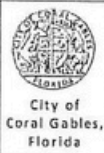


Table of Contents

Conditional Use Application

5810 Maggiore Street, Coral Gables, Florida 33146

1. DRC Application
2. Letter of Intent
3. Survey
4. Architectural Drawings, Aerials, Photographs – Marmore
5. Architectural Drawings, Aerials, Photographs – Daroco
6. Landscape Plans – Marmore
7. Landscape Plans – Daroco
8. Historical Significance Letter
9. Contact Information for Property Owner, Applicant, Architect, Attorney
10. Lobbyist Registration
11. Warranty Deed



Level
1
Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
 Email: planning@coralgables.com Phone: 305.460.5211

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to tentatively be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. First Floor Board Room, 427 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agents shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjoining properties and/or streetscape.
- Property ALTA survey and legal description.
- Architectural drawings (signed/sealed), including: Zoning chart / supporting information; site plan; floor plan(s); and all affected elevations. Maximum of 20 sheets shall be accepted.
- Landscape plan; vegetation assessment; and tree survey / relocation plan.
- Pedestrian amenities and streetscape plan.
- On-street parking analysis.
- Art in Public Places plan and/or statement.
- Lighting plan and signage plan.
- Underground utilities plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical significance letter.
- City Concurrency Impact Statement (CIS).
- Traffic study.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty deed.
- Application fee equal to one tenth of one percent (.001) of the estimated total building construction cost as determined by the City (\$100.00 minimum fee and \$10,000.00 maximum fee). Payment shall be in check form, payable to the City of Coral Gables.
- Other: _____



Level
1
Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Development Review General Procedures – Conditional Use

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

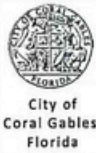
The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level One (1) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Abandonment and Vacations
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Conditional Use with Site Plan
- Conditional Use without Site Plan
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Separation/Establishment of a Building Site
- Site Plan
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Other: _____

Requests confirmed by Development Review Official (DRO) at pre-application meeting (signature): _____

Coral Gables Mediterranean Architecture Bonus

- Coral Gables Mediterranean Style Bonus - Table 1
- Coral Gables Mediterranean Style Bonus - Table 2
- Coral Gables Mediterranean Style Bonus - Table 3
- None



Level
1
Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property information

Street address of the subject property: 5810 Maggiore St., Coral Gables, Fl. 33146

Property/project name: Legacy 5810 LLC, a Fl. limited liability company

Current land use classification(s): Residential

Current zoning district(s): Single-Family Residential

Proposed land use classification(s) (if applicable): N/A

Proposed zoning district(s) (if applicable): N/A

Previous use(s)/current use(s) of the property/building(s): Residential

Proposed use(s) of the property/building(s): Residential

Size of property (square feet/acres) 20,006 sq. ft

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): N/A

Total number of residential units per acre and total number of units 2

Estimated cost of the existing/proposed building/project: \$1.8 million

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Pre-application on 3/1/24. Building Site Determination dated 12/22/23.

Project Legal Description: Lot(s): See attached Exhibit 'A'

Block(s): _____

Section(s): _____

Listing of all folio numbers for subject property:

03-4129-027-2000

EXHIBIT 'A'

Legal Description

Lots 11, 12, 13, 14 of Block 119 SECOND AMENDED PLAT OF CORAL GABLES RIVIERA SECTION PART 10, according to the Plat thereof, as recorded in Plat Book 31, at Page 1, of the Public Records of Miami-Dade County, Florida

Also Known as: 5810 Maggiore Street, Coral Gables, Florida 33146



City of
Coral Gables,
Florida

Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

General information

Applicant(s)/Agent(s) Name(s): Edward G. Baker

Telephone Contact No: 305-714-4379 Fax No. 305-714-4340 Email ebaker@bergersingerman.com

Mailing Address: 1450 Brickell Ave., Suite 1900, Miami, Fl. 33131
(City) (State) (ZIP Code)

Property Owner(s) Name(s): Legacy 5810 LLC

Telephone Contact No: (786) 556-0660 Fax No. _____ Email mliz@legacyresidential.com

Mailing Address: 3850 Bird Rd., Suite 801, Coral Gables, Fl. 33146
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No. _____ Email _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect(s) Name(s): Giorgio Balli

Telephone Contact No: (305) 669-5160 Fax No. _____ Email giorgio@theballigroup.com

Mailing Address: 1533 Sunset Drive, Suite #101, Coral Gables, Fl. 33143
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Pre-application on 3/1/24. Building Site Determination dated 12/22/23.

 City of Coral Gables, Florida	Level 1	General Procedures - Conditional
	Review	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211

Posting of the property. The Applicant will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.

Application submittal requirements

Electronic copy. A PDF of the entire application shall be submitted. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the Applicant in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



City of
Coral Gables,
Florida

Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Edward G. Baker

Address: **1450 Brickell Ave., Suite 1900, Miami, Fl. 33131**

Telephone: 305-714-4379

Fax: 305-714-4340

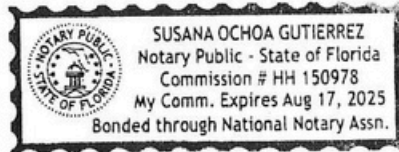
Email: ebaker@bergersingerman.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 10th day of April by

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced



Level
1
Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Signature:	Property Owner(s) Print Name:
	Legacy 5810 LLC
Property Owner(s) Signature:	Property Owner(s) Print Name:
	Tomas E. Cabrerizo
Property Owner(s) Signature:	Property Owner(s) Print Name:

Address: 3850 Bird Road, Suite 801, Coral Gables, Fl. 33146

Telephone: _____ Fax: _____

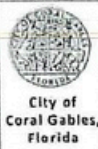
Email: mliz@legacyresidential.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF Miami - Dade
The foregoing instrument was acknowledged before me this 11th day of April by
Tomas E. Cabrerizo
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced



Level
1
Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Architect(s) Signature:

Architect(s) Print Name:

Giorgio Balli BALLI-TRAUTMAN ARCHITECTS LLC.

Address:

1533 Sunset Drive, Suite #101, Coral Gables, Fl. 33143

Telephone: (305) 669-5160

Fax:

Email: giorgio@theballigroup.com

Giorgio Luigi Balli

Digitally signed by Giorgio Luigi Balli
 DN: c=US, st=Florida, In=Coral Gables, o=Balli-Trautman Architects, LLC, cn=Giorgio Luigi Balli, email=giorgio@ballidesign.com
 Date: 2024.04.10 12:01:56 -0400

SEAL

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 10 day of April by

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced

June 5, 2024

Ms. Jennifer Garcia
City Planner
Development Services
City of Coral Gables
427 Biltmore Way
Coral Gables, Florida 33134

Re: Letter of Intent for Conditional Use Application to allow for the subdivision of that certain real property located at 5810 Maggiore Street, Coral Gables, Florida 33146, Folio No.: 03-4129-027-2000

Dear Ms. Garcia:

The undersigned is legal counsel to Legacy 5810 LLC, a Florida limited liability company (“**Owner**”), the owner of that certain real property located at 5810 Maggiore Street, Coral Gables, Florida 33146, Folio No.: 03-4129-027-2000 (the “**Property**”). Owner intends to subdivide the Property, which constitutes Lots 11-14, into two (2) resulting lots and construct a single-family residence on each lot (this “**Project**”) with the relevant facts of each resulting property described as follows:

1. Marmore Property
 - a. Lots 11 and 12
 - b. Lot size: 10,003 square feet
 - c. Lot coverage: 31% where a maximum of 35% is allowed
 - d. Impervious coverage: 35% where a maximum of 45% is allowed
 - e. Green area: 54% where a minimum of 40% is required
2. Daraco Property
 - a. Lots 13 and 14
 - b. Lot size: 10,003 square feet
 - c. Lot coverage: 32% where a maximum of 35% is allowed
 - d. Impervious coverage: 37% where a maximum of 45% is allowed
 - e. Green area: 54% where a minimum of 40% is required

Pursuant to that certain Building Site Determination Letter (No. BUSD-23-12-0012), dated December 22, 2023 (the “**Letter**”), the Property cannot be subdivided in accordance with Section 14-206.6.E(2) and 14-206.6.E(3) of the Coral Gables Zoning Code (the “**Code**”). Given the denial in the Letter, Owner is seeking approval of this Project by a Conditional Use in accordance with

Section 14-202-6(D) of the Code; provided that the Conditional Use application satisfies the criteria of Section 14-206.6.F of the Code.

This Project satisfies the criteria of Section 14-206.6.F of the Code as follows:

1. That the building site(s) created would have a lot area equal to or larger than the majority of the existing building sites of the same zoning designation within a minimum of one thousand (1,000) feet of the perimeter of the subject property. The Development Review Official may determine that the comparison of building sites within one thousand (1,000) feet of the subject property shall be based on one (1) or more of the following: building sites located on the same street as the subject property; building sites with similar characteristics such as golf course frontage, water frontage, cul-de-sac frontage; and, building sites within the same platted subdivision.

Response: The proposed resulting lots shall each equal 10,003 square feet. The majority of surrounding building sites are approximately 10,000 square feet.

2. That exceptional or unusual circumstances exist, that are site specific such as unusual site configuration or partially platted lots, or are code specific such as properties having two (2) or more zoning or land use designations, multiple facings or through-block sites, which would warrant the separation or establishment of a building site(s).

Response: The Property has an unusual site configuration. The Property is 20,006 square feet, which is unusually large for this neighborhood. Only two properties in the immediate area exceed 17,000 square feet: 5805 San Vicente Street and 513 Marmore Avenue. Additionally, the Property is a corner lot, which fronts three rights of way: Marmore Avenue, Maggiore Street and Daroco Avenue. In both instances, neither property fronts three rights of way. Based on the foregoing, the Property has an unusual site configuration.

3. That the proposed building site(s) maintains and preserves open space and specimen trees, promotes neighborhood compatibility, preserves historic character, maintains property values and enhances visual attractiveness of the area.

Response: Owner aims to preserve open space. As noted above, each resulting lot is proposing 54% of green area, where only a minimum of 40% is required. Additionally, Owner proposes for each lot: (i) five (5) or more large shade trees, where only two (2) are required, more than one hundred twenty seven (127) shrubs, where only thirty (30) are required and (iii) five (5) native trees, where only one (1) is required. Further, the proposed design is in harmony with surrounding building sites and will enhance the visual attractiveness of the area by providing two new uniquely designed residences in keeping with Mediterranean architecture.

4. That the application satisfies at least three (3) of the following four (4) criteria:

Response: As noted below, this application satisfies three (3) of the following four (4) criteria.

- a. That the building site(s) created would have a street frontage, golf course frontage (if applicable), and water frontage (if applicable) equal to or larger than the majority of the existing building sites of the same zoning designation within a minimum of one thousand (1,000) feet of the perimeter of the subject property. For a cul-de-sac building site(s), the comparison of street frontages and water frontages (if applicable) shall include those similarly situated cul-de-sac building sites within one thousand (1,000) feet. If no cul-de-sac building sites exist within one thousand (1,000) feet then the comparison may be expanded to include all cul-de-sac building sites within the platted subdivision and any adjacent platted subdivision.

Response: Each resulting lot will have 100' frontage on each side that abuts the respective right of way, which is equal to or larger than the majority of the existing building sites within one thousand (1,000) feet. This criteria is met.

- b. That the building site(s) separated or established would not result in any existing structures becoming non-conforming as it relates to setbacks, lot area, lot width and depth, ground coverage and other applicable provisions of the Zoning Code, Comprehensive Plan and City Code. The voluntary demolition of a building or structure within the last ten (10) years which eliminates any of the conditions identified in this criterion shall result in non-compliance with this criterion.

Response: The proposed residential structures will be built in conformance with the Zoning Code, Comprehensive Plan and City Code. This criteria is met.

- c. That no restrictive covenants, encroachments, easements, or the like exist which would prevent the separation of the site. The voluntary demolition of a building or structure within the last ten (10) years which eliminates any of the conditions identified in this criterion shall result in non-compliance with this criterion.

Response: The Declaration of Restrictive Covenant, recorded on April 18, 1983, in Official Record Book 11760, Page 606 of the Public Records of Miami-Dade County (the "Covenant"), is extinguished by the Marketable Record Title Act given that the chain of title (notably, the deed recorded on August 29, 1985, from Eduardo Poma and Kathleen Poma to Robert and Michelle Merlin, recorded in OR Book 12620, Page 2769 and all subsequent deeds) does not specifically reference the Covenant by book and page. Based on the foregoing, no restrictive covenant would prevent separation of the site. This criteria is met.


- d. That the building site(s) created has been owned by the current owner continuously for a minimum of ten (10) years prior to an application submittal for conditional use for a building site determination.

Response: Owner acquired the property less than ten (10) years prior to this application. This criteria is not met.

For all of the aforementioned reasons, we respectfully request your favorable review and support of this application. Note that this letter shall constitute our letter of intent in support of the application for a Conditional Use.

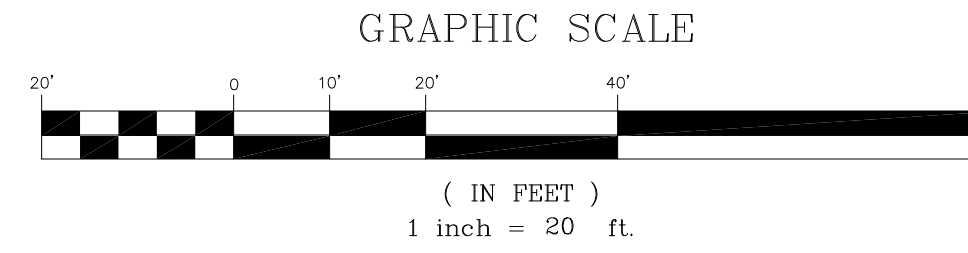
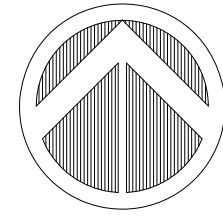
Thank you in advance for your consideration regarding this application. If you have any questions, please feel free to contact me at 305-714-4379 or ebaker@bergersingerman.com.

Respectfully submitted,



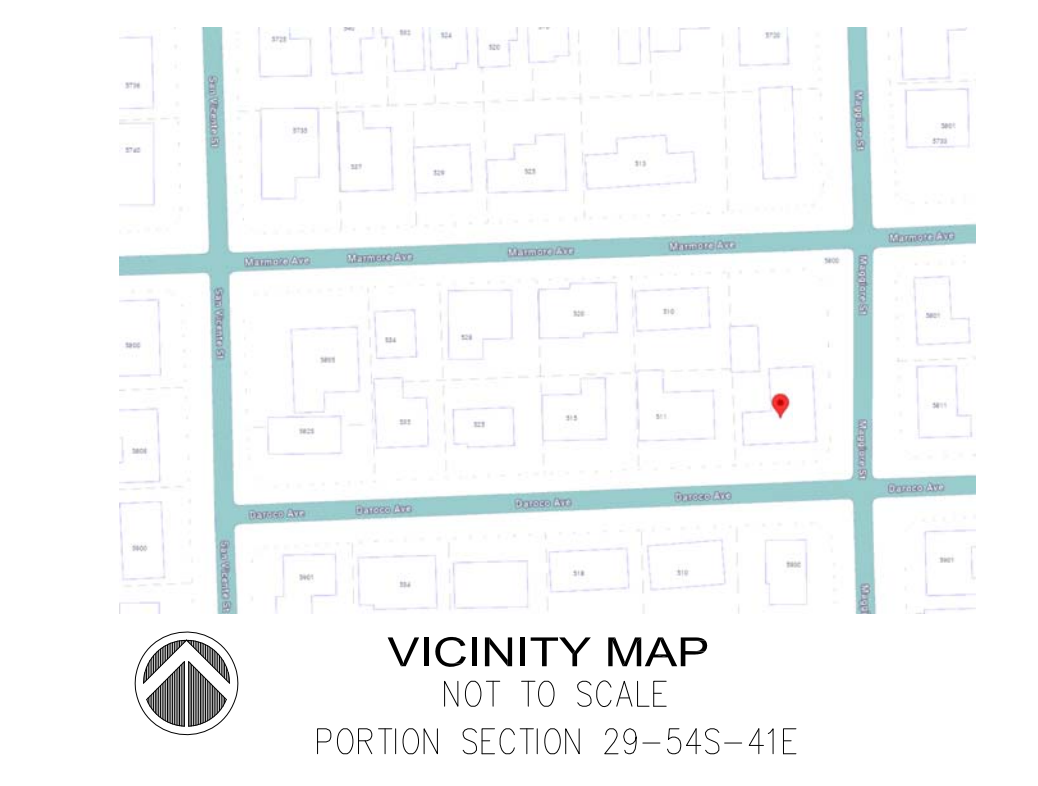
Edward Baker, Esq.

ALTA/ NSPS LAND TITLE SURVEY



TREE TABULATION:

TREE ID #	TYPE (COMMON NAME)	DIAMETER (IN) @ 4.5' (BREAST HEIGHT)	HEIGHT (OAH) FT	CANOPY (CAC) FT
45	BLACK OLIVE	23	30	50
46	BLACK OLIVE	36	30	60
47	OAK	8	20	15
48	OAK	20	28	40
49	OAK	21	30	40
50	OAK	11	28	35
59	AVOCADO	7	18	20
60	PALM	6	18	10
61	PALM	6	18	10
62	PALM	6	20	10
63	PALM	10	25	10
64	PALM	10	18	10
65	PALM	9	18	10
66	PALM	5	12	5
67	PALM	6	15	5
68	PALM	5	20	5
69	PALM	6	20	5
70	PALM	4	20	5
71	PALM	9	20	10
112	BLACK OLIVE	32	30	40
113	BLACK OLIVE	20	30	35
127	PALM	7	30	10
128	GUMBO LIMBO	6	20	15
129	TREE	4	15	20
152	OAK	60	40	55
154	TREE	5	28	10
155	PALM	3	20	10
156	TREE	3	20	15
157	MANGO	10	25	25
158	MANGO	9	20	20
159	PALM	8	30	15
160	MANGO	11	25	25
161	TREE	6	28	10
176	PALM	17	25	15
177	PALM	4	20	10
178	GUAVA TREE	3	10	15
179	3 PALMS	4	25	5
180	PALM	4	25	5
181	GUMBO LIMBO	4	18	5
187	PALM	5	20	5
188	PALM	4	20	5
189	PALM	4	20	5
190	PALM	3	15	5
191	PALM	4	18	5
192	PALM	3	18	5
193	PALM	3	12	5
194	PALM	4	15	10
195	PALM	3	8	5



LEGEND

---○---	Overhead Wire Line	+	Existing Elevations	A/C	Air Conditioner
---//---	Wood Fence	+	Catch Basin	Conc.	Concrete
-x-x-	Chain Link Fence	+	Water Meter	C.B.S.	Concrete Block & Stucco
---	Iron Fence	+	Electric Box	(D)	Deed
- - -	Monument Line	+	Sanitary Manhole	D.E.	Drainage Easement
---	Centerline	+	Sprinkler Pump	D.M.E.	Drainage Maintenance Easement
- - -	Property Line	+	Wood Pole	F.D.H.	Found Drill Hole
---		+	Conc. Pole	F.F.E.	Finish Floor Elevation
---		+	Light Pole	F.I.P.	Found Iron Pipe/In
---		+	Fire Hydrant	F.I.R.	Found Iron Rebar
---		+	Water Valve	F.N.	Found Nail
---		+	Inlet	F.N.D.	Found Nail & Disc
---		+	Cable Tv Box	F.P.L.	Florida Power Light
---		+	Electric Meter Box	H	Hight
---		+	Traffic Signal Box	L.M.E.	Lake Maintenance Easement
---		+	Gas Valve	(M)	Measured
---		+	Monsting Valve	(P)	Platted
---		+	Manhole	P.O.B.	Point of Beginning
---		+		F.O.C.	Point of Commencement
---		+		(R)	Record
---		+		Res.	Residence
---		+		SIP/R	Sets Iron Pin/Rebar
---		+		S	Spread
---		+		U.E.	Utility Easement



PROPERTY ADDRESS:
5810 MAGGIORE STREET CORAL GABLES, FL 33146
Folio# 03-4129-027-2000

LEGAL DESCRIPTION
Lots 11, 12, 13 and 14, in Block 119, of *SECOND AMENDED PLAT OF CORAL GABLES, RIVIERA SECTION, PART 10*, according to the Plat thereof, as recorded in Plat Book 31, Page 1, of the Public Records of Miami-Dade County, Florida.

- SURVEYOR'S NOTES:**
- The Legal Description was obtained from FIRST AMERICAN TITLE INSURANCE COMPANY, Commitment for Title Insurance. The property surveyed parcels hereon are contiguous to each other without any gores, gaps or hiatus, and is the same property as described on the Title Commitment prepared by FIRST AMERICAN TITLE INSURANCE COMPANY.
 - This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
 - An examination of Commitment issued by FIRST AMERICAN TITLE INSURANCE COMPANY, File No. 110186676, Effective Date: February 11, 2024 @ 4:10 PM, was made to determine recorded instruments, if any affecting this property. However, there may be additional restrictions not shown on this survey that may be found in the Public Records of this County.
 - Accuracy:
The Horizontal positional accuracy of well-defined improvement on this survey is +/- 0.2'.
The Vertical accuracy of elevations of well-defined improvement on this survey is +/- 0.1'.
All measurements shown hereon are made in accordance with the United States Standard Feet.
Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party.
 - Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
 - The surveyor does not determine fence and/or wall ownership.
 - Ownership subjects to: OPINION OF TITLE.
 - Type of Survey: ALTA/ NSPS LAND TITLE SURVEY.
 - The North arrow direction as shown on aforementioned plat.
 - Flood Zone Data: Community/ Panel # 120639/0459/L Dated: 9/11/09
Flood Zone: "X" Base Flood Elevation = N/A
 - All visible above-ground utilities noted on survey sketch.
 - There was no observed evidence of current earth work, building construction or building additions as of the date of the survey.
 - There are no proposed changes in street right-of-way lines or observed evidence of recent street or sidewalk construction or repairs.
 - There was no observed evidence of the site being used as a solid waste dump, sump or sanitary landfill.
 - All utilities (water, sewer, electrical, telephone and cable, no evidence of gas lines noted) serving the Subject Sites are being provided along all of the adjacent right-of-way lines.
 - There were No observed delineated areas of wetlands on Subject Property.
 - Area of Site = 19,828 square feet (0.455 +/- Acres)
 - Number of Parking Spaces: N/A
 - The Subject Site is contiguous with and has direct legal access to Marmore Avenue, Daraco Avenue and Maggioire Street, public dedicated right-of-ways, and there are no gaps or gores.
 - Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level).
 - Benchmark Used: Miami-Dade County Benchmark # 216. Elevation = +9.94'.
 - ZONING INFORMATION:
Zoning Classification: 5FR (Single Family Residential District)
Building Setbacks: Front = 25 feet / Interior Side = 20% of frontage or 5 feet minimum / Street Side = 15 feet
Rear = 10 feet
 - Building Height: 25 feet maximum
Source: City of Coral Gables Zoning Code
 - This PLAN OF SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party:

- LEGACY 5810, LLC, A FLORIDA LIMITED LIABILITY COMPANY
- FIRST AMERICAN TITLE INSURANCE COMPANY
- OSCAR J. RODRIGUEZ, P.A.

TITLE REVIEW NOTES: SCHEDULE B - SECTION II

TITLE COMMITMENT PROVIDED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY
File No. 110186676, Effective Date: February 11, 2024 @ 4:10 PM

ITEMS 1 THROUGH 7: *STANDARD EXCEPTIONS*.

- Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of SECOND AMENDED PLAT OF CORAL GABLES RIVIERA SECTION PART 10, as recorded in Plat Book 31, Page. (Does affect Subject Property - Record Plat)
- Easement granted to South Atlantic Telephone and Telegraph Company by instrument recorded in Deed Book 839, Page 106, assigned in Deed Book 506, Page 37. (Does affect Subject Property - Not a Plottable Survey Item)
- Easement granted to Utilities Land Company by instrument recorded in Deed Book 939, Page 433, and assigned to Consumers Water Company by instrument recorded in Deed Book 1004, Page 499. (Does affect Subject Property - Not a Plottable Survey Item)
- Easement granted to Utilities Land Company by instrument recorded in Deed Book 939, Page 435, and assigned to Florida Power and Light Company by instrument recorded in Deed Book 1004, Page 496. (Does affect Subject Property - Not a Plottable Survey Item)
- Dedication recorded in Deed Book 955, Page 209. (Does affect Subject Property - Not a Plottable Survey Item)
- Declaration of Covenants, Conditions and Restrictions recorded in Book 11473, Page 207 and as amended in Book 11760, Page 606. (Does affect Subject Property - Not a Plottable Survey Item)
- Easement granted to Florida Power & Light Company by instrument recorded in Book 33215, Page 565. (Does affect Subject Property - Plotted on Survey)

SURVEYOR'S CERTIFICATE:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/ NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items: I thru 4, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, and 20 of Table A thereof.
I further certify that this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.051, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Printed copies are Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Digital Copies are Not valid without an electronic authorized signature of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

For the Firm Royal Point Land Surveyors, Inc LB# 7282
 JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA
 PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5880 STATE OF FLORIDA

RECORD OF REVISION	
NO.	DATE
DESCRIPTION	

ROYAL POINT LAND SURVEYORS, INC. L.B.# 7282
 info@royalpointls.com
 6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FL. 33014 *** TEL: 305-822-6062 *** FAX: 305-827-9669

ALTA/ NSPS LAND TITLE SURVEY

LEGACY 5810, LLC
 5810 MAGGIORE STREET CORAL GABLES, FL.

PREPARED FOR: 5810 MAGGIORE STREET CORAL GABLES, FL.

DRAWN: J.G.
 CHECKED: P.J.A.
 SCALE: 1" = 20'
 FIELD DATE: 04/25/2024
 JOB NO.: RP24-0553
 SHEET: 1 OF 1 SHEET



LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

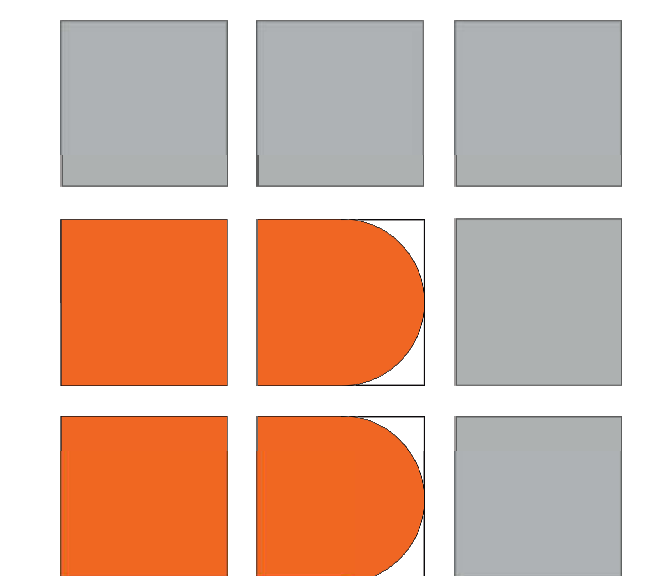
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

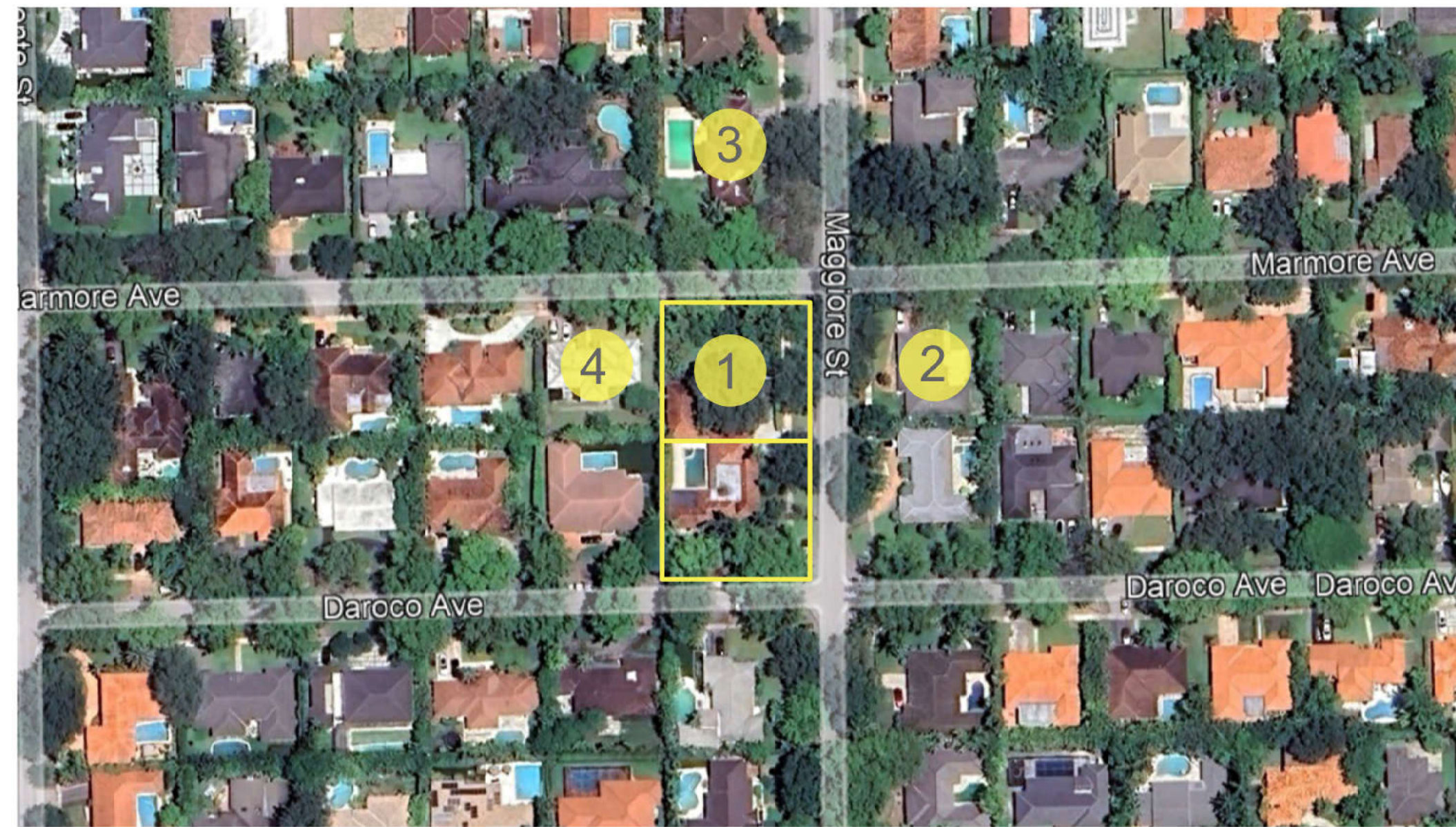
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

COVER

SHEET NUMBER

COVER



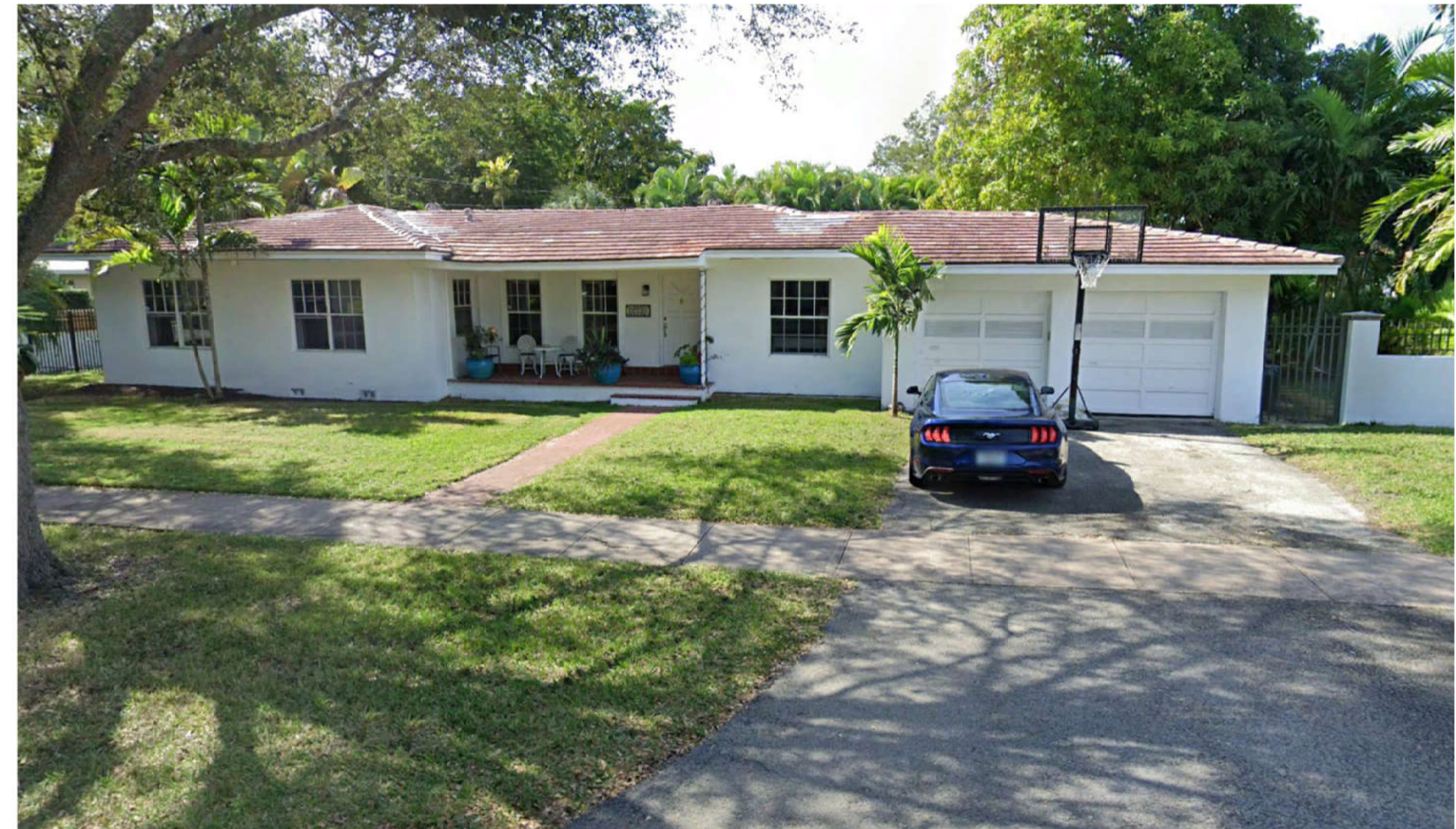
AREA MAP



#1 PROJECT SITE



#2 NEIGHBOR TO THE EAST



#3 NEIGHBOR TO THE NORTH



#4 NEIGHBOR TO THE WEST

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

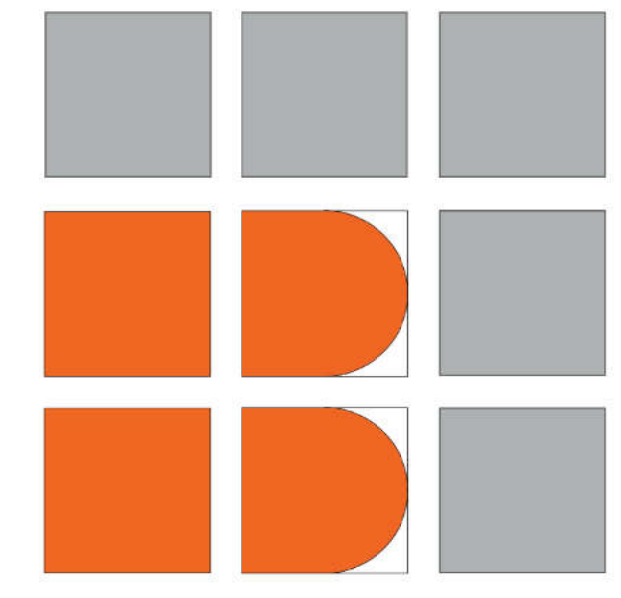
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

CONTEXT

SHEET NUMBER

A-1



#1 5720 SAN VINCENT ST.



#2 441 GERONA AVE.



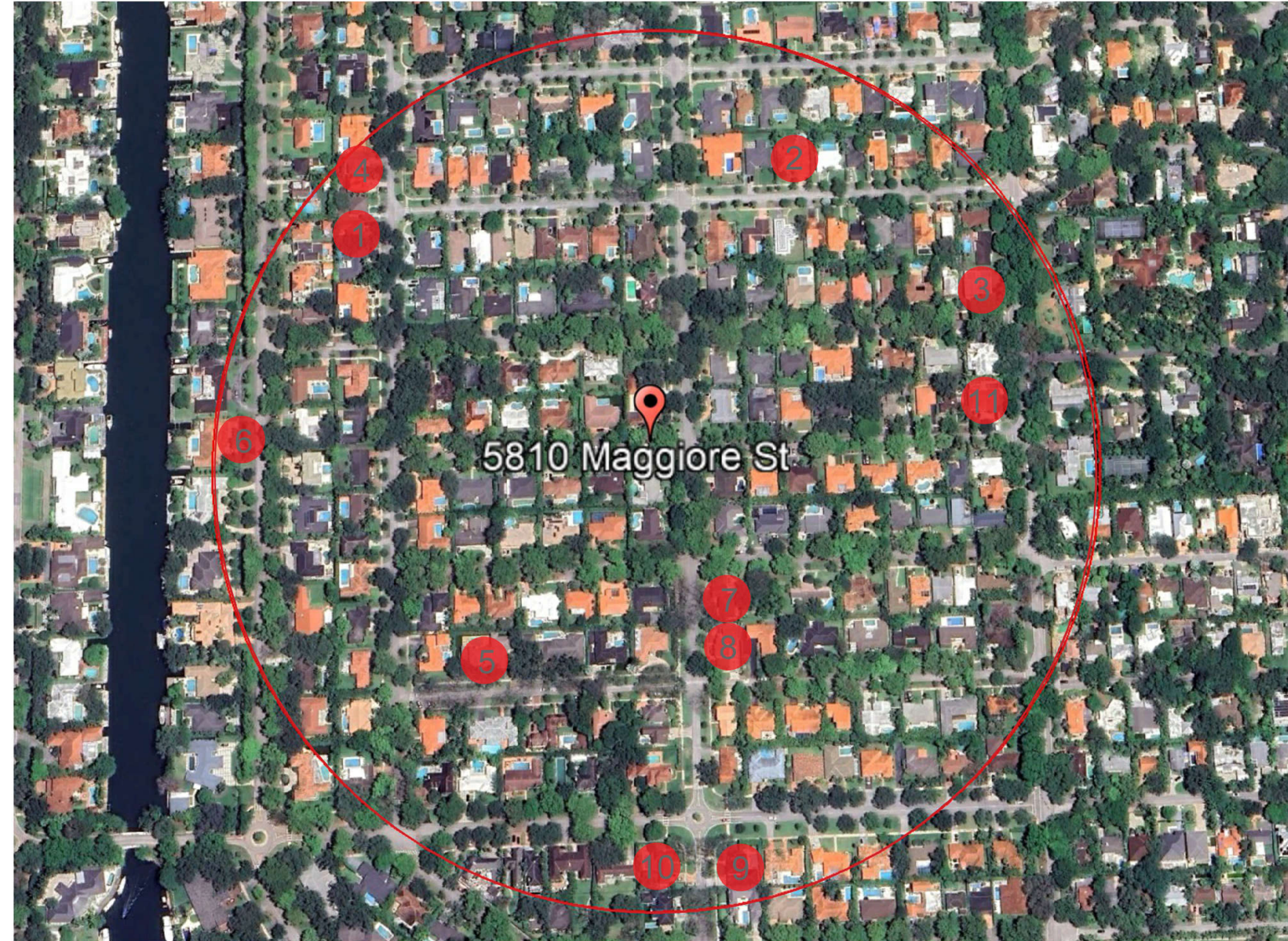
#3 405 MARMORE AVE.



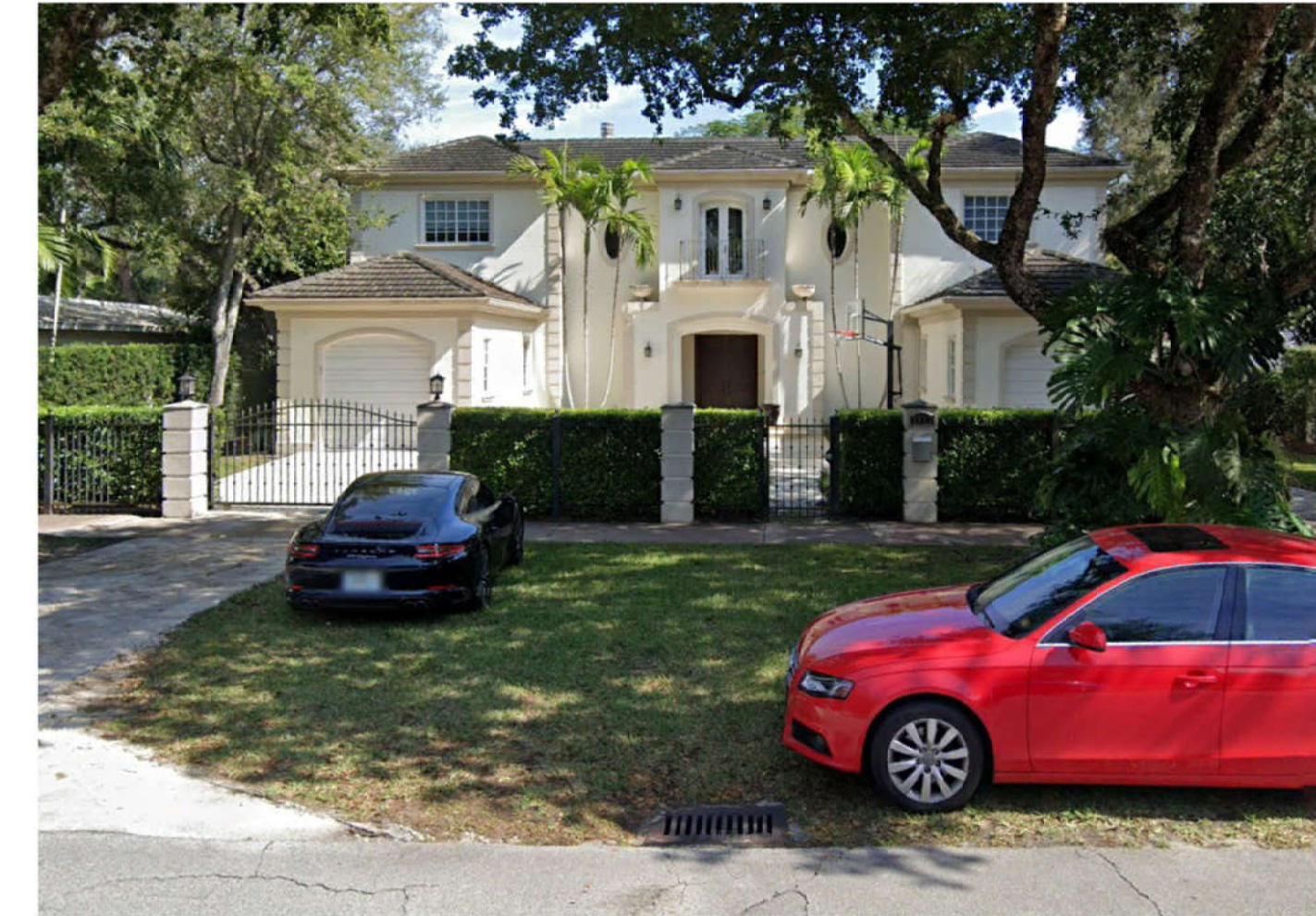
#4 5708 SAN VINCENT ST.



#5 535 CALIGULA RD.



AREA MAP



#6 5817 RIVIERA DR.



#7 6001 MAGGIORE ST



#8 6009 MAGGIORE ST.



#9 6205 MAGGIORE ST.



#10 500 HARDEE RD.



#11 515 CALIGULA RD.



#12 401 DAROCO AVE.

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

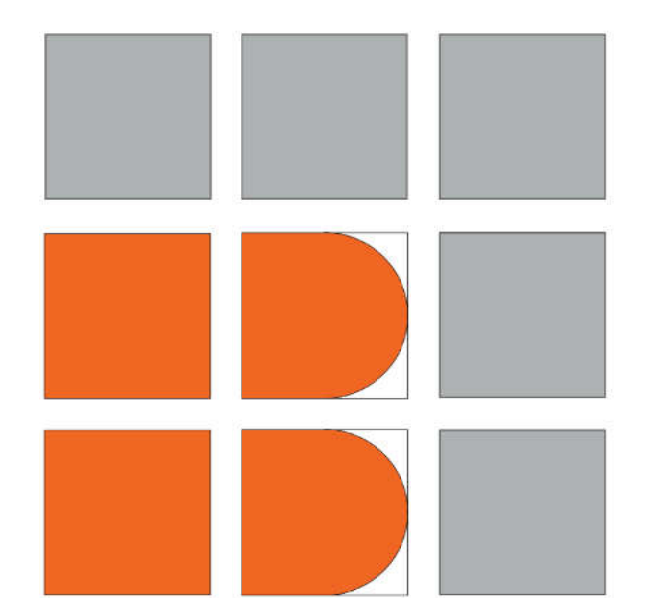
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

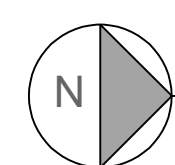
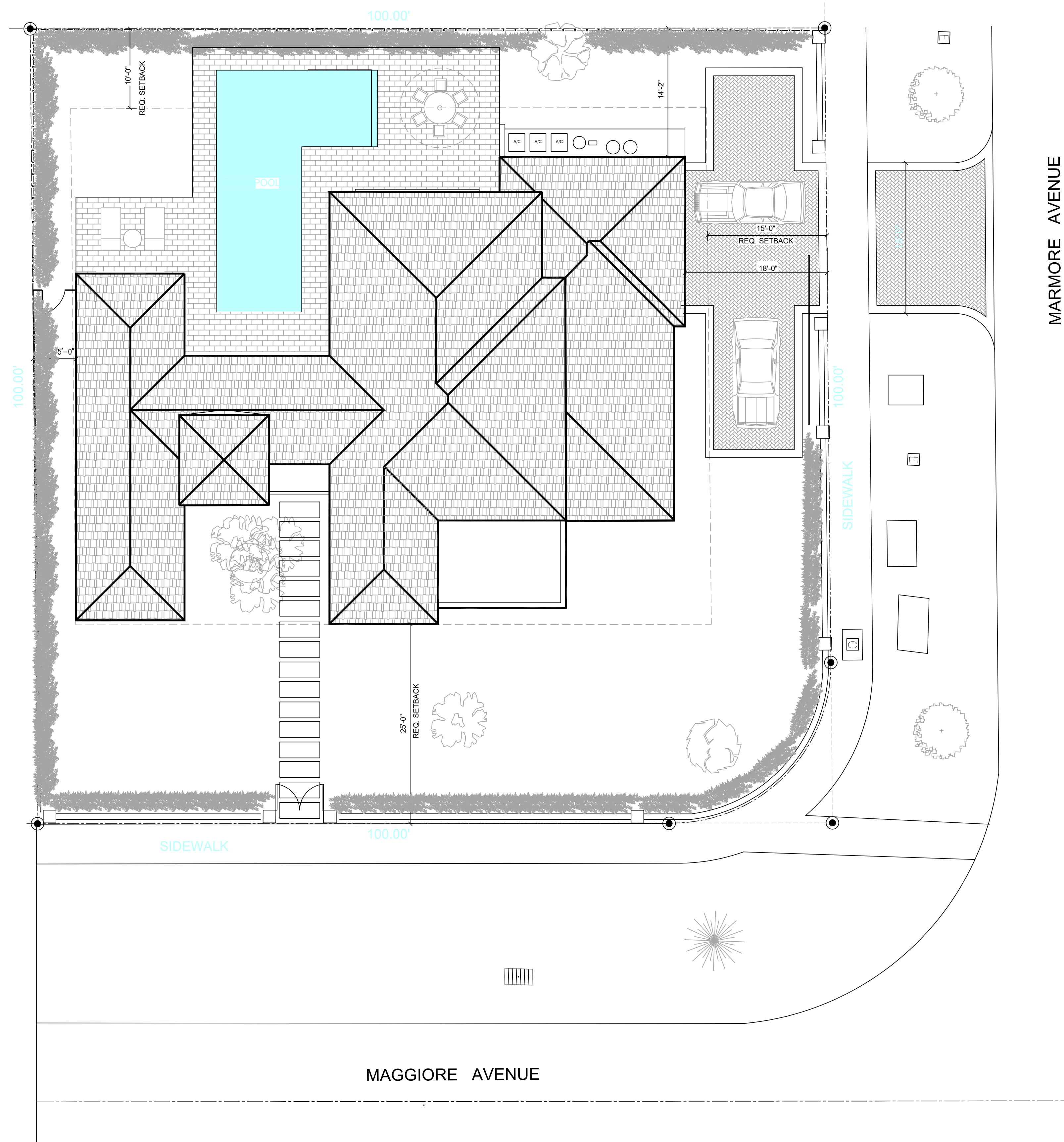
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

SURROUNDING
CONTEXT MAP

SHEET NUMBER

A-2

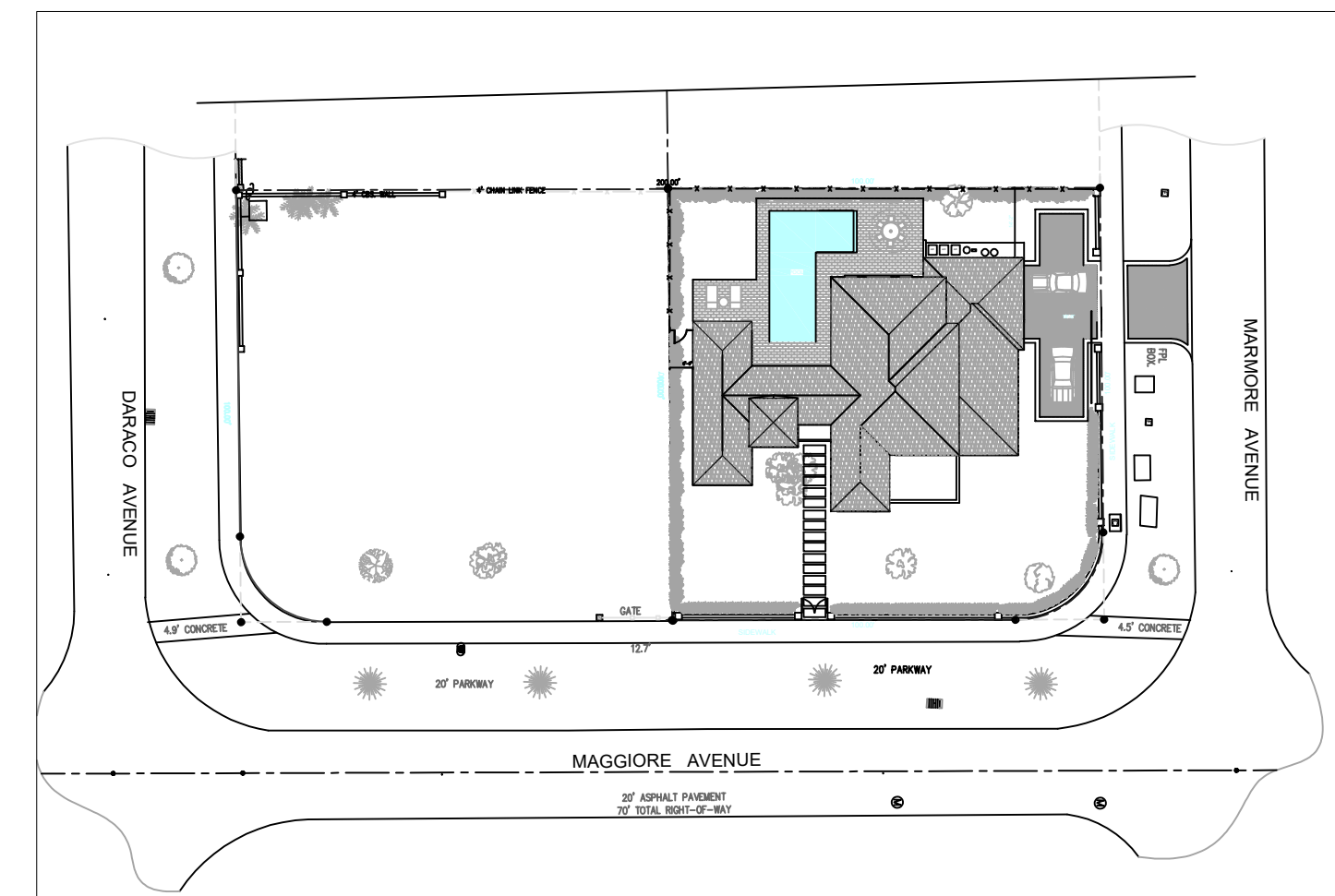


SITE PLAN

1/8"=1'-0"



LOCATION SKETCH



LOTS 11 AND 12, BLK. 119

ZONING INFORMATION		
LOT SIZE	10,003 SF	
LOT COVERAGE 35%	REQUIRED 3,500 SF	PROVIDED 3,147 SF
FAR	4,150 SF	4,146 SF
IMPERVIOUS COVERAGE 45%	4,500 SF	3,568 SF
GREEN AREA 40%	4,000 SF	5,442 SF
SETBACKS:		
FRONT	25'	25'
SIDES (SOUTH)	5'	5'
SIDES STREET (NORTH)	15'	18'
REAR	10'	14'-2"
AREAS		
FIRST FLOOR LIVING	2,135 SF	
SECOND FLOOR LIVING	1,887 SF	
TOTAL LIVING AREA	4,022 SF	
GARAGE	483 SF	
COV. TERRACES	482 SF	
ENTRY	54 SF	
COV. TERACES (2ND FL.)	342 SF	
TOTAL UNDER ROOF	5,383 SF	

LEGAL DESCRIPTION

LOTS 11, 12, 13, AND 14, IN BLOCK 119, OF "SECOND AMENDED PLAT OF CORAL GABLES, RIVIERA SECTION, PART 10", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 1, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

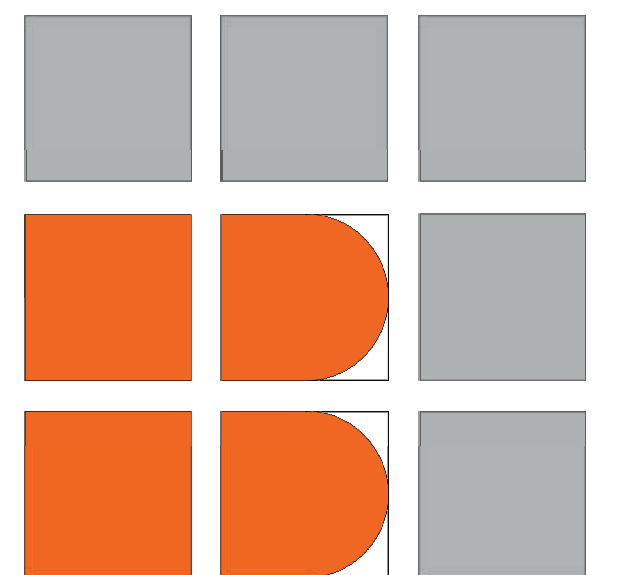
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

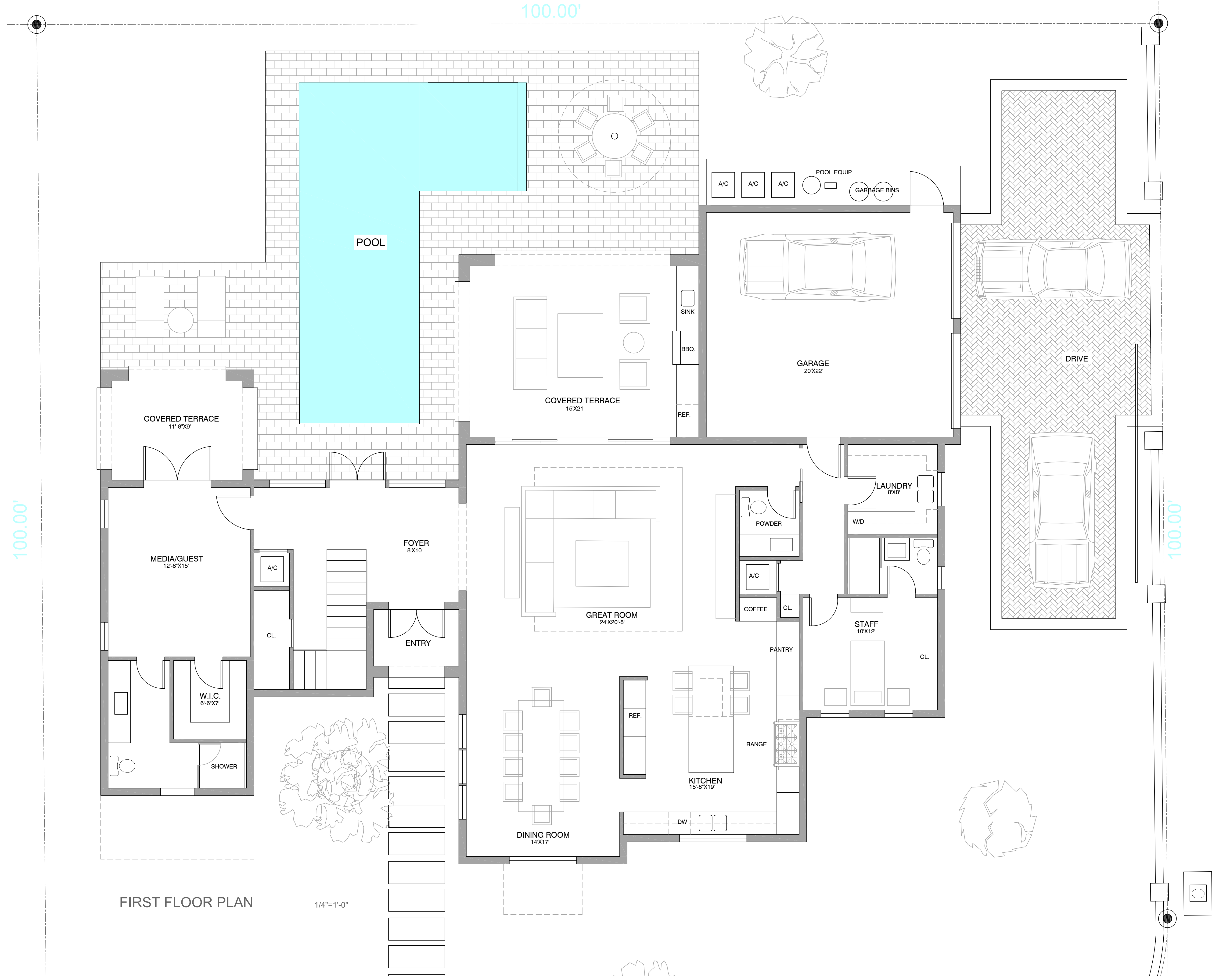
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

**SCHEMATIC
SITE PLAN**

SHEET NUMBER

A-3



FIRST FLOOR PLAN 1/4"=1'-0"

LEGACY
NEW RESIDENCE

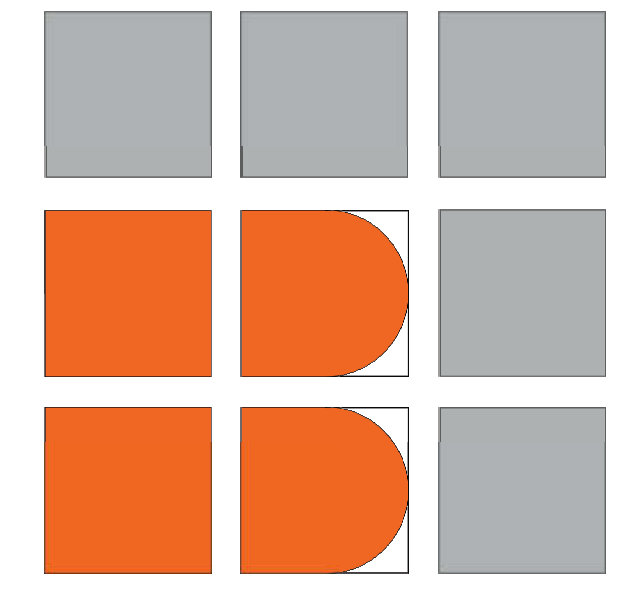
MAGGIORE & MARMORE
CORAL GABLES, FLORIDA
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

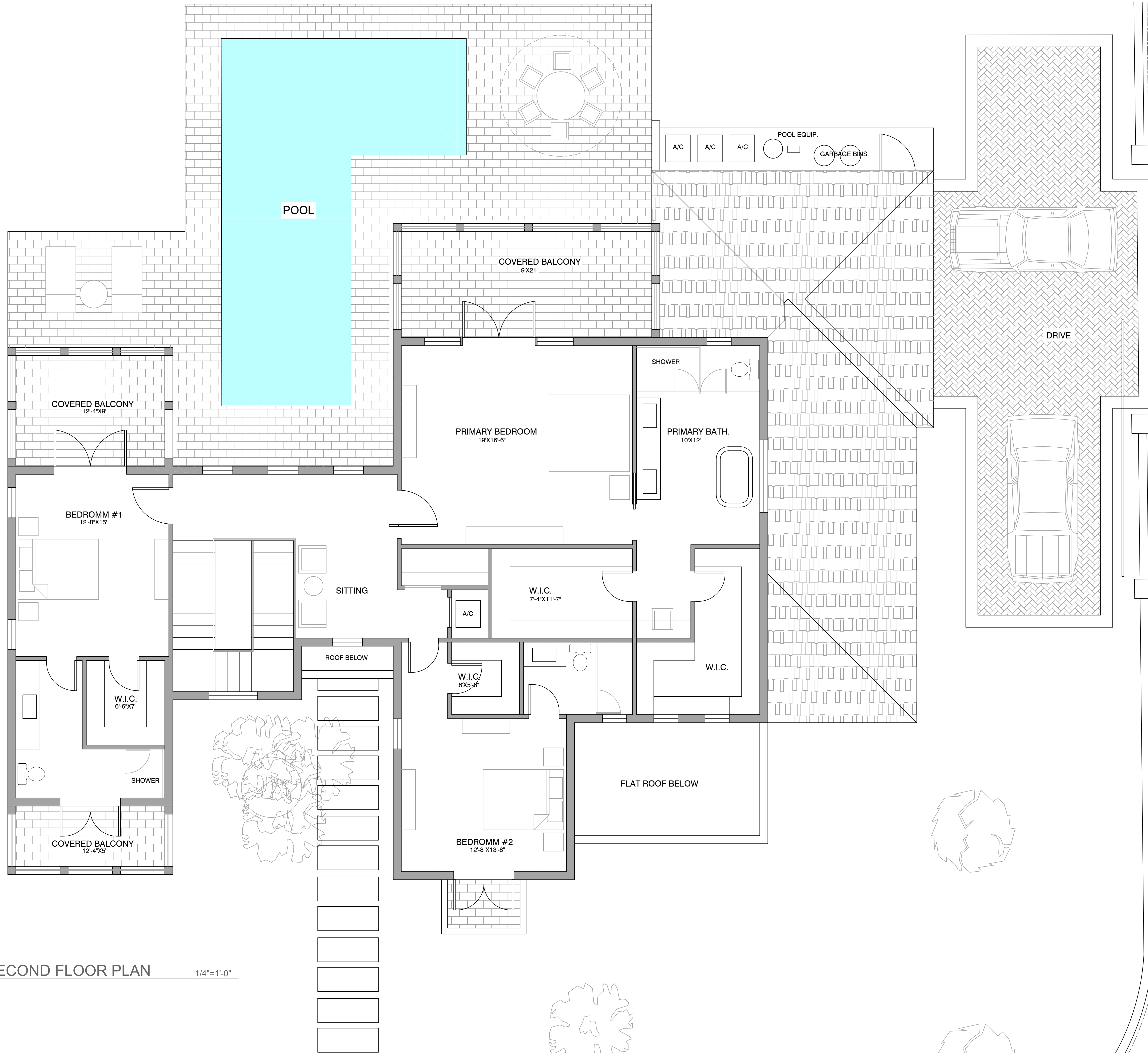
FIRST FLOOR PLAN

SHEET NUMBER

A-4

100.00'

100.00'



SECOND FLOOR PLAN 1/4"=1'-0"

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

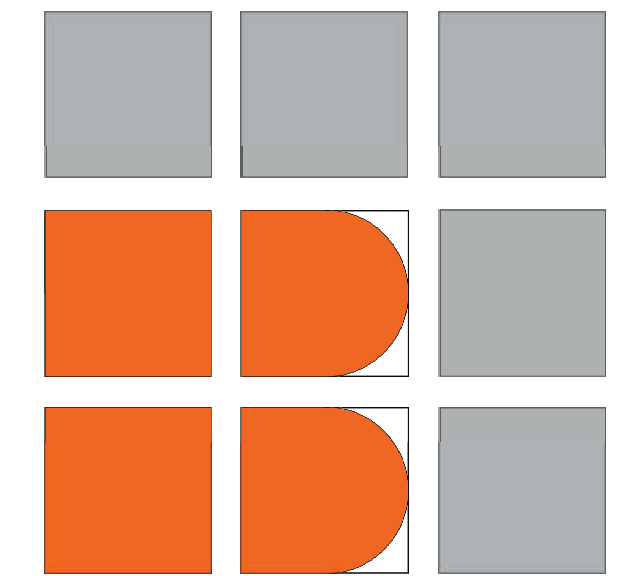
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
 CHECKED BY: GB
 ISSUE DATE: March 1, 2024
 SCALE: AS NOTED

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A-5

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

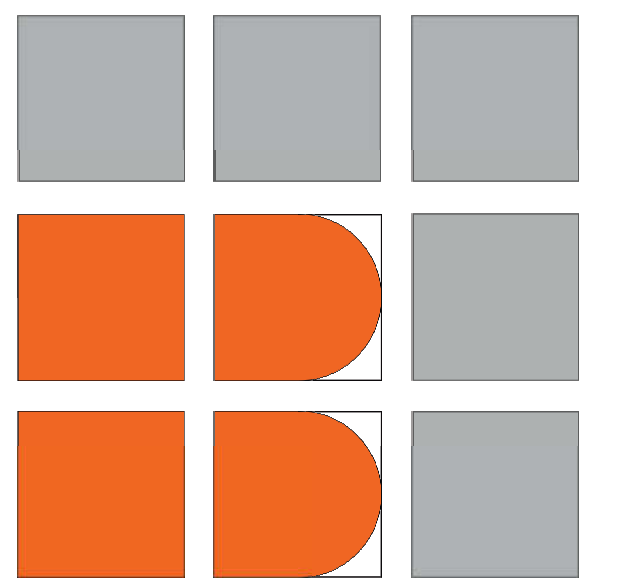
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

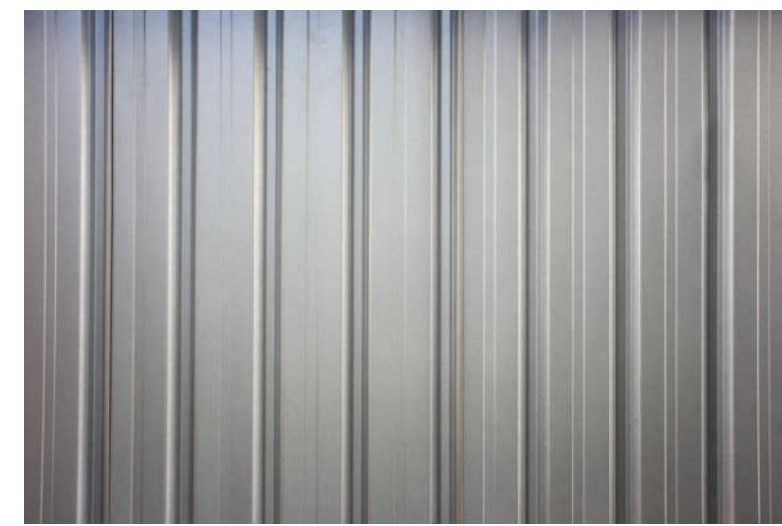
EAST AND NORTH
ELEVATIONS

SHEET NUMBER

A-6



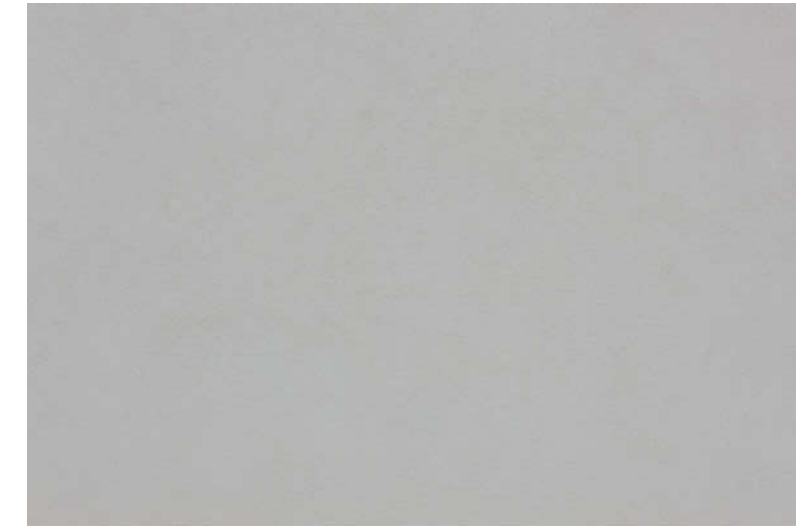
EAST ELEVATION 1/4"=1'-0"



GRAY STANDING SEAM METAL ROOF



SHIPLAP SIDING



SMOKEY GRAY SMOOTH STUCCO



GRAY SHUTTERS



NORTH ELEVATION 1/4"=1'-0"

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

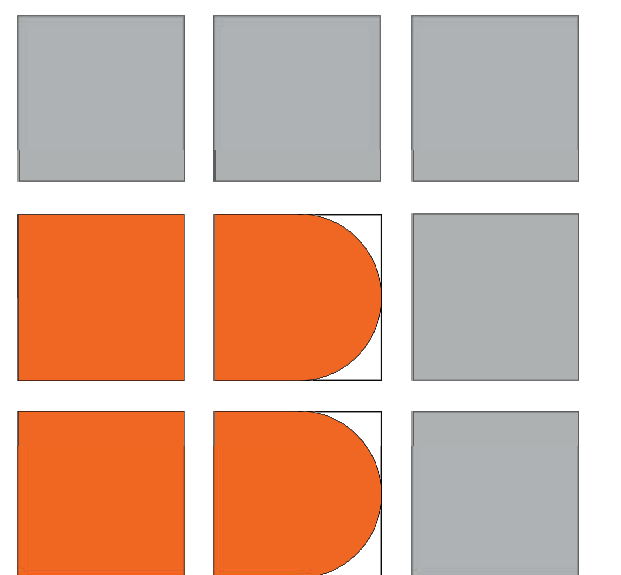
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

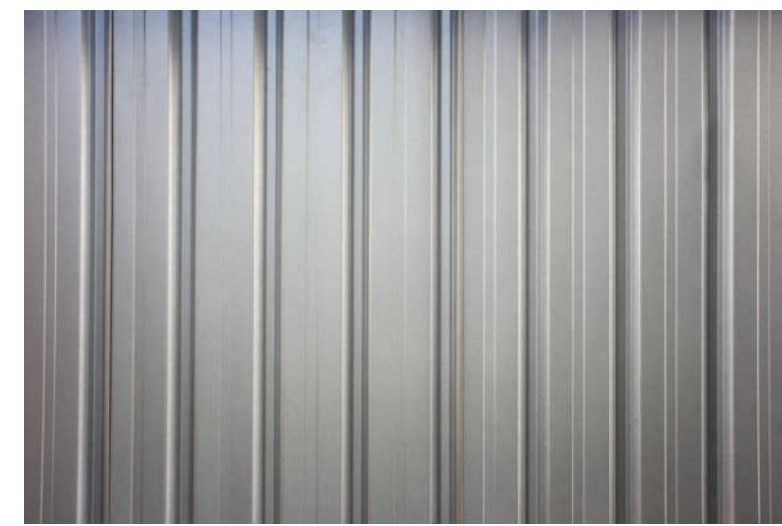
WEST AND SOUTH
ELEVATIONS

SHEET NUMBER

A-7



WEST ELEVATION 1/4"=1'-0"



GRAY STANDING SEAM METAL ROOF



SHIPLAP SIDING



SMOKEY GRAY SMOOTH STUCCO



GRAY SHUTTERS



SOUTH ELEVATION 1/4"=1'-0"



FRONT VIEW



FRONT VIEW WITH ADJOINING PROPERTY

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

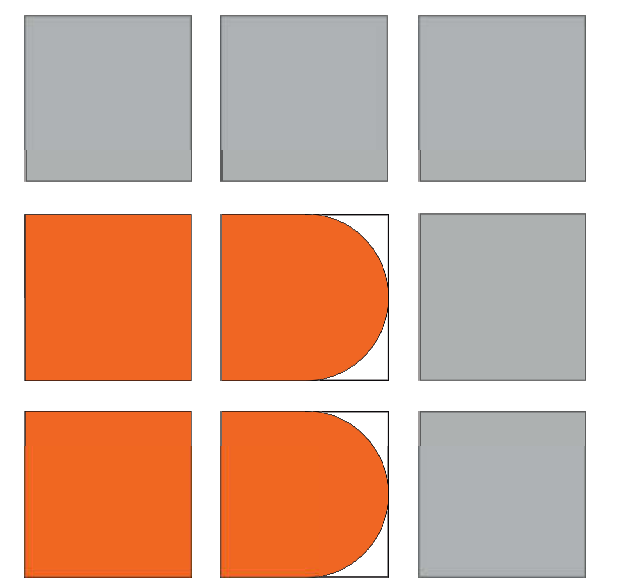
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

RENDERINGS

SHEET NUMBER

A-8



LEGACY 5810 LLC

NEW RESIDENCE
 5810 MAGGIORE ST.
 CORAL GABLES FLORIDA .

LEGACY 5810 LLC

NEW RESIDENCE
 5810 MAGGIORE ST.
 CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
 CORAL GABLES, FLORIDA

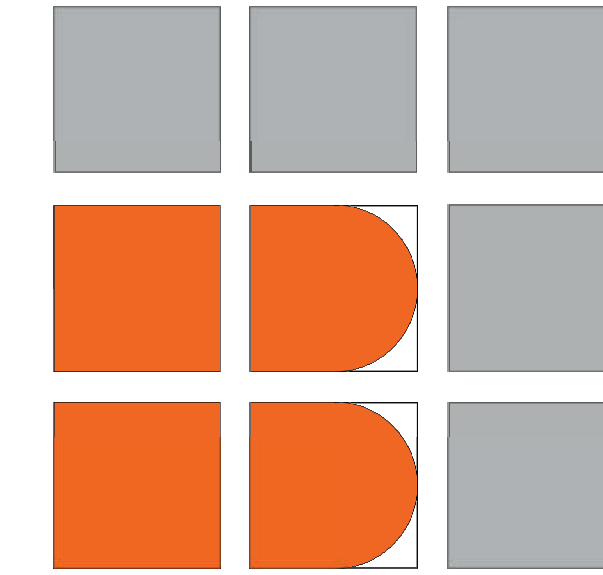
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
 AR13951
 DAVID SCOTT TRAUTMAN
 AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
 ARCHITECTS, LLC.

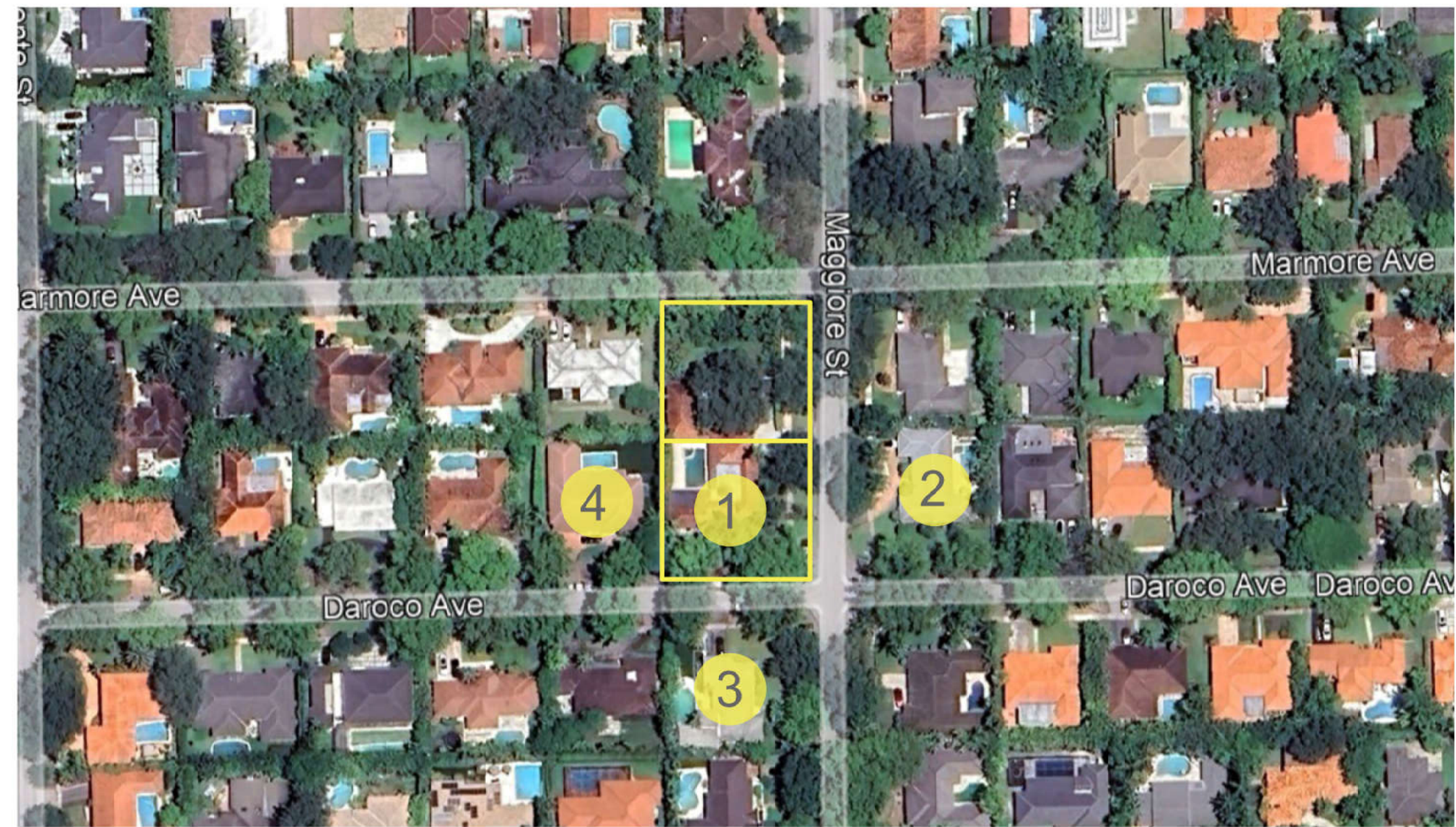
JOB NUMBER: LEGACY 5810 LLC
 CHECKED BY: GB
 ISSUE DATE: March 1, 2024
 SCALE: AS NOTED

SHEET TITLE

COVER

SHEET NUMBER

COVER



AREA MAP



#1 PROJECT SITE



#2 NEIGHBOR TO THE EAST



#3 NEIGHBOR TO THE SOUTH



#4 NEIGHBOR TO THE WEST

LEGACY
NEW RESIDENCE

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

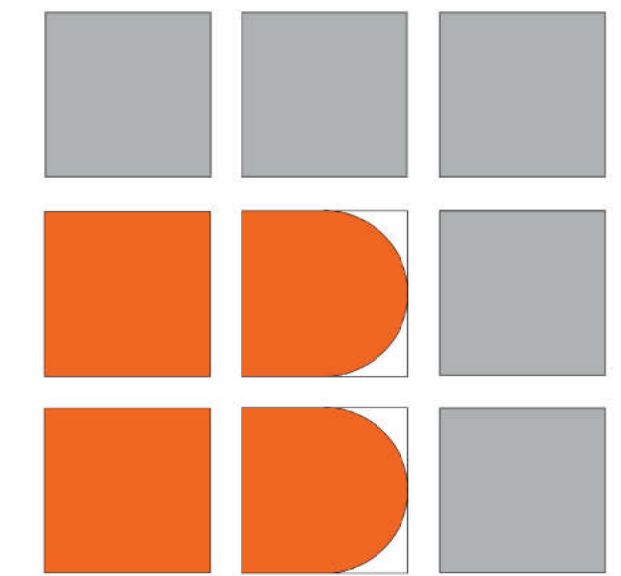
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 1, 2024
SCALE: AS NOTED

SHEET TITLE

CONTEXT

SHEET NUMBER

A-1



1) 5720 SAN VINCENT ST.



2) 441 GERONA AVE.



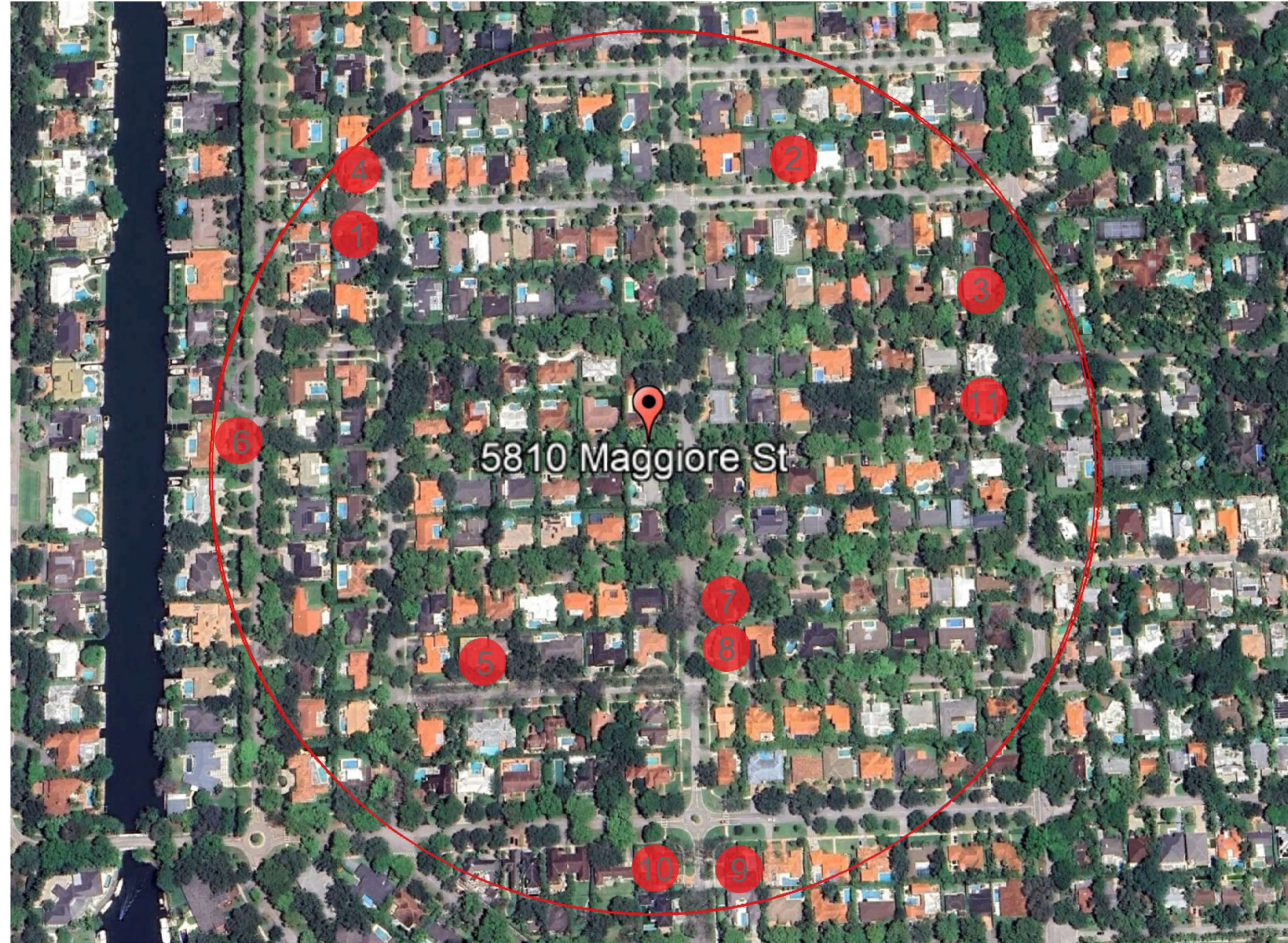
3) 405 MARMORE AVE.



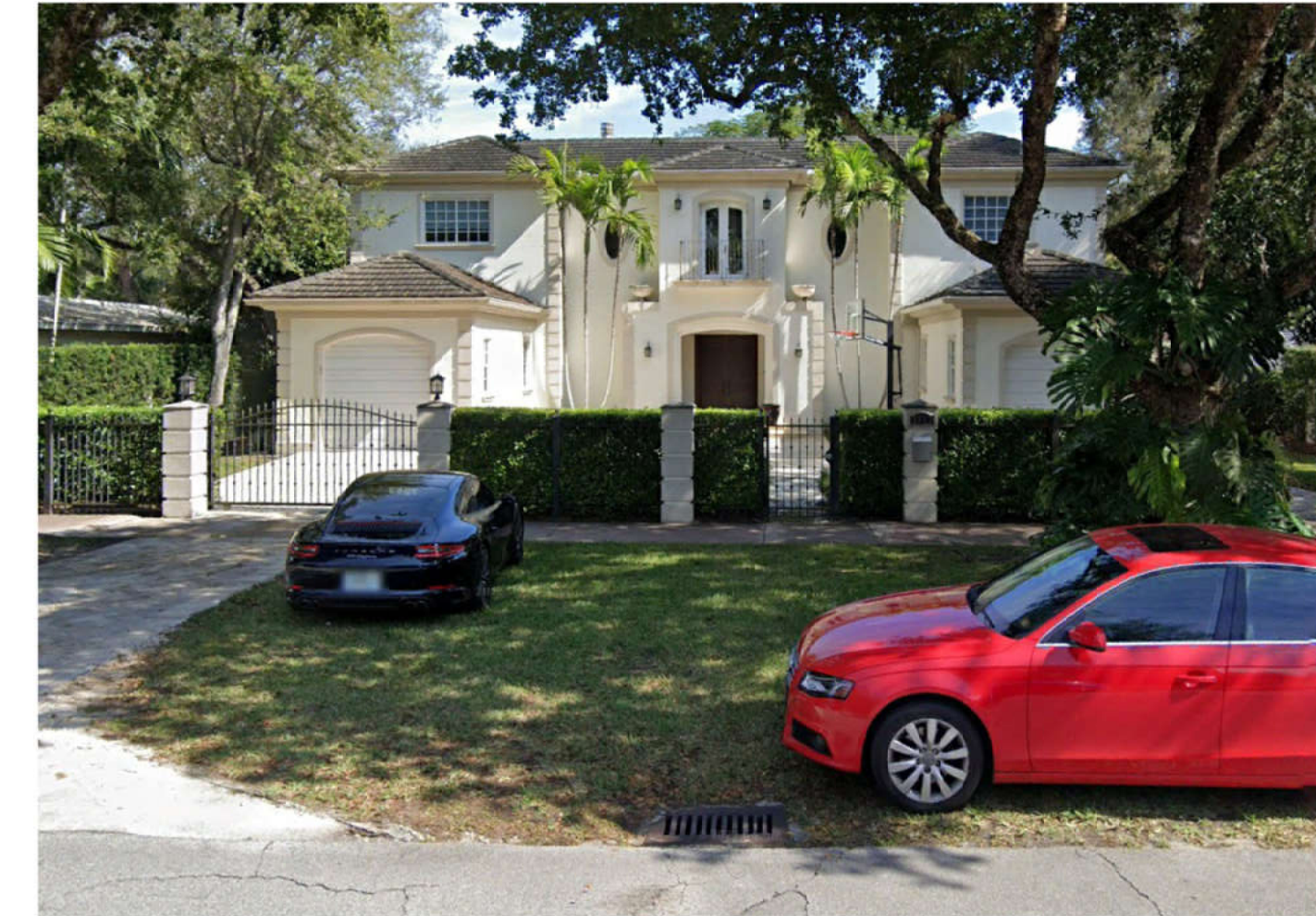
4) 5708 SAN VINCENT ST.



5) 535 CALIGULA RD.



AREA MAP



6) 5817 RIVIERA DR.



7) 6001 MAGGIORE ST



8) 6009 MAGGIORE ST.



9) 6205 MAGGIORE ST.



10) 500 HARDEE RD.



11) 515 CALIGULA RD.



12) 401 DAROCO AVE.

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

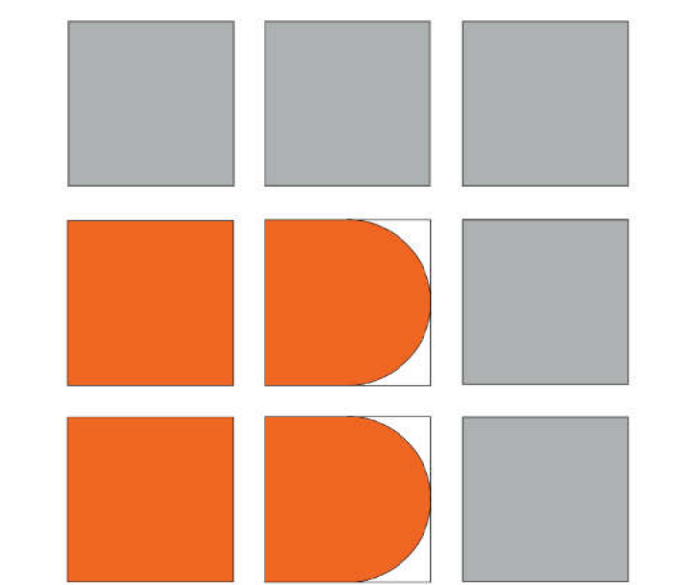
KEYPLAN N.T.S.

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AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

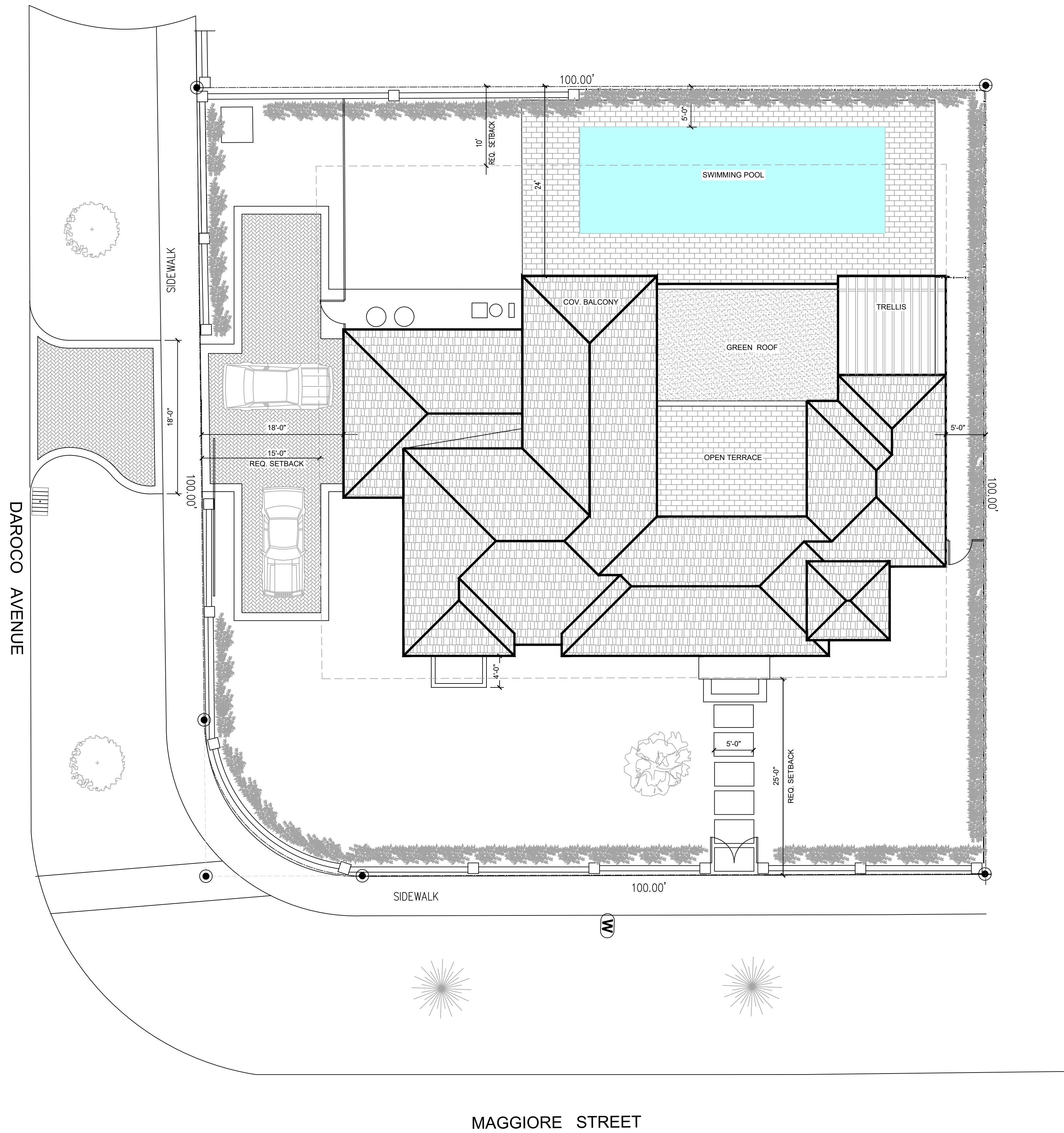
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

SURROUNDING
CONTEXT MAP

SHEET NUMBER

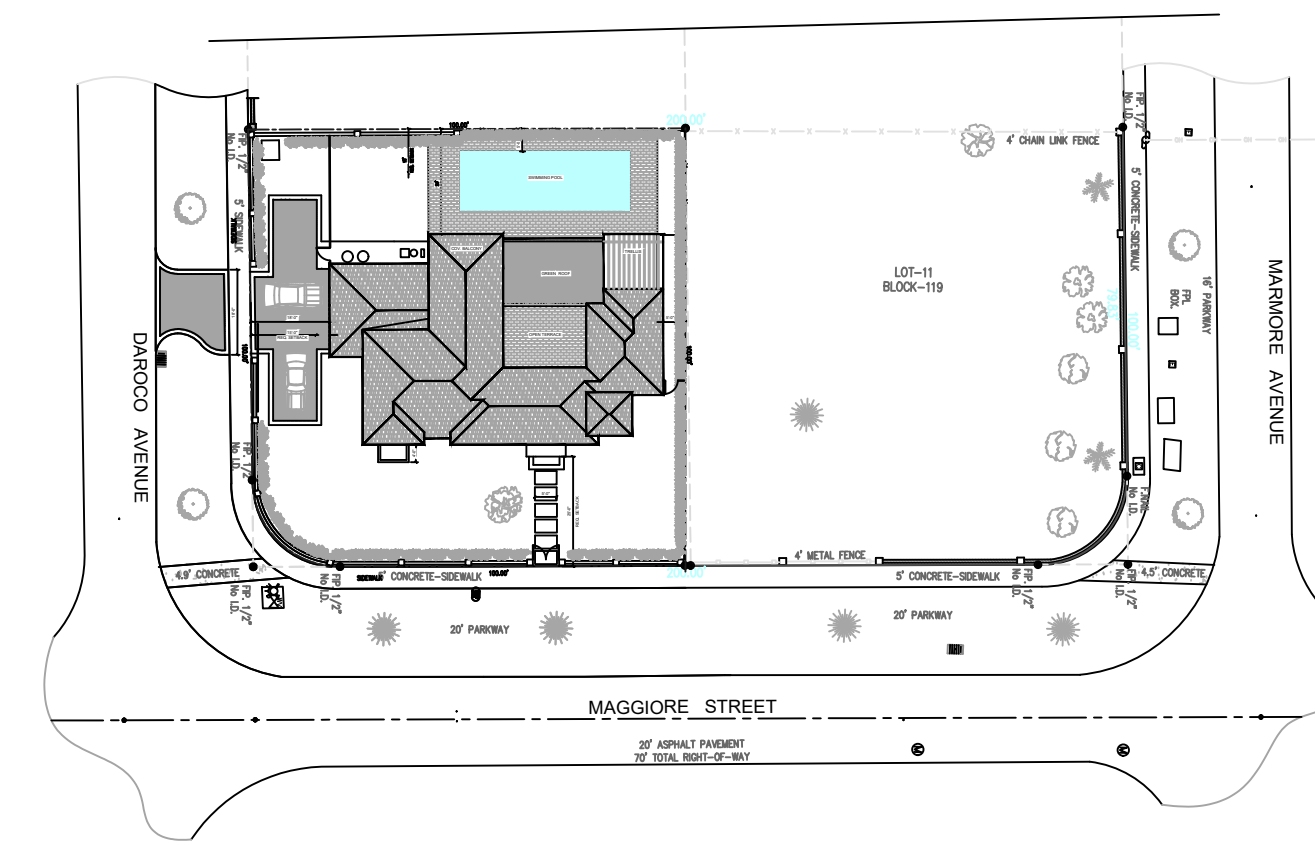
A-2



SITE PLAN 1/8"=1'-0"



LOCATION SKETCH



LOTS 13 AND 14, BLK. 119

ZONING INFORMATION		
LOT SIZE	10,003 SF	
LOT COVERAGE 35%	REQUIRED 3,500 SF	PROVIDED 3,271 SF
FAR	4,150 SF	4,144 SF
IMPERVIOUS COVERAGE 45%	4,500 SF	3,792 SF
GREEN AREA 40%	4,000 SF	5,376 SF
SETBACKS:		
FRONT	25'	25'
SIDE (NORTH)	5'	5'
SIDE STREET (SOUTH)	15'	18'
REAR	10'	24'
AREAS		
FIRST FLOOR LIVING	2,033 SF	
SECOND FLOOR LIVING	1,969 SF	
TOTAL LIVING AREA	4,002 SF	
GARAGE	473 SF	
COV. TERRACE	745 SF	
ENTRY	38 SF	
COV. TERRACE (2ND FL.)	137 SF	
TOTAL UNDER ROOF	5,395 SF	

LEGAL DESCRIPTION

LOTS 11, 12, 13, AND 14, IN BLOCK 119, OF "SECOND AMENDED PLAT OF CORAL GABLES, RIVIERA SECTION, PART 10", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 1, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

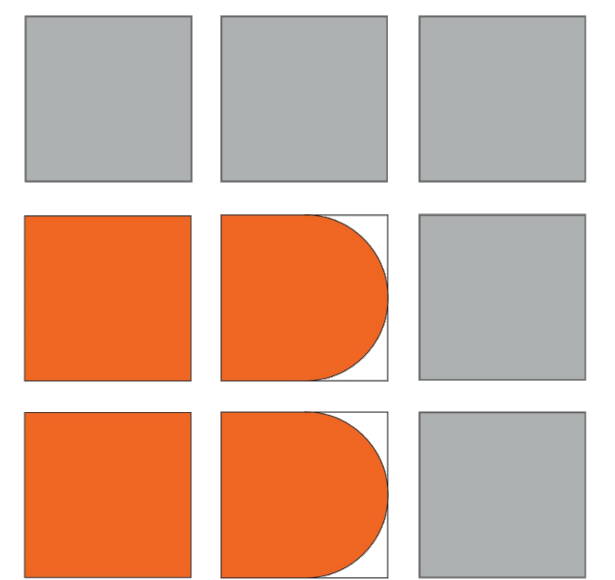
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

**SCHEMATIC
SITE PLAN**

SHEET NUMBER

A-3

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

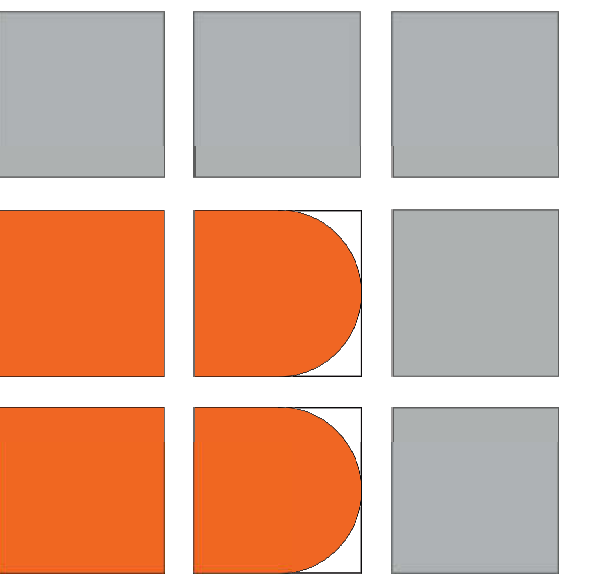
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 24, 2024
SCALE: AS NOTED

SHEET TITLE

**SCHEMATIC
FIRST FLOOR PLAN**

SHEET NUMBER

A-4



FIRST FLOOR PLAN 1/4"=1'-0"

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

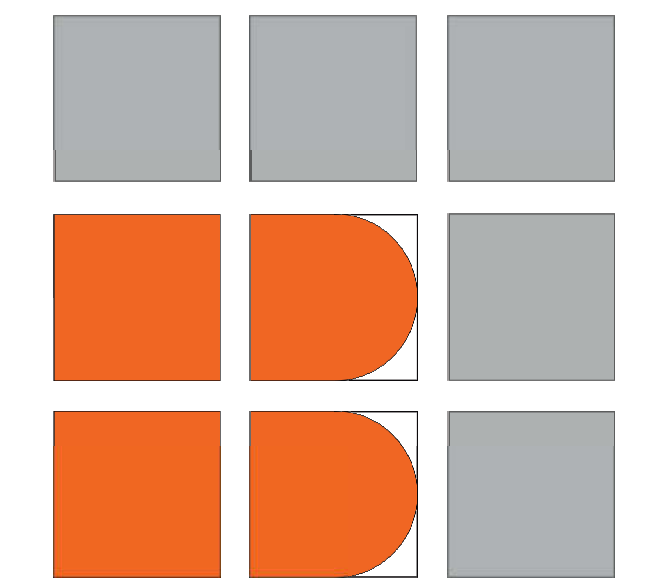
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

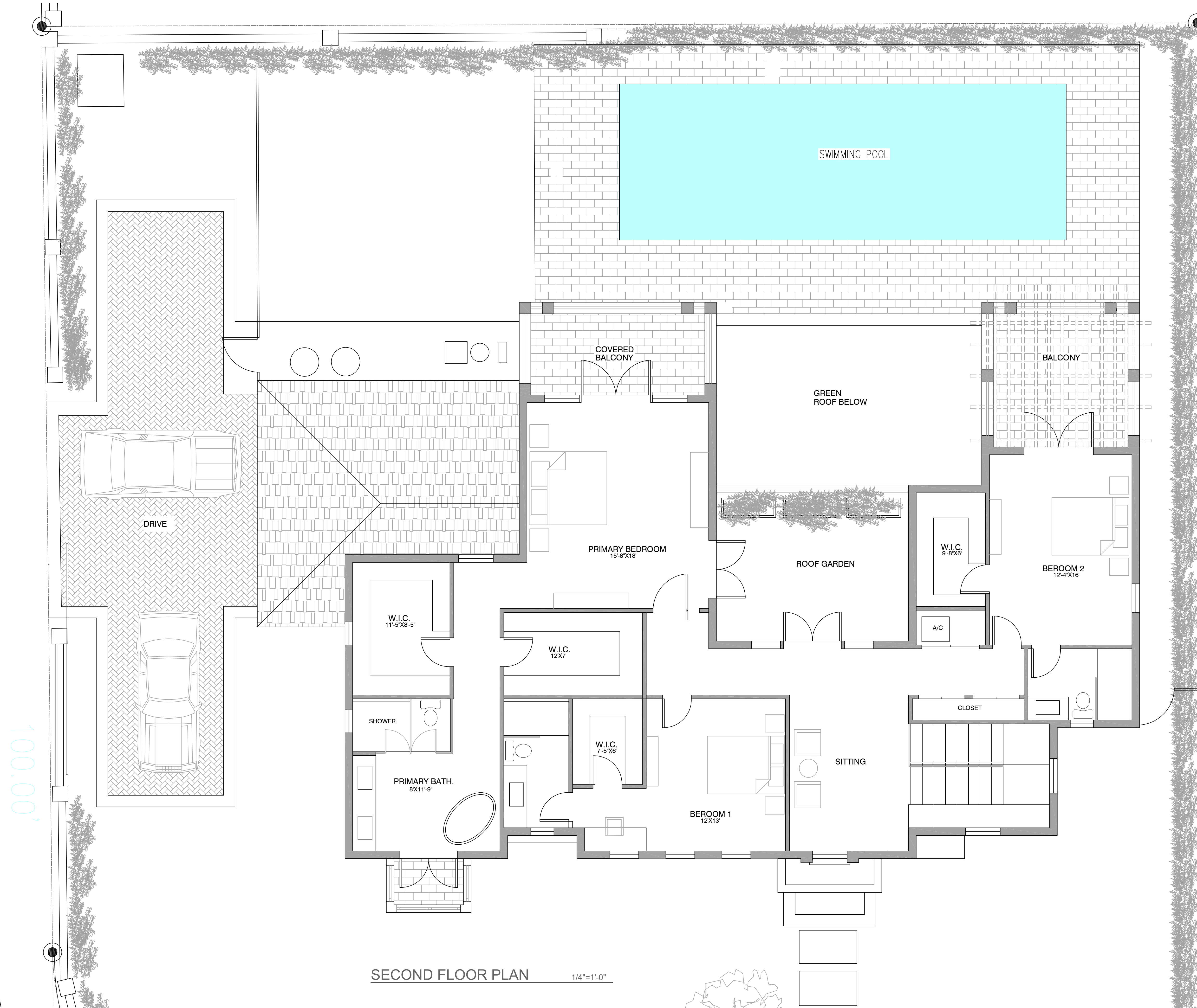
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 24, 2024
SCALE: AS NOTED

SHEET TITLE

**SCHEMATIC
SECOND FLOOR PLAN**

SHEET NUMBER

A-5



SECOND FLOOR PLAN 1/4"=1'-0"

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

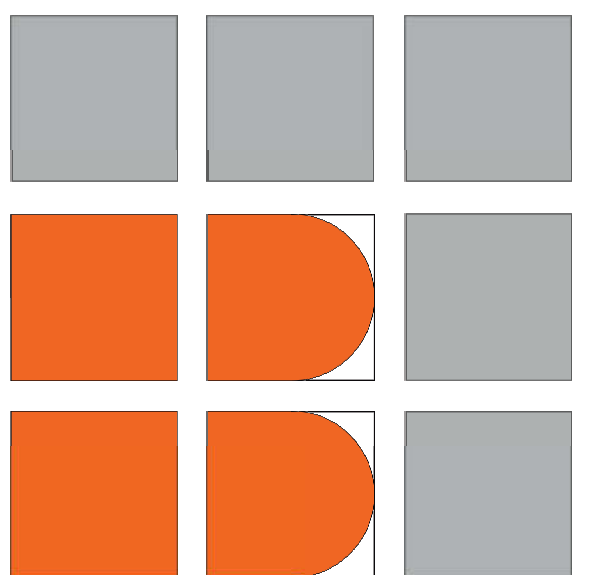
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SHEET TITLE

EAST AND NORTH ELEVATIONS

SHEET NUMBER

A-6



EAST ELEVATION

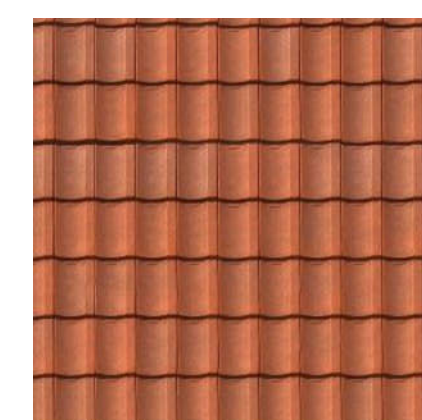
1/4"=1'-0"



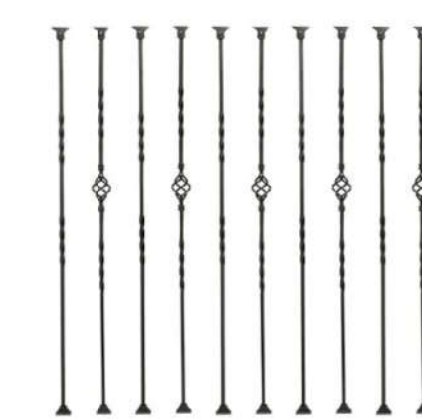
WHITE SMOOTH STUCCO



CREAM SMOOTH STUCCO



CLAY TILE ROOF



ORNAMENTAL ALUMINUM RAILING



NORTH ELEVATION

1/4"=1'-0"

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

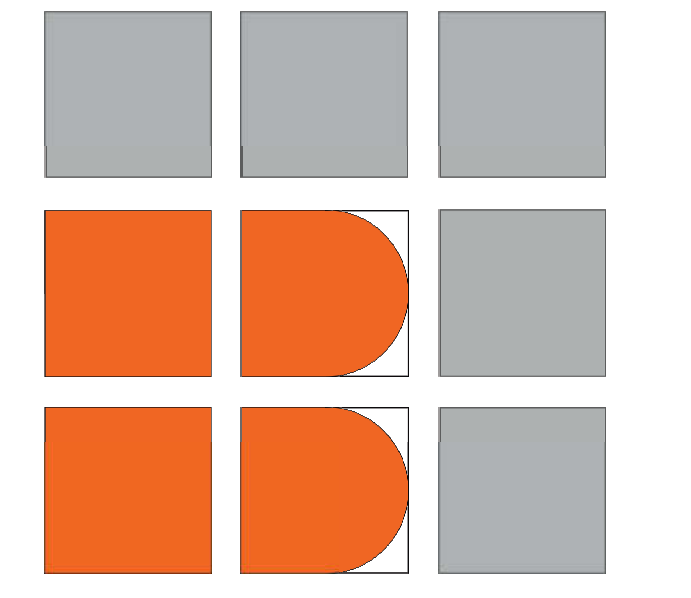
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GIORGIO L. BALLI, ARCHITECT
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REVISIONS

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ARCHITECTS, LLC.

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SHEET TITLE

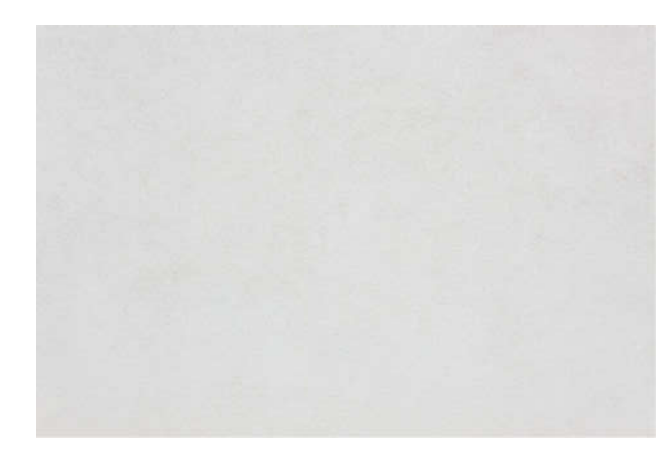
WEST AND SOUTH ELEVATIONS

SHEET NUMBER

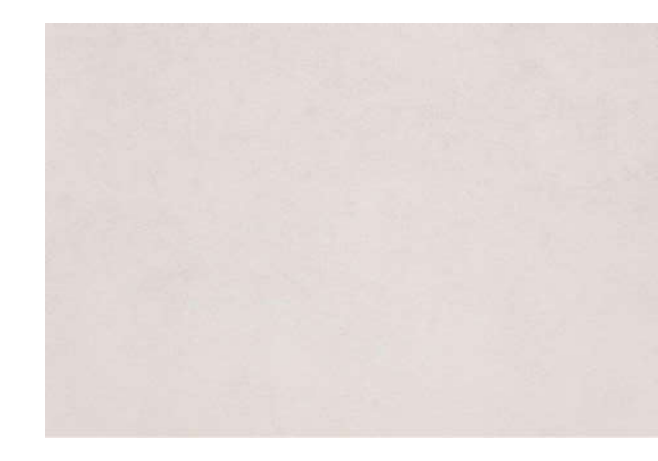
A-7



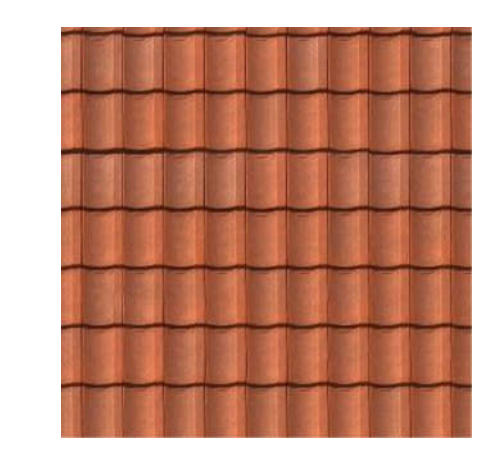
WEST ELEVATION 1/4"=1'-0"



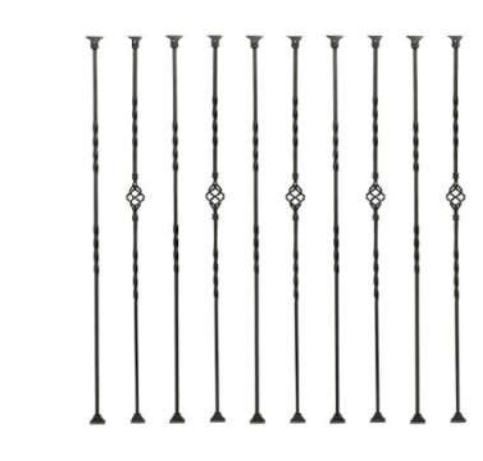
WHITE SMOOTH STUCCO



CREAM SMOOTH STUCCO



CLAY TILE ROOF



ORNAMENTAL ALUMINUM RAILING



SOUTH ELEVATION 1/4"=1'-0"



FRONT VIEW



FRONT VIEW WITH ADJOINING PROPERTY

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

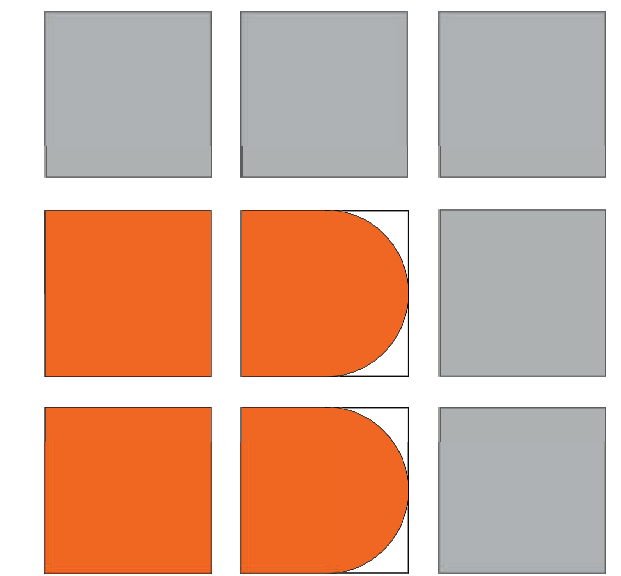
KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN
ARCHITECTS, LLC.

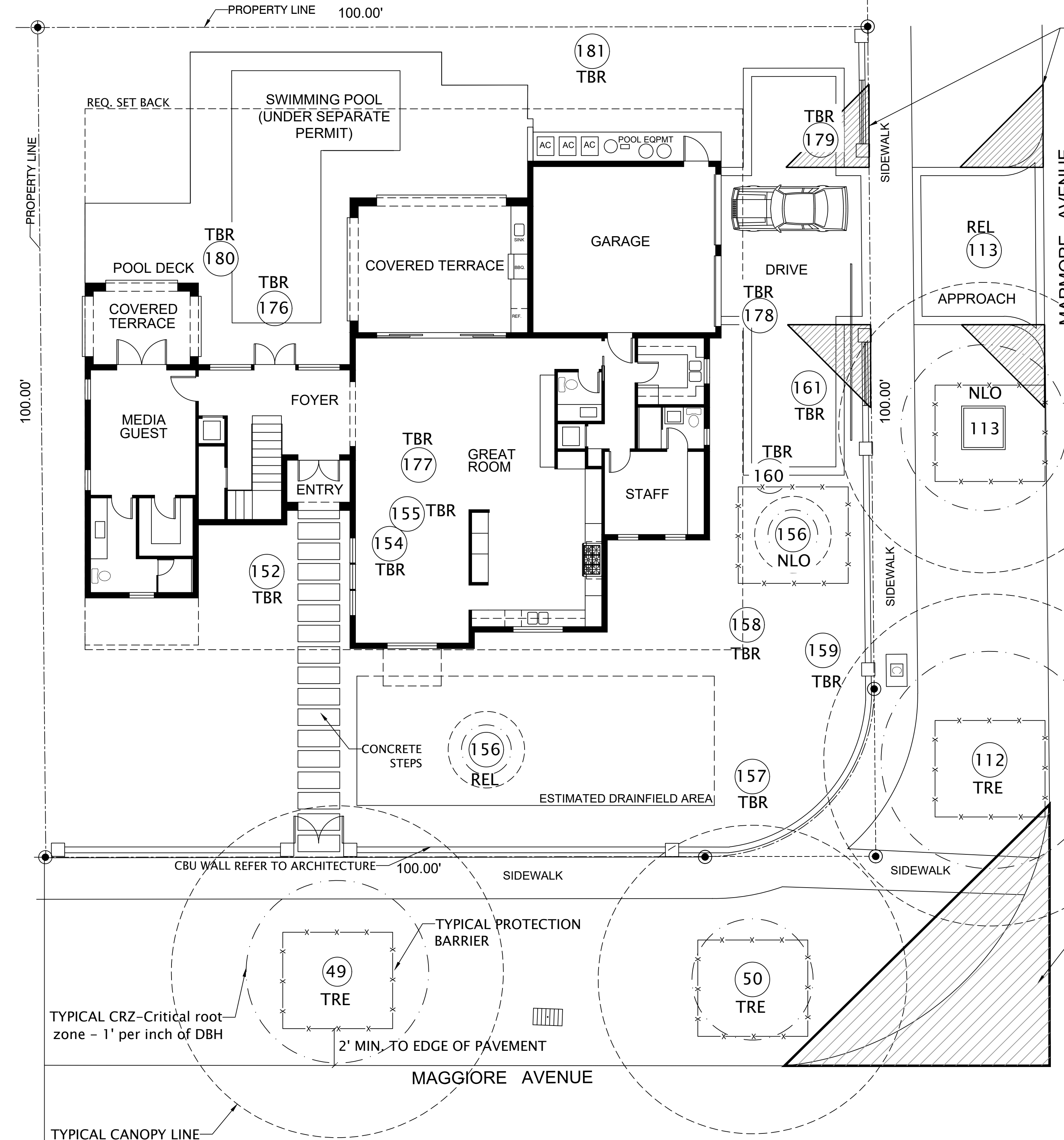
JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: GB
ISSUE DATE: March 25, 2024
SCALE: AS NOTED

SHEET TITLE

RENDERINGS

SHEET NUMBER

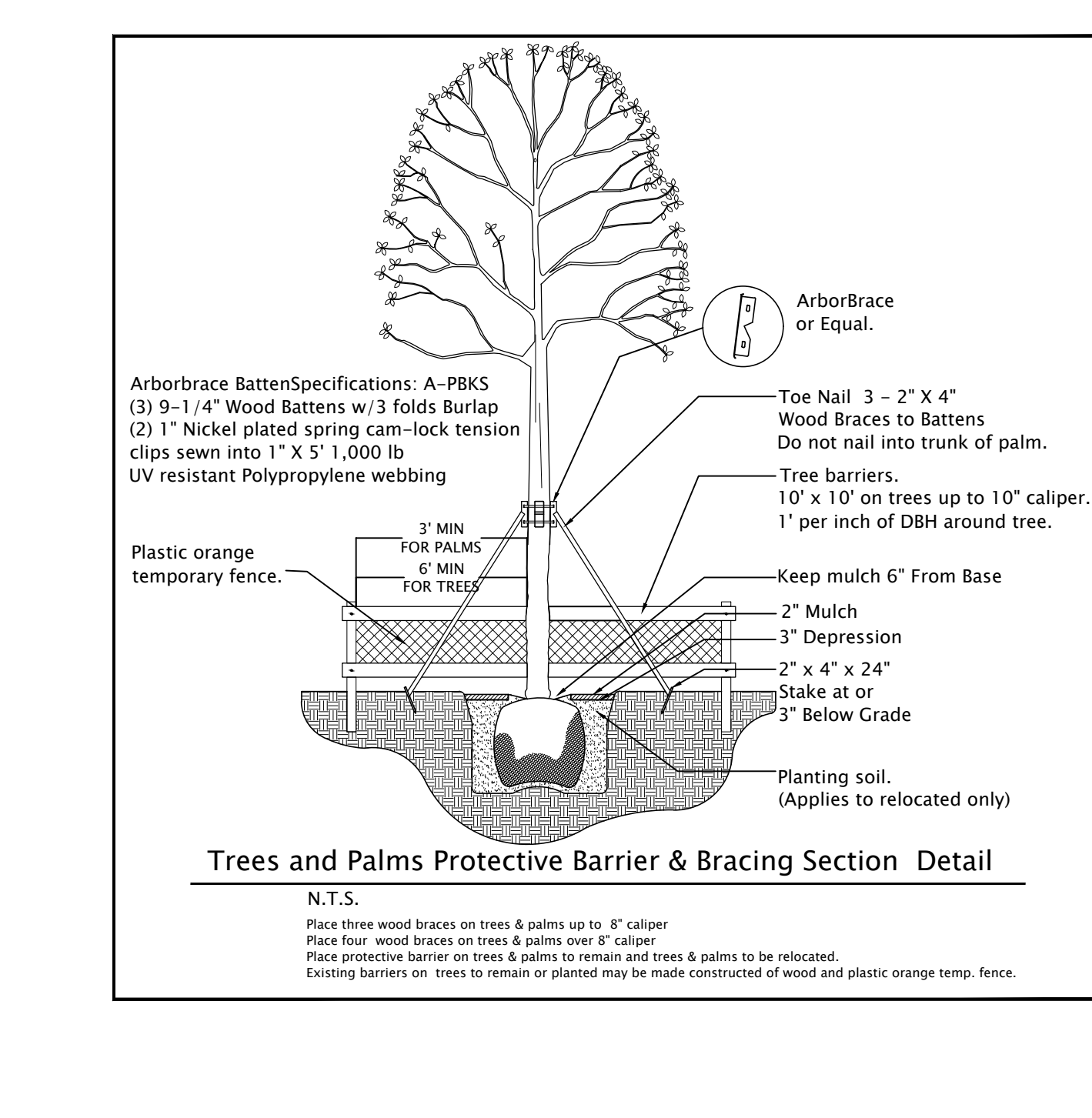
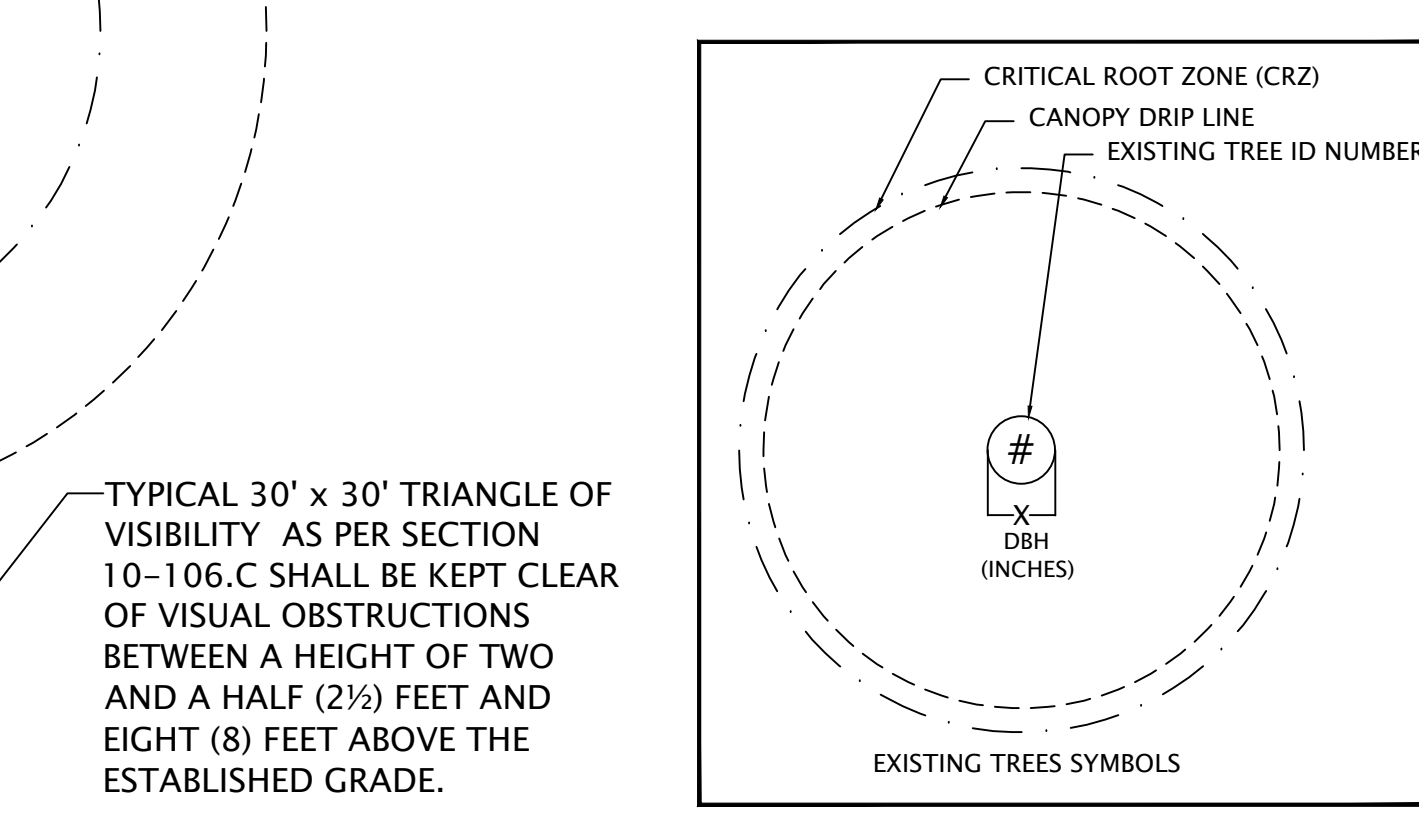
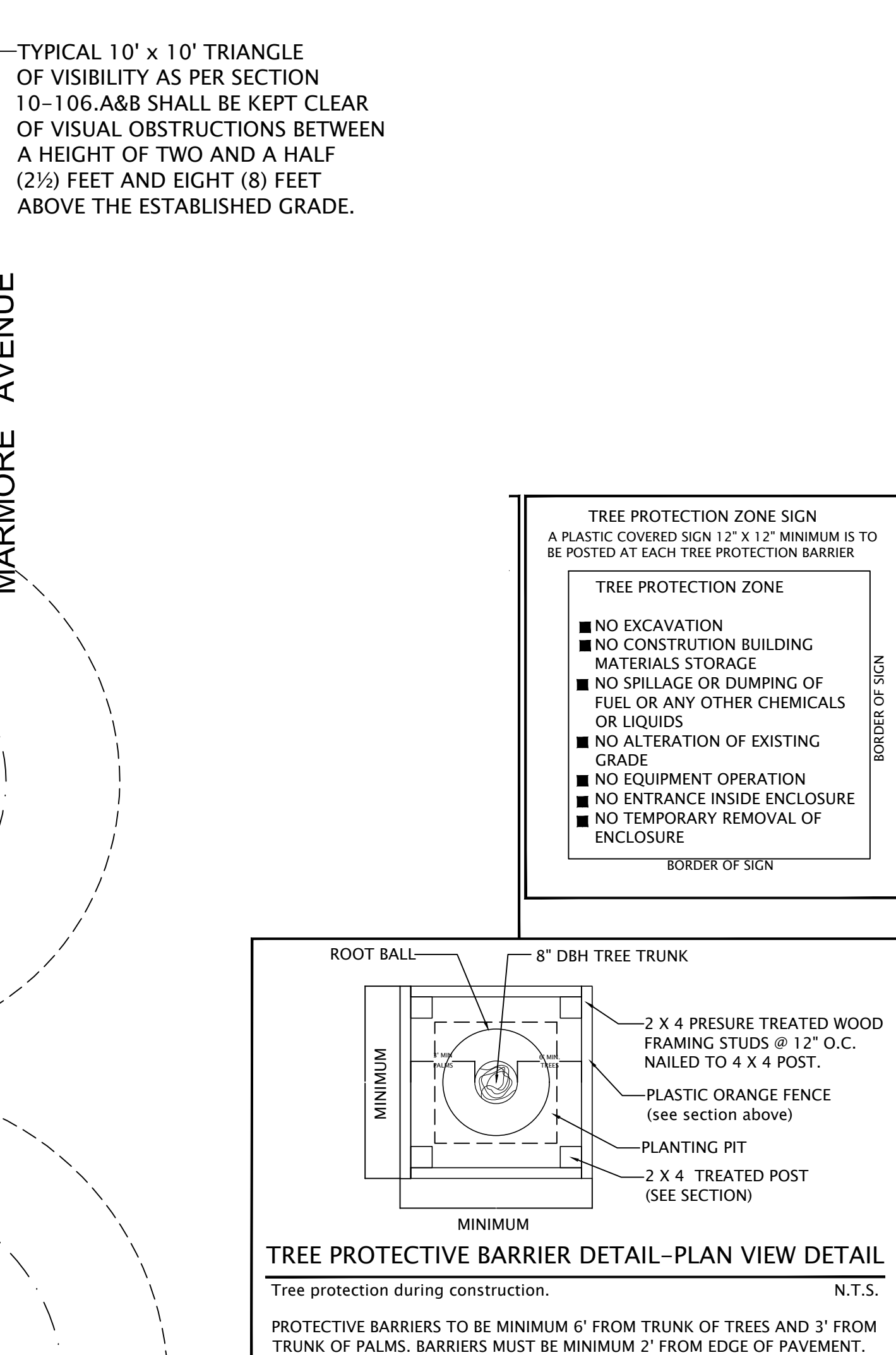
A-8



PRELIMINARY TREE DISPOSITION PLAN
SCALE: 1/8" = 1'-0"

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (FEET)	CANOPY (FEET)	DBH (INCHES)	HEALTH	DISPOSITION	CANOPY REMOVED (Feet)
T49	QUERCUS VIRGINIANA	LIVE OAK	30	40	21	Fair	REMAIN	
T50	QUERCUS VIRGINIANA	LIVE OAK	28	35	11	Fair	REMAIN	
T112	BUCCIDA BUCERAS	BLACK OLIVE	30	40	32	Fair	REMAIN	
T113	BUCCIDA BUCERAS	BLACK OLIVE	30	35	20	Fair	RELOCATE	
T152	QUERCUS VIRGINIANA	LIVE OAK	40	55	60	Poor	REMOVE	3,180
T154	UNIDENTIFIED TREE	UNIDENTIFIED TREE	28	10	5	Fair	REMOVE	78
T155	VEITCHIA MERRILLII	CHRISTMAS PALM	20	10	3	Fair	REMOVE	0
T156	QUERCUS VIRGINIANA	LIVE OAK	20	15	3	Fair	REMOVE	177
T157	MANGIFERA INDICA	MANGO TREE	25	25	10	Fair	REMOVE	491
T158	MANGIFERA INDICA	MANGO TREE	20	20	9	Fair	REMOVE	315
T159	VEITCHIA MERRILLII	CHRISTMAS PALM	30	15	8	Fair	REMOVE	177
T160	MANGIFERA INDICA	MANGO TREE	25	25	11	Fair	REMOVE	491
T161	JACARANDA ACUTIFOLIA	JACARANDA	25	20	6	Poor	REMOVE	315
T176	VEITCHIA MERRILLII	CHRISTMAS PALM	25	15	17	Fair	REMOVE	177
T177	VEITCHIA MERRILLII	CHRISTMAS PALM	20	10	4	Fair	REMOVE	0
T178	PSIDIUM GUAJAVA	GUAVA TREE	10	15	3	Fair	REMOVE	0
T179	VEITCHIA MERRILLII	CHRISTMAS PALM	25	5	4	Fair	REMOVE	0
T180	VEITCHIA MERRILLII	CHRISTMAS PALM	25	5	4 X 3	Fair	REMOVE	0
T181	BURSERIA SIMARUBA	GUMBO LIMBO	18	5	4	Fair	REMOVE	20
TOTAL								5421

MITIGATION CHART	CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	UNITS	CREDIT/TRE	MITIGATION
BSI	BURSERIA SIMARUBA	GUMBO LIMBO	12'	4	500		2000 S/F
LLA	LYSILOMA LATSILIUUM	FLORIDA TAMARIND	12'	1	500		500 S/F
BAR	BULNESIA ARBOREA	VERA WOOD	12'	1	500		500 S/F
MFR	MYRSANTHES FRAGRANS	SIMPSON'S STOPPER	10'	2	300		600 S/F
TOTAL PROPOSED MITIGATION							3600 S/F
MITIGATION DEFICIT TO TREE FUND							1,821 S/F



GENERAL TREE WORK REQUIREMENTS, NOTES & SPECIFICATIONS

- THE TREE DISPOSITION MITIGATION PLAN HAS BEEN DESIGNED ACCORDING TO THE TREE PROTECTION AND/OR MITIGATION ORDINANCES/CODES OF THE MUNICIPALITY OR COUNTY WHERE THE SITE IS LOCATED. UPON PERMIT APPROVAL BY MUNICIPALITY OR COUNTY, LANDSCAPE CONTRACTOR, ARBORIST OR TREE WORK ENTITY SHALL ADHERE TO THE PERMITTED PLANS AND SPECIFICATIONS. TREES SHALL BE REMOVED, ROOT PRUNED OR RELOCATED UNTIL TREE REMOVAL/RELOCATION PERMIT HAS BEEN ISSUED.
- TREE DISPOSITION PLAN HAS BEEN DESIGNED BASED ON THE INFORMATION CONTAINED IN THE TREE SURVEY PROVIDED BY OWNER AND PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR. SHOULD THERE BE ANY DISCREPANCIES BETWEEN TREE SURVEY AND TREE DISPOSITION PLAN, LANDSCAPE CONTRACTOR SHALL SEEK CLARIFICATION FROM LANDSCAPE ARCHITECT.
- TREE WORK WILL BE DEFINED FOR ALL ASPECTS OF THESE NOTES, SPECIFICATIONS, PLANS, SECTIONS, DETAILS AND ANY OTHER LANDSCAPE DOCUMENT RELATED TO THIS PROJECT. AS ANY AND ALL TREE CANOPY TRIMMING AND/OR TRIMMING OUT, PRUNING OF BRANCHES, ROOT PRUNING, RELOCATION, BRACING, STRAPPING, PLACING OF PROTECTIVE BARRIERS AND ANY OTHER TYPE OF WORK REQUIRED FOR THE PROPER PROCESS OF TRIMMING, PRUNING AND RELOCATING TREES WITHIN THE PROPERTY.
- LANDSCAPE CONTRACTOR FOR ALL PURPOSES OF THIS PROJECT AND REGARDING TREE WORKS IS DEFINED AS ANY LANDSCAPE CONTRACTOR, ARBORIST OR ANY TREE WORK ENTITY PERFORMING THE TREE WORKS WHO MEETS THE LICENSING, INSURANCE AND SUPERVISORY REQUIREMENTS.
- IT WILL BE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMIT FOR THE TREE WORK. UNLESS THE PERMIT IS ISSUED TO OWNER OR GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR TO DO ANY TREE WORK, ROOT PRUNING OR RELOCATION WITHIN THE PROPERTY SHALL HAVE A SUPERVISORY CAPACITY A ISA CERTIFIED ARBORIST IN STAFF OR CONTRACTED FOR THE SPECIFIC WORKS OF THE SITE DESCRIBED IN THE PLANS. BE LICENSED AND INSURED AS REQUIRED BY MUNICIPALITY, COUNTY OR STATE AND COORDINATE THE DOCUMENTATION REQUIRED BY GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MATERIALS AND INSURED EQUIPMENT NECESSARY TO PERFORM THE TREE WORKS.
- LANDSCAPE CONTRACTOR TO DO ANY TREE WORK, ROOT PRUNING OR RELOCATION WITHIN THE PROPERTY SHALL CONTACT SUNSHINE 811. FLORIDA'S LAW REQUIRES ANYONE PLANNING TO DIG TO CONTACT SUNSHINE 811 AT LEAST TWO FULL BUSINESS DAYS BEFORE BREAKING GROUND.
- LANDSCAPE CONTRACTOR SHALL VISIT AND INSPECT THE SITE CONDITIONS AND THE TREES TO BE RELOCATED AND INFORM LANDSCAPE ARCHITECT OF ANY ANOMALIES OBSERVED.
- LANDSCAPE CONTRACTOR SHALL INSTALL ROOT BARRIERS AS INDICATED IN PLANS SECTIONS AND DETAILS AROUND EACH EXISTING TREE TO REMAIN AND THOSE TREES TO BE RELOCATED ONCE THEY ARE RELOCATED TO THEIR NEW LOCATION. PROTECTIVE TREE BARRIERS SHALL ALSO BE INSTALLED ON ANY EXISTING TREE WITHIN THE RIGHT OF WAY WITH SIDE FACING THE STREET PAVEMENT MINIMUM TWO FEET FROM EDGE OF PAVEMENT.

ROOT PRUNING/RELOCATION NOTES & SPECIFICATIONS

- ALL ROOT PRUNING, RELOCATION, TREE PRUNING AND TRIMMING IS TO BE PERFORMED FOLLOWING ANSI-A300 TRANSPLANTING AND TREE PRUNING AND TRIMMING STANDARDS-PART 1 AND PART 6 OR MOST RECENT EDITION.
- ROOT PRUNING IS THE PROCESS OF CUTTING ROOTS PRIOR TO MECHANICAL EXCAVATION NEAR A TREE. MAY BE NECESSARY TO MINIMIZE DAMAGE TO THE TREE'S ROOT SYSTEM DURING CONSTRUCTION OR IN PREPARATION FOR LARGE TREE TRANSPLANTING. NUMBER OF ROOTS PRUNED SHOULD BE MINIMIZED TO REDUCE TREE STRESS. THE FURTHER FROM THE TRUNK THAT ROOT CUTTING OCCURS, THE BETTER. GENERALLY, ROOT CUTS MADE OUTSIDE A TREE'S DRILLPIE VERY SELDOM CAUSE PERMANENT TREE DAMAGE.
- IN DETERMINING THE SIZE OF THE ROOT BALL REFER TO THE ROOT BALL TABLE BELOW. MINIMUM DEPTH OF A ROOT BALL SHOULD BE NOT LESS THAN 24"-30". THE LARGER THE ROOT BALL, THE MORE FEEDER ROOTS THERE WILL BE AND THE BETTER CHANCE THE TREE OR SHRUB WILL BE SUCCESSFULLY.
- NO MACHINERY OR EXCAVATING/DIGGING EQUIPMENT SHALL BE ALLOWED TO PERFORM THE ROOT PRUNING TO PREVENT PULLING ON THE ROOTS. DIGGING OF ROOT ZONE TO PREPARE THE TRENCH WHILE PERFORMING ROOT PRUNING SHALL BE CARRIED OUT BY HAND AND CUTTING OF ROOTS BE DONE WITH CLEAN CUTTING HAND TOOLS OR SAWS. NO SEALANTS OF ANY KIND, TREE COTE OR SIMILAR IS TO BE USED ON THE CUT ROOTS.
- TREES AND PALM RELOCATIONS WITHIN SITE ARE TO BE SCHEDULED FOR RELOCATION WITHIN A 24-HOUR PERIOD. NO TREES OR PALMS ARE TO BE LEFT UNPLANTED FOR LONGER THAN 24 HOURS WITHOUT APPROVAL OF LANDSCAPE ARCHITECT. STORING OF TREES OR PALMS TO BE RELOCATED AT A LATER DATE ARE TO BE SECURED AND BRACED IN A STRAIGHT POSITION. NO PALMS OR TREES ARE TO BE STORED LAYING ON ITS SIDE.
- RECENTLY CUT ROOTS ARE MORE SENSITIVE TO TRANSPLANTING. COVER THE FRESHLY CUT SIDES OF THE ROOT BALL WITH PLASTIC SHEETING TO PREVENT DESICCATION OF THE NEW ROOTS. TRIMMING REDUCES THE ABUNDANCE OF AM (ARBUSCULAR MYCORRHIZAL) FUNGUS AND OTHER ROOTS. UPON COMPLETION OF TRIMMING OF ROOTS, BACKFILL THE TRENCH WITH HIGH QUALITY TOPSOIL. ADD MYCORRHIZAE TO SOIL TO BE USED AS BACKFILL WHEN TRANSPLANTING TREES AS PER MANUFACTURER'S INSTRUCTIONS.
- UPON COMPLETION OF ROOT PRUNING AND BACKFILLING, PROVIDE A 6" HIGH BERM AROUND THE OUTSIDE EDGE OF FILLED TRENCH TO ACT AS A WATER HOLDING BASIN AND BRACE THE TREE ACCORDING TO SIZE AS SHOWN IN PLANTING DETAILS TO PREVENT MOVEMENT AND PROVIDE SUPPORT.
- WATER SHOULD BE PROVIDED TO ANY TREE PROPOSED TO BE ROOT PRUNED FOR A PERIOD OF FIVE DAYS OR MORE PRIOR TO THE ACTUAL ROOT PRUNING OF THE TREES TO BE ROOT PRUNED TO PROVIDE AN ADEQUATE AMOUNT OF WATER TO TREE TISSUE. WATERING IS ESSENTIAL, ASSURING THAT THE TRENCH AREA IS WELL WATERED EITHER BY AN AUTOMATIC IRRIGATION SYSTEM OF BUBBLERS OR BY HAND ON A DAILY BASIS FOR THE FIRST WEEK AND EVERY OTHER DAY UNTIL THE TRANSPLANTING IS CARRIED OUT.
- BEFORE DIGGING THE ROOT BALL FOR TRANSPLANTING ON TREES WITH A DBH OF 12" OR LESS A MINIMUM WAITING PERIOD OF 10-12 WEEKS SHOULD PREVAIL. ON TREES OVER 12" DBH DEPENDING ON SIZE OF TREE AND ROOT BALL, VERIFY AFTER 16 WEEKS THAT A GOOD NET OF FIBROUS ROOTS HAS DEVELOPED. IF FEW ROOTS HAVE DEVELOPED, POSTPONE THE MOVE FOR ANOTHER FOUR WEEKS OR MORE AS REQUIRED.
- PALMS TO BE ROOT PRUNED AS A GENERAL RULE REQUIRE A MINIMUM 24" DEEP ROOT BALL. TYPICALLY, THOSE SPECIES TRANSPLANT WITH MINIMUM ROOT PRUNING TIME OF 4-6 WEEKS SUCH AS SABAL PALMETTO, ROYSTONIA REGIA, PHOENIX CANARIENSIS WILL SUFFICE WITH A MINIMUM ROOT BALL OF 18"-24" FROM THE TRUNK TO THE EDGE OF ROOT BALL. OTHER SPECIES SUCH AS BISMARCKIA, COEPEKINIA, SATYANTIA, SOME SPECIES OF THREASUS AND OTHERS MAY REQUIRE A LARGER ROOT BALL AND A LONGER PERIOD OF ROOT PRUNING TIME. IT IS ADVISABLE PRIOR TO ANY ROOT PRUNING WORK TO CONSULT WITH A ISA CERTIFIED ARBORIST.
- BEFORE ROOT PRUNING OF A TREE TO BE TRANSPORTED, IT IS ADVISABLE THAT A CONSULTATION BE MADE WITH A ISA CERTIFIED ARBORIST REGARDING THE SPECIFIC REQUIREMENTS TO BE ROOT PRUNED AND TRANSPORTED. ROOT PRUNING AND TRANSPORTING OF TREES SHOULD BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- EXISTING TREES TO REMAIN IN THEIR PRESENT LOCATION AND THOSE TO BE RELOCATED WITHIN THE SITE SHALL BE BRACED PROPERLY AS PER ANSI-A300 STANDARDS BY AMERICAN NATIONAL STANDARDS INSTITUTE BY REMOVING DAMAGED, DEAD OR STRUCTURALLY WEAK LIMBS. LARGE SHADE TREES SHALL HAVE THEIR LOWER BRANCHES REMOVED TO PROVIDE A CLEAR TRUNK OF 8" MAXIMUM FOLIAGE TO BE REMOVED FROM ANY TREE TO BE 25%.
- LANDSCAPE CONTRACTOR PRIOR TO RELOCATION SHALL MARK WITH A WOOD STAKE OR SIMILAR THE PROPOSED NEW LOCATION OF THE TREE(S) AND ADVISE LANDSCAPE ARCHITECT WITH 48 HOURS NOTICE FOR A SITE VISIT TO APPROVE PROPOSED LOCATIONS AS PER PLANS.
- IF ANY DISCREPANCIES IS FOUND IN THE PLANS, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ANY TREE TRIMMING SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- NO TREE REMOVAL OR ROOT PRUNING FOR RELOCATION PURPOSES, OR RELOCATION OF TREE(S) SHALL BE PERFORMED WITHOUT A TREE RELOCATION AND REMOVAL PERMIT FROM THE MUNICIPALITY OR COUNTY AS REQUIRED.
- ALL EXISTING TO REMAIN, ROOT PRUNED TREES FOR RELOCATION OR RELOCATED TREES WITHIN THE SITE SHALL HAVE A PROTECTIVE BARRIER AS SPECIFIED IN THE TREE PROTECTION BARRIER DETAIL IN THE TREE DISPOSITION PLAN.
- LANDSCAPE CONTRACTOR OR TREE MOVING ENTITY SHALL HAVE EXTREME CARE WHILE PERFORMING ANY TREE WORK, ROOT PRUNING AND/OR RELOCATION OF TREES IN PREVENTING ANY DAMAGE TO THE TREES WITH ANY TOOLS, EQUIPMENT OR MISHANDLING OF THE TREES.
- LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED PLANTS, SOIL OR MATERIAL AND EQUIPMENT DAMAGED DURING TREE WORKS AT THEIR OWN EXPENSE. IN THE EVENT A TREE, OR SHRUB IS DAMAGED, IT SHALL BE REPLACED WITH THE SAME SPECIES, SIZE AND QUALITY AS WAS DAMAGED WITH NO EXPENSE TO OWNER.
- LANDSCAPE CONTRACTOR SHALL DISPOSE AND REMOVE FROM SITE ANY AND ALL DEBRIS RESULTING FROM EXCAVATION PER TREE WORKS, PLANTING DEBRIS, CONTAINERS, EXCESS LANDSCAPE MATERIALS AND TREE WORKS DEBRIS.
- WHEN RELOCATING PALMS, THEIR FRONDS ARE TO BE TIED WITH NATURAL FIBER DOUBLE PLY TWINE PRIOR TO RELOCATION SO THAT FRONDS ARE NOT DAMAGED DURING THE RELOCATION WORKS.
- NO FRONDS FROM ANY PALMS) EITHER REMAINING, BEING RELOCATED OR NEWLY PLANTED ARE TO BE REMOVED WITHOUT LANDSCAPE ARCHITECT'S INSTRUCTIONS.
- IF ANY TREES OR PALMS ARE TO BE RELOCATED OFFSITE, LANDSCAPE CONTRACTOR, ARBORIST OR TREE WORK ENTITY PERFORMING THE WORK SHALL REQUEST SPECIFIC INSTRUCTIONS FROM LANDSCAPE ARCHITECT.

INVASIVE AND PROHIBITED VEGETATION

- ALL MIAMI-DADE COUNTY CONTROLLED PLANT SPECIES MAY NOT BE PLANTED WITHIN 500 FEET OF NATURAL PLANT COMMUNITIES. THESE PLANT SPECIES HAVE BEEN DOCUMENTED BY THE FLORIDA EXOTIC PEST PLANT COUNCIL. THE MIAMI-DADE COUNTY PARKS, RECREATION AND OPEN SPACES DEPARTMENT'S NATURAL AREA MANAGEMENT PROGRAM, AND THE MIAMI-DADE COUNTY DIVISION OF ENVIRONMENTAL RESOURCES MANAGEMENT TO BE INVASIVE PESTS IN NATURAL AREAS OF MIAMI-DADE COUNTY.
- PROHIBITED PLANT SPECIES (EXOTIC PEST PLANT AND NUISANCE SPECIES) IF PRESENT ON A DEVELOPMENT OR REDEVELOPMENT SITE, SHALL BE REMOVED PRIOR TO DEVELOPMENT OR REDEVELOPMENT. SHALL BE PROHIBITED, PURSUANT TO THE CODE OF MIAMI-DADE COUNTY, FLORIDA.
- ANY PLANT DEFINED AS CONTROLLED OR PROHIBITED BY MIAMI-DADE COUNTY, OR INVASIVE AS PER FLORIDA INVASIVE SPECIES COUNCIL LIST OF INVASIVE PLANT SPECIES MUST BE REMOVED BY LANDSCAPE CONTRACTOR OR GENERAL CONTRACTOR FROM PRIOR TO BEGINNING OF DEVELOPMENT OR REDEVELOPMENT OF ANY SITE, WHETHER IT IS INCLUDED IN THE EXISTING TREE CHART IN THE TREE DISPOSITION CHART AND PLAN OR NOT.

TREE PRUNING AND TRIMMING

- IF REQUIRED DURING RELOCATION OF EXISTING TREES, TREE PRUNING AND TRIMMING SHALL BE PERFORMED BY A LICENSED AND INSURED ISA CERTIFIED ARBORIST FOLLOWING ANSI A300 (Part 1).
- WHEN PRUNING OR TRIMMING IS REQUIRED, MAXIMUM TREE CANOPY THAT MAY BE REMOVED SHALL NOT EXCEED 25% OF THE TREE CANOPY.

ABBREVIATIONS & SYMBOLS

- REL. = RELOCATE WITH IN SITE
- TBR. = TO BE REMOVED
- TRE. = TO REMAIN IN CURRENT LOCATION
- # = EXISTING TREE SYMBOL
- # = NEW LOCATION OF EXISTING TREE SYMBOL WITHIN SITE
- # = PROTECTIVE BARRIER- SEE DETAIL

811 Know what's below Call before you dig. It's the Law!

LEGACY NEW RESIDENCE

MAGGIORE & MARMORE CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

BALLI-TRAUTMAN ARCHITECTS, L.L.C.
1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33134

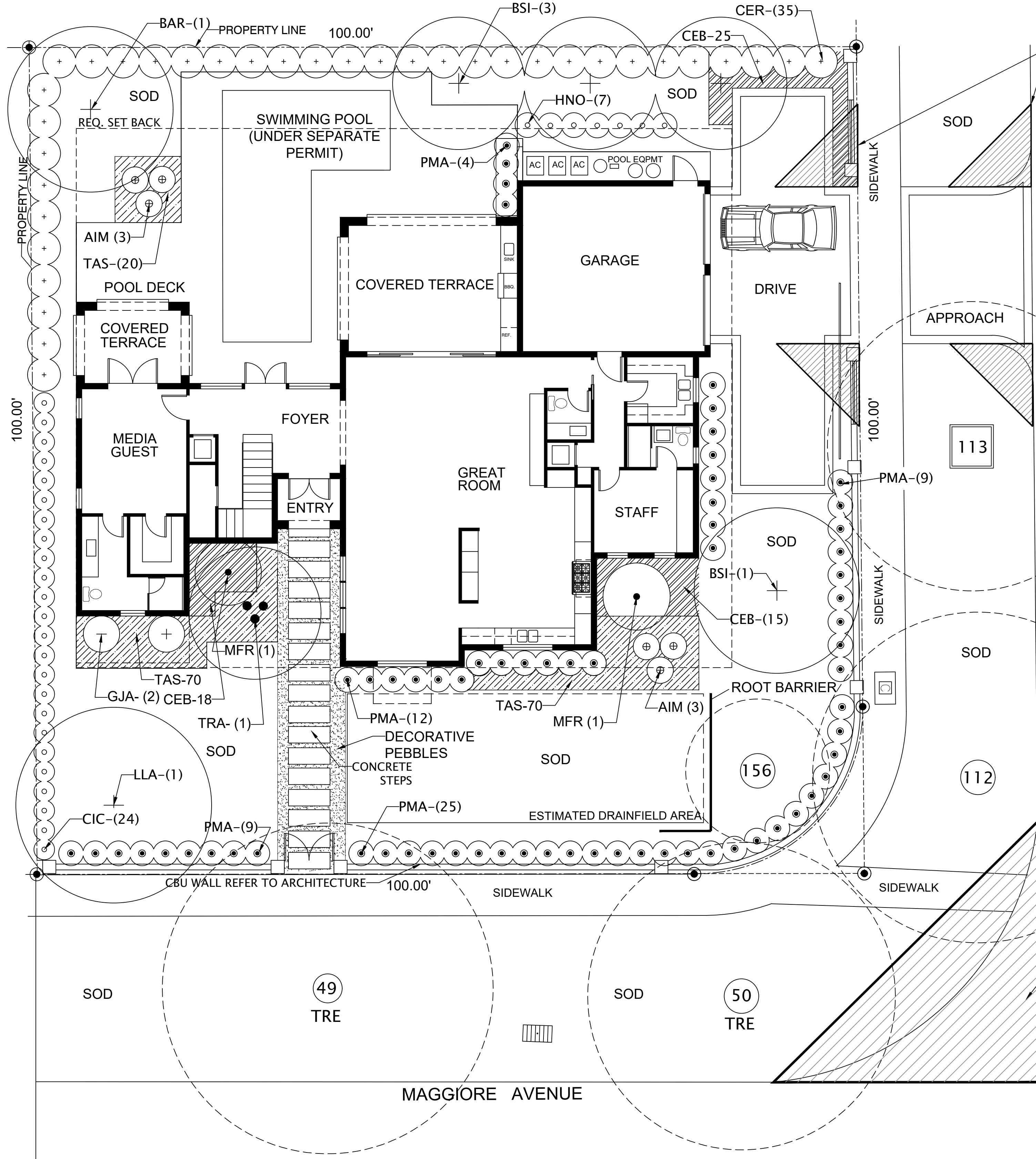
COMAS Comas Design Group, Inc. LANDSCAPE ARCHITECTURE
250 Catalonia Ave. Coral Gables, Florida, 33134
ocomas@bellsouth.net. 305.283.9382 Lic 0001565

STATE OF FLORIDA

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: OC
ISSUE DATE: May 10, 2024
SCALE: AS NOTED

SHEET TITLE **TREE DISPOSITION PLAN**
SHEET NUMBER

LA-1.0



TYPICAL 10' x 10' TRIANGLE OF VISIBILITY AS PER SECTION 10-106.A&B SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2½) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

TYPICAL 30' x 30' TRIANGLE OF VISIBILITY AS PER SECTION 10-106.C SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2½) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

LANDSCAPE LEGEND
AS PER CITY OF CORAL GABLES LANDSCAPE ORDINANCE.

ZONNING SFR LOT AREA 10,003 s.f. ACRES .23

OPEN SPACE

A. All building sites shall provide landscape open space of not less than forty (40%) percent of the area of the building site.
Lot Area = 10,003 s.f. s.f. x 40% = 4,001 s.f. s/f 4,001 4,786

B. At least twenty (20%) percent of the required forty (40%) percent of the landscape open space shall be located in the front yard area.
Open Space = 4,001 s.f. x 20% = 800 s.f. s/f 800 2,670

TREES

A. Large shade tree. One (1) large shade tree for each 5,000 square feet or fraction thereof of total land area.
Lot Area = 10,003 s.f. / 5,000 s.f. = 2 # of trees 2 6

B. Palm and medium shade trees. Two (2) Palm and medium shade trees for each five-thousand (5,000) square feet or fraction thereof of total land area.
Lot Area = 10,003 s.f. / 5,000 s.f. = 2 # of trees 2 0

C. Large shade tree existing on site # of trees N/A 1

D. Native trees. Thirty (30%) percent of required trees.
Required trees 2 x 30% = 1 Number of trees # of trees 1 5

SHRUBS

A. Shrubs. Fifteen (15) shrubs for every five-thousand (5,000) square feet or fraction thereof of total land area.
Lot Area = 10,003 s.f. / 5,000 s.f. x 15 = 30 # of shrubs 30 127

B. Native Shrubs. Thirty (30%) percent of required shrubs.
Required shrubs 30 x 30% = 9 # of shrubs 9 66

LAWN

A. Lawn grass. lawn grass up to a maximum of sixty (60%) of total lot area.
Lot Area = 10,003 s.f. x 60% = 6,001. Maximum lawn area 6,001 2,429

STREET TREES

Provide one (1) large shade tree, per thirty-five (35) linear feet or fraction thereof of right-of-way abutting the property # of trees 6 4 SEE NOTE

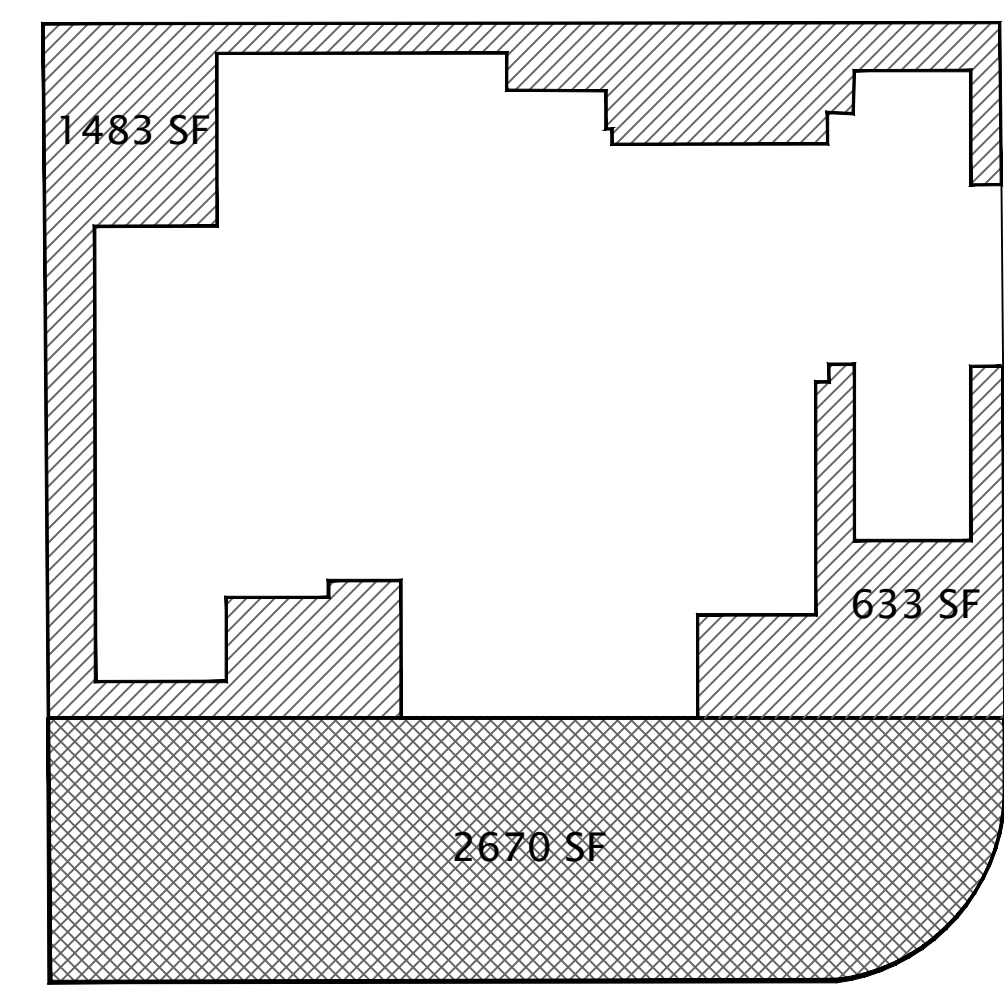
FRONT YARD

A. A minimum of two (2) trees in front of the residence. # of trees 2 2

B. Sixty-six (66%) percent of the required shrub quantity shall be in front of the residence. # of shrubs 20 56

PLANT CHART

Code	Botanical name	Common name	Height	Canopy	Nat.	Quantity	Specific.	
TREES (LANDSCAPE)								
BSI	Bursera simaruba	Cumbo limbo	12'	4'-5'	Y	4	4' C.T.	
LLA	Lysiloma latisiliquum	Florida tamarind	12'	4'-5'	Y	1	4' C.T.	
BAR	Bulnesia arborea	Vera wood	12'	4'-5'	N	1	4' C.T.	
SMALL TREES								
MFR	Myrcianthes fragrans	Simpson's stopper	10'	5'-6'	N	2	3' C.T.	
PALMS								
TRA	Thrinax radiata	Florida thatch palm	8'-10'	-	Y	1	3 trunks	
SHRUBS								
CER	Conocarpus erectus	Green buttonwood	4'-5'	3'-4'	Y	35		
CIC	Chrysobalanus icaco	Cocoplum	24"	18"	Y	24		
GJA	Gardenia jasminoides	Gardeniabush	4"	3"	N	2	Standard	
PMA	Podocarpus macrophyllus	Podocarpus	36"-48"	24"-30"	N	59		
HNO	Hamelia nodosa	Dwarf firebush	36"-48"	24"-30"	Y	7		
GROUND COVERS								
AIM	Alcantarea imperialis	Imperial bromeliad	24"	24"	N	6		
TAS	Trachelospermum jasm. Minima	Dwarf confederate jasm.	6"	6"	N	160	12" o.c.	
CEB	Carissa emerald blanket	Carissa emerald blanket	12"	12"	N	58	18" o.c.	
SOD								
SOD	Stenotaphrum sec. 'palmetto'	Palmetto sod						As shown



LANDSCAPE OPEN SPACE CALCULATION

LANDSCAPE OPEN SPACE 40% = 2116 s.f.

LANDSCAPE OPEN SPACE FRONT YARD 20% of 40% = 2670 s.f.

**LEGACY
NEW RESIDENCE**

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

**BALLI-TRAUTMAN
ARCHITECTS, LLC.**
1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33143

COMAS
Comas Design Group, Inc.
LANDSCAPE ARCHITECTURE
250 Catalonia Ave. Coral Gables, Florida, 33134
ocomas@bellsouth.net 305.283.9382 Lic 0001565



JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: OC
ISSUE DATE: May 10, 2024
SCALE: AS NOTED

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

LA-2.0

PRELIMINARY PLANTING PLAN
SCALE: 1/8" = 1'-0"
REFER TO SHEET LA 2.1 FOR PLANTING NOTES AND DETAILS

LANDSCAPE NOTES & SPECIFICATIONS:

I. GENERAL NOTES

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

A. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS, PLANS AND SPECIFICATIONS. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS. ALL CODES LISTED IN SPECIFICATIONS AND DRAWINGS SHALL BE INCLUSIVE OF ALL CODES, REGULATIONS AND REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA, THE COUNTY OF MIAMI-DADE AND THE MUNICIPALITY WHERE PROJECT TAKES PLACE, INCLUDING ANY AMENDMENTS.

2. IT IS UNDERSTOOD THAT FOR ALL PURPOSES OF THE WORDS "LANDSCAPE DOCUMENTS" MEAN AND INCLUDE ALL PLANS, DRAWINGS, SKETCHES, NOTES, SPECIFICATIONS AND ANY OTHER OTHER DOCUMENTATION RELATIVE TO THIS PROJECT. THE ORIGINATION OF ALL INFORMATION IN THE LANDSCAPE DOCUMENTS IS FROM ORLANDO COMAS, ASLA, LANDSCAPE ARCHITECT AND/OR COMAS DESIGN GROUP, INC. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, INSURANCES, WORKMEN COMPENSATION AND LICENSES AS WELL AS ALL PLANTS AND LANDSCAPE MATERIAL NECESSARY FOR THE PROPER INSTALLATION OF ALL TREES, SHRUBS, GROUND COVERS, GRASS, AND ANY OTHER BOTANICAL (PLANT) OR NON-BOTANICAL MATERIAL SHOWN IN THE LANDSCAPE ARCHITECTURAL DRAWINGS. THIS MATERIALS SHALL INCLUDE ALL MATERIALS SPECIFIED WHICH ARE NOT INCLUDED IN THE PLANT LEGEND(S) OR CHART(S).

3. LANDSCAPE CONTRACTOR IS REQUIRED TO PROCURE AND OBTAIN ANY NECESSARY PERMITS APPLICABLE FOR THE SUCCESSFUL COMPLETION OF THIS PROJECT, IF APPLICABLE AS WELL AS REGISTRATION IN MUNICIPALITIES OR COUNTIES REQUIRING SUCH REGISTRATION. ALL PLANTS AND GRASS

(sod) SHALL BE WARRANTED FOR SIX (6) MONTHS, PALMS SHALL BE WARRANTED FOR A PERIOD OF ONE (9) MONTHS, FROM THE DATE OF FINAL ACCEPTANCE OF COMPLETED WORK BY THE LANDSCAPE ARCHITECT AND BUILDING OFFICIAL(S).

4. DURING WARRANTY PERIOD IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DEAD MATERIAL FOR ONE OF THE SAME SPECIFICATION AS ORIGINALLY SPECIFIED, WITHIN 15 DAYS OF NOTICE BY OWNER.

5. LANDSCAPE CONTRACTOR SHALL SUBMIT SEPARATE ESTIMATE FOR 12 MONTHS OF MAINTENANCE SERVICE, A SCHEDULE OF RE-MULCHING, FERTILIZING AND SPRAYING PROGRAM SHALL BE PART OF THIS MAINTENANCE ESTIMATE.

6. SHOULD LANDSCAPE CONTRACTOR FIND ANY DISCREPANCIES, UNAVAILABILITY OF MATERIAL OR ANY QUESTION REGARDING THE ADHERENCE TO THIS PLAN, NO DECISION SHALL BE TAKEN WITHOUT SPECIFIC CONSULTATION WITH THE LANDSCAPE ARCHITECT, INCLUDING SUBSTITUTIONS WHEN REQUIRED.

7. CONTRACTOR SHALL PRIOR TO PLANTING, PROVIDE PHOTOS OF ALL PLANT MATERIAL MARKED WITH A "P" OR "X" IN A PLANT LEGEND'S COLUMN REQUESTING IMAGES. COLUMN IS LABELED NOTE I.1.7, OR DESCRIBED AS A SPECIMEN PLANT MATERIAL FOR LANDSCAPE ARCHITECT APPROVAL. REGARDLESS OF PHOTO APPROVAL AND SPECIFICATION IN PLAN OR LEGEND, LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY PLANT MATERIAL NOT CONSIDERED FLORIDA FANCY.

8. ALL VINES REQUIRE A CLIMBING STRUCTURE FOR THEM TO GROW INTO WHICH SHALL BE SUPPLIED BY LANDSCAPE CONTRACTOR AND INCLUDED AS PART OF THE WORK WHENEVER A VINE IS SPECIFIED IN THIS PLAN, EVEN IF CLIMBING STRUCTURE IS NOT SPECIFIED, CONSULT DETAILS OF STRUCTURE WITH LANDSCAPE ARCHITECT.

9. LANDSCAPE CONTRACTOR SHALL COORDINATE THIS PLAN WITH NOTES, DETAILS AND SPECIFICATIONS AND REQUEST ALL SHEETS WHICH MAKE UP THE LANDSCAPE ARCHITECTURE DOCUMENTS, SUCH AS GRADING PLANS(S), HARDSCAPE PLANS(S) DETAILS, PLANTING PLANS(S), IRRIGATION PLAN(S) AND LIGHTING PLANS(S). ALL LANDSCAPE SHEETS ARE PART OF THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REQUEST, READ AND UNDERSTAND ALL THE INFORMATION CONTAINED IN THIS SHEETS INCLUDING DETAILS, LEGEND AND NOTES OF THE LANDSCAPE ARCHITECTURE PLAN SET.

10. FOR ALL TREES THE CALIPER MEASUREMENT OF THE TRUNK SHALL MEAN THE DIAMETER AT BREAST HEIGHT OR DBH. TREE TRUNKS SHALL BE MEASURED AT THE HEIGHT OF AN ADULT'S BREAST, OR AT 4.5 FEET ABOVE GRADE, AT THAT HEIGHT, MEASURE THE TREE'S CIRCUMFERENCE AND DIVIDE BY PI (3.14) THE RESULT WILL BE THE TREE'S DIAMETER OR DBH.

11. CRITICAL ROOT ZONE (CRZ) ALSO CALLED THE ROOT PROTECTION ZONE (RPZ), IS DETERMINED FOR EACH INCH OF TREE TRUNK DIAMETER AT BREAST HEIGHT (DBH), ALLOW ONE FOOT FOR CRITICAL ROOT ZONE FOR EVERY INCH OF TRUNK DBH.

II. DELIVERY STORAGE AND HANDLING

1. PLANTS SHALL BE PROPERLY PROTECTED DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR LEAVES DESICCATION. UNACCEPTABLE PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY FROM SITE. ALL PLANTS ARE TO BE PROPERLY MAINTAINED AND PROTECTED WHILE STORED AT SITE.

2. DURING DELIVERY, PRIOR TO AND DURING PLANTING OF LAWN AREAS, SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF ROOTS TO SUN. ALL SOD SHALL BE STACKED DURING INSTALLATION SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

III. JOB CONDITIONS

1. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE FOR CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, REPORT IN WRITING TO THE LANDSCAPE ARCHITECT ANY AND ALL CONDITIONS CONTRARY TO THOSE SHOWN IN THE DRAWINGS. DO NOT START OR PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. LANDSCAPE CONTRACTOR SHALL VERIFY THE PLANT QUANTITIES NECESSARY TO COMPLETE THE WORK AS PER DRAWING AREAS. PLANT LIST PROVIDED AND QUANTITIES SHOWN IN THE PLANTING PLAN SHOULD SERVE ONLY AS A GUIDE AND NOT AS THE REQUIREMENT QUANTITIES. TOTAL QUANTITY COUNT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY.

2. LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN ALL WORK TO PREVENT DAMAGE OF ANY EXISTING SPRINKLER PIPING AND WIRES AS WELL AS ANY OTHER IRRIGATION EQUIPMENT. CARE SHALL ALSO BE EXERCISED NOT TO DAMAGE ANY OVERHEAD WIRES OR CABLES. LANDSCAPE CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO PUBLIC AS A RESULT OF HIS NEGLIGENCE DURING THE COURSE OF HIS WORK.

IV. SITE DEMOLITION NOTES

1. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

2. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.

3. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES TO BE DONE WITH CARE AND AT NO COST TO THE OWNER. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR.

4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. REMOVE SALVAGED MATERIALS AS INDICATED WITH CARE AND STORE ON SITE. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS, REUSE AS DIRECTED BY LANDSCAPE ARCHITECT.

5. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.

6. CONTACT THE LOCAL UNDERGROUND SERVICE UPDATE FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.

7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS; ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE GENERAL CONTRACTOR AND/OR THE PROJECT SUPERINTENDENT BEFORE STARTING WORK.

V. LAYOUT NOTES

1. COORDINATE ANY ON-SITE DIMENSIONS AND CONDITIONS REQUIRED WITH GENERAL CONTRACTOR. IN PLANS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.

2. CONTRACTOR TO LAY OUT HARDSCAPE ELEMENTS AND VERIFY LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION, IF HARDSCAPE ELEMENTS ARE DIMENSIONED ON A LANDSCAPE LAYOUT PLAN, ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS OR OTHER DRAWINGS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR PROPER CLARIFICATION OR ADJUSTMENT.

3. FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDING IMPROVEMENTS, AND RELATED WORK, REFER TO THE ARCHITECTURAL DRAWINGS.

4. WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.

5. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINES IS AS INDICATED.

6. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

7. PROVIDE EXPANSION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.

8. EXPANSION JOINTS IN CONCRETE WALKWAYS SHALL BE LOCATED TWENTY FEET 20'-0" O.C. MAXIMUM OR AS INDICATED.

VI. LANDSCAPE MATERIALS

1. WATER SHALL BE POTABLE.

2. STAKING MATERIAL : SEE PLANTING DETAIL IN DRAWINGS FOR METHOD AND MATERIALS.

3. FERTILIZING TABLETS : ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE AGRIFORM PLANTING TABLETS (OR EQUAL) 20-10-5 FORMULA. TABLETS SHALL BE PLACED MIDWAY TO PLANT BALL AT THE RATES SPECIFIED BY THE MANUFACTURER. LANDSCAPE CONTRACTOR MAY SUBMIT ALTERNATE FOR LANDSCAPE ARCHITECT'S APPROVAL. LANDSCAPE CONTRACTOR MAY SUBMIT A DIFFERENT FERTILIZING METHOD TO LANDSCAPE ARCHITECT IN WRITING.

4. PLANTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIES AND SPECIFICATIONS ON THE DRAWINGS, AS FOLLOWS:

a. PLANTS SHALL HAVE THE HABIL OF GROWTH WHICH IS NORMAL FOR THE SPECIES, THEY SHALL BE HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES AND INJURIES.

b. ALL PLANTS SHALL BE "FLORIDA FANCY" GRADE AS SPECIFIED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY LATEST EDITION. TREES GRADED FLORIDA FANCY SHOULD HAVE ONE DOMINANT TRUNK UP THROUGH THE CROWN TO THE TOP OF THE TREE. THE EXCESSION WOULD BE FOR SMALL-MATURING TREES (STANDARD OR MULTI-TRUNKED) SUCH AS GRAPE-MYRTLE, JAPANESE LIGUSTRUM AND OTHERS. BRANCH DIAMETER SHOULD NOT BE LARGER THAN 2/3 THE DIAMETER OF THE TRUNK MEASURED DIRECTLY ABOVE THE BRANCH UNION. THERE SHOULD BE NO FLUSH CUTS ANYWHERE ON THE TREE, AND NO OPEN WOUNDS ON THE TRUNK OR MAJOR BRANCHES. THE CROWN SHOULD BE FULL OF FOLIAGE AND SHOW LITTLE, IF ANY, EVIDENCE OF CHLOROSIS, NECROSIS, DISEASE OR INSECT INFESTATION. THE ROOT BALL SHOULD BE APPROPRIATELY SIZED AND BE FREE OF SEVERE DEFECTS. GRADES AND STANDARDS DO NOT APPLY TO SPECIALTY TREES LIKE BRAIDED STEMS, POODLES, ESPALIER, TOPIARY AND BONSAI.

c. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AS TO MEETING THE SPECIFICATIONS OF THE DRAWINGS. A PRIVATE PROFESSIONAL MAY BE HIRED OR THE LOCAL FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES MAY BE CALLED BY OWNER TO GRADE THE INSTALLED PLANT MATERIAL. IF ANY DISPUTE ARISES BETWEEN LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT.

d. UNLESS SPECIFIED ALL PLANTS SHALL BE NURSERY GROWN.

e. SUBSTITUTIONS SHALL BE ONLY WITH LANDSCAPE ARCHITECTS WRITTEN AUTHORIZATION.

f. NO PLANT SHALL REMAIN UNPLANTED FOR A PERIOD LONGER THAN FIVE DAYS.

g. ALL FIELD GROWN MATERIAL SHALL BE BALLED AND BURLAPPED AND PROPERLY PROTECTED FROM SUN AND DRYING WINDS.

h. TREES AND PALMS DELIVERED WITH DAMAGE TO THEIR TRUNKS, OR DAMAGED AS A RESULT OF HANDLING THEM AT THE JOBSITE WILL NOT BE ACCEPTED, NOR ANY TREES OR PALMS WITH FIRE DAMAGE.

VI. MULCH.

a. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AMOUNT OF REQUIRED MULCH FOR THE ENTIRE PROJECT AND INCLUDE THIS AMOUNT IN THE TOTAL CONTRACT QUOTE TO OWNER OR GENERAL CONTRACTOR.

b. UNLESS SPECIFIED IN THE PLANS, MULCH SHALL BE AN ACCEPTABLE TYPE TO OWNER AND LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL AS TO THE TYPE AND QUALITY BEING PROPOSED. MULCH SHALL BE CLEAN AND FREE OF WEEDS, MOSS, STICKS OR ANY OTHER KIND OF DEBRIS. CYPRESS MULCH OR TINTED MULCH IS NOT ACCEPTABLE. NO EXCESSIVE MULCHING AND HEAPING MOUNDS WILL BE ALLOWED THAT CAN PULL FEEDER ROOTS TO THE SURFACE, WHICH STRESS THE PLANT DURING PERIODS OF DRY CONDITIONS. TOO MUCH MULCH CAN CAUSE SUFFOCATION OF THE PLANT AS IT HINDERS OXYGEN FROM GETTING TO THE PLANTS. SPREAD MULCH EVENLY TO THE STANDARD RECOMMENDED DEPTH OF 2-3".

c. ALLOW SPACE FOR MULCH WHEN DOING FINISH GRADING SO THAT TOP OF MULCH IS 2 INCHES MINIMUM BELLOW ANY ADJACENT HARDSCAPE SURFACE SUCH AS DECKS, COURTS, DRIVEWAYS, WALKWAYS, ETC....

d. ROCK AND STONE SHALL NOT BE USED AS A MULCH SUBSTITUTE. THEY RADIATE HEAT WITHIN THE PLANT BED GENERATING STRESS AND DO NOT OFFER ANY HORTICULTURAL VALUE FOR PLANTS. ORGANIC MULCHS HOLDS MOISTURE AND MINIMIZES TEMPERATURE FLUCTUATIONS BETTER.

e. PLACING EXCESSIVE MULCH AROUND THE TRUNK OR STEMS SHALL NOT BE ACCEPTABLE. ADEQUATE SPACE HAS TO BE AVAILABLE SO THAT THE PLANT CAN BREATHE. A COMMON PRACTICE IS TO PILE THE MULCH UP AROUND THE BASE OF A TREE ALSO KNOWN AS "MULCH VOLCANO" BECAUSE THE TREE TRUNK STICKS OUT OF A MOUND OF MULCH. THIS PRACTICE TRAPS MOISTURE AGAINST THE TREE BARK AND ENCOURAGES BACTERIAL AND FUNGAL DISEASE. DEEP APPLICATIONS OF MULCH AROUND TREE TRUNKS ENCOURAGES ROTTING OF THE CAMBIUM OR BARK OF THE TREE. MULCH MUST BE TAPERED AWAY FROM THE TRUNK OF TREES BEFORE APPLYING THE RECOMMENDED DEPTH OF 2-3".

VII. LANDSCAPE PLANTING NOTES

1. SOURCE OF LANDSCAPE DOCUMENTS IS ORLANDO COMAS, ASLA, LANDSCAPE ARCHITECT AND/OR COMAS DESIGN GROUP, INC. REFER TO LANDSCAPE ARCHITECT OR CIVIL ENGINEER'S GRADING AND DRAINAGE PLANS FOR RUNOFF DRAINAGE SWALES INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.

2. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT PRIOR TO COMMENCING OR CONTINUING WORK.

3. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.

4. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES PROVIDED IN THE PLANS PLANT LEGEND OR CHARTS ARE ONLY FOR PURPOSES OF PROVIDING OWNER WITH PRELIMINARY INFORMATION ONLY. IF QUANTITIES ON PLANT LEGEND OR CHARTS DIFFER FROM GRAPHICS REQUIRED COUNTS IN PLANS OR IN PHYSICAL SITE CONDITIONS, THEN GRAPHICS REQUIRED COUNTS IN PLANS OR IN PHYSICAL SITE CONDITIONS SHALL PREVAIL OVER COUNTS IN PLANT LEGEND OR CHARTS.

5. CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO COMMENCING ANY WORK.

6. ALL SHRUBS TO BE PLANTED LESS THAN 0F 24", AND GROUND COVERS A MINIMUM OF 12"-18" DEPENDING ON SPECIE FROM THE EDGE OF ANY HARDSCAPE (WALKS, BUILDING WALLS, POND'S EDGE, ETC...) SHRUBS SUCH AS IXORA, RAPHIOLEPIS AND ALL OTHER SPECIES WHICH GROW LARGER THAN 48" SPREAD, SHALL BE PLANTED AT 1/2 THE ESTIMATED ADULT'S SPREAD DIAMETER FROM THE EDGES OF ANY HARDSCAPE.

7. ALL TREES AND PALMS OVER 8' IN HEIGHT SHALL BE BRACED TO PREVENT LATERAL MOVEMENT FOR A PERIOD OF SIX MONTHS FROM THE DATE OF PLANTING. EITHER WOOD BRACES, NYLON STRAPS OR AS SHOWN IN THE PLANTING DETAILS. DEPENDING ON SPECIE AND IN CONSULTATION WITH LANDSCAPE ARCHITECT SHALL BE USED. NO NAILS, SCREWS, METAL STRAPS OR WIRES ARE TO BE USED DIRECTLY AGAINST THE TREES OR PALMS TRUNKS.

8. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE LANDSCAPE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.

9. TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE OR CONTAINER LEVEL OR 2'-3" ABOVE GRADE. SEE DETAILS.

10. TREES TO BE PLANTED A MINIMUM OF 5 FEET FROM PAVEMENT OR ANY HARDSCAPE EDGE, PRIVACY WALLS OR FENCE WALLS.

11. PRUNE OR TRIM EXISTING OR NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.

12. LEVEL VERTICALLY AND EQUALLY SPACED IN ALL DIRECTIONS TREES, PALMS AND LARGE SHRUBS AS REQUIRED.

13. FINISH GRADES OF PLANTER AREAS SHALL BE 3-4 INCHES BELOW ADJACENT PAVING UNLESS OTHERWISE NOTED. TO ALLOW FOR 2'-3" ADDITIONAL MULCH BED TO BE BELLOW HARDSCAPE SURFACE.

14. PROVIDE SPECIFIED EDGING IF SPECIFIED IN PLANS.

15. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL IF TREES OR PALMS ARE BALLED AND BURLAPED.

16. LANDSCAPE ARCHITECT IS TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS ACCORDING TO INSTRUCTIONS IN PLANS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

17. WATER TO ALL PLANTS SHALL BE POTABLE.

18. ALL PLANT MATERIAL, TREES, PALMS, SHRUBS AND GROUND COVERS ARE TO BE PLANTED LEVEL WITH FINISH GRADE. NO PLANT MATERIAL ROOTS ARE TO BE EXPOSED ABOVE FINISH GRADE.

19. NO ROCKS OR PEBBLES LARGER THAN 1/4" IN DIAMETER ARE TO BE VISIBLE PRIOR TO INSTALLATION OF MULCH. LANDSCAPE CONTRACTOR SHALL VERIFY THAT NO ROCKS OR PEBBLES OVER 1/4" IN DIAMETER ARE SEEN ONCE WATER IS APPLIED TO MULCH AT THE COMPLETION OF PLANTING.

20. ALL SOD AREAS AS SHOWN IN THE PLANS, INCLUDING RIGHT OF WAY AREAS, SHALL HAVE A TOPSOIL BED OF 4" MINIMUM AS PREPARATION FOR THE SOD PANELS.

21. SOD SHALL BE INSTALLED WITH STAGGERED JOINTS CLOSELY BUTTED AND WITH AN EVEN SURFACE ACCORDING TO REQUIRED FINISH GRADE. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SODED AREAS EVERY DAY ONCE IT HAS BEEN INSTALLED, UNTIL THE SOD IS ESTABLISHED AND/OR THE IRRIGATION SYSTEM IS OPERATIONAL.

22. MAINTENANCE ON ALL PLANT MATERIAL & SOD FOR THIS WORK BEGINS AT THE TIME OF INSTALLATION AND CONTINUES FOR 60 DAYS AFTER THE COMPLETION OF THE WORK. MAINTENANCE SHALL INCLUDE WATERING, REMOVAL OF DEAD OR INJURED BRANCHES, FRONDS AND LEAVES, RESETTING OF PLANTS TO PROPER GRADE OR UPRIGHT POSITION, TOP DRESSING AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN THE PLANT MATERIAL IN HEALTHY GROWING CONDITIONS.

23. TREES TO BE PLANTED A MINIMUM OF 5 FEET FROM PAVEMENT OR ANY HARDSCAPE EDGE, PRIVACY WALLS OR FENCE WALLS.

24. ALL WORK BY THE LANDSCAPE CONTRACTOR SHALL BE PERFORMED IN A PROFESSIONAL AND SOUND MANNER IN ACCORDANCE WITH ESTABLISHED STANDARDS OF LANDSCAPE INSTALLATION PRACTICES AND WORKMANSHIP.

25. ALL AREAS NOT PLANTED WITH SHRUBS OR GROUND COVERS OR SPECIFIED TO BE ANOTHER LANDSCAPE MATERIAL SUCH AS MULCH, BARK, STONES, ETC., IS TO BE COVERED WITH SOD, INCLUSIVE OF AREAS IN THE RIGHT OF WAY BETWEEN EDGE OF CITY OR COMMUNITY PAVEMENT OR CURB AND PROPERTY LINE AND/OR SIDEWALKS.

26. ANY RAILROAD TIE, OOLITE STONE OR OTHER TYPE OF SPECIFIED RETAINING WALLS IN LANDSCAPE DOCUMENTS ARE TO BE INCLUDED AND INSTALLED BY LANDSCAPE CONTRACTOR ACCORDING TO SPACE ALLOWED AND SLOPE REQUIREMENTS WITH PRIOR ON SITE CONSULTATION WITH LANDSCAPE ARCHITECT. THEY ARE TO BE PLACED TAKING INTO CONSIDERATION EXISTING SITE CONDITIONS AND PLANT ROOT BALLS REQUIREMENTS. LANDSCAPE CONTRACTOR SHALL SPRAY MARK THE LOCATION OF PROPOSED WALLS AND OBTAIN LANDSCAPE ARCHITECT APPROVAL OF PROPOSED LOCATIONS PRIOR TO DIGGING TRENCHES FOR RETAINING WALLS.

27. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL OF HIS PLANTING IN RAISED PLANTERS OR ANY PLANTING AREAS REQUIRING WATER PROOFING OR ANY OTHER SPECIAL APPLICATIONS, AS WELL AS ANY AND ALL HARDSCAPE AND PAVING SPECIFICATIONS AND CONSTRUCTION DETAILS WITH THE GENERAL CONTRACTOR. THESE SPECIFICATIONS AND DETAILS ARE NOT PART OF THE LANDSCAPE ARCHITECT'S SCOPE OF WORK.

28. BY ACCEPTING THIS PLAN, AND SUBMITTING IT TO THE MUNICIPAL AUTHORITIES OR ANY OTHER BUILDING AND ZONING AUTHORITY, OWNER RELEASES AND HOLDS LANDSCAPE ARCHITECT HARMLESS FROM ANY LEGAL RESPONSIBILITY AS A CONSEQUENCE OF ANY LEGAL ACTIONS ARISING FROM THE SELECTION, INSTALLATION, MAINTENANCE, NATURAL PLANT MATERIAL GROWTH HABIT, SUCH AS FALLING FRONDS, SEEDS, BRANCHES, ETC., OF THE LANDSCAPE AND PLANTING MATERIALS SPECIFIED IN THIS PLAN.

29. IF LANDSCAPE CONTRACTOR FINDS AVAILABILITY DIFFICULTIES WITH ANY SPECIFIC PLANT MATERIAL, HE SHALL PROPOSE ONE (OR SEVERAL) AS ALTERNATE TO LANDSCAPE ARCHITECT, AND OBTAIN FINAL DECISION FROM LANDSCAPE ARCHITECT AS TO SPECIE TO BE USED.

30. IN ABSENCE OF LANDSCAPE CONTRACTOR OR A DESIGNATED SUPERVISOR OF THE LANDSCAPE CONTRACTOR AT THE WORK SITE, LANDSCAPE ARCHITECT HAS THE OWNER'S GIVEN RIGHT TO PROVIDE INSTRUCTIONS TO LANDSCAPE CONTRACTOR'S EMPLOYEES OR SUBCONTRACTOR'S EMPLOYEES REGARDING THE INSTALLATION OF THE WORKS SPECIFIED IN THIS PLAN IF IN HIS OPINION WORK IS NOT BEING PERFORMED AS SPECIFIED.

31. ALL SPECIFIED VINES REQUIRE A STRUCTURE FOR THEM TO GROW INTO. THESE STRUCTURES (TRELLISES) SHALL BE SUPPLIED BY LANDSCAPE CONTRACTOR AND INCLUDED AS PART OF THE WORK. LANDSCAPE CONTRACTOR SHALL PROVIDE DETAILS OF STRUCTURE FOR LANDSCAPE ARCHITECT APPROVAL. STRUCTURES SHALL BE JAKOB'S TRELLIS SYSTEMS (INFO@JAKOB-USA.COM) OR SIMILAR.

32. LANDSCAPE CONTRACTOR SHALL REVIEW THE LANDSCAPE DOCUMENTS INCLUDING GRADING PLAN, IRRIGATION PLAN AND LIGHTING PLAN WHICH ARE PART OF THE LANDSCAPE CONSTRUCTION DOCUMENTS FOR THIS PROJECT. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL LANDSCAPE DOCUMENTS WITH GENERAL CONTRACTOR AND ANY OTHER SUB CONTRACTOR TO FULLY UNDERSTAND ANY WORK OVERLAP AMONG THE DIFFERENT CONTRACTING DISCIPLINES.

34. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

33. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REMOVE ALL WEEDS, ANY UNDESIRABLE VEGETATION AND ROCKS THAT HAS BEEN BROUGHT TO THE SITE WITH PLANT MATERIAL AND PLANTING SOIL, AT NO COST TO THE OWNER.

34. ALL AREAS CONSIDERED RIGHT-OF-WAY AREAS, LABELED AS SUCH OR NOT IN THE LANDSCAPE PLANS, ARE TO BE FULLY SODED AND BE PROVIDED WITH FULL COVERAGE IRRIGATION AS PART OF THE LANDSCAPE CONTRACTOR'S AGREEMENT WITH OWNER AND/OR GENERAL CONTRACTOR. SOD IN RIGHT-OF-WAY AREAS IS REQUIRED REGARDLESS OF IT BEING LABELED AS SOD AREAS OR NOT IN THE LANDSCAPE PLANS.

35. MOST PALMS ARE SELF CLEANING THEREFORE NO PALMS ARE TO BE PLANTED IN PROXIMITY OR CLOSE TO A HARDSCAPE OR PEDESTRIANS AND PLAY AREAS LOCATION WHERE FALLING FRONDS MAY CAUSE PERSONAL OR PROPERTY DAMAGE. LANDSCAPE CONTRACTOR MUST BE OBSERVANT OF THIS CONDITION.

36. AS A BASIC GENERAL RULE PLANTS TO BE PLANTED IN THE SHADE SHALL BE IN A SHADE HOUSE OR SHADED AREA IN THE NURSERY. PLANTS TO BE PLANTED IN THE SUN SHALL BE IN THE SUN OR A SUNNY AREA AT THE NURSERY. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SELECT PLANTS ACCORDING TO THEIR LOCATION AT NURSERY AND WHERE IN THE JOBSITE THEY ARE INDICATED TO BE PLANTED AND BE AWARE OF THE PLANT MATERIAL LIGHT PREFERENCE. IF IN DOUBT LANDSCAPE CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT.

VIII. SOIL PREPARATION

1. SOIL PREPARATION OF A LANDSCAPE DESIGN IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOPSOIL IF ANY AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATED BACK INTO THE SOIL AT A LATER DATE. NEW PLANTING SOIL MIX SHALL BE APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN.

2. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.

3. IF ANY AMENDMENTS ARE SPECIFIED IN PLANS, THEY SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.

4. DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. PRIOR TO THE INSTALLATION OF PLANT MATERIAL AND/OR SOD IN THESE AREAS, THE COMPACTION OF THESE SHALLOW AREAS SHALL BE REDUCED OR TURNED OVER USING AN AIRSPADE OR SIMILAR METHOD TO ALLOW SOIL TO HAVE GREATER WATER AND NUTRIENT ABSORPTION.

IX. TREE PRESERVATION PLANTING NOTES

1. ALL EXISTING TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION & MITIGATION PLAN. THE FENCE SHALL BE FIRMLY ANCHORED INTO THE GROUND AND SHALL REMAIN UPRIGHT AND INTACT UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE. CONSTRUCTION ACTIVITIES, STORAGE AND/OR GARBAGE SHALL NOT OCCUR WITHIN THESE PROTECTED AREAS. THE GENERAL CONTRACTOR ASSURE THAT NO SUBCONTRACTOR INFRINGES INTO THESE AREAS WITH ARBAGE OR CONSTRUCTION MATERIALS. THE LOCATION OF THE PROTECTIVE BARRIER SHALL BE AS SHOWN IN THE LANDSCAPE PLANS AND SHALL BE IN PLACE BEFORE ANY CONSTRUCTION WORK STARTS.

2. WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN.

3. ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED BY HAND AND USING A MECHANICAL SAW CUT OF ANY ROOTS 2" OR MORE IN DIAMETER. LIMITS OF TRENCING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.

X. CLEANUP

1. PLANT CONTAINERS, WIRES, HOSES, BAGS AND ANY OTHER LANDSCAPE MATERIAL SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS. EXCESS SOIL, STONES AND DEBRIS SHALL BE REMOVED FROM THE SITE OR DISPOSED OF AS DIRECTED BY OWNER OR GENERAL CONTRACTOR.

XI. ACCEPTANCE OF WORK

1. WORK SHALL BE ACCEPTED UPON FINAL INSPECTION AND APPROVAL BY LANDSCAPE ARCHITECT. ACCEPTANCE SHALL BE UPON ADHERENCE TO THE SPECIFICATIONS ON THE DRAWINGS. INSPECTION SHALL BE NO LONGER THAN FIVE DAYS AFTER COMPLETION AND CLEANUP OF WORK, AT WHICH TIME THE LANDSCAPE ARCHITECT, UPON ACCEPTANCE OF WORK, SHALL ISSUE A CERTIFICATE OF COMPLETION AS REQUIRED BY MIAMI-DADE LANDSCAPE ORDINANCE. THERE SHALL BE NO PARTIAL ACCEPTANCE OF WORK.

2. LANDSCAPE CONTRACTOR SHALL HAVE TEN (10) DAYS TO REPLACE OR CORRECT ANY MATERIAL OR WORK NOT ACCEPTED BY THE LANDSCAPE ARCHITECT.

XII. HOLD HARMLESS

1. BY ACCEPTING THIS PLAN, SUBMITTING IT TO THE MUNICIPAL AUTHORITIES OR ANY OTHER BUILDING AND ZONING AUTHORITY AND OBTAINING A PERMIT, OWNER RELEASES AND HOLDS LANDSCAPE ARCHITECT HARMLESS FROM ANY LEGAL RESPONSIBILITY AS A CONSEQUENCE OF ANY LEGAL ACTIONS ARISING FROM THE SELECTION, INSTALLATION, MAINTENANCE, NATURAL PLANT MATERIAL GROWTH HABIT, SUCH AS FALLING FRONDS, SEEDS, BRANCHES, ETC., OF THE LANDSCAPE AND PLANTING MATERIALS SPECIFIED IN THIS PLAN.

XIII. TOTALITY OF DESIGN SPECIFICATIONS, FURNITURE AND ACCESSORIES

1. THE WRITTEN SPECIFICATIONS IN THIS PLAN, TOGETHER WITH ANY AND ALL OTHER WRITTEN SPECIFICATIONS IN THE LANDSCAPE ARCHITECTURAL PLANS, ANY AND ALL GRAPHIC DRAWINGS AND PLANS, TABLES, LEGENDS, NOTES, GENERAL NOTES, AND ANY AND ALL GRAPHIC OR WRITTEN DATA INTENDED TO CONVEY THE DESIGN INTENT FOR PLANT SELECTIONS, SHAPES AND FORMS, PAVING FINISH MATERIAL SELECTIONS, AND ANY SUPPLEMENTAL REVISIONS, DEFINITIONS OR REPLIES TO RFIS SHALL BE CONSIDERED THE TOTALITY OF THE PROJECT'S SPECIFICATIONS AND SHALL BE PART OF THE LANDSCAPE CONTRACTOR'S CONTRACT.

2. ALL FURNITURE AND ACCESSORIES SPECIFIED IN THE LANDSCAPE ARCHITECTURAL PLANS (DISPOSITION, PLANTING, IRRIGATION AND LIGHTING) ARE SPECIFIED AS A RECOMMENDATION. ARCHITECT SHALL COORDINATE THE SPECIFICATION WITH GENERAL CONTRACTOR AND CONSULT WITH OWNER REGARDING PRICES AND BUDGETS. ALL FURNITURE AND ACCESSORIES MAY BE SUBSTITUTED FOR OTHER BRANDS WITH SIMILAR DESIGN.

ABBREVIATION TABLE

Table with 4 columns: APPROX AVG, B+B, CAL, CL, CONC, DIA; APPROXIMATE AVERAGE, BALLED AND BURLAPPED, CALIPER, CENTER LINE, CONCRETE, DIAMETER; EXIST, FFE, OC, MAX, MIN, NTS, FL; EXISTING FINISHED FLOOR ELEVATION, ON CENTER, MAXIMUM, MINIMUM, NOT TO SCALE, PROPERTY LINE.



Know what's below. Call before you dig. It's the Law!

EXCAVATION NOTE: CALL SUNSHINE STATE ONE CALL CENTER OF FLORIDA AT 1-800-451-4770 (TOLL FREE) 48 HOURS BEFORE DIGGING. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND. IF NECESSARY, THE LANDSCAPE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.

LEGACY

NEW RESIDENCE

MAGGIORE & MARMORE CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

REVISIONS

Table with 3 columns: NO., DESCRIPTION, ISSUE DATE. Table is currently empty.

BALLI-TRAUTMAN ARCHITECTS, L.L.C.

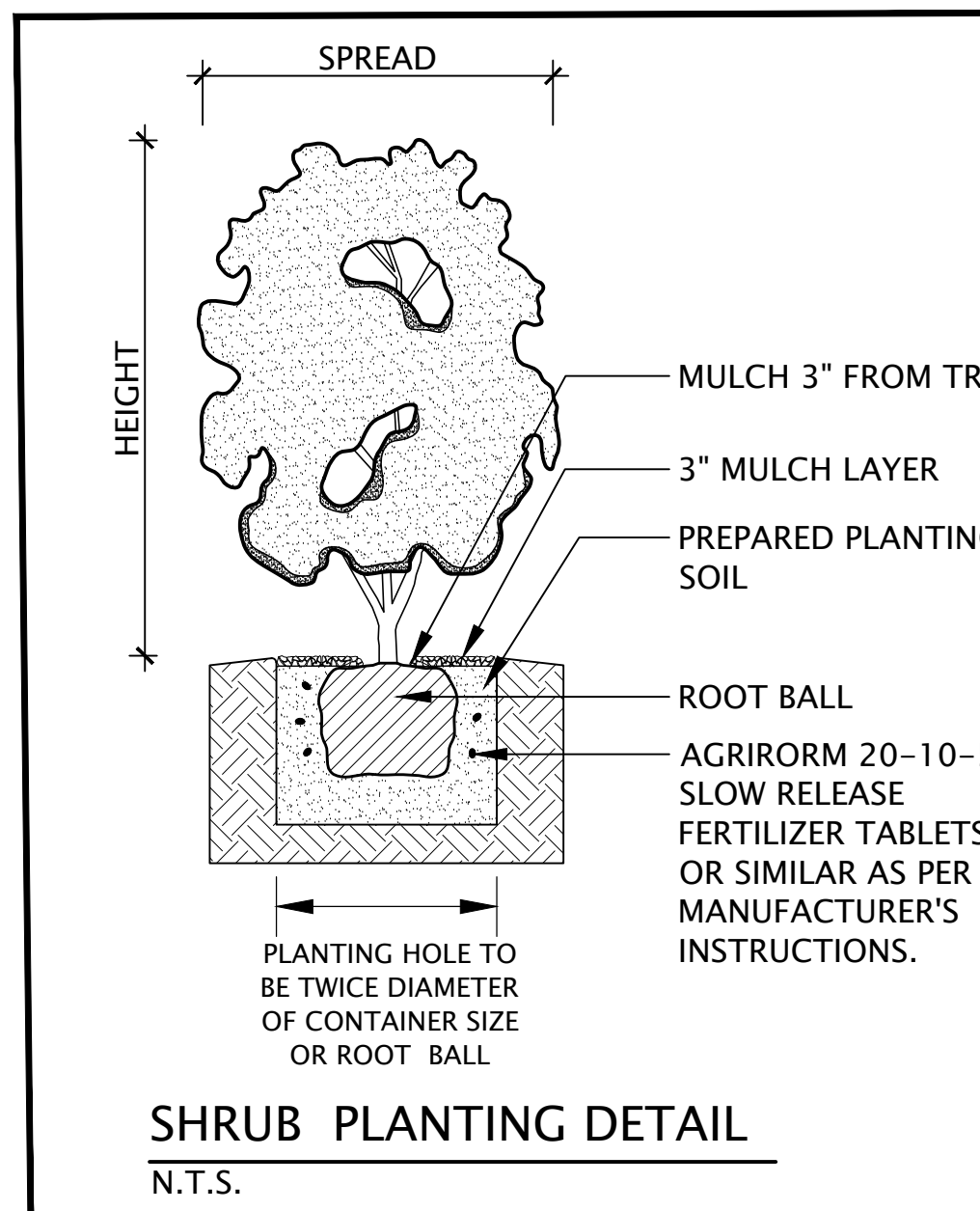
1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33134

COMAS Comas Design Group, Inc. LANDSCAPE ARCHITECTURE 250 Catalonia Ave, Coral Gables, Florida, 33134

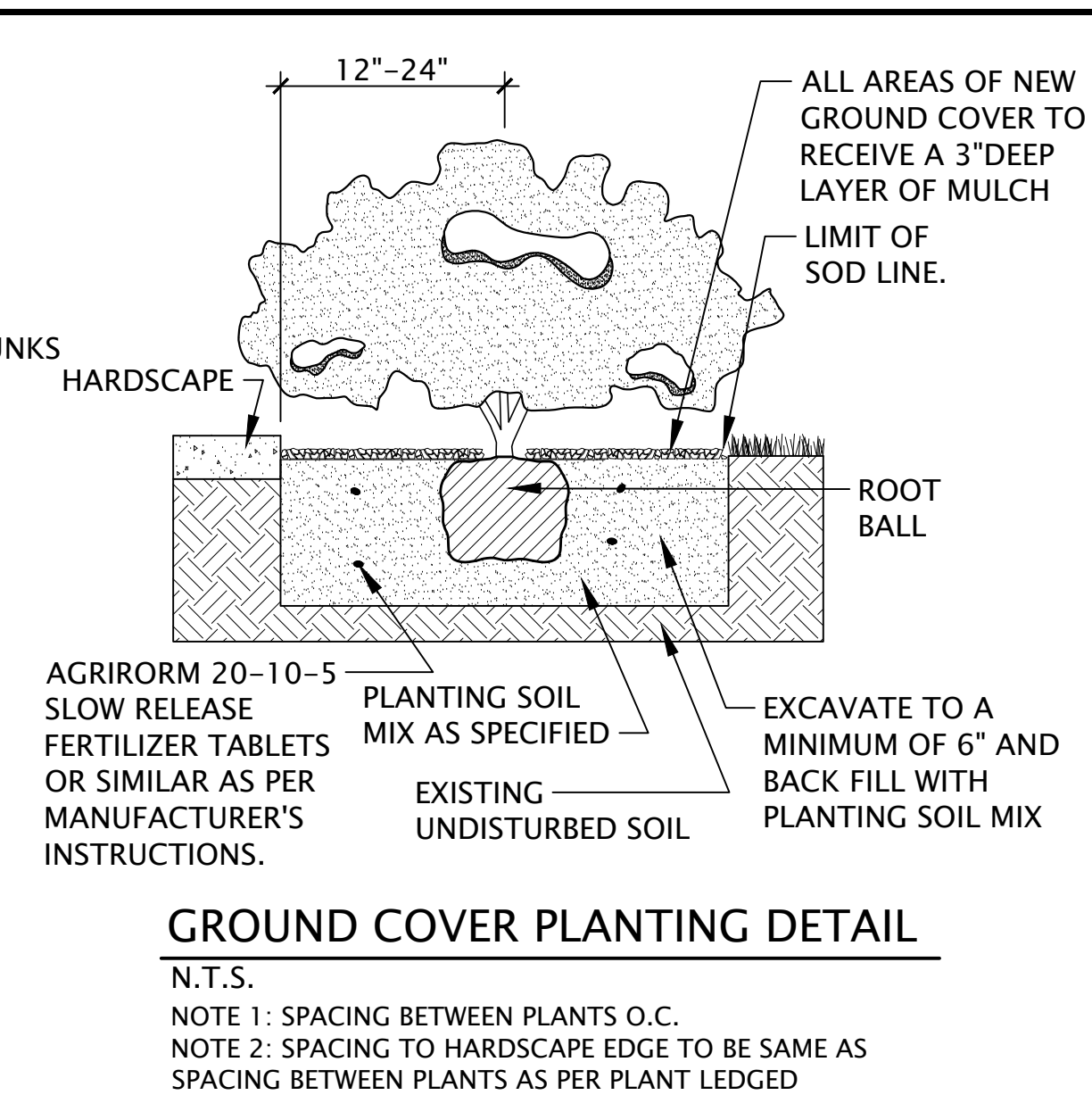


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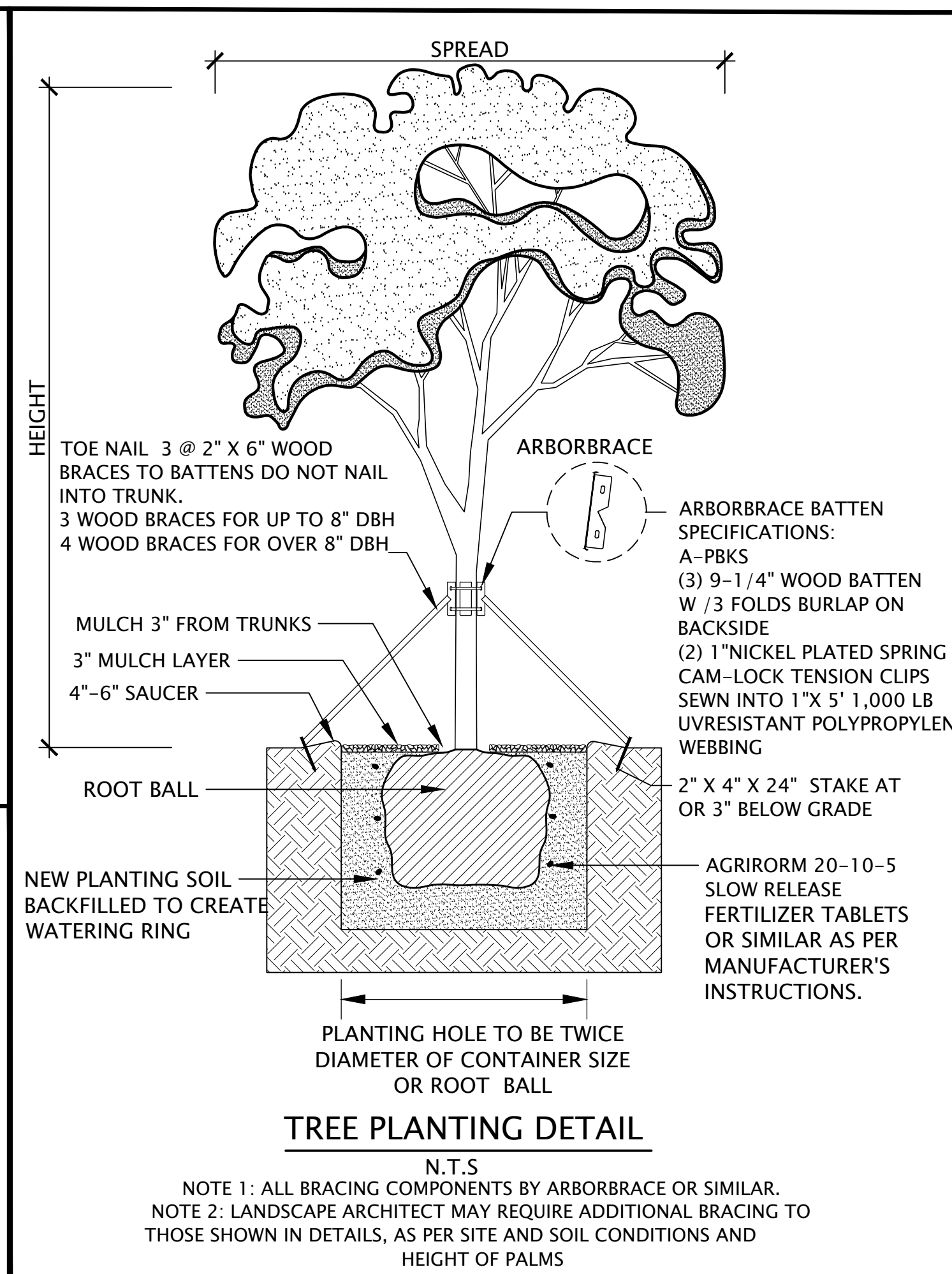
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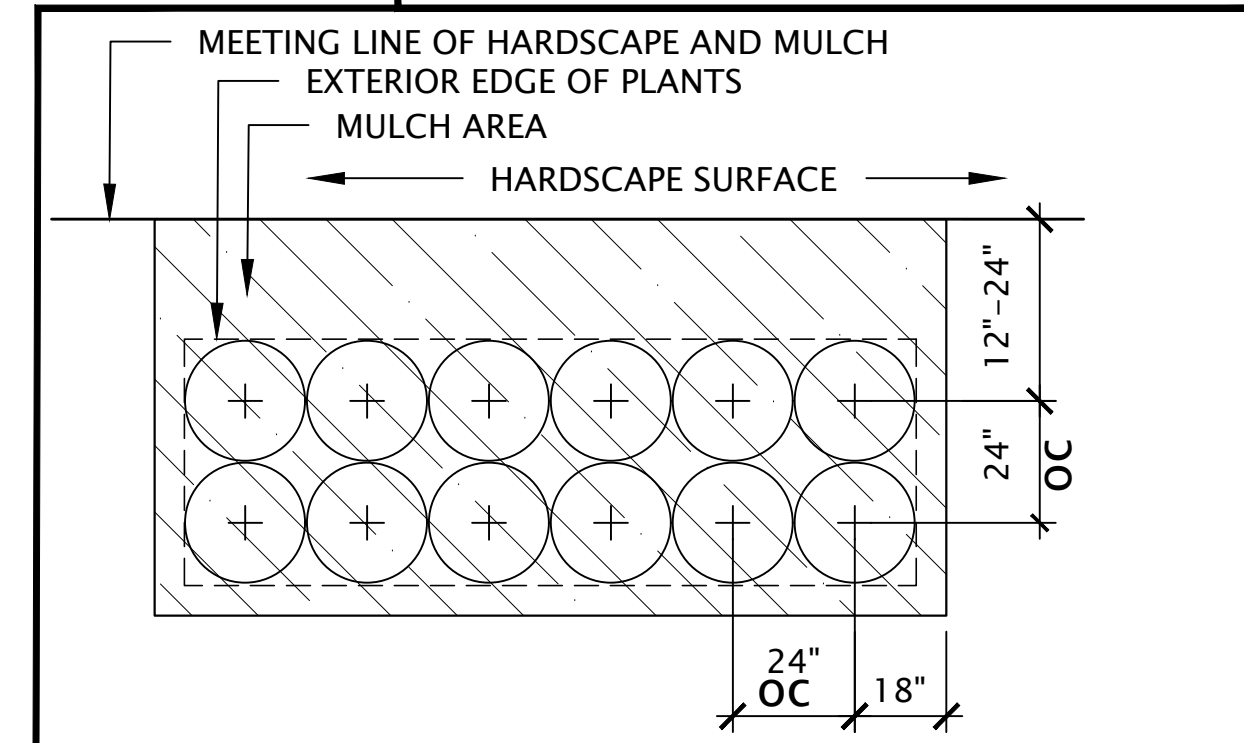
SHRUB PLANTING DETAIL
N.T.S.



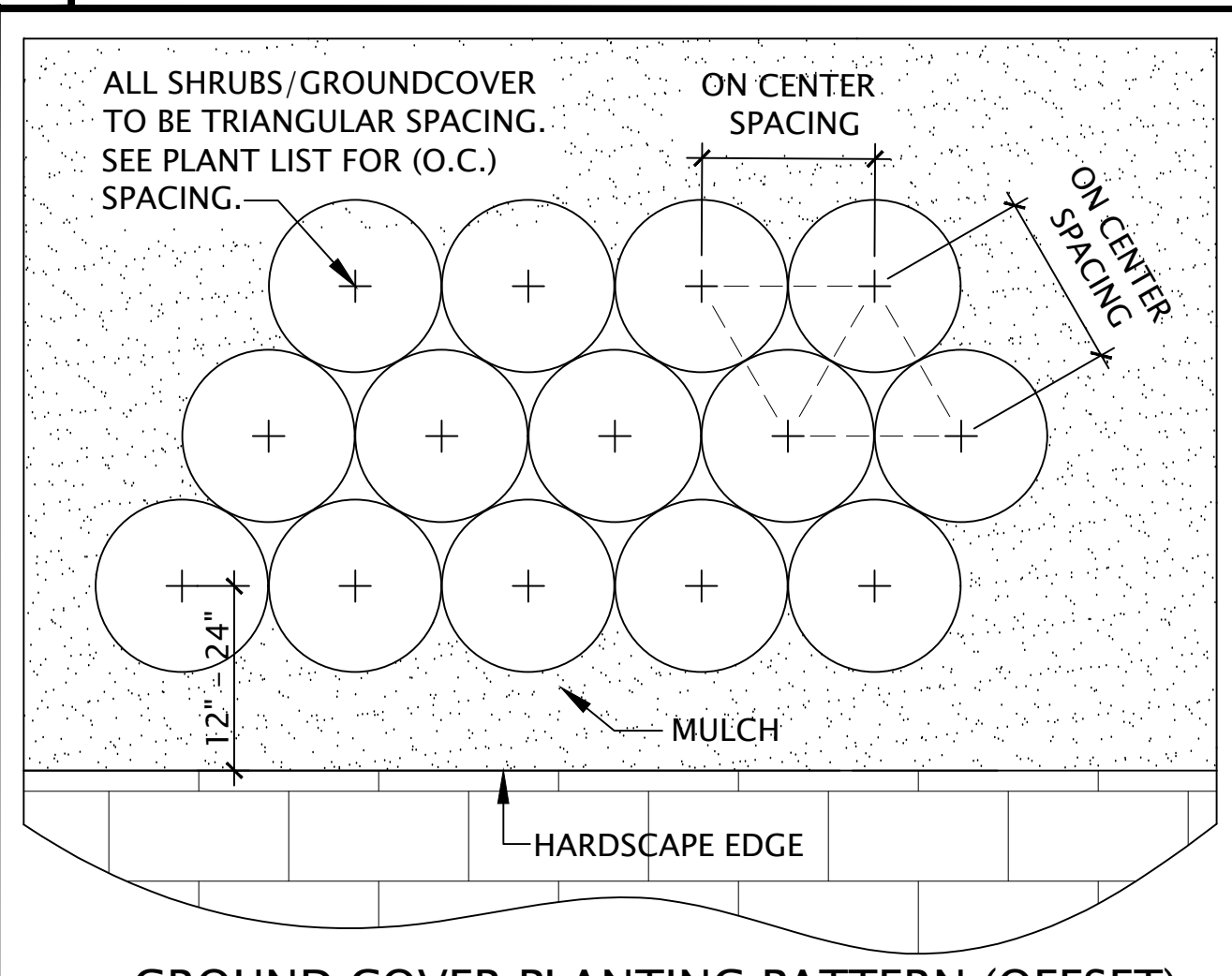
GROUND COVER PLANTING DETAIL
N.T.S.
NOTE 1: SPACING BETWEEN PLANTS O.C.
NOTE 2: SPACING TO HARDSCAPE EDGE TO BE SAME AS SPACING BETWEEN PLANTS AS PER PLANT LEDGED



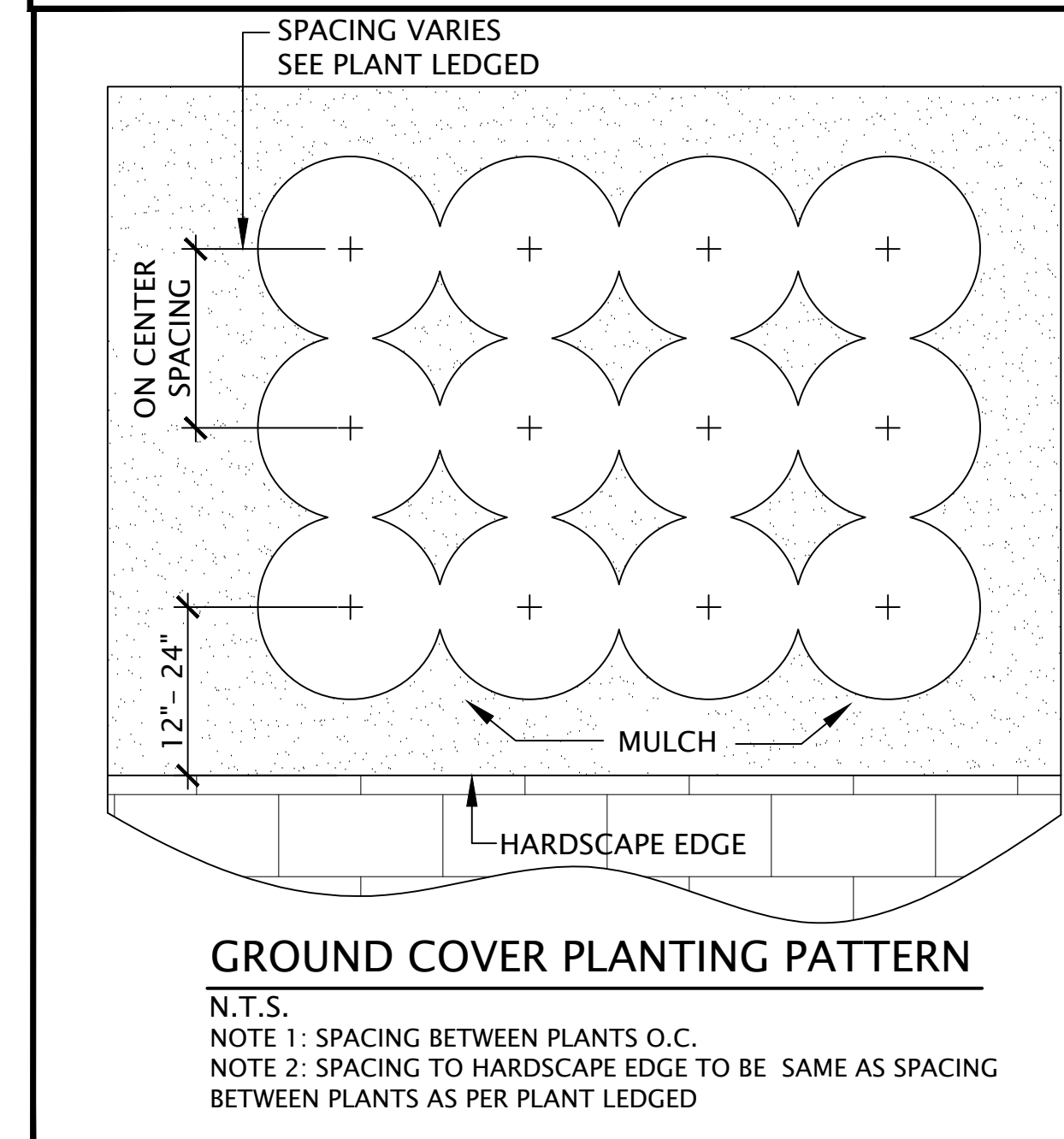
TREE PLANTING DETAIL
N.T.S.
NOTE 1: ALL BRACING COMPONENTS BY ARBORBRACE OR SIMILAR.
NOTE 2: LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL BRACING TO THOSE SHOWN IN DETAILS, AS PER SITE AND SOIL CONDITIONS AND HEIGHT OF PALMS



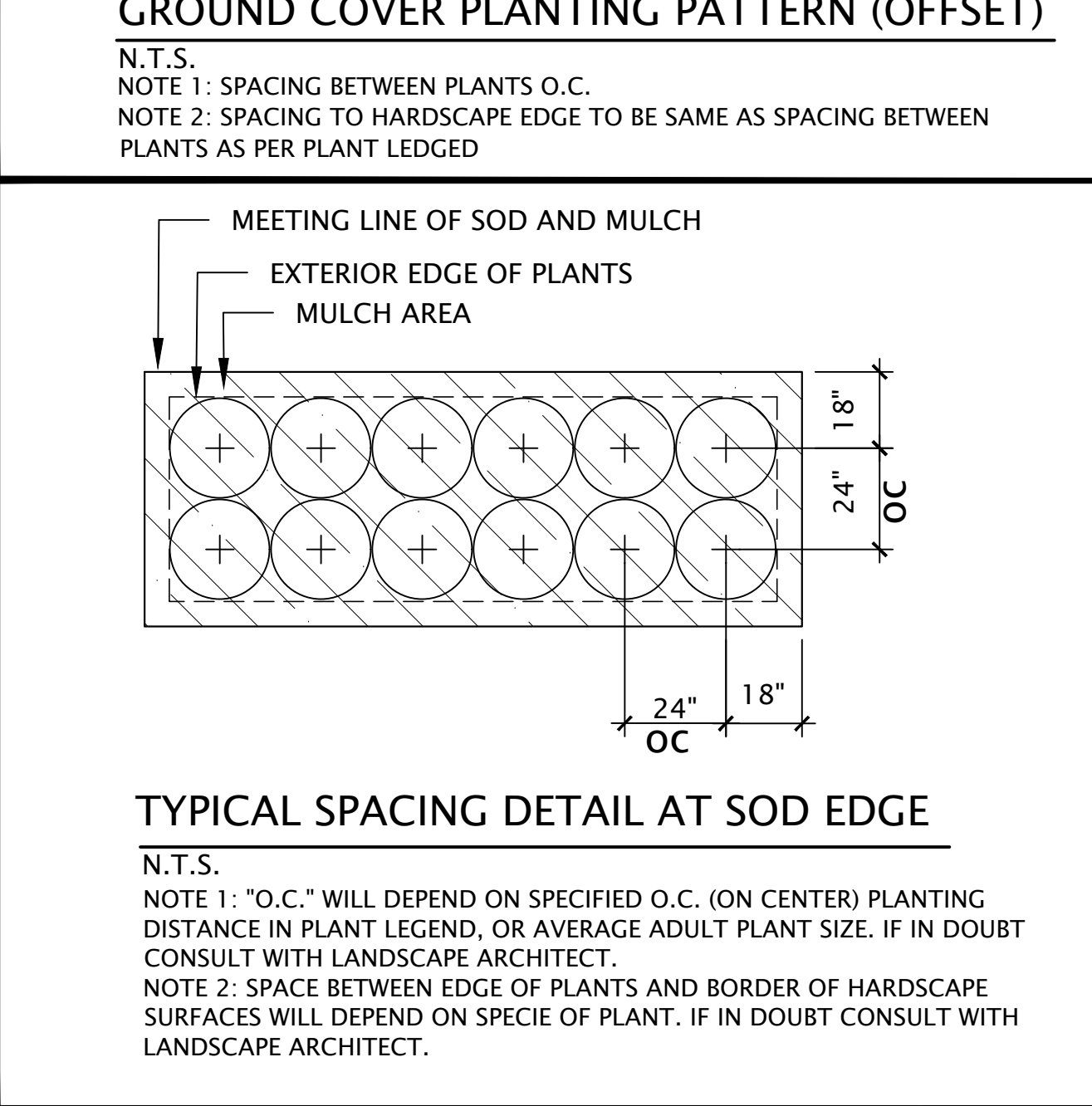
TYPICAL SPACING DETAIL AT HARDSCAPE EDGE
N.T.S.
NOTE 1: "O.C." WILL DEPEND ON SPECIFIED O.C.(ON CENTER) PLANTING DISTANCE IN PLANT LEGEND, OR AVERAGE ADULT PLANT SIZE. IF IN DOUBT CONSULT WITH LANDSCAPE ARCHITECT.
NOTE 2: SPACE BETWEEN PLANTS AND BORDER OF HARDSCAPE SURFACES WILL DEPEND ON SPECIE OF PLANT. IF IN DOUBT CONSULT WITH LANDSCAPE ARCHITECT.



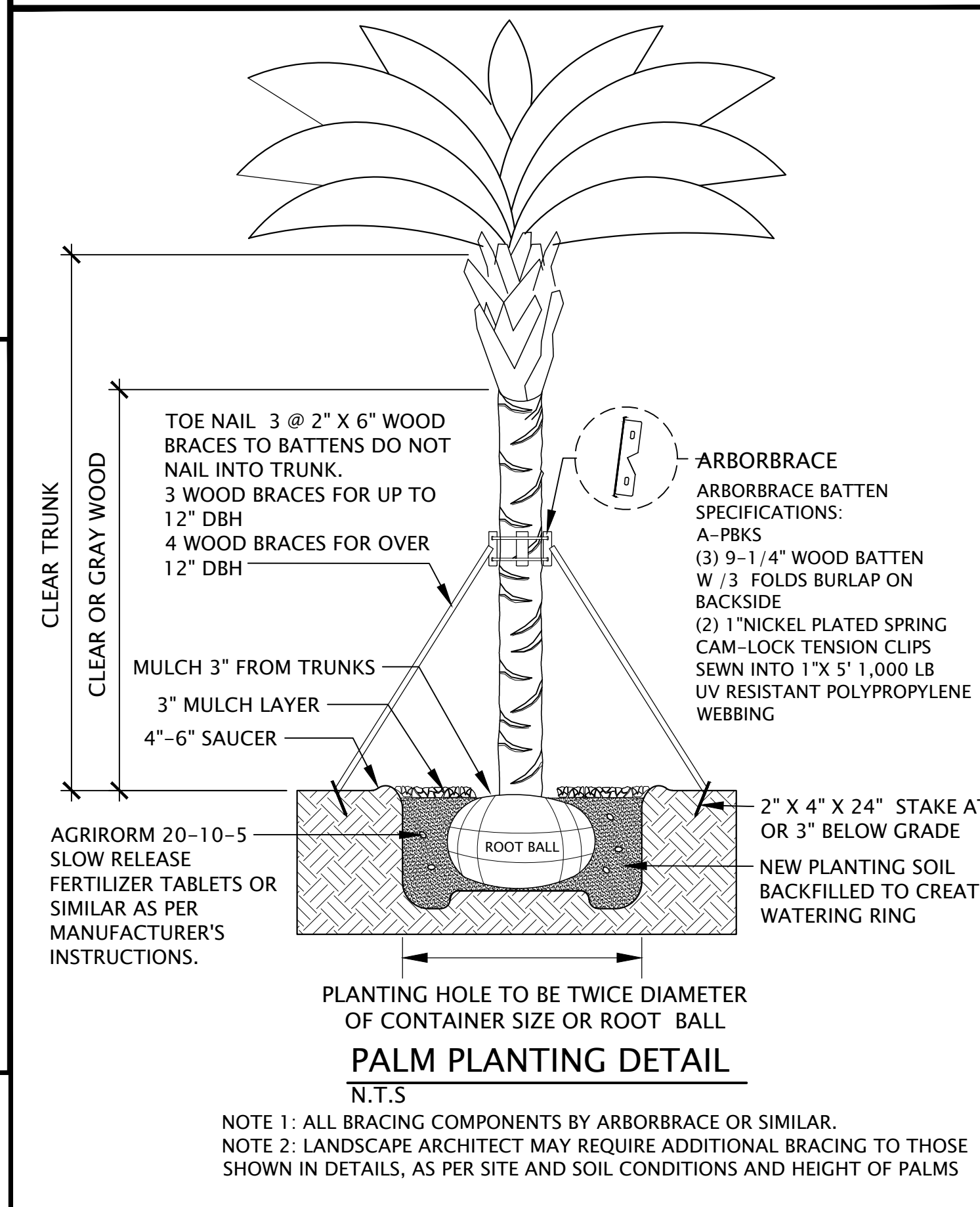
GROUND COVER PLANTING PATTERN (OFFSET)
N.T.S.
NOTE 1: SPACING BETWEEN PLANTS O.C.
NOTE 2: SPACING TO HARDSCAPE EDGE TO BE SAME AS SPACING BETWEEN PLANTS AS PER PLANT LEDGED



GROUND COVER PLANTING PATTERN
N.T.S.
NOTE 1: SPACING BETWEEN PLANTS O.C.
NOTE 2: SPACING TO HARDSCAPE EDGE TO BE SAME AS SPACING BETWEEN PLANTS AS PER PLANT LEDGED



TYPICAL SPACING DETAIL AT SOD EDGE
N.T.S.
NOTE 1: "O.C." WILL DEPEND ON SPECIFIED O.C. (ON CENTER) PLANTING DISTANCE IN PLANT LEGEND, OR AVERAGE ADULT PLANT SIZE. IF IN DOUBT CONSULT WITH LANDSCAPE ARCHITECT.
NOTE 2: SPACE BETWEEN EDGE OF PLANTS AND BORDER OF HARDSCAPE SURFACES WILL DEPEND ON SPECIE OF PLANT. IF IN DOUBT CONSULT WITH LANDSCAPE ARCHITECT.



PALM PLANTING DETAIL
N.T.S.
NOTE 1: ALL BRACING COMPONENTS BY ARBORBRACE OR SIMILAR.
NOTE 2: LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL BRACING TO THOSE SHOWN IN DETAILS, AS PER SITE AND SOIL CONDITIONS AND HEIGHT OF PALMS

LANDSCAPE MAINTENANCE GUIDES FOR PLANTING TREES AND SHRUBS:

A. ESTABLISHMENT: TREES AND SHRUBS SHALL BE PROVIDED WITH REGULAR IRRIGATION AFTER TRANSPANTING WITHIN SITE, PLANTING FROM A FIELD GROWN NURSERY OR PLANTING FROM A CONTAINER TO FULLY ESTABLISH THE DEVELOPMENT OF THE ROOT SYSTEM IN THE LANDSCAPE SOIL. TREES SHALL BE IRRIGATED THROUGH THE ENTIRE ESTABLISHMENT PERIOD.

B. IRRIGATION: IRRIGATION DURING THE ESTABLISHMENT PERIOD. FOLLOWING THE INITIAL FEW MONTHS OF FREQUENT IRRIGATION, PROVIDE WEEKLY IRRIGATION UNTIL PLANTS ARE FULLY ESTABLISHED. AT EACH IRRIGATION, APPLY ABOUT 2 TO 3 GALLONS OF WATER PER INCH OF TRUNK DIAMETER (E.G. 4-6 GALLONS FOR A 2-INCH TREE) OVER THE ROOT BALL.

C. IRRIGATION SCHEDULING FOR RECENTLY PLANTED TREES: BASED ON UNIVERSITY OF FLORIDA, INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES DATA BY DR. EDWARD F. GILMAN. IDEAL IRRIGATION SCHEDULE FOR QUICKLY ESTABLISHING TREES IN WELL-DRAINED SITES: DAILY FOR 2 MONTHS, THEN 3 TIMES A WEEK FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED. BASED ON THIS AND OTHER SPECIFIC FLORIDA STANDARDS DATA, WE SPECIFY THE FOLLOWING IRRIGATION SCHEDULE:

C.1. 2 INCH CALIPER TREES: DAILY FOR 2 WEEKS; EVERY OTHER DAY FOR 3 MONTHS; THREE TIMES WEEKLY FOR SIX MONTHS. TWICE WEEKLY ONCE FULLY ESTABLISHED AND LANDSCAPE INSTALLATION HAS BEEN COMPLETED.

C.2. 2-4 INCH CALIPER TREES: DAILY FOR 1 MONTH; EVERY OTHER DAY FOR 3 MONTHS; TWICE WEEKLY FOR SIX MONTHS. TWICE WEEKLY ONCE FULLY ESTABLISHED AND LANDSCAPE INSTALLATION HAS BEEN COMPLETED.

C.3. 4 OR MORE INCH CALIPER TREES: DAILY FOR 6 WEEKS; EVERY OTHER DAY FOR 6 MONTHS; TWICE WEEKLY FOR NINE MONTHS. TWICE WEEKLY ONCE FULLY ESTABLISHED AND LANDSCAPE INSTALLATION HAS BEEN COMPLETED.

D. TREES FERTILIZATION
A COMPLETE FERTILIZER WITH A SALT INDEX OF LESS THAN 50. SHALL BE APPLIED ON TOP OF THE ROOT BALL AND BACKFILL SOIL AT PLANTING. FERTILIZER SHALL BE APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS. IT SHALL HAVE A RATIO OF APPROXIMATELY 3:1:2 OR 3:1:3 (I.E. 15-5-10 OR 15-5-15) OF NITROGEN, PHOSPHOROUS PENTOXIDE (P2O5), AND POTASSIUMOXIDE (K2O). FERTILIZERS THAT ARE "SLOW-RELEASE," "CONTROLLED RELEASE," SULFUR COATED, OR WITH NITROGEN AS IBDU OR UREA-FORMALDEHYDE HAVE EXTENDED RELEASE PERIODS COMPARED TO FERTILIZERS THAT ARE READILY WATER SOLUBLE. THIRTY TO FIFTY PERCENT OF THE NITROGEN SHOULD BE WATER INSOLUBLE OR SLOW-RELEASE. FERTILIZER SHALL BE APPLIED TO ESTABLISHING TREES EVERY THREE MONTHS UNTIL LANDSCAPE INSTALLATION OF THE PROJECT HAS BEEN COMPLETED OR ONE YEAR FROM PLANTING. ESTABLISHED TREES WHICH HAVE BEEN PLANTED ONE YEAR OR MORE AND GROWING IN LANDSCAPED AREAS WHERE TURF AND SHRUBS ARE FERTILIZED DO NOT NEED ADDITIONAL FERTILIZER.

THEIR ROOT SYSTEMS WILL EXTEND THROUGHOUT THE LANDSCAPE PAST THE EDGE OF THE TREE CANOPY AND RECEIVE NUTRIENTS WHEN THESE AREAS ARE FERTILIZED. SUPPLEMENTAL APPLICATIONS MAY BE NEEDED FOR SOME TREES BECAUSE OF NUTRIENT DEFICIENCIES. AFTER LANDSCAPE INSTALLATIONS HAVE BEEN COMPLETED, STEPS TO RESOLVE THESE DEFICIENCIES WITH APPROPRIATE TREATMENT, SHALL BE PERFORMED WHEN OBSERVED BY MAINTENANCE PERSONNEL.

E. SHRUBS FERTILIZATION
A COMPLETE FERTILIZER SLOW RELEASE FERTILIZER AS DESCRIBED ABOVE FOR TREES, SUCH AS 15-5-10 TO SHRUBS AND GROUND COVER BEDS AT A RATE OF 3-5 POUNDS N/1000 SQUARE FEET/YEAR OR AS PER MANUFACTURER'S RECOMMENDATIONS.

F. PALMS FERTILIZATION
PALMS SHOULD BE FERTILIZED WITH AN 8-2-12-4 MG PLUS MICRONUTRIENT, WITH 100% OF N,K AND MG IN CONTROLLED RELEASE FORM, SUCH AS ATLANTIC PALM SPECIAL, FOLLOWING MANUFACTURER'S INSTRUCTIONS DO NOT USE TURF FERTILIZER WITH HIGH N AND WATER SOLUBLE K WITHIN 50 FEET OF ANY PALM.

G. TURF FERTILIZATION
FERTILIZATION GUIDELINES FOR ESTABLISHED TURFGRASS LAWNS IN SOUTH FLORIDA, APPLIED IN TWO APPLICATIONS GENERALLY IN FEBRUARY AND OCTOBER, AS FOLLOW:

NITROGEN RECOMMENDATIONS
G.1. SPECIES / (LBS. N/1000 SQ. FT. YEAR)

BAHIA GRASS	2-4	ZOYSIAGRASS	4-6
BERMUDAGRASS	5-7	ST. AUGUSTINEGRASS	4-6
CENTPEDEGRASS	2-3		

H. ADDITIONAL FERTILIZATION GUIDES
IN ADDITION TO THE BASIC GUIDELINES SHOWN IN THIS SHEET, LANDSCAPE CONTRACTOR AND/OR LANDSCAPE MAINTENANCE CONTRACTOR, AS WELL AS LICENSED PEST CONTROL AND FERTILIZING COMPANIES SHALL, PRIOR TO ANY FERTILIZATION APPLICATION, READ THE FLORIDA NURSERY AND GROWERS ASSOCIATION, AND UNIVERSITY OF FLORIDA, FLORIDA COOPERATIVE EXTENSION SERVICE, FERTILIZATION RECOMMENDATIONS AND GUIDELINES ON FERTILIZATION.

I. GENERAL TREE ESTABLISHMENT GUIDES
I.a. BASED ON UNIVERSITY OF FLORIDA, INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES BY DR. EDWARD F. GILMAN. IDEAL IRRIGATION SCHEDULE FOR QUICKLY ESTABLISHING TREES IN WELL-DRAINED SITES: DAILY FOR 2 MONTHS, THEN 3 TIMES A WEEK FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED. RESEARCH INDICATES THAT ESTABLISHMENT TIME FOR CONTAINER-GROWN TREES CAN BE 1 TO 2 MONTHS PER INCH OF TRUNK DIAMETER.

I.b. AVERAGE LENGTH OF TREE ESTABLISHMENT PERIOD IN SOUTH FLORIDA AS PER UNIVERSITY OF FLORIDA (IFAS):
UNDER 2" DIAMETER TRUNK: 2-4 MONTHS
2" TO 4" DIAMETER TRUNK: 5-9 MONTHS
OVER 4" DIAMETER TRUNK: 10+ MONTHS

I.c. THESE GUIDELINES HAVE BEEN RESEARCHED IN DOCUMENTS PROVIDED BY . INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES, EDIS WHICH WERE BASED ON THE FOLLOWING RESEARCH: BEESON AND GILMAN 1992; GILMAN ET AL. 1994; GILMAN AND BEESON 1996; GILMAN ET AL. 1996; GILMAN 2001; GILMAN ET AL. 2002; GILMAN ET AL. 2010; HARRIS AND GILMAN 1993; WATSON AND HIMELICK 1982. AS WELL AS TO MIAMI-DADE COUNTY'S PUBLICATION GUIDE TO TREE PLANTING AND MAINTENANCE.

**LEGACY
NEW RESIDENCE**

MAGGIORE & MARMORE
CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

BALLI-TRAUTMAN
ARCHITECTS, LLC.
1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33134

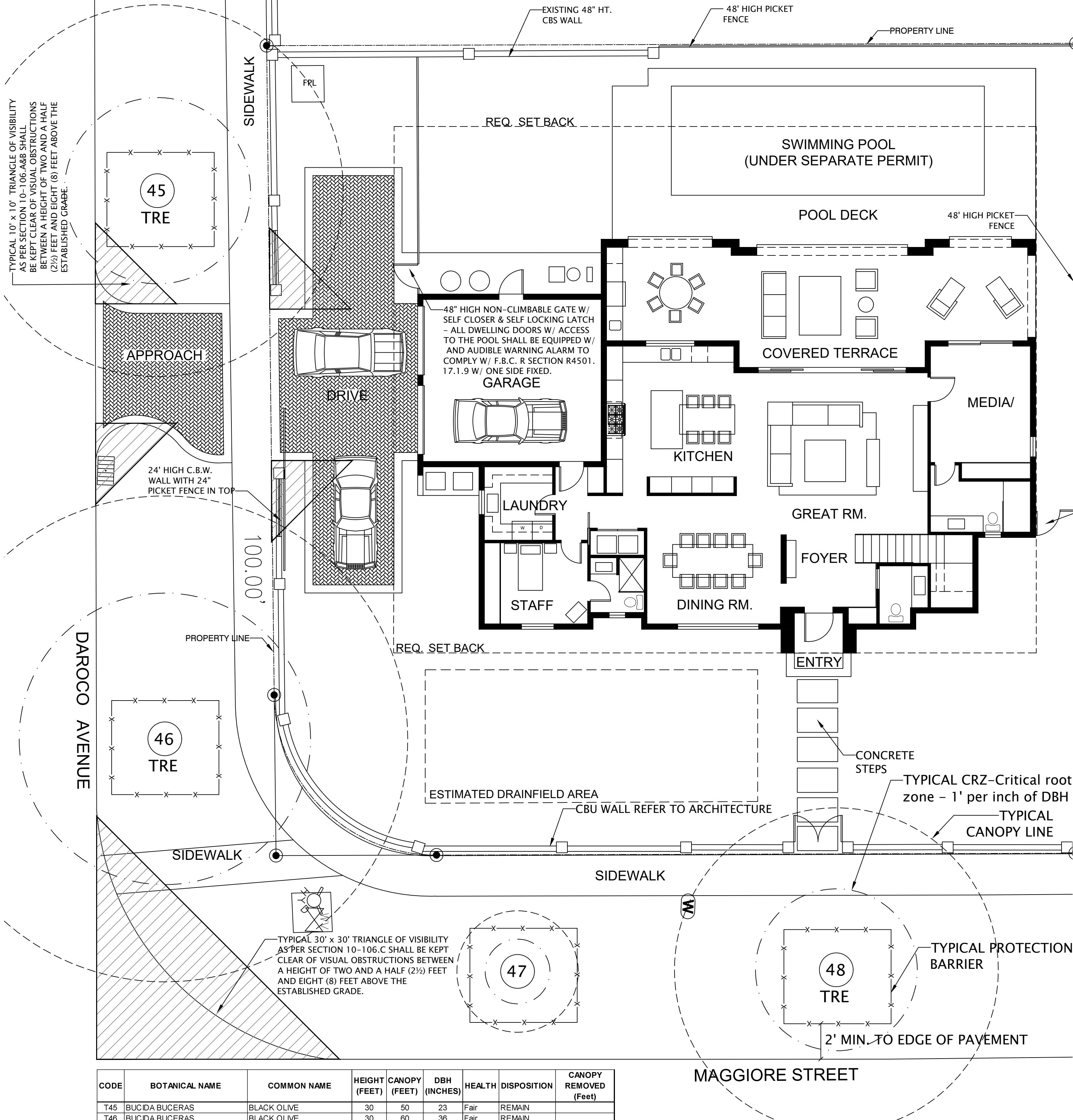
COMAS
Comas Design Group, Inc.
LANDSCAPE ARCHITECTURE
250 Catalina Ave. Coral Gables, Florida 33134
ocomas@bellsouth.net 305.283.9382 Lic. 0001565



JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: OC
ISSUE DATE: May 10, 2024
SCALE: AS NOTED

SHEET TITLE
PLANTING DETAILS
SHEET NUMBER

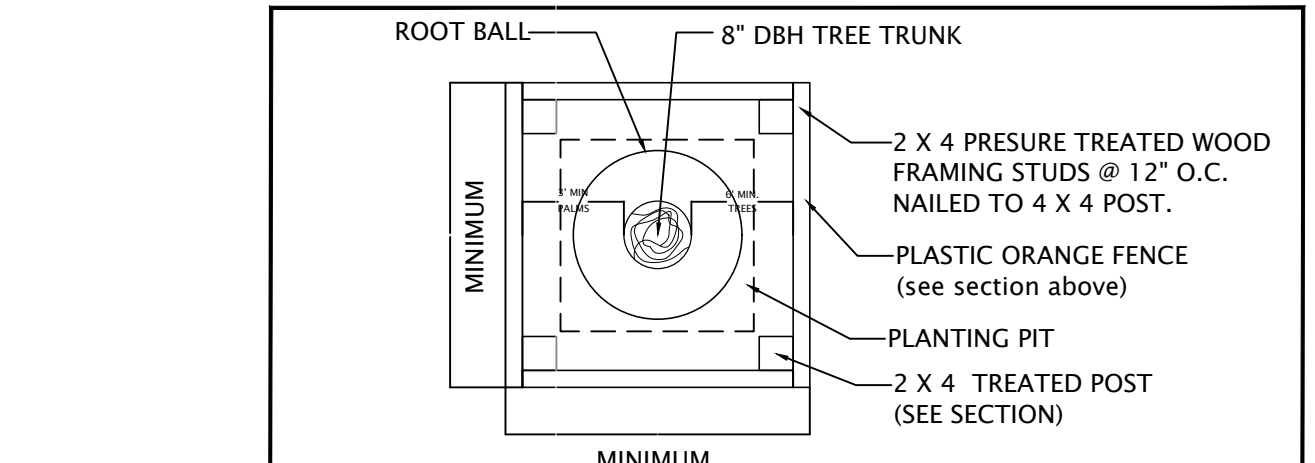
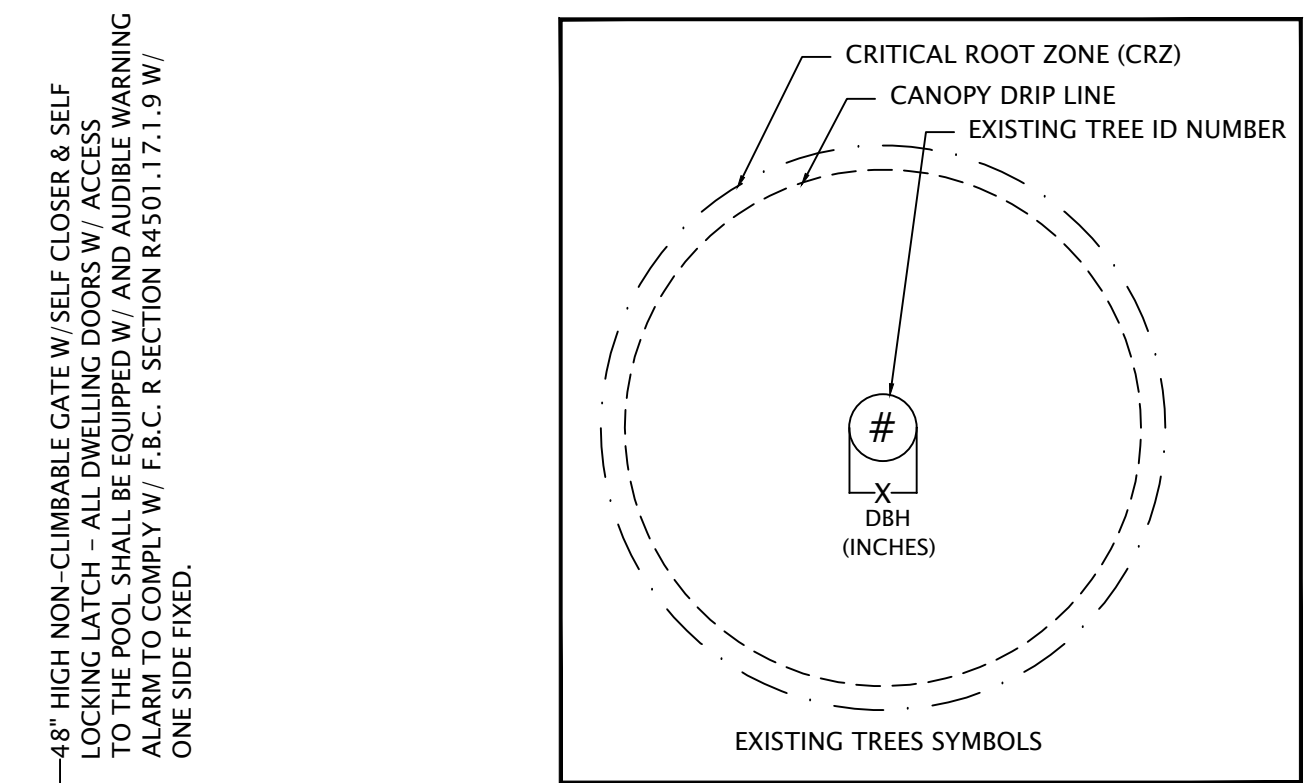
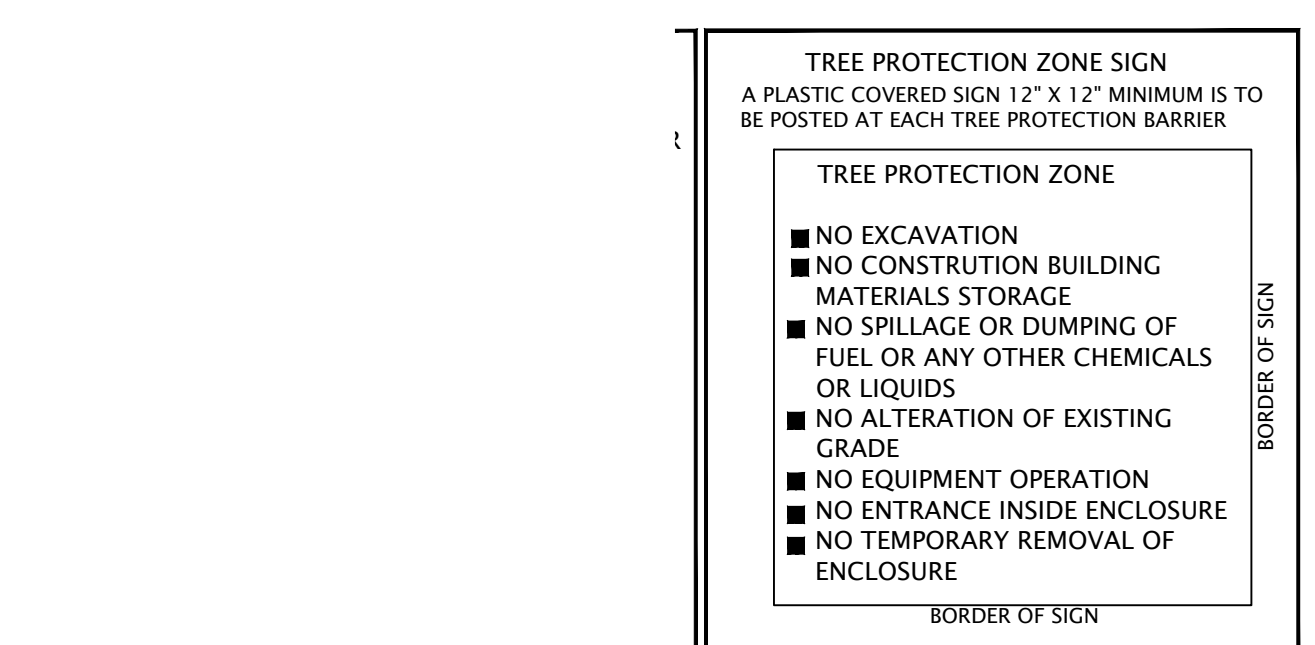
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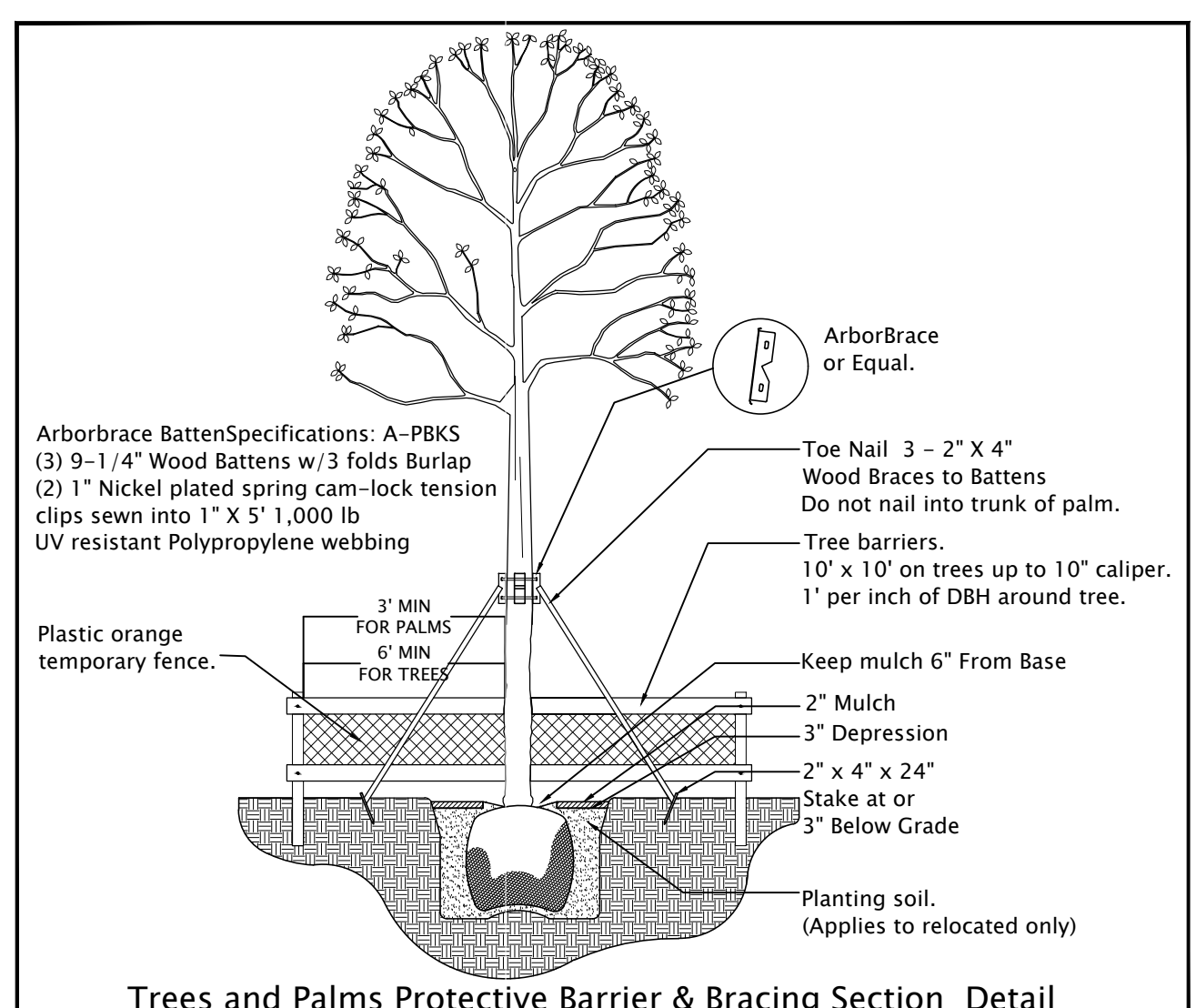
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (FEET)	CANOPY (FEET)	DBH (INCHES)	HEALTH	DISPOSITION	CANOPY REMOVED (FEET)
T45	BUCIDA BUCERAS	BLACK OLIVE	30	50	23	Fair	REMAIN	
T46	BUCIDA BUCERAS	BLACK OLIVE	30	60	36	Fair	REMAIN	
T47	QUERCUS VIRGINIANA	LIVE OAK	20	15	8	Fair	REMAIN	
T48	QUERCUS VIRGINIANA	LIVE OAK	28	40	20	Fair	REMAIN	
T55	PERSEA AMERICANA	AVOCADO TREE	18	20	7	Fair	REMOVE	315
T60	VEITCHIA MERRILLI	CHRISTMAS PALM	18	10	6	Fair	REMOVE	78
T61	VEITCHIA MERRILLI	CHRISTMAS PALM	18	10	6	Fair	REMOVE	78
T62	VEITCHIA MERRILLI	CHRISTMAS PALM	20	10	6	Fair	REMOVE	78
T63	VEITCHIA MERRILLI	CHRISTMAS PALM	25	10	10	Fair	REMOVE	78
T64	VEITCHIA MERRILLI	CHRISTMAS PALM	18	10	10	Fair	REMOVE	78
T65	STRELTZIA NICOLAI	WHITE BIRD	18	10	9	Fair	REMOVE	78
T66	VEITCHIA MERRILLI	CHRISTMAS PALM	12	5	5	Fair	REMOVE	0
T67	VEITCHIA MERRILLI	CHRISTMAS PALM	15	5	6	Fair	REMOVE	20
T68	VEITCHIA MERRILLI	CHRISTMAS PALM	20	5	5	Fair	REMOVE	0
T69	VEITCHIA MERRILLI	CHRISTMAS PALM	20	5	6	Fair	REMOVE	20
T70	VEITCHIA MERRILLI	CHRISTMAS PALM	20	5	4	Fair	REMOVE	0
T71	VEITCHIA MERRILLI	CHRISTMAS PALM	20	10	9	Fair	REMOVE	78
T127	VEITCHIA MONT	MONTGOMERY PALM	30	10	7	Fair	REMOVE	78
T128	BURSEIA SIMARUBA	GUMBO LIMBO	20	15	6	Fair	REMOVE	177
T129	LIGUSTRUM LUICIDUM	LIGUSTRUM	15	20	4	Fair	REMOVE	315
T187	VEITCHIA MERRILLI	CHRISTMAS PALM	25	5	5	Fair	REMOVE	0
T188	FLICILUM DECIPENS	JAPANERSE FERN TREE	20	5	4	Fair	REMOVE	20
T189	FLICILUM DECIPENS	JAPANERSE FERN TREE	20	5	4	Fair	REMOVE	20
T190	VEITCHIA MERRILLI	CHRISTMAS PALM	15	5	3	Fair	REMOVE	0
T191	VEITCHIA MERRILLI	CHRISTMAS PALM	18	5	4	Fair	REMOVE	0
T192	VEITCHIA MERRILLI	CHRISTMAS PALM	18	5	3	Fair	REMOVE	0
T193	VEITCHIA MERRILLI	CHRISTMAS PALM	12	5	3	Fair	REMOVE	0
T194	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	15	10	4	Fair	REMOVE	0
T195	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	8	5	3	Fair	REMOVE	0
TOTAL								1511

PRELIMINARY TREE DISPOSITION PLAN
SCALE: 1/8" = 1'-0"

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	UNITS	CREDIT/TREE	MITIGATION
CDI	COCOCOLOVA DIVERSIFOLIA	VERA WOOD	12'	2	300	600 S/F
EFO	EUGENIA FOETIDA	SPANISH STOPPER	12'-14'	1	200	200 S/F
LLA	LYSILOMA LATISLIQUUM	FLORIDA TAMARIND	12'	2	500	1000 S/F
TOTAL PROPOSED MITIGATION						1800 S/F



TREE PROTECTIVE BARRIER DETAIL-PLAN VIEW DETAIL
Tree protection during construction. N.T.S.
PROTECTIVE BARRIERS TO BE MINIMUM 6' FROM TRUNK OF TREES AND 3' FROM TRUNK OF PALMS. BARRIERS MUST BE MINIMUM 2' FROM EDGE OF PAVEMENT.



Trees and Palms Protective Barrier & Bracing Section Detail
N.T.S.
Place three wood braces on trees & palms up to 8" caliper
Place four wood braces on trees & palms over 8" caliper
Place protective barrier on trees & palms to remain and trees & palms to be relocated.
Existing barriers on trees or planted may be made constructed of wood and plastic orange temp. fence.

ABBREVIATIONS & SYMBOLS

- REL. = RELOCATE WITH IN SITE
- TBR. = TO BE REMOVED
- TRE. = TO REMAIN IN CURRENT LOCATION
- (X) = EXISTING TREE SYMBOL
- (P) = NEW LOCATION OF EXISTING TREE SYMBOL WITHIN SITE
- (+/-) = PROTECTIVE BARRIER- SEE DETAIL

811

Know what's below
Call before you dig.
It's the Law!

GENERAL TREE WORK REQUIREMENTS, NOTES & SPECIFICATIONS

- THE TREE DISPOSITION MITIGATION PLAN HAS BEEN DESIGNED ACCORDING TO THE TREE PROTECTION AND/OR MITIGATION ORDINANCES/CODES OF THE MUNICIPALITY OR COUNTY WHERE SITE IS LOCATED. UPON PERMIT APPROVAL BY MUNICIPALITY OR COUNTY, LANDSCAPE CONTRACTOR, ARBORIST OR TREE WORK ENTITY SHALL ADHERE TO THE PERMITTED PLANS AND SPECIFICATIONS. NO TREE/PALM SHALL BE REMOVED, ROOT PRUNED OR RELOCATED UNTIL TREE REMOVAL/RELOCATION PERMIT HAS BEEN ISSUED.
- TREE DISPOSITION PLAN HAS BEEN DESIGNED BASED ON THE INFORMATION CONTAINED IN THE TREE SURVEY PROVIDED BY OWNER AND PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR. SHOULD THERE BE ANY DISCREPANCIES BETWEEN TREE SURVEY AND TREE DISPOSITION PLAN, LANDSCAPE CONTRACTOR SHALL SEEK CLARIFICATION FROM LANDSCAPE ARCHITECT.
- TREE WORK WILL BE DEFINED FOR ALL ASPECTS OF THESE NOTES, SPECIFICATIONS, PLANS, SECTIONS, DETAILS AND ANY OTHER LANDSCAPE DOCUMENT RELATED TO THIS PROJECT, AS ANY AND ALL TREE CANOPY TRIMMING AND/OR THINNING OUT, PRUNING OF BRANCHES, ROOT PRUNING, RELOCATION, BRACING, STRAPPING, PLACING OF PROTECTIVE BARRIERS AND ANY OTHER TYPE OF WORK REQUIRED FOR THE PROPER PROCESS OF TRIMMING, PRUNING AND RELOCATING TREES WITHIN THE PROPERTY.
- LANDSCAPE CONTRACTOR FOR ALL PURPOSES OF THIS PROJECT AND REGARDING TREE WORKS IS DEFINED AS ANY LANDSCAPE CONTRACTOR, ARBORIST OR ANY TREE WORK ENTITY PERFORMING THE TREE WORKS WHO MEETS THE LICENSING, INSURANCE AND SUPERVISORY REQUIREMENTS.
- IT WILL BE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO PROCURE AND OBTAIN ANY REQUIRED PERMIT FOR THE TREE WORK, UNLESS THE PERMIT IS ISSUED TO OWNER OR GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR TO DO ANY TREE WORK, ROOT PRUNING OR RELOCATION WITHIN THE PROPERTY SHALL HAVE A SUPERVISORY CAPACITY A ISA CERTIFIED ARBORIST IN STAFF OR CONTRACTED FOR THE SPECIFIC WORKS OF THE SITE DESCRIBED IN THE PLANS. BE LICENSED AND INSURED AS REQUIRED BY MUNICIPALITY, COUNTY OR STATE AND COORDINATE THE DOCUMENTATION REQUIRED BY GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MATERIALS AND INSURED EQUIPMENT NECESSARY TO PERFORM THE TREE WORKS.
- LANDSCAPE CONTRACTOR TO DO ANY TREE WORK, ROOT PRUNING OR RELOCATION WITHIN THE PROPERTY SHALL CONTACT SUNSHINE 811, FLORIDA'S LAW, REQUIRES ANYONE PLANNING TO DIG TO CONTACT SUNSHINE 811 AT LEAST TWO FULL BUSINESS DAYS BEFORE BREAKING GROUND.
- LANDSCAPE CONTRACTOR SHALL VISIT AND INSPECT THE SITE CONDITIONS AND THE TREES TO BE RELOCATED AND INFORM LANDSCAPE ARCHITECT OF ANY ANOMALIES OBSERVED.
- LANDSCAPE CONTRACTOR SHALL INSTALL TREE PROTECTIVE BARRIERS AS INDICATED IN PLANS SECTIONS AND DETAILS AROUND EACH EXISTING TREE TO REMAIN AND THOSE TREES TO BE RELOCATED ONCE THEY ARE RELOCATED TO THEIR NEW LOCATION. PROTECTIVE TREE BARRIERS SHALL ALSO BE INSTALLED ON ANY EXISTING TREE WITHIN THE RIGHT OF WAY WITH SIDE FACINGS THE STREET PAVEMENT MINIMUM TWO FEET FROM EDGE OF PAVEMENT.

ROOT PRUNING/RELOCATION NOTES & SPECIFICATIONS

- ALL ROOT PRUNING, RELOCATION, TREE PRUNING AND TRIMMING IS TO BE PERFORMED FOLLOWING ANSI-A300 TRANSPANTING AND TREE PRUNING AND TRIMMING STANDARDS-PART 1 AND PART 6 OR MOST RECENT EDITION.
- ROOT PRUNING IS THE PROCESS OF CUTTING ROOTS PRIOR TO MECHANICAL EXCAVATION NEAR A TREE. MAY BE NECESSARY TO MINIMIZE DAMAGE TO THE TREE'S ROOT SYSTEM DURING CONSTRUCTION OR IN PREPARATION FOR LARGE TREE TRANSPANTING. NUMBER OF ROOTS PRUNED SHOULD BE MINIMIZED TO REDUCE TREE STRESS. THE FURTHER FROM THE TRUNK THAT ROOT CUTTING OCCURS, THE BETTER. GENERALLY, ROOT CUTS MADE OUTSIDE A TREE'S DRILLINE VERY SELDOM CAUSE PERMANENT TREE DAMAGE.
- IN DETERMINING THE SIZE OF THE ROOT BALL REFER TO THE ROOT BALL TABLE BELOW. MINIMUM DEPTH OF A ROOT BALL SHOULD BE NOT LESS THAN 24"-30". THE LARGER THE ROOT BALL, THE MORE FEEDER ROOTS THERE WILL BE AND THE BETTER CHANCE THE TREE OR SHRUB WILL TRANSLANT SUCCESSFULLY.
- NO MACHINERY OR EXCAVATING/DIGGING EQUIPMENT SHALL BE ALLOWED TO PERFORM THE ROOT PRUNING TO PREVENT PULLING ON THE ROOTS. DIGGING OF ROOT ZONE TO PREPARE THE TRENCH WHILE PERFORMING ROOT PRUNING SHALL BE CARRIED OUT BY HAND AND CUTTING OF ROOTS BE DONE WITH CLEAN CUTTING HAND TOOLS OR SAWS. NO SEALANTS OF ANY KIND, TREE-COTE OR SIMILAR IS TO BE USED ON THE CUT ROOTS.
- TREES AND PALM RELOCATIONS WITHIN SITE ARE TO BE SCHEDULED FOR RELOCATION WITHIN A 24-HOUR PERIOD. NO TREES OR PALMS ARE TO BE LEFT UNPLANTED FOR LONGER THAN 24 HOURS WITHOUT APPROVAL OF LANDSCAPE ARCHITECT. STORAGE OF ROOT PRUNING OR PALMS SHALL BE RELOCATED AT A LATER DATE ARE TO BE SECURED AND BRACED IN A STRAIGHT POSITION. NO PALMS OR TREES ARE TO BE STORED LAYING ON ITS SIDE.
- RECENTLY CUT ROOTS ARE MORE SENSITIVE TO TRANSPANTING. COVER THE FRESHLY CUT SIDES OF THE ROOT BALL WITH PLASTIC SHEETING TO PREVENT DESICCATION OF THE NEW ROOTS. TRIMMING REDUCES THE ABUNDANCE OF AM (ARBUSCULAR MYCORRHIZAE) FUNGI IN OLDER ROOTS. UPON COMPLETION OF THE TRENCH AND PRUNING OF ROOTS, BACKFILL THE TRENCH WITH HIGH QUALITY TOPSOIL. ADD MYCORRHIZAE TO SOIL TO BE USED AS BACKFILL WHEN TRANSPANTING TREES AS PER MANUFACTURER'S INSTRUCTIONS.
- UPON COMPLETION OF ROOT PRUNING AND BACKFILLING, PROVIDE A 6" HIGH BERM AROUND THE OUTSIDE EDGE OF FILLED TRENCH TO ACT AS A WATER HOLDING BASIN AND BRACE THE TREE ACCORDING TO SIZE AS SHOWN IN PLANTING DETAILS TO PREVENT MOVEMENT AND PROVIDE SUPPORT.
- WATER SHOULD BE PROVIDED TO ANY TREE PROPOSED TO BE ROOT PRUNED FOR A PERIOD OF FIVE DAYS OR MORE PRIOR TO THE ACTUAL ROOT PRUNING OF THE TREES TO BE ROOT PRUNED TO PROVIDE AN ADEQUATE AMOUNT OF WATER TO THE TREES. TREE WATERING FOR PROTECTION OF THE TREES SHOULD BE PERFORMED BY HAND OR BY AN AUTOMATIC IRRIGATION SYSTEM OF BUBBLERS OR BY HAND ON A DAILY BASIS FOR THE FIRST WEEK AND EVERY OTHER DAY UNTIL THE TRANSPANTING IS CARRIED OUT.
- BEFORE DIGGING THE ROOT BALL FOR TRANSPANTING ON TREES WITH A DBH OF 12" OR LESS A MINIMUM WAITING PERIOD OF 10-12 WEEKS SHOULD PREVAIL. ON TREES OVER 12" DBH DEPENDING ON SIZE OF TREE AND ROOT BALL, VERIFY AFTER 16 WEEKS THAT A GOOD NET OF FIBROUS ROOTS HAS DEVELOPED. IF FEW ROOTS HAVE DEVELOPED, POSTPONE THE MOVE FOR ANOTHER FOUR WEEKS AS REQUIRED.
- PALMS TO BE ROOT PRUNED AS A GENERAL RULE REQUIRE A MINIMUM 24" DEEP ROOT BALL. TYPICALLY, THOSE SPECIES TRANSPANTING WITH MINIMUM ROOT PRUNING TIME OF 4-6 WEEKS SUCH AS SABAL PALMETTO, ROYSTONIA REGIA, PHOENIX CAMARIENSIS WILL SUFFICE WITH A MINIMUM ROOT BALL OF 18"-24" FROM THE TRUNK TO THE EDGE OF ROOT BALL. OTHER SPECIES SUCH AS BISMARKIA, COEPERNICIA, SAKANTENTIA, SOME SPECIES OF THINAKIAS AND OTHERS MAY REQUIRE A LARGER ROOT BALL AND A LONGER PERIOD OF ROOT PRUNING TIME. IT IS ADVISABLE PRIOR TO ANY ROOT PRUNING WORK TO CONSULT WITH A ISA CERTIFIED ARBORIST.
- PRIOR TO ROOT PRUNING OF A TREE TO BE TRANSPANTED, IT IS ADVISABLE THAT A CONSULTATION BE MADE WITH A ISA CERTIFIED ARBORIST REGARDING THE SPECIFIC SPECIE REQUIREMENTS TO BE ROOT PRUNED AND TRANSPANTED. ROOT PRUNING AND TRANSPANTING OF TREES SHOULD BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- EXISTING TREES TO REMAIN IN THEIR PRESENT LOCATION AND THOSE TO BE RELOCATED WITHIN THE SITE SHALL BE TRIMMED PROPERLY PER ANSI-A300 STANDARDS BY AMERICAN NATIONAL STANDARDS INSTITUTE BY REMOVING DAMAGED, DEAD OR STRUCTURALLY WEAK LIMBS. LARGE SHADE TREES SHALL HAVE THEIR LOWER BRANCHES REMOVED TO PROVIDE A CLEAR TRUNK OF 8" MAXIMUM FOLIAGE TO BE REMOVED FROM ANY TREE TO BE 25%.
- LANDSCAPE CONTRACTOR PRIOR TO RELOCATION SHALL MARK WITH A WOOD STAKE OR SIMILAR THE PROPOSED NEW LOCATION OF THE TREE(S) AND ADVISE LANDSCAPE ARCHITECT WITH 48 HOURS NOTICE FOR A SITE VISIT TO APPROVE PROPOSED LOCATIONS AS PER PLANS.
- IF ANY DISCREPANCIES IS FOUND IN THE PLANS, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ANY TREE TRIMMING SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- NO TREE REMOVAL OR ROOT PRUNING FOR RELOCATION PURPOSES, OR RELOCATION OF TREE(S) SHALL BE PERFORMED WITHOUT A TREE RELOCATION AND REMOVAL PERMIT FROM THE MUNICIPALITY OR COUNTY AS REQUIRED.
- ALL EXISTING TO REMAIN, ROOT PRUNED TREES FOR RELOCATION OR RELOCATED TREES WITHIN THE SITE SHALL HAVE A PROTECTIVE BARRIER AS SPECIFIED IN THE TREE PROTECTION BARRIER DETAIL IN THE TREE DISPOSITION PLAN.
- LANDSCAPE CONTRACTOR OR TREE MOVING ENTITY SHALL HAVE EXTREME CARE WHILE PERFORMING ANY TREE WORK, ROOT PRUNING AND/OR RELOCATION OF TREES IN PREVENTING ANY DAMAGE TO THE TREES WITH ANY TOOLS, EQUIPMENT OR MISHANDLING OF THE TREES.
- LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED PLANTS, SOD OR MATERIAL AND EQUIPMENT DAMAGED DURING TREE WORKS AT THEIR OWN EXPENSE. IN THE EVENT A TREE, OR SHRUB IS DAMAGED, IT SHALL BE REPLACED WITH THE SAME SPECIE, SIZE AND QUALITY AS WAS DAMAGED WITH NO EXPENSE TO OWNER.
- LANDSCAPE CONTRACTOR SHALL DISPOSE AND REMOVE FROM SITE ANY AND ALL DEBRIS RESULTING FROM EXCAVATION PER TREE WORKS, PLANTING DEBRIS, CONTAINERS, EXCESS LANDSCAPE MATERIALS AND TREE WORKS DEBRIS.
- WHEN RELOCATING PALMS, THEIR FRONDS ARE TO BE TIED WITH NATURAL FIBER DOUBLE PLY TWINE PRIOR TO RELOCATION SO THAT FRONDS ARE NOT DAMAGED DURING THE RELOCATION WORKS.
- NO FRONDS FROM ANY PALMS) EITHER REMAINING, BEING RELOCATED OR NEWLY PLANTED ARE TO BE REMOVED WITHOUT LANDSCAPE ARCHITECT'S INSTRUCTIONS.
- IF ANY TREES OR PALMS ARE TO BE RELOCATED OFFSITE, LANDSCAPE CONTRACTOR, ARBORIST OR TREE WORK ENTITY PERFORMING THE WORK SHALL REQUEST SPECIFIC INSTRUCTIONS FROM LANDSCAPE ARCHITECT.

INVASIVE AND PROHIBITED VEGETATION

- ALL MIAMI-DADE COUNTY CONTROLLED PLANT SPECIES MAY NOT BE PLANTED WITHIN 500 FEET OF NATURAL PLANT COMMUNITIES. THESE PLANT SPECIES HAVE BEEN DOCUMENTED BY THE FLORIDA EXOTIC PEST PLANT COUNCIL, THE MIAMI-DADE COUNTY PARKS, RECREATION AND OPEN SPACES DEPARTMENT'S NATURAL AREA'S MANAGEMENT PROGRAM, AND THE MIAMI-DADE COUNTY DIVISION OF ENVIRONMENTAL RESOURCES MANAGEMENT TO BE INVASIVE PESTS IN NATURAL AREAS OF MIAMI-DADE COUNTY.
- PROHIBITED PLANT SPECIES (EXOTIC PEST PLANT AND NUISANCE SPECIES) IF PRESENT ON A DEVELOPMENT OR REDEVELOPMENT SITE, SHALL BE REMOVED PRIOR TO DEVELOPMENT OR REDEVELOPMENT, SHALL BE PROHIBITED, PURSUANT TO THE CODE OF MIAMI-DADE COUNTY, FLORIDA.

TREE PRUNING AND TRIMMING

- IF REQUIRED DURING RELOCATION OF EXISTING TREES, TREE PRUNING AND TRIMMING SHALL BE PERFORMED BY A LICENSED AND INSURED ISA CERTIFIED ARBORIST FOLLOWING ANSI A300 (Part 1).
- WHEN PRUNING OR TRIMMING IS REQUIRED, MAXIMUM TREE CANOPY THAT MAY BE REMOVED SHALL NOT EXCEED 25% OF THE TREE CANOPY.

LEGACY 5810 LLC
NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA.

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951
DAVID SCOTT TRAUTMAN
AR15045

REVISONS

NO.	DESCRIPTION	ISSUE DATE

NORTH SEAL

COMAS
Orlando Comas, ASLA
LANDSCAPE ARCHITECT
250 Catalonia Ave, Coral Gables, Florida 33134
ocomas@bellsouth.net 305.283.9382 Lic: 0001565



BALLI-TRAUTMAN
ARCHITECTS, LLC
1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33143

JOB NUMBER: LEGACY 5810 LLC

CHECKED BY: OC

ISSUE DATE: May 10, 2024

SCALE: AS NOTED

SHEET TITLE

TREE DISPOSITION PLAN

SHEET NUMBER

LA-1.0

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA.

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
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BALLI-TRAUTMAN
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1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33143

JOB NUMBER: LEGACY 5810 LLC
CHECKED BY: OC
ISSUE DATE: May 10, 2024
SCALE: AS NOTED

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

LA-2.0

LANDSCAPE LEGEND

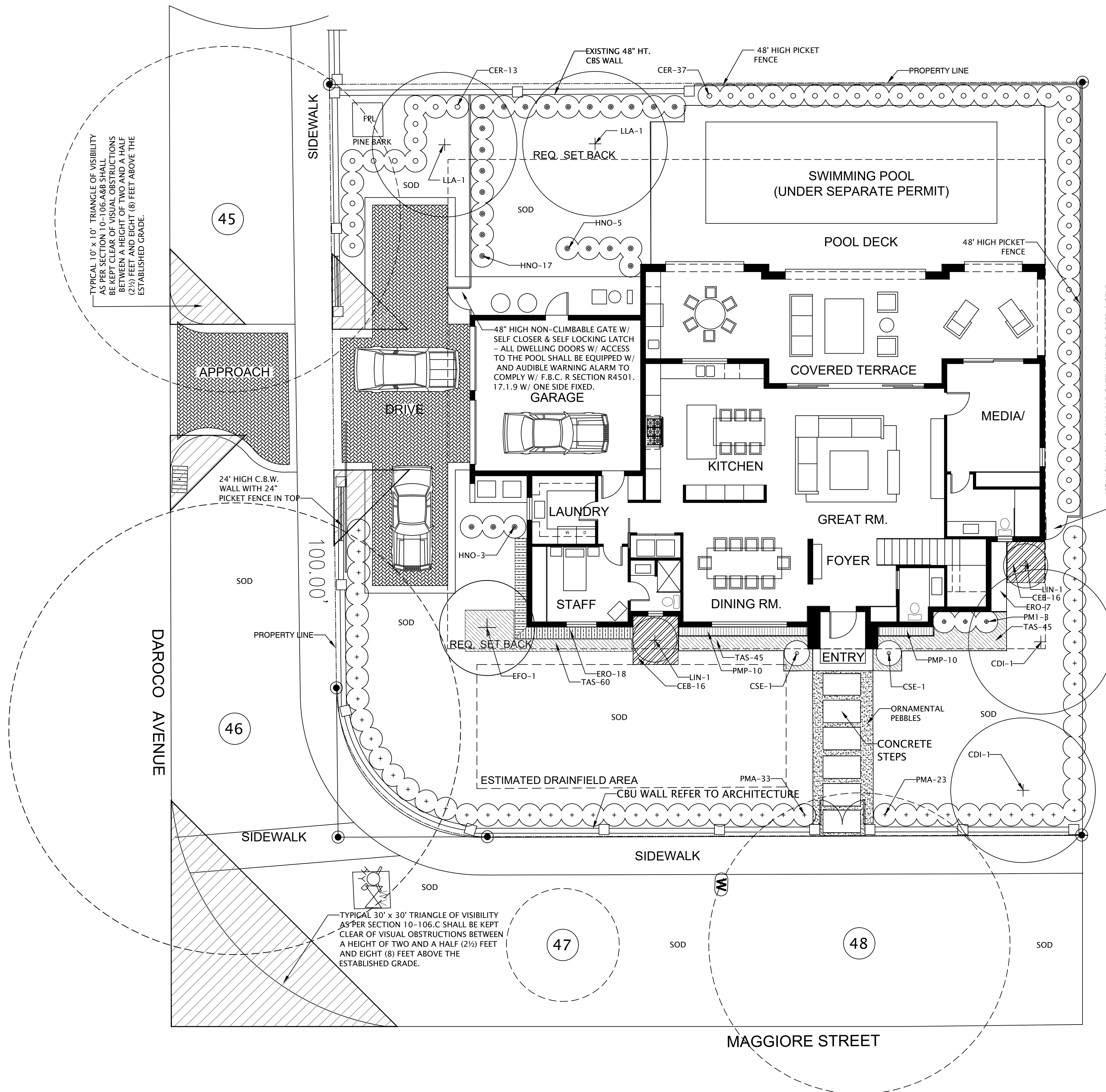
AS PER CITY OF CORAL GABLES LANDSCAPE ORDINANCE.

ZONNING	SFR	LOT AREA	10,003 s.f.	ACRES	.23
OPEN SPACE					
A. All building sites shall provide landscape open space of not less than forty (40%) percent of the area of the building site.					
Lot Area =	10,003 s.f. s.f.	X	40%	% =	4,228 s.f.
					REQUIRED PROVIDED
					4,001 4,470
B. At least twenty (20%) percent of the required forty (40%) percent of the landscape open space shall be located in the front yard area.					
Open Space =	4,001 s.f.	X	20%	% =	800 s.f.
					REQUIRED PROVIDED
					800 2,670
TREES					
A. Large shade tree. One (1) large shade tree for each five-thousand (5,000) square feet or fraction thereof of total land area.					
Lot Area =	10,003 s.f. /	5,000 s.f.	=	2	Number of trees
					REQUIRED PROVIDED
					2 5
B. Palm and medium shade trees. Two (2) Palm and medium shade trees for each five-thousand (5,000) square feet or fraction thereof of total land area.					
Lot Area =	10,003 s.f. /	5,000 s.f.	=	2	Number of trees
					REQUIRED PROVIDED
					2 0
C. Native trees. Thirty (30%) percent of required trees.					
Required trees	2	X	30%	=	1
					Number of trees
					REQUIRED PROVIDED
					1 5
SHRUBS					
A. Shrubs. Fifteen (15) shrubs for every five-thousand (5,000) square feet or fraction thereof of total land area.					
Lot Area =	10,003 s.f. /	5000 s.f.	X	15 =	30
					Number of shrubs
					REQUIRED PROVIDED
					30 179
B. Native Shrubs. Thirty (30%) percent of required shrubs.					
Required shrubs	30	X	30%	=	9
					Number of shrubs
					REQUIRED PROVIDED
					9 100
LAWN					
A. Lawn grass. lawn grass up to a maximum of sixty (60%) of total lot area.					
Lot Area =	10,003 s.f. X	60%	=	6,001	Maxium lawn area
					REQUIRED PROVIDED
					6,001 2,482
STREET TREES					
Provide one (1) large shade tree, per thirty-five (35) linear feet or fraction thereof of right-of-way abutting the property					
					REQUIRED PROVIDED
					6 4
					SEE NOTE
FRONT YARD					
A. A minimum of two (2) trees in front of the residence.					
					REQUIRED PROVIDED
					2 2
B. Sixty-six (66%) percent of the required shrub quantity shall be in front of the residence.					
					REQUIRED PROVIDED
					20 43

STREET TREES NOTE:
DUE TO LARGE EXISTING STREET TREES CANOPY, ADDITIONAL STREET TREES CAN NOT BE PROVIDED.

PLANT CHART

Code	Botanical name	Common name	Height	Canopy	Nat. Quantity	Specific.	Note 1.7
TREES (LANDSCAPE)							
LLA	Lysiloma latisiliquum	Florida tamarind	12'	4'-5'	Y 2	4' C.T.	
CDI	Coccoloba diversifolia	Pigeonplum	12'	4'-5'	Y 2	4' C.T.	
EFO	Eugenia foetida	Spanish stopper	12'-14'	6'-7'	Y 1	4' C.T.	
SHRUBS							
CER	Conocarpus erectus	Green buttonwood	3'-4'	24"-30"	Y 50		
ERO	Eugenia rhombea	Red stopper	2'-3'	-	Y 25		
HNO	Hamelia nodosa	Dwarf firebush	3'-4'	24"-30"	Y 25		
PMA	Podocarpus macrophyllus	Podocarpus	3'-4'	24"-30"	N 56		
PM1	Podocarpus macrophyllus	Podocarpus	6'-7'	36"-40"	N 3		
PMP	Podocarpus macrophyllus 'Pringles'	Dwarf podocarpus	14"	14"	N 20		
ACCENT							
CSE	Cupressus sempervirens	Italian cypress	8'-10'	-	N 2	Full to bottom	
LIN	Lagerstroemia indica 'Natchez'	Crape myrtle	8'-10'	5'-6'	N 2	4' C.T.	
GROUND COVERS							
TAS	Trachelospermum jasm. minima	Dwarf confederate Jasm.	6"	6"	N 150	12" o.c.	
CEB	Carissa emerald blanket	Dwarf carissa	12"	12"	N 32	18" o.c.	
SOD							
SOD	Stenotaphrum secundatum 'palmetto'	Palmetto sod			AS SHOWN		

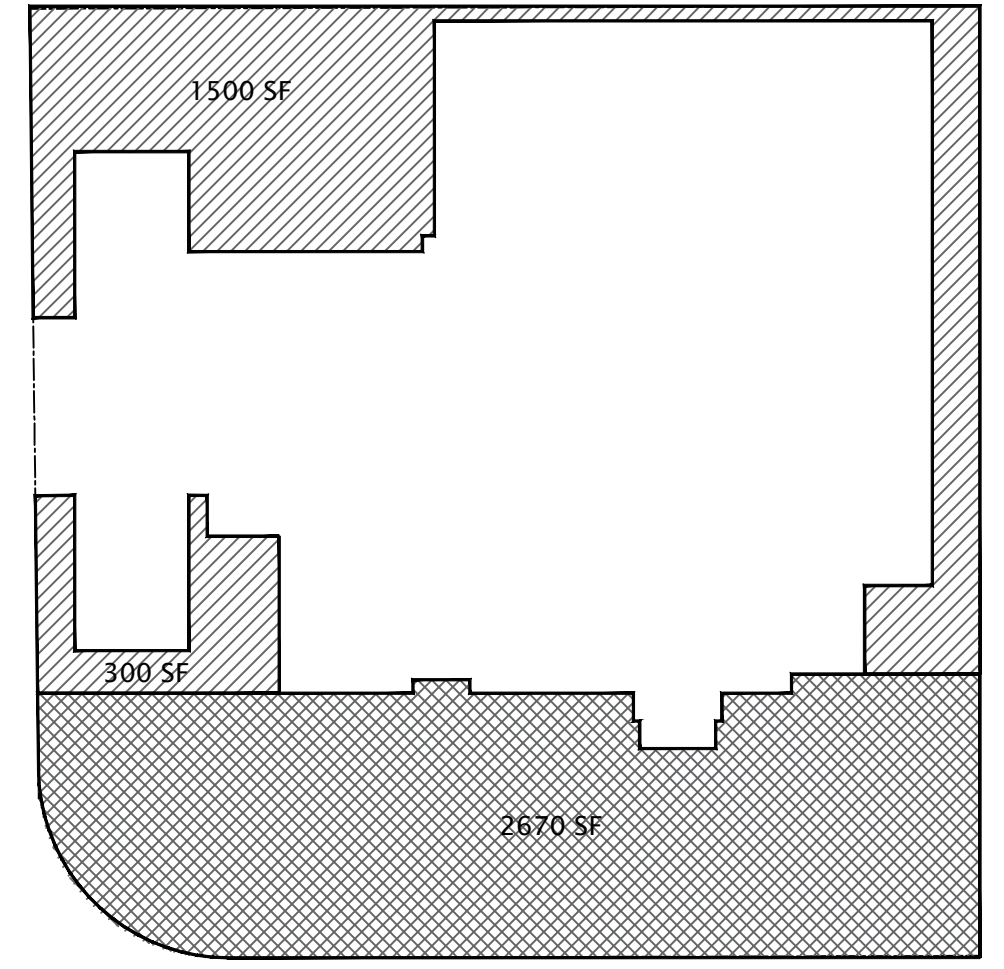


TYPICAL 10' x 10' TRIANGLE OF VISIBILITY AS PER SECTION 10-106.A&B SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

TYPICAL 30' x 30' TRIANGLE OF VISIBILITY AS PER SECTION 10-106.C SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

48" HIGH NON-CLIMBABLE GATE W/ SELF CLOSER & SELF LOCKING LATCH - ALL DWELLING DOORS W/ ACCESS TO THE POOL SHALL BE EQUIPPED W/ AND AUDIBLE WARNING ALARM TO COMPLY W/ F.B.C. R. SECTION R4501.17.1.9 W/ ONE SIDE FIXED.

PRELIMINARY PLANTING PLAN
SCALE: 1/8" = 1'-0"
REFER TO SHEET LA 2.1 FOR PLANTING NOTES AND DETAILS



LANDSCAPE OPEN SPACE CALCULATION

LANDSCAPE OPEN SPACE 40% = 1800 s.f.

LANDSCAPE OPEN SPACE FRONT 20% of 40% = 2670 s.f.

LANDSCAPE NOTES & SPECIFICATIONS:

- I. GENERAL NOTES
1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
A. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS, PLANS AND SPECIFICATIONS...

- d. UNLESS SPECIFIED ALL PLANTS SHALL BE NURSERY GROWN.
e. SUBSTITUTIONS SHALL BE ONLY WITH LANDSCAPE ARCHITECTS WRITTEN AUTHORIZATION.
f. NO PLANT SHALL REMAIN UNPLANTED FOR A PERIOD LONGER THAN FIVE DAYS.

- 2. IT IS UNDERSTOOD THAT FOR ALL PURPOSES OF THE WORDS "LANDSCAPE DOCUMENTS" MEAN AND INCLUDE ALL PLANS, DRAWINGS, SKETCHES, NOTES, SPECIFICATIONS AND ANY OTHER OTHER DOCUMENTATION...

- VI. MULCH.
a. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AMOUNT OF REQUIRED MULCH FOR THE ENTIRE PROJECT AND INCLUDE THIS AMOUNT IN THE TOTAL CONTRACT QUOTE TO OWNER OR GENERAL CONTRACTOR.

- 3. LANDSCAPE CONTRACTOR IS REQUIRED TO PROCURE AND OBTAIN ANY NECESSARY PERMITS APPLICABLE FOR THE SUCCESSFUL COMPLETION OF THIS PROJECT. IF APPLICABLE AS WELL AS REGISTRATION IN MUNICIPALITIES OR COUNTIES...

- g. ALL FIELDS GROWN MATERIAL SHALL BE BALLED AND BURLAPPED AND PROPERLY PROTECTED FROM SUN AND DRYING WINDS.
h. TREES AND PALMS DELIVERED WITH DAMAGE TO THEIR TRUNKS, OR DAMAGED AS A RESULT OF HANDLING THEM AT THE JOBSITE WILL NOT BE ACCEPTED...

- 4. DURING WARRANTY PERIOD IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DEAD MATERIAL FOR ONE OF THE SAME SPECIFICATION AS ORIGINALLY SPECIFIED, WITHIN 15 DAYS OF NOTICE BY OWNER.

- 7. LANDSCAPE CONTRACTOR SHALL COORDINATE THIS PLAN WITH NOTES, DETAILS AND SPECIFICATIONS AND REQUEST ALL SHEETS WHICH MAKE UP THE LANDSCAPE ARCHITECTURE DOCUMENTS...

- 5. LANDSCAPE CONTRACTOR SHALL SUBMIT SEPARATE ESTIMATE FOR 12 MONTHS OF MAINTENANCE SERVICE. A SCHEDULE OF RE-MULCHING, FERTILIZING AND SPRAYING PROGRAM SHALL BE PART OF THIS MAINTENANCE ESTIMATE.

- VI. LANDSCAPE PLANTING NOTES
1. SOURCE OF LANDSCAPE DOCUMENTS IS ORLANDO COMAS, ASLA, LANDSCAPE ARCHITECT AND/OR COMAS DESIGN GROUP, INC.

- 6. SHOULD LANDSCAPE CONTRACTOR FIND ANY DISCREPANCIES, UNAVAILABILITY OF MATERIAL OR ANY QUESTION REGARDING THE ADHERENCE TO THIS PLAN, NO DECISION SHALL BE TAKEN WITHOUT SPECIFIC CONSULTATION WITH THE LANDSCAPE ARCHITECT...

- 2. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT PRIOR TO COMMENCING OR CONTINUING WORK.
3. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT...

- 7. CONTRACTOR SHALL PRIOR TO PLANTING, PROVIDE PHOTOS OF ALL PLANT MATERIAL, MARKED WITH A "P" OR "X" IN A PLANT LEGEND'S COLUMN REQUESTING IMAGES, COLUMN IS LABELED NOTE I.1.7, OR DESCRIBED AS A SPECIMEN PLANT MATERIAL FOR LANDSCAPE ARCHITECT APPROVAL...

- 4. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES PROVIDED IN THE PLANS PLANT LEGEND OR CHARTS ARE ONLY FOR PURPOSES OF PROVIDING OWNER WITH PRELIMINARY INFORMATION ONLY...

- 8. ALL VINES REQUIRE A CLIMBING STRUCTURE FOR THEM TO GROW INTO WHICH SHALL BE SUPPLIED BY LANDSCAPE CONTRACTOR AND INCLUDED AS PART OF THE WORK WHENEVER A VINE IS SPECIFIED IN THIS PLAN...

- 5. CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO COMMENCING ANY WORK.
6. ALL SHRUBS TO BE PLANTED NOT LESS THAN 0F 24", AND GROUND COVERS A MINIMUM OF 12"-18" DEPENDING ON SPECIE...

- 9. LANDSCAPE CONTRACTOR SHALL COORDINATE THIS PLAN WITH NOTES, DETAILS AND SPECIFICATIONS AND REQUEST ALL SHEETS WHICH MAKE UP THE LANDSCAPE ARCHITECTURE DOCUMENTS...

- 7. ALL TREES AND PALMS OVER 8' IN HEIGHT SHALL BE BRACED TO PREVENT LATERAL MOVEMENT FOR A PERIOD OF SIX MONTHS FROM THE DATE OF PLANTING. EITHER WOOD BRACES, NYLON STRAPS OR AS SHOWN IN THE PLANTING DETAILS...

- 10. FOR ALL TREES THE CALIPER MEASUREMENT OF THE TRUNK SHALL MEAN THE DIAMETER AT BREAST HEIGHT OR DBH. TREE TRUNKS SHALL BE MEASURED AT THE HEIGHT OF AN ADULT'S BREST, OR AT 4.5 FEET ABOVE GRADE...

- 8. REFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE LANDSCAPE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.

- 11. CRITICAL ROOT ZONE (CRZ) ALSO CALLED THE ROOT PROTECTION ZONE (RPZ), IS DETERMINED FOR EACH INCH OF TREE TRUNK DIAMETER AT BREAST HEIGHT (DBH)...

- 9. TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE OR CONTAINER LEVEL OR 2'-3" ABOVE GRADE. SEE DETAILS.

- II. DELIVERY STORAGE AND HANDLING
1. PLANTS SHALL BE PROPERLY PROTECTED DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR LEAVES DESICCATION...

- 10. TREES TO BE PLANTED A MINIMUM OF 5 FEET FROM PAVEMENT OR ANY HARDSCAPE EDGE, PRIVACY WALLS OR FENCE WALLS.
11. PRUNE OR TRIM EXISTING OR NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.

- 2. DURING DELIVERY, PRIOR TO AND DURING PLANTING OF LAWN AREAS, SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF ROOTS TO SUN...

- 12. LEVEL VERTICALLY AND EQUALLY SPACED IN ALL DIRECTIONS TREES, PALMS AND LARGE SHRUBS AS REQUIRED.
13. FINISH GRADES OF PLANTER AREAS SHALL BE 3-4 INCHES BELOW ADJACENT PAVING UNLESS OTHERWISE NOTED...

- III. JOB CONDITIONS
1. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE FOR CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. REPORT IN WRITING TO THE LANDSCAPE ARCHITECT ANY AND ALL CONDITIONS CONTRARY TO THOSE SHOWN IN THE DRAWINGS...

- 14. PROVIDE SPECIFIED EDGING IF SPECIFIED IN PLANS...
15. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL IF TREES OR PALMS ARE BALLED AND BURLAPPED.

- 2. LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN ALL WORK TO PREVENT DAMAGE OF ANY EXISTING SPRINKLER PIPING AND WIRES AS WELL AS ANY OTHER IRRIGATION EQUIPMENT...

- 16. LANDSCAPE ARCHITECT IS TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS ACCORDING TO INSTRUCTIONS IN PLANS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
17. WATER TO ALL PLANTS SHALL BE POTABLE.

- IV. SITE DEMOLITION NOTES
1. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

- 18. ALL PLANT MATERIAL, TREES, PALMS, SHRUBS AND GROUND COVERS ARE TO BE PLANTED LEVEL WITH FINISH GRADE. NO PLANT MATERIAL ROOTS ARE TO BE EXPOSED ABOVE FINISH GRADE.
19. NO ROCKS OR PEBBLES LARGER THAN 1/4" IN DIAMETER ARE TO BE VISIBLE PRIOR TO INSTALLATION OF MULCH...

- 2. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION...

- 20. ALL SOD AREAS AS SHOWN IN THE PLANS, INCLUDING RIGHT OF WAY AREAS, SHALL HAVE A TOPSOIL BED OF 4" MINIMUM AS PREPARATION FOR THE SOD PANELS.
21. SOD SHALL BE INSTALLED WITH STAGGERED JOINTS CLOSELY BUTTED AND WITH AN EVEN SURFACE ACCORDING TO REQUIRED FINISH GRADE...

- 3. FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDING IMPROVEMENTS, AND RELATED WORK, REFER TO THE ARCHITECTURAL DRAWINGS.
4. WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.

- 22. MAINTENANCE ON ALL PLANT MATERIAL & SOD FOR THIS WORK BEGINS AT THE TIME OF INSTALLATION AND CONTINUES FOR 60 DAYS AFTER THE COMPLETION OF THE WORK. MAINTENANCE SHALL INCLUDE WATERING, REMOVAL OF DEAD OR INJURED BRANCHES, FRONDS AND LEAVES...

- 5. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINES IS AS INDICATED.
6. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

- 23. TREES TO BE PLANTED A MINIMUM OF 5 FEET FROM PAVEMENT OR ANY HARDSCAPE EDGE, PRIVACY WALLS OR FENCE WALLS.
24. ALL WORK BY THE LANDSCAPE CONTRACTOR SHALL BE PERFORMED IN A PROFESSIONAL AND SOUND MANNER IN ACCORDANCE WITH ESTABLISHED STANDARDS OF LANDSCAPE INSTALLATION PRACTICES AND WORKMANSHIP.

- 35. MOST PALMS ARE SELF-CLEANING THEREFORE NO PALMS ARE TO BE PLANTED IN PROXIMITY OR CLOSE TO A HARDSCAPE OR PEDESTRIANS AND PLAY AREAS LOCATION WHERE FALLING FRONDS MAY CAUSE PERSONAL OR PROPERTY DAMAGE...

- VIII. SOIL PREPARATION
1. SOIL PREPARATION OF A LANDSCAPE DESIGN IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOPSOIL IF ANY AND STOCKPILE ON SITE...

- 2. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
3. IF ANY AMENDMENTS ARE SPECIFIED IN PLANS, THEY SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.

- 4. DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. PRIOR TO THE INSTALLATION OF PLANT MATERIAL AND/OR SOD IN THESE AREAS, THE COMPACTED OF THESE SHALLOW AREAS SHALL BE REDUCED...

- IX. TREE PRESERVATION PLANTING NOTES
1. ALL EXISTING TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION & MITIGATION PLAN. THE FENCE SHALL BE FIRMLY ANCHORED INTO THE GROUND AND SHALL REMAIN UPRIGHT AND INTACT UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE...

- X. CLEANUP
1. PLANT CONTAINERS, WIRES, HOSES, BAGS AND ANY OTHER LANDSCAPE MATERIAL SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS. EXCESS SOIL, STONES AND DEBRIS SHALL BE REMOVED FROM THE SITE OR DISPOSED OF AS DIRECTED BY OWNER OR GENERAL CONTRACTOR.

- XI. ACCEPTANCE OF WORK
1. BY ACCEPTING THIS PLAN, SUBMITTING IT TO THE MUNICIPAL AUTHORITIES OR ANY OTHER BUILDING AND ZONING AUTHORITY AND OBTAINING A PERMIT, OWNER RELEASES AND HOLDS LANDSCAPE ARCHITECT HARMLESS FROM ANY LEGAL RESPONSIBILITY AS A CONSEQUENCE OF ANY LEGAL ACTIONS ARISING FROM THE SELECTION, INSTALLATION, MAINTENANCE, NATURAL PLANT MATERIAL GROWTH HABIT...

- XII. HOLD HARMLESS
1. BY ACCEPTING THIS PLAN, SUBMITTING IT TO THE MUNICIPAL AUTHORITIES OR ANY OTHER BUILDING AND ZONING AUTHORITY AND OBTAINING A PERMIT, OWNER RELEASES AND HOLDS LANDSCAPE ARCHITECT HARMLESS FROM ANY LEGAL RESPONSIBILITY AS A CONSEQUENCE OF ANY LEGAL ACTIONS ARISING FROM THE SELECTION, INSTALLATION, MAINTENANCE, NATURAL PLANT MATERIAL GROWTH HABIT...

- XIII. TOTALITY OF DESIGN SPECIFICATIONS, FURNITURE AND ACCESSORIES
1. THE WRITTEN SPECIFICATIONS IN THIS PLAN, TOGETHER WITH ANY AND ALL OTHER WRITTEN SPECIFICATIONS IN THE LANDSCAPE ARCHITECTURAL PLANS, ANY AND ALL GRAPHIC DRAWINGS AND PLANS, TABLES, LEGENDS, NOTES, GENERAL NOTES...

- 2. ALL FURNITURE AND ACCESSORIES SPECIFIED IN THE LANDSCAPE ARCHITECTURAL PLANS (DISPOSITION, PLANTING, IRRIGATION AND LIGHTING) ARE SPECIFIED AS A RECOMMENDATION. ARCHITECT SHALL COORDINATE THE SPECIFICATION WITH GENERAL CONTRACTOR AND CONSULT WITH OWNER REGARDING PRICES AND BUDGETS...

ABBREVIATION TABLE
APPROX AVG B+B CAL CL CONC DIA APPROXIMATE AVERAGE BALLED AND BURLAPPED CALIPER CENTER LINE CONCRETE DIAMETER EXIST FFE MAX OC MIN NTS PL EXISTING FINISHED FLOOR ELEVATION ON CENTER MAXIMUM MINIMUM NOT TO SCALE PROPERTY LINE

811 EXCAVATION NOTE
CALL SUNSHINE STATE ONE CALL CENTER OF FLORIDA AT 1-800-422-4777 (TOLL FREE) 48 HOURS BEFORE DIGGING
PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND IF NECESSARY...

LEGACY 5810 LLC

NEW RESIDENCE
5810 MAGGIORE ST.
CORAL GABLES FLORIDA .

MAGGIORE & DAROCO
CORAL GABLES, FLORIDA

KEYPLAN N.T.S.

GIORGIO L. BALLI, ARCHITECT
AR13951

DAVID SCOTT TRAUTMAN
AR15045

REVISIONS
Table with 3 columns: NO., DESCRIPTION, ISSUE DATE

NORTH SEAL



BALLI-TRAUTMAN ARCHITECTS, LLC.

1533 SUNSET DRIVE #101 CORAL GABLES, FLORIDA 33143

JOB NUMBER: LEGACY 5810 LLC

CHECKED BY: OC

ISSUE DATE: May 10, 2024

SCALE: AS NOTED

SHEET TITLE

PLANTING NOTES

SHEET NUMBER

LA-2.1



Historical Resources and Cultural Arts
2327 Salzedo Street
Coral Gables, FL 33134
Phone: 305-460-5093
Email: Hist@coralgables.com

Historical Significance Determination Letter for 5810 Maggiore Street

May 13, 2024

Legacy 5810 LLC
5810 Maggiore St
Coral Gables, FL 33146

Re: 5810 Maggiore Street, legally described as Lot 11 to 14, Block 119, Coral Gables Riviera Section, according to the Plat thereof, as recorded in Plat Book 31, at Page 1, of the Public Records of Miami-Dade County, Florida.

Dear Property Owner,

Section 8-107(G) of the Coral Gables Zoning Code states that “All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure, or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within ninety (90) days from the Historic Preservation Officer determination of “eligibility.” Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments.”

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

5810 Maggiore Street, legally described as Lot 11 to 14, Block 119, Coral Gables Riviera Section, according to the Plat thereof, as recorded in Plat Book 31, at Page 1, of the Public Records of Miami-Dade County, Florida *does not meet* the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff *will not* require review by the Historic Preservation Board if an application is made for a demolition permit.

Please note that, pursuant to Section 14-107.5(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Anna C. Pernas,

Historic Preservation Officer

Copied

- Edward Baker, Esq. 1450 Brickell Avenue, Ste. 1900, Miami, FL 33131
- Cesar Garcia-Pons, Chair, Historic Preservation Board
- Cristina M. Suárez, City Attorney
- Stephanie Throckmorton, Deputy City Attorney
- Gustavo Ceballos, Assistant City Attorney
- Douglas Ramirez, Development Services Assistant Director
- Jennifer Garcia, City Planner
- Analyn Hernandez, P/T, Plans Coordinator Assistant
- Historical Significance Request Property File

Conditional Use Application

5810 Maggiore Street, Coral Gables, Florida 33146

Contact Information

Property Owner:

Legacy 5810 LLC
c/o Legacy Residential
3850 Bird Road, Suite 801
Coral Gables, Florida 33146
Attention: Manny Liz
Email: mliz@legacyresidential.com
Phone: 786-556-0660

Applicant/Attorney:

Edward Baker
Berger Singerman LLP
1450 Brickell Avenue, Suite 1900
Miami, Florida 33131
Email: ebaker@bergersingerman.com
Phone: 305-714-4379

Architect:

Giorgio Balli
The Balli Group
1533 Sunset Drive, Suite 101
Coral Gables, Florida 33143
Email: giorgio@theballigroup.com
Phone: 305-669-5160

THIS INSTRUMENT PREPARED BY:
GREG HERSKOWITZ, ESQ.
HERSKOWITZ SHAPIRO PLLC
9130 S. DADELAND BLVD., SUITE 1609
MIAMI, FL 33156

RETURN TO:
OSCAR RODRIGUEZ, ESQ.
LAW OFFICES OF OSCAR J. RODRIGUEZ, P.A.
3850 BIRD ROAD, SUITE 903
CORAL GABLES, FL 33146

Property Appraisers Parcel Identification (Folio) Number: 03-4129-027-2000

SPACE ABOVE THIS LINE FOR RECORDING DATA _____

WARRANTY DEED

THIS WARRANTY DEED, made the 26 day of January, 2024, by **Christopher Scott McKenney and Mary Sunita Rajkumar, husband and wife, Individually and as Trustees of the Christopher Scott McKenney and Mary Sunita Rajkumar Living Trust**, whose post-office address is **5810 Maggiore Street, Coral Gables, FL 33146** (hereinafter called the "grantor"), to **Legacy 5810, LLC, a Florida limited liability company**, whose post-office address is **5810 Maggiore Street, Coral Gables, FL 33146** (hereinafter called the "grantee"):

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

W I T N E S S E T H: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Miami-Dade County, State of Florida, viz.:

Lots 11, 12, 13, 14 of Block 119 of SECOND AMENDED PLAT OF CORAL GABLES RIVIERA SECTION PART 10, according to the Plat thereof, as recorded in Plat Book 31, at Page 1, of the Public Records of Miami-Dade County, Florida.

Also known as: 5810 Maggiore Street, Coral Gables, FL 33146.

Subject to easements, restrictions and reservations of record and taxes for the year 2024 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

I HEREBY CERTIFY THAT I HAVE READ, UNDERSTOOD, AND SIGNED THE SEPTIC TANK SYSTEM DISCLOSURE STATEMENT FOR THE CONVEYANCE OF THIS REAL PROPERTY, AS REQUIRED BY SECTION 21-49.1 OF THE CODE OF MIAMI-DADE COUNTY, FLORIDA.

[signatures and notarial acknowledgment on the following page]

Warranty Deed
Page 2 of 3
Parcel Identification (Folio) Number: 03-4129-027-2000

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:
(witnesses as to both grantor signatures)



Witness #1 Signature

Giselle Hernandez

Witness #1 Printed Name

9130 S. Dadeland Blvd.,
Ste 1609, Miami, FL 33156

Witness #1 Mailing Address



Christopher Scott McKenney, Individually and as
Trustee of the Christopher Scott McKenney and Mary
Sunita Rajkumar Living Trust



Witness #2 Signature

LISSETTE AGUILAR

Witness #2 Printed Name

9130 S. Dadeland Blvd.,
Ste 1609, Miami, FL 33156

Witness #2 Mailing Address



Mary Sunita Rajkumar, Individually and as Trustee of
the Christopher Scott McKenney and Mary Sunita
Rajkumar Living Trust

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

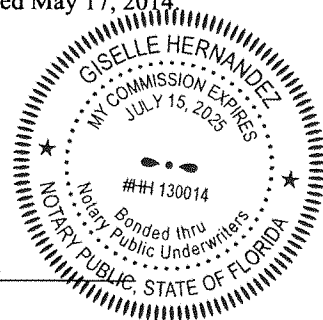
The foregoing instrument was acknowledged before me by means of physical presence or online notarization
this 26 day of January, 2024, by Christopher Scott McKenney and Mary Sunita Rajkumar, Individually and as
Trustees of the Christopher Scott McKenney and Mary Sunita Rajkumar Living Trust dated May 17, 2014.



Signature of Notary Public
Print, Type/Stamp Name of Notary

Personally Known: _____ OR Produced Identification:

Type of Identification Produced: FL Drivers Licenses



Warranty Deed
Page 3 of 3
Parcel Identification (Folio) Number: 03-4129-027-2000

I HEREBY CERTIFY THAT I HAVE READ, UNDERSTOOD, AND SIGNED THE SEPTIC TANK SYSTEM DISCLOSURE STATEMENT FOR THE CONVEYANCE OF THIS REAL PROPERTY, AS REQUIRED BY SECTION 21-49.1 OF THE CODE OF MIAMI-DADE COUNTY, FLORIDA.

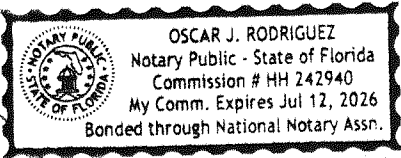
Legacy 5810, LLC,
a Florida limited liability company

By: [Signature]
Print: Thomas E. Cabrerizo
Title: Manager

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 24th day of January, 2024, by Thomas E. Cabrerizo as Manager of Legacy 5810, LLC, a Florida limited liability company.

[Signature]
Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: OR Produced Identification:

Type of Identification Produced: _____

Septic Tank System Disclosure
Required by Section 21-49.1 of the Code of Miami-Dade County, Florida

Property Address: 5810 Maggiore Street, Coral Gables, FL 33146

SELLER(S) DISCLOSE AND BUYER(S) ACKNOWLEDGE RECEIPT OF THIS DISCLOSURE AS FOLLOWS:

THE LAND INVOLVED IN THIS TRANSACTION HAS A SEPTIC TANK SYSTEM INSTALLED ON IT OR IS SERVICED BY A SEPTIC TANK SYSTEM. SEPTIC TANK SYSTEMS MAY BE SUBJECT TO LOCAL, STATE AND FEDERAL REGULATIONS. IMPROPERLY MAINTAINED SEPTIC TANK SYSTEMS MAY POSE SUBSTANTIAL RISKS TO HUMAN HEALTH AND THE ENVIRONMENT. IT IS RECOMMENDED THAT THE PURCHASER OF THIS LAND CONSIDER OBTAINING AN INSPECTION OF THE SEPTIC TANK SYSTEM BY A QUALIFIED PROFESSIONAL.

SELLER:



DATE: 1/26/24

CHRISTOPHER SCOTT MCKENNEY, INDIVIDUALLY
AND AS TRUSTEE OF THE CHRISTOPHER SCOTT
MCKENNEY AND MARY SUNITA RAJKUMAR
LIVING TRUST



MARY SUNITA RAJKUMAR, INDIVIDUALLY AND AS
TRUSTEE OF THE CHRISTOPHER SCOTT MCKENNEY
AND MARY SUNITA RAJKUMAR LIVING TRUST

BUYER/PURCHASER:

LEGACY 5810, LLC,
A FLORIDA LIMITED LIABILITY COMPANY

BY: 

DATE: 1/26/24

PRINT: Tomas E. Cabrero

TITLE: Manager