



720 LUGO AVENUE



750 LUGO AVENUE



780 LUGO AVENUE



800 LUGO AVENUE



810 LUGO AVENUE



820 LUGO AVENUE

LUGO AVENUE



R. HARDY MATHESON PRESERVE

STREETSCAPE

SCALE : N.T.S.



FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

EXISTING RESIDENCE

SCALE : N.T.S.



LOCATION SKETCH

SCALE : N.T.S.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

PROPOSED FRONT
ELEVATION



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

PROPOSED FRONT
ELEVATION



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

PROPOSED REAR
ELEVATION

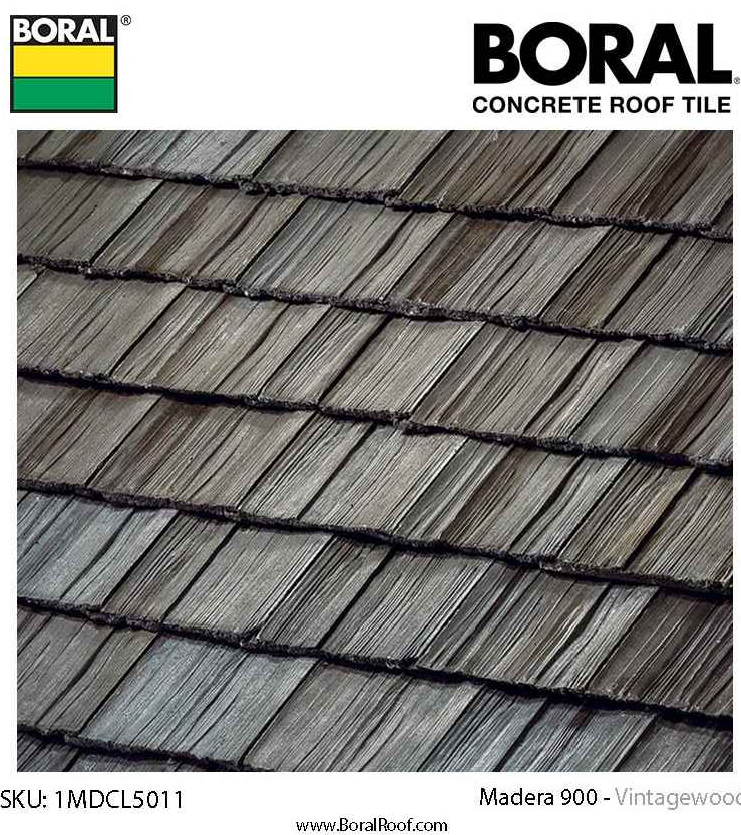


RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

PROPOSED REAR
ELEVATION

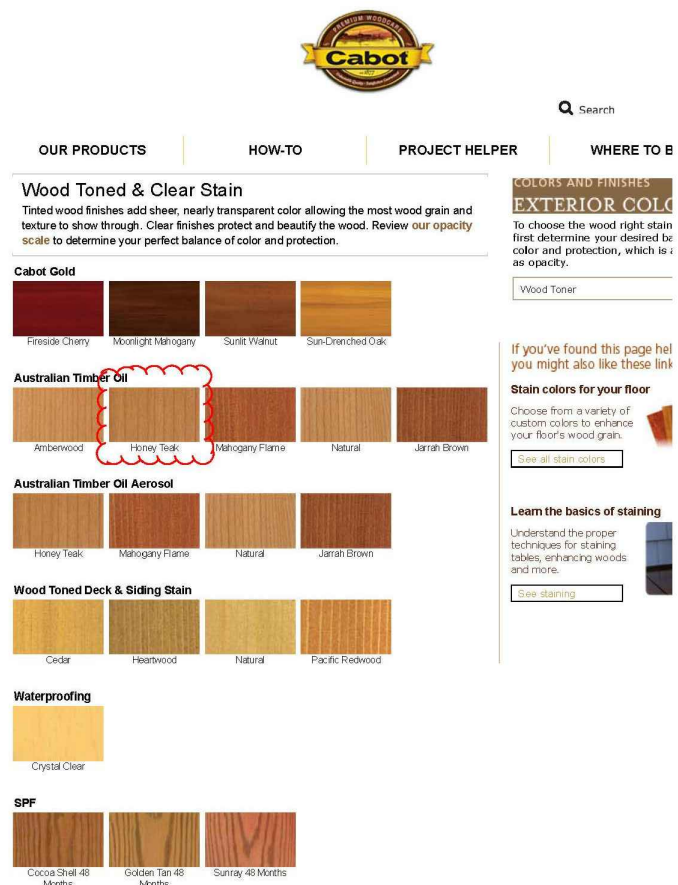


LIMESTONE VENEER

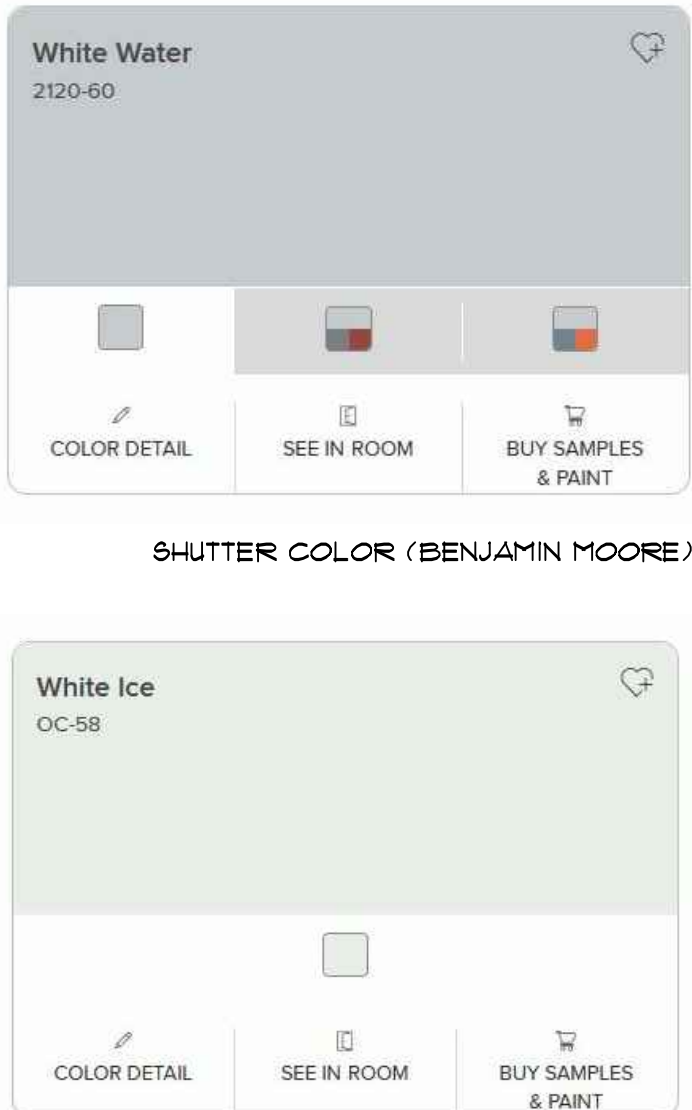


SKU: 1MDCLS011
www.BoralRoof.com
Madera 900 - Vintagewood

ROOF TILE



GARAGE DOOR



SHUTTER COLOR (BENJAMIN MOORE)

HOUSE COLOR (BENJAMIN MOORE)

MATERIAL SELECTION

SCALE : N.T.S.

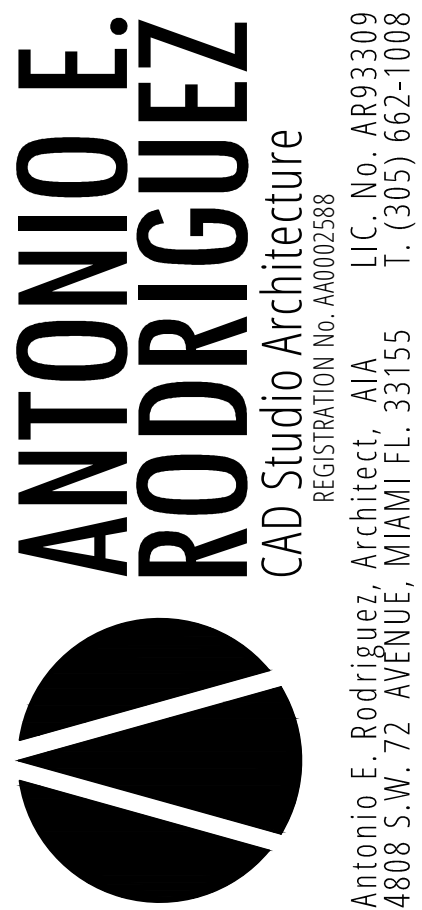
FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

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RESIDENCE FOR:-
800 LUGO AVENUE
CORAL GABLES
FLORIDA

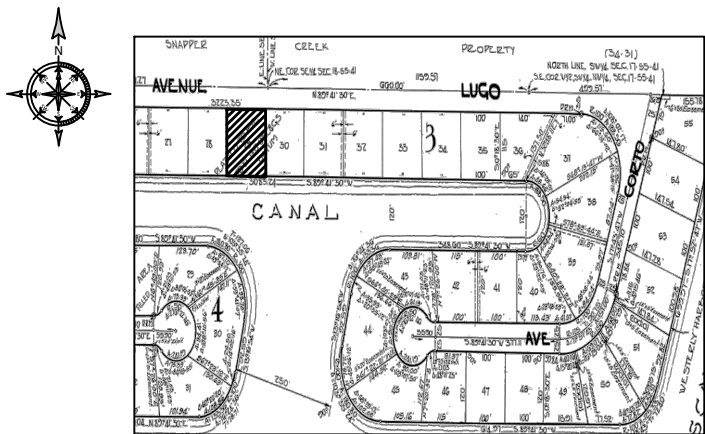
OWNER:
MR. MICHAEL SYMONS

DATE: 10/15/20
ISSUED: R.A.
DRAWN: A.R.
CHECKED: PROJECT No.

SHEET:
STREETSCAPE

2 OF 2

LOCATION MAP
N.T.S



LEGAL DESCRIPTION:
LOT 29, IN BLOCK 3, OF CORAL BAY SECTION "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 65, AT PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFIED TO:

- MICHAEL SYMONS

SURVEYOR'S NOTES:

- The above captioned property was surveyed and described based on the above legal description furnished by client.
- This certification is only for the lands as described, it is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances, ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- Ownership subject to OPINION OF TITLE.
- Type of Survey: BOUNDARY SURVEY.
- Location and identification of utilities on or adjacent to the property were not secured as such information was not requested.
- Unless otherwise noted, this Firm has not attempted to locate Footings and/or Foundations (underground).
- This BOUNDARY SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- Precision of Closure 1:7500 Suburban Class Survey.
- Bearings shown are assumed and are based on the Centerline of **LUGO AVENUE**, Being **N89° 41' 30"E**.
- Record and Measurement calls are in substantial agreement, unless noted otherwise.

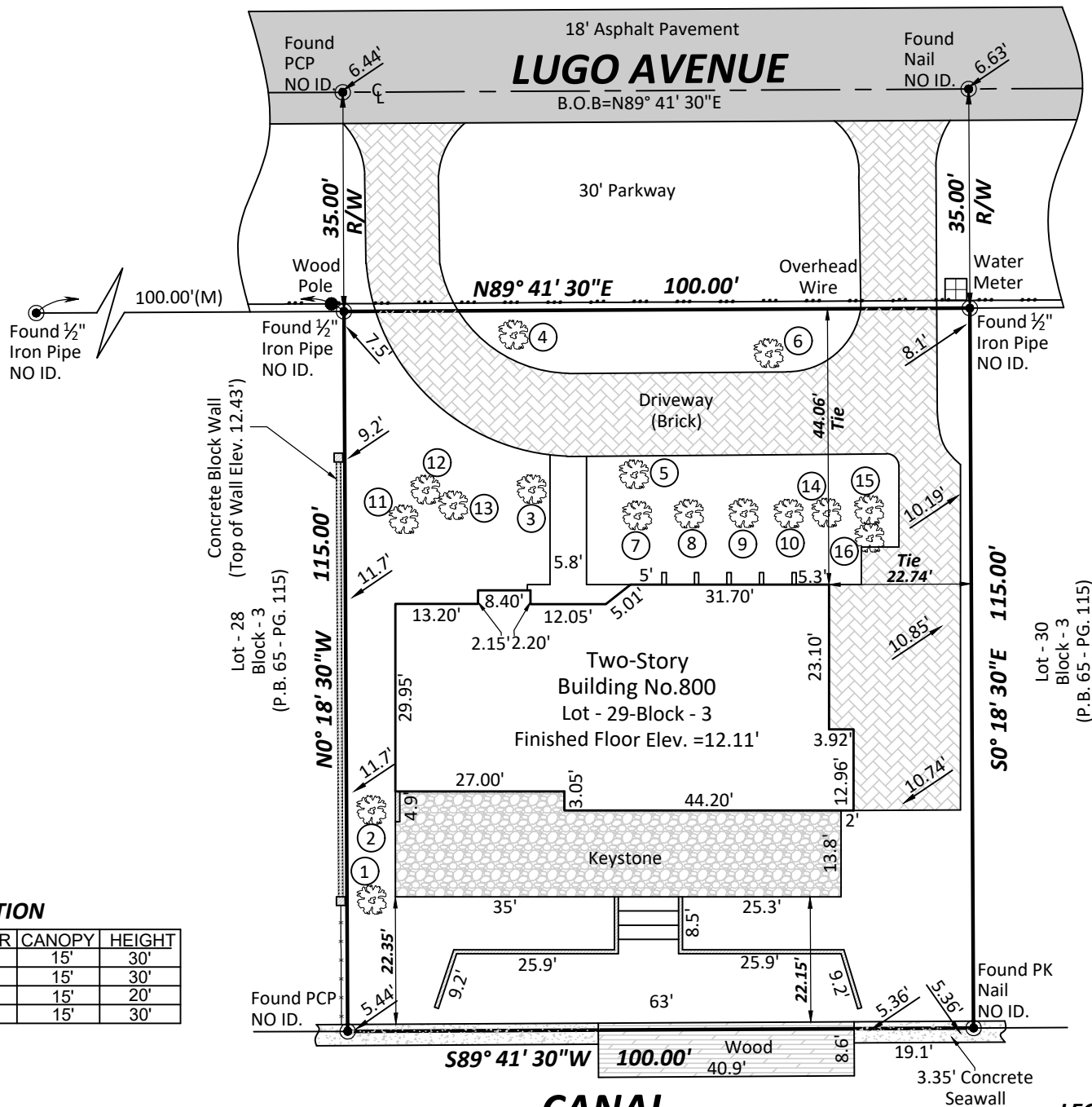
ELEVATIONS NOTE: (IF REQUESTED AND SHOWN).

-) 0.00' Indicates existing Elevations.
-) Elevations are referred to the National Geodetic Vertical Datum 1929.

FLOOD ZONE INFORMATION:			PROPERTY ADDRESS: 800 LUGO AVENUE, CORAL GABLES, FL 33156.		
COMMUNITY NAME: CORAL GABLES, CITY OF 120639			BENCHMARK INFORMATION		
COMMUNITY MAP: 12086C	PANEL NUMBER: 0469	SUFFIX: L	BENCHMARK: CG-533	THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH L. MARTIN, PSM #4368. USING A DIGITAL SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED WITHOUT THE SIGNATURE AND EMBOSSED SEAL OF A FLORIDA LICENSED SURVEYOR. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	
MAP REVISED: 09-11-2009	FLOOD ZONE: VE	BASE FLOOD ELEVATION: 17'	ELEVATION: 12.61'		
SHEET: 1	DESIGNED BY:				
OF 1 SHEET(S)	DRAWN BY: Y. Fernandez				
DATE: 09-26-2020	CHECKED BY: Joseph L. Martin				
PROJ. No:	SCALE: 1" - 25'				

BOUNDARY SURVEY

Scale: 1"=25'



TREE TABULATION

NUMBER	SPECIE	DIAMETER	CANOPY	HEIGHT
①③	Coconut Palm	0.8'	15'	30'
④⑥	Palm	1.4'	15'	30'
⑦⑩	Palm	0.7'	15'	20'
⑪⑫	Palm	0.7'	15'	30'

CANAL

LEGEND AND ABBREVIATIONS

PG. = PAGE.
P.B. = PLAT BOOK
CL = CENTER LINE
No. = NUMBER
(TYP) = TYPICAL
N.T.S. = NOT TO SCALE
B.O.B. = BASIS OF BEARING
I.D. = IDENTIFICATION
(P) = PLAT
ELEV. = ELEVATION

THIS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL PRESENT

COUNTY-WIDE LAND SURVEYORS INC
15358 S.W. 140TH STREET
Miami, Florida 33196
JOSEPH L. MARTIN
PROFESSIONAL LAND SURVEYOR · L.B. No. 4368
PHONE: (305) 772-0766

REVISIONS:	PROJECT No.:	DATE:

NEW RESIDENCE FOR:

800 LUGO AVENUE

CORAL GABLES

FLORIDA

SECURITY AND FORCE ENTRY PREVENTION

1. PROVIDE INTRUSION AND BURGLARY SECURITY DEVICES AS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
2. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVEABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
3. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
4. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF SHALL HAVE MULTIPLE POINTS OF LOCKS WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
5. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SWING DOORS SHALL BE RABBETTED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON REMOVABLE PINS AND NON-EXPOSED SCREWS.
7. GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD Z97.1.
8. VISION PANEL EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWING DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD INSTITUTE'S STANDARD Z97.1.
9. WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MAGS ASSOCIATION STANDARDS FOR FORCE ENTRY RESISTANCE . AAMA 19033 PROVIDE LOCKS AS PER SBC 36032(A)/(B) 2(AA) AND (C) EXTERIOR WINDOW SHALL BE LOCKED WITH DEVICE CAPABLE OF WITHSTANDING A FORCE OF 150 LB. APPLIED IN AN OPERABLE DIRECTION.
10. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS.

DOOR NOTES COMPONENTS OF MEANS OF ESCAPE

- A. NO DOOR IN THE PATH OF MEANS OF ESCAPE SHALL BE LESS THAN 28" WIDE EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- B. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
- C. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO ALLOW THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- D. DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- E. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2017.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2017, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET. AS PER FBC.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER FBC.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2017: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

GENERAL NOTES :

1. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.N.).
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-4615 SPECS.
3. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
4. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI 'MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES', U.O.N.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. STRUCTURAL DRAWINGS SHALL COORDINATED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DUGS, TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-318 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS'
8. REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 'RECOMMENDED PRACTICE FOR CONCRETE FORMWORK'
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT/ ENGINEER'S APPROVAL.
10. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
11. REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY, SIZE AND AMOUNT OF REBARS ARE AS PER SCHEDULES.
12. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
13. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ARCHITECT / ENGINEER.
14. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS, AND TO VERIFY THE ACTUAL PLACING OF REBARS IN THE FIELD.
15. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL ORDINANCES AND THE 'FLORIDA BUILDING CODE', CURRENT EDITION.
16. WINDOW MANUFACTURER TO VERIFY ALL WINDOW OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.
17. NO TIE BEAMS SHALL BE FORMED / POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
18. ARCHITECT / ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 24 HOURS IN ADVANCE PRIOR TO INSPECTION.
19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO THE CONTRACTOR FOR INSTALLATION.
20. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR EXTRA WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER FOLLOWED BY A CHANGE ORDER.
21. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
22. THE ARCHITECT / INTERIOR DESIGNER / OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGHEST QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
23. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
24. THE CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.
25. CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DIRT, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FROM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS. THE CONTRACTOR SHALL CLEAN SITE ONCE PER WEEK TO THE OWNERS SATISFACTION.
26. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
27. FOR BURGLARY INTRUSION NOTES REFER TO 'METROPOLITAN DADE COUNTY CODE', SECTION 8C/8.
28. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL / ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
29. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK. ALL SHOP DRAWINGS ARE TO BE APPROVED BY THE ARCHITECT BEFORE THE WORK COMMENCES.
30. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
31. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A 'RUNCHLIST', INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
32. CONTRACTOR TO VERIFY THAT THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.
33. THE CONTRACTOR SHALL INCLUDE IN HIS BID, THE COST OF THE FOLLOWING ADDITIONAL LABOR AND MATERIALS. THESE MATERIALS AND WORK SHALL BE USED FOR EXTRA WORK PERFORMED IN THE FIELD AT THE DIRECTION OF THE ARCHITECT OR ENGINEER. UNUSED PORTIONS SHALL BE CREDITED TO THE OWNER AT COMPLETION OF THE PROJECT:
 - 1 TON OF STRUCTURAL STEEL, INCLUDING FABRICATION AND PLACING.
 - 2 TONS OF REINFORCING STEEL, INCLUDING FABRICATION, BENDING AND PLACING
 - 10 CUBIC YARDS OF 5000 PSI CONCRETE INCLUDING FORMING, PLACING AND FINISHING
 - 10,000 FOR EXTRA LABOR PLUS MATERIALS, RELATED STUCCO WORK, PARTITIONS, DRYWALL AND GENERAL CARPENTRY

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TERMITE NOTES :

- R318.1 TERMITE PROTECTION.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, 'REGISTERED TERMITICIDE.' UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: 'THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.'
- R318.1.1 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.
- R318.1.2 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.
- R318.1.3 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.
- R318.1.4 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
- R318.1.5 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS.
- R318.1.6 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED.
- R318.1.7 IF A REGISTERED TERMITICIDE FORMULATED AND REGISTERED AS A BAIT SYSTEM IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R318.1.1 THROUGH R318.1.6 DO NOT APPLY. HOWEVER, A SIGNED CONTRACT ASSURING THE INSTALLATION, MAINTENANCE AND MONITORING OF THE BAITING SYSTEM THAT IS IN COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 482, FLORIDA STATUTES SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE POURING OF THE SLAB, AND THE SYSTEM MUST BE INSTALLED PRIOR TO FINAL BUILDING APPROVAL.
- IF THE BAITING SYSTEM DIRECTIONS FOR USE REQUIRE A MONITORING PHASE PRIOR TO INSTALLATION OF THE PESTICIDE ACTIVE INGREDIENT, THE INSTALLATION OF THE MONITORING PHASE COMPONENTS SHALL BE DEEMED TO CONSTITUTE INSTALLATION OF THE SYSTEM.
- R318.1.8 IF A REGISTERED TERMITICIDE FORMULATED AND REGISTERED AS A WOOD TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R318.1.1 THROUGH R318.1.6 DO NOT APPLY. APPLICATION OF THE WOOD TREATMENT TERMITICIDE SHALL BE AS REQUIRED BY LABEL DIRECTIONS FOR USE, AND MUST BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

LEGAL DESCRIPTION

LOT 29, BLOCK 3, CORAL BAY SECTION 'B', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 65, AT PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CODE COMPLIANCE

THE PLANS HEREIN COMPLY WITH THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE, RESIDENTIAL, 6th EDITION

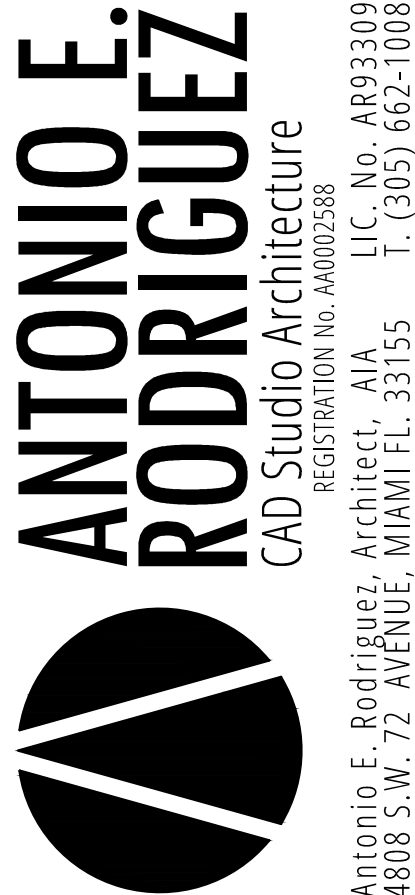
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STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RESIDENCE FOR:

800 LUGO AVENUE

CORAL GABLES

FLORIDA

OWNER:

MR. MICHAEL SYMONS

DATE: 10/15/20

ISSUED: _____

DRAWN: R.A.

CHECKED: A.R.

PROJECT No. _____

SHEET:

COVER
1 OF X

PROPERTY LINE 100.00'



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2017.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. @ 6' O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THEN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTTOM.
AS PER F.B.C. 2017, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS
WITH WINDOW & DOOR MANUFACTURER.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET. AS PER FBC.

EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER FBC.

ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2017: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

LOT AREA:	11,500 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT =	4,600 SQ. FT. / 320 SQ. FT.
GREEN AREA PROVIDED / FRONT =	4,605 SQ. FT. / 1,181 SQ. FT.
MAX. LOT COVERAGE 35% =	4,025 SQ. FT.
LOT COVERAGE PROVIDED =	3,883 SQ. FT.
TOTAL LOT COVERAGE 45% =	5,175 SQ. FT.
TOTAL LOT COVERAGE PROVIDED =	4,468 SQ. FT.
MAX AREA : 48 X 5,000 =	2,400 SQ. FT.
35 X 5,000 =	1,750 SQ. FT.
30 X 1500 =	450 SQ. FT.
TOTAL AREA ALLOWED =	4,600 SQ. FT.
GROUND FL. A/C AREA :	2,404 SQ. FT.
SECOND FL. A/C AREA :	1,921 SQ. FT.
1 CAR GARAGE :	264 SQ. FT.
TOTAL AREA PROVIDED:	4,595 SQ. FT.

LOCATION	REQUIRED	PROVIDED
FRONT	25'-0'	25'-0'
RIGHT SIDE	10' MIN.	10'-1'
LEFT SIDE	10' MIN.	10'-1'
REAR	25' MIN.	35'-0'

POOL SETBACKS :

LOCATION	REQUIRED	PROVIDED
RIGHT SIDE	5' MIN.	26'-8"
LEFT SIDE	5' MIN.	38'-4"
REAR	20' MIN.	10'-0"

UNDER SEPARATE
PERMIT
(BY OTHERS)
OWNER TO APPLY
FOR VARIANCE FOR
REAR SETBACK

R4502.11.1 OUTDOOR SWIMMING POOLS.
OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTIONS R4501.11.1 THROUGH R4501.11.4.

R4501.11.1
THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE, MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM).

R4501.11.2
MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL, WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL OR, IF MOUNTED ON TOP OF THE POOL STRUCTURE, WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES (102 MM).

R4501.11.2.1
THE BARRIER MAY NOT HAVE ANY GAPS, OPENINGS, INDENTATIONS, PROTRUSIONS, OR STRUCTURAL COMPONENTS THAT COULD ALLOW A YOUNG CHILD TO CRAWL UNDER, SQUEEZE THROUGH, OR CLIMB OVER THE BARRIER AS HEREIN DESCRIBED. BELOW ONE END OF A REMOVABLE CHILD BARRIER SHALL NOT BE REMOVABLE WITHOUT THE AID OF TOOLS. OPENINGS IN ANY BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

R4501.11.3
SOLID BARRIERS SHALL NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.

R4501.11.4
WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143 MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 3/4 INCHES (44 MM) IN WIDTH, WHERE THERE ARE NO CUTOUTS WITHIN VERTICAL MEMBERS. SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 3/4 INCHES (44 MM) IN WIDTH.

R4501.11.5
WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES (102 MM), WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 3/4 INCHES (44 MM) IN WIDTH.

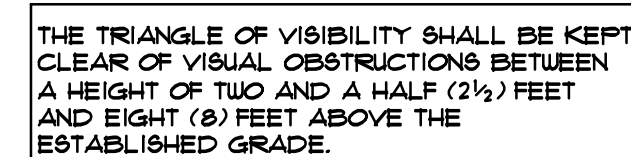
R4501.11.6
MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH SQUARE (57 MM) UNLESS THE MESH IS OPENED UP FOR SLATS FASTENED AT THE TOP OR BOTTOM WHICH REDUCE THE OPENINGS TO NO MORE THAN 1 3/4 INCHES (44 MM).

R4501.11.7
WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NO MORE THAN 1 3/4 INCHES (44 MM).

R4501.11.8
ACCESS GATES, WHEN PROVIDED, SHALL BE SELF-CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS R4501.11.1 THROUGH R4501.11.7 AND SHALL BE EQUIPPED WITH A SELF-LATCHING LOCKING DEVICE LOCATED ON THE POOL SIDE OF THE GATE. WHERE THE DEVICE IS LOCATED NO LESS THAN 54 INCHES (1371 MM) FROM THE BOTTOM OF THE GATE, THE DEVICE RELEASE MECHANISM MAY BE LOCATED ON EITHER SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP FROM THE OUTSIDE. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN UPWARD AND BE AT LEAST 66 INCHES (1676 MM) HIGH. GATES AND BARRIERS SHALL HAVE AN OPENING GREATER THAN 1/2 INCH (12.7 MM) UP TO 10 INCHES (254 MM) OF THE RELEASE MECHANISM.

SOIL AT THIS SITE IS SAND & ROCK ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2000 P.S.F.
I HEREBY ATTEST THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE
SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED ON. IF YOU HAVE ANY QUESTIONS
REGARDING THIS MATTER, PLEASE CONTACT THIS OFFICE.

SCALE : 1/8" = 1'-0"



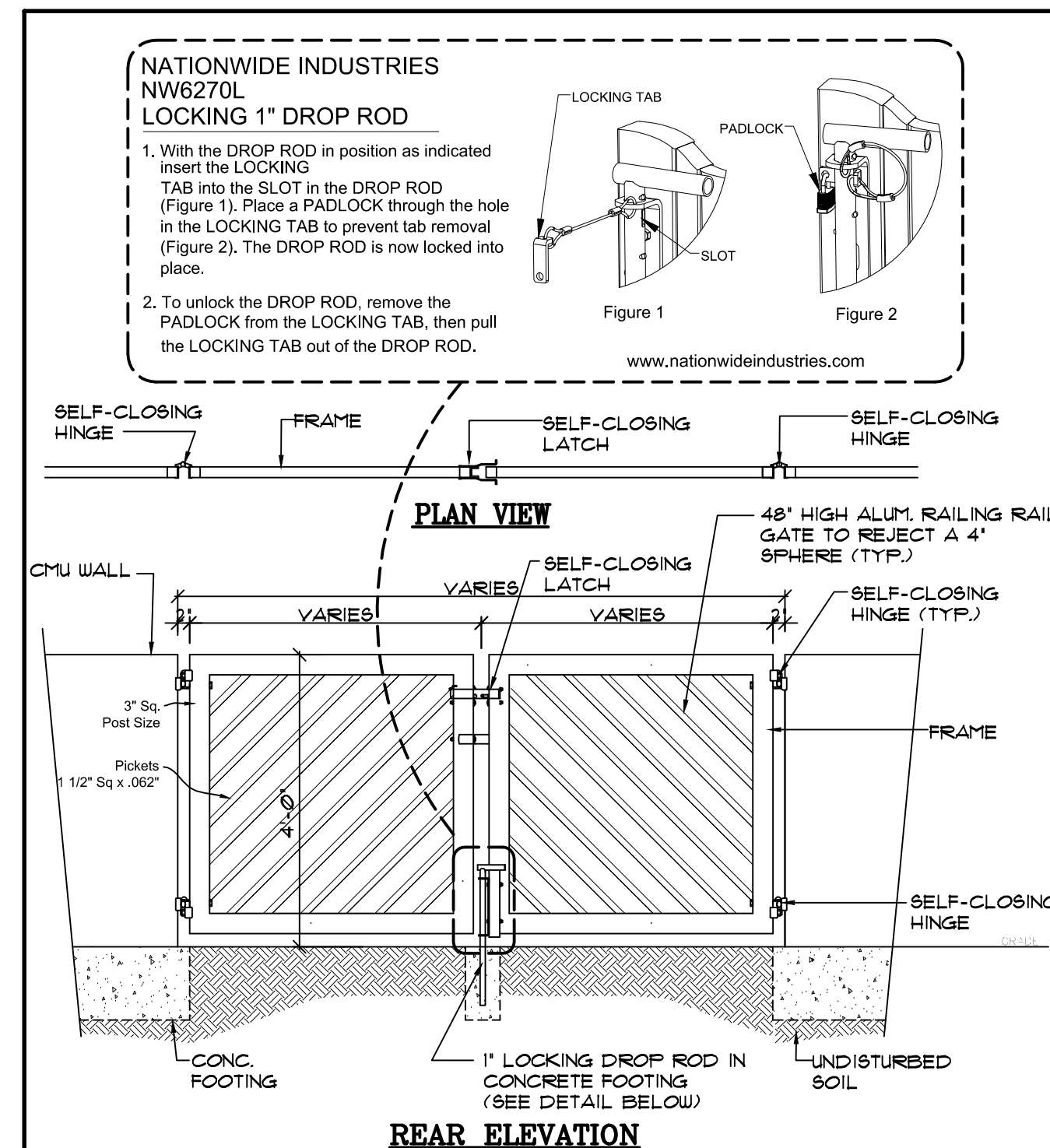
ALL RAINWATER TO BE
RETAINED ON PROPERTY

FILL WILL NOT BE BROUGHT ONTO SITE

LANDSCAPING WILL ADHERE TO THE DADE
COUNTY CHAPTER 18A, ORDINANCE *98-13

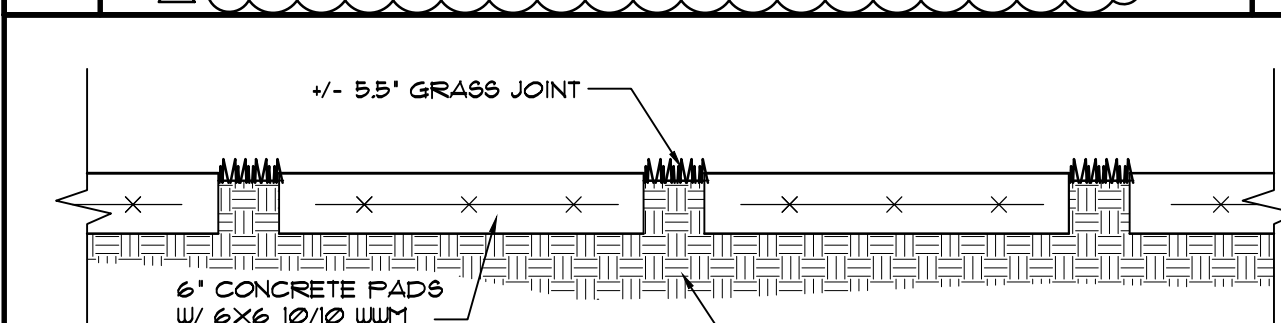
LANDSCAPING PLANS PRESENTED ARE IN ACCORDANCE WITH THE ZONING CODE ARTICLE 5, SECTION 5-1105(B).

THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.

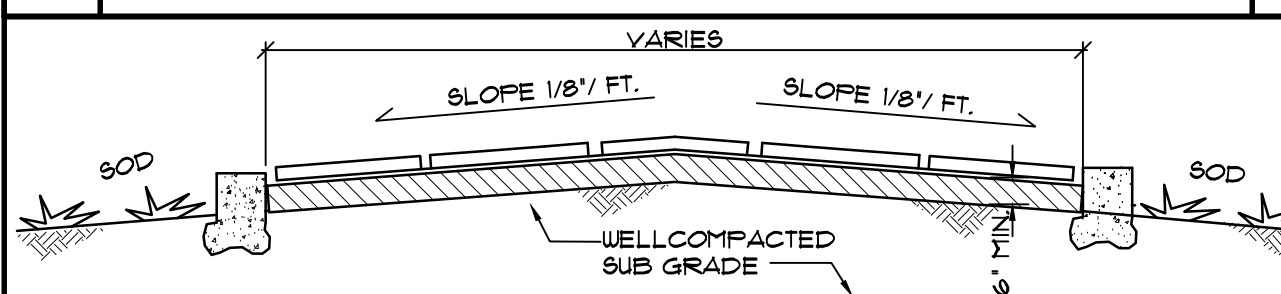


NOTE:
MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR RAILINGS FOR ARCHITECT APPROVAL

3	ALUMINUM FENCE & GATE DET.
---	----------------------------



4	SECTION THRU CONCRETE PAVERS
---	------------------------------



5	SECTION A-A THRU DRIVEWAY
---	---------------------------

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PREFCAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

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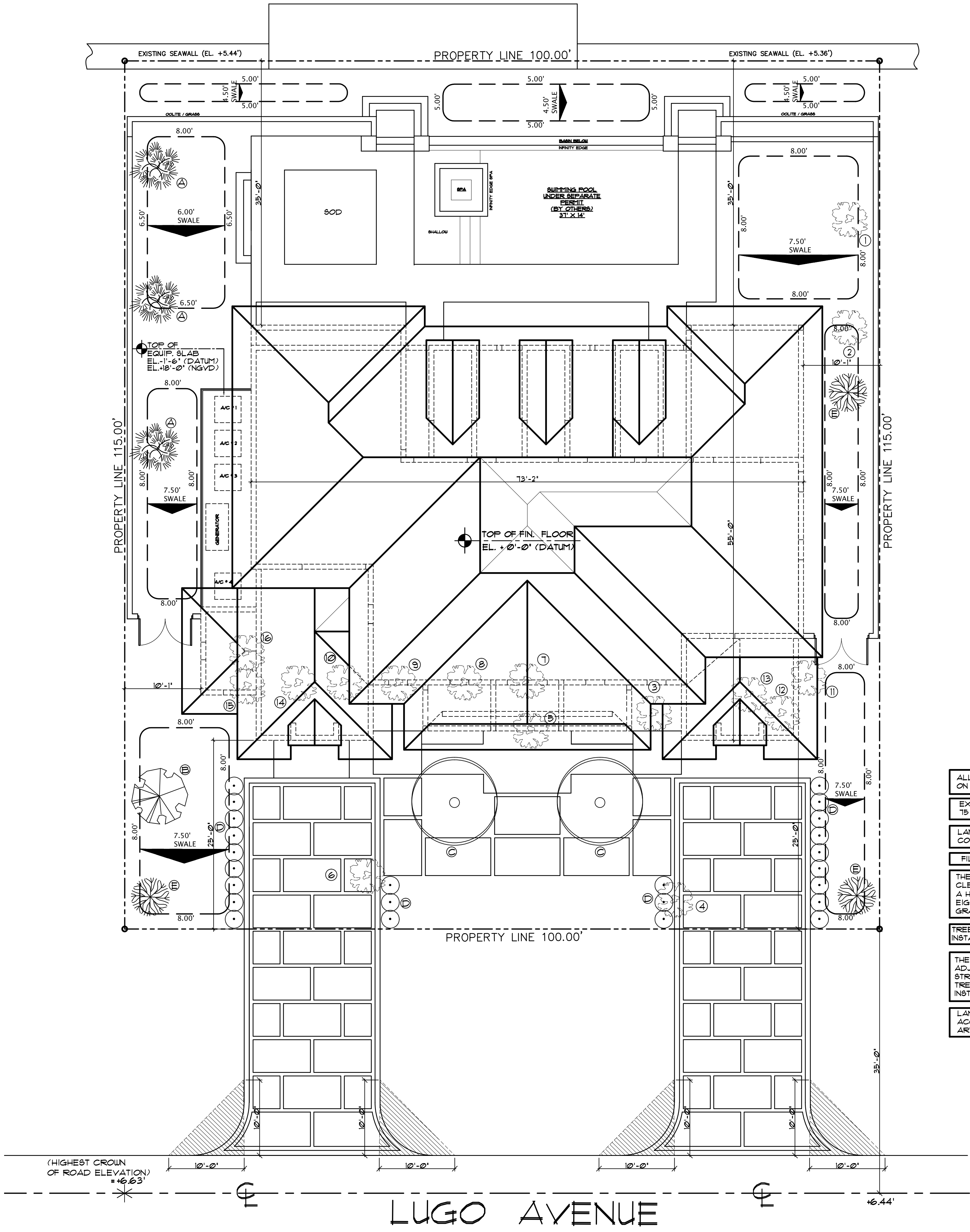
RESIDENCE FOR :
800 LUGO AVENUE
CORAL GABLES FLORIDA

OWNER: **MR. MICHAEL SYMONS**

DATE: 02/19/21 Δ 02/24/21
 ISSUED: _____
 DRAWN: R.A.
 CHECKED: A.R.
 PROJECT NO. _____

SHEET:

2 OF 21



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE FRESHLY-TREATED AS PER F.B.C. 2011.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2011, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (1 1/8") FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

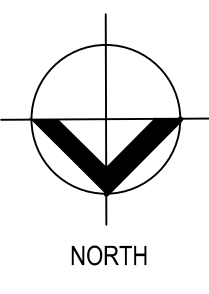
VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET AS PER F.B.C.
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ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2011: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

EXISTING TREE TABULATION					
No.	NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT	REMARKS
1-2	Coconut Palm	0.8'	15'	30'	To be removed
3	Coconut Palm	0.8'	15'	30'	To be removed
4-6	Palm	1.4'	15'	30'	To be removed
7-10	Palm	0.7'	15'	20'	To be removed
11-16	Palm	0.7'	15'	30'	To be removed
TREE REMOVAL MITIGATION CALCULATIONS: 1,162 SQ. FT. OF CANOPY TO BE REMOVED					
800 SQ. FT. - (4) SILVER BUTTWOOD					
500 SQ. FT. - (1) GUMBO LIMBO					
800 SQ. FT. - (4) SIMPSON'S STOPPER					
2,100 SQ. FT. OF REPLACEMENT CANOPY (SEE NEW LANDSCAPE LEGEND THIS SHEET)					

LANDSCAPING & GRADING PLAN

SCALE : 1/8" = 1'-0"



LANDSCAPE LEGEND
City of Coral Gables Section 5-1105

ZONE
DISTRICT

SFR

Net Land

11,500

(square feet)

LANDSCAPE OPEN SPACE

a.The landscape open space for building sites shall be provided as follows:

REQ.

PROV.

i. All building sites shall provide landscaped open space of not less than forty (40%) percent of the area of the building site.

40

40.04

%

4,600

4,605

SQ. FT.

ii. At least twenty (20%) percent of the required forty (40%) percent of landscape open space shall be located in the front yard area.

20

25.8

%

920

1,187

SQ. FT.

iii.The landscaped open space required by this Section shall consist of landscape material.

PLANTING REQUIREMENTS

a. Installation of all of the following:

i. Large shade tree. One (1) large shade tree for each five-thousand (5,000) square feet or fraction thereof of total land area;

ii. Palm and medium shade trees. Two (2), palm or medium shade trees for each five-thousand (5,000) square feet or fraction thereof of total land area;

iii. Shrubs. Fifteen (15) shrubs for each five-thousand (5,000) square feet or fraction thereof of total land area.

iv. Lawn grass. Lawn grass up to a maximum of sixty (60%) percent of the total lot area; and

v. Lawn grass in r.o.w. All unpaved surfaces adjoining the property on the r.o.w. shall be sodded.

b. A minimum of two (2) trees and sixty-six (66%) percent of the required shrub quantity shall be in front of the residence.

c. Quantity and size substitutions of these provisions shall not be permitted

GRADING NOTES:

01. ALL WORK SHALL BE IN ACCORDANCE WITH GRADING PRACTICES STANDARDS AND ANY PROVISION RELATED TO GRADING WHICH IS INCLUDED AS PART OF ----- MIAMI DADE COUNTY BUILDING CODE, THE FLORIDA BUILDING CODE LATEST EDITION OR ANY OTHER APPLICABLE CODE OR ORDINANCE, LATEST EDITION OR ANY OTHER APPLICABLE CODE OR ORDINANCE.

02. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE DIRECTED.

03. NO FILLS SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED.

04. NO ROCK OR LUMPS WITH GREATER THAN 6" DIAMETER SHALL BE PLACED IN THE FILL UNLESS APPROVED BY ARCHITECT OR LANDSCAPE ARCHITECT.

05. DUST SHALL BE CONTROLLED BY WATERING.

06. PERMITTEES GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS TO PROTECT ADJOINING PROPERTIES DURING GRADING.

07. GENERAL CONTRACTOR SHALL PROVIDE SUPERVISION DURING GRADING WORKS TO ENSURE COMPLIANCE WITH THESE PLANS.

08. SWALES SHOWN IN THE PLAN CAN NOT BE ALTERED IN SHAPE OR ELEVATIONS.

09. ANY DAMAGE CAUSED WITHIN THE SITE OR TO ADJOINING PROPERTIES DURING THE GRADING OPERATION MUST BE CORRECTED BY THE GENERAL CONTRACTOR.

10. PRIOR TO START OF THE RAINY SEASON EROSION CONTROL DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON.

11. ALL WORK OUTSIDE THE PROPERTY LINE SHALL BE IN ACCORDANCE WITH THE PUBLIC WORKS CONSTRUCTION STANDARDS OF PINECREST, AND ANY REQUIRED PERMIT SHALL BE PROCURED AND OBTAINED.

12.THE GENERAL CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO SUNSHINE STATE ONE CALL OF FLORIDA, INC. PHONE NUMBER 1-800-432-4710, TWO WORKING DAYS BEFORE DIGGING.

NEW LANDSCAPE LEGEND (AS PER SECTION 5-1105)									
SYMBOL USED ON PLAN	PLANT NAME		NATIVE SPECIES		CALIPER	HEIGHT		CANOPY DIAMETER	
Symbol	New	Scientific	Common	Yes	No	Installed	Installed	Estimated at Maturity*	Estimated at Maturity*
** (A)	3	CONCARPUS ERICHTH VAR. SERICEA	SILVER BUTTWOOD	•		3'	14'	20'	25'
*** (B)	1	BURSERA SIMARUBA	OA. GUMBO LIMBO	•		3.5'	15'	35'	25'
*** (C)	2	LATANIA LODDIGESII	LATANIA PALM	•		3'	14'	30'	15'
* (D)	39	PODOCARPUS MACROPHYLLUS	HEDGE PODOCARPUS	•	•		18'	48'	
** (E)	3	HYDRANTHES FRAGRANS	SIMPSON'S STOPPER	•		3'	14'	20'	15'
		ST. AUGUSTINE PALMETTO	ST. AUGUSTINE PALMETTO						
*Shrubs to screen A/C units & pool equipment to be planted at Ht. of 36"									
**Listed by FPL as being acceptable to being adjacent to power lines.									
***Tree caliper to be minimum of 3" in diameter and Florida number 1.									

Place three straps or wood braces on trees & palms less than 8" caliper
Place four wood braces on trees & palms over 8" caliper
Place protective barrier on trees & palms to remain inside the property and in the city swale and trees & palms to be relocated.
Barriers on existing trees to remain may be made out of plastic orange temp. fence type.
Barriers on existing trees for each 1" radius of tree trunk (or 6" min.), and 2" minimum distance from road edge.

Arbor/Brace or Equal

Tree Nail 3" x 4"

Wood Braces to Battens

Do not nail into trunk of palm.

4" ht. orange plastic fence around perimeter of tree protection barrier area as shown in plan.

Keep mulch 6" From Base

2" x 4" Wood post at 6" spacing maximum

3" Depression

2" x 4" x 24" Stake at 0" or 3" Below Grade

Planting soil.
(Applies to relocated only)

EXISTING & RELOCATED TREES & PALMS
PROTECTIVE & BRACING SECTION DETAIL

N.T.S

FLEXIBLE STRAPPING MATERIAL "ARBOR TIE" BY DEEP ROOT (800) 458-7688 OR APPROVED EQUAL. DARK GREEN COLOR. STRAP FROM THREE POINTS

NAIL TO STAKE WITH 1" GALVANIZED ROOFING NAIL

(2) 2X4" PRESSURE TREATED STAKES, 8' LONG, SET 2" INTO GROUND; PAINT TWO COATES EXTERIOR PAINT - FLAT DARK GREEN COLOR

4" SOIL BERM AT EDGE OF PIT TO HOLD WATER

2" DEPTH MULCH AS SPECIFIED

PLANTING MIX AS PER SPECIFICATIONS

EXISTING SUBGRADE

EXISTING SUBGRADE

SPECIMEN TREE GUYING DETAIL

N.T.S

FLEXIBLE STRAPPING MATERIAL "ARBOR TIE" BY DEEP ROOT (800) 458-7688 OR APPROVED EQUAL. DARK GREEN COLOR. STRAP FROM THREE POINTS

PLANT WITH ROOT BALL AT GRADE AND NO MORE THAN 1" ABOVE GRADE

NAIL TO STAKE (TYP.)

2X4X12" FOOT PAD FOR SOFT SOIL. CONDITIONS SUCH AS SAND, BURIED 3 FT. BELOW GRADE

12" MINIMUM 2" DEPT. GROUNDING ON ROOT BALL SIZE (TYP.)

UNEXCAVATED FOR SUPPORT

2" DEEP LAYER OF APPROVED MULCH - DO NOT MULCH AROUND STEMS OR TRUNKS

VNOT FLEXIBLE TAPE TO TREE TRUNK AS PER SPECIFICATIONS

2" DEEP LAYER OF APPROVED MULCH

BACKFILL WITH PLANTING SOIL

SOIL BERM TO HOLD WATER

2X4X12" FOOT PAD FOR SOFT SOIL. CONDITIONS SUCH AS SAND, BURIED 3 FT. BELOW GRADE

12" MINIMUM 2" DEPT. GROUNDING ON ROOT BALL SIZE (TYP.)

UNEXCAVATED FOR SUPPORT

GROUND COVER SPACING VARIES WITH SPECIES (SEE PLANT LIST)

EXCAVATE TO A DEPTH SO THAT BOTTOM OF ROOT BALL IS AT BOTTOM OF PIT, AND BACKFILL

EXCAVATE TO A DEPTH SO THAT BOTTOM OF ROOT BALL IS AT BOTTOM OF PIT, AND BACKFILL

TREE PLANTING & GUYING DETAIL

N.T.S

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY.

AFTER INSTALLATION, CUT STRING AND REMOVE BURL FROM T.O.B. ROOT BALL

EXCAVATE TO A DEPTH SO THAT BOTTOM OF ROOT BALL IS AT BOTTOM OF PIT, AND BACKFILL

GRANULAR FILL MATERIAL OR EXISTING GRADE

GRANULAR FILL MATERIAL OR EXISTING GRADE

SHRUB & GROUND COVER PLANTING DET.

N.T.S

GRADING LEGEND		ABBREVIATION LEGEND	
PROPOSED CONTOUR LINES	---	T.O.W.	T.O.B.WALL
PROPOSED SPOT ELEVATIONS	● 0.00 NGVD	T.O.C.	T.O.B.COPIING
EXISTING SPOT ELEVATIONS	● 0.00	T.O.S.	T.O.B.STEP
GRADE SLOPE FOR WATER RUNOFF	SLOPE →	T.O.B.	T.O.B.BENCH
		T.O.L.	T.O.B.LANDING
		B.O.S.	BOTTOM OF STEP
		T.O.D.	T.O.B.DRAIN
		H.P.	HIGH POINT
		L.P.	LOW POINT
		C.O.R.	CROWN OF ROAD
		T.O.F.	T.O.B.FENCE
		EXISTING	EXISTING GRADE
		S.L.P.	SLOPE
		EST	ESTIMATED BY INTERPOLATION

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
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STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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MR. MICHAEL SYMONS

DATE: 02/19/21
ISSUED: 02/24/21
DRAWN: R.A.
CHECKED: A.R.
PROJECT NO.

SHEET:
A02
3 OF 21

ZONING CALCULATIONS:

LOT AREA:	11,500 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT =	4,600 SQ. FT. / 920 SQ. FT.
GREEN AREA PROVIDED / FRONT =	4,605 SQ. FT. / 1,181 SQ. FT.
MAX. LOT COVERAGE ALLOWED 35% =	4,025 SQ. FT.
LOT COVERAGE PROVIDED =	3,883 SQ. FT.
MAX. TOTAL LOT COVERAGE ALLOWED 45% =	5,175 SQ. FT.
LOT COVERAGE	3,883 SQ. FT.
+ POOL	585 SQ. FT.
MAX. TOTAL LOT COVERAGE PROVIDED =	4,468 SQ. FT.

F.A.R. CALCULATIONS:

MAX AREA : .48 X 5,000 =	2,400 SQ. FT.
.35 X 5,000 =	1,750 SQ. FT.
.30 X 1,500 =	450 SQ. FT.
TOTAL AREA ALLOWED =	4,600 SQ. FT.
GROUND FL. A/C AREA :	2,404 SQ. FT.
SECOND FL. A/C AREA :	1,921 SQ. FT.
1 CAR GARAGE (1/3 OF GROUND=0.33*3,883=1,294 SQ. FT.):	264 SQ. FT.
TOTAL AREA PROVIDED:	4,595 SQ. FT.

AS PER CORAL GABLES ZONING CODE, THE DETERMINATION OF A BUILDING'S FLOOR AREA RATIO SHALL EXCLUDE THE FOLLOWING:

A. THICKNESS OF EXTERIOR WALLS, MEASURED FROM THE INTERIOR FACE OF STRUCTURE.

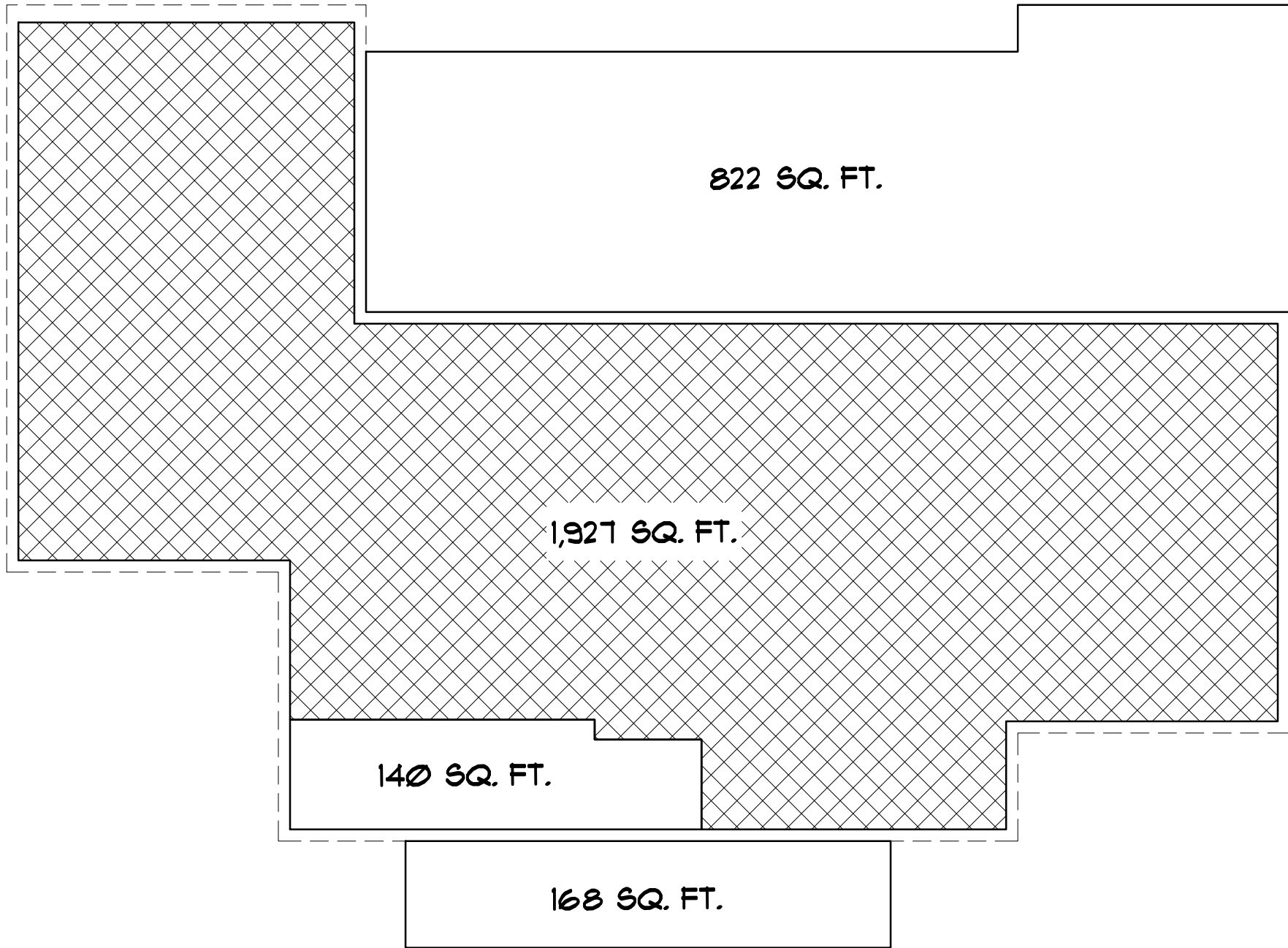
B. FLOOR SPACE IN ONE (1) STORY ROOFED TERRACES, BREEZEWAYS, AND PORCHES WITH AN AVERAGE FLOOR TO CEILING HEIGHT LESS THAN OR EQUAL TO THIRTEEN (13) FEET SHALL ALSO BE EXEMPT, PROVIDED, A COVENANT IS SUBMITTED STATING THAT SUCH ROOFED TERRACE, BREEZEWAY, OR PORCH WILL NOT BE ENCLOSED IF IT WILL CAUSE THE RESIDENCE TO EXCEED THE MAXIMUM PERMITTED FLOOR AREA.

C. DETACHED ONE- AND TWO-STORY CARPORTS AND GARAGES LOCATED IN THE REAR YARD, OR WHERE DETERMINED BY THE BOARD OF ARCHITECTS, THAT IS LESS THAN OR EQUAL TO FOUR-HUNDRED (400) SQUARE FEET. ANY ADDITIONAL AREA WILL NOT BE EXCLUDED.

D. STACKED OR TWO (2) STORY PORCHES, AS APPROVED BY THE BOARD OF ARCHITECTS.

E. UPPER VOLUME OF INTERIOR SPACES OR COURTYARDS.

F. BASEMENTS AND ATTICS WITHIN A PITCHED ROOF.



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

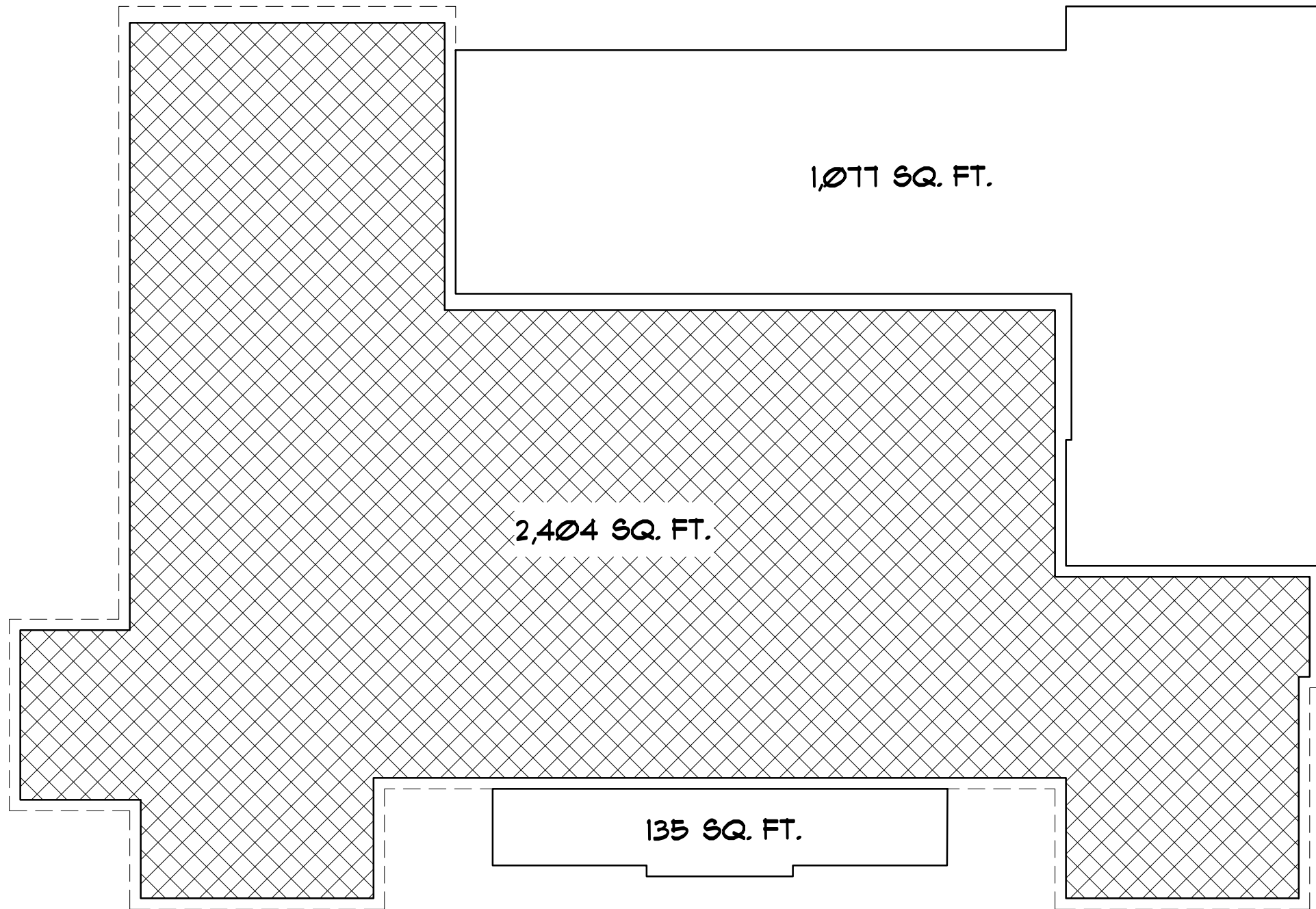
AREA USED TO CALCULATE F.A.R.

264 SQ. FT.

CRAWL SPACE PLAN

SCALE : 1/8" = 1'-0"

AREA USED TO CALCULATE F.A.R.



GROUND FLOOR PLAN

SCALE : 1/8" = 1'-0"

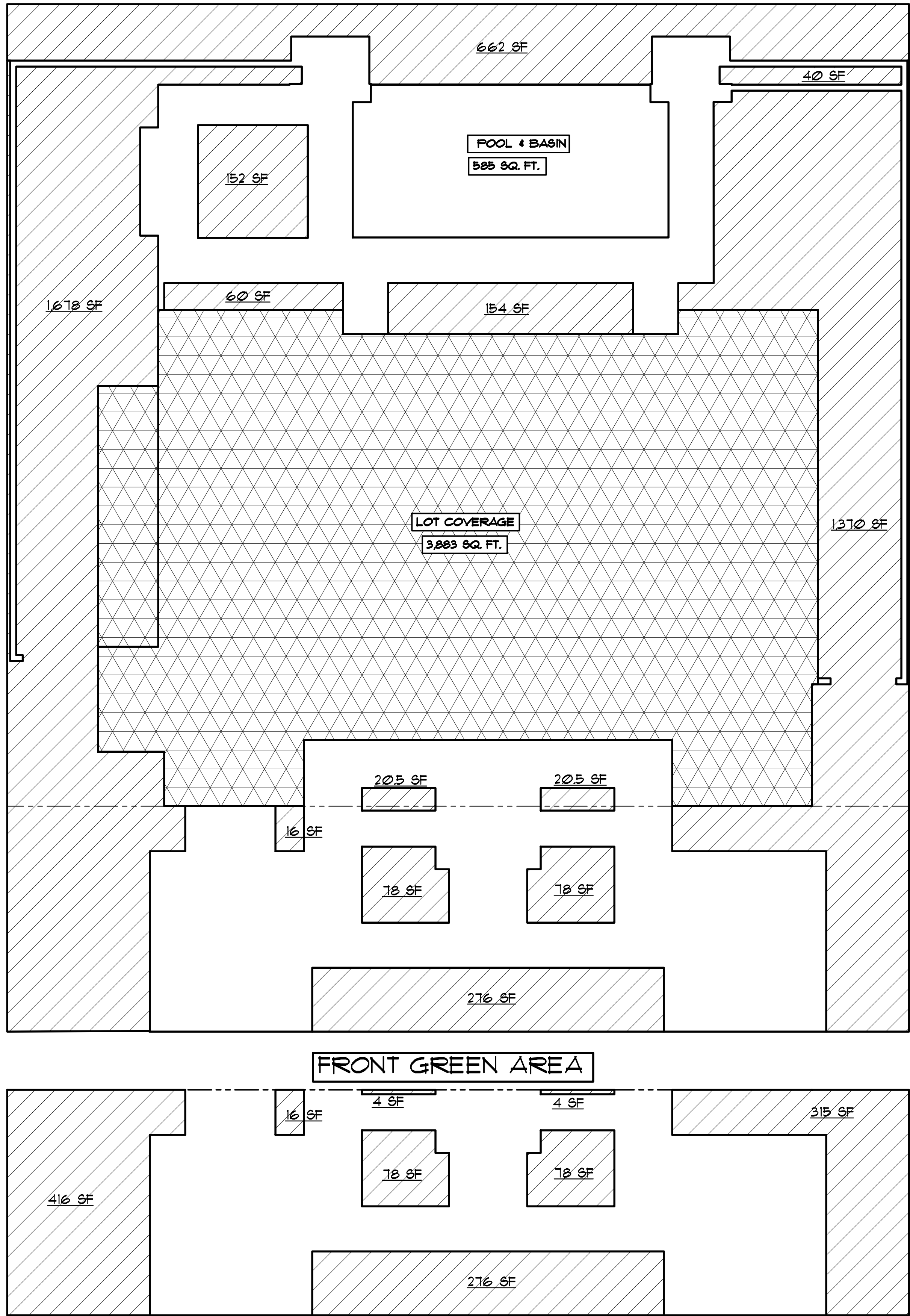
AREA USED TO CALCULATE F.A.R.

AREA CALCULATION

SCALE : 1/8" = 1'-0"

GREEN AREA CALCULATIONS:

MIN. GREEN AREA REQUIRED (MIN. 40%) =	4,600 SQ. FT.
TOTAL GREEN AREA PROVIDED:	
1,678+152+60+154+662+40+1,370+205+205+16+78+78+276	= 4,605 SQ. FT. (40.04%)
FRONT GREEN AREA REQUIRED (20% OF 40% MIN.)=	920 SQ. FT.
TOTAL FRONT GREEN AREA PROVIDED:	1,181 SQ. FT.



IMPERVIOUS LAND AREA : (INCLUSIVE OF ALL DRIVEWAYS, POOL DECK, AND OTHER PAVED SURFACES) :	3,012 SQ. FT.
TOTAL LOT COVERAGE :	3,883 SQ. FT.
GREEN AREA :	4,605 SQ. FT.
LOT AREA :	11,500 SQ. FT.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

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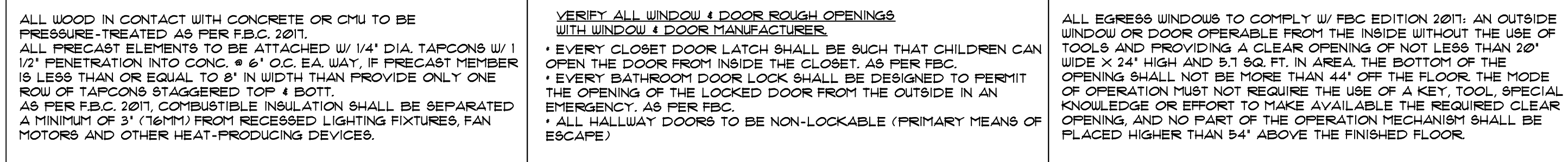
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FLORIDA

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OWNER: MR. MICHAEL SYMONS
DATE: 02/19/21
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CRAWL SPACE

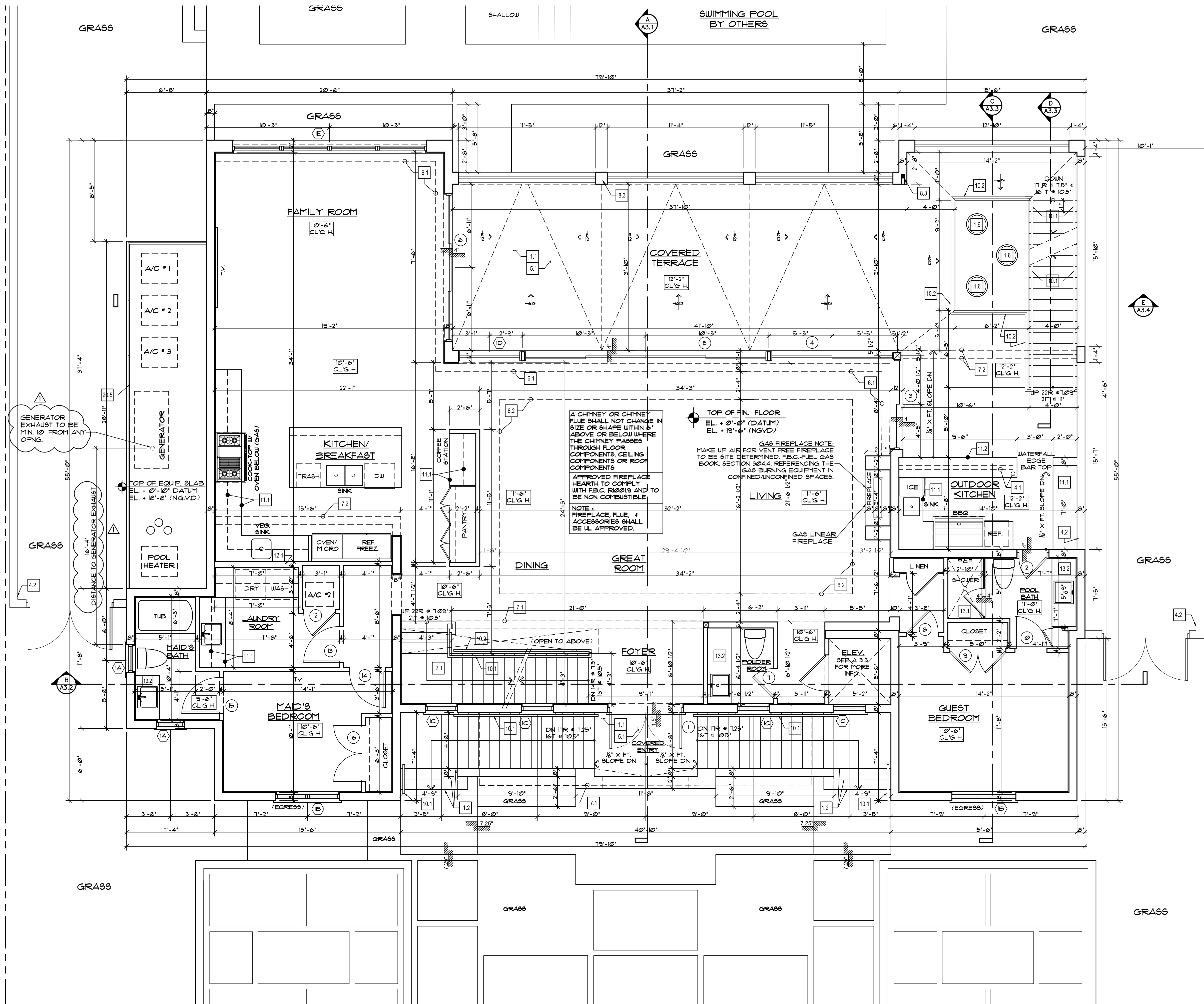
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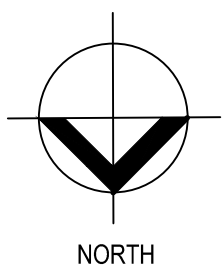
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GROUND FLOOR PLAN

SCALE : 1/4" = 1'-0"



1.0 EXTERIORS 1.1 EXTERIOR FIN. FLOOR TO BE NON-SLIPERY AND TO HAVE A 1/4" FT. MIN. SLOPE (SEE PLAN FOR SLOPE DIRECTIONS) 1.2 EXTERIOR CONC. FLOATING STEPS WITH CONTINUOUS LED ROPE LIGHTING ABOVE ROOF SURFACE AS PER F.B.C. AT ALL EXTERIOR STEPS 1.3 3'x6" DECORATIVE VERTICAL CEDAR MEMBERS (TYP.) 1.4 OUTDOOR ENCLOSURE: (24"W x 4"H ALUM. FENCE W/ 6" WOOD SLATS IN 4'x4' ALUM. FRAME COLOR: WOOD 1.5 3'x15" ALUM. SLATS (TYP.) 1.6 PERFORATED ALUMINUM VERTICAL PLANTER (SUBMIT SHOP DRAWINGS FOR A.O.R./E.O.R. APPROVAL) 2.0 STAIRS 2.1 PREFABRICATED STAIRS (BY OTHERS) PROVIDE SHOP DWGS FOR ARCHITECT'S APPROVAL 3.0 COLUMNS 3.1 LIMESTONE VENEER (TYP.) (SEE DETAIL) TO BE SELECTED BY OWNER 3.2 STL. COLUMN TO BE 1 HR FIRE RATED AS 3.3 WOOD COLUMN WITH WOOD BASE 4.0 LOW WALLS 4.1 LINE OF WALL/ PARTITION BELOW (8" CMU FOR EXTERIOR LOCATIONS) 4.2 LOW 8" CMU WALL (SEE PLAN FOR TOP OF CAP BEAM ELEV.) 4.3 LOW 8" CONCRETE WALL, 18" HT. (WATER FEATURE ENCLOSURE) 5.0 EXTERIOR CEILING 5.1 IPE TONGUE AND GROOVE PLANKS (TYP. @ ALL EXTERIOR CEILINGS U.O.N.) 5.2 SMOOTH STUCCO CLG. ON METAL LATH ON 1/2" PLYWOOD SHEATHING 6.0 INTERIOR CEILING 6.1 CURTAIN POCKET (SEE TYP. DETAIL 6, PAGE A5.1) 6.2 COVE CEILING/ TRAY CEILING WITH INDIRECT LIGHTING (SEE DETAIL 1, PAGE A5.1) 6.3 22"x36"x9/16" PLYWD. ACCESS PANEL (METAL CLADDED 1 HR FIRE RATED W/ LIGHT & FULL DN. CHAIN OR DROP DOWN LADDER) PROVIDE MAXIMUM USABLE AREA @ ATTIC & MIN. VERT. HT. OF 30' AS PER F.B.C. 2011 7.0 STRUCTURE 7.1 LINE OF STRUCTURE/ SECOND FLOOR/ EYEBROW/ BEAM/OVERHANG ABOVE 7.2 LINE OF STRUCTURAL MEMBERS HIDDEN ABOVE CEILING 7.3 STRUCTURAL WALL TO BE POURED SOLID UP TO BOTTOM OF WINDOW (SEE STRUC. PLAN) 7.4 A/C DUCT CHASE/ PENETRATION ON BEAM OR DROP DOWN LADDER (COORDINATE WITH STRUCTURAL DWGS) 7.5 WATER FEATURE WALL TO BE POURED SOLID. (SEE STRUC. PLAN)	8.0 DRAINAGE 8.1 PRECAST PRIMARY OVERFLOW SCUPPER W/ FLASHING AND DRIP CHANNEL AS REQUIRED 8.2 PRECAST EMERGENCY OVERFLOW SCUPPER W/ FLASHING & DRIP CHANNEL AS REQ'D. 2" TO 4" ABOVE ROOF SURFACE AS PER F.B.C. 8.3 3" DIAM. DOWNSPOUT INSIDE COLUMN (SEE STRUCTURAL DWGS FOR DETAILS) 8.4 HIDDEN ALUM. DOWNSPOUT DOWNTROUGH SLAB 8.5 LINEAR DRAIN 3" DIA. SLOPPED TO DOWNSPOUT (SEE DETAIL IN A3.1 & STRUCTURAL DWGS) 8.6 EMERGENCY OVER FLOW DISCHARGE INLET AND PIPE (SEE SHEET A12 AND A21, A22 FOR LOCATION) 8.7 DRYWELL FOR DRAINAGE (SEE DETAIL 1 IN SHEET A11) 8.8 3" DIAM. DOWNSPOUT (SEE D13-A/5.1 DWG FOR MORE DETAILS) 8.9 3" DIAMETER DIRECT OVERFLOW DISCHARGE WITH ATRIUM GATE INLET 4" ABOVE FINISHED GRADE. 9.0 ROOF 9.1 CONC. EYEBROW: PROVIDE A MIN. 1/4" FT. SLOPE AWAY FROM STRUCTURE 9.2 FLAT ROOF: PROVIDE A MIN. 1/4" FT. SLOPE (SEE PLAN FOR SLOPE DIRECTION) 10.0 RAILINGS 10.1 30" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" Ø SPHERE (TYP. ALONG STAIRS) 10.2 42" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" Ø SPHERE (TYP. @ LANDINGS AND BALCONIES) 10.3 34" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING ON 8/4 CONC. BASE TO REJECT A 4" Ø SPHERE. (TOTAL 42" HI.) (TYP. @ TER.) 11.0 MILLWORK 11.1 36" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1) 11.2 42" AFF. BAR COUNTER 12.0 LAUNDRY 12.1 WASHER FAUCET IN RECESSED METAL POCKET AS PER F.B.C. 13.0 BATHROOMS 13.1 1- SHOWER FIN. FLOOR: TO HAVE A SLOPE TOWARDS DRAINAGE & TO BE NON-SLIPERY 2- SHOWER WALLS W/ DUROCK AND STONE FINISH (SEE DETAIL 10, PAGE A5.1) 3- 8" Ø 1/4" CAT. II 8AF. GL. DR. & ENCLOSURE W/ HEADER ABOVE, MIN. 22" CLEAR DOOR WIDTH 4- SHAMPOO NICHE (SEE PLAN FOR SIZE) 13.2 1-VANITY AND MIRROR (TO BE SELECTED BY OWNER) 2-34" AFF. MIN. COUNTER TYP. @ ALL LAVATORIES U.O.N. 3-MIRROR (FINAL SELECTION BY INT. DESIGNER OR OWNER) 30" AFF. MIN. COUNTER TYP. @ MAKE-UP VANITIES AND DESKS. 13.3 PROVIDE KNEE SPACE AS REQUIRED
SYMBOLS DIFFERENCE AT FLOOR LEVEL FLOATING STEPS WITH INDIRECT LIGHTING (TYP. @ ENTRY STEPS) DIFFERENCE OF SURFACE/ CEILING LEVEL SLOPE DOWN @ CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH) CENTER LINE (F.V.) DENOTES "FIELD VERIFY" LINE OF STRUCTURE (HIDDEN ABOVE CEILING) LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS) LINE OF ELEMENT BELOW DOOR (SEE SCHEDULE) WINDOW (SEE SCHEDULE) KEY NOTE (SEE LEGEND)	
CONSTRUCTION LEGEND : 8" CMU WALL WITH 1/2" GYP BD ON 1"x2" WD FURRING @ 16" O.C. ON THE INTERIOR SIDE AND STUCCO FINISH ON THE EXTERIOR 8" CMU EXTERIOR LOW WALL: STUCCO FINISH ON BOTH SIDES (SEE PLAN FOR T.O.B.) CONCRETE COLUMN: REFER TO STRUCTURAL DWGS FOR REINFORCING, SIZE & DETAIL INFO. DENOTES A WATER SURFACE (POOLS, WATER FEATURES ETC) BY OTHERS, PROVIDE SHOP DWGS FOR APPROVAL DENOTES PLANTERS LANDSCAPE 4" PARTITION: 3/8" 20 GA. CHANNEL SHAPED METAL STUDS @ 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" GYP. BD. (OR CEMENT BOARD) APPLIED VERTICALLY TO EACH SIDE 1 HR. FIRE RATED WALL: 3/8" 20 GA. CHANNEL SHAPED METAL STUDS @ 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" TYPE "X" GYP. BD. OR CEMENT BOARD "X" APPLIED VERTICALLY TO EACH SIDE INTERIOR STL. COLUMNS: IN 1 HOUR FIRE RATED COVER EXTERIOR STL. COLUMNS: GALVANIZED AND PROTECTED W/ ANTI-CORROSION PAINT COATING.	
* SEE STRUCTURAL DRAWINGS FOR SCHEDULES, REINFORCING AND MORE DETAILS INFORMATION ** USE CEMENT BOARD IN HIGH-MOISTURE AREAS	

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

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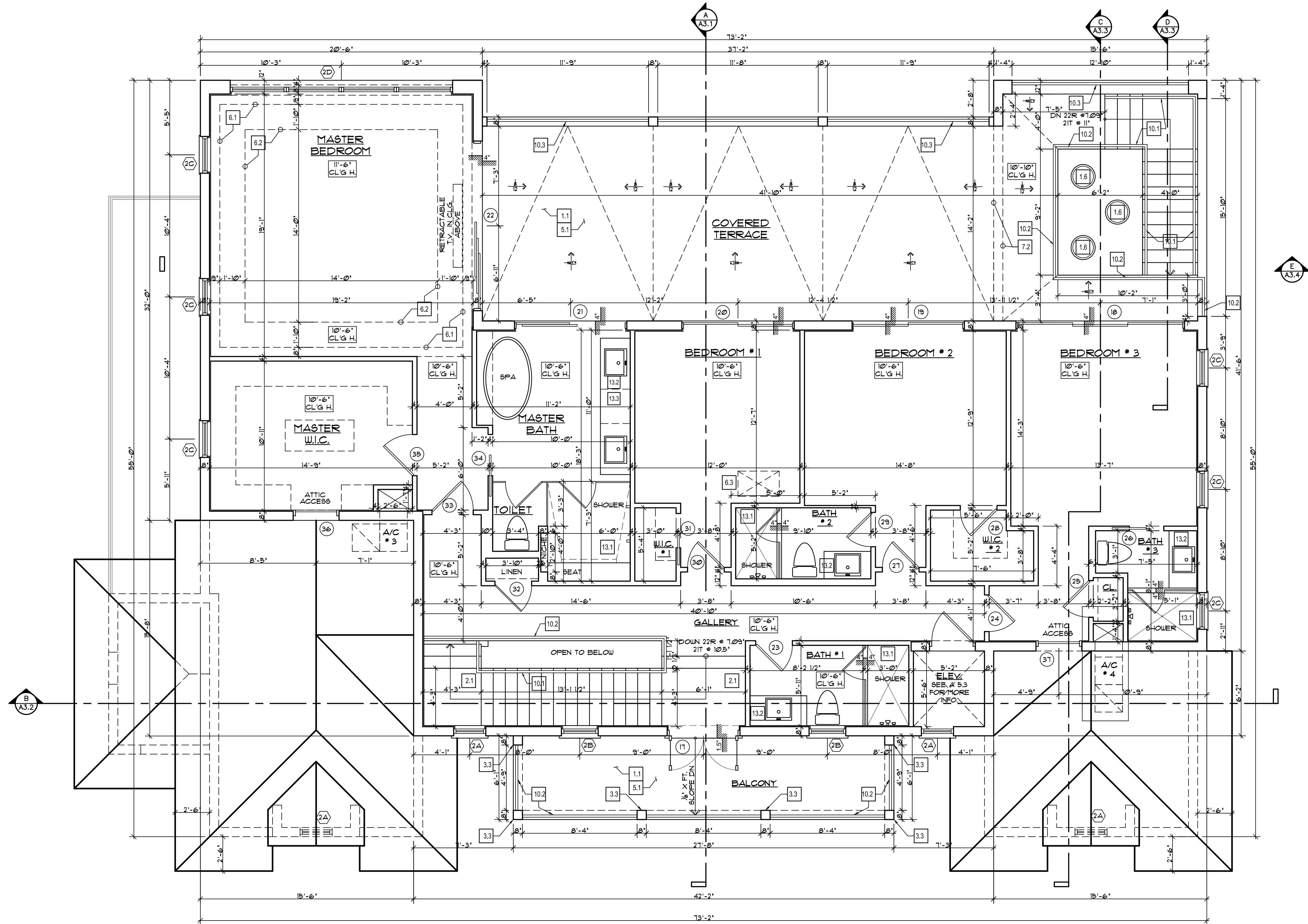
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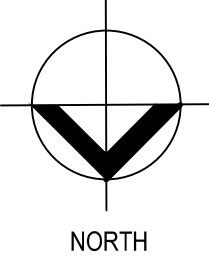
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SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



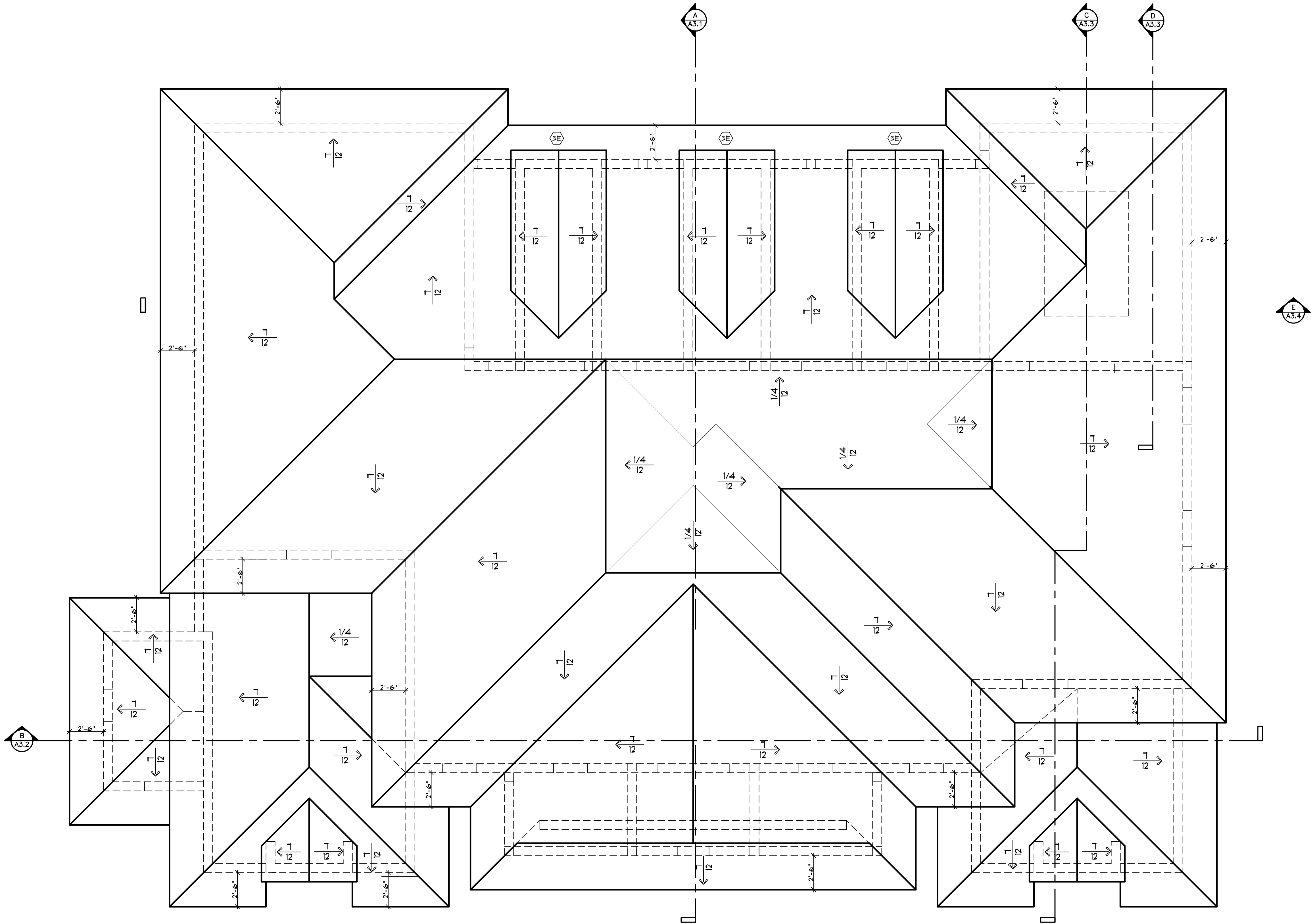
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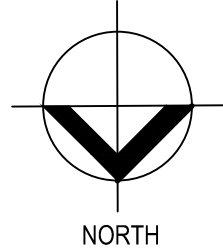
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ROOF PLAN

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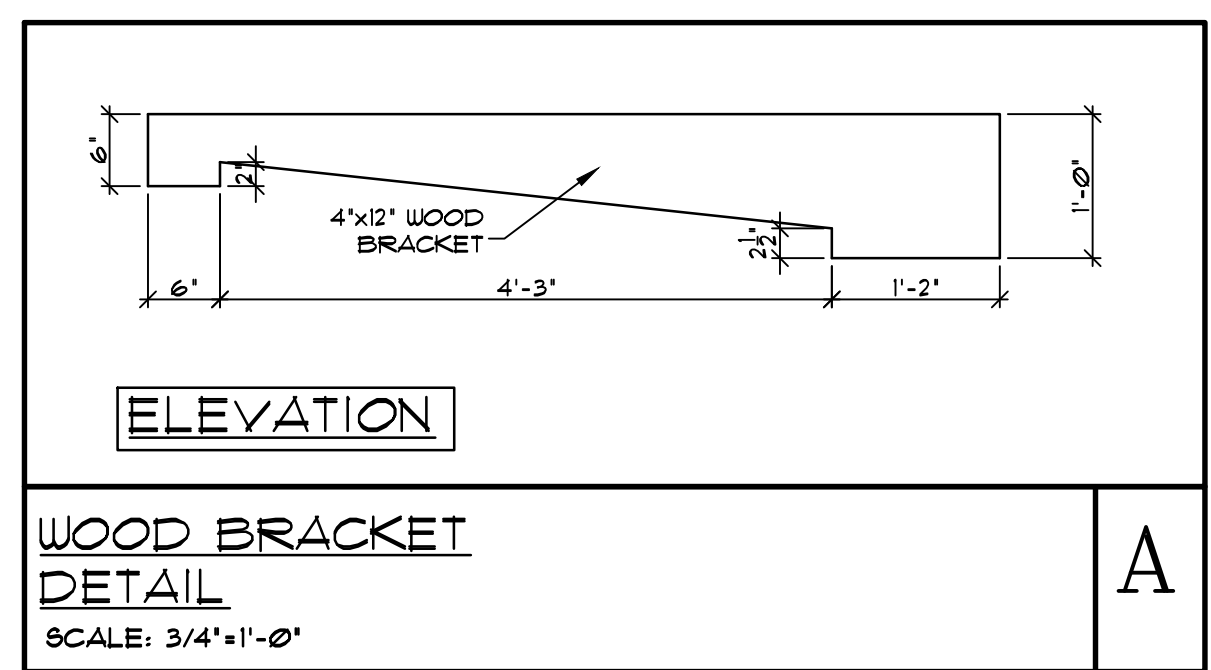
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8 OF 21



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NOTE :	
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2011 F.B.C. R302.3.1.	
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2011 F.B.C. R302.3.2.	
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 2011 F.B.C. 302.10.1.	
ELEVATION KEY NOTES	
20.0 FINISHES/VENEERS	21.0 DECORATIVE ELEMENTS
20.1 SMOOTH STUCCO FINISH COLOR: WHITE	21.1 DECORATIVE ALUMINUM SHUTTERS (TO BE SELECTED BY OWNER)
20.2 FLORIDA KEYSTONE VENEER (TYP.) (TO BE SELECTED BY OWNER)	21.2 DECORATIVE ALUM. BAHAMAS SHUTTERS (TO BE SELECTED BY OWNER)
20.3 FLAT CEMENT TILE ROOF (TYPICAL • ALL ROOFS)	21.3 3"x8" DECORATIVE CYPRESS RAFTER TAILS • 30" O.C. (UON) (TO BE SELECTED BY OWNER)
20.4 6" WIDE STUCCO SIDING (TYP. UON)	21.4 VERTICAL GARDEN / LIVING WALL
20.5 60" HI. ALUM. LOUVERED PANEL CHARCOAL COLOR TO REJECT A 4" SPHERE (SEE DETAIL 'A1' AT A-22)	21.5 LIGHT FIXTURE
20.6 38" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" SPHERE. (TYP. ALONG STAIRS)	21.6 FLOATING STEPS W/INDIRECT LIGHTING (TYP.)
20.7 42" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" SPHERE. (TYP. • LANDINGS AND BALCONIES)	21.7 -
20.8 34" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING ON 8" HI. CURB, TO REJECT A 4" SPHERE (TYP. • REAR TERRACES)	21.8 20" HI. DECORATIVE BRACKETS
20.9 1" PRECAST MOULDING	21.9 4" STONE BAND
20.10 WOOD COLUMN WITH WOOD BASE.	21.10 4" STUCCO BAND
	21.11 5" STUCCO BAND
	21.12 2" STUCCO BAND

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2011.
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FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

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REAR ELEVATION

SCALE : 1/4" = 1'-0"

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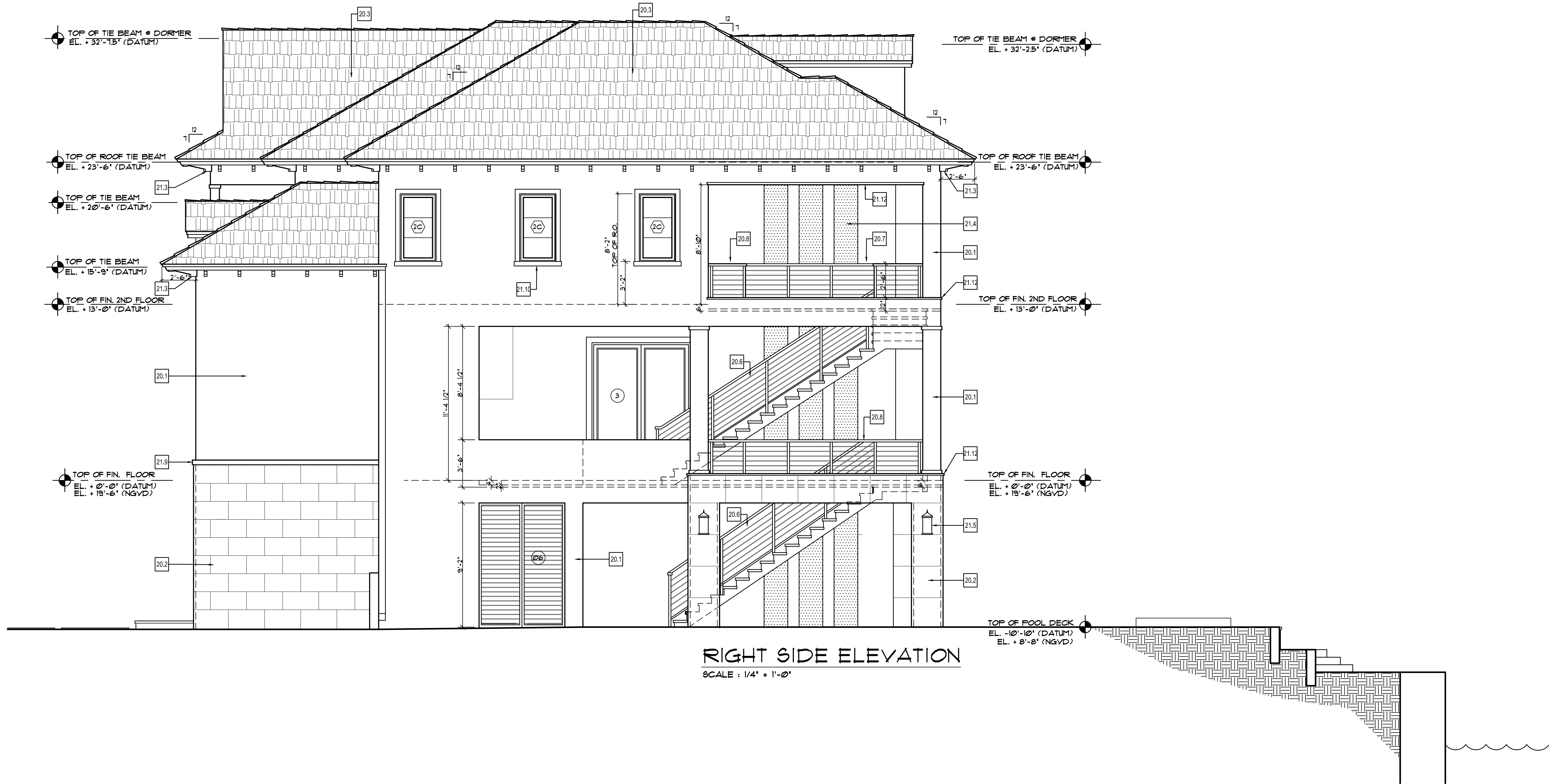
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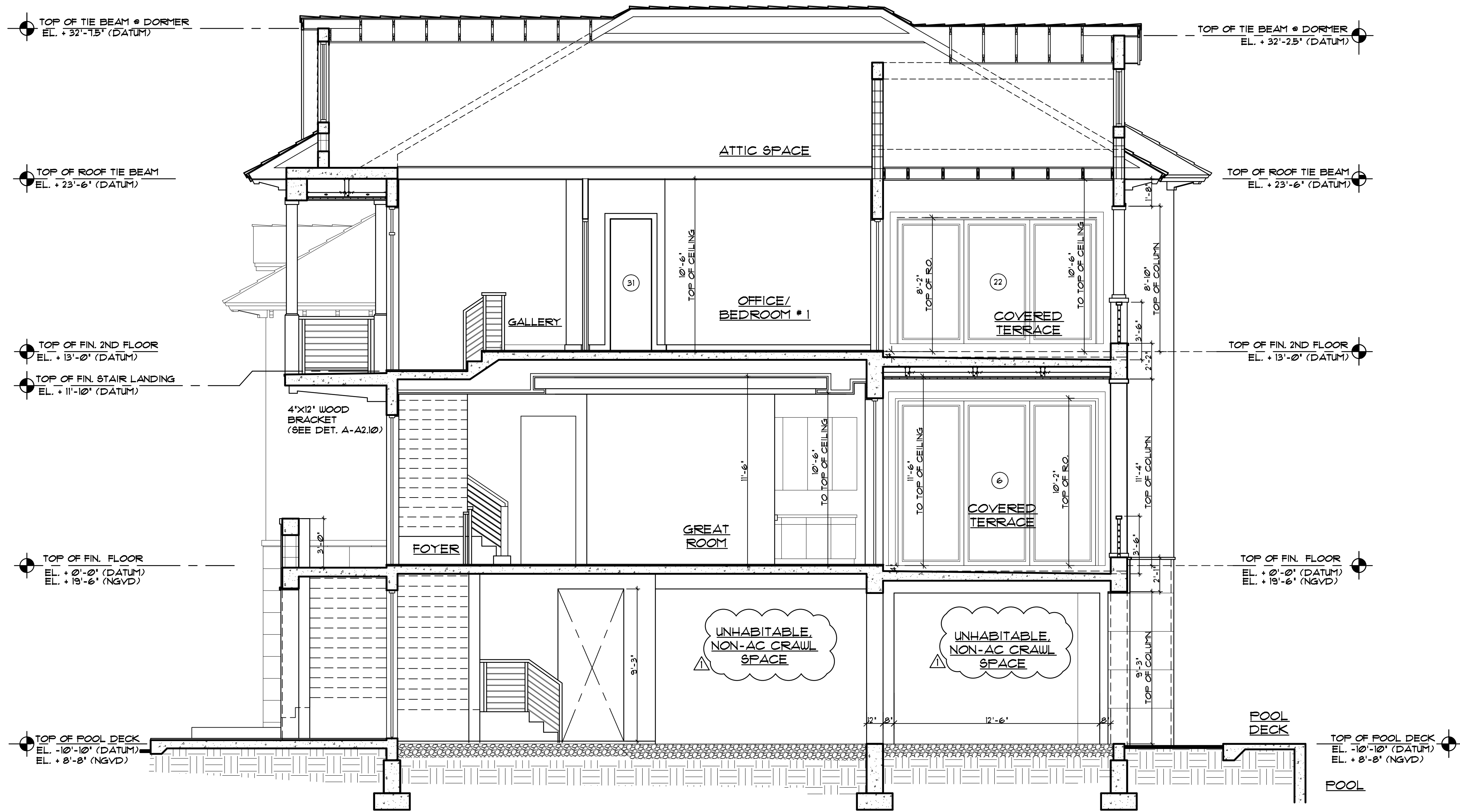
FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

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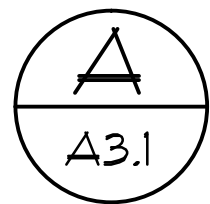
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SECTION
SCALE : 1/4" = 1'-0"



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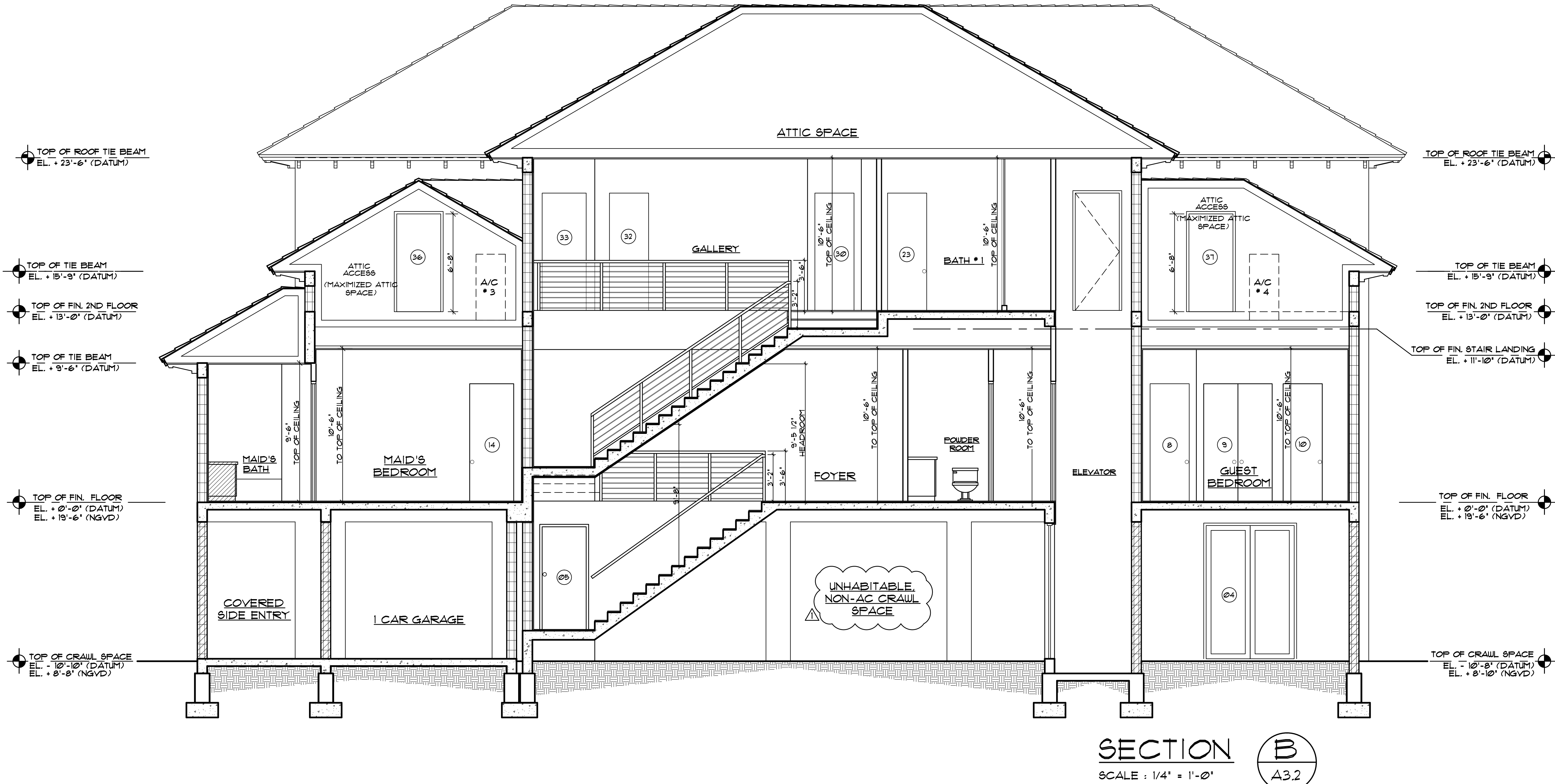
GENERAL SECTION/
DETAILS
SCALE : 1/4" = 1'-0"

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

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DATE: 02/19/21	ISSUED: 02/24/21	DRAWN: R.A.	CHECKED: A.R.	PROJECT NO. _____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____



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GENERAL SECTIONS

SCALE : 1/4" = 1'-0"

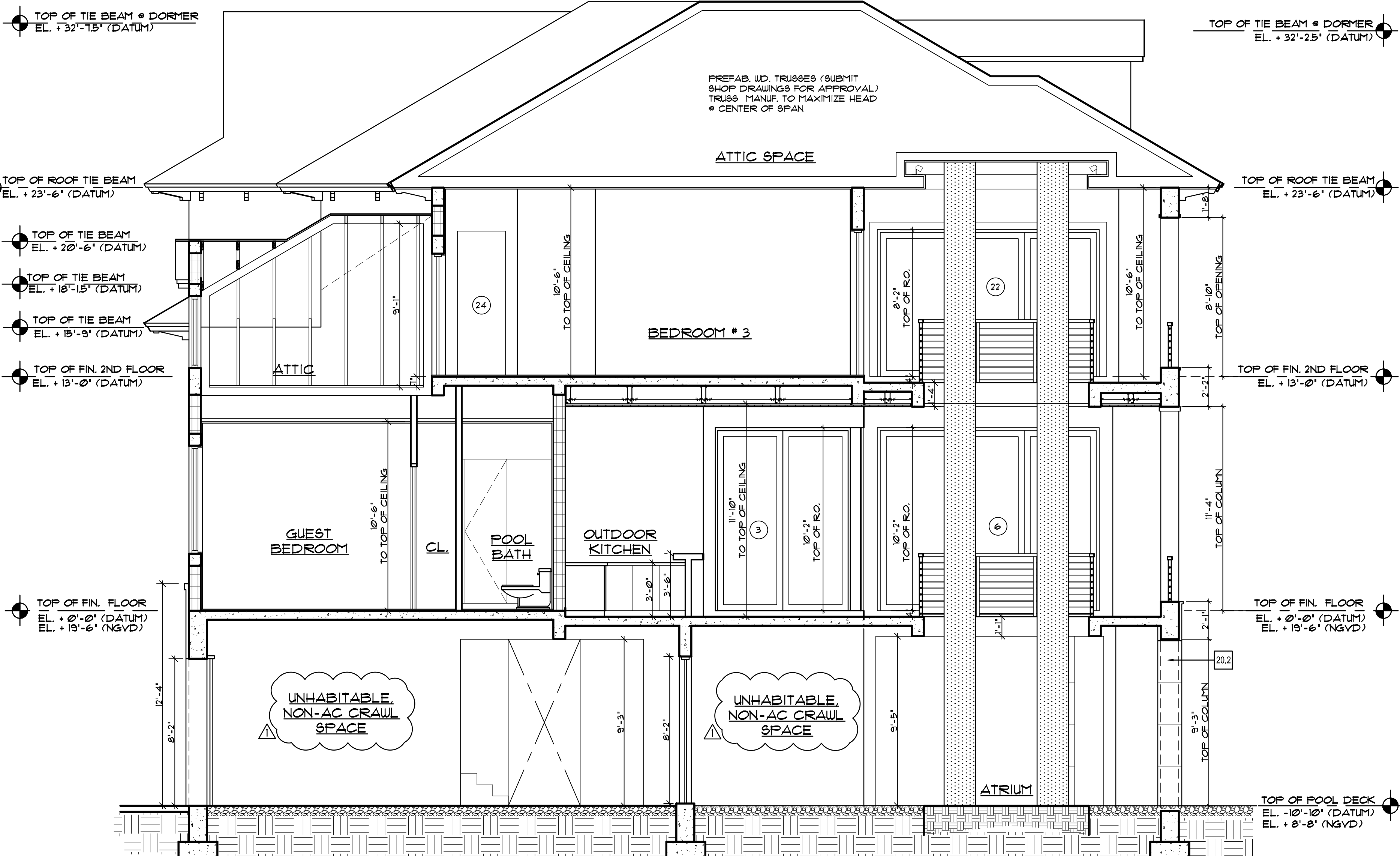
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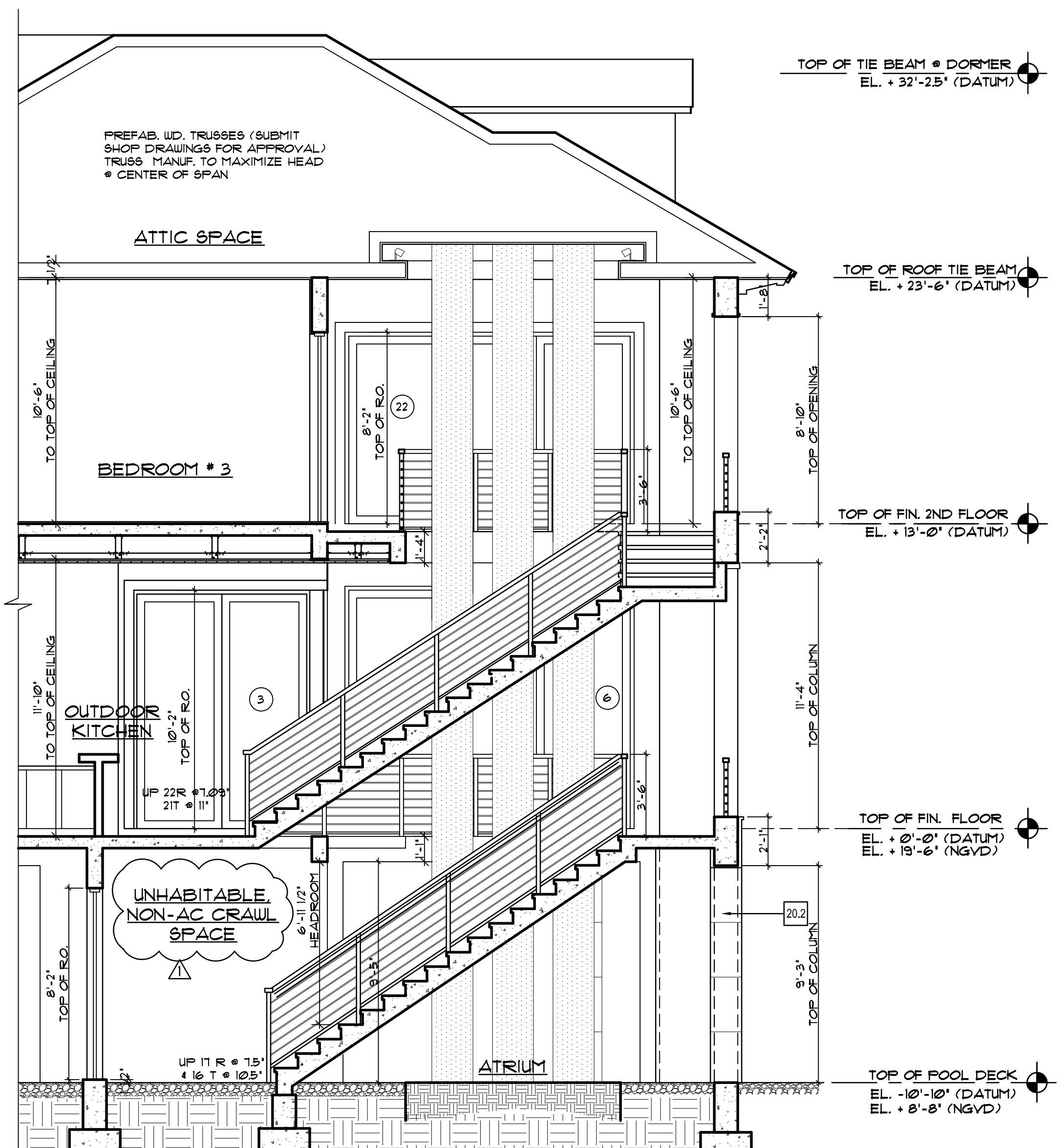
STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
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SECTION C
SCALE : 1/4" = 1'-0"



SECTION D
SCALE : 1/4" = 1'-0"

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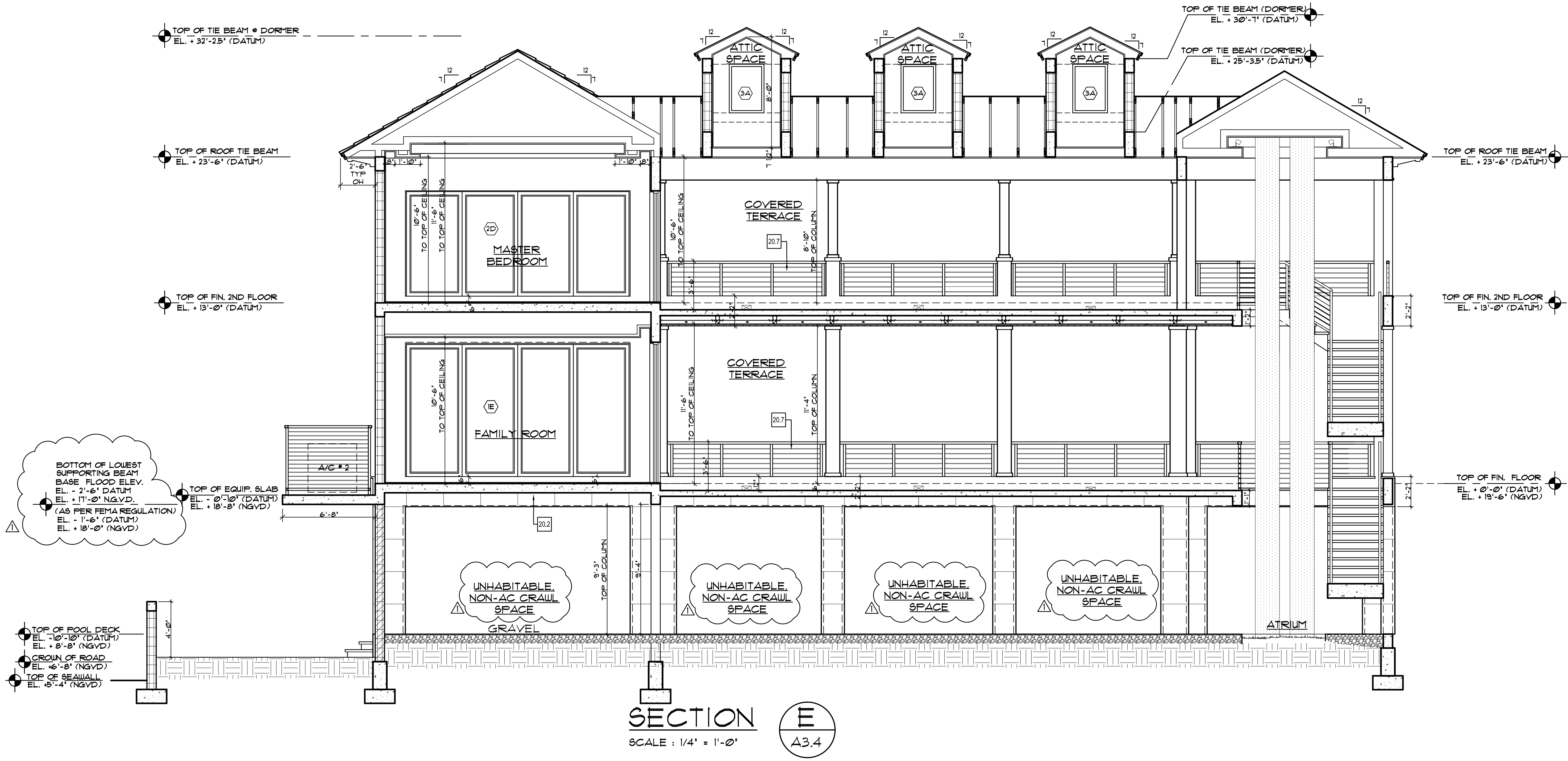
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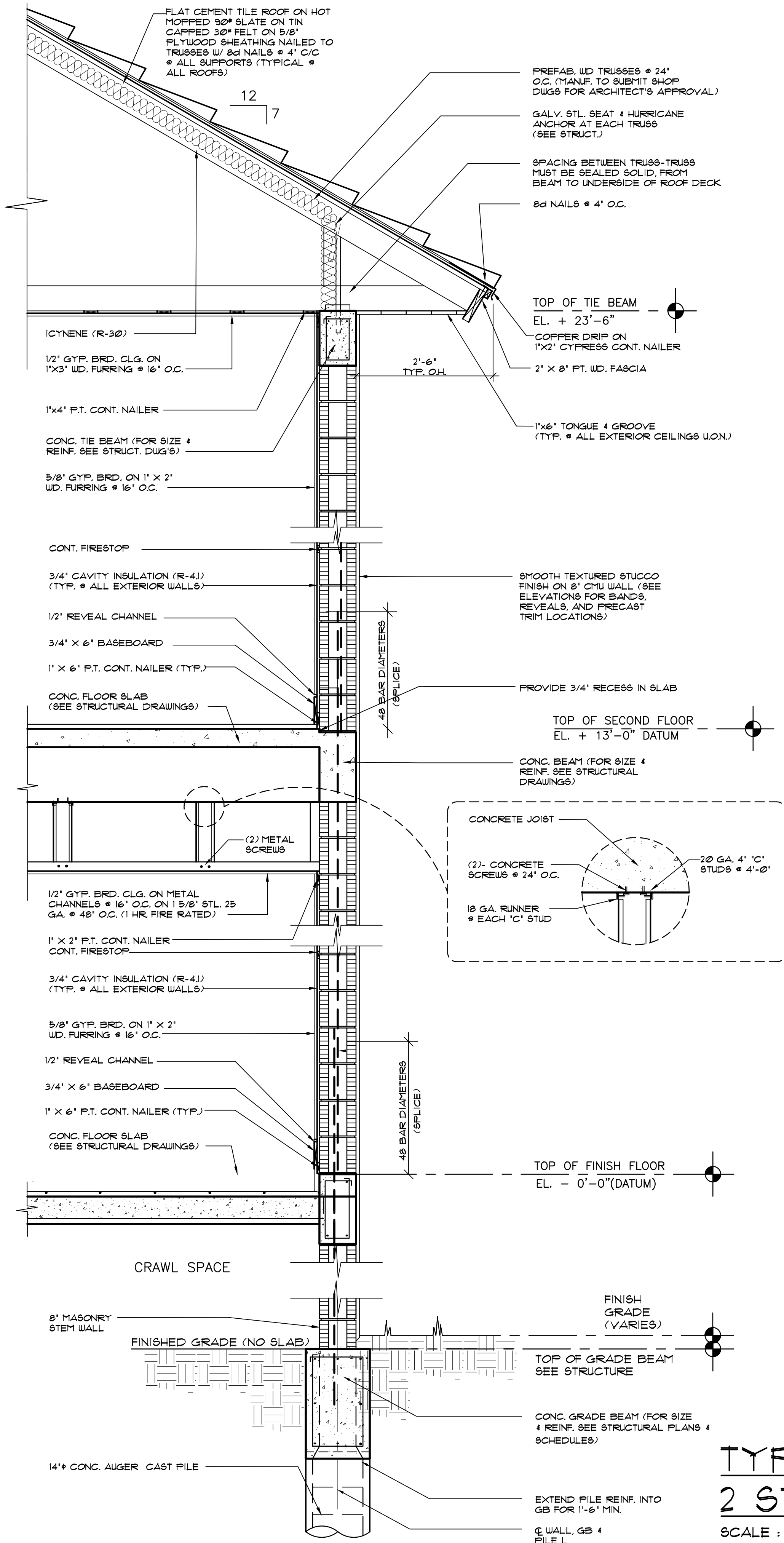
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TYPICAL
2 STORY WALL SECTION
SCALE : 3/4" = 1'-0"

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DOOR SCHEDULE										
CRAWL SPACE										
NO.	LOCATION	SIZE			TYPE	MATRL.	FINISH	THRSHLD.	FRAME	REMARKS
		WIDTH	HEIGHT	THICK						
* (01)	BASEMENT ENTRY	6'-0"	9'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	LOUVERS DOOR
* (02)	1 CAR GARAGE	10'-0"	9'-0"	1-3/4"	OVER-HEAD	WOOD/AL	PAINTED	1 1/2" RAINCUT	WOOD	
* (03)	CRAWL SPACE	10'-0"	9'-0"	1-3/4"	OVER-HEAD	WOOD/AL	PAINTED	1 1/2" RAINCUT	WOOD	DECORATIVE, NON-OPERABLE DOOR
* (04)	CRAWL SPACE	6'-0"	9'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	LOUVERS DOOR
* (05)	STAIRS	3'-0"	7'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
* (06)	CRAWL SPACE	6'-0"	9'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	LOUVERS DOOR
GROUND FLOOR										
* (1)	COVERED ENTRY	6'-0"	9'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
* (2)	POOL BATH	2'-4"	10'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
* (3)	LIVING ROOM	7'-0"	10'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
* (4)	LIVING ROOM	10'-0"	10'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
* (5)	GREAT ROOM	20'-0"	10'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
* (6)	FAMILY ROOM	12'-0"	10'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(7)	POWDER ROOM	2'-6"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	
(8)	GUEST BEDROOM	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(9)	CLOSET	4'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(10)	POOL BATH	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	
(11)	LINEN	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(12)	A/C #2	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	FULLY GASKETED DOOR
(13)	LAUNDRY ROOM	3'-0"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	
(14)	MAID'S BEDROOM	3'-0"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	H/C ACCESSIBLE
(15)	MAID'S BATH	3'-0"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	H/C ACCESSIBLE
(16)	CLOSET	4'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
SECOND FLOOR										
(17)	BALCONY	6'-0"	8'-0"	1-3/4"	FRENCH	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL W/ 18"H. TRANSOM
(18)	BEDROOM #3	12'-0"	8'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(19)	BEDROOM #2	8'-0"	8'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(20)	BEDROOM #1	8'-0"	8'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(21)	MASTER BATH	8'-0"	8'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(22)	MASTER BEDROOM	12'-0"	8'-0"	1-3/4"	SLIDING	AL/GL	FACT. FIN	ALUM.	ALUM.	CAT. II, SAF. GL
(23)	BATH #1	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	
(24)	BEDROOM #3	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(25)	CLOSET	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(26)	BATH #3	2'-6"	8'-0"	1-3/4"	POCKET	WOOD	FACT. FIN	MARBLE	WOOD	
(27)	BEDROOM #2	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(28)	W.I.C. #2	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(29)	BATH #2	2'-6"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN	MARBLE	WOOD	
(30)	OFFICE/BEDROOM #1	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(31)	W.I.C. #1	2'-6"	8'-0"	1-3/4"	POCKET	WOOD	FACT. FIN		WOOD	
(32)	LINEN	2'-8"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(33)	MASTER BEDROOM	3'-0"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(34)	MASTER BATH	3'-0"	8'-0"	1-3/4"	POCKET	WOOD	FACT. FIN	MARBLE	WOOD	
(35)	MASTER W.I.C.	3'-0"	8'-0"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(36)	ATTIC ACCESS	3'-0"	6'-8"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
(37)	ATTIC ACCESS	3'-0"	6'-8"	1-3/4"	SOLID CORE	WOOD	FACT. FIN		WOOD	
* 1. All doors & windows with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen are opened. The alarm shall sound continuously for a minimum of 30 seconds immediately after the door is opened and be capable of being heard throughout the house during normal household activities. The alarm shall automatically reset under all conditions. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15 seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.										
+ 2. Other means of protection, such as self-closing doors with self-latching devices or doors with positive mechanical latching locking devices installed a minimum 54 inches above the threshold, which are approved by the administrative authority, shall be accepted.										
++ 3. Coordinate thickness of door with manufacturer.										
4. Impact resistant, means of escape. (As per F.B.C. 2017)										

U-FACTOR = _____ Impact Glass, Clear

SHGC = _____

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2017.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. @ 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTTOM.
AS PER F.B.C. 2017, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
• EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC.
• EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER FBC.
• ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2017: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING AN OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

WINDOW SCHEDULE					
CRAWL SPACE					
SYMBOL	QTY	TYPE	OVERALL SIZE WIDTH X HT	THICKNESS	REMARKS
(04)	2	MOD. CAS.	32 X 60	3/4"	
GROUND FLOOR					
(1A)	2	MOD. CAS.	28 X 42	3/4"	CAT II, SAF. GL.
(1B)	2	(2) MOD. CAS.	64 X 72	3/4"	EGRESS
(1C)	4	MOD. CAS.	32 X 72	3/4"	CAT II, SAF. GL. (POUNDER ROOM)
(1D)	1	FIXED	63 X 122	3/4"	CAT II, SAF. GL.
(1E)	1	(4) FIXED	194 X 117	3/4"	CAT II, SAF. GL.
SECOND FLOOR					
(2A)	4	MOD. CAS.	28 X 48	3/4"	
(2B)	2	MOD. CAS.	32 X 72	3/4"	CAT II, SAF. GL. (BATH #1)
(2C)	6	MOD. CAS.	32 X 60	3/4"	CAT II, SAF. GL. (BATH #3)
(2D)	1	(4) FIXED	194 X 94	3/4"	CAT II, SAF. GL.
ATTIC					
(3A)	1	MOD. CAS.	30 X 42	3/4"	
1. All windows with direct access to the pool area w/ sills less than 48" A.F.F. shall be equipped with an alarm which produces an audible warning when the window and its screen are opened as per FBC 2017. The alarm shall sound continuously for a minimum of 30 seconds immediately after the window is opened and be capable of being heard throughout the house during normal household activities. The alarm shall automatically reset under all conditions. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15 seconds. The deactivation switch shall be located at least 54 inches above finish floor.					

ROOM FINISH SCHEDULE					
CRAWL SPACE					
LOCATION	BASEBOARD	WALL	CEILING	REMARKS	
BASEMENT ENTRY	STONE	STUCCO	GYP. BD.		
CRAWL SPACE	STONE	STUCCO	GYP. BD.		
1 CAR GARAGE	EXP. CONC.	STUCCO	GYP. BD.		
GROUND FLOOR					
COVERED ENTRY	STONE	STUCCO	T&G	NON-SLIPPERY FLOOR FIN.	
FOYER	STONE	WOOD	GYP. BD.	GYP. BD.	
LIVING	STONE	WOOD	GYP. BD.	GYP. BD.	
GREAT ROOM	STONE	WOOD	GYP. BD.	GYP. BD.	
DINING	STONE	WOOD	GYP. BD.	GYP. BD.	
FAMILY ROOM	STONE	WOOD	GYP. BD.	GYP. BD.	
KITCHEN/ BREAKFAST	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
POUNDER ROOM	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
GUEST BEDROOM	STONE	WOOD	GYP. BD.	GYP. BD.	
POOL BATH	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
LINEN	STONE	WOOD	GYP. BD.	GYP. BD.	
A/C #2	STONE	WOOD	GYP. BD.	GYP. BD.	
LAUNDRY ROOM	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
MAID'S BEDROOM	STONE	WOOD	GYP. BD.	GYP. BD.	
MAID'S BATH	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
OUTDOOR KITCHEN	STONE	STUCCO	T&G	NON-SLIPPERY FLOOR FIN.	
COVERED TERRACE	STONE	STUCCO	T&G	NON-SLIPPERY FLOOR FIN.	
SECOND FLOOR					
BALCONY	STONE	STUCCO	T&G	NON-SLIPPERY FLOOR FIN.	
GALLERY	STONE	WOOD	GYP. BD.	GYP. BD.	
MASTER BEDROOM	WOOD	WOOD	GYP. BD.	GYP. BD.	
MASTER W.I.C.	WOOD	WOOD	GYP. BD.	GYP. BD.	
MASTER BATH	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
LINEN	STONE	WOOD	GYP. BD.	GYP. BD.	
OFFICE/ BEDROOM #1	WOOD	WOOD	GYP. BD.	GYP. BD.	
W.I.C. #1	WOOD	WOOD	GYP. BD.	GYP. BD.	
BATH #1	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
BEDROOM #2	WOOD	WOOD	GYP. BD.	GYP. BD.	
BATH #2	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
W.I.C. #2	WOOD	WOOD	GYP. BD.	GYP. BD.	
BEDROOM #3	WOOD	WOOD	GYP. BD.	GYP. BD.	
BATH #3	STONE	WOOD	M.R. GYP. BD.	M.R. GYP. BD.	
CLOSET	STONE	WOOD	GYP. BD.	GYP. BD.	
COVERED TERRACE	STONE	STUCCO	T&G	NON-SLIPPERY FLOOR FIN.	
NOTES: - SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTENT AND NONABSORBENT WATER-RESISTENT MATERIALS TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE COMPARTMENT FLOOR AT THE DRAIN AS PER F.B.C. 2017. * 1"x6" T&G PLANKS (TYP. @ ALL EXT. CL'GS U.O.N.). ** 1/2" DUROCK TO BE USED AS BACKER BOARD FOR TILES AND SHOWER COMPARTMENTS.					

SHOWER NOTE : AS PER 2017 F.B.C. RESIDENTIAL, F2108.1, SHOWER COMPARTMENTS SHALL HAVE AT LEAST 900 SQUARE INCHES (0.6m ²) OF INTERIOR CROSS-SECTIONAL AREA. SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES (762 mm) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE SHOWER COMPARTMENT, EXCLUSIVE OF FIXTURE VALVES, SHOWER HEADS, SOAP DISHES, AND SAFETY GRAB BARS OR RAILS. THE MINIMUM REQUIRED AREA AND DIMENSION SHALL BE MEASURED FROM THE FINISHED INTERIOR DIMENSION AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE AND SHALL BE CONTINUED TO A HEIGHT OF NOT LESS THAN 10 INCHES (254 mm) ABOVE THE SHOWER DRAIN OUTLET. HINGED SHOWER DOORS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R702.4. SUCH WALLS SHALL FORM A WATER-TIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB, RECEPTOR OR SHOWER FLOOR. EXCEPTIONS: 1. FOLD-DOWN SEATS SHALL BE PERMITTED IN THE SHOWER, PROVIDED THE REQUIRED 900-SQUARE-INCH (0.6 m ²) DIMENSION IS MAINTAINED WHEN THE SEAT IS IN THE FOLDED-UP POSITION. 2. SHOWER COMPARTMENTS HAVING NOT LESS THAN 25 INCHES (635 mm) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE COMPARTMENT PROVIDED THAT THE SHOWER COMPARTMENT HAS A MINIMUM OF 1300 SQUARE INCHES (0.838 m ²) OF CROSS-SECTIONAL AREA. F2108.1.1 ACCESS, THE SHOWER COMPARTMENT ACCESS AND EGRESS OPENING SHALL HAVE A MINIMUM CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES (559 mm).
STAIRWAY NOTES: AS PER FBC R311.3, A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12'-3" BETWEEN FLOOR LEVELS AS PER FBC R311.3.2, MINIMUM HEADROOM IS 6'-8" MEASURED FROM SLOPED PLANE AT TREAD NOSING OR FLOOR SURFACE OF LANDING AS PER FBC R311.5.2, MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" AS PER FBC R311.5.1, MAXIMUM RISER HEIGHT SHALL BE 7-3/4". THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30° FROM THE VERTICAL. AS PER FBC R311.7.1, OPEN RISERS TO PREVENT PASSAGE OF 4" DIAMETER SPHERE (EXCEPT SPIRAL STAIRS)

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHAP DIGGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)



RESIDENCE FOR: **800 LUGO AVENUE** FLORIDA
CORAL GABLES

OWNER: **MR. MICHAEL SYMONS**

DATE: 02/19/21

ISSUED: RA

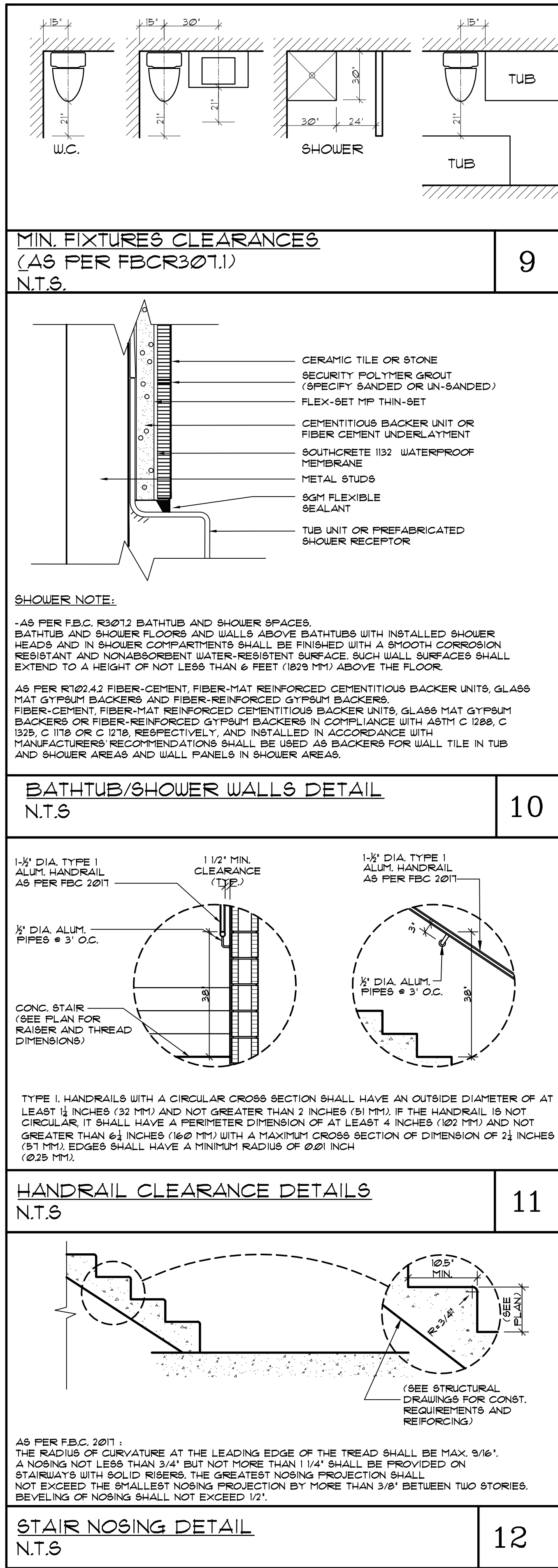
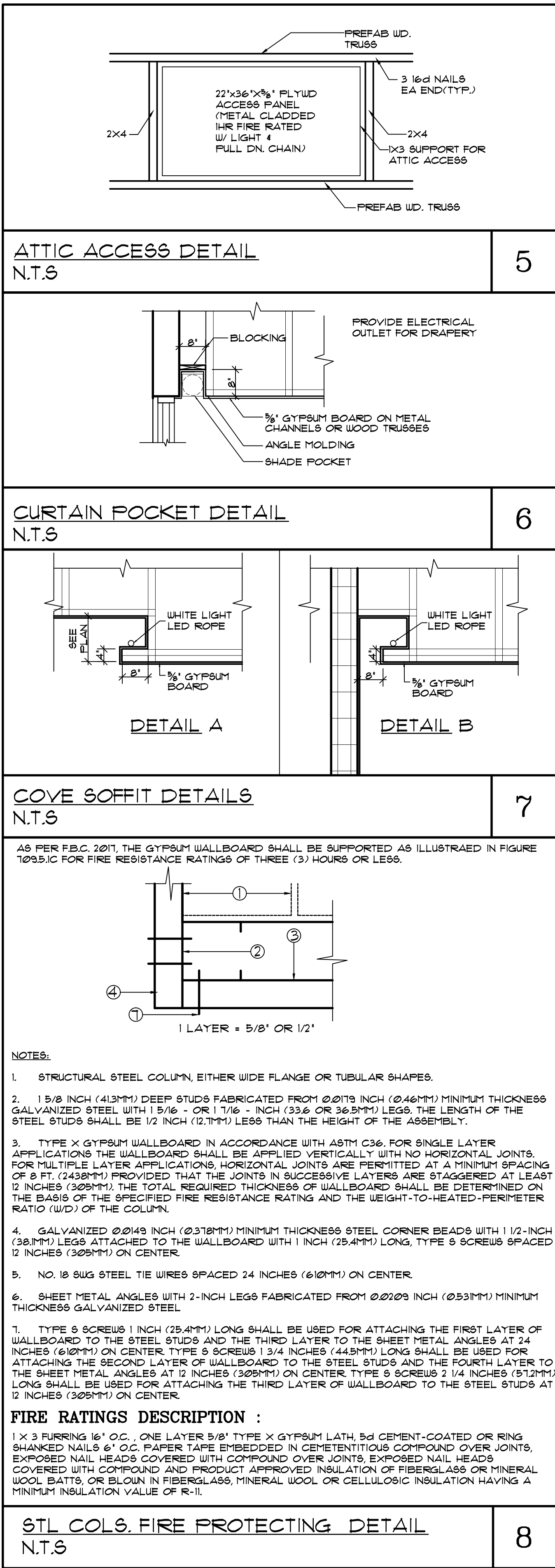
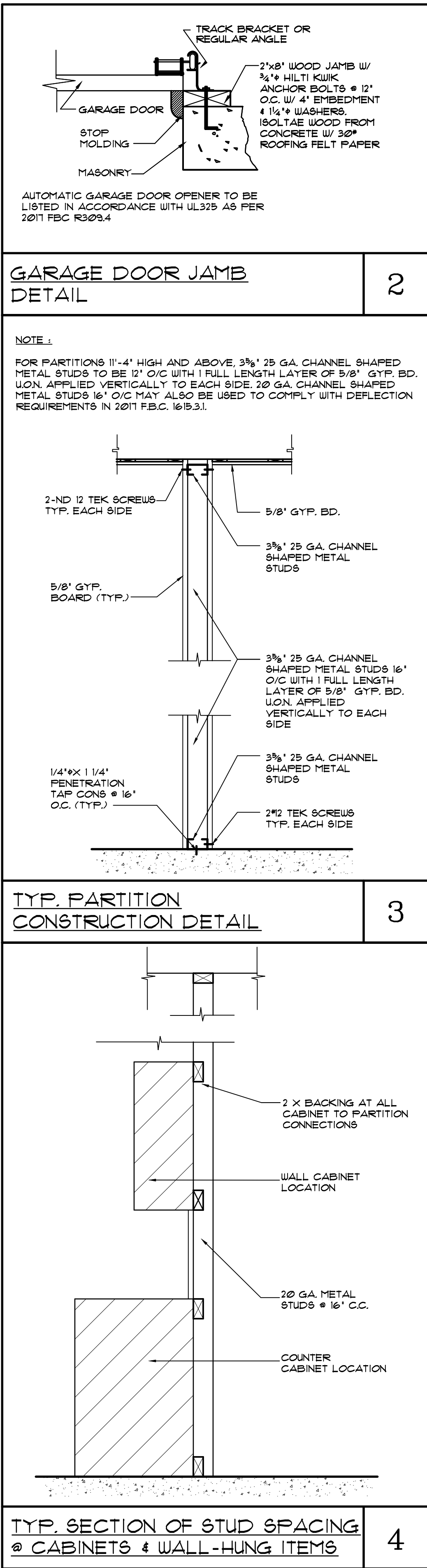
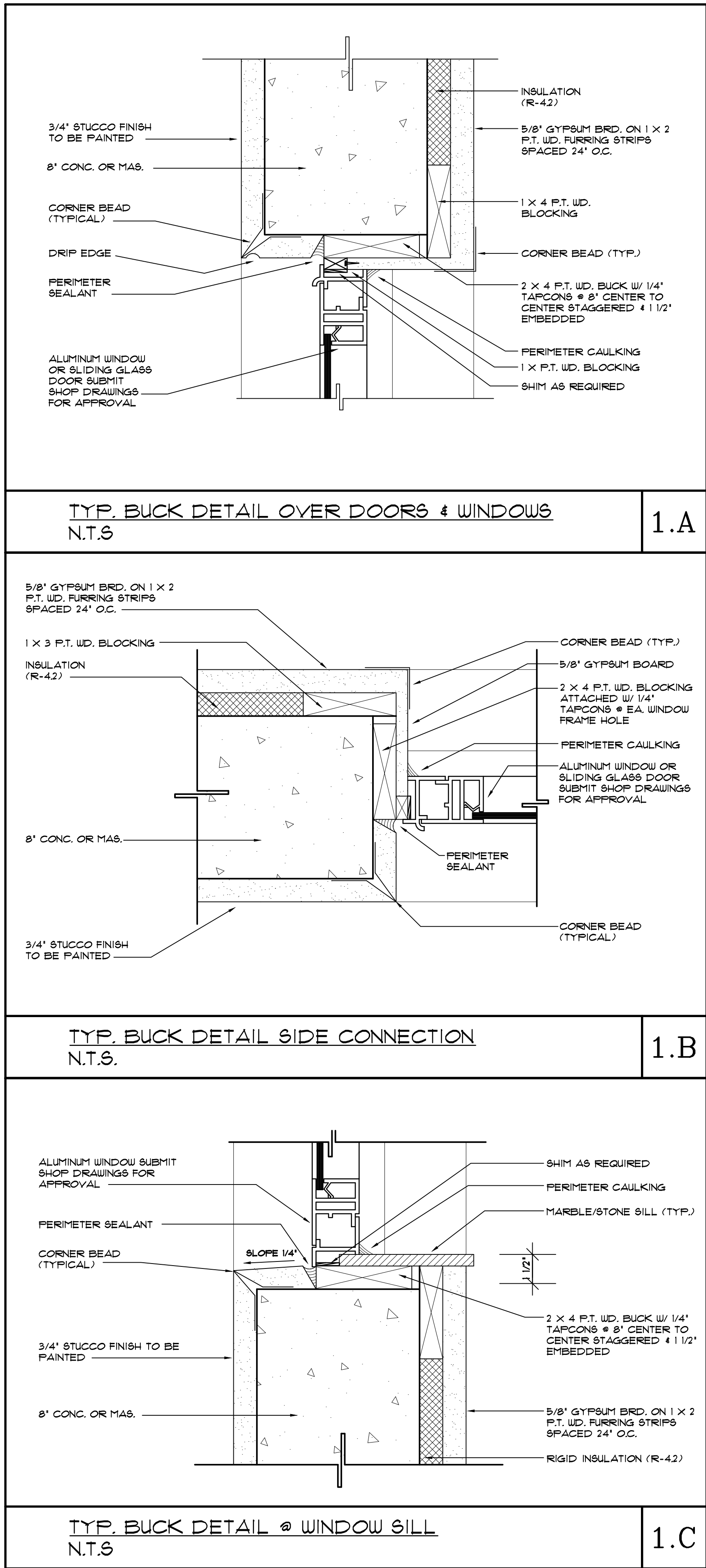
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A4.2
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ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER FBC 2011. ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. @ 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT. AS PER FBC 2011, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.	VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER FBC. ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)	ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2011: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
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TYPICAL INTERIOR DETAILS

SCALE : AS NOTED

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORE SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RESIDENCE FOR:
800 LUGO AVENUE
FLORIDA
CORAL GABLES

OWNER:
MR. MICHAEL SYMONS

DATE: 02/19/21
ISSUED: R.A.
DRAWN: A.R.
CHECKED: A.R.
PROJECT NO.:

SHEET:
A5.1
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