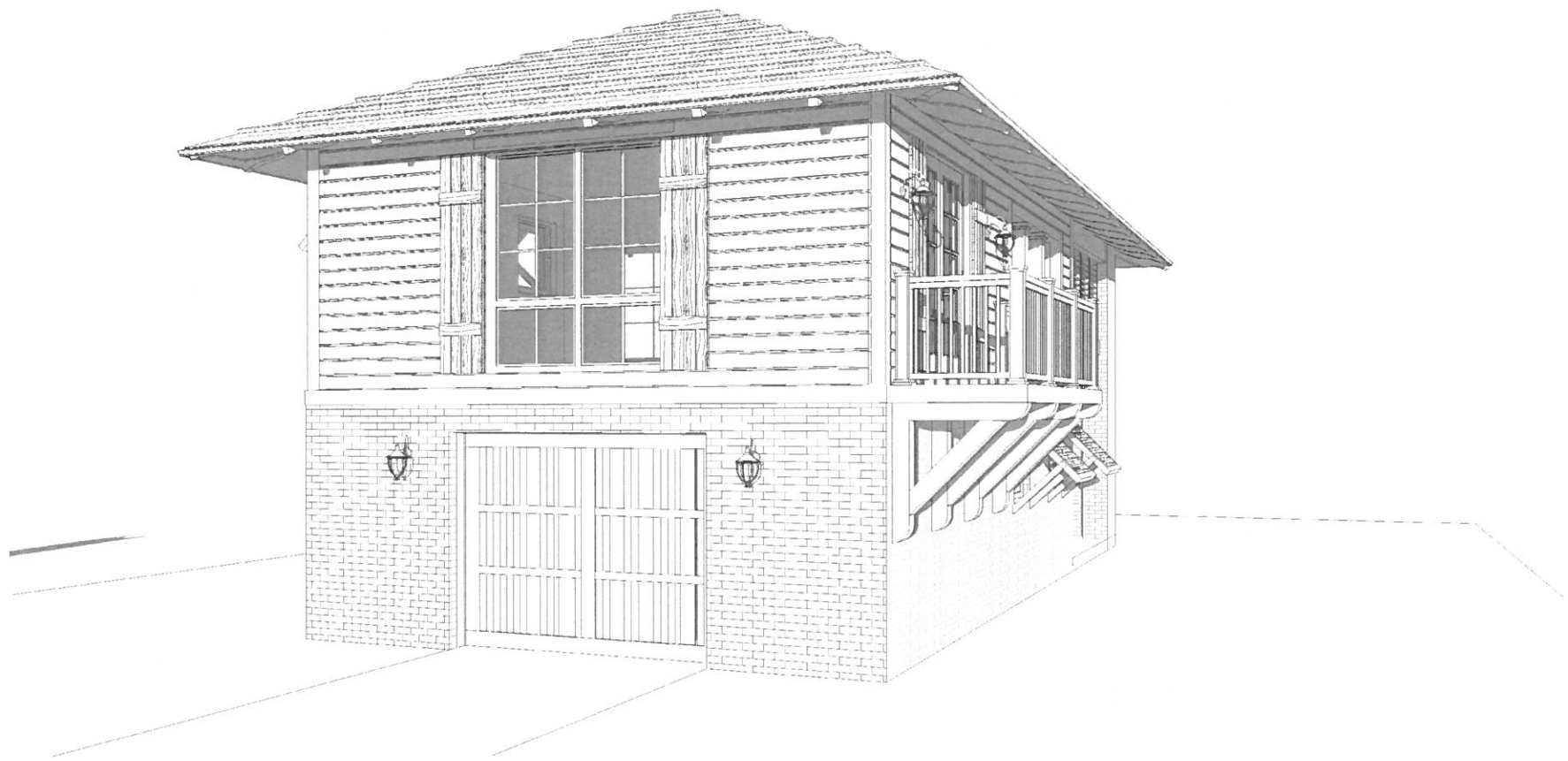


ACCESSORY DWELLING - GAZEBO & CABANA



ABBREVIATIONS:			
ABOVE FINISH FLOOR	A.F.F.	EMERGENCY OVERFLOW SCUPPER	E.O.S.
AIR CONDITIONING	A/C	FINISH FINISH FLOOR	F.F.
AIR HANDLING UNIT	A.H.U.	FOOTING	FTG.
ALTERNATE	ALT.	GALVANIZED	GALV.
AVERAGE	AVG.	GYP. BOARD	GYP. BO.
BEAM	BM.	HEIGHT	HT./HGT.
BLOCKING	BKG.	HOSE BIBB	H.B.
BOTTOM	BOT.	INSULATION	INSUL.
BUILDING	BLDG.	INTERIOR	INT.
CEILING	CLG.	LAVATORY	LAV.
CENTER LINE	CL	LOUVER	LOUV.
CLEAR	CLR.	MANUFACTURER	MFG.
CONCRETE MASONRY UNIT	C.M.U.	MATERIAL	MATL.
CONTINUOUS	CONT.	MAXIMUM	MAX.
DIAMETER	DIA.	MEAN ROOF HEIGHT	M.R.H.
DISHWASHER	D.W.	METAL	MTL.
DOUBLE	DBL.	MINIMUM	MIN.
DOWN	DN.	NATIONAL GEODESIC	N.G.V.D.
EACH	EA.	VERIFICATION DATA	N.T.S.
ELEVATION	ELEV./EL.	NOT TO SCALE	O.C.
EQUAL	EQ.	ON CENTER	O.H.
EXHAUST	EXH.	OVERHANG	PL.
EXPANSION JOINT	E.J.	PLATE	
EXTERIOR	EXT.		

SYMBOLS:	
	BUILDING SECTION SECTION LETTERS
	SECTION LETTERS (WHERE SECTION IS DRAWN)
	DETAIL DETAIL NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION(S) (UNFOLD) ARROWS INDICATE ELEVATIONS
	DOOR TYPE DOOR MARK (NUMBER)
	WINDOW TYPE WINDOW MARK (LETTER)
	KEYNOTE DRAWING NOTE (NUMBER)
	STEP DOWN CHANGE IN FLOOR HEIGHT
	CONTROL OR DATUM POINT DESCRIPTION OF POINT (FIN. FLR., TOP OF PLATE, TOP OF T.B.)
	ELEVATION OR POINT
	REVISION REFERENCE NUMBER OF REVISION CORRESP. TO DESIGN SECTION OF TITLE BLOCK
	WALL SECTIONS SECTION NUMBERS
	SECTION NUMBER (WHERE SECTION IS DRAWN)

ARCHITECTURAL	
A0	COVER SHEET
SP-1	SITE PLAN
A1	EXISTING PLAN & ELEVATIONS
A2	FLOOR PLANS & ROOF
A3	ELEVATIONS
A4	PERSPECTIVES
A5	BUILDING SECTIONS
A6	WALL SECTIONS
STRUCTURAL	
S1.0	FOUNDATION / GROUND FLOOR PLAN
	SECOND FLOOR & FRAMING PLAN
S2.0	ROOF FRAMING PLAN
S3.0	STRUCTURAL NOTES & TYPICAL DETAILS.
S4.0	SCHEDULES
S5.0	SECTIONS
S6.0	SECTIONS
ELECTRICAL	
ET	ELECTRICAL FLOOR PLANS & ROOF
MECHANICAL	
M1	HVAC PLANS & ROOF
M-2.1	HVAC SCHEDULE & DETAILS
M-2.2	HVAC SCHEDULE & DETAILS
M-2.3	HVAC SCHEDULE & DETAILS
PLUMBING	
P-1	PLUMBING PLANS & ROOF
P-2	PLUMBING SCHEDULE & DETAILS
SP1	SITE PLAN

ACCESSORY DWELLING - GAZEBO & CABANA
11100 SNAPPER CREEK RD.
CORAL GABLES, FLORIDA.

REVISIONS	

COVER SHEET

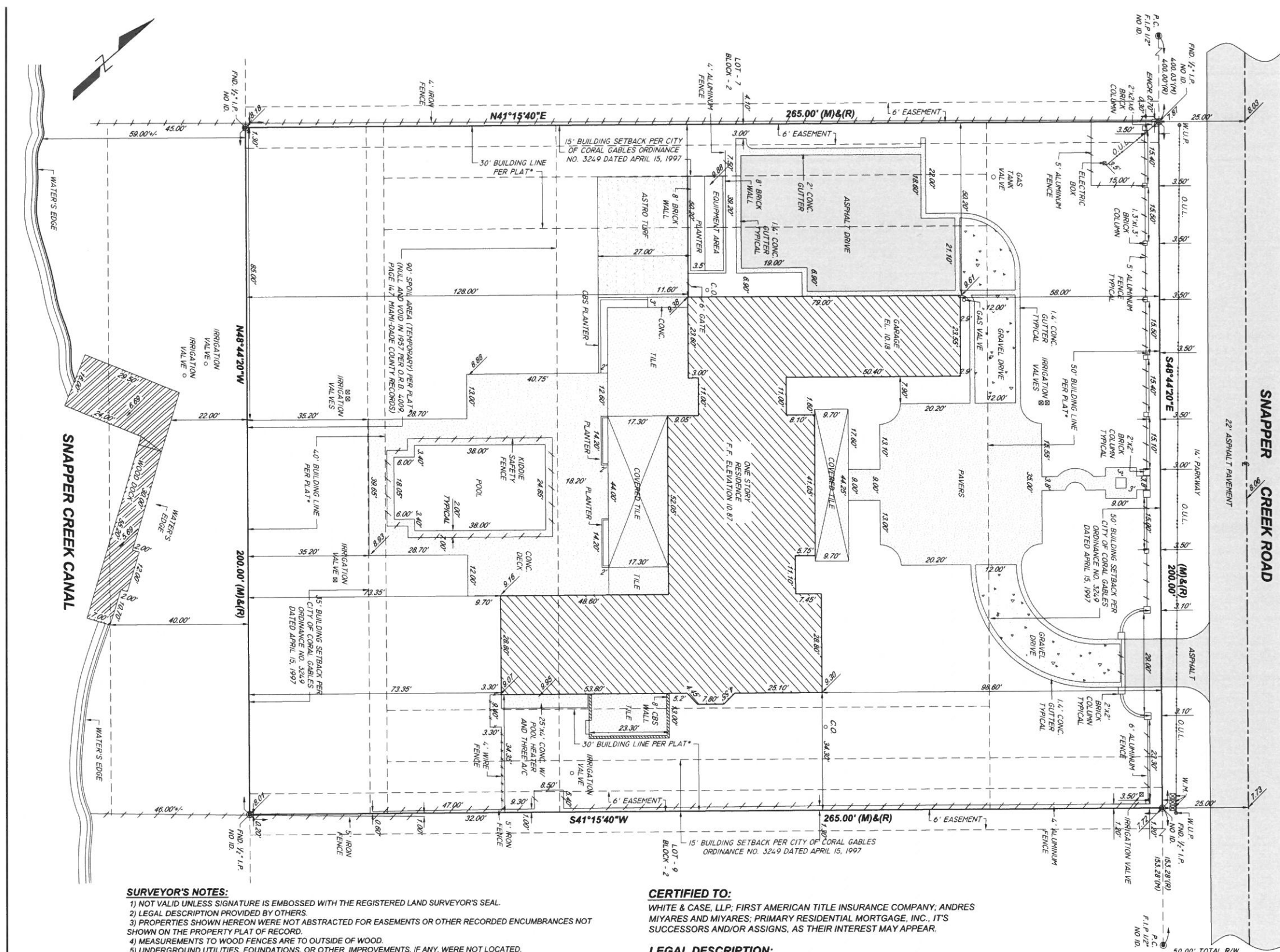
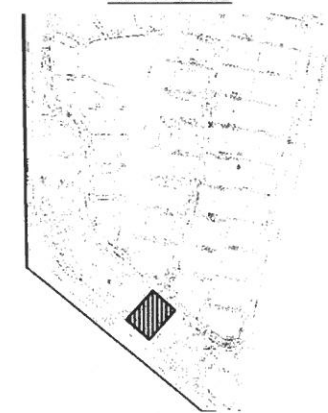
SCALE 1/4" = 1'-0"

JOB 1007/A

SHEET

A0

LOCATION SKETCH
NOT TO SCALE



SURVEYOR'S NOTES:

- 1) NOT VALID UNLESS SIGNATURE IS EMBOSSED WITH THE REGISTERED LAND SURVEYOR'S SEAL.
- 2) LEGAL DESCRIPTION PROVIDED BY OTHERS.
- 3) PROPERTIES SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PROPERTY PLAT OF RECORD.
- 4) MEASUREMENTS TO WOOD FENCES ARE TO OUTSIDE OF WOOD.
- 5) UNDERGROUND UTILITIES, FOUNDATIONS, OR OTHER IMPROVEMENTS, IF ANY, WERE NOT LOCATED.
- 6) ELEVATIONS, IF SHOWN ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929.
- 7) FENCE OWNERSHIP NOT DETERMINED UNLESS OTHERWISE NOTED.
- 8) MEASUREMENTS TO WIRE FENCES ARE TO CENTER OF WIRE.
- 9) WALL MEASUREMENTS ARE TO FROM FACE OF WALL.
- 10) DRAWING DISTANCE BETWEEN WALLS AND/OR FENCES AND PROPERTY LINES MAY BE EXAGGERATED FOR CLARITY.
- 11) FLOOD ZONE INFORMATION WAS DERIVED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INFORMATION RATE MAPS.
- 12) BEARINGS IF ANY SHOWN ARE BASED ON PLAT MERIDIAN AT: CENTERLINE SNAPPER CREEK ROAD = S48°44'20"E

CERTIFIED TO:

WHITE & CASE, LLP; FIRST AMERICAN TITLE INSURANCE COMPANY; ANDRES MIYARES AND MIYARES; PRIMARY RESIDENTIAL MORTGAGE, INC., ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR.

LEGAL DESCRIPTION:

LOT 8, BLOCK 2, "SNAPPER CREEK LAKES SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 57, PAGE 86, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

***SURVEYOR'S NOTE:**

PLATTED BUILDING SETBACK REVISED BASED UPON CITY OF CORAL GABLES, FLORIDA ORDINANCE NO. 3249 DATED APRIL 15, 1997

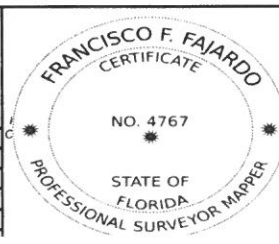
Francisco F Fajardo

Digitally signed by Francisco F Fajardo
DN: cn=US, o=Lannes and Garcia Inc., ou=A01410C0000017497D3398400
009AB1, cn=Francisco F Fajardo
Date: 2021.01.22 13:16:58 -0500

UPDATED 06-03-2013
UPDATED 05-23-2013
UPDATED 03-19-2013
TREE ADDED 02-15-2011
TITLE COMMITMENT REVISED 02-08-2011
BUILDING SETBACKS REVISED 01-18-2011

LEGEND			
A/C AIR CONDITIONER	F.H. FIRE HYDRANT	P.C.C. POINT OF COMPOUND CURVATURE	TYP. TYPICAL
AVE. AVENUE	I.C.V. IRRIGATION CONTROL VALVE	P.C.P. PERMANENT CONTROL POINT	U.E. UTILITY EASEMENT
BLVD. BOULEVARD	I.P. IRON PIPE	P.S. PROFESSIONAL LAND SURVEYOR	W.M. WATER METER
BM BENCHMARK	F.P. FLORIDA POWER & LIGHT	PSM PROFESSIONAL SURVEYOR AND MAPPER	W.V. WATER VALVE
CATV CABLE TELEVISION BOX	F.I.R. FOUND IRON PIPE	PL PROPERTY LINE	W.U.P. WOOD UTILITY POLE
CB CATCH BASIN	FND. FOUND	P.O.B. POINT OF BEGINNING	
CBS CONCRETE BLOCK STRUCTURE	FND. FOUND	P.O.C. POINT OF COMMENCEMENT	
CHB CHORD BEARING	L. LEGAL	P.R.M. PERMANENT REFERENCE MONUMENT	
CH CHORD DISTANCE	L.P. LIGHT POLE	P.T. POINT OF TANGENCY	
COR CORNER	LB LICENSED BUSINESS	R. RADIUS	
CT COURT	LS LAND SURVEYOR	R.E. RIGHT-OF-WAY	
C CENTERLINE	MS MEASURED	R.F. RIGHT-OF-WAY	
CL CLEAR	NO. NATIONAL GEODETIC VERTICAL DATUM	R.V. RIGHT-OF-WAY	
CONC. CONCRETE	NO. NOT IDENTIFIABLE	SAN. SANITARY	
C.O. CLEAN OUT	N. NUMBER	S.I.P. SET IRON PIPE	
E.B. ELECTRIC BOX	NTS. NOT TO SCALE	S.I.R. SET IRON ROD	
ELEV. ELEVATION	O.R. OFFICIAL RECORD BOOK	ST. STREET	
ENCR. ENCROACHMENT	ONPL. ON PROPERTY LINE	T. TANGENT	
E.R.P. ELEVATION REFERENCE POINT	O.U.L. OVERHEAD UTILITY LINES	T.B.M. TEMPORARY BENCHMARK	

FLOOD ZONE: X	PROPERTY OF: ANDRES MIYARES AND ANDRIA MIYARES
MAP & PANEL= 12086C0466	11100 SNAPPER CREEK ROAD
COMMUNITY No.: 120639	CORAL GABLES, FLORIDA 33156
SUFFIX: L	
DATE OF FIRM: 9-11-09	
BASE ELEV. = N/A	
L.F. ELEV. = 10.87	NOTES LOWEST HABITABLE FLOOR ELEVATION.
ELEVATIONS SHOWN REFER TO N.G.V.D. 1929.	
LOWEST ADJACENT GRADE = 8.70	
B.M. # SC-33	ELEV. = 17.54 (MIAMI-DADE COUNTY)
GARAGE ELEV. = 10.18	



A BOUNDARY SURVEY

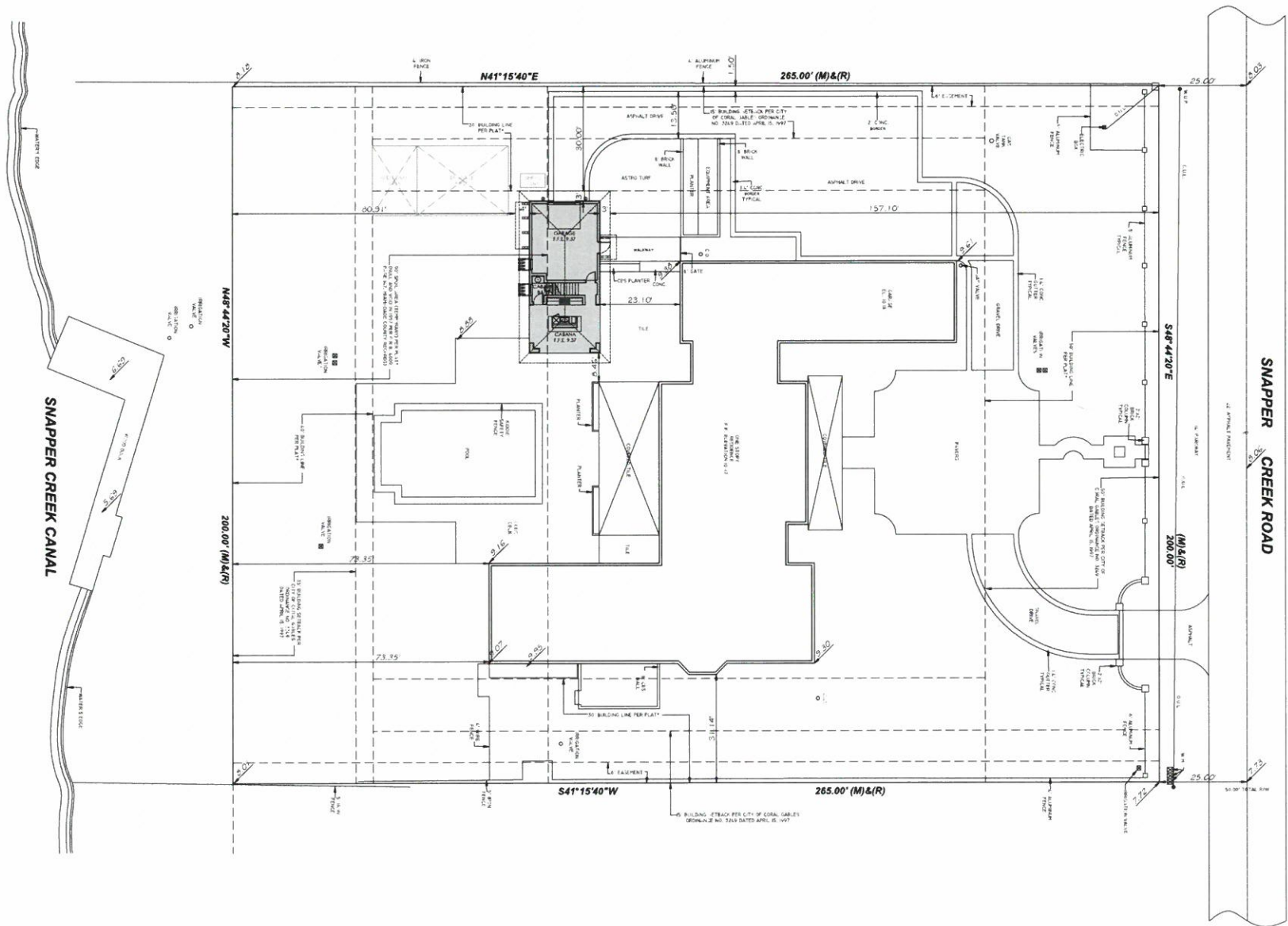
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MINIMUM TECHNICAL STANDARDS OF LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17, (FLORIDA ADMINISTRATIVE CODE), AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 172.027 OF THE FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ERNESTO E. ESPINOSA
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NO. 2046

PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.
LB # 2098
FRANCISCO F. FAJARDO PSM # 4767
359 ALCAZAR AVENUE, CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 559-3002

218866A

DATE: 10-12-2010 SCALE: 1" = 20' DRAWN BY: M. PIO DWG. NO.: 218866A



SITE PLAN

SCALE: 1" = 20'-0"

SFR ZONING DISTRICT DATA

(SITE SPECIFIC ZONING REGULATIONS FOR "SNAPPER CREEK LAKES SUBDIVISION" AND ITS "DECLARATION OF PROTECTIVE COVENANTS")

MAXIMUM ALLOWED BUILDING HEIGHT (FROM FINISHED FLOOR TO TIE-BEAM): ...25'-0"
PROPOSED BUILDING HEIGHT (FROM FINISHED FLOOR TO TIE-BEAM):15'-6"
LOT AREA:53,000 SQ. FT.

F.A.R. CALCULATIONS

LOT AREA: 53,000 SQ. FT.

MAXIMUM ALLOWED:
48% OF 5,000.00 SQ. FT. = 2,400.00 SQ. FT.
35% OF 5,000.00 SQ. FT. = 1,750.00 SQ. FT.
30% OF 43,000.00 SQ. FT. = 12,900.00 SQ. FT.
MAXIMUM ALLOWED =17,050.00 SQ. FT.

PROPOSED (MEASURED FROM INTERIOR FACE OF STRUCTURE):
EXISTING PRINCIPAL STRUCTURE (A/C AREA & GARAGE) =6,663 SQ. FT.
PROPOSED AUXILIARY STRUCTURE (GARAGE, CABANA BATH,
STAIRS & GUEST BEDROOM) =988 SQ. FT.
TOTAL PROPOSED =7,651 SQ. FT.

GROUND AREA COVERAGE CALCULATIONS

MAXIMUM ALLOWED PRINCIPAL STRUCTURE:
53,000 SQ. FT. (LOT AREA) X 15% =7,950 SQ. FT.

PROVIDED EXISTING PRINCIPAL STRUCTURE:
A/C AREA, GARAGE, COVERED TERRACE & FRONT PORCH =7,950 SQ. FT. (15.00%)

MAXIMUM ALLOWED AUXILIARY STRUCTURES:
21,005.60 SQ. FT. (REAR YARD AREA) X 5% =1,050.29 SQ. FT.

PROPOSED AUXILIARY STRUCTURE:
GARAGE, CABANA, CABANA BATH & STAIRS =867 SQ. FT.

SETBACKS

MINIMUM ALLOWED PROVIDED
FRONT 50' (HOUSE) / 75' (AUX) ... 58.00' (HOUSE) / 157.10' (AUX)
REAR 40' (HOUSE) / 40' (AUX) ... 73.35' (HOUSE) / 80.91' (AUX)
INTERIOR SIDE 30' (HOUSE) / 30' (AUX) ... 31.14' (HOUSE) / 50.00' (AUX)

LANDSCAPE OPEN SPACE CALCULATIONS

MINIMUM REQUIRED:
53,000 SQ. FT. (LOT AREA) X 40% = 21,200 SQ. FT.

PROVIDED:
30,660.39 SQ. FT. OR 57.85%

MINIMUM REQUIRED IN FRONT YARD:
21,200 SQ. FT. (TOTAL REQUIRED) X 20% = 4,240 SQ. FT.

PROVIDED:
12,386.84 SQ. FT. OR 58.43%

NOTES

1. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER INTO ADJACENT PROPERTY. GRADING WILL REMAIN LEVELED TO NEIGHBORING PROPERTY GRADE.



LOCATION MAP
NTS

LEGAL DESCRIPTION:
LOT 8, BLOCK 2, "SNAPPER CREEK LAKES SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 57, PAGE 86, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

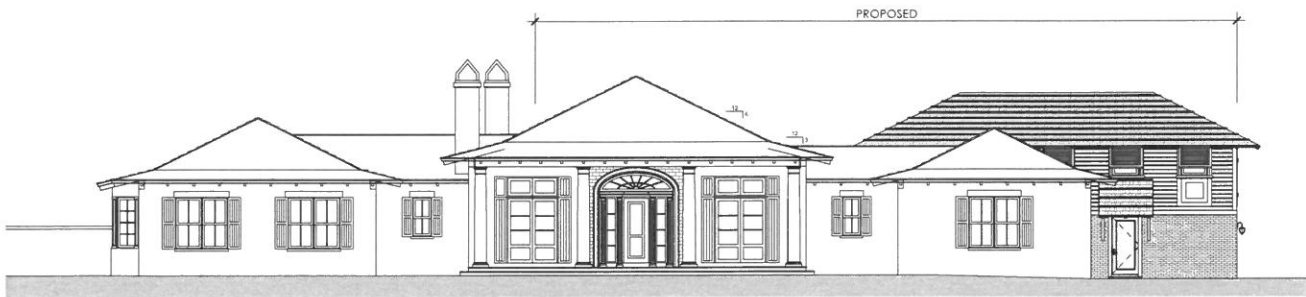
AUXILIARY STRUCTURE ADDITION
11100 SNAPPER CREEK RD.
CORAL GABLES, FLORIDA.

REVISION DATE	BY

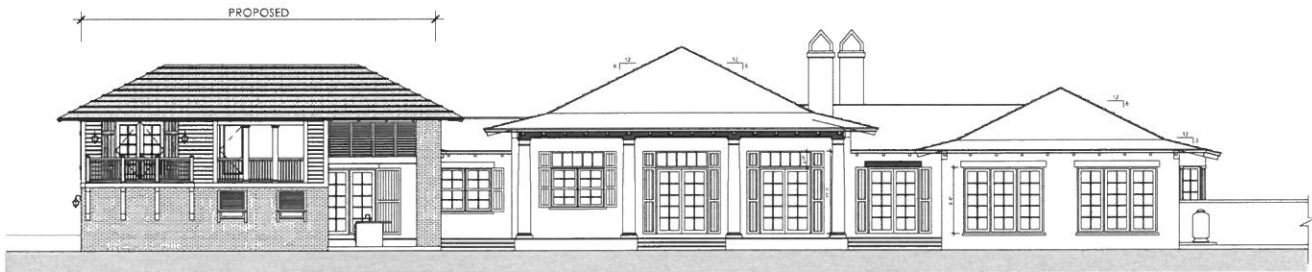
SITE PLAN

SCALE 1 / 16"=1'-0"
DATE 01-11-21
JOB 1007
SHEET

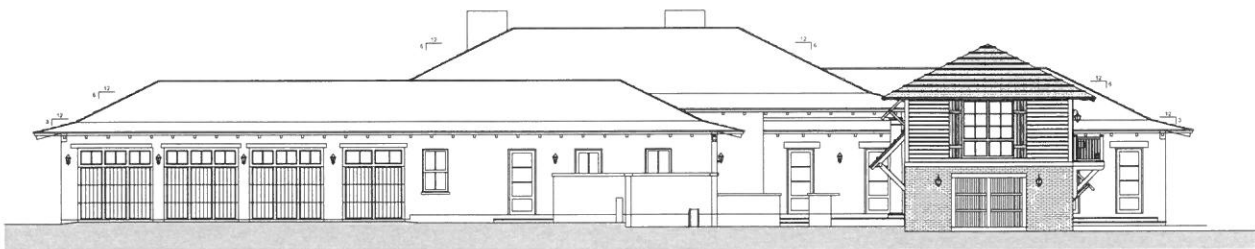
SP-1B



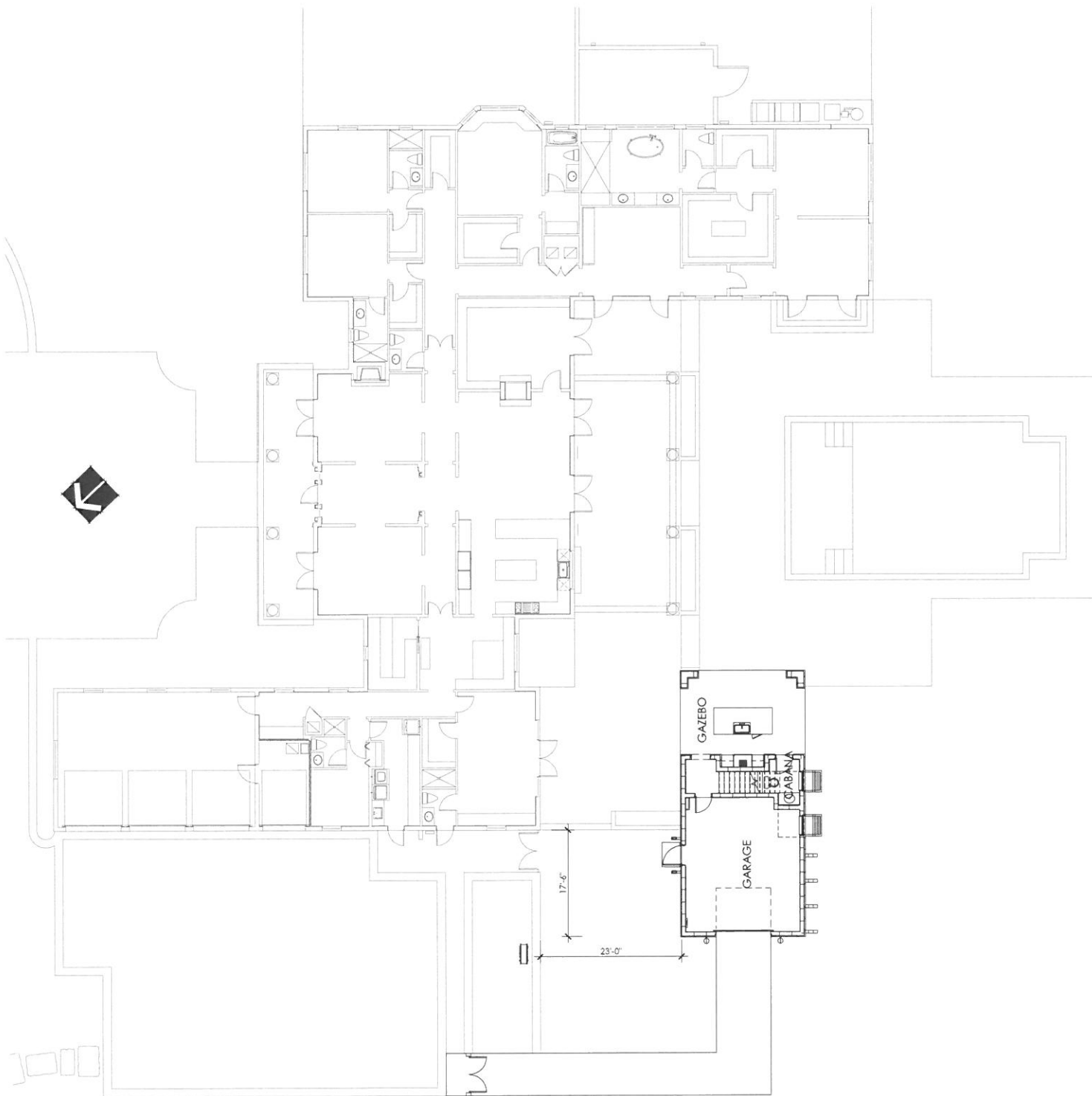
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



FIRST FLOOR PLAN

REVISIONS

SITE PLAN

SCALE 3/32" = 1'-0"

JOB 1007/A

SHEET

A1

4/30/2021

1:04:36 PM

JENNIFER MALLON SALMAN • AR-17181

MAS+

ARCHITECTURAL STUDIO, LLC

7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
(305) 593-9798
WWW.MAS.MIAMI

ACCESSORY DWELLING - GAZEBO & CABANA

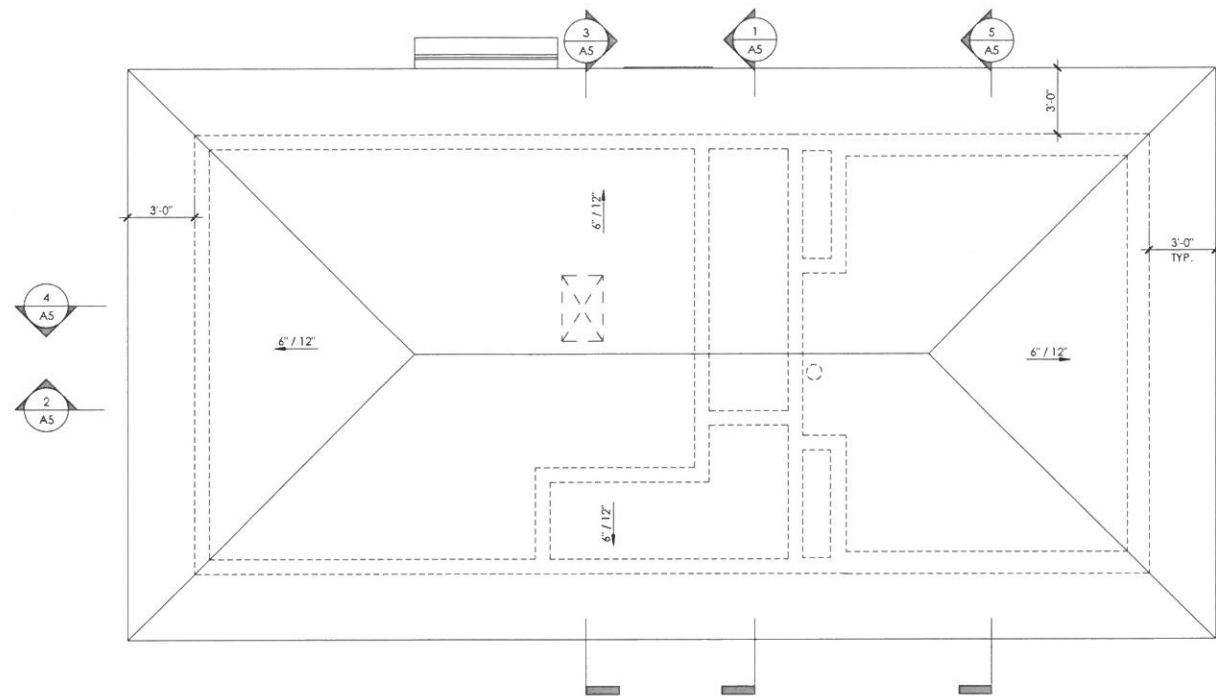
11100 SNAPPER CREEK RD.

CORAL GABLES, FLORIDA.

F:\PROJECTS\MyNotes-Guest House\Revit\MyNotes-Guest House-BBQ OPTION.rvt

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, THREE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF MAS ARCHITECTURAL STUDIO, LLC. ANY PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF MAS ARCHITECTURAL STUDIO, LLC. ANY PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF MAS ARCHITECTURAL STUDIO, LLC. ANY PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF MAS ARCHITECTURAL STUDIO, LLC.

1/1/2021 # A.A.10001191



ROOF PLAN
1/4" = 1'-0"

EXTERIOR DOOR & WINDOW SCHEDULE				
MARK	DESCRIPTION	NOMINAL OPENING SIZE		REMARKS
		WIDTH	HEIGHT	
1	8'-0" x 7'-0" WOOD PLANKS GARAGE DOOR	108"	84"	
2	CAS 3'-2" x 3'-3"	38"	39"	
3	2'-8" x 7'-0" (1) PANELED	34"	85"	
4	3'-0" x 7'-0" (1) PANELED	40"	85"	
5	FP (2) 3'-2" x 5'-0" & DOUBLE BOTTOM TRANSOM	76"	86"	
6	(2) 3'-0" x 7'-0" French	74"	86"	
7	(2) 2'-0" x 7'-0" 2 Paneled	52"	86"	

INTERIOR DOOR SCHEDULE				
MARK	DOOR			REMARKS
	WIDTH	HEIGHT	PANEL TYPE	
I-1	2'-8"	7'-0"	SWING	PANELED (1 PANEL)

FLOOR PLAN KEYNOTES:

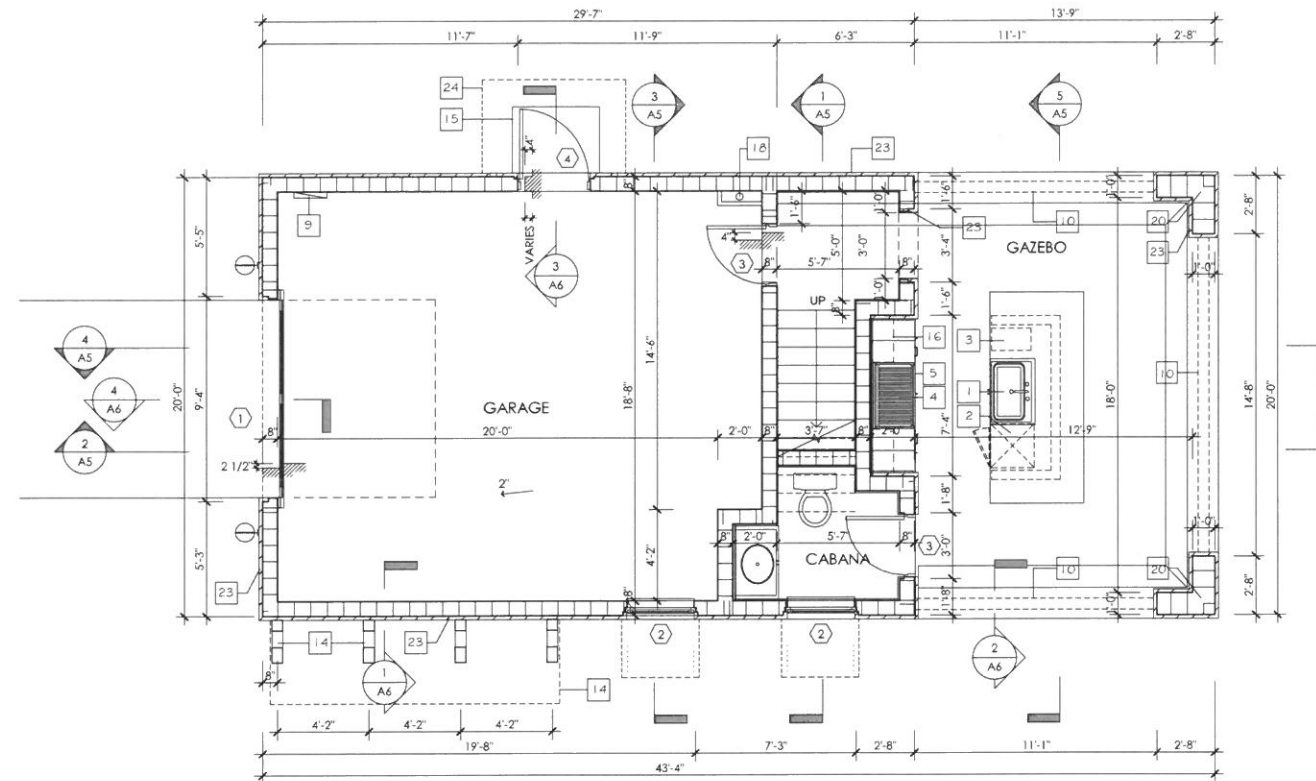
1. SINK W/WASTE DISPOSAL.
2. UNDER COUNTER REFRIGERATOR
3. UNDER COUNTER ICE MAKER.
4. GAS COOKTOP.
5. VENTILATION HOOD ABOVE UP THRU ROOF.
6. CEILING MOUNTED A/C UNIT. (REFER TO MECHANICAL DRAWINGS)
7. CONDENSING UNIT (REFER TO MECHANICAL DRAWINGS)
8. TANKLESS ELECTRICAL WATER HEATER (REFER TO MECHANICAL DRAWINGS)
9. ELECTRICAL PANEL (REFER TO ELECTRICAL DRAWINGS)
10. LINE OF FIXED LOUVERS ABOVE
11. SHOWER ENCLOSURE, SAFETY GLASS CAT II 22" WIDE DOOR MIN
12. ALUMINUM SAFEGUARD SEE DETAIL
13. WOOD RAFTER (SEE STRUCTURAL DRAWINGS)
14. STRUCTURAL BRACKET & BEAM (REFER TO STRUCTURAL DRAWINGS)
15. CONCRETE SLAB REFER TO STR DWGS
16. WALL MOUNTED CABINETS ABOVE
17. ATTIC ACCESS
18. SANITARY PIPE FROM SECOND FLOOR (REFER TO PLUMBING)
19. WOOD BEAM (SEE STRUCTURAL DRAWINGS)
20. MASONRY COLUMN (REFER TO STRUCTURAL DRAWINGS)
21. ALUMINUM LOUVER (SEE ELEVATION DETAILS)
22. ALUMINUM BAHAMA SHUTTER.
23. BRICK FINISH (SEE DETAILS)
24. LINE OF ROOF ABOVE
25. DECORATIVE SHUTTER (SEE ELEVATIONS AND DETAILS)
26. METAL FRAME (SEE STRUCTURAL NOTES & DETAILS)

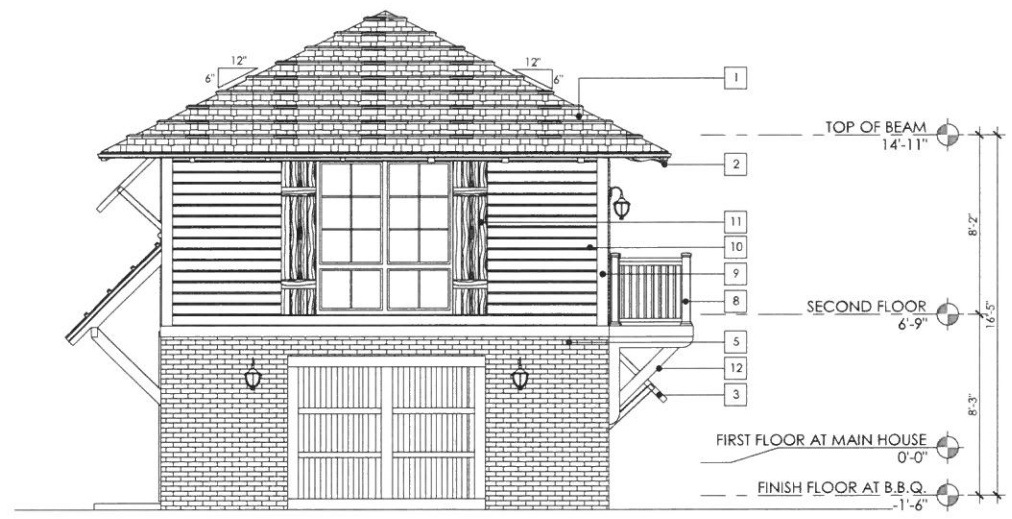
WINDOWS AND DOOR NOTES:

1. CONTRACTOR TO VERIFY ALL DOOR AND WINDOW OPENINGS WITH SELECTED MANUFACTURER PRIOR TO CONSTRUCTION.
2. WINDOWS AND SLIDING DOORS TO BE PROVIDED WITH SCREENS.
3. WINDOWS AND DOORS TO BE IMPACT RESISTANT.
4. MAIN ENTRANCE DOOR TO BE IMPACT RESISTANT AND NEVER TO BE SHUTTERED.
5. WINDOWS AND EXTERIOR DOORS TO BE WHITE E.S.P. FINISHED.
6. GLASS TO BE CLEAR UNLESS NOTED OTHERWISE.
7. FOR WINDOW PRESSURE INFORMATION REFER TO STR DWGS.

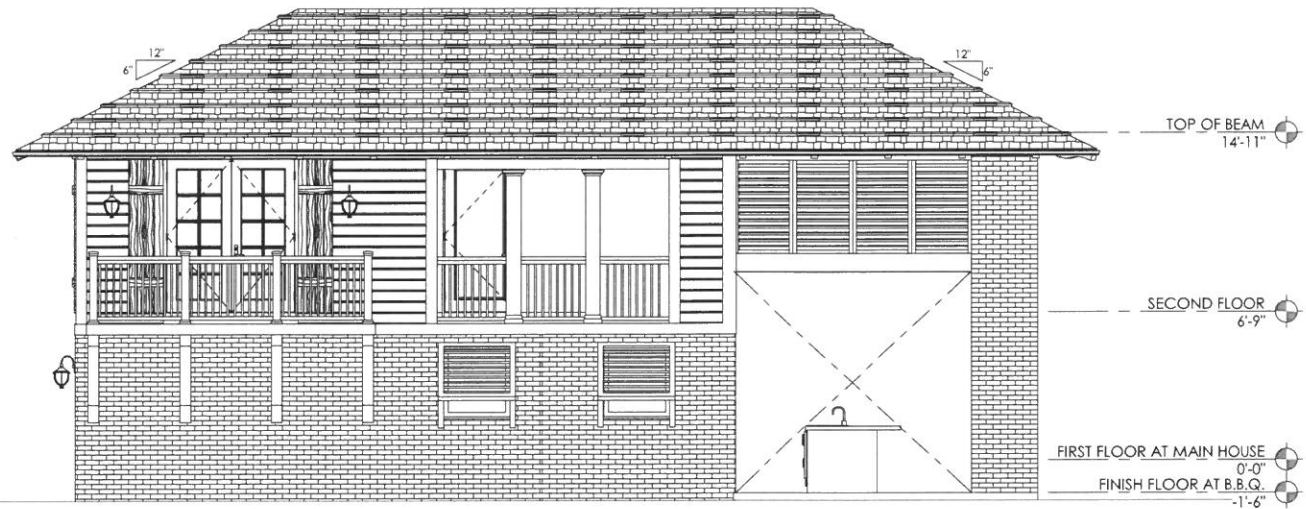
AREA SUMMARY

GUEST BEDROOM	476 SF
A/C AREA	476 SF
BALCONY	53 SF
CABANA	53 SF
GARAGE	525 SF
GAZEBO	289 SF
VERANDA	42 SF
NON A/C AREA	981 SF
GRAND TOTAL:	1458 SF

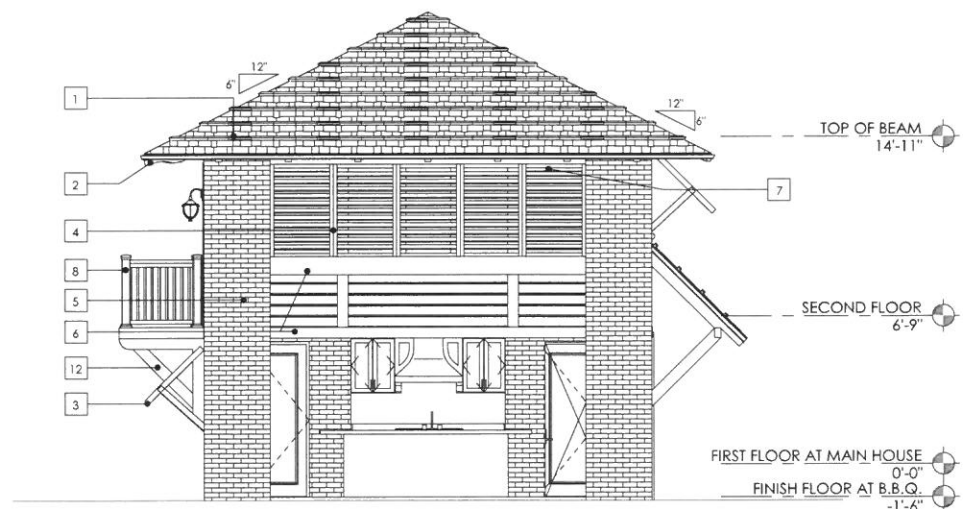




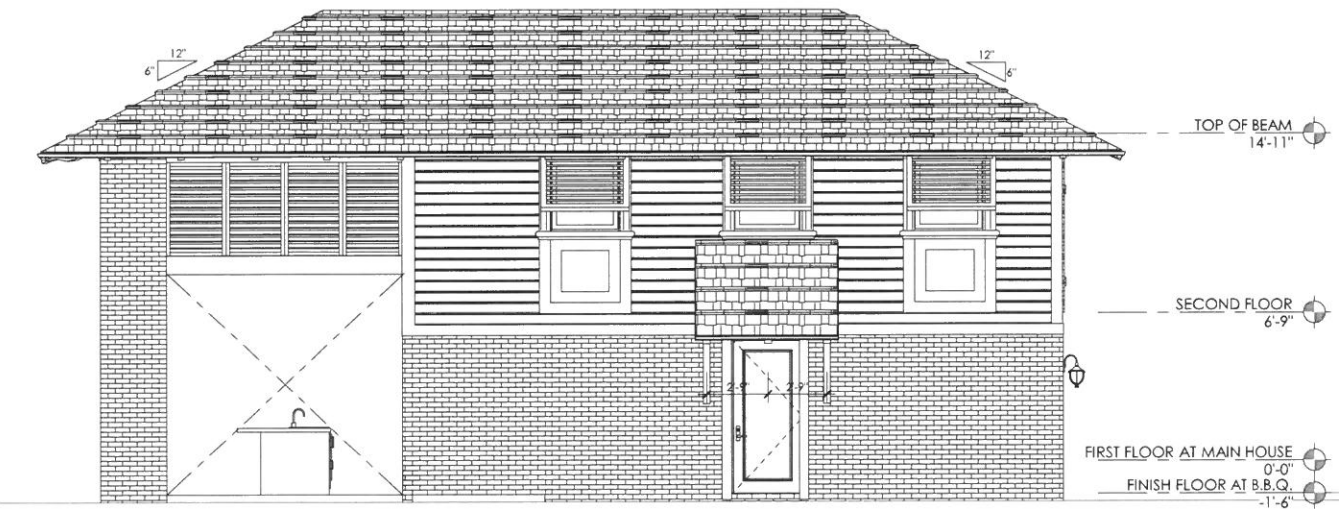
STREET FRONT ELEVATION
1/4" = 1'-0"



RIGHT (WEST) ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

COLORS:

BRICK & STUCCO
TRIM
SHUTTERS
WINDOWS & DOORS
RAFTER
BALCONY RAILINGS
JAMES HARDIE LAP SIDING & TRIM

WHITE TAIL SW 7103
NATURAL CHOICE SW 7011
ROCKWOOD SHUTTER GREEN SW2809
WHITE
WHITE TAIL SW 7103
WHITE
WHITE TAIL SW 7103

ELEVATION KEYNOTES:

1. CEMENT FLAT TILE TO MATCH EXISTING.
2. 3" X 8" WOOD RAFTER PAINTED.
3. ALUMINUM BAHAMA SHUTTERS
4. ALUMINUM COVERED SHUTTERS
5. BRICK FACING PAINTED
6. SMOOTH FINISH STUCCO
7. DECORATIVE WOOD UNTEL
8. ALUMINUM BALCONY RAILING
9. WOOD CLADDING OVER STEEL COLUMN PAINTED
10. JAMES HARDIE LAP SIDING & TRIM
11. FIXED WOOD SHUTTERS
12. WOOD BRACKET.

7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
(305) 593-9798
WWW.MAS.MIAMI

MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

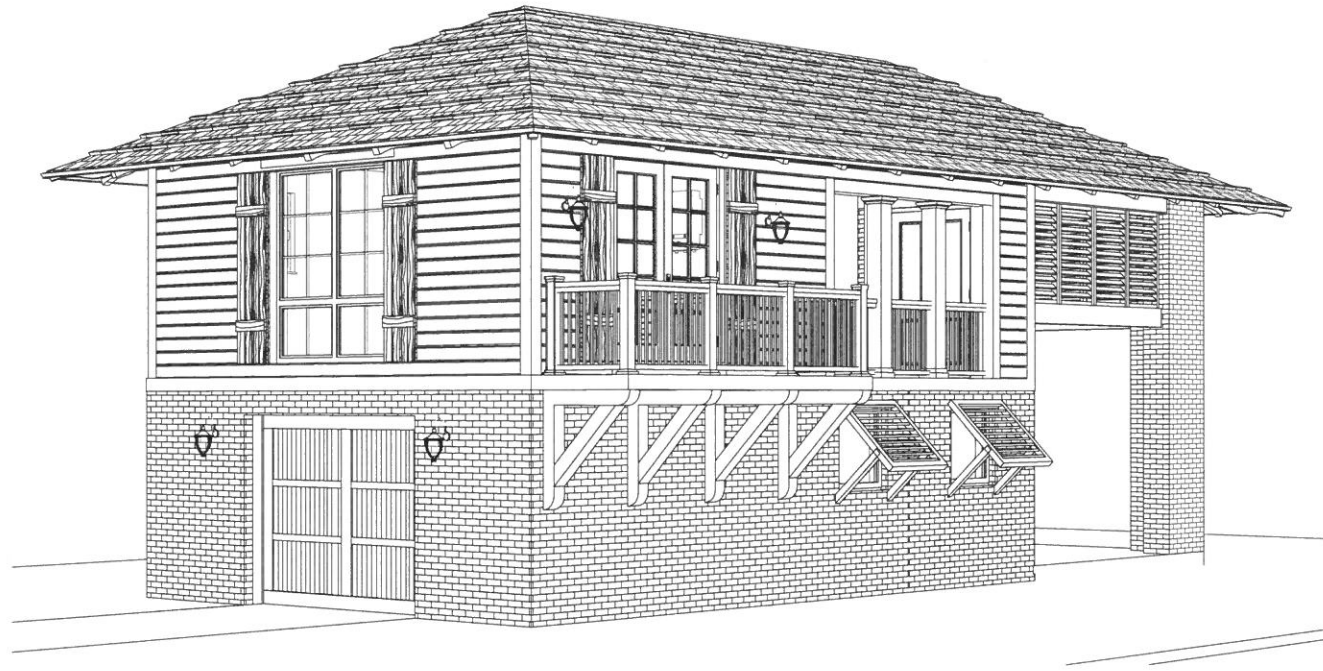
ACCESSORY DWELLING - GAZEBO & CABANA
11100 SNAPPER CREEK RD.
CORAL GABLES, FLORIDA.

REVISIONS

ELEVATIONS

SCALE 1/4" = 1'-0"
JOB 1007/A
SHEET
A3

4/30/2021
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JENNIFER MALLON SALAMAN • AR-17161



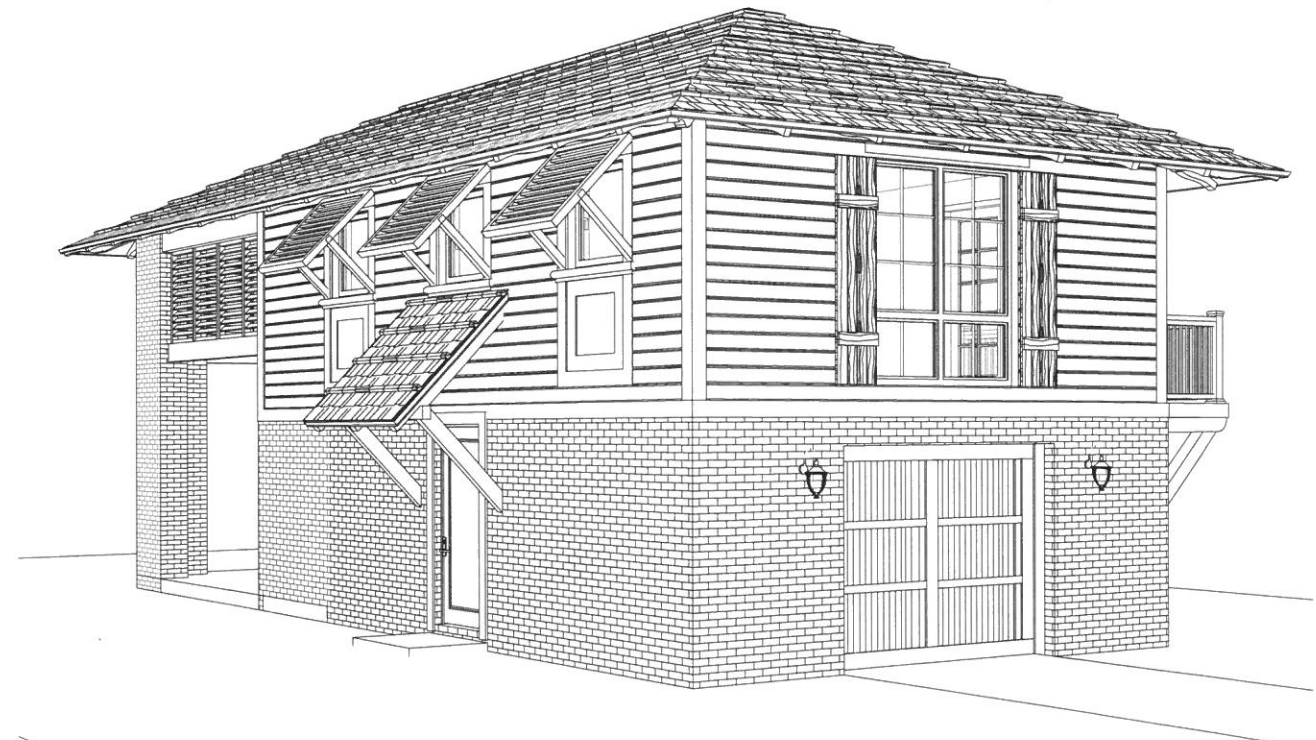
3D View 1



3D View 2



3D View 3



3D View 4

7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
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MIAMI ARCHITECTURAL STUDIO, LLC

ACCESSORY DWELLING - GAZEBO & CABANA
11100 SNAPPER CREEK RD.
CORAL GABLES, FLORIDA.

REVISIONS	

PERSPECTIVES

SCALE
JOB: 1007/A
SHEET

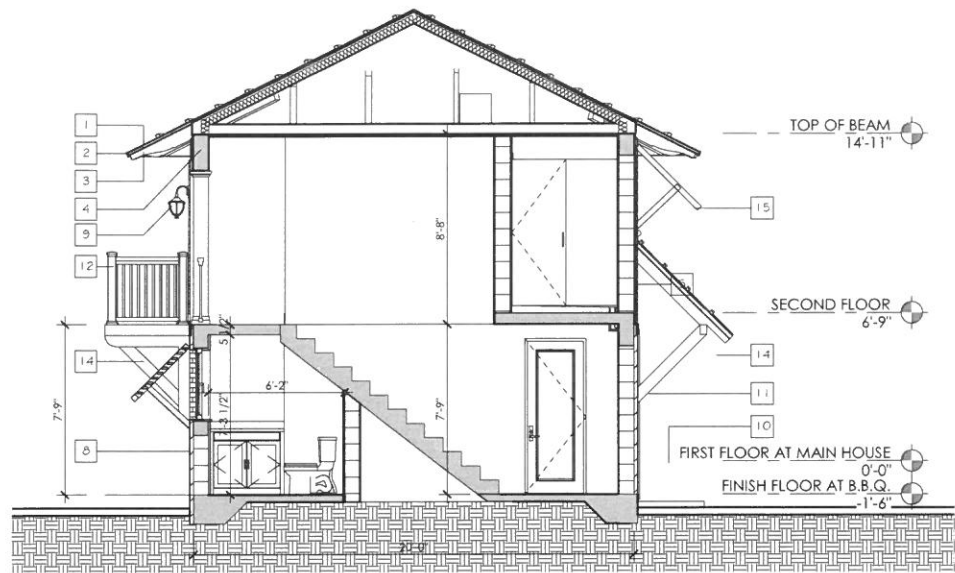
A4

4/30/2021
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P:\PROJECTS\Myares-Guest House\Revit\Myares-Guest House-BBQ OPTION.rvt

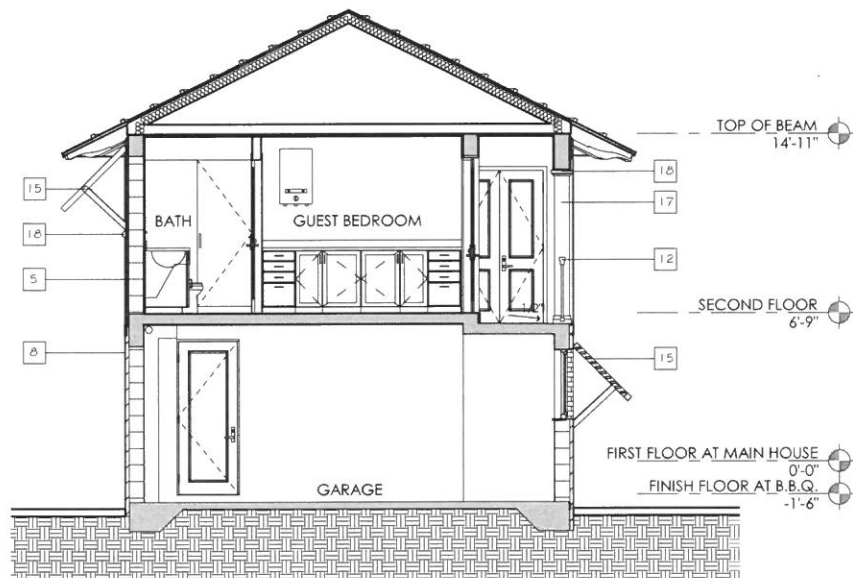
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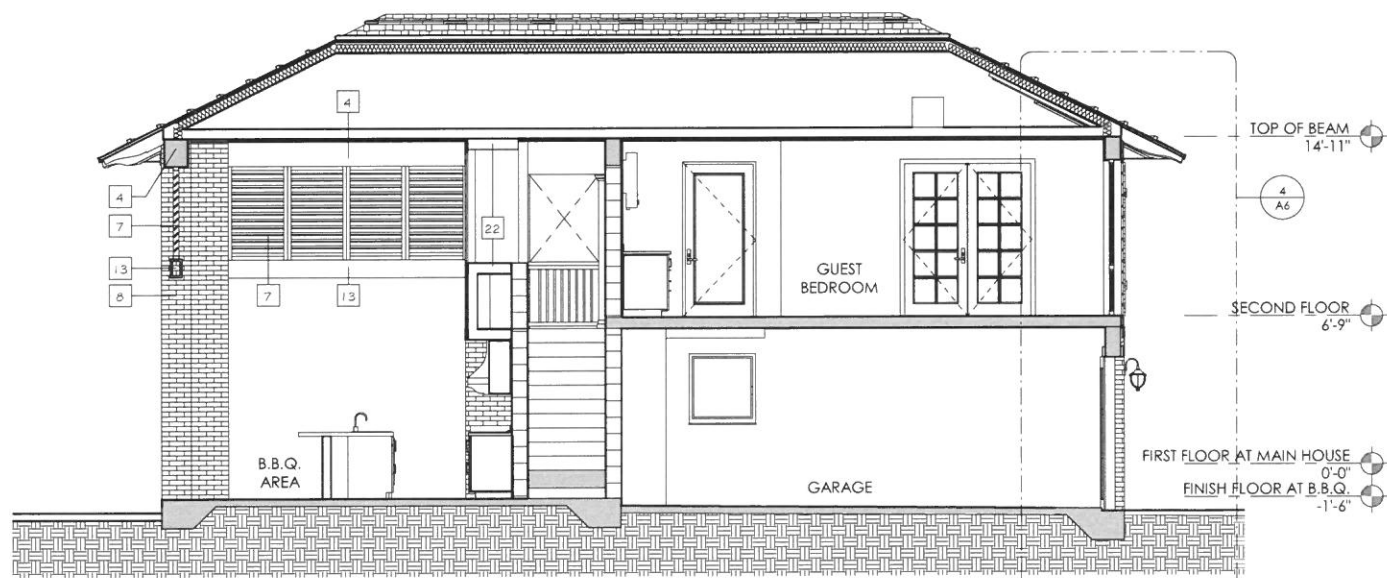
1 SECTION 1
A5 1/4" = 1'-0"



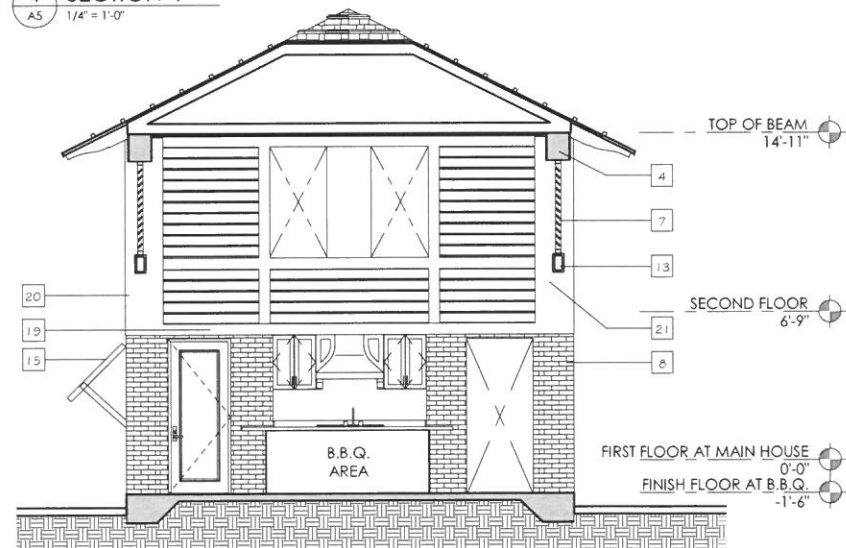
2 SECTION 2
A5 1/4" = 1'-0"



3 SECTION 3
A5 1/4" = 1'-0"



4 SECTION 4
A5 1/4" = 1'-0"



5 SECTION 5
A5 1/4" = 1'-0"

SECTION KEYNOTES:

1. CEMENT FLAT TILE TO MATCH EXISTING.
2. METAL DRIP
3. 4" X 8" WOOD OUTLOOKER
4. BEAM. REFER TO STRUCTURAL DRAWINGS
5. SMOOTH FINISH STUCCO LAP SIDING (SEE DETAILS)
6. DECORATIVE WOOD SHUTTER (SEE DETAIL)
7. ALUMINUM LOUVER (SEE DETAIL)
8. BRICK FINISH (SEE DETAIL)
9. LIGHT FIXTURE
10. CONDENSING UNIT (REFER TO MECHANICAL DRAWINGS)
11. TANKLESS GAS WATER HEATER (REFER TO MECHANICAL DRAWINGS)
12. ALUMINUM RAILING (SEE DETAIL)
13. ALUMINUM BEAM (REFER TO STRUCTURAL DRAWINGS)
14. STRUCTURAL BRACKET (SEE STRUCTURAL DWG & ARCHITECTURAL DETAILS)
15. BAHAMA ALUMINUM SHUTTER
16. INDOOR A/C UNIT. (REFER TO MECHANICAL DRAWINGS)
17. CONCRETE COLUMN. (REFER TO STRUCTURAL DRAWINGS)
18. DECORATIVE MOULDING PROFILE (SEE DETAILS)
19. 1 1/2" X 6" SMOOTH STUCCO BAND
20. CLAPBOARD CORNER TRIM
21. 5/8" MIN. LIGHT TEXTURE STUCCO FINISH
22. METAL FRAME (SEE STRUCTURAL NOTES & DETAILS)

ACCESSORY DWELLING - GAZEBO & CABANA
11100 SNAPPER CREEK RD.
CORAL GABLES, FLORIDA.

REVISIONS

BUILDING
SECTIONS

SCALE 1/4" = 1'-0"

JOB 1007/A

SHEET

A5

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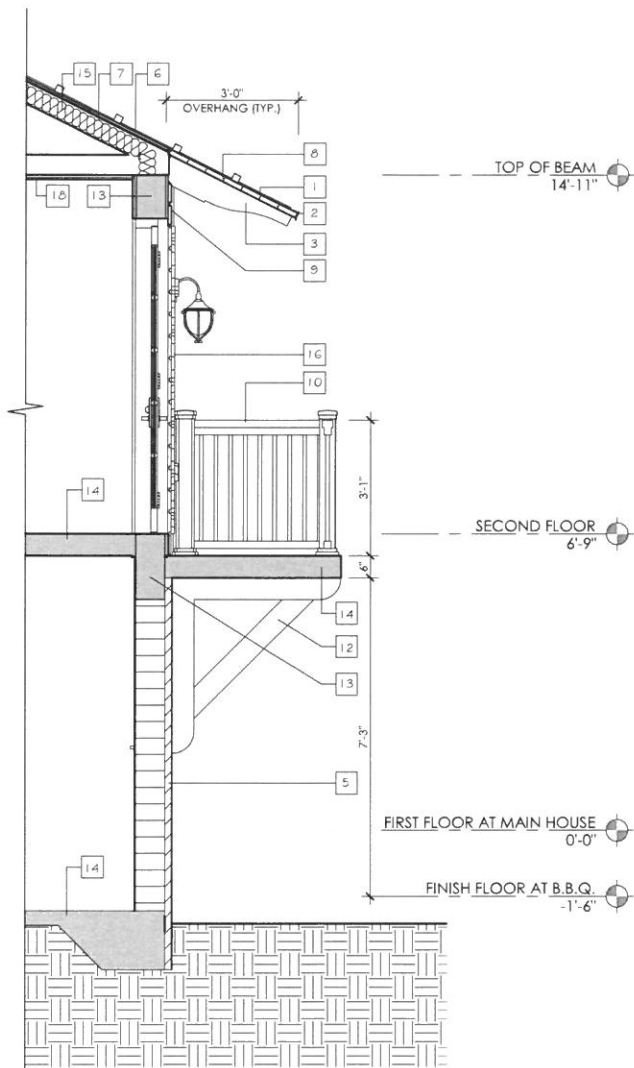
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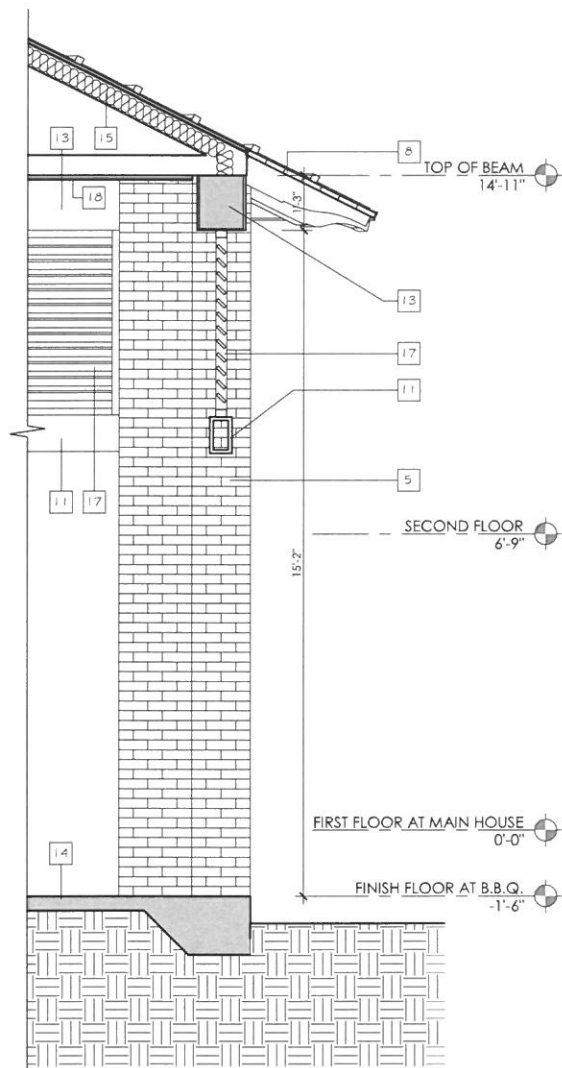
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DORAL FL 33122
(305) 593-9798
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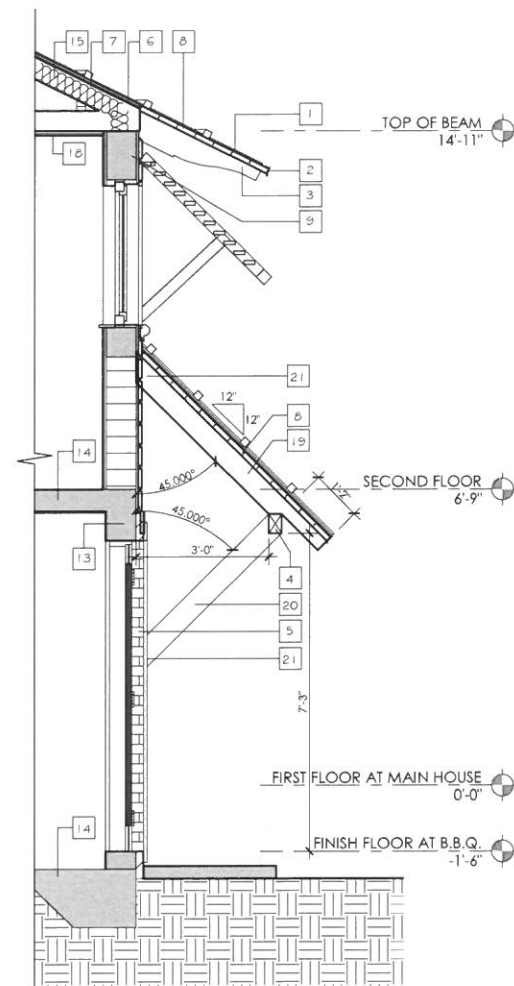
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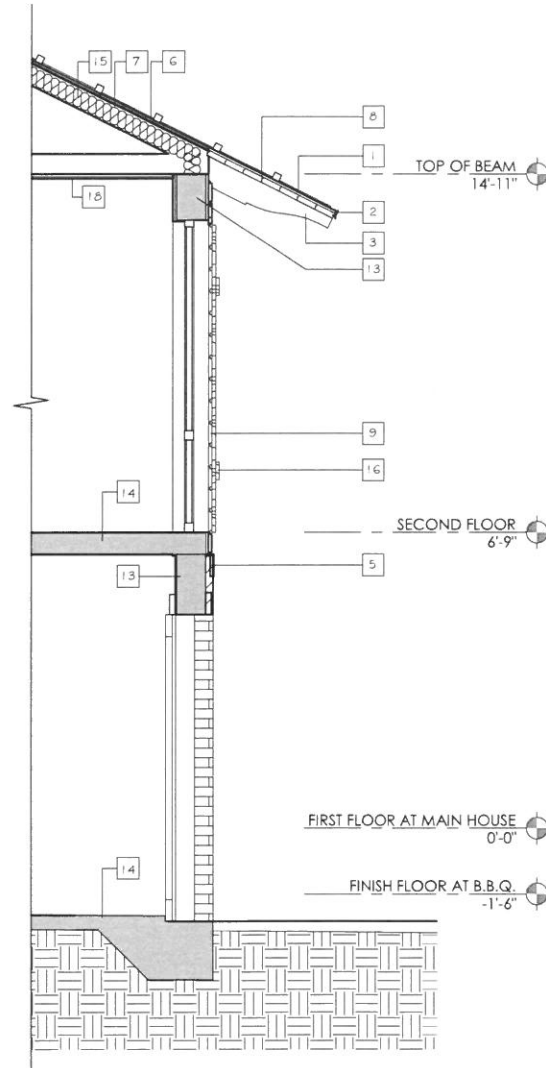
1 WALL SECTION 1
A6 1/2" = 1'-0"



2 WALL SECTION 2
A6 1/2" = 1'-0"



3 WALL SECTION 3
A6 1/2" = 1'-0"



4 WALL SECTION 4
A6 1/2" = 1'-0"

WALL SECTION KEYNOTES:

1. CEMENT FLAT ROOF TILE.
2. 25 GAUGE METAL DRIP.
3. 4" X 8" WOOD OUTLOOKER.
4. 4" X 6" WOOD BEAM. REFER TO STRUCTURAL DRAWINGS.
5. BRICK FINISH (SEE DETAIL).
6. 3/4" PLYWOOD SHEATHING.
7. PREFABRICATED WOOD TRUSSES SPACED AT 24" O.C. MAX. (SEE STR DWGS).
8. 2 X 6 T & G.
9. SMOOTH FINISH STUCCO LAP SIDING (SEE DETAILS).
10. ALUMINUM HANDRAIL / SAFEGUARD TO RESIST 200 LBS. SIDE IMPACT AND REJECT A 4" DIAMETER OBJECT. PROVIDE SHOP DRAWING FOR ARCHITECT APPROVAL. SEE DETAIL.
11. STEEL BEAM WRAPPED IN HARDI TRIM (REFER TO STRUCTURAL DRAWINGS).
12. STRUCTURAL BRACKET (SEE STRUCTURAL DRAWINGS & ARCHITECTURAL DETAIL).
13. CONCRETE BEAM (REFER TO STR DWGS).
14. CONCRETE SLAB (REFER TO STR DWGS).
15. "ICYNENE" INSULATION APPLIED TO UNDERSIDE OF SHEATHING.
16. DECORATIVE WOOD SHUTTER. (SEE DETAILS).
17. ALUMINUM LOUVER (SEE DETAIL).
18. 5/8" GYP. BD. ATTACHED DIRECTLY TO UNDERSIDE OF ROOF TRUSSES.
19. 4 X 8 WOOD RAFTER, LAG SCREW TO BEAM (SEE STRUCTURAL DRAWINGS).
20. 4 X 6 WOOD BEAM, METAL "T" PLATE TO WALL. (SEE STRUCTURAL DRAWINGS).
21. 2 X 6 T & G METAL "T" PLATE TO WALL.

P:\PROJECTS\Myares-Guest House\Revit\Myares-Guest House-BBQ OPTION.rvt

REVISIONS	

WALL SECTIONS	
SCALE	As indicated
JOB	1007/A
SHEET	A6

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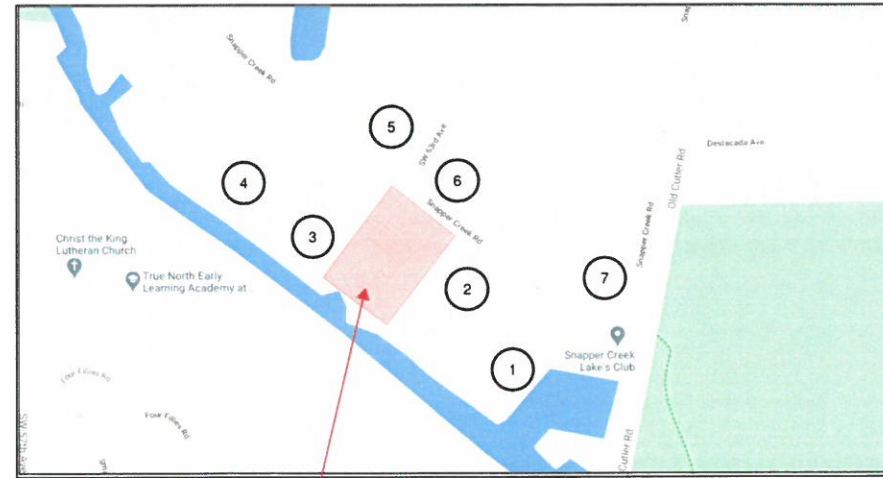
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NOTE: HOUSES 2 AND 5 ARE NOT VISIBLE FROM THE STREET DUE TO LANDSCAPING.



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(305) 593-9798
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W+S
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AUXILIARY STRUCTURE ADDITION
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CORAL GABLES, FLORIDA.

REVISIONS	

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