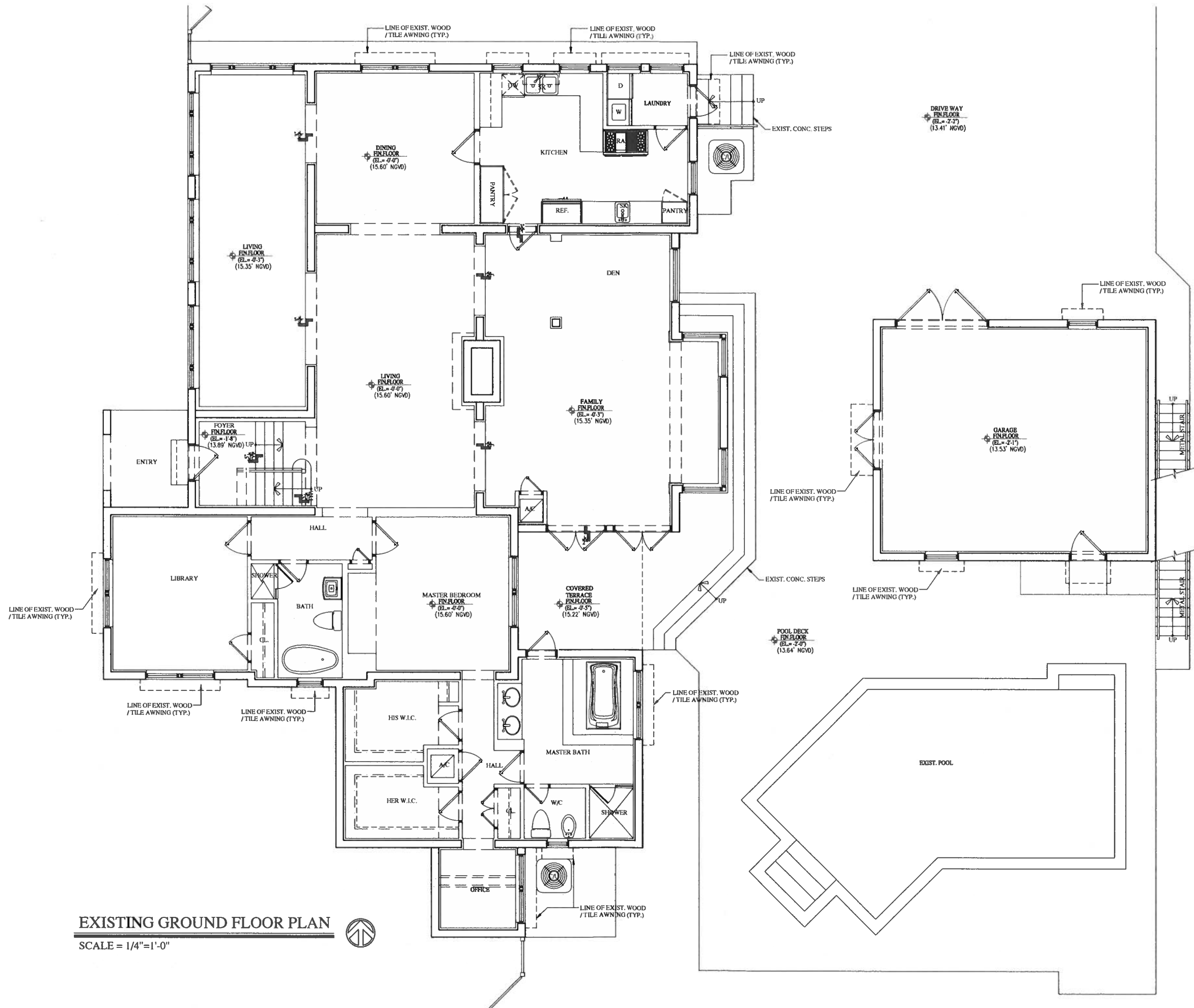
[illegible]AA 25000771
IB 25000638

**EXPANSION & RENOVATION TO RESIDENCE
CARDENAS - NAVARRO RESIDENCE
2907 COLUMBUS BOULEVARD
CORAL GABLES, FLORIDA 33134**

SCALE:	AS NOTED
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DATE:	10-25-17
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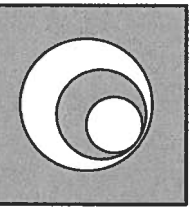
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EXISTING GROUND FLOOR PLAN

SCALE = 1/4"=1'-0"



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- 03-01-18 COMMENTS
- 05-20-18 COMMENTS
- 02-01-19 REVISION
- 03-07-19 REVISION

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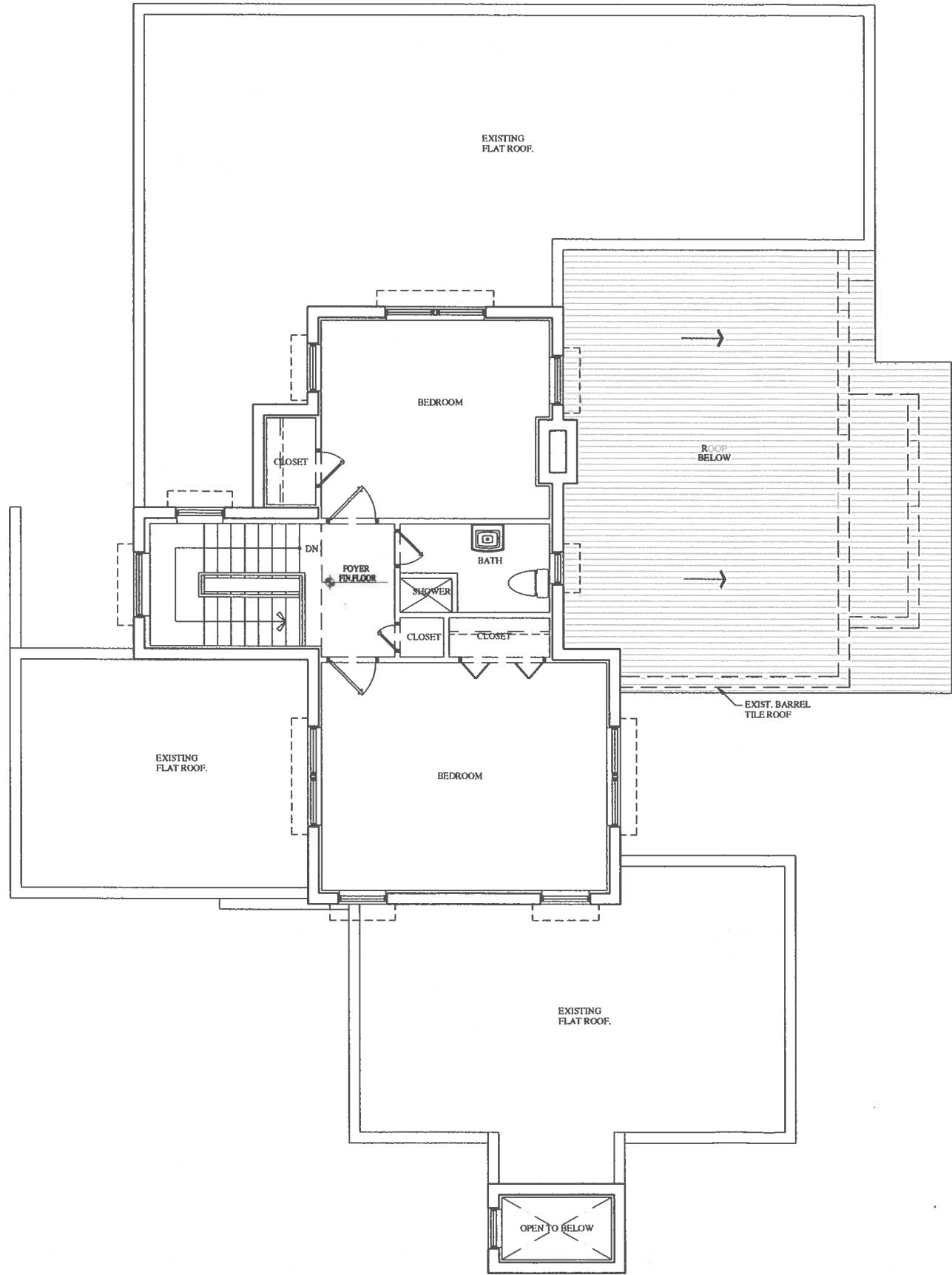
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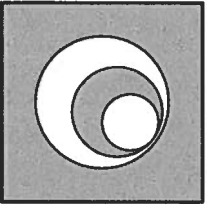
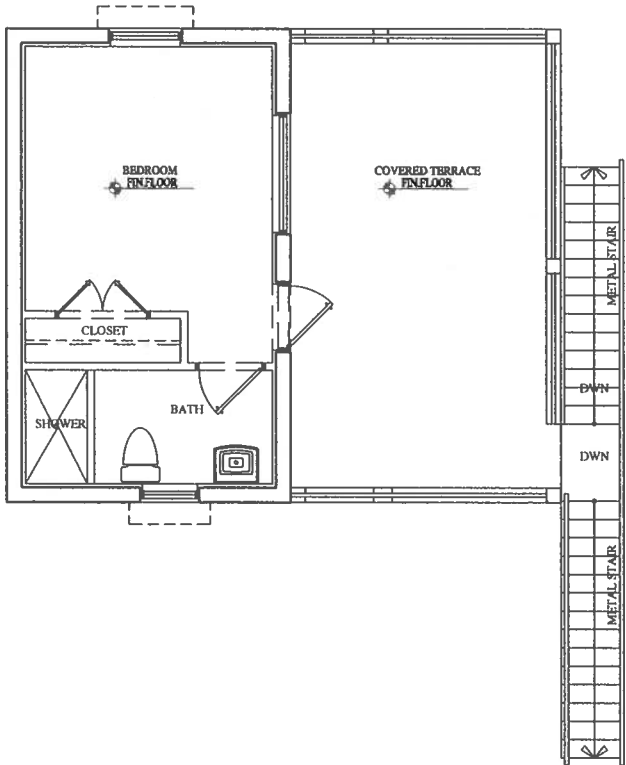
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EXISTING SECOND FLOOR PLAN

SCALE = 1/4"=1'-0"



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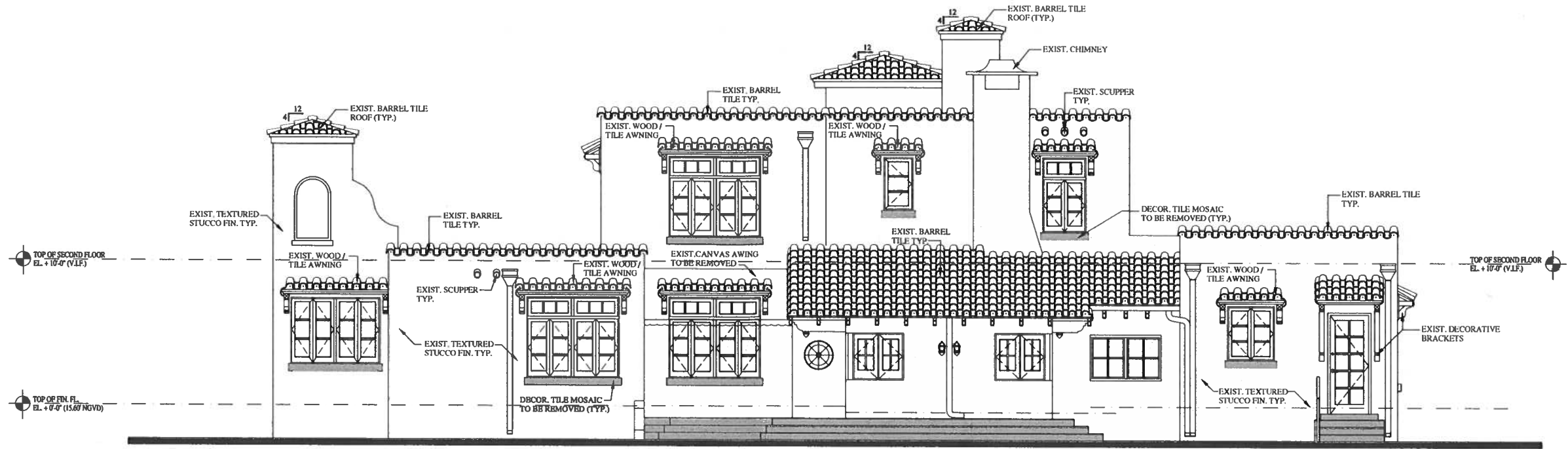
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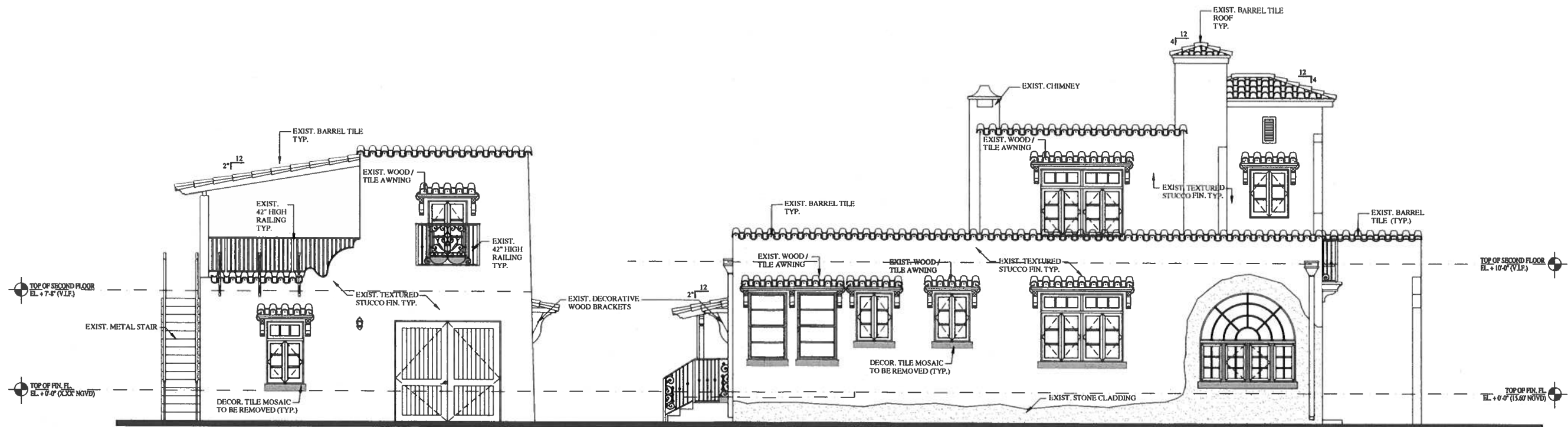


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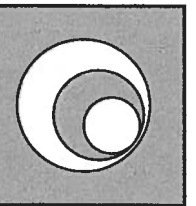
EXISTING EAST REAR ELEVATION

SCALE = 1/4"=1'-0"



EXISTING NORTH LEFT ELEVATION

SCALE = 1/4"=1'-0"



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A-6

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PROPOSED DEMOLITION GROUND

SCALE = 1/4"=1'-0"

DEMOLITION NOTES

PART I SUMMARY

1.01 DESCRIPTION

- A. FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO PERFORM DEMOLITION AND REMOVAL OF DEBRIS FROM DEMOLITION OPERATIONS AS INDICATED ON DRAWINGS AND SPECIFIED IN THIS SECTION.

1.02 QUALITY ASSURANCE

- A. QUALIFICATIONS:**
1. PROVIDE STAFF RESPONSIBLE FOR DEMOLITION WORK FULLY EXPERIENCED IN THIS TYPE OF WORK.
 2. PROVIDE EQUIPMENT OF SUITABLE TYPE, IN GOOD WORKING CONDITION, AND OPERATED BY SKILLED MECHANICS.
 3. PERFORM WORK IN SAFE AND CAUTIOUS MANNER TO AVOID ACCIDENTS OR PROPERTY DAMAGE.
 4. REMOVAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE PERFORMED BY COMPANY LICENSED AND QUALIFIED TO DO SO.
- B. REFERENCE STANDARDS: COMPLY WITH ALL CODES AND REGULATIONS REGARDING DEMOLITION WORK.**

PART II PRODUCTS

2.01 SALVAGED ITEMS:

- A. ALL SALVAGED COMPONENTS WILL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON DISCONNECTION FROM BUILDING.

PART III EXECUTION

3.01 PERFORMANCE:

- A. PREVENT DAMAGE TO ADJOINING STRUCTURES AND OWNER'S SALVAGED PROPERTY DURING DEMOLITION.
CONTRACTOR TO VERIFY ALL STRUCTURAL CONDITION BEFORE COMMENCING WITH DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- B. PREVENT DAMAGE TO OVERHEAD WIRES, UNDERGROUND CABLES, TELEPHONE, WATER, AND SEWER LINES DURING DEMOLITION. CONTRACTOR CORDS, UTILITIES TO VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD LINES.
- C. SHORE STRUCTURE AS REQUIRED TO PREVENT STRUCTURAL DAMAGE OR COLLAPSE. REMOVE FINISHES FIRST IN ORDER TO ASCERTAIN WHICH MEMBERS ARE OF A STRUCTURAL NATURE. CONTRACTOR SHALL PROVIDE AN ADEQUATE SHORING PLAN. SAID SHORING PLAN SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF FLORIDA & SUBMITTED FOR APPROVAL BY ARCHITECT/ENGINEER
- D. REMOVAL DISPOSAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS.


3.02 ADJUST AND CLEAN

- A. REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM SITE IMMEDIATELY ON COMPLETION OF DEMOLITION WORK.
- B. DO NOT PERMIT ANY ACCUMULATION OF DEBRIS ON SITE.
- C. TRANSPORT ALL DEMOLITION MATERIALS WITHOUT SPILLAGE ON STREETS.
- D. LEAVE SITE NEAT AND ORDERLY ON COMPLETION OF DEMOLITION WORK.

DEMOLITION LEGEND

- 1 PARTITION TO BE REMOVED
- 2 REMOVE DOOR
- 3 REMOVE WINDOW
- 4 CMU TO BE REMOVED

DEMOLITION LEGEND

- TO BE DEMOLISHED
 EXISTING CMU WALLS TO REMAIN
 EXISTING PARTITION TO REMAIN

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SCALE: AS NOTE

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A-7

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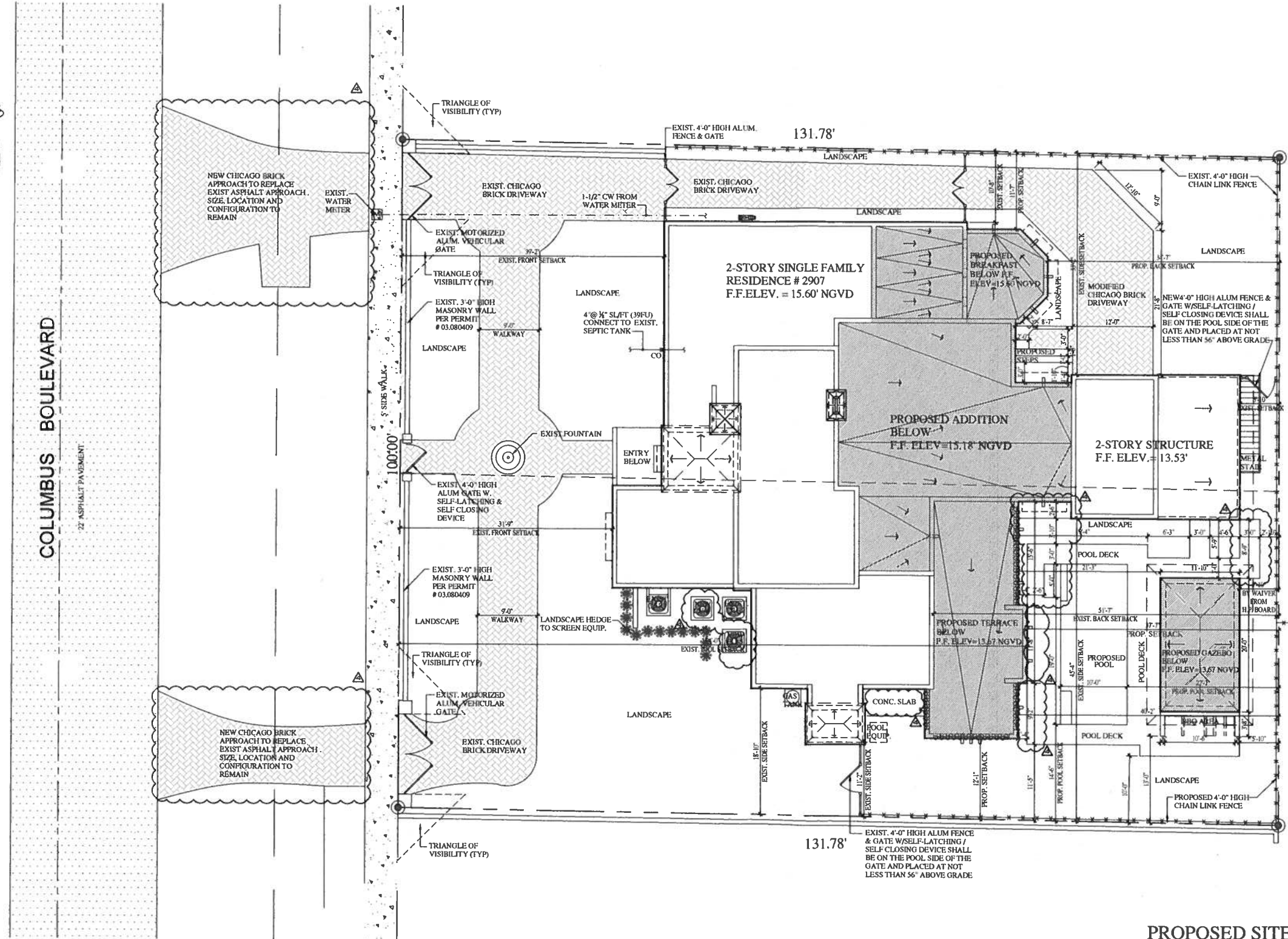


- ## DEMOLITION LEGEND
- | | |
|---|-------------------------|
| 1 | PARTITION TO BE REMOVED |
| 2 | REMOVE DOOR |
| 3 | REMOVE WINDOW |
| 4 | CMU TO BE REMOVED |

- ### DEMOLITION LEGEND
- | | |
|---|------------------------------|
| --- | TO BE DEMOLISHED |
|  | EXISTING CMU WALLS TO REMAIN |
|  | EXISTING PARTITION TO REMAIN |

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PROPOSED SITE PLAN

SCALE = 1/8"=1'-0"

ZONING LEGEND

ZONING DISTRICT:	SFR
NET LOT AREA:	13,200 S.F.
LOT COVERAGE ALLOWED:	4,620 S.F. (35%)
AUXILIARY STRUCTURE (POOL & GAZEBO):	1,320 S.F. (10%)
LOT COVERAGE PROPOSED (MAIN STRUCTURE):	4,547 S.F. (34.4%)
AUXILIARY STRUCTURE PROPOSED (POOL & GAZEBO):	477 S.F. (3.6%)
FLOOR AREA CALCULATIONS:	
48% IST 5,000 S.F. =	2,400 S.F.
35% OF 5,000 S.F. =	1,750 S.F.
30% REM LOT (3,200 S.F.) =	960 S.F.
MAX FAR =	5,110 S.F.
FAR PROVIDED	
GROUND	
AC =	3,526 S.F.
GARAGE =	272 S.F.
GUEST =	268 S.F.
SECOND	
AC (MAIN HOUSE) =	747 S.F.
BEDROOM (DETACHED) =	278 S.F.
TOTAL FAR PROVIDED =	5,091 S.F.

SETBACKS:	ALLOWED	PROVIDED
FRONT	25'-0"	31'-9" (EXISTING)
REAR	10'-0"	5'-10" TO GARAGE EXIST STRUCT 34'-7" TO PROPOSED STRUCT
INTERIOR SIDES	20% WIDTH - 20'-0" TOTAL	12'-1" (SOUTH) / 11'-7" (NORTH)
BUILDING HEIGHT ALLOWED =	29'-0"	
BUILDING HEIGHT PROVIDED =	15'-6" (HIGHEST POINT OF PROPOSED ADDITION)	
MIN GREEN SPACE REQUIRED =	5,280 S.F. (40%)	
GREEN SPACE PROVIDED =	5,283 S.F. (40.02%)	
20% OF REQ. GREEN SPACE LOCATED IN FRONT YARD:	1,056 S.F.	
GREEN SPACE PROVIDED IN FRONT YARD =	1,198 S.F. (22.7%)	

NOTE
ALL RAINWATER MUST BE RETAINED ON PRIVATE PROPERTY

NOTE
LANDSCAPE HAS BEEN PROVIDED ACCORDING TO ARTICLE 5, DIVISION 11 LANDSCAPE SECTION

NOTE
THERE ARE NO PERTINENT FEATURES ON ADJACENT PROPERTIES OR ACROSS THE STREET THAT WILL EFFECT THE INSTALLATION OF THIS SYSTEM.

NOTE
THE BUILDING FLOOR ELEVATION IS A MIN OF 16" ABOVE CROWN OF ROAD (NON FLOOD ZONE)

AREA BREAKDOWN

EXISTING AREA	
GROUND FLOOR A/C =	2,936 S.F.
DETACHED GARAGE =	540 S.F.
SECOND FLOOR A/C =	747 S.F.
2nd FLOOR BEDROOM =	278 S.F.
2nd COVERED TERRACE =	263 S.F.
PROPOSED AREA	
NEW GROUND FLOOR A/C =	1,063 S.F.
(461 EXIST TO BE REBUILT)	
COVERED TERRACE =	473 S.F.
DETACHED GAZEBO =	237 S.F.

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2907 COLUMBUS BOULEVARD
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03-01-18 COMMENTS
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02-01-19 REVISION
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12-14-20 REVISION

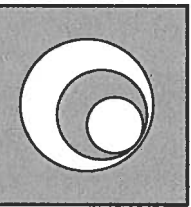
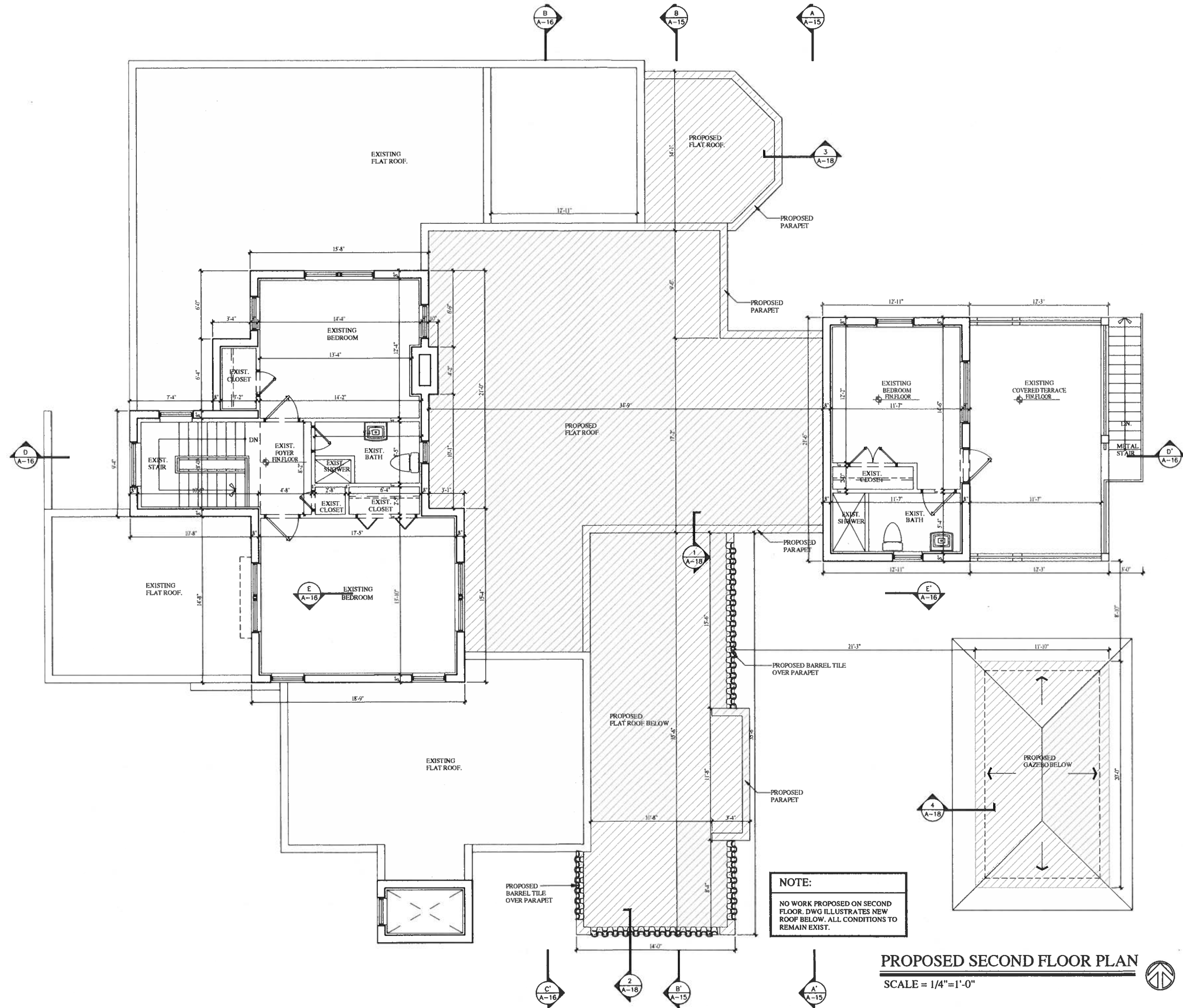
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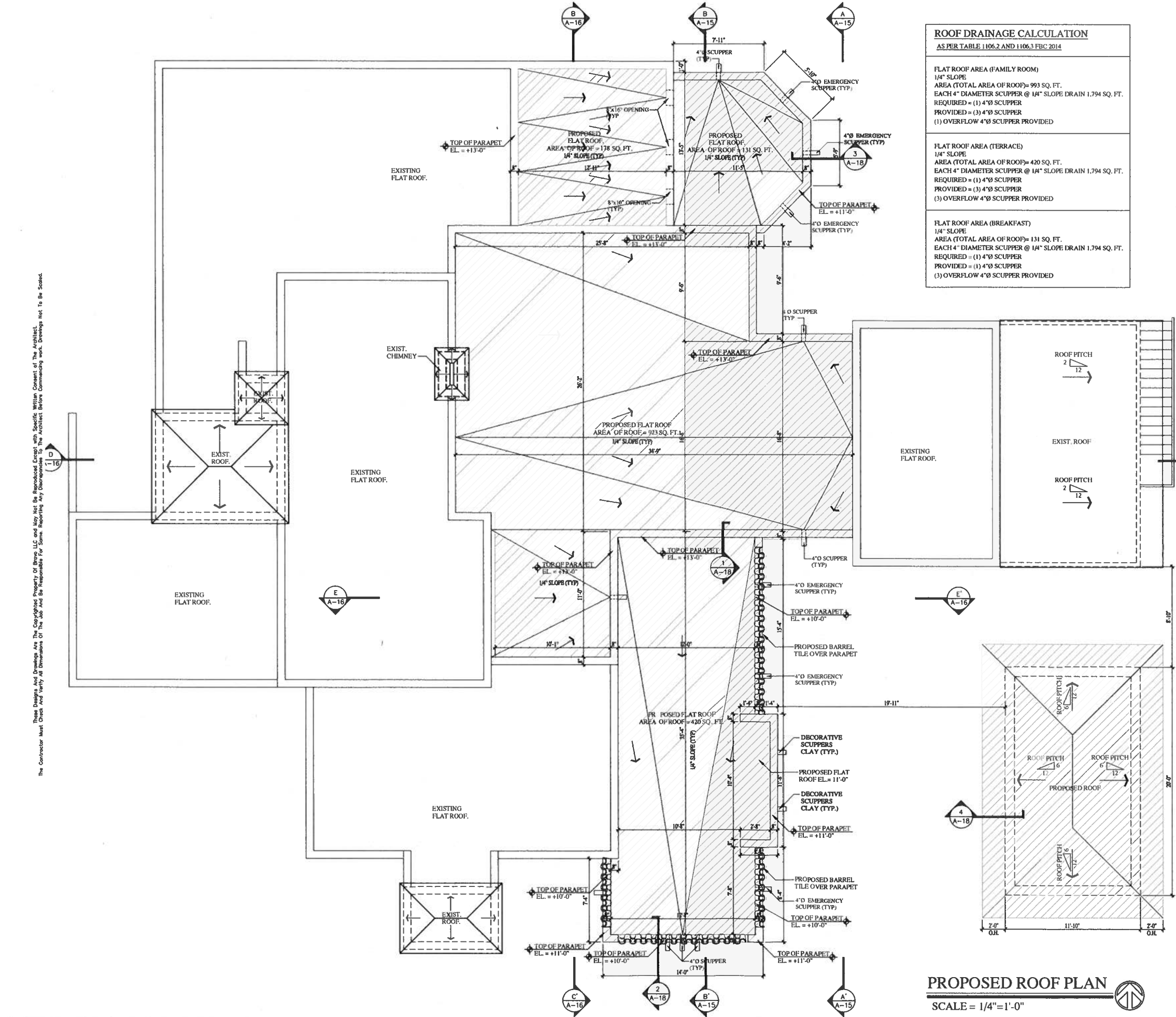
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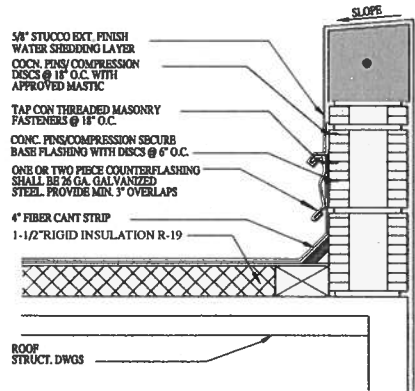
ROOF DRAINAGE CALCULATION

AS PER TABLE 1106.2 AND 1106.3 FBC 2014

FLAT ROOF AREA (FAMILY ROOM)
1/4" SLOPE
AREA (TOTAL AREA OF ROOF) = 993 SQ. FT.
EACH 4" DIAMETER SCUPPER @ 1/4" SLOPE DRAIN 1,794 SQ. FT.
REQUIRED = (1) 4" SCUPPER
PROVIDED = (3) 4" SCUPPER
(1) OVERFLOW 4" SCUPPER PROVIDED

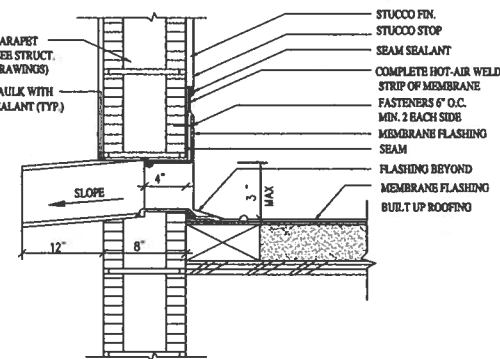
FLAT ROOF AREA (TERRACE)
1/4" SLOPE
AREA (TOTAL AREA OF ROOF) = 420 SQ. FT.
EACH 4" DIAMETER SCUPPER @ 1/4" SLOPE DRAIN 1,794 SQ. FT.
REQUIRED = (1) 4" SCUPPER
PROVIDED = (3) 4" SCUPPER
(3) OVERFLOW 4" SCUPPER PROVIDED

FLAT ROOF AREA (BREAKFAST)
1/4" SLOPE
AREA (TOTAL AREA OF ROOF) = 131 SQ. FT.
EACH 4" DIAMETER SCUPPER @ 1/4" SLOPE DRAIN 1,794 SQ. FT.
REQUIRED = (1) 4" SCUPPER
PROVIDED = (1) 4" SCUPPER
(3) OVERFLOW 4" SCUPPER PROVIDED



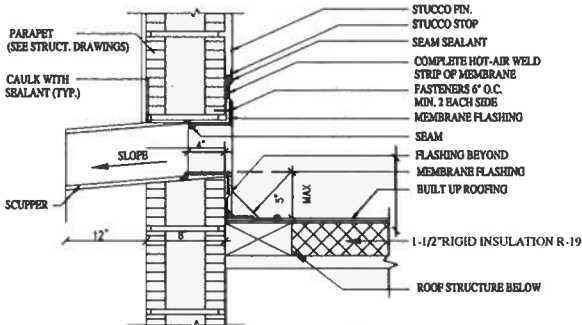
1 PARAPET DETAIL

A-12 SCALE = N.T.S.



2 SCUPPER DETAIL

A-12 SCALE = N.T.S.



3 EMERGENCY OVERFLOW SCUPPER

A-12 SCALE = N.T.S.

NOTE:

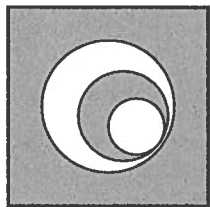
DOWNSPOUTS AND CONDENSATE LINES MUST DISCHARGE MIN. 12" FROM STRUCT. FBC 1503.4.4 SEE MEP DWGS.

ROOF PLAN STATEMENT

ROOF SECONDARY DRAINAGE SYSTEM WAS DESIGNED TO PREVENT THE ACCUMULATION OF MORE THAN 5" OF WATER ON ANY PORTION OF THE ROOF FBC 1616.2

OVERFLOW SCUPPER CALCULATIONS

Rainfall rate
100 years / 1 Hour Rainfall / Eastern United States
Figure 1106.1 / Table 1106.2 F.B.C.2014 (Plumbing)
Rate = 5 inch per hour



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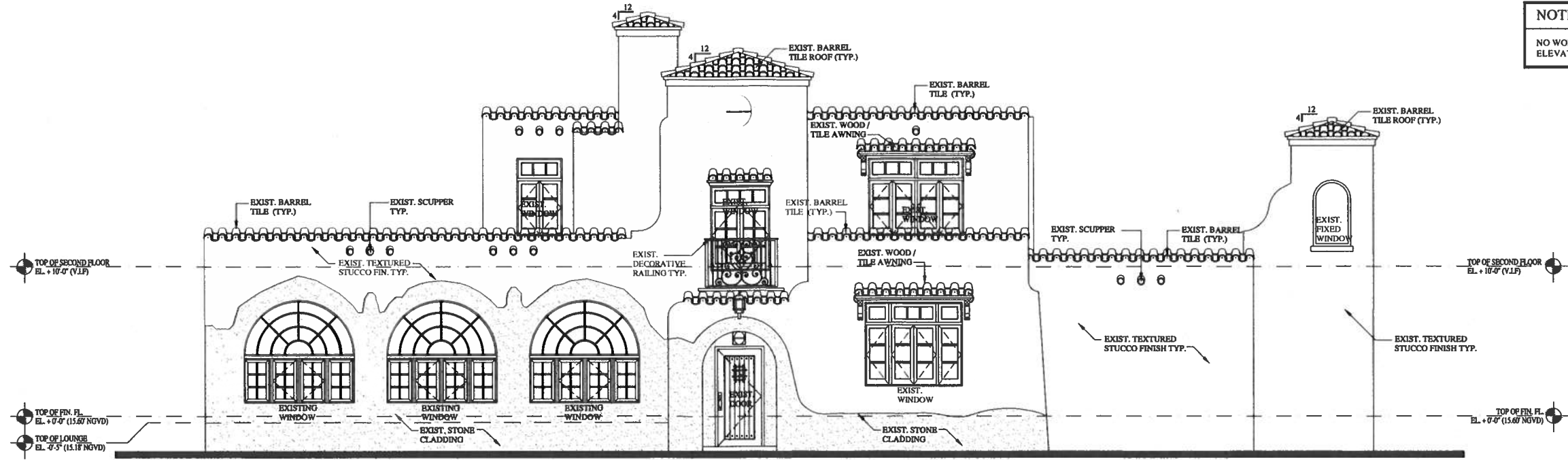
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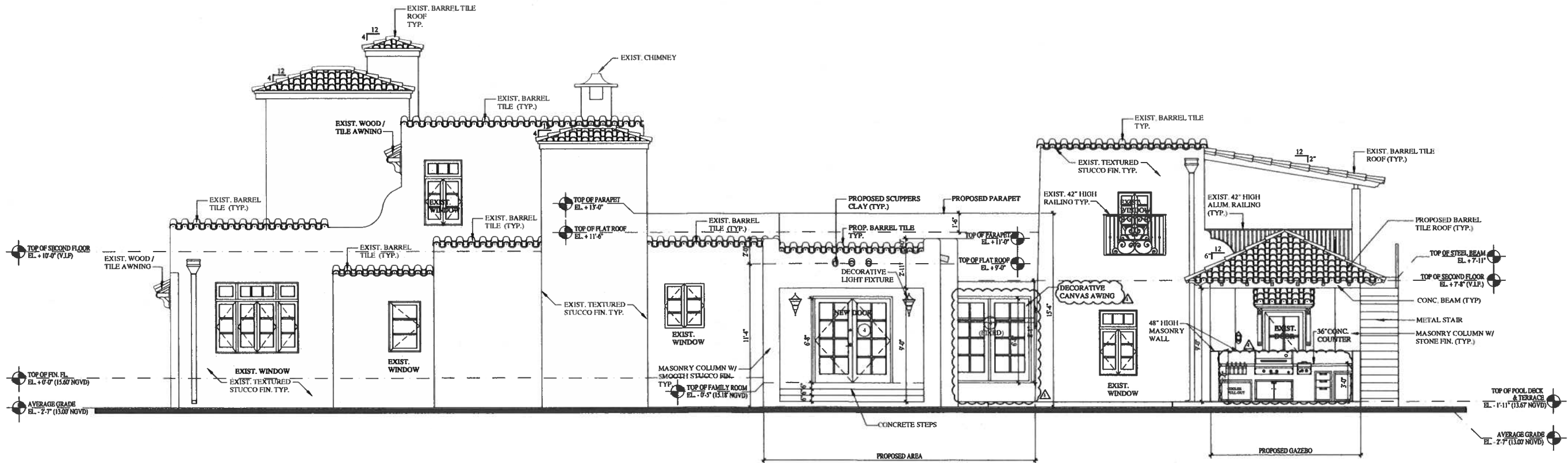
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PROPOSED WEST FRONT ELEVATION

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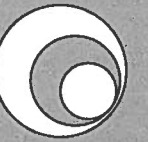


PROPOSED SOUTH RIGHT ELEVATION

SCALE = 1/4"=1'-0"

NOTE:

NO WORK PROPOSED ON FRONT ELEVATION.



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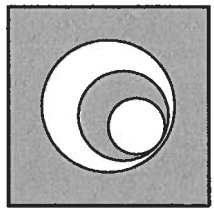
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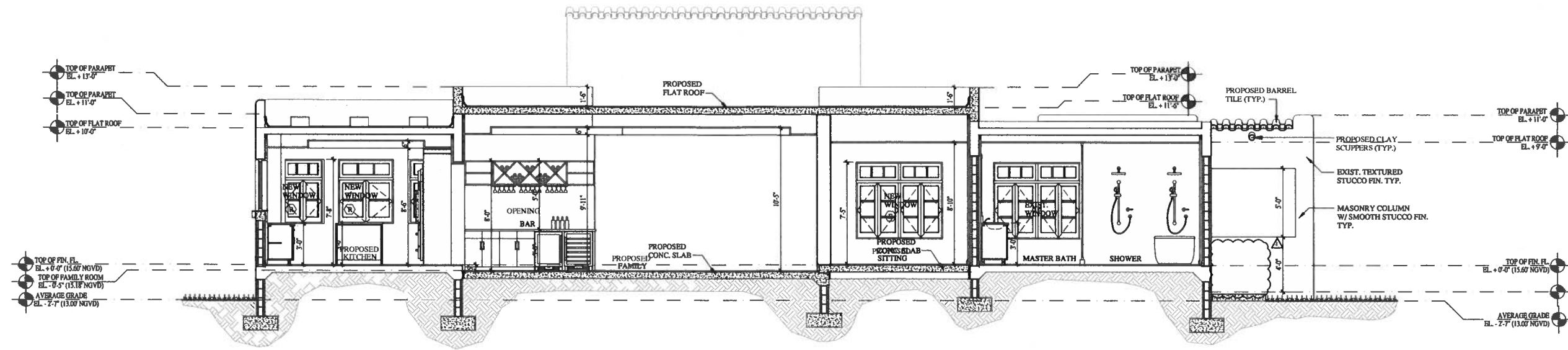
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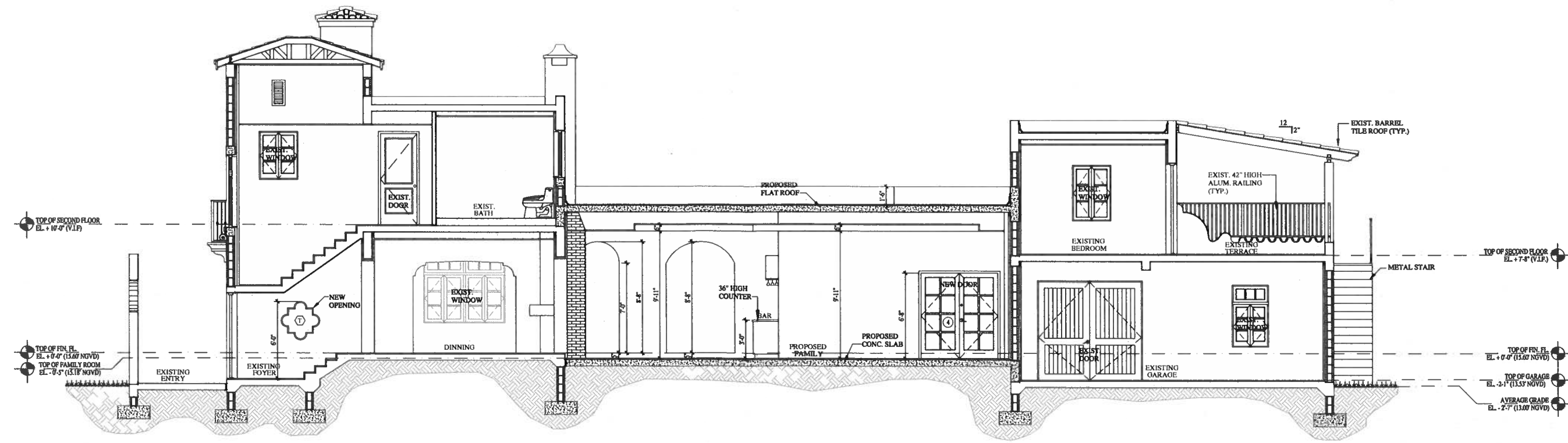
A-16

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ELEVATION/ SECTION C-C'

SCALE = 1/4"=1'-0"

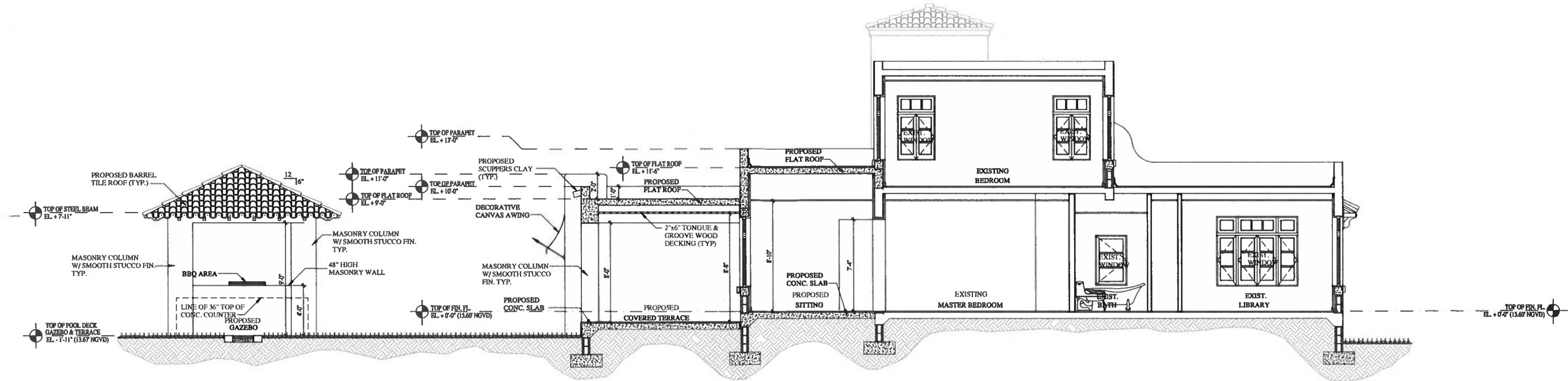


ELEVATION/ SECTION D-D'

SCALE = 1/4"=1'-0"

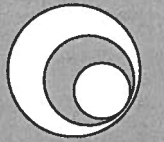
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ELEVATION/ SECTION E-E'

SCALE = 1/4"=1'-0"



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EXPANSION & RENOVATION TO RESIDENCE
CARDENAS - NAVARRO RESIDENCE
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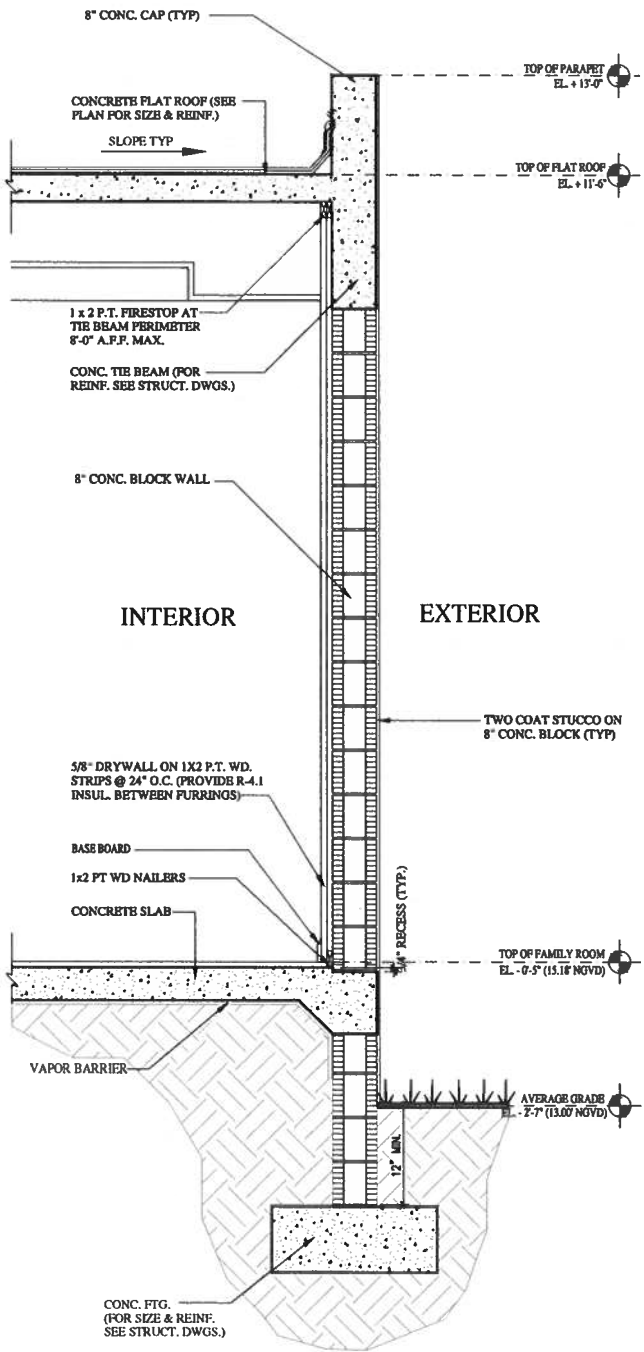
REVISIONS:
▲ 03-01-18 COMMENTS
▲ 05-20-18 COMMENTS
▲ 02-01-19 REVISION
▲ 03-07-19 REVISION

SCALE: AS NOTED
DRAWN BY: A.P. / P.D.
CHECKED BY: P.B. / D.B.
DATE: 10-25-17
PROJECT NO.:
FILE NAME:
SUBMITTAL: PERMIT SET

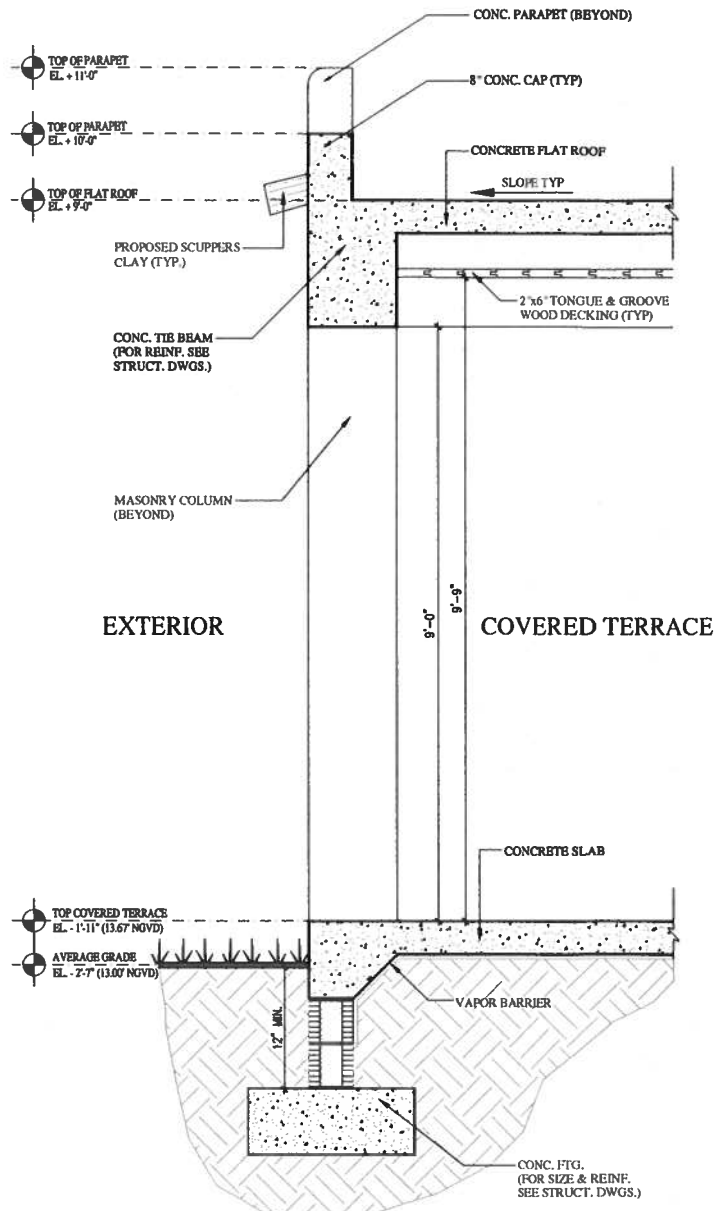
SHEET NUMBER
A-17

PEDRO D. BRAVO, RA
FLA. REGISTRATION NO.: 6226

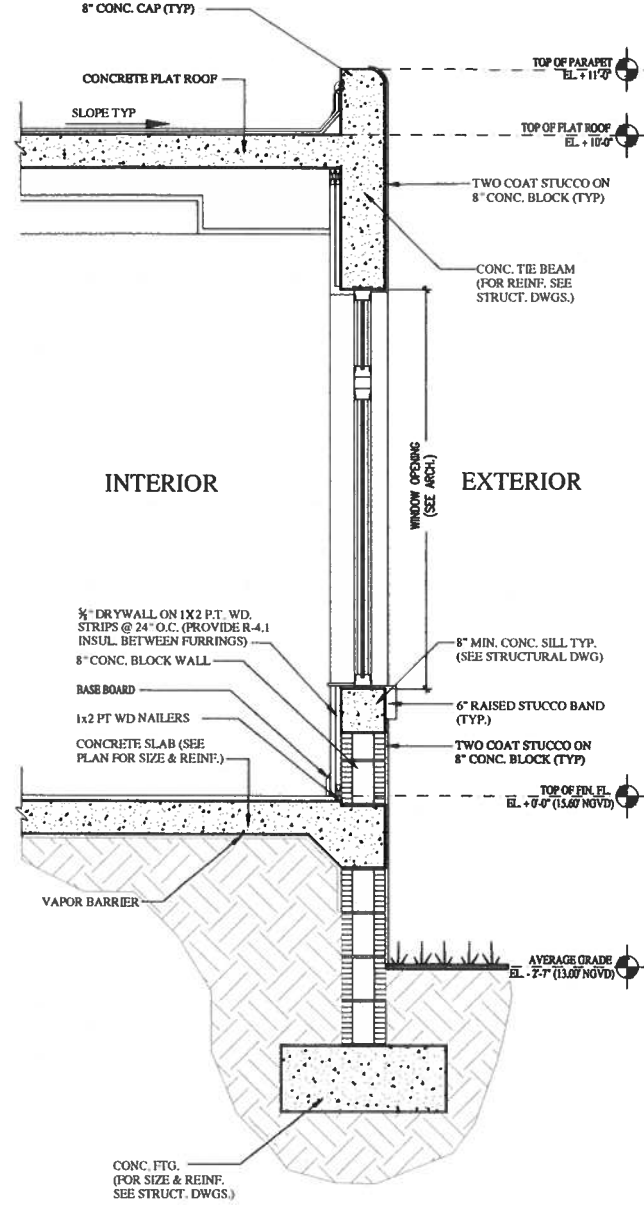
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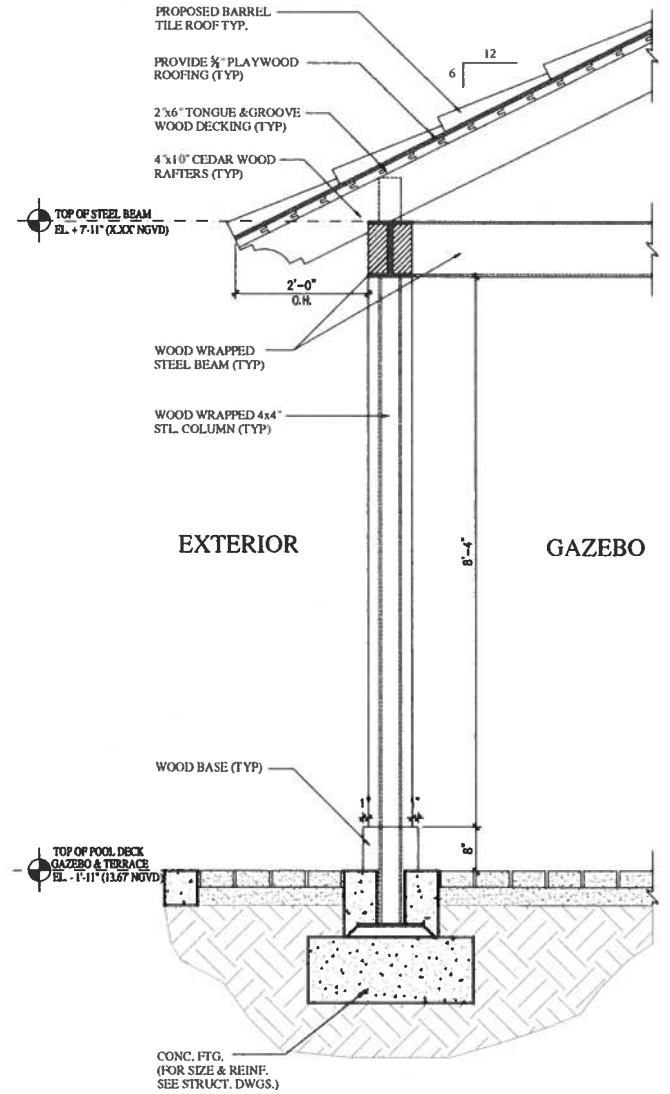
1 TYP. WALL SECTION
A-18 SCALE = 3/4"=1'-0"



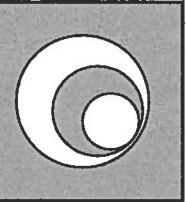
2 TYP. WALL SECTION
A-18 SCALE = 3/4"=1'-0"



3 TYP. WALL SECTION
A-18 SCALE = 3/4"=1'-0"



4 TYP. WALL SECTION
A-18 SCALE = 3/4"=1'-0"



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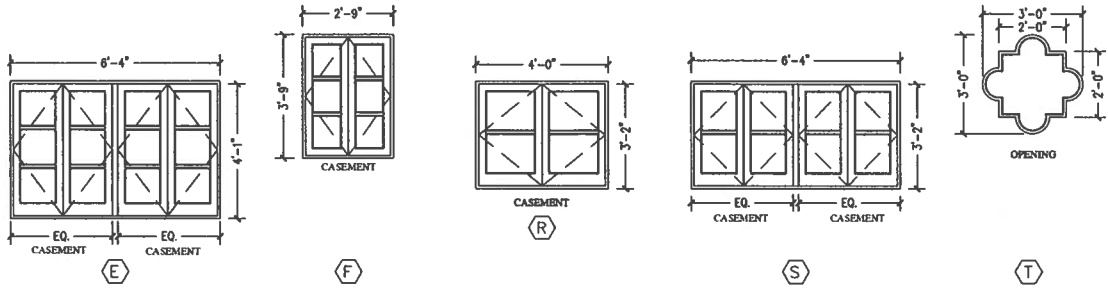
EXPANSION & RENOVATION TO RESIDENCE
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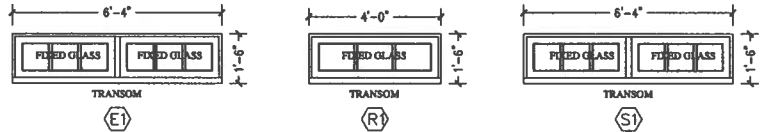
SHEET NUMBER
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PEDRO G. BRAVO, RA
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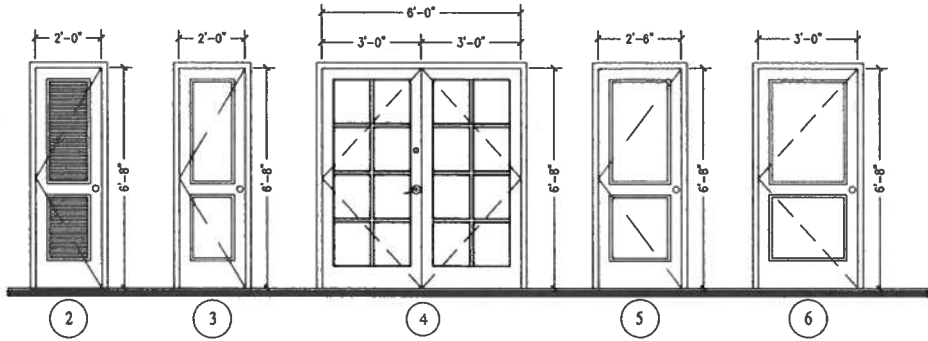
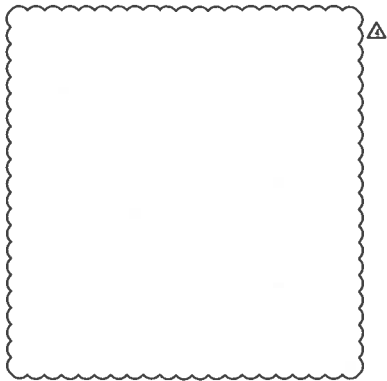
WINDOWS TYPES

SCALE: 3/8"=1'-0"



TRANSOM TYPES

SCALE: 3/8"=1'-0"



DOOR TYPES

SCALE: 3/8"=1'-0"

DOOR SCHEDULE										
NO.	LOCATION	SIZE			TYPE	MATERIAL	FINISH	THRESHOLD	JAMB	REMARKS
		W	H	T						
2	A/C CLOSET	2'-0"	6'-8"	1 3/4"	LOUVERED	WOOD	PAINTED		WOOD	SEE FINISH NOTES
3	W/C	2'-0"	6'-8"	1 3/4"	PRE-HUNG	WOOD	PAINTED		WOOD	SEE FINISH NOTES
4	FAMILY ROOM	(2)3'-0"	6'-8"		FRENCH DOOR	ALUM/GLASS		ALUMINUM	ALUMINUM	SEE FINISH NOTES CAT. II SAFETY GLASS
5	HERS W.I.C.	2'-6"	6'-8"	1 3/4"	PRE-HUNG	WOOD	PAINTED		WOOD	SEE FINISH NOTES
6	LAUNDRY	3'-0"	6'-8"	1 3/4"	PRE-HUNG	WOOD	PAINTED		WOOD	SEE FINISH NOTES
NOTES: 1- COORDINATE MASONRY OPENING W/ DOOR MANUFACTURER PRIOR TO WALL ERECTION (SUBMIT SHOP DRAWING FOR APPROVAL) 2- ALL EXTERIOR DOORS TO RECEIVE SILL TO MATCH FLOOR FINISH. * DOOR FRAME SHALL BE SOLID 2 x 4 RABBETED WOOD FRAME										

NOTES: 1- COORDINATE MASONRY OPENING W/ DOOR MANUFACTURER PRIOR TO WALL ERECTION (SUBMIT SHOP DRAWING FOR APPROVAL)
2- ALL EXTERIOR DOORS TO RECEIVE SILL TO MATCH FLOOR FINISH.
* DOOR FRAME SHALL BE SOLID 2 x 4 RABBETED WOOD FRAME

FINISH SCHEDULE				
ROOM	FLOOR	WALL	CEILING	REMARKS
DINING/FAMILY	WOOD	DRYWALL	DRYWALL	
KITCHEN	WOOD	DRYWALL	DRYWALL	
MASTER BATH	CERAMIC TILE	TILE/DRYWALL	DRYWALL	
MASTER SITTING AREA	WOOD	DRYWALL	DRYWALL	
BUTTLER'S PANTRY	WOOD	DRYWALL	DRYWALL	
LAUNDRY	WOOD	DRYWALL	DRYWALL	
COVERED TERRACE	BRICK PAVERS	DRYWALL	DRYWALL	
POOL DECK	BRICK PAVERS			
GAZEBO	BRICK PAVERS			

NOTE:

COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOWS & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

NOTE:

AS PER R315.1 FBC-RESIDENTIAL 2010 WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NO GREATER THAN 200

WINDOW SCHEDULE				
NO.	TYPE	MODULAR SIZES		REMARKS
		W	H	
E	CASEMENT	76"	49"	IMPACT RESISTANT (EGRESS)
P	CASEMENT	33"	45"	IMPACT RESISTANT
R	CASEMENT	48"	38"	IMPACT RESISTANT
S	CASEMENT	76"	38"	IMPACT RESISTANT
T	FIXED	36"	36"	
E1	TRANSOM	76"	18"	IMPACT RESISTANT
R1	TRANSOM	48"	18"	IMPACT RESISTANT
S1	TRANSOM	76"	18"	IMPACT RESISTANT

NOTE:

SINGLE/TINT/UFACOR 1.13 SHGC 0.49

NOTES:

SUBMIT WINDOWS, EXTERIOR DOORS, AND MULLIONS PRODUCT APPROVALS TO CITY FOR SEPARATE PERMIT.

WINDOWS AND EXTERIOR DOORS WHICH ARE NON-IMPACT RESISTANT MUST PROVIDE PRODUCT APPROVED SHUTTERS UNDER SEPARATE PERMIT.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.

EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.

GENERAL DOOR AND WINDOW NOTES:

WINDOW AND DOOR ASSEMBLIES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AS SET FORTH IN APPROVED PRODUCT CONTROL SUBMITTALS PER THE F.B.C.

ALL FIXED GLASS PANELS SHALL BE 3/4" OR THICKER AS REQ. TO MEET WIND LOADS AND IMPACT REQUIREMENTS, SAFETY GLASS. ALL GLASS USED INSIDE OF DWELLING TO BE TEMPERED, TO COMPLY WITH THE F.B.C.

EGRESS TYPE WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT, AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE, 24" HIGH, AND 5.7 FEET IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FLOOR.

PROVIDE HURRICANE SHUTTERS APPROVED BY COUNTY PRODUCTS CONTROL AT ALL REQUIRED DOOR AND WINDOW OPENINGS WITH NON-IMPACT WINDOWS.

PROVIDE OPAQUE GLASS AT BATHROOM WINDOW AS PER F.B.C. PROVIDE SAFETY TEMPERED GLASS AS PER F.B.C. FOR WINDOW AND SHOWER ENCLOSURE.

Contractor shall verify with window and door manufacturer's required assembly opening for proper installation before concrete block work is started or the columns are poured.

CAT. II SAFETY GLASS SHALL BE USED AT ALL SHOWER AND TUB ENCLOSURES INCLUDING WINDOWS WITH SILLS LOWER THAN 60" AND MIRRORS IN THE TUB. ALSO, IT SHALL BE USED ON OPENINGS WITHIN 12" OF DOORS.

ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN F.B.C.

PANELS FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANEL.

DOORS AND WINDOWS SUBMIT SHOP DRAWING FOR APPROVALS BY SEPARATE PERMIT

ALL FIXED GLASS SIDELITES SHALL BE TEMPERED GLASS.

BURGLARY INTRUSION NOTES:

- ALL EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF FOUR POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOOR. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. TIE-ROD BOLTS WITH INSERTS.
- SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FOR EXTERIOR, AT THE JAMB, HEAD, SILL OR AT MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AND TO MAINTAIN BOLT PENETRATION EFFECTIVENESS. IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM THE OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.
- OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLT OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. 5/8". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
- DOORS ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
- JAMBS OF ALL EXTERIOR OFFSET TYPES IN SWING DOORS BE BARRIETED, OR OF SIMILAR FABRICATION, TO PREVENT OPERATING THE PURPOSES OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE SWINGING EXTERIOR DOOR IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1 1/2" THICK.
- GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE-STANDARD Z97.1.
- VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTUATING DEVICE OF LOCKS AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE-STANDARD.
- SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARDS FOR FORCED ENTRY RESISTANCE.
- VENTS ON OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTUATING DEVICE.
- SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREA SHALL BE A MIN. 1 3/8" THICK, SOLID CORE, AND SHALL BE SECURED WITH A LATCH AND SINGLE DEAD BOLT SETS WITH LATCH TIE-ROD MIN. OF 1/2" AND BOLTS HAVING A MIN. OF 1" TIE-ROD.
- FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANEL.
- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE/SOUTH FLORIDA BUILDING CODE.



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CORAL GABLES, FLORIDA 33134

REVISIONS:

- 03-01-18 COMMENTS
- 05-20-18 COMMENTS
- 02-01-19 REVISION
- 03-16-20 AS-BUILD

SCALE: AS NOTED

DRAWN BY: A.P. / P.D.

CHECKED BY: P.B. / C.B.

DATE: 10-25-17

PROJECT NO.:

FILE NAME:

SUBMITTAL: PERMIT SET

SHEET NUMBER

A-19

PEORO D. BRAVO, RA
FLA. REGISTRATION NO.: 6226

CONSTRUCTION NOTES AND SPECIFICATIONS

* DO NOT SCALE DRAWINGS FOR DIMENSIONS
BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACK CHARGES WILL NOT BE ACCEPTED.
SUBMIT MINIMUM (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER. THE BUILDER IS RESPONSIBLE FOR COORDINATING ALL KITCHEN EQUIPMENTS LOCATION, SIZES AND DIMENSIONS AS TO ENSURE CUSTOM FITTING IN THE FIELD.
THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS.
THE CONSTRUCTION, INCLUDING ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL BUILDING CODES AND ORDINANCES.
THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE SOLE RESPONSIBILITY OF THE SUBCONTRACTOR.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PARTS OF THE WORK WITH OTHER SUBCONTRACTORS, UTILITY COMPANY CONNECTIONS. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED, WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA STATE ENERGY CODE SECTION 502.4.
WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWING TO BUILDER.
ANY CONFLICTS OR OMISSIONS BETWEEN EXISTING CONDITIONS, THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

PLAN NOTES

- DOORS IN DEMISING WALL BETWEEN GARAGE AND HOUSE SHALL BE "C" LABEL METAL DOOR AND JAMB OR 1-3/4" THICK SC WOOD DOOR WITH 2X4 SOLID RABBETED JAMB - AUTOMATIC CLOSURES ARE REQUIRED ON EITHER TYPE.
- GARAGE DEMISING WALL SHALL BE INSULATED (SEE ENERGY CALCULATIONS).
- ALL DOOR SILL DETILLES WITHIN 24" OF DOOR SHALL BE TEMPERED. ALL WINDOWS AND GLASS ENCLOSURES AT TUBS AND SHOWERS WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS AND FRENCH DOORS SHALL BE TEMPERED.
- ALL BATHROOM FLOORS AND BASIS SHALL BE APPROVED IMPERVIOUS MATERIALS AS PER SECTION 120.42 FBC, 2010 ED.
- GLASS AND MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLASS WHERE THE BOTTOM IS LESS THAN 60" ABOVE THE FLOOR.

SYMBOL LEGEND

N

NORTH ARROW

0

DIRECTION

0

DRAWING NUMBER

0

SHEET NUMBER

0

EXTERIOR ELEVATION

0

SHEET NUMBER

0

DETAIL NUMBER

0

SHEET NUMBER

0

DRAW NUMBER

0

ELEVATION NUMBER

0

SHEET NUMBER

0

DOOR NUMBER

0

WINDOW NUMBER

000

ROOM NUMBER

0

PARTITION TYPE

0

REVISION MARK

LINE OF OBJECT ABOVE

EQUIPMENT / FURNITURE N.I.C.

HIDDEN LINE

BOUNDARY LINE

DEMOLITION LINE

CENTER LINE

PROPERTY LINE

COMPONENTS OF MEANS OF ESCAPE

(A) NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 7'-0" WIDE, EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY REQUIREMENTS

(B) EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.

(C) EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.

(D) DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS

(E) NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH DEPEND OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.

TERMITE SOIL STATEMENT

ALL BUILDING SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: " THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (AS PER R4409.13.5 FBC RESIDENTIAL 2014)

SHOP DRAWING NOTE

2221A.2 PRIOR TO THE COMMENCEMENT OF ERECTION OF THE STRUCTURE, THE STRUCTURAL SUBMITTAL AND CALCULATIONS, INCLUDING, BUT NOT LIMITED TO, FABRICATION AND ERECTION DRAWINGS SIGNED, DATED AND SEALED BY THE SPECIALTY ENGINEER AND REVIEWED BY THE ARCHITECT OF RECORD AND/OR THE STRUCTURAL ENGINEER OF RECORD, SHALL BE SUBMITTED AND APPROVED BY THE BUILDING DEPARTMENT.

UNDER SEPERATE PERMIT:

*DRIVEWAY

*WATERPROOFING

*POOL/POOL DBCK

*ROOFING

*WINDOWS

*SHUTTERS/AWNINGS

*DOORS

NOTE:

CONTRACTOR TO VERIFY NECESSARY OPENING WIDTHS FOR DOORS AND WINDOWS IN MASONRY WITH PRODUCT SPECIFICATIONS AND PRODUCT APPROVALS.

GENERAL NOTES

- THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR, NOT HAVE CONTROL OR CHARGE OF THE CONSTRUCTION MEANS METHODS, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.
- CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME.
- ALL WORK MATERIAL SHALL BE IN COMPLIANCE WITH THE FBC 2010 EDITION AND ORDINANCES.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE-TREATED WOOD. CASING, JAMBS AND TRIM SHALL BE STAIN GRADE UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM FABRICATED WORK. CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTALS/SHOP DRAWINGS PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW.
- DO NOT SCALE DRAWING; USE DIMENSION INDICATED ON DRAWINGS. DIMENSIONS OF LARGER SCALE DRAWING AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.
- IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN OR OMISSION FROM THE SPECIFICATIONS OR DRAWINGS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHALL BE NOTIFIED IN ORDER TO PROVIDE CLARIFICATION.
- INSULATE MASONRY WALLS, EXTERIOR STUDS WALLS, AND ATTIC SPACE IN ACCORDANCE WITH THE ENERGY CODE CALCULATIONS.
- ALL WINDOW AND DOOR SIZES ARE NORMAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS.
- ALL REQUIRED TESTS SHALL BE PERFORMED BY OWNER.
- ALL DRYWALL, PLASTER AND STUCCO SHALL RECEIVE TWO COATS OF PREMIUM QUALITY PAINT. WOOD SHALL BE PAINTED OR STAINED. COLOR TO BE SELECTED BY OWNER.
- IF DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, OR BETWEEN DRAWINGS ARE NOT CLARIFIED IN THE FIRST 30 DAYS, THE O.C. WILL PROVIDE THE MOST GENEROUS ITEM.
- THE CONTRACTOR SHALL OBTAIN FROM ALL SUB CONTRACTORS THE SIZE AND LOCATION OF ALL OPENING TO BE PROVIDED BY THEIR RESPECTIVE TRADE. THE CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION, LOCATION, SIZE AND DETAIL.
- THE CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIAL REQUIRED TO PROPERLY INSTALL, SUPPORT AND BRACE ALL ITEMS AND COMPONENTS WITHIN THE WORK.
- THE GENERAL CONTRACTOR GUARANTEES AND WARRANTS THAT ALL WORK PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERTIFICATE OF FINAL COMPLETION. ANY DEFECTS OR DAMAGE DISCOVERED DURING SAID PERIOD SHALL BE REPAIRED OR REPLACED AS DIRECTED IN WRITING BY THE ARCHITECT, AT NO ADDITIONAL COSTS.
- ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- FIXED GLASS, GLASS DOOR PANEL AND / OR OPERABLE WINDOW WITHIN 42" OF THE FINISH FLOOR SHALL BE SAFETY GLASS.
- GENERAL CONTRACTOR TO PROVIDE DOCUMENTS FOR ALL EXTERIOR DOOR ASSEMBLIES, STOREFRONTS, LOUVERS, GRILLES / SDOO CRATES AND WINDOWS TO COMPLY WITH MIN. WIND SPEED RESISTANCE OF 170 MPH ASCE 7-10 (SSRC GUST)
- COMPLETION: CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. FINAL DISBURSEMENT TO CONTRACTOR SHALL NOT BE MADE UNTIL OWNERS PUNCH LIST HAS BEEN SATISFIED. CONTRACTOR TO PROVIDE OWNER WITH WRITING GUARANTEE ON ALL EQUIPMENT. CONTRACTOR AT COMPLETION OF WORK SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVE THE PROJECT "BROOM CLEAN".

B R A V O

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ARCHITECTURE
P L A N N I N G
I N T E R I O R D E S I G N

AA 26000771
IS 26000638

250 CATALONIA, SUITE 403
CORAL GABLES, FLORIDA 33134
TELEPHONE : 305.567.1977
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EXPANSION & RENOVATION TO RESIDENCE
GARDENAS - NAVARO RESIDENCE
2907 COLUMBUS BOULEVARD
CORAL GABLES, FLORIDA 33134

REVISIONS:

- 03-01-18 COMMENTS
- 05-20-18 COMMENTS
- 02-01-19 REVISION
- 03-07-19 REVISION

SCALE: AS NOTED

DRAWN BY: A.P. / P.D.

CHECKED BY: P.B. / O.B.

DATE: 10-25-17

PROJECT NO.:

FILE NAME:

SUBMITTAL: PERMIT SET

SHEET NUMBER

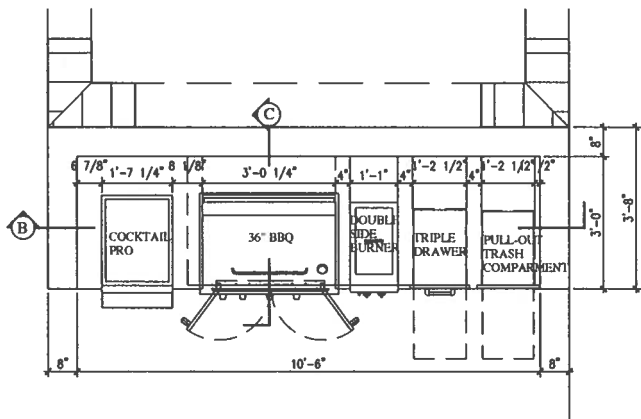
A-20

PEDRO G. BRAVO, RA
FLA. REGISTRATION NO.: 6326

GENERAL NOTES

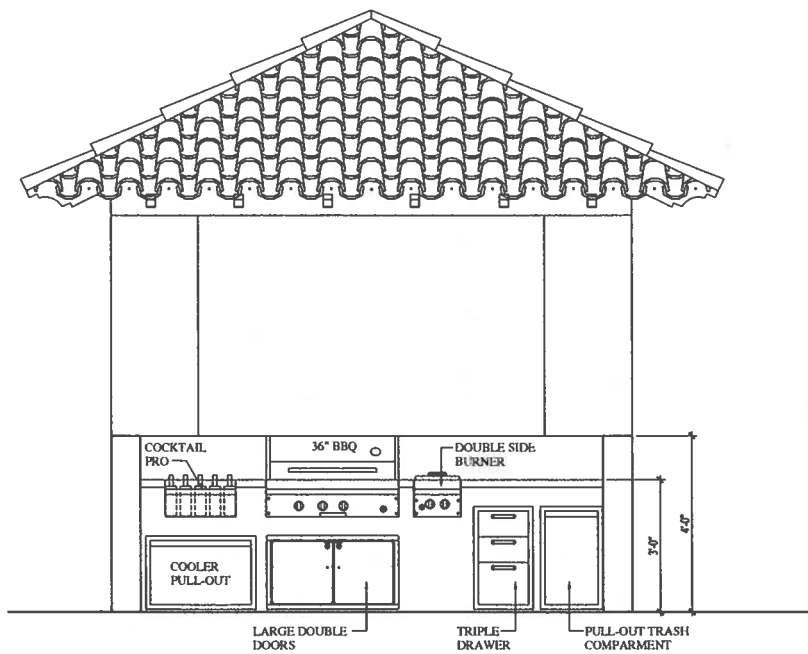
Y:\Projects\Navarro Residence\Permit Set\1\A20 General Notes.dwg, 4/22/2019 10:53:18 AM, DWG To PDF.pc3

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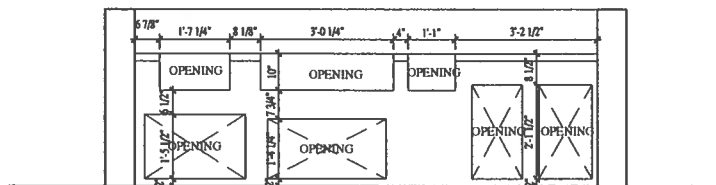
PROPOSED BBO FLOOR PLAN

SCALE = 1/2"=1'-0'



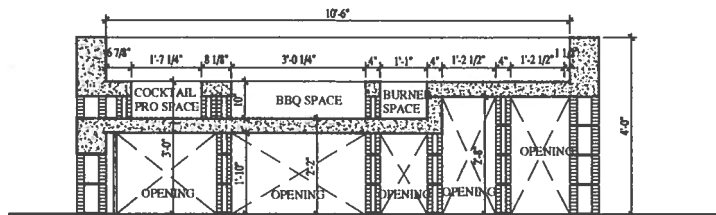
PROPOSED BBQ FELEVATION

SCALE = 1/2"=1'-0"



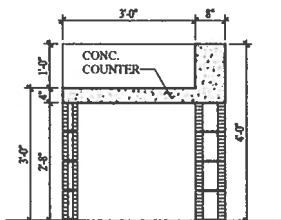
SECTION A

SCALE = 1/2"=1'-0'



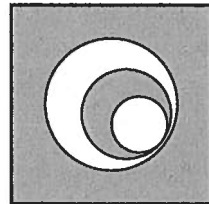
SECTION B

SCALE = 1/2"=1'-0'



SECTION C

SCALE = 1/2"=1'-0"



B R A V O

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INTERIOR DESIGN

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EXPANSION & RENOVATION TO RESIDENCE
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4	03-07-19 REVISION
5	06-20-19 REVISION

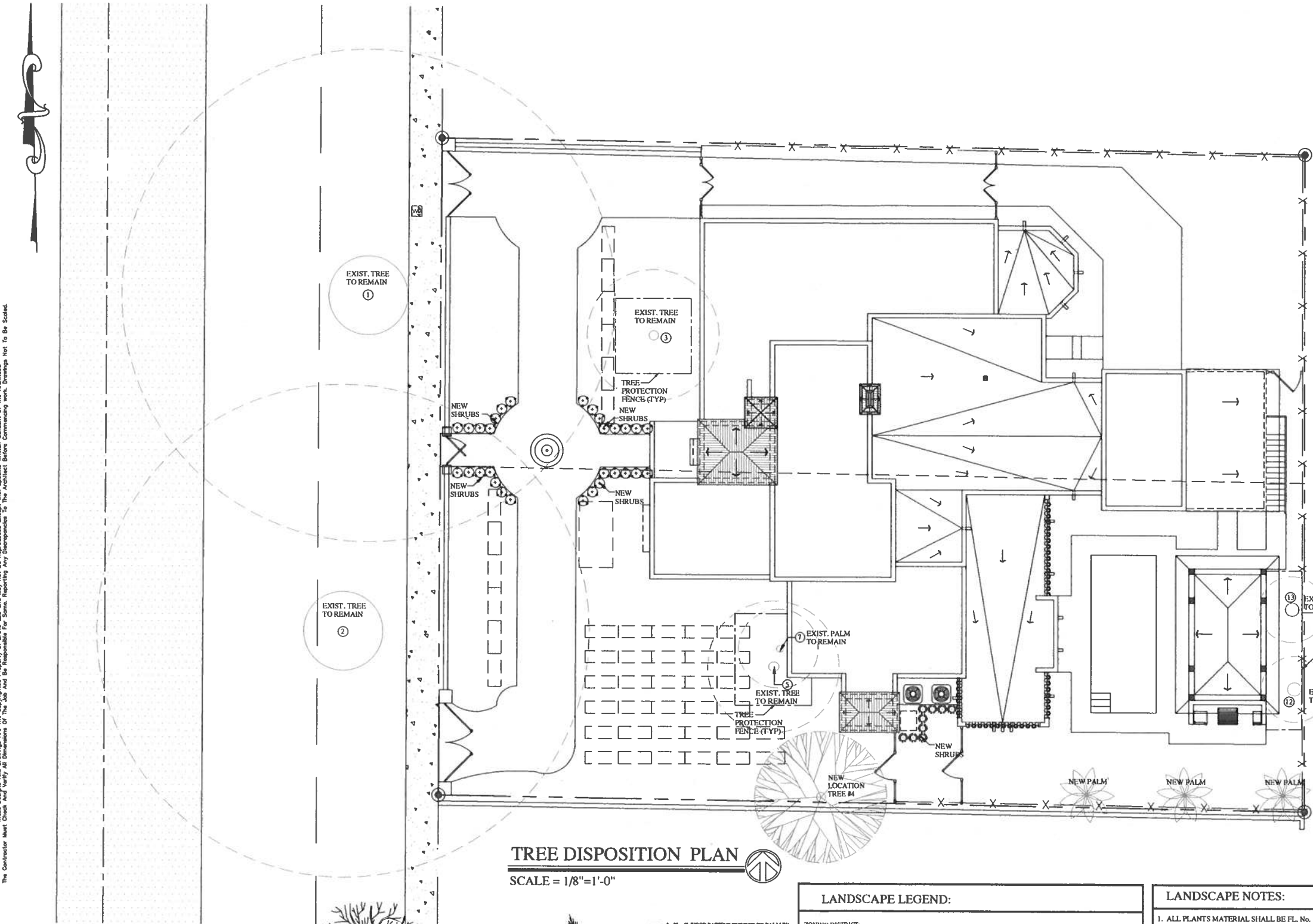
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CHECKED BY:	P.B. / C
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SUBMITTAL:	PERMIT

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A-21

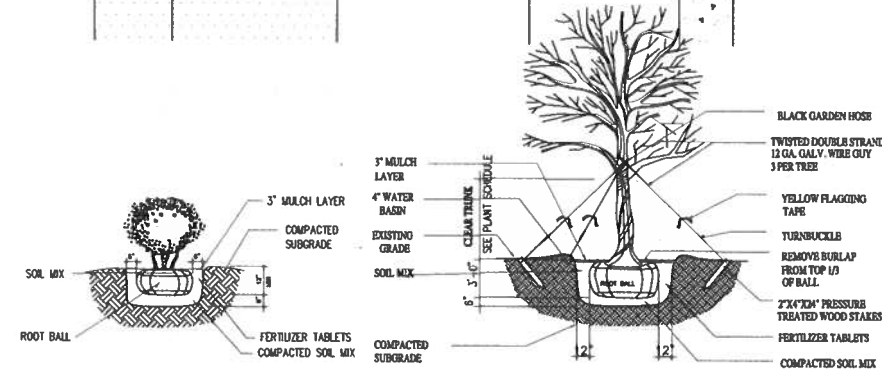
PEDRO C. BRAVO, RA
FLA. REGISTRATION NO.: 62

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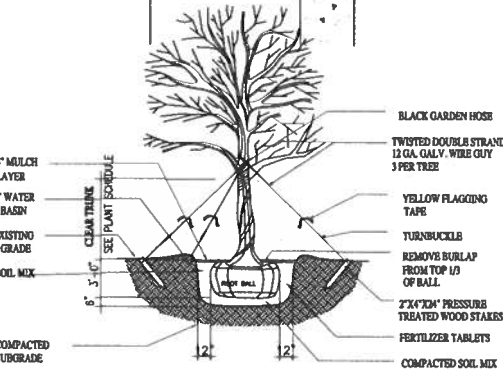


TREE DISPOSITION PLAN

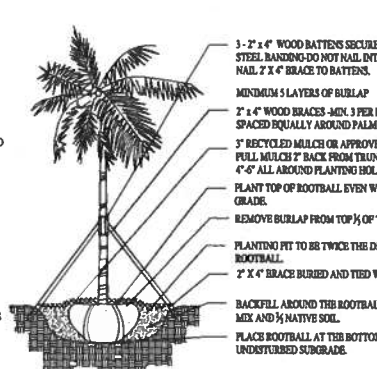
SCALE = 1/8"=1'-0"



SHRUB PLANTING DETAIL N.T.S.



CANOPY TREE PLANTING DETAIL N.T.S.



PALM PLANTING DETAIL N.T.S.

LANDSCAPE LEGEND:

ZONING DISTRICT:		SFR	
GROSS LAND AREA:		N/A	SQ.FT.
NET LAND AREA:		13,200	SQ.FT.
WATER BODIES:		0	SQ.FT.
LANDSCAPE OPEN SPACE: (IF APPLICABLE)		REQUIRED	PROVIDED
GREENBELT WIDTH: (IF APPLICABLE)		N/A	N/A
MAXIMUM LAWN AREA: (60 % MAX.)		7,920	5,282
			S.F.
MINIMUM LANDSCAPE OPEN SPACE: 40%		REQUIRED	PROVIDED
20% OF REQ. GREEN SPACE LOCATED IN FRONT YARD:		5,280 S.F. (40%)	5,282 S.F. (40.06%)
		1,056 S.F. (20%)	1,198 S.F. (22.7%)
- LARGE SHADE TREES PER LOT (1/5,000 LOT AREA)		REQUIRED	PROVIDED
13,200 S.F. LOT AREA		3	3
(MIN. 2 IN FRONT RESIDENCE)		2	2
- PALM or MEDIUM SHADE TREES PER LOT (2/5,000 or 1/5,000 LOT AREA)		REQUIRED	PROVIDED
13,200 S.F. LOT AREA		6	6
SHRUBS - 15 SHRUBS PER EACH 5,000 S.F.			
13,200 S.F. LOT AREA		40	40
(MIN. 66% IN FRONT RESIDENCE)		27	30
- LARGE SHADE TREES RIGHT-OF-WAY (1/35 LINEAR FEET)		REQUIRED	PROVIDED
75' LINEAR FEET (35' O.C. AVG.)			
100' LINEAR FEET (35' = 2.86		2	2

LANDSCAPE NOTES:

- ALL PLANTS MATERIAL SHALL BE FL. No. 1 OR BETTER IN GRADE AND QUALITY.
- THE SOD MATERIAL TO BE PLANTED SHALL BE ST. AUGUSTINE FLORATUM.
- A MINIMUM OF 30% OF THE REQUIRED TREES AND OR PALMS SHALL BE NATIVE SPECIES.
- A MAXIMUM OF 20% OF THE NATIVE TREES CAN BE SABAL PALMETTO, (CABBAGE PALM).
- A MINIMUM OF 30% OF THE REQUIRED SHRUBS SHALL BE NATIVE SPECIES.
- ALL PLANT MATERIAL SHALL BE IRRIGATED BY HOSE BIB IF NO SPRINKLER SYSTEMS IS PROVIDED HOSE BIB SHALL BE SPACED EVERY 75' O.C. ALONG UNIT AND PROPERTY.
- ALL EXISTING TREES TO REMAIN PROTECTED AND TO BE PROTECTED BY BARRIERS
- ALL RAINWATER COLLECTED WITHIN PROPERTY SHALL REMAIN ON SAID PROPERTY
- FAILURE TO MAINTAIN LANDSCAPING ACCORDING TO APPROVED PLANS IS A CODE VIOLATION. FAILURE TO PLANT, PRESERVE, OR MAINTAIN IS A SEPARATE VIOLATION. EACH PLANT, EACH DAY, 18A-13 (C)
- APPROACH TO MAINTAIN 5'-0" CLEAR FROM EXISTING TREES, POLES & HYDRANTS

TREE	COMMON NAME	B	H	C	REMARKS
1	FICUS CITRIFOLIA	144"	50'	75'	TO REMAIN
2	FICUS CITRIFOLIA	144"	50'	75'	TO REMAIN
3	LIVE OAK	17'	35'	20'	TO REMAIN
4	LIVE OAK	17'	35'	20'	RELOCATE
5	YELLOW TABERNAEMONTANA	17'	35'	20'	TO REMAIN
6	PALM / ARECAE	12"	35'	12'	TO REMOVE
7	PALM / ARECAE	12"	35'	12'	TO REMAIN
8	PALM / ARECAE	24"	15'	15'	TO REMOVE
9	PALM / ARECAE	24"	35'	15'	TO REMOVE
10	PALM / ARECAE	12"	15'	10'	TO REMOVE
11	PALM / ARECAE	12"	15'	10'	TO REMOVE
12	PALM / ARECAE	12"	15'	10'	TO REMAIN
13	PALM / ARECAE	12"	15'	10'	TO REMAIN

NOTE

ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED BY BARRIERS

TREE LEGEND

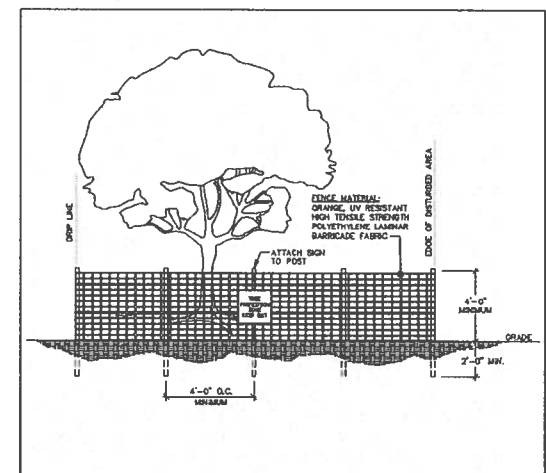
SYMB.	ACTION
○	EXISTING TO REMAIN
⊗	NEW PALM
⊙	RELOCATED (NEW LOCATION)

NOTE

THE LANDSCAPE SHALL COMPLY WITH THE CORAL GABLES ZONING CODE ARTICLE 5, DIVISION 11 LANDSCAPE SECTION

TREE PROTECTION NOTES:

- CONTRACTOR TO INSTALL TREE PROTECTION FENCING FOR TREES OR PALMS REMAINING ON PRIVATE PROPERTY AND ON THE CITY SWALES AREA MULTIPLE TREES MAY BE FENCED TOGETHER
- TREE PROTECTION FENCE IN RIGHT OF WAY MUST HAVE 2"x4" WOOD POST AND MUST BE 2'-0" OFF OF EDGE OF ROADWAY PAVEMENT.



TREE PROTECTION FENCE DETAIL N.T.S.

NEW TREES

SYMB.	QTY.	NEW	EXIST.	BOTANICAL NAME	COMMON NAME	NATIVE	REMARKS
PALMS							
⊗	3	•			COCONUT PALM	YES	3'-0" 14' Ht. x 15' Canopy
SHRUBS							
⊙	10	•		CHRISOBALANTUS ICACI	COCCORUM	YES	7'-6" 36" HEIGHT
⊙	30	•		PSYCHOTRIA KERA VOSA	WILD COFFE	YES	3'-6" 18" HEIGHT

*REQUIRED FOR TREES LOCATED UNDERNEATH OR ADJACENT TO POWERLINES AND PALMS USED AT 1:1 RATIO

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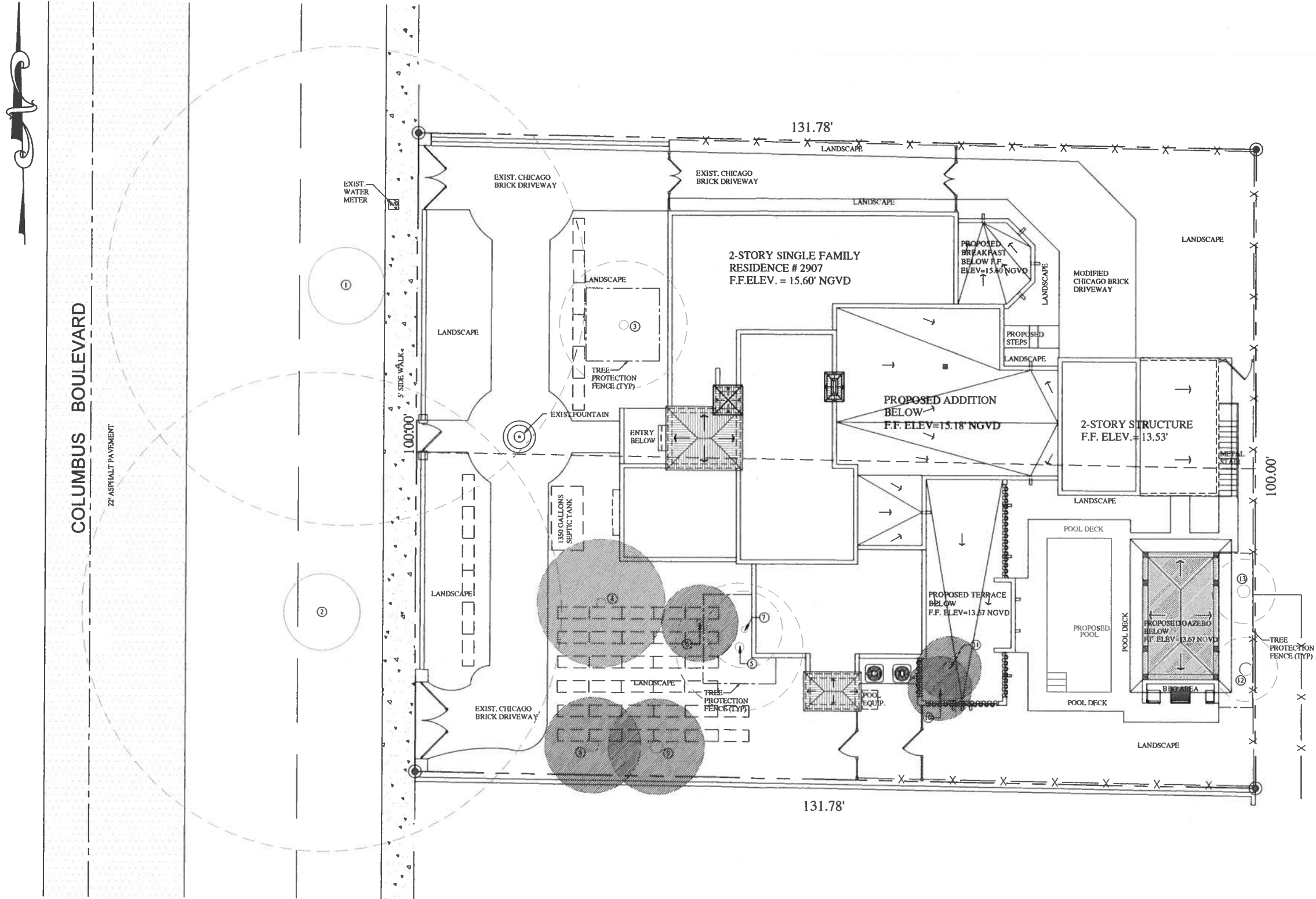
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SHEET NUMBER
TDP-1

PEDRO D. BRAVO, RA
FLA. REGISTRATION NO.: 6226

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TREE REMOVAL PLAN

SCALE = 1/8"=1'-0"

TREE	COMMON NAME	D	H	C	REMARKS
1	FICUS CITRIFOLIA	144"	50'	75'	TO REMAIN
2	FICUS CITRIFOLIA	144"	50'	75'	TO REMAIN
3	LIVE OAK	17"	35'	20'	TO REMAIN
4	LIVE OAK	17"	35'	20'	RELOCATE
5	VELVET TABERBUA/BIGNONIACEAE	17"	35'	20'	TO REMAIN
6	PALM / ARECACEAE	12"	35'	12'	TO REMOVE
7	PALM / ARECACEAE	12"	35'	12'	TO REMAIN
8	PALM / ARECACEAE	24"	35'	15'	TO REMOVE
9	PALM / ARECACEAE	24"	35'	15'	TO REMOVE
10	PALM / ARECACEAE	12"	15'	10'	TO REMOVE
11	PALM / ARECACEAE	12"	15'	10'	TO REMOVE
12	PALM / ARECACEAE	12"	15'	10'	TO REMAIN
13	PALM / ARECACEAE	12"	15'	10'	TO REMAIN

NOTE

ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED BY BARRIERS

TREE LEGEND

SYMB.	ACTION
○	TO REMAIN
●	RELOCATE
⦿	TO BE REMOVED

BR A V O

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FLA. REGISTRATION NO.: 6326