JOHN IBARRA & ASSOCIATES, INC.

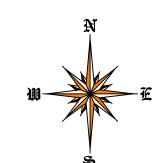
Professional Land Surveyors & Mappers
www.ibarralandsurveyors.com

777 N.W. 72nd AVENUE SUITE 3025 MIAMI, FLORIDA 33126 PH: (305) 262-0400

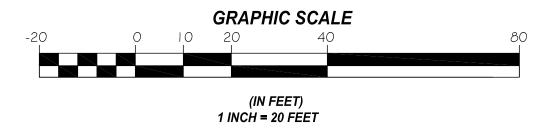
FAX: (305) 262-0401

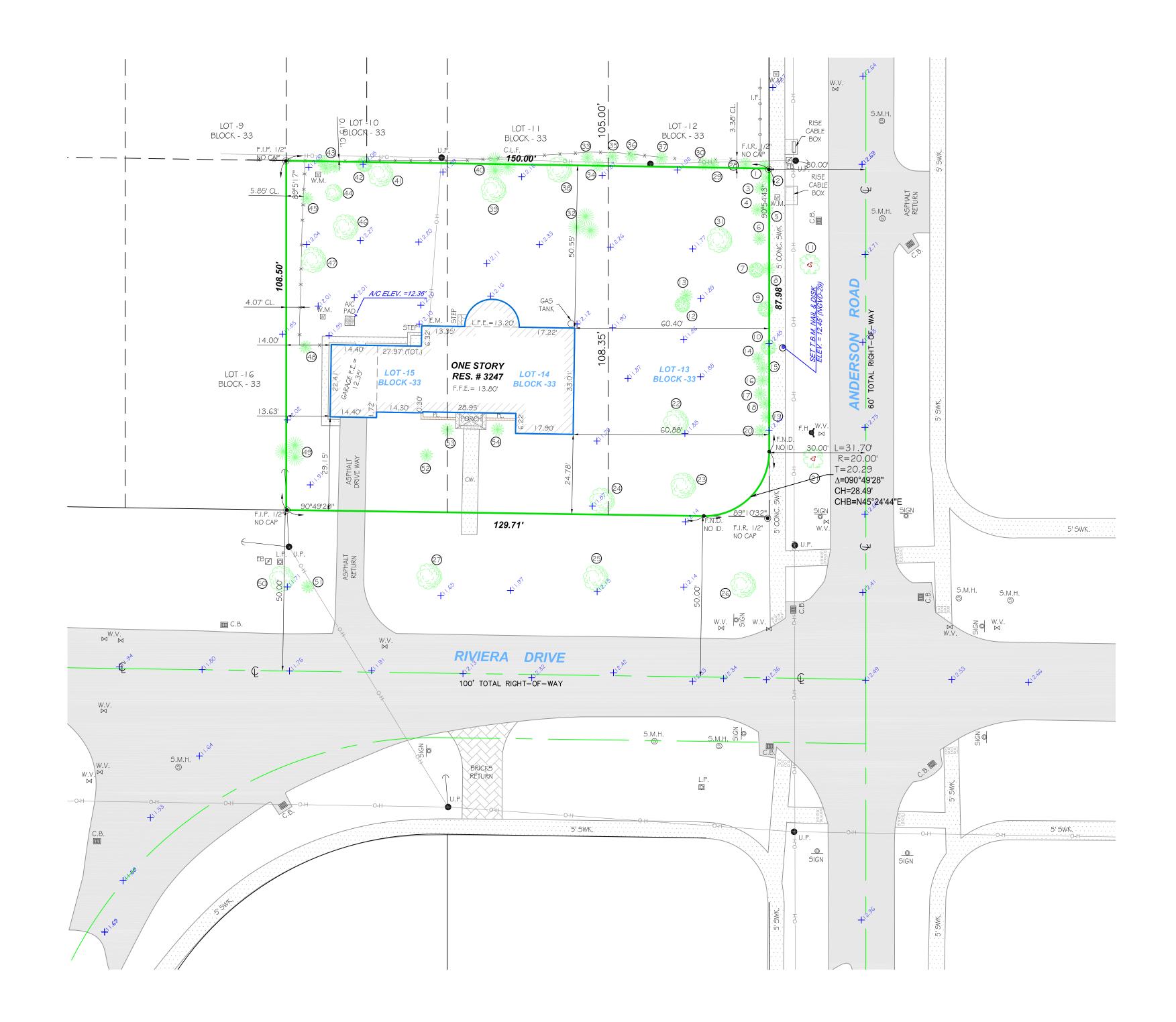
3725 DEL PRADO BLVD. S. SUITE B CAPE CORAL, FL 33904 PH: (239) 540-2660 FAX: (239) 540-2664



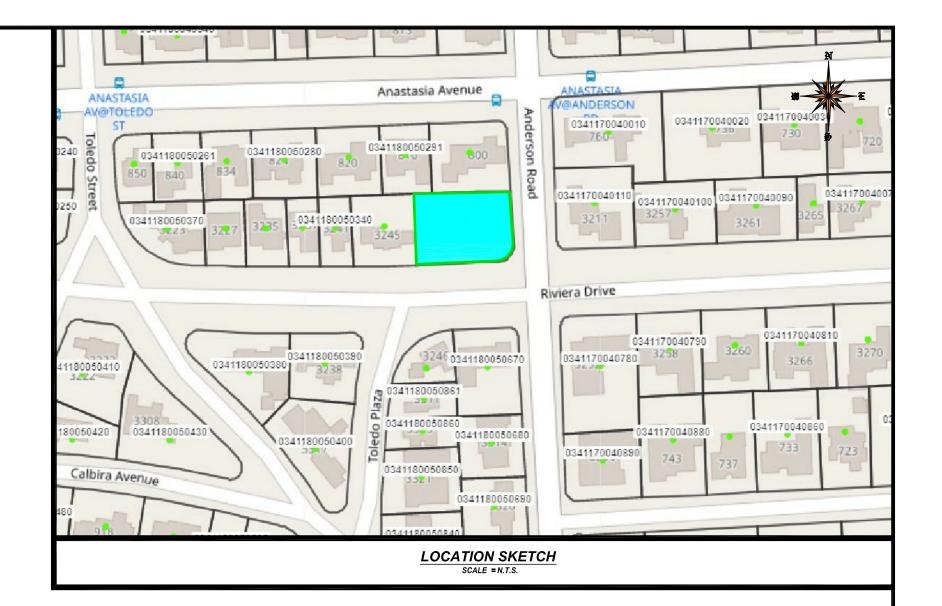


MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY





TREE TABLE				
No.	Name	Diameter (in.)	Height (Ft.)	Spread (Ft.)
1	ALEXANDER PALM	2	10-12	10-12
2	QUEEN PALM	8	20-25	20-25
3	ALEXANDER PALM	3		
			25-30	15-20
4	ALEXANDER PALM	3	25-30	15-20
5	QUEEN PALM	7	20-25	20-25
6	ALEXANDER PALM	3	20-25	15-20
7	WOMAN'S TONGUE	7	35-40	20-25
8	ALEXANDER PALM	3	20-25	15-20
9	GUMBO LIMBO	2.5	15-20	6-8
10	MANGO	9	35-40	20-25
11	LIVE OAK	20	35-40	40-45
12	LYCHEE	42	35-40	35-40
13	QUEEN PALM	5	20-25	15-20
14	ALEXANDER PALM	3	25-30	15-20
15	QUEEN PALM	N/A	10-12	8-10
16	ALEXANDER PALM	3	20-25	15-20
17	QUEEN PALM	4	12-14	10-12
18	QUEEN PALM	4	16-18	10-12
19	QUEEN PALM	6	20-25	20-25
20	ALEXANDER PALM	3	12-14	12-14
	LIVE OAK			
21		18	35-40	35-40
22	ROYAL POINCIANA	20	30-35	50-55
23	CASSIA TREE	5	20-25	15-20
24	CASSIA TREE	30	30-35	25-30
25	MAHOGANY	35	45-50	45-50
26	MAHOGANY	37	45-50	50-55
27	MAHOGANY	40	45-50	50-55
28	ALEXANDER PALM	3	20-25	15-20
29	ALEXANDER PALM	3	25-30	10-15
30	ALEXANDER PALM	2	10-15	10-15
31	PURPLE ORCHID TREE	8	25-30	10-15
32	ARECA PALM	40	15-20	20-25
33	QUEEN PALM	4	20-25	4-5
34	ALEXANDER PALM	2	10-12	10-12
35	ALEXANDER PALM	5	20-25	4-5
36	ALEXANDER PALM	3	25-30	15-20
37	ALEXANDER PALM	3	15-20	15-20
38	PURPLE ORCHID TREE	23	30-35	25-30
39	PURPLE ORCHID TREE	13	25-30	25-30
40	ARECA PALM	40	15-20	20-25
41	MANGO	12	25-30	20-25
42	SEAGRAPE	3	12-14	12-14
43	ALEXANDER PALM	9	15-20	15-20
44	AVOCADO	5	30-35	15-20
45	QUEEN PALM	6	35-40	20-25
46	MANGO	56	30-35	45-50
47	AVOCADO	31	30-35	25-30
48	QUEEN PALM	3	10-12	10-12
49	ARECA PALM	15	10-12	15-20
50	MAHOGANY	29	45-50	35-40
51	ROEBELENII PALM	2.5	6-8	6-8
52	QUEEN PALM	8	25-30	15-20
53	ALEXANDER PALM	3		10-12
54	ALEXANDER PALM	4	15-20 15-20	10-12



LEGAL DESCRIPTION:

LOT 13-14 AND 15, BLOCK 33, OF COUNTRY CLUB SECTION, PART THREE OF CORAL GABLES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

CORAL GABLES, FLORIDA 33134

ABBREVIATIONS

BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE

C.B. = CONCRETE BLOCK WALL

C.B. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL

CH.L. = CHORD LENGTH
CL. = CLEAR
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE
C.M.E = CANAL MAINTENANCE EASEMENT

D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT

FT. = FEET FNIP. = FEDERAL NATIONAL INSURANCE PROGRAM

IN.&EG. = INGRESS AND EGRESS EASEMENT

I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE

I.F. = IRON FENCE L.B. = LICENSED BUSINESS L.P. = LIGHT POLE L.F.E. = LOWEST FLOOR ELEVATION L.M.E. = LAKE MAINTENANCE EASEMENT

NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE

' = MINUTES
(M) = MEASURED DISTANCE M.B. = MAIL BOX
M.D.C.R.= MIAMI DADE COUNTY RECORDS M.E. = MAINTENANCE EASEMENT

N.1.S. - NOT TO SCALE
or NO. = NUMBER
O/S = OFFSET
O.H. = OVERHEAD UTILITY LINES

O.R.B. = OFFICIAL RECORDS BOOK O.V.H. = OVERHANG PVMT. = PAVEMENT

P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT

P.U.E. = PUBLIC UTILITY EASEMENT
(R) = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
RW = RIGHT-OF-WAY

S.V. = SEWER VALVE

TWP = TOWNSHIP
UTIL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE

W.M. = WATER METER W.F. = WOOD FENCE W.P. = WOOD PORCH

W.R. = WOOD ROOF W.V. = WATER VALVE

= MONUMENT LINE = CENTER LINE = DELTA

" = SECONDS T = TANGENT TB = TELEPHONE BOOTH

T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE

RAD. = RADIUS OR RADIAL
RGE. = RANGE
R.O.E. = ROOF OVERHANG EASEMENT

P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE

P.C.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE

PWY = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.P.S. = POOL PUMP SLAB

PL. = PLANTER
P.L. = PROPERTY LINE

PWY = PARKWAY

M.H. = MANHOLE N.A.P. = NOT A PART OF

EB = ELECTRIC BOX E.T.P. = ELECTRIC TRANSFORMER PAD

CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB

C.W. = CONCRETE WALK

= DEGREES

ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT

F.I.R. = FOUND IRON ROD

F.N.D. = FOUND NAIL & DISK

F.N. = FOUND NAIL H. = HIGH OR (HEIGHT)

A = ARC.
A/C = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT

A.R. = ALUMINUM ROOF A.S. = ALUMINUM SHED ASPH. = ASPHALT B.C. = BLOCK CORNER

CH. = CHORD CH.B. = CHORD BEARING

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

•THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY. • EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED

INSTRUMENTS. IF ANY. AFFECTING THE PROPERTY. • THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF

• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY. • BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK

PERFORMED IN THE FIELD. COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE: THE WALLS OR

FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES. • EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.

•THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS. • ARCHITECTS SHALL VERIFY ZONING REGULATIONS. RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE

FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE

• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS. • FENCE OWNERSHIP NOT DETERMINED.

•THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE

CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN: FLOOD ZONE:

BASE FLOOD ELEVATION: N/A. COMMUNITY: 120639 PANEL: 0457

SUFFIX: DATE OF FIRM: 09/11/2009

THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO

COUNTY, TOWNSHIP MAPS.

2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT. 3. CERTIFICATE OF AUTHORIZATION LB # 7806.

4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF CORAL GABLES; BENCH MARK # 350; ELEVATION IS 12.91 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION:

HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.



01/20/2021

JOHN IBARRA (DATE OF FIELD WORK)

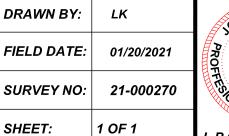
PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____ REVISED ON:___

LEGEND

O-H	= OVERHEAD UTILITY LINES
	= CONCRETE BLOCK WALL
X X X X	= CHAIN LINK FENCE
0 0 0 0	= IRON FENCE
 	= WOOD FENCE
	= BUILDING SETBACK LINE
	= UTILITY EASEMENT
 	= LIMITED ACCESS R/W
	= NON-VEHICULAR ACCESS
× 0.00	= EXISTING ELEVATIONS

ITILITY LINES LOCK WALL ENCE TBACK LINE MENT ESS R/W LAR ACCESS R/W





RESIDENCE FOR MR. JASON HERTZBERG

LEGAL DESCRIPTION

LOTS 13, 14, AND 15, BLOCK 33, CORAL GABLES COUNTRY CLUB SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE RECORDS OF MIAMI-DADE COUNTY, FLORIDA

FLOOD INFORMATION

FLOOD ZONE = XBASE FLOOD ELEVATION = N/A
COMMUNITY No = 120539
PANEL No = 0457
DATE OF FIRM = 09/11/2009
AREA OF A MINIMAL FLOOD HAZARD.

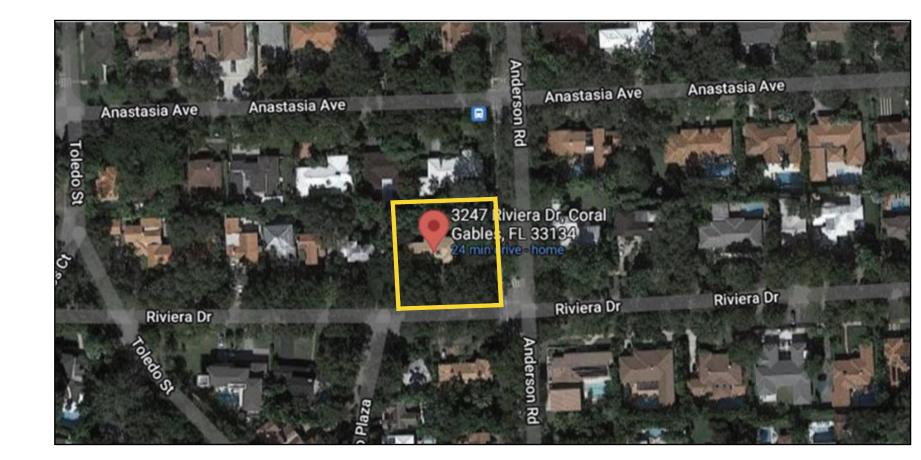
ALL APPLICABLE CODES.

(*) FLOOD INFORMATION IS BASED ON A SURVEY PREPARED BY JOHN IBARRA, DATED 01/20/2020

APPLICABLE CODES

FLORIDA BUILDING CODE (F.B.C.), RESIDENTIAL 2020 7th EDITION. N.F.P.A. 2012 EDITION. NATIONAL ELECTRICAL CODE, 2017 EDITION.

DRAWING INDEX		
SHEET No.	SHEET NAME	
ARCHITECTURAL		
C.01	COVER SHEET	
C.02	CONTEXT ELEVATIONS	
SP.01	EXISTING SITE PLAN	
SP.02	PROPOSED SITE PLAN	
SP.03	ZONING DIAGRAM	
A1.01	PROPOSED FLOOR PLAN	
A1.02	PROPOSED ROOF PLAN	
A2.01	ELEVATIONS	
A2.02	ELEVATIONS	
LANDSCAPE & IRRIGATION		
TD.1	TREE DISPOSITION PLAN	
TD.2	TREE DISPOSITION NOTES	
L.1	LANDSCAPE PLAN	
L.2	LANDSCAPE NOTES	





SITE NOTES

- LOT SHALL BE GRADED PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO ADJACENT PROPERTY. (SEE DRAINAGE PLAN).
- 2. PUBLIC WORKS DEPARTMENT: A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES.
- 3. THE HEIGHT OF THE FENCES, WALL AND HEDGES SHALL NOT EXCEED 2.5 FT. IN HEIGHT WITHIN 10 FT. OF THE EDGE OF ANY DRIVEWAY LEADING TO A RIGHT OF WAY.
- 4. ALL ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE REQUIRED LOWEST FLOOR ELEVATION. TOP +13.80' N.G.V.D.
- 5. THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE.
- 6. WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE, TREES AND UTILITY CONNECTIONS.
- 7. CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. VERIFY ALL DIMENSIONS AND NOTES BEFORE PROCEEDING WITH WORK.
- 8. SEE STRUCTURAL PLANS FOR SOIL CONDITIONS.
- 9. BURY WATER, PHONE, CABLE, AND ELECTRIC SERVICE 18" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACK FILL AROUND PIPES.
- 10. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL TRADES.
- 11. APPLY APPROVED AND ACCEPTABLE SOIL POISONING TREATMENT INCLUDING BUT NOT LIMITED TO PATIOS, WALKS ETC, PRIOR TO PLACEMENT ALL NEW AREAS TO BE COVERED OF VISQUEEN (SEE STRUCTURAL PLANS).

PROJECT DIRECTORY

ARCHITECT

J. ANTONIO RODRIGUEZ- TELLAHECHE, LIC. AR93998 2441 N.W. 93 AVENUE, SUITE 104-B -DORAL, FLORIDA 33172 PHONE: 786.260.4265 www.rodtell.com

LANSCAPE

ENRIQUE NUÑEZ, ASLA LIC. LA0000955 10235 SW 9th TERRACE MIAMI, FLORIDA 33174 PHONE: 305.772.3557 enunez8420@att.net

STRUCTURAL

JUAN FERNANDEZ-BARQUIN, P.E. S.I. LIC. 40114 2520 NW 97th AVENUE, SUITE 240 DORAL, FLORIDA 33172 PHONE: 786.3360881

MEP

JMM CONSULTING ENGINEERS, LLC LIC. 56018
10251 SUNSET DRIVE - MIAMI, FLORIDA 33173

PHONE: 305.255.1621 CONTACT: JOSE M. MARTINEZ, PE CONFIDENTIAL AND PROPRIETARY

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J. Antonio Rodriguez Tellaheche

Doral, Florida 33172

Sheet Title:

COVER SHEET

C.01

Number:

Scale: AS SHOWN
Drawn: N.P.
Checked: T.R.T.
Date:
JANUARY 27, 2021

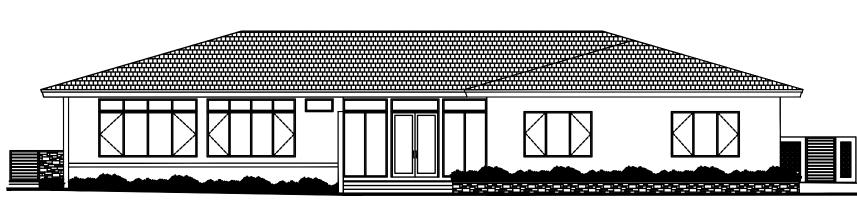
L

CONTEXT ELEVATIONS

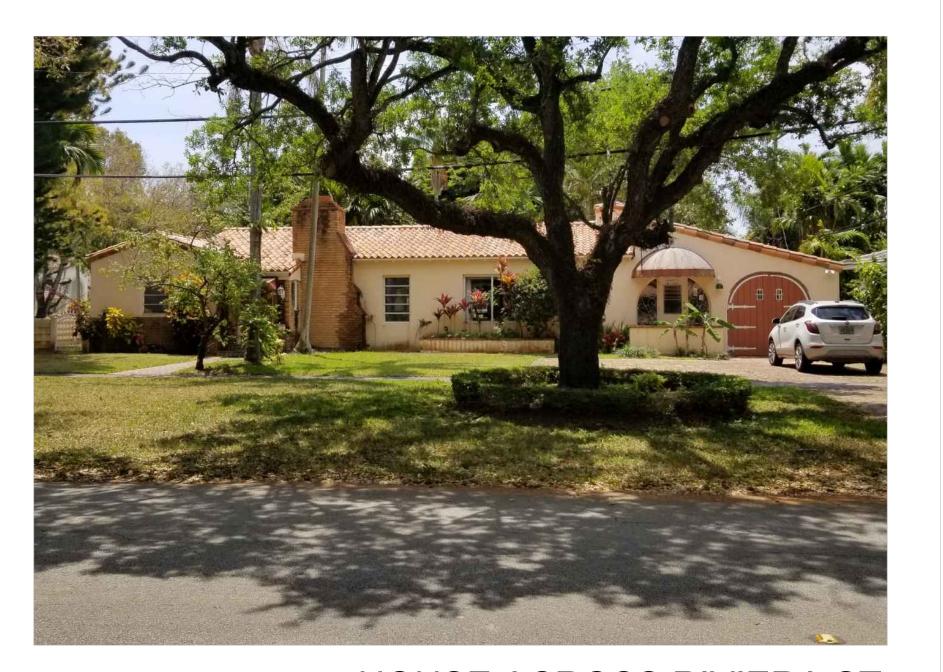
ADJACENT HOUSE - WEST SIDE (3245 RIVIERA DRIVE)



SUBJECT PROPERTY (3247 RIVIERA DRIVE)



RIVIERA DRIVE



HOUSE ACROSS RIVIERA ST. (3250 RIVIERA DRIVE)



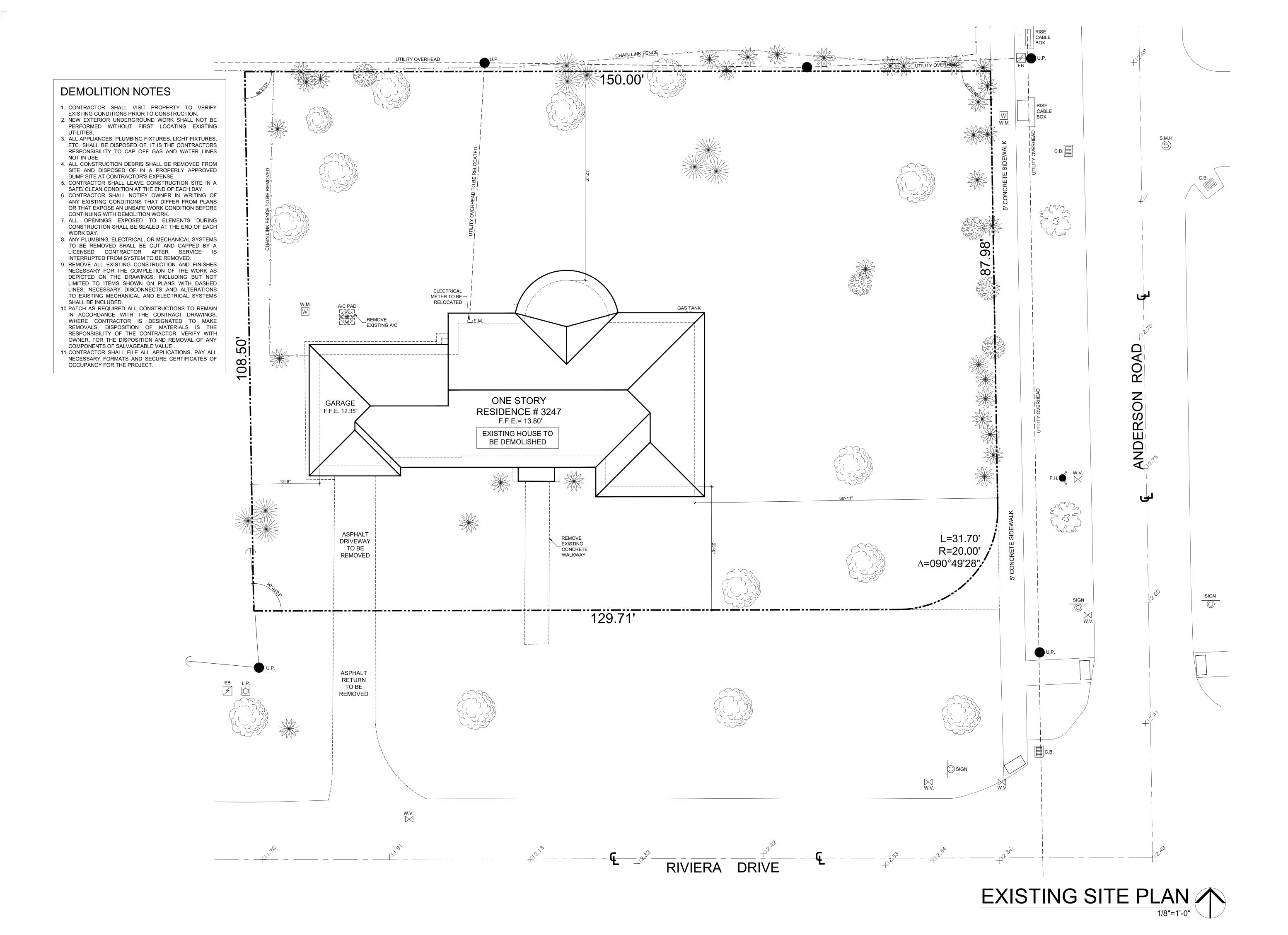
HOUSE ACROSS ANDERSON ROAD - EAST SIDE (3211 ANDERSON RD)

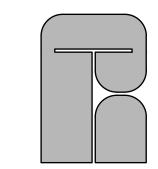


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Sheet Title:

CONTEXT **ELEVATIONS**





J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

Issue Dates:

MR. JASON HERTZBERG

3247 RIVIERA DRIVE,

CONFIDENTIAL AND PROPRIETARY

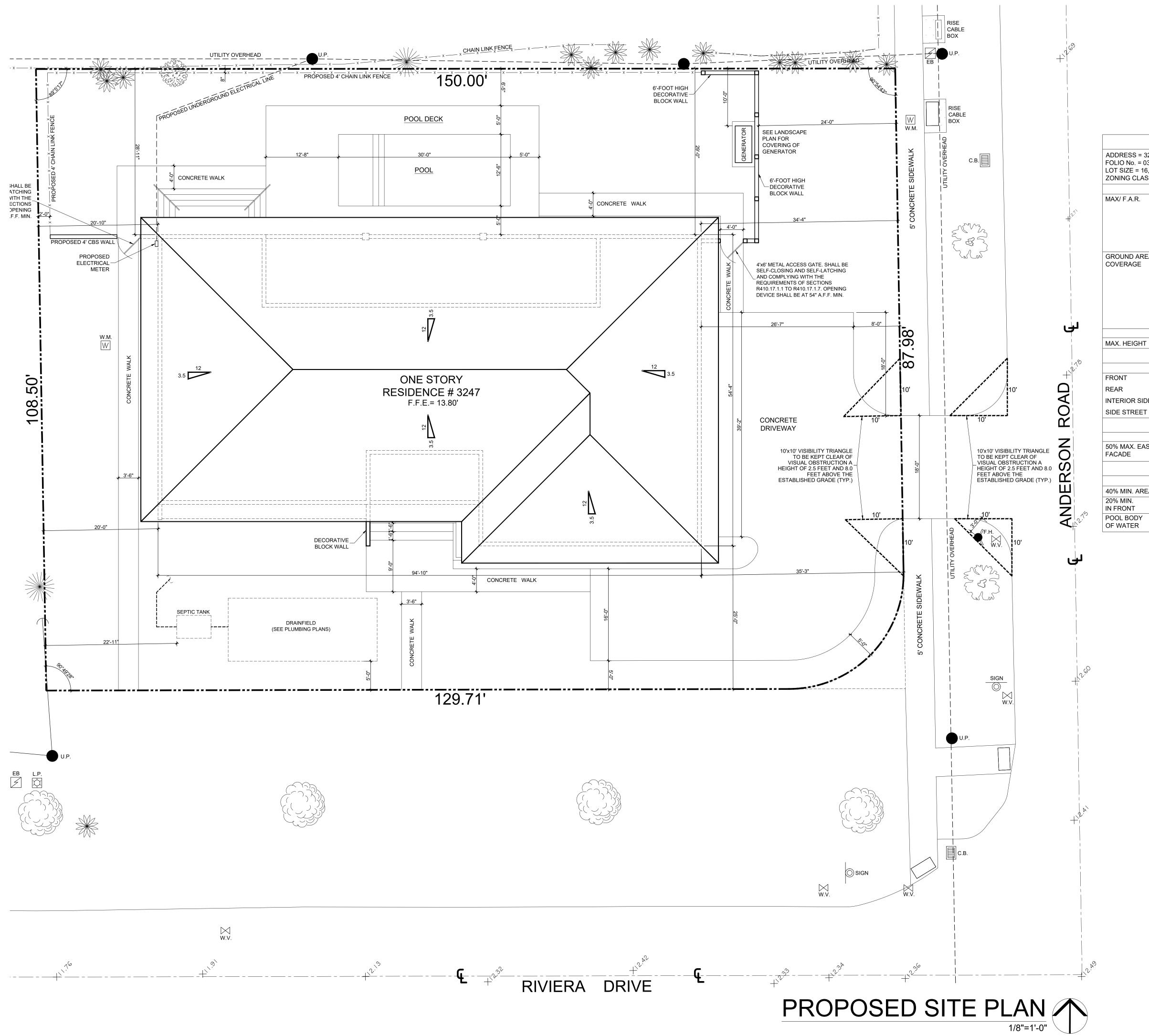
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Sheet Title:

EXISTING SITE PLAN

Job Number:

Scale: AS SHOWN
Drawn: N.P.
Checked: T.R.T.
Date:



FLOOD INFORMATION

FLOOD ZONE = XBASE FLOOD ELEVATION = XCOMMUNITY No = 12053 PANEL No =

09/11/2009 DATE OF FIRM = AREA OF A MINIMAL FLOOD HAZARD.

(*) FLOOD INFORMATION IS BASED ON A SURVEY PREPARED BY JOHN IBARRA, DATED 01/20/2020

19'-3 ½"

2,428.29 S.F.

375.00 S.F.

ZONING LEGEND

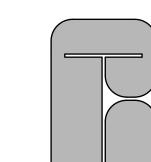
ADDRESS = 3247 RIVIERA DRIVE FOLIO No. = 03-4118-005-0310 LOT SIZE = 16,200 S.F

25 FEET

6,480 x 0.20 = 1,296.00 S.F.

ZONING CLASSIFICATION = (SFR) SINGLE-FAMILY RESIDENTIAL		
	REQUIRED	PROVIDED
MAX/ F.A.R.	48% FOR 1rst 5,000 S.F. 5,000 x 0.48 = 2,400.00 S.F. 35% NEXT 5,000 S.F. 5,000 x 0.35 = 1,750.00 S.F. 30% REMAIN 6,200 x 0.30 = 1,860.00 S.F.	GROUND FLOOR = 2,841.11 S.F. GARAGES/WORK SHOP = 782.47 S.F.
	TOTAL= 6,010.00 S.F.	TOTAL PROVIDED = 3,623.58 S.F. (22.37%)
GROUND AREA COVERAGE	35% MAXIMUM 16,200 x 0.35 = 5,670.00 S.F.	GROUND FLOOR = 3,120.91 S.F. GARAGES/WORK SHOP = 863.28 S.F. COVERED ENTRY = 263.50 S.F. COVERED TERRACE = 692.00 S.F.
		TOTAL PROVIDED = 4,939.69 S.F. (30.49%)
	AUXILIARY STRUCTURES 10% MAXIMUM 16,200 x 0.10 = 1,620.00 S.F.	POOL DECK = 697.50 S.F. TERRACE #2 = 150.66 S.F. GENERATOR SLAB = 31.00 S.F. TOTAL PROVIDED = 879.16 S.F. (5.43%)
	45% MAX+AUXILIARY STRUCT.	· ·

	SETB	ACKS
	REQUIRED	PROVIDED
FRONT	25 FT	25'-0"
REAR	10 FT	28'-11"
INTERIOR SIDE	10 FT	20'-0"
SIDE STREET	15 FT	34'-4"
	GARAGE F	RONTAGE
	REQUIRED	PROVIDED
50% MAX. EAST FACADE	54'-4" x 50% = 27'-2"	22'-8" (41.73%)
	OPEN LAI	NDSCAPE
	REQUIRED	PROVIDED
40% MIN. AREA	16,200 x 0.40 = 6,480.00 S.F.	6,915.77 S.F. (42.69%)
OOO/ NAINI		



J. Antonio Rodriguez Tellaheche, Architect

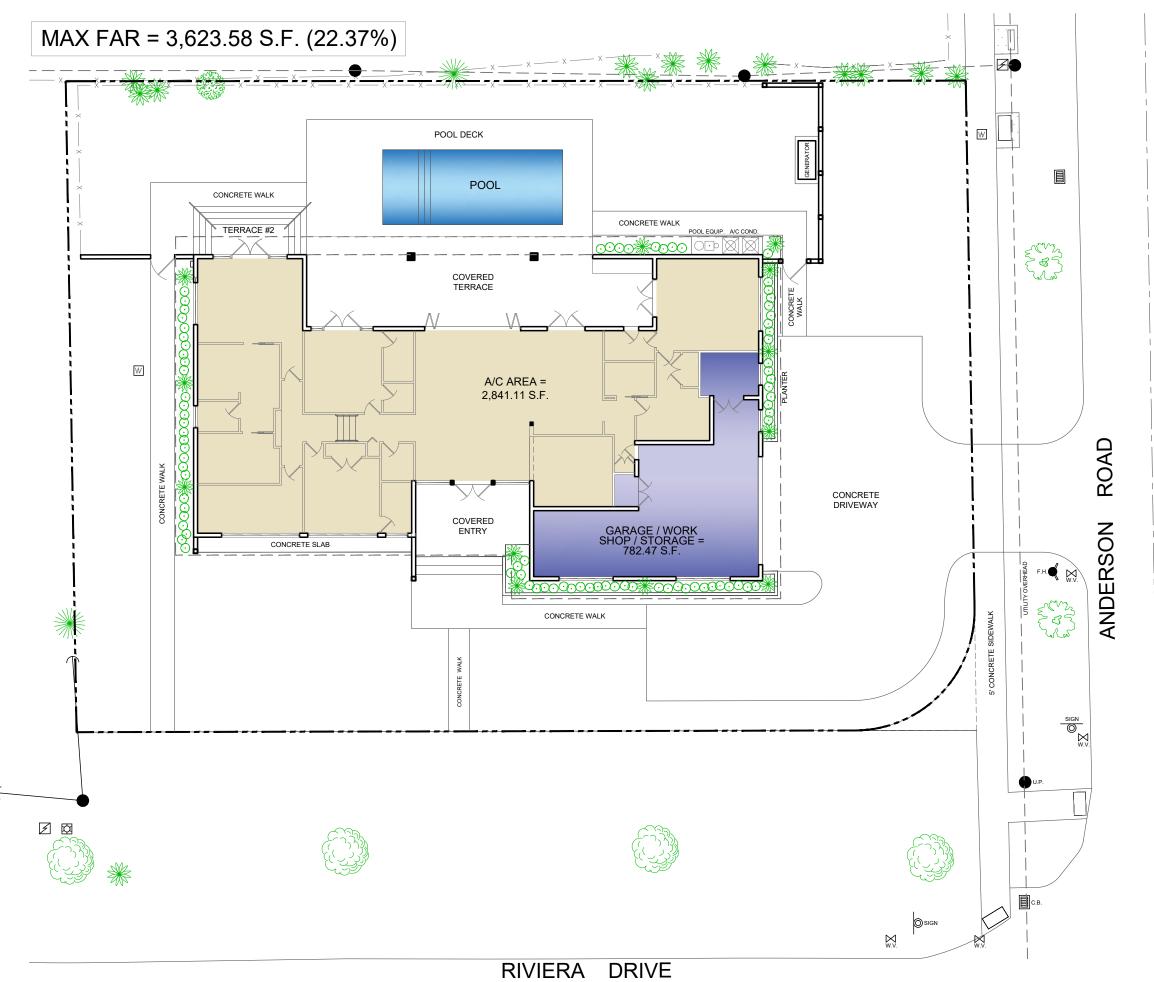
Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

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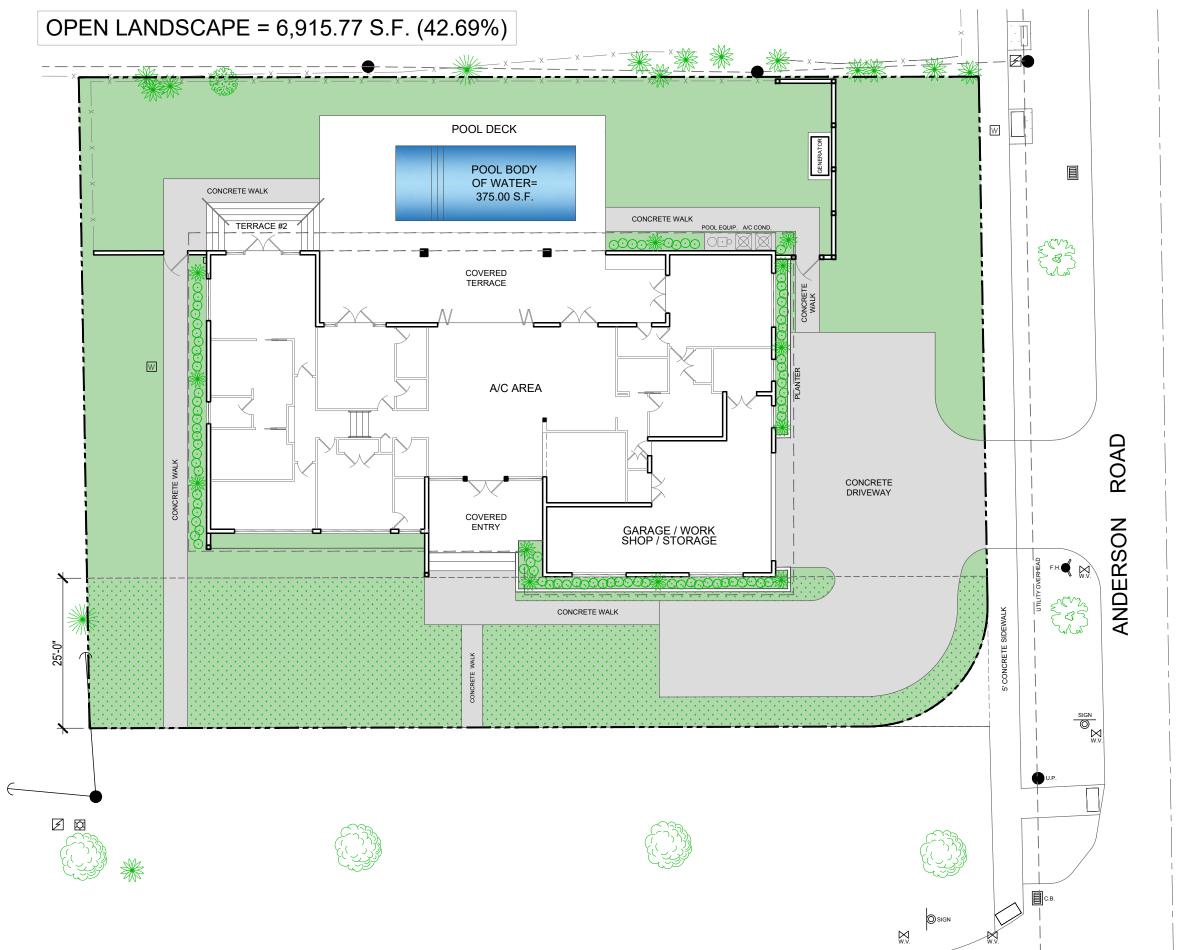
Sheet Title:

PROPOSED SITE PLAN



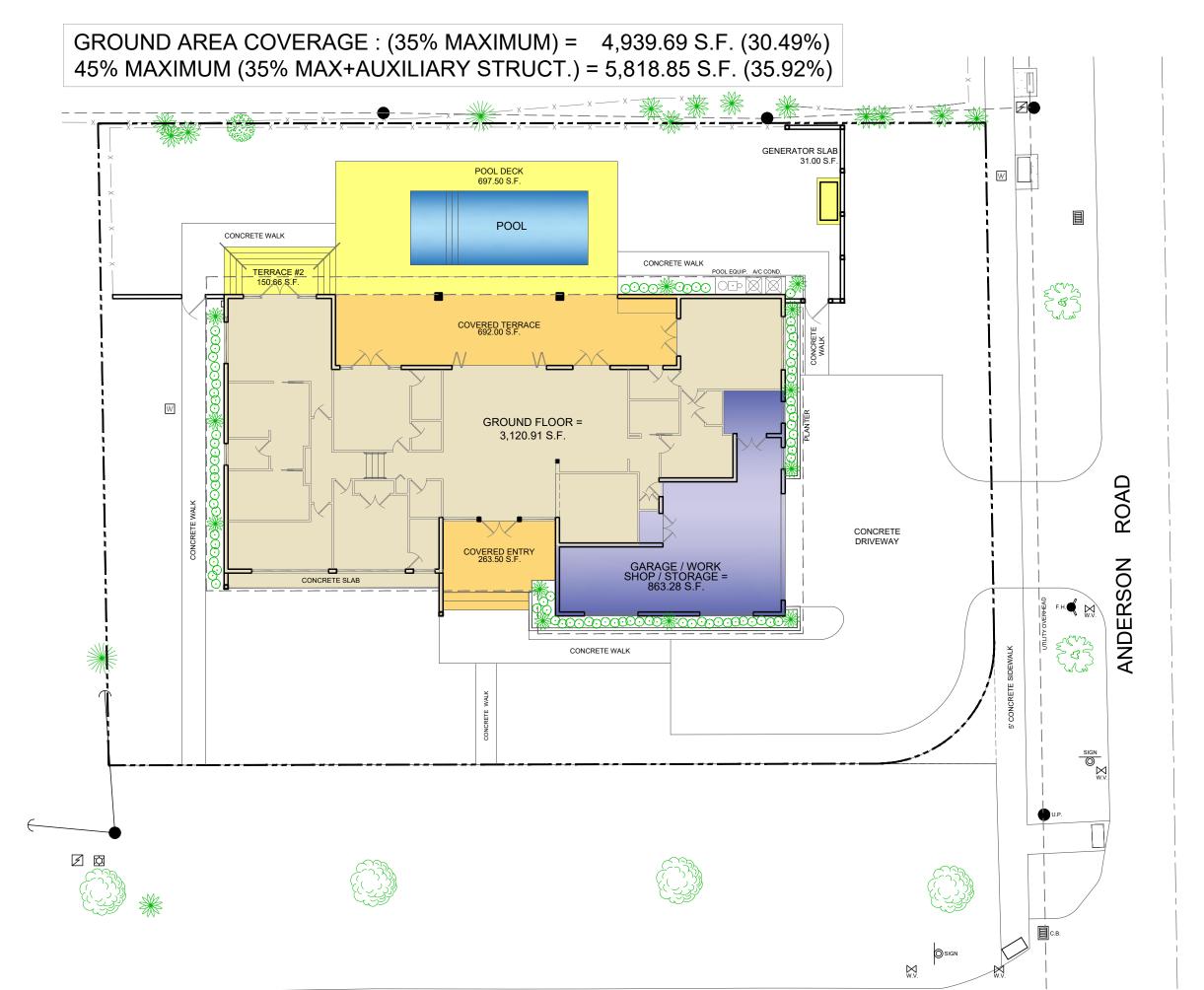
MAX FAR CALCULATION

1/16"=1'-0"



OPEN LANDSCAPE

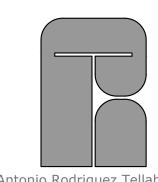
1/16"=1'-0"



GROUND AREA COVERAGE

1/16"=1'-0"

ZONING LEGEND			
ADDRESS = 3247 RIVIERA DRIVE FOLIO No. = 03-4118-005-0310 LOT SIZE = 16,200 S.F ZONING CLASSIFICATION = (SFR) SINGLE-FAMILY RESIDENTIAL			
	REQUIRED	PROVIDED	
MAX/ F.A.R.	48% FOR 1rst 5,000 S.F. 5,000 x 0.48 = 2,400.00 S.F. 35% NEXT 5,000 S.F. 5,000 x 0.35 = 1,750.00 S.F. 30% REMAIN 6,200 x 0.30 = 1,860.00 S.F.	GROUND FLOOR = 2,841.11 S.F. GARAGES/WORK SHOP = 782.47 S.F.	
	TOTAL= 6,010.00 S.F.	TOTAL PROVIDED = 3,623.58 S.F. (22.37%)	
GROUND AREA COVERAGE	35% MAXIMUM 16,200 x 0.35 = 5,670.00 S.F.	GROUND FLOOR = 3,120.91 S.F. GARAGES/WORK SHOP = 863.28 S.F. COVERED ENTRY = 263.50 S.F. COVERED TERRACE = 692.00 S.F.	
		TOTAL PROVIDED = 4,939.69 S.F. (30.49%)	
	AUXILIARY STRUCTURES 10% MAXIMUM 16,200 x 0.10 = 1,620.00 S.F.	POOL DECK = 697.50 S.F. TERRACE #2 = 150.66 S.F. GENERATOR SLAB = 31.00 S.F.	
		TOTAL PROVIDED = 879.16 S.F. (5.43%)	
	45% MAX+AUXILIARY STRUCT.	TOTAL PROVIDED = 5,818.85 S.F. (35.92%)	
MAX. HEIGHT	25 FEET	19'-3 ½"	
	SETB	ACKS	
	REQUIRED	PROVIDED	
FRONT	25 FT	25'-0"	
REAR	10 FT	28'-11"	
INTERIOR SIDE	10 FT	20'-0"	
SIDE STREET	15 FT	34'-4"	
	GARAGE F	RONTAGE	
	REQUIRED	PROVIDED	
50% MAX. EAST FACADE	54'-4" x 50% = 27'-2"	22'-8" (41.73%)	
	OPEN LA	NDSCAPE	
	REQUIRED PROVIDED		
40% MIN. AREA	16,200 x 0.40 = 6,480.00 S.F.	6,915.77 S.F. (42.69%)	
20% MIN. IN FRONT	6,480 x 0.20 = 1,296.00 S.F.	2,428.29 S.F.	
POOL BODY OF WATER		375.00 S.F.	



J. Antonio Rodriguez Tellaheche, Architect

rchitecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172

email: rodtell@aol

Issue Dates:

G 3134

RESIDENCE FOR
MR. JASON HERTZBERG
3247 RIVIERA DRIVE,
CORAL GABLES, FLORIDA 331

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Sheet Title:

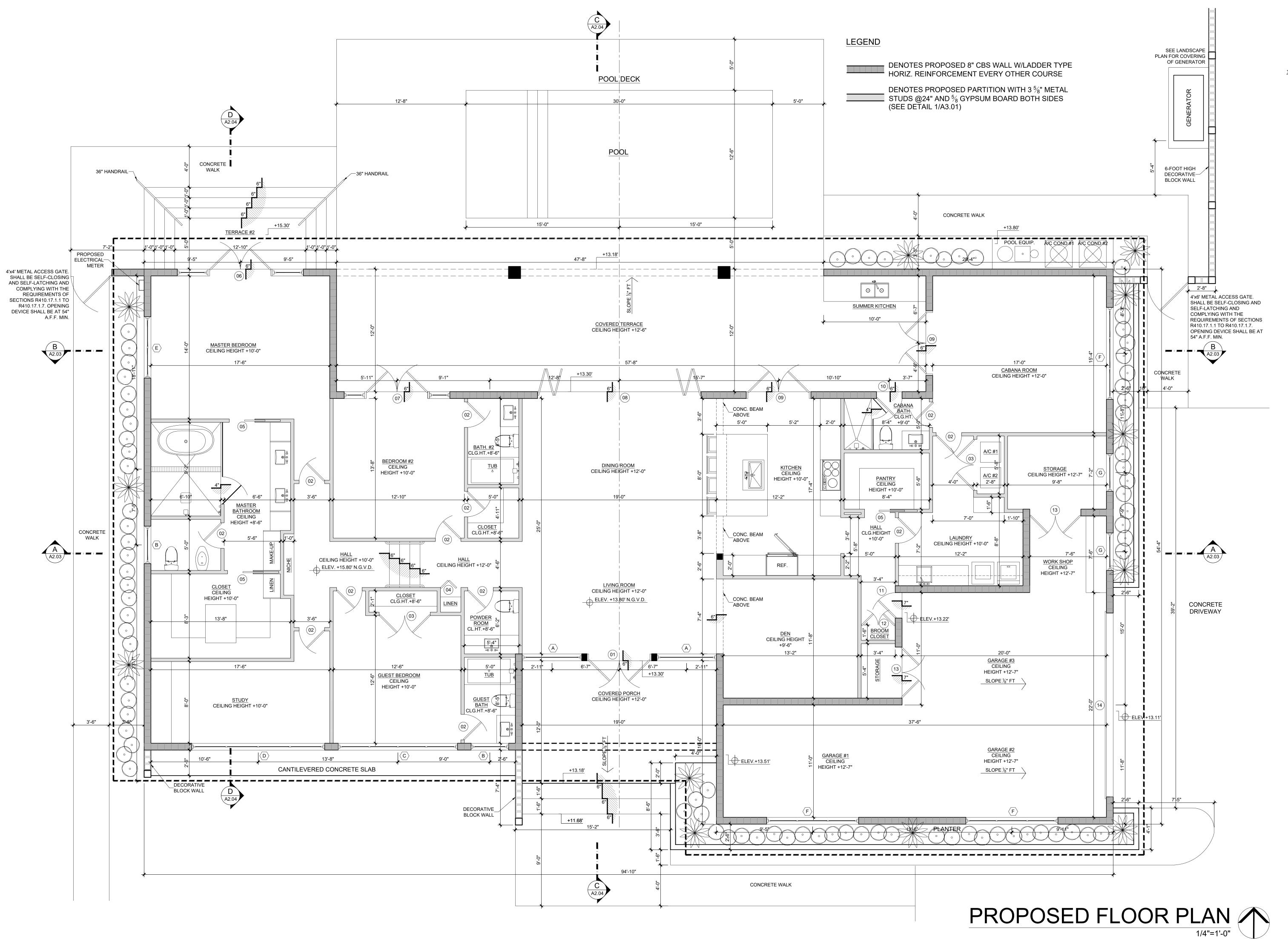
ZONING DIAGRAMS

Job Number:

Scale:
AS SHOWN

Drawn:
N.P.
Checked:
T.R.T.

Date:
JANUARY 27, 2021



J. Antonio Rodriguez Tellaheche, Architect

Architecture Planning Design Arch. Lic. AR93998 / Interior Design Lic. ID5544 2441 NW 93 Avenue Doral, Florida 33172 Tel: (786) 260-4265

email: rodtell@aol.com

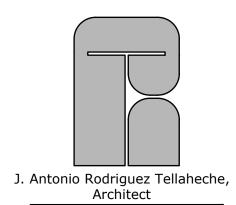
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Sheet Title:

PROPOSED FLOOR PLAN

Scale: AS SHOWN
Drawn: N.P. A1.01



Architect

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Issue Date

R. JASON HERTZBERG

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Sheet Title:

PROPOSED ROOF PLAN

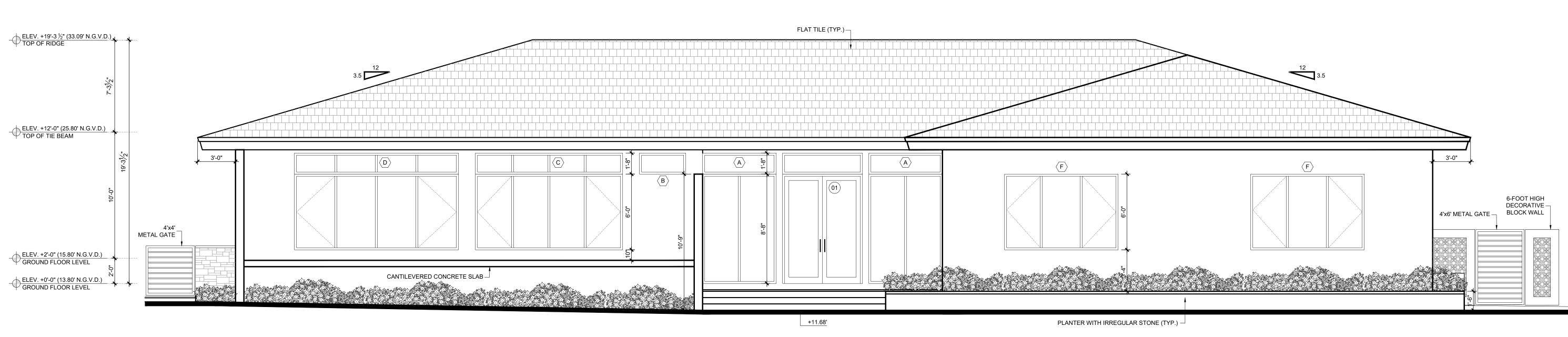
Job Number:

Scale:
AS SHOWN

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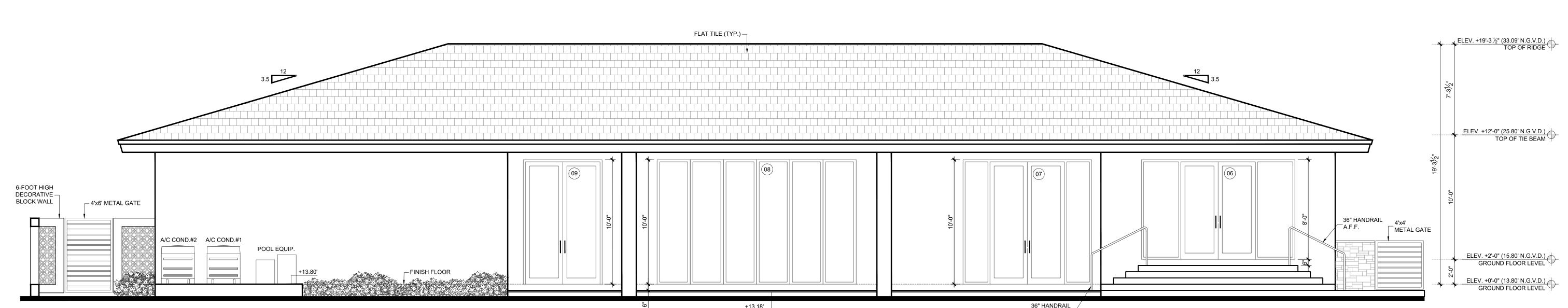
Checked:
T.R.T.

Doral, Florida 33172 Tel: (786) 260-4265 email: rodtell@aol.com



PROPOSED SOUTH (FRONT) ELEVATION
1/4"=1'-0"

RESIDENCE FC
MR. JASON HERTZ
3247 RIVIERA DRI



PROPOSED (NORTH) REAR ELEVATION

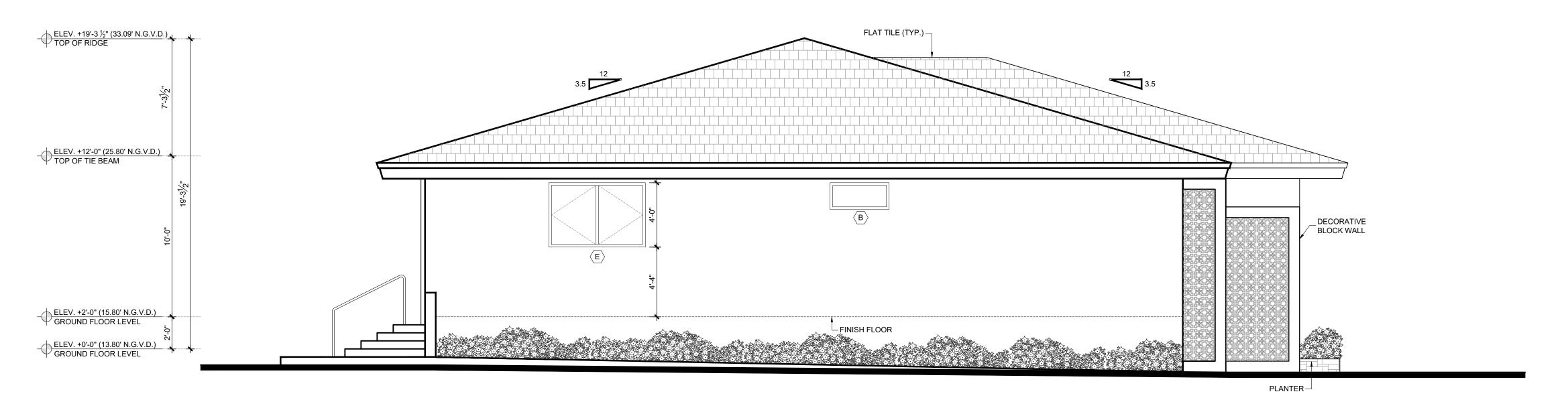
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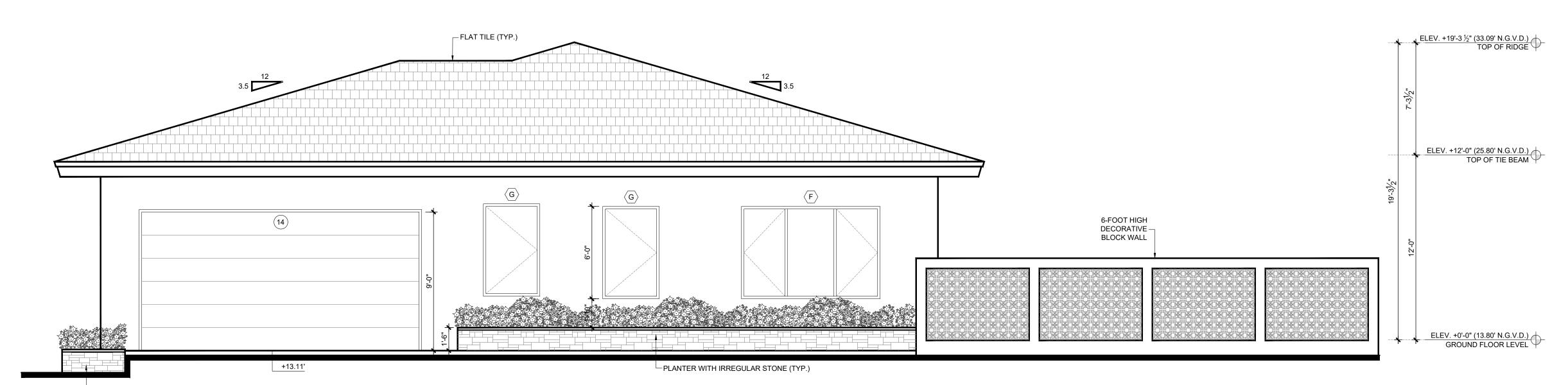
Sheet Title:

ELEVATIONS

Scale:
AS SHOWN
Drawn:
N.P.
Checked:
JANUARY 27, 2021



PROPOSED WEST (LEFT) ELEVATION



PROPOSED (EAST) RIGHT ELEVATION

J. Antonio Rodriguez Tella

J. Antonio Rodriguez Tellaheche,
Architect

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ASON HERTZBERG

AT RIVIERA DRIVE,

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Sheet Title:

ELEVATIONS

Scale: AS SHOWN

Drawn: N.P.

Checked: T.R.T.

Date: