

SKETCH OF BOUNDARY SURVEY

SURVEYOR'S NOTES:
The property described on this Sketch of Topographic Boundary Survey is the same property as described in Exhibit "A" in Title Insurance Commitment File Number: 987754, Commitment Date: November 25th, 2020 at 11:00 PM issued by Old Republic National Title Insurance Company.

The accompany Survey was made on the ground from March 9th, 2021 to March 16th, 2021 and correctly shows the location of the existing improvements, above ground utilities, and other improvements situated on the above premises and that there are no visible encroachments on the subject property or upon adjacent land abutting said property.

The total area of the surveyed parcel as described herein contains approximate 53,191.06 square feet more or less (1.22) acres more or less. The square footage was calculated up to the existing property line and up to the lake's water edge at the time of survey. Please note that the lake's water edge varies upon direct impact from weather elements such as rain, drought, etc.

All distances as shown hereon are based on the US Survey foot.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120639 (City of Coral Gables) 12086 C, 0450 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the herein described parcel of land to be situated within the following Flood Zones as designated by the Federal Emergency Management Agency (FEMA).

The subject lands crosses 3 different Flood Zones as follows:

- Flood Zone "X", areas determined to be outside the 0.2% annual chance floodplain.
- Flood Hazard Zone "AH". Base Flood Elevation 7 feet.
- Flood Hazard Zone "AE". Base Flood Elevation 7 feet.

Base Flood Elevation(s) "AH" 7' and "AE" 7' refers to the NGVD 1929 Datum.

The existing dwelling structure located within the subject lands lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain.

Delineation between Flood Zone lines were determine by the scale factor and are shown on the Survey drawing. All physical lines shown in this survey as pertaining to Flood Zone delineations are herein for the main purpose of reference only and cannot be used for construction design of any kind. These lines are the result of an approximation extracted from FEMA maps and are not depicted on any exact location with reference tied points or geometry. In the event of a design or construction close to these lines, architect or engineer should seek additional information or permission directly from FEMA agents.

All elevations as shown on this survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

BENCHMARK REFERENCES:

- City of Coral Gables BM # 495
Elevation: 18.75 feet NGVD (1929) Datum
OLD CUTLER RD / SOLANO PRADO= ZODIAC SCULPTURE OLD CUTLER BAY ENT PKBW SET ON POC OF CURB @ ZODIAC SCULPTURE @ OLD CUTLER BAY ENT CTR SOLANO PRADO S SIDE OLD CUTLER RD.

- City of Coral Gables BM # 617
Elevation: 19.72 feet NGVD (1929) Datum
OLD CUTLER RD JOURNEY'S END RD= E SIDE OLD CUTLER CTR JOURNEY'S END RD PKBW POC CONC CURB MEDIAN JOURNEY'S END RD 46 FT E OF CL OLD CUTLER RD.

The floor elevations as shown on this survey drawing were taken from the outside of the house only. No access was available to the surveyor to the inside of the house at the time of survey. There may be different levels of elevation inside the house not known to the surveyor.

This last revision of the survey on September 28th, 2021 was to clear the survey drawing from elevations and only show those as requested by the client.

Bearings are based/referred to an assumed meridian where the Northerly boundary line of the subject property bears N 87° 49' 12.5" E, as shown on Plat Book 44, Page 87.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

The measured and calculated dimensions/directions as shown hereon are based on the undersings review of the entire content of the legal description and would be necessary for the survey to have a mathematical closure and conform to the existing rights-of-ways, adjacent plats, adjacent property owners and other calls within the legal description. The dimensions and directions shown hereon are in substantial agreement with record and calculated values unless otherwise noted.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/ Property Appraiser Office and no claims as to ownership are made or implied.

Adjacent properties were not investigated at the time of this Survey.

Obstructed corners are witnessed by improvements.

There is no observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.

There is no observable evidence of recent street or sidewalk construction and or repairs within the Public Right of Way.

There are no additional changes in street right of way lines completed or proposed which have been made known to the Surveyor and are disclosed on the survey drawing.

There is no observable evidence that any portion of site lies within a wetland area, nor was there are any evidence provided to the surveyor that the site was delineated as a wetland area by the proper authorities. Subject property is directly affected by a body of water along the Westerly boundary (Lake Hammock), it is not known to the surveyor if this property was at any time submerged. Subject property does not appear to be artificially filled. This Survey does not reflect any riparian or littoral rights.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances. Only the easements provided to the surveyor are noted or plotted hereon. This office has not performed any title search or any search in the Public or Private Records for easements.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions could be found in the Public Records or Building and Zoning Department of Miami-Dade County, Florida and the City of Coral Gables.

Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership are made or implied.

Legal description subject to any dedications, limitations, reservations or easements of records; search of the Public Records not performed by this office. Code Restrictions not reflected on this survey.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

Only the above ground visible surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. Underground utility references based on limited information provided by the utility company. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

The scope of this survey is to define the boundary lines as defined by the deed and referenced plats, and show all above ground improvements.

No underground footings were located and no subsurface investigation was performed at the time of survey.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

Distances from property lines to fences or walls may slightly varies due to their irregularity, width and composition. Fences or walls not always travel on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines, therefore the resultant of said dimensions as shown hereon may vary slightly within 0.30' to 0.50' of a foot more or less.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

Call 811 or visit www.sunshine811.com before digging.

This survey is intended for the use of the parties to whom this survey is certified to and for. Any reproduction is not an original. This surveyor retains an original to verify these dated contents for validity.

This survey was conducted for the purpose of a "Topographic Boundary Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity. This survey does not reflect or determine ownership.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(3)(b)15.b.ii 1 foot in 10,000 feet for Commercial / High Risk Areas.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format. This map is intended to be displayed at a scale of 1" = 20'.

The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within 1 to 2 feet more or less.

The Tree Table as shown hereon was prepared by certified Arborist Jeff Schimonski, information below:

President, Tropical Designs of Florida, Inc.
Member, American Society of Consulting Arborists
ISA Certified Arborist Municipal Specialist FL-1052AM
ISA Tree Risk Assessment Qualification
LIAF Florida Certified Landscape Inspector - 2016-0175
305-773-8406
jeff@TropicalArboriculture.com
www.TropicalDesigns.com
www.MalaysiaFlora.com

TREE TABLE

Jeff Shimonski ISA Certified Arborist FL 1052AM					
9050 Hammock Lake Court, Coral Gables					
	Scientific name	Common name	DBH	H/Ct	Canopy
1	Cocos nucifera	Coconut palm	12"	30'	26'
2	Cocos nucifera	Coconut palm	10"	38'	32'
3	Cocos nucifera	Coconut palm	10"	35'	32'
4	Cocos nucifera	Coconut palm	13"	40'	32'
5	Cocos nucifera	Coconut palm	10"	30'	28'
6	Calophyllum brasiliense	Santa Maria	25"	55'	36'
7	Calophyllum brasiliense	Santa Maria	15"	55'	25'
8	Calophyllum brasiliense	Santa Maria	18"	55'	25'
9	Calophyllum brasiliense	Santa Maria	18"	50'	28'
10	Calophyllum brasiliense	Santa Maria	37"	55'	35'
11	Cocos nucifera	Coconut palm	9"	30'	26'
12	Cocos nucifera	Coconut palm	8"	30'	28'
13	Cocos nucifera	Coconut palm	11"	35'	28'
14	Cocos nucifera	Coconut palm	8"	35'	28'
15	Cocos nucifera	Coconut palm	10"	35'	32'
16	Cocos nucifera	Coconut palm	12"	26'	32'
17	Cocos nucifera	Coconut palm	10"	35'	32'
18	Phoenix roebelenii x 3 tks	Pygmy date palm	18"	13'	24'
19	Quercus virginiana	Live oak	22"	70'	60'
20	Quercus virginiana	Live oak	10"	32'	22'
21	Quercus virginiana	Live oak	20"	45'	45'
22	Dypsis decaryi	Triangle palm	12"	12'	24'
23	Dypsis lutescens	Areca palm	45"	30'	25'
24	Dypsis lutescens	Areca palm	36"	22'	15'
25	Dypsis lutescens	Areca palm	32"	26'	14'
26	Dypsis lutescens	Areca palm	12"	23'	10'
27	Dypsis lutescens	Areca palm	12"	15'	8'
28	Dypsis lutescens	Areca palm	36"	22'	8'
29	Dypsis lutescens	Areca palm	12"	13'	8'
30	Dypsis lutescens	Areca palm	54"	28'	16'
31	Dypsis lutescens	Areca palm	48"	16'	15'
32	Dypsis lutescens	Areca palm	34"	32'	15'
33	Dypsis lutescens	Areca palm	74"	35'	18'
34	Dypsis lutescens	Areca palm	54"	35'	18'
35	Dypsis lutescens	Areca palm	32"	22'	18'

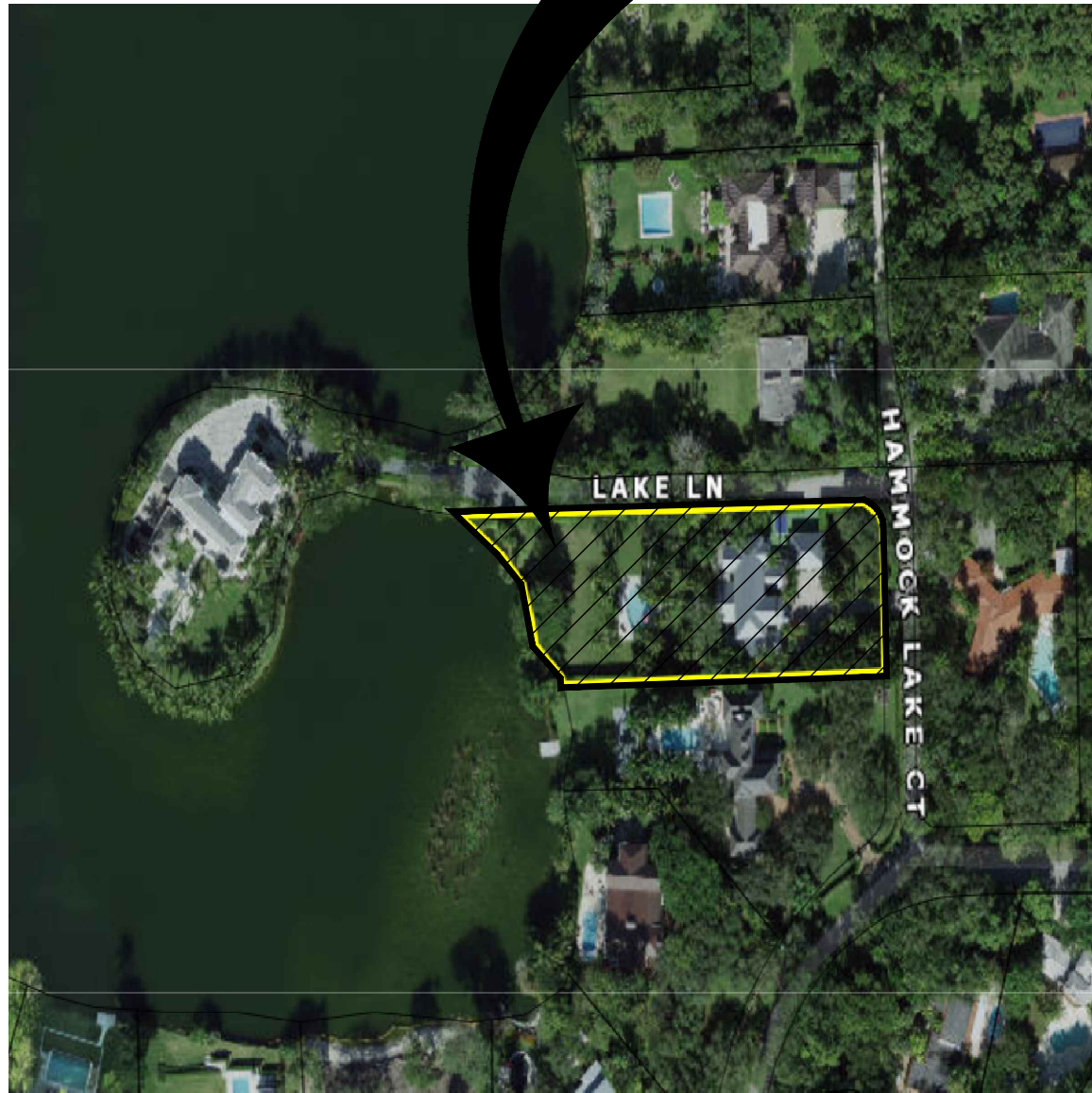
Notes:

H/Ct = overall height of trees and clear trunk of palms

0 in the DBH column = no trunk at 4.5 feet above grade

36	Roystonea regia	Royal palm	19"	35'	32'
37	Quercus virginiana	Live oak	22"	50'	50'
38	cocos nucifera	Coconut palm	18"	35'	38'
39	Cocos nucifera	Coconut palm	9"	35'	28'
40	Cocos nucifera	Coconut palm	9"	28"	24'
41	Cocos nucifera	Coconut palm	12"	35'	26'
42	Cocos nucifera	Coconut palm	10"	30'	28'
43	Cocos nucifera	Coconut palm	8"	20'	24'
44	Cocos nucifera	Coconut palm	11"	30'	28'
45	Bursera simaruba	Gumbo limbo	30"	50'	65'
46	Cocos nucifera	Coconut palm	12"	38'	32'
47	Cocos nucifera	Coconut palm	11"	40'	34'
48	Cocos nucifera	Coconut palm	8"	23'	22'
49	Cocos nucifera	Coconut palm	9"	24'	20'
50	Cocos nucifera	Coconut palm	10"	35'	26'
51	Cocos nucifera	Coconut palm	12"	35'	32'
52	Thrinax radiata x 3 tks	Florida thatch palm	15"	18'	18'
53	Thrinax radiata x 2 tks	Florida thatch palm	10"	16'	14'
54	Washingtonia filifera x 2 tks	Washingtonia palm	22"	30'	25'
55	Terminalia catappa	Tropical almond	29"	60'	70'
56	Cocos nucifera	Coconut palm	8"	22'	30'
57	Cocos nucifera	Coconut palm	10"	45'	32'
58	Cocos nucifera	Coconut palm	9"	35'	34'
59	Cocos nucifera	Coconut palm	13"	40'	32'
60	Cocos nucifera	Coconut palm	10"	32'	30'
61	Cocos nucifera	Coconut palm	9"	32'	32'
62	Cocos nucifera	Coconut palm	8"	35'	34'
63	Dypsis lutescens	Areca palm	88"	30'	45'
64	Dypsis lutescens	Areca palm	8"	23'	14'
65	Dypsis lutescens	Areca palm	11"	28'	12'
66	Dypsis lutescens	Areca palm	44"	23'	30'
67	Dypsis lutescens	Areca palm	5"	26'	8'
68	Phoenix roebelenii x 3 tks	Pygmy date palm	13"	12'	18'
69	Cocos nucifera	Coconut palm	11"	25'	26'
70	Elaeocarpus decipiens	Japanese blueberry	2"	14'	4'
71	Elaeocarpus decipiens	Japanese blueberry	2"	14'	4'
72	Cocos nucifera	Coconut palm	14"	38'	34'
73	Phoenix roebelenii x 3 tks	Pygmy date palm	14'	14'	22'
74	Cocos nucifera	Coconut palm	9"	26'	18'
75	Washingtonia filifera	Washingtonia palm	0	3'	14'

SURVEY SITE



LOCATION MAP NOT TO SCALE

REFERENCE PROPERTY ADDRESS BY MIAMI DADE COUNTY PUBLIC RECORDS:
9050 Hammock Lake Court
Coral Gables, Florida 33156-2223

REFERENCE FOLIO NUMBER BY MIAMI DADE COUNTY PUBLIC RECORDS:
03 5106 002 0260

LEGAL DESCRIPTION:
The North 135 feet of Lot 21, Block 3, Hammock Lake Park, according to the plat thereof as recorded in Plat Book 44, Page 87, Public Records of Miami-Dade County, Florida.

REFERENCES:
- Commitment for Title Insurance under Commitment Number 987754, Commitment Date: November 25th, 2020 at 11:00 PM issued by Old Republic National Title Insurance Company.

- Plat of "CORAL RIDGE LAKE PARK", according to the Plat thereof, as recorded in Plat Book 44, Page 87, of the Public Records of Miami-Dade County, Florida.

- Plat of "HAMMOCK LAKE ACRES", according to the Plat thereof, as recorded in Plat Book 114, Page 13, of the Public Records of Miami-Dade County, Florida.

- Plat of "AMENDED PLAT JOURNEY'S END", according to the Plat thereof, as recorded in Plat Book 34, Page 89, of the Public Records of Miami-Dade County, Florida.

- Plat of "REPLAT OF A PORTION OF BLOCK 2 HAMMOCK LAKE PARK", according to the Plat thereof, as recorded in Plat Book 79, Page 27, of the Public Records of Miami-Dade County, Florida.

- Plat of "RELOCATION OF OLD CUTLER ROAD", according to the Plat thereof, as recorded in Plat Book 50, Page 56, of the Public Records of Miami-Dade County, Florida.

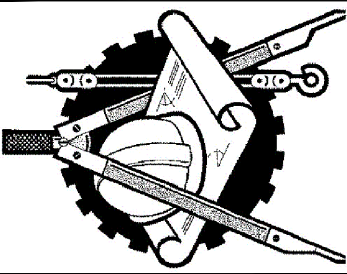
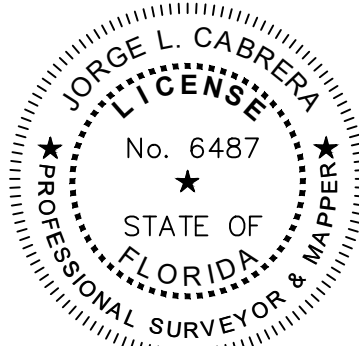
- Plat of "FRENCH ESTATES", according to the Plat thereof, as recorded in Plat Book 66, Page 90, of the Public Records of Miami-Dade County, Florida.

CERTIFIED TO:
STEVEN V. KING, as Trustee of the HLC RESIDENTIAL TRUST DATED MARCH 18, 2021.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
GREGORY T. MARTINI, P.A.

LAST REVISION
09/28/2021
JN 21-5800-B

JORGE L. CABRERA

Professional Surveyor & Mapper, # 6487
State of Florida



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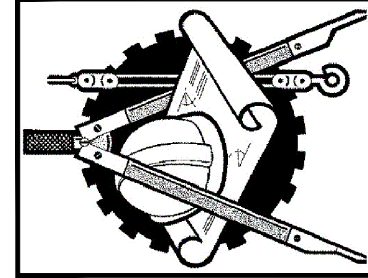
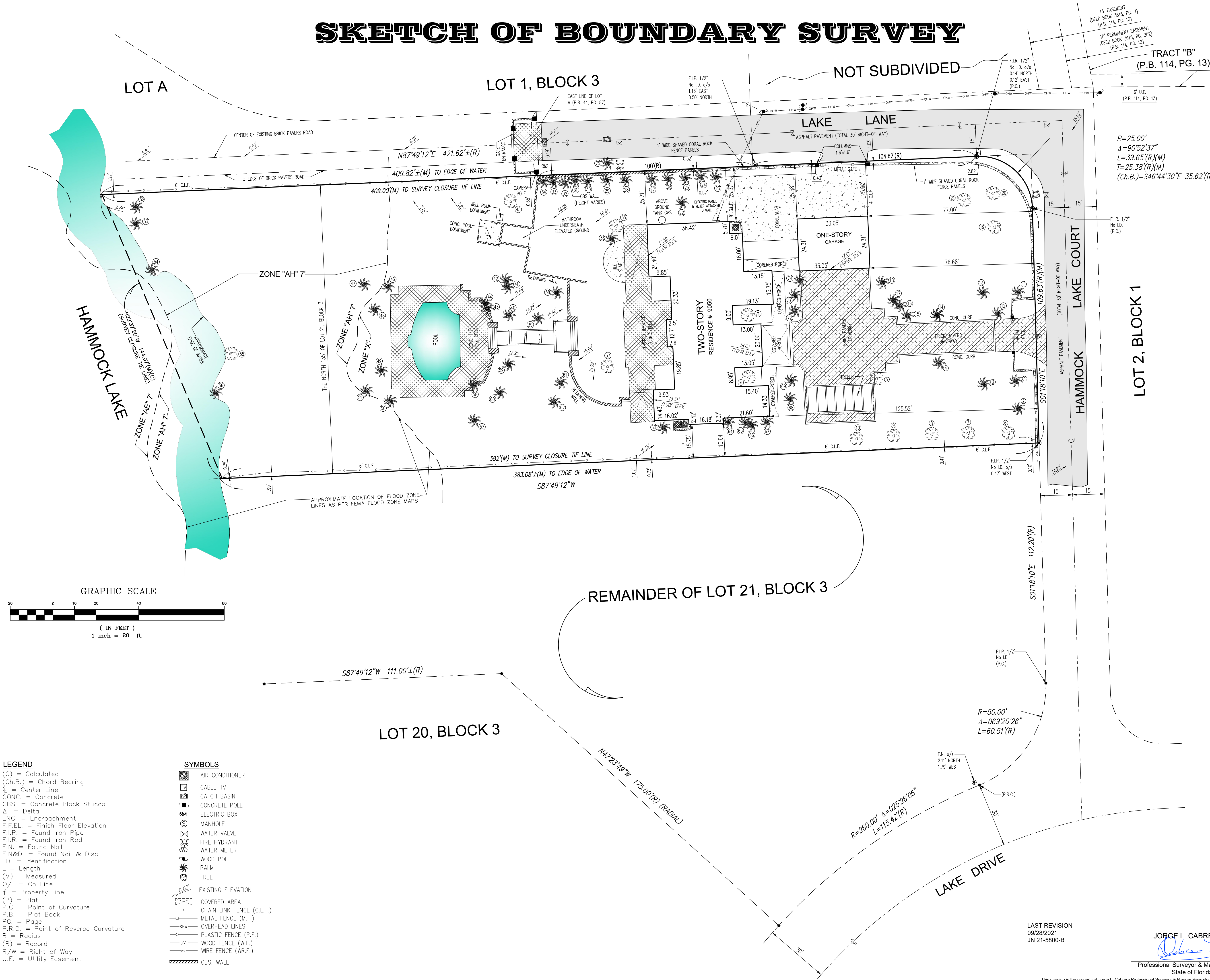
No.	Date	Job No.	Description
1	09/01/2021	21-5800-A	REVISED TO UPDATE SURVEY AND ADDITIONAL ELEVATIONS
2	09/28/2021	21-5800-B	LAST REVISION TO ADJUST THE NUMBER OF ELEVATION POINTS WITHIN THE SURVEYED AREA. ADDITIONAL FLOOD ZONE LINES WERE ADDED FOR INFORMATION.

Prepared for:
**STEVEN V. KING, as Trustee of the
HLC RESIDENTIAL TRUST
DATED MARCH 18, 2021.**

CHECKED BY:	JLC.
DRAWN BY:	ELF.
FIELD DATE:	03/12/2021
DATE:	03/18/2021
SCALE:	1" = 20'
JOB No.	21-5800

SHEET:
1 OF 2

SKETCH OF BOUNDARY SURVEY



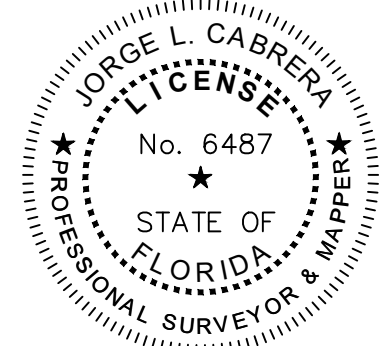
JORGE L. CABRERA
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Phone: (305) 302-2522 Fax: (305) 207-9537

No.	Date	Job No.	Description
1	09/01/2021	21-5800-A	RESUBMITTED TO UPDATE SURVEY AND ADDITIONAL ELEVATIONS
2	09/28/2021	21-5800-B	AS PER REVIEW TO ADJUST THE NUMBER OF ELEVATION POINTS WITHIN INFORMATION. ADDITIONAL FLOOD ZONE LINES NOTE ADDED FOR INFORMATION.

Prepared for:
**STEVEN V. KING, as Trustee of the
HLC RESIDENTIAL TRUST**
DATED MARCH 18, 2021.

CHECKED BY:	JLC.
DRAWN BY:	ELF.
FIELD DATE:	03/12/2021
DATE:	03/18/2021
SCALE:	1" = 20'
JOB No.	21-5800

SHEET:
2 OF 2

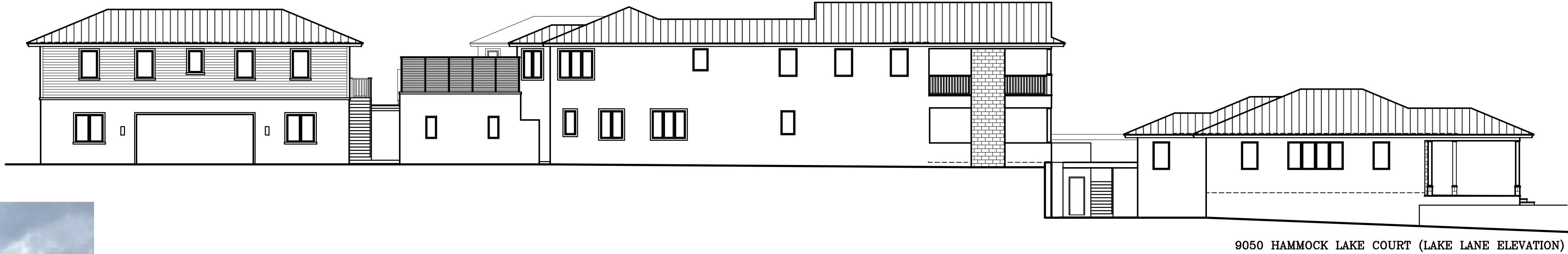


JORGE L. CABRERA
Professional Surveyor & Mapper, # 6487
State of Florida

LAST REVISION
09/28/2021
JN 21-5800-B



4825 HAMMOCK LAKE COURT



9050 HAMMOCK LAKE COURT (LAKE LANE ELEVATION)



9050 HAMMOCK LAKE COURT



8888 HAMMOCK LAKE COURT



8860 HAMMOCK LAKE COURT



8860 HAMMOCK LAKE COURT

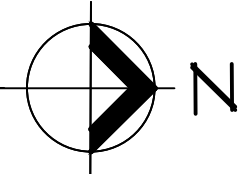


9075 HAMMOCK LAKE COURT

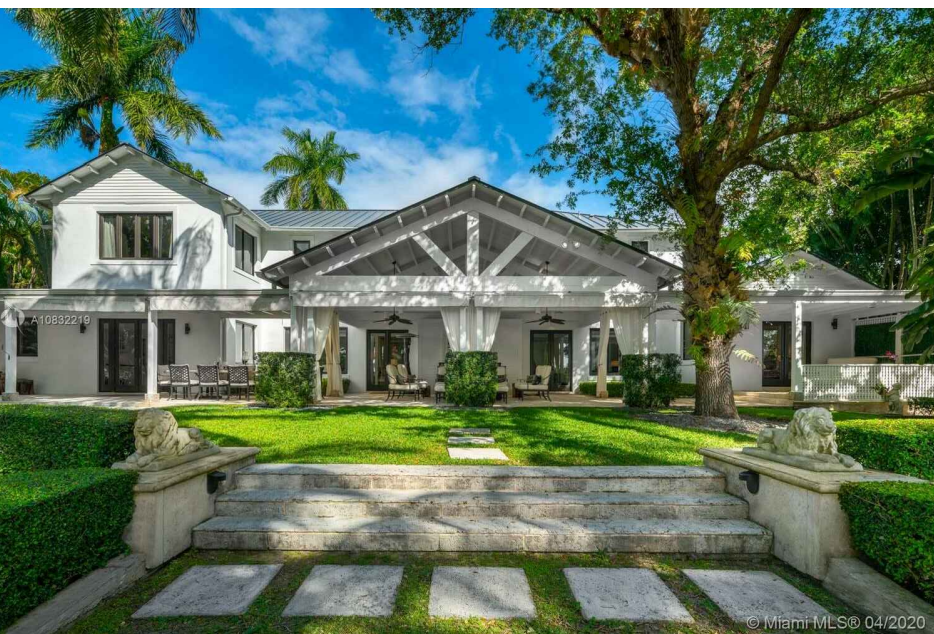


8901 HAMMOCK LAKE COURT

STREETSCAPE
SCALE : N.T.S.



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION

EXISTING RESIDENCE
SCALE : N.T.S.



WINDOW & DOOR FRAMES-BRONZE



HOUSE COLOR

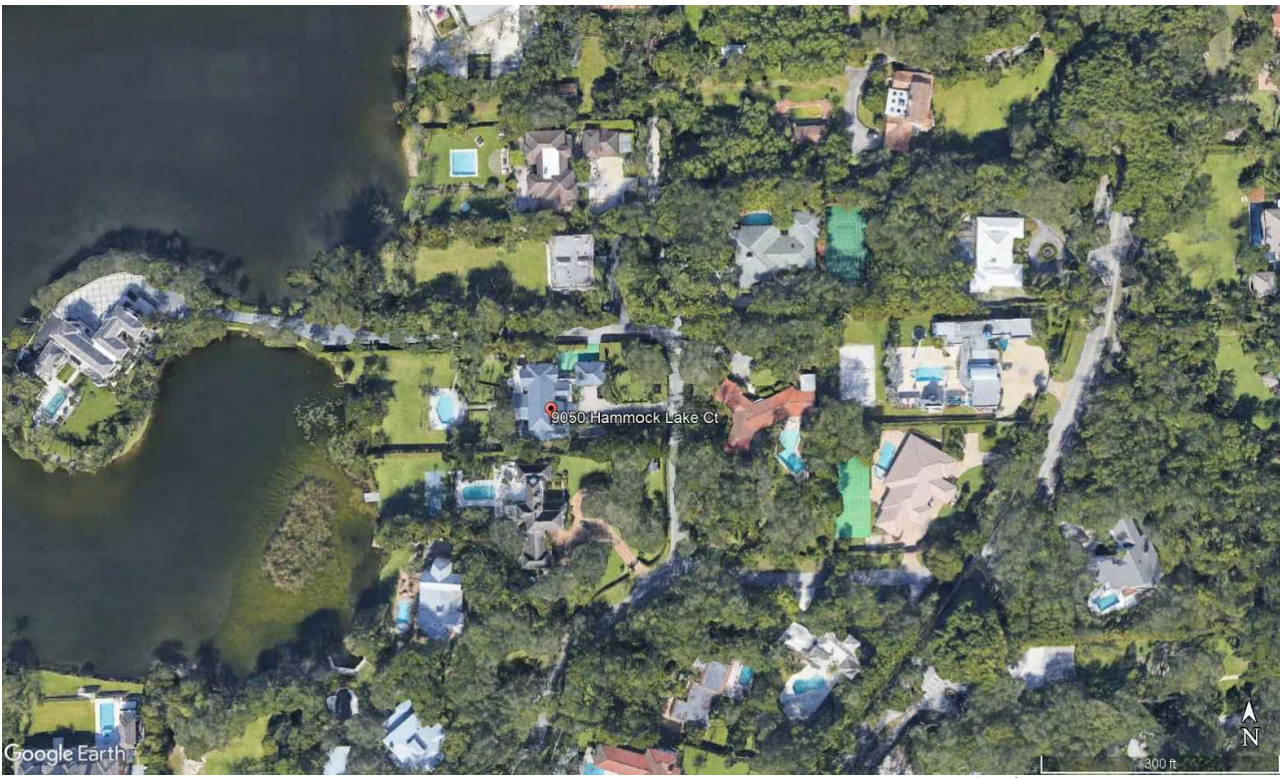


DRIVEWAY PAVERS - GRAY

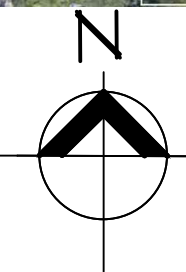


ROOF COLOR - BRONZE

PROPOSED MATERIALS &
COLOR SELCTIONS



LOCATION SKETCH
SCALE : N.T.S.



DATE: 10/08/21
ISSUED: _____
DRAWN: R.A.
CHECKED: A.R.
PROJECT No.: _____
OWNER: MIKE MORAN

SHEET:
STREETSCAPE

ADDITION/REMODELING FOR:

9050 HAMMOCK LAKE COURT

SECURITY AND FORCE ENTRY PREVENTION

1. PROVIDE INTRUSION AND BURGLARY SECURITY DEVICES AS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
2. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
3. ALL SINGLE EXTERIOR SING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 4000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
4. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SING DOORS. THE INACTIVE LEAF SHALL HAVE MULTIPLE POINTS OF LOCKS WITH 5/8" MIN. THRU BOLT WITH INSERTS.
5. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SING DOORS SHALL BE RABBETTED OR OF SIMILAR FABRICATION TO PREVENT DISTURBING THE PURPOSE OF THE STROKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON REMOVABLE PINS AND NON-EXPOSED SCREWS.

7. GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD Z91.
8. VISION PANEL EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OR LOCKS AND SING DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD INSTITUTE'S STANDARD Z91.
9. WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARDS FOR FORCE ENTRY RESISTANCE. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SING DOORS SHALL BE RABBETTED OR OF SIMILAR FABRICATION TO PREVENT DISTURBING THE PURPOSE OF THE STROKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
10. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS.

DOOR NOTES COMPONENTS OF MEANS OF ESCAPE

- A. NO DOOR IN THE PATH OF MEANS OF ESCAPE SHALL BE LESS THAN 20" WIDE EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- B. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
- C. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO ALLOW THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- D. DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- E. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH PREVENT OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISMANTAGED SHALL BE PROHIBITED.

- VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
- * EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
 - * EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER FBC.
 - * ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE).

- ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020, AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5 FT 50" FT IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

COPYRIGHT NOTICE

THIS SET OF ARCHITECTURAL DRAWINGS IS AN ORIGINAL DESIGN OF A BUILDING AND IS SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 USC 102 OF THE UNITED STATES CODE, AS AMENDED ON DECEMBER 1, 1993. PROTECTION EXTENDS TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACED DESIGN ELEMENTS IN THE DESIGN. ANY REPRODUCTION OF THESE ARCHITECTURAL DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. ANY REPRODUCTION OF THESE ARCHITECTURAL DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.

GENERAL NOTES :

1. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (UON).
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-603 SPECS.
3. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
4. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, UON.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. STRUCTURAL DRAWINGS SHALL COORDINATED TOGETHER WITH ARCHIT. TEXTURAL, A/C, ELECTRICAL AND MECHANICAL DRAW. TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSSED SLABS, BOLTS, CURBS, ETC.
7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-318 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
8. REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-341 "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK."
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT/ENGINEER'S APPROVAL.
10. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
11. REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY, SIZE AND AMOUNT OF REBARS ARE AS PER SCHEDULES.
12. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
13. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ARCHITECT / ENGINEER.
14. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK, AND APPROVE SHOP DRAWINGS, AND TO VERIFY THE ACTUAL PLACING OF REBARS IN THE FIELD.
15. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL ORDINANCES AND THE "FLORIDA BUILDING CODE", CURRENT EDITION.
16. WINDOW MANUFACTURER TO VERIFY ALL WINDOW OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.
17. NO TIE BEAMS SHALL BE FORMED / POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
18. ARCHITECT / ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 24 HOURS IN ADVANCE PRIOR TO INSPECTION.
19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO THE CONTRACTOR FOR INSTALLATION.
20. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR EXTRA WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER FOLLOWED BY A CHANGE ORDER.
21. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
22. THE ARCHITECT / INTERIOR DESIGNER / OWNER HAS THE RIGHT TO REUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGHEST QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
23. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
24. THE CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.
25. CLEANING AND DEBRIS REMOVAL: THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND CLEAR, SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVER FORM MATERIALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS. THE CONTRACTOR SHALL CLEAN SITE ONCE PER WEEK TO THE OWNERS SATISFACTION.
26. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
27. FOR BURGLARY INTRUSION NOTES REFER TO "METROPOLITAN DADE COUNTY CODE", SECTION 82.9.
28. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE PORTING ANY CONCRETE BEAM, INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL / ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
29. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK. ALL SHOP DRAWINGS ARE TO BE APPROVED BY THE ARCHITECT BEFORE THE WORK COMMENCES.
30. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
31. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST" INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
32. CONTRACTOR TO VERIFY THAT THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.
33. THE CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF THE FOLLOWING ADDITIONAL LABOR AND MATERIALS. THESE MATERIALS AND WORK SHALL BE USED FOR EXTRA WORK PERFORMED IN THE FIELD AT THE DIRECTION OF THE ARCHITECT OR ENGINEER. UNLESS PORTIONS SHALL BE CREDITED TO THE OWNER AT COMPLETION OF THE PROJECT.
 - 1 TON OF STRUCTURAL STEEL INCLUDING FABRICATION AND PLACING
 - 2 TONS OF REINFORCING STEEL INCLUDING FABRICATION, BENDING AND PLACING
 - 10 CUBIC YARDS OF 5000 PSI CONCRETE INCLUDING FORMING, PLACING AND FINISHING
 - 100000 FOR EXTRA LABOR PLUS MATERIALS, RELATED STUCCO WORK, PARTITIONS, DRYWALL AND GENERAL CARPENTRY

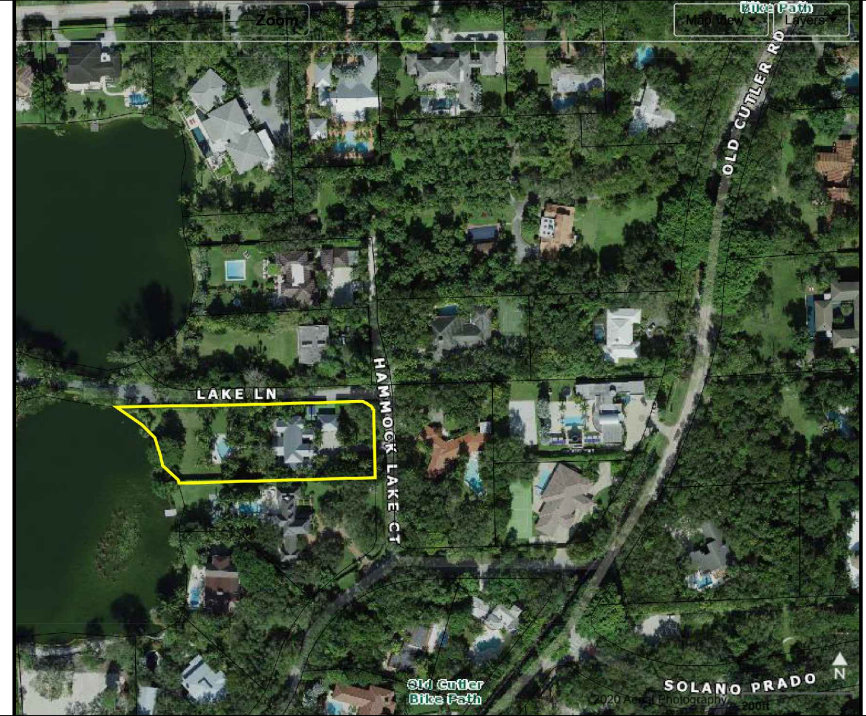
TERMITE NOTE :

- R318.1 TERMITE PROTECTION:
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED PESTICIDES INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 021, REGISTERED PESTICIDE, UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- R318.1.1 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.
- R318.1.2 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORTIFIED.
- R318.1.3 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORTIFIED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORTH OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.
- R318.1.4 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 4 MIL VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK INCLUDING PLACEMENT OF REINFORCING STEEL DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
- R318.1.5 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR HONEYCOMB ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICAL.
- R318.1.6 IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROPERLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROPERLY RETREATED.
- R318.1.7 IF A REGISTERED PESTICIDE FORMULATED AND REGISTERED AS A BAIT SYSTEM IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R318.1 THROUGH R318.6 DO NOT APPLY. HOWEVER, A SIGNED CONTRACT ASSURING THE INSTALLATION, MAINTENANCE AND MONITORING OF THE BAITING SYSTEM THAT IS IN COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 400, FLORIDA STATUTES SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE POURING OF THE SLAB, AND THE SYSTEM MUST BE INSTALLED PRIOR TO FINAL BUILDING APPROVAL.
- IF THE BAITING SYSTEM DIRECTIONS FOR USE REQUIRE A MONITORING PHASE PRIOR TO INSTALLATION OF THE PESTICIDE ACTIVE INGREDIENT, THE INSTALLATION OF THE MONITORING PHASE COMPONENTS SHALL BE DEEMED TO CONSTITUTE INSTALLATION OF THE SYSTEM.
- R318.1.8 IF A REGISTERED PESTICIDE FORMULATED AND REGISTERED AS A WOOD TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R318.1 THROUGH R318.6 DO NOT APPLY. APPLICATION OF THE WOOD TREATMENT PESTICIDE SHALL BE AS REQUIRED BY LABEL DIRECTIONS FOR USE, AND MUST BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

LEGAL DESCRIPTION

THE NORTH 135 FEET OF LOT 21 IN BLOCK 3 OF HAMMOCK LAKE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 87, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOCATION MAP



CODE COMPLIANCE

THE PLANS HEREIN COMPLY WITH THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE, RESIDENTIAL, 7th EDITION

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

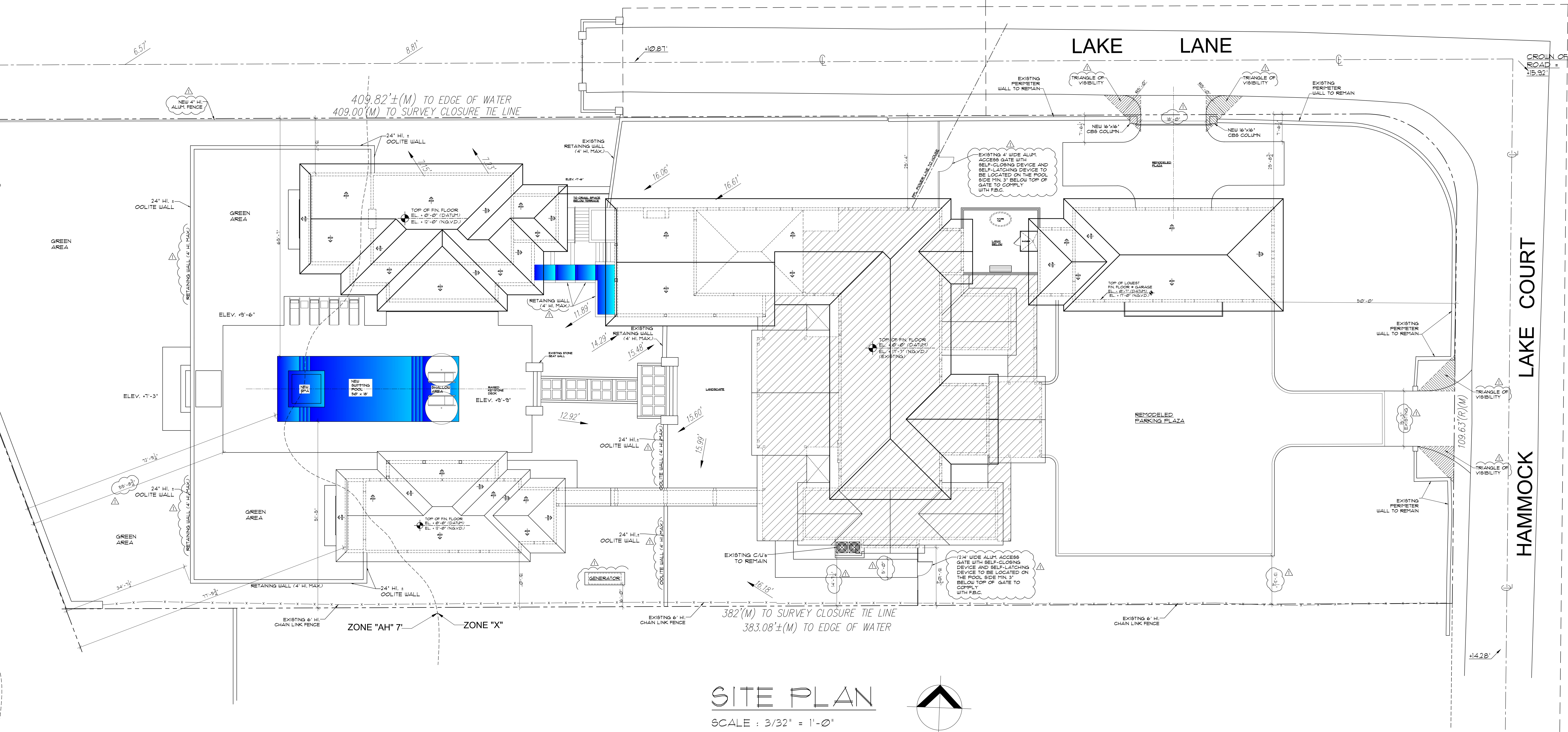
A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PRE-FABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	COVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALC'S SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

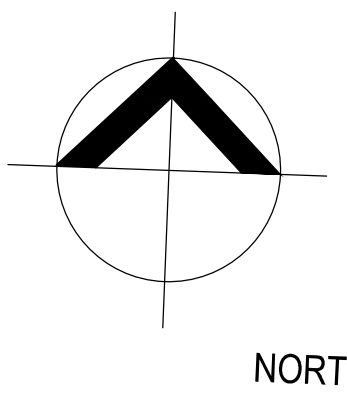
HAMMOCK LAKE

ZONE "AE" 7'
ZONE "AH" 7'



SITE PLAN

SCALE : 3/32" = 1'-0"



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. & 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS & OTHER HEAT-PRODUCING DEVICES.
VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)
ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020, AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5-1/2 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.



FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORM SHUTTERS STEEL JOISTS STONE FRONT AWNINGS TREES
PREFABRICATED STAIRS ELEVATORS POOLS WATER FEATURES LOUVER ENCLOS.
(SHOP DRUGS & CORRESPONDING STRUCTURAL CALC'S SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

ZONING CALCULATIONS:

LOT AREA:	51,094 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT :	20,421 SQ. FT. / 4,084 SQ. FT.
GREEN AREA PROVIDED / FRONT :	30,268 SQ. FT. / 5,194 SQ. FT.
MAX. LOT COVERAGE 25% :	12,763 SQ. FT.
LOT COVERAGE PROVIDED :	12,763 SQ. FT.
TOTAL LOT COVERAGE 30% :	15,316 SQ. FT.
TOTAL LOT COVERAGE PROVIDED :	15,316 SQ. FT.
MAX. AREA : 48 X 5,000 :	2,400 SQ. FT.
35 X 5,000 :	1,750 SQ. FT.
30 X 4,094 :	1,228 SQ. FT.
TOTAL AREA ALLOWED :	16,466 SQ. FT.
GROUND FL. A/C AREA :	6,115 SQ. FT.
SECOND FL. A/C AREA :	4,139 SQ. FT.
2 CAR GARAGE :	748 SQ. FT.
TOTAL FAR. AREA PROVIDED:	12,262 SQ. FT.

SETBACKS :

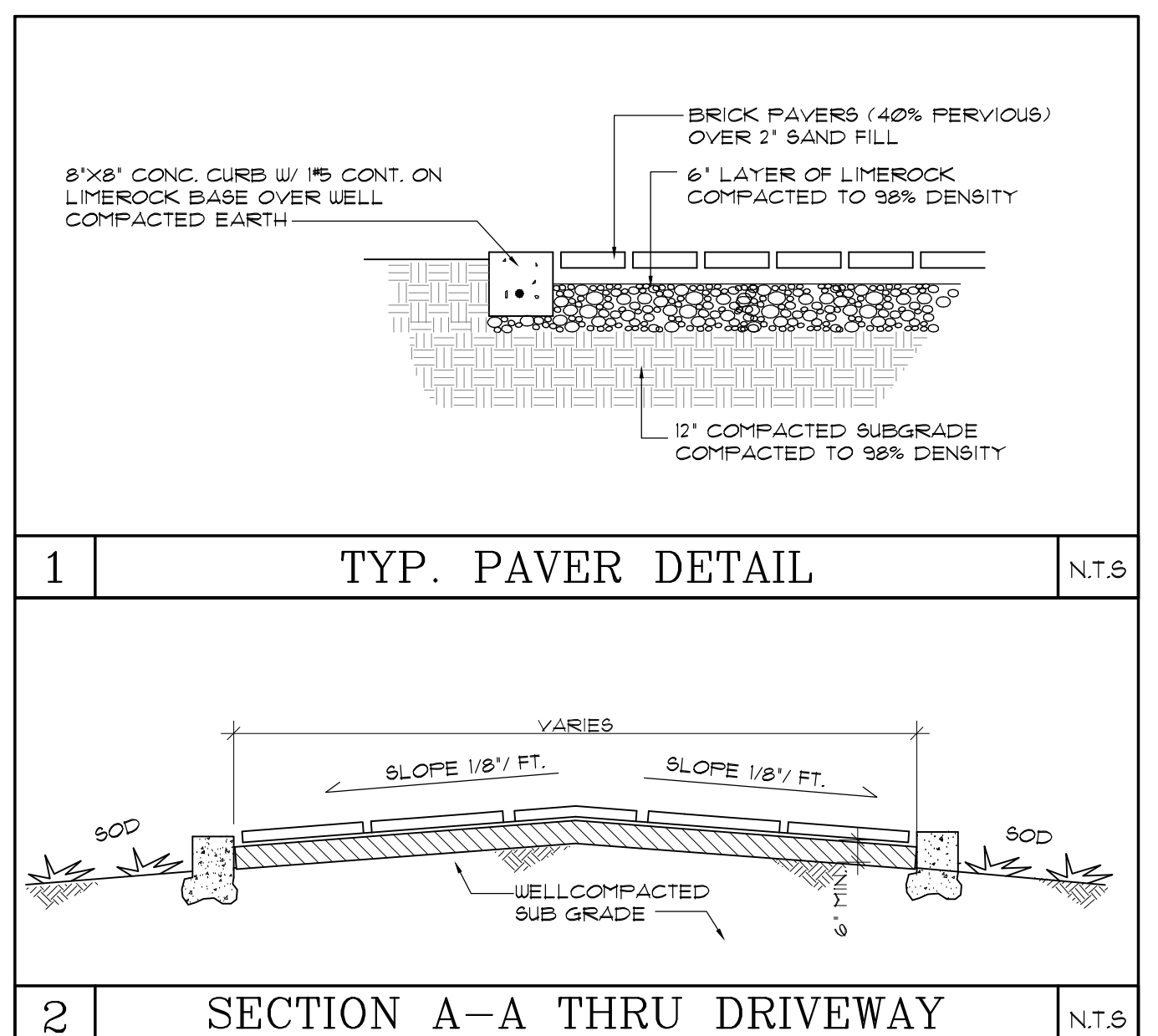
LOCATION	REQUIRED	PROVIDED
FRONT	5'-0"	5'-0"
RIGHT SIDE STREET	25' MIN.	25'-4"
RIGHT SIDE	15' MIN.	15'-1"
LEFT SIDE	15' MIN.	15'-0"
REAR	35' MIN.	11'-6"

"AH" ELEVATION : 1.00'
"AE" ELEVATION : 1.00'
"X" ELEVATION

POOL SETBACKS :

LOCATION	REQUIRED	PROVIDED
RIGHT SIDE STREET	30' MIN.	65'-1"
LEFT SIDE	20' MIN.	51'-5"
REAR	1'-6" MIN.	12'-9"

- SCOPE OF WORK
- GROUND FLOOR:
- DEMOLISH EXISTING 3 CAR GARAGE.
 - DEMOLISH PART OF THE EXISTING REAR TERRACE.
 - EXISTING KITCHEN, PANTRY AND BREAKFAST AREAS TO BE REMODELED.
 - EXISTING LAUNDRY TO BE REMODELED.
 - EXISTING BEDROOM AND BATH TO BE REMODELED.
 - NEW GARAGES AND CAR-PORT.
 - NEW FAMILY ROOM AND COVERED TERRACE.
 - NEW FLORIDA ROOM AND BATH.
 - NEW GYMNASIUM, DRESSING ROOM AND BATH.
 - NEW GUEST BEDROOM, CLOSET AND BATH.
 - NEW BREEZEWAY.
- SECOND FLOOR:
- EXISTING MASTER BEDROOM TO BE REMODELED.
 - EXISTING MASTER BATH TO BE REMODELED.
 - EXISTING MASTER WALK-IN CLOSETS TO BE REMODELED.
 - NEW GUEST BEDROOM, CLOSET AND BATH.
 - NEW GUEST QUARTERS ABOVE NEW GARAGE.
 - NEW COVERED TERRACE AT MASTER SUITE.



ANTONIO E. RODRIGUEZ
CAD Studio Architecture
L.C. No. AR93309
L.C. No. AR93309
L.C. No. AR93309
L.C. No. AR93309

RESIDENCE FOR :
9050 HAMMOCK LAKE COURT
CORAL GABLES

OWNER:
MIKE MORAN

DATE: 10/06/21
ISSUED: 11/04/21
DRAWN: R.A.
CHECKED: A.R.
PROJECT NO.:
SHEET:
A0.1
X OF X

HAMMOCK LAKE

ZONE "AE" 7'
ZONE "AH" 7'

LAKE LANE

LAKE COURT

HAMMOCK

LANDSCAPING PLAN

SCALE : 3/32" = 1'-0"

NORTH

*Place three strips or wood braces on trees & palms less than 8" caliper.
*Place three "wood braces on trees & palms over 8" caliper.
*Place plastic protective barrier on trees & palms to remain inside the property and in the city waste and trees & palms to be relocated.
*Barricade on existing trees to remain may be made out of plastic using temporary fence type.
*Plastic fencing to be 4" height, placed at 1" distance away from tree trunk (or 6" min.), and 2" minimum distance from road edge.

Arborflex
or Equivalent
Tree Nail 3-2" X 4"
Wood Shakes or Batons
Do not nail into trunk of palm.
4" H. orange plastic fence around perimeter of tree protection barrier area as shown in plan.
Keep mulch 6" From Base
2" X 4" Wood post at 6' spacing maximum
2" depth
2" x 4" x 24" Stake at or 3" Below Grade
Planting soil.
(species to relocated only)

1 EXISTING & RELOCATED TREES & PALMS PROTECTIVE & BRACING SECTION DETAIL N.T.S.

Flexible strapping material "ARBOR TIE" BY DEEP ROOT (800) 488-7888 OR APPROVED EQUAL. DARK GREEN COLOR. STRAP FROM THREE POINTS PLANT WITH ROOT BALL AT GRADE AND NO MORE THAN 1" ABOVE GRADE.

1" GALVANIZED ROOFING NAIL
(2) 2"X4" PRESURE TREATED DIMKES 8' LONG SET 2" INTO GROUND.
PAINT TWO SIDES EXTERIOR SURFACE FLAT DARK GREEN COLOR
4" SOL BERM AT EDGE OF RTT TO HOLD WATER

2" DEPTH MULCH AS SPECIFIED
PLANTING MIX AS PER SPECIFICATIONS
EXISTING SUBGRADE

2 SPECIMEN TREE GUYING DETAIL N.T.S.

GRANULAR FILL MATERIAL OR EXISTING GRADE

2"X4"XPT FOOT PAD FOR SOFT SOIL. CONTAINS 1/2" X 1/2" X 1/2" BURNED 3" FT. BELOW GRADE.
12" WIDE, 14" DEPTH (MIN.) ON ROOT BALL SIZE (TYP.)

UNGRAVATED FOR SUPPORT

3 TREE PLANTING & GUYING DETAIL N.T.S.

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY.

AFTER INSTALLATION, CUT STRING AND REMOVE BURIAL FROM T.O.B. ROOT BALL.

ELEVATE TO A DEPTH SO THAT BOTTOM OF ROOT BALL IS AT BOTTOM OF PIT, AND BACKFILL.

GRANULAR FILL MATERIAL OR EXISTING GRADE

2" DEEP LAYER OF APPROVED MULCH. DO NOT MULCH AROUND STEMS OR TRUNKS (SEE PLANT LIST)

GROUND COVER SPACING VARIES WITH SPECIES (SEE PLANT LIST)

4 SHRUB & GROUND COVER PLANTING DET. N.T.S.

LANDSCAPE LEGEND
City of Coral Gables Section 5-1105

Net Land 9,084 (square feet)

LANDSCAPE OPEN SPACE

a. The landscape open space for building sites shall be provided as follows:

REQ.	PROV.
40 %	93.3 %
20,421 SQ. FT.	20,568 SQ. FT.

i. All building sites shall provide landscaped open space of not less than forty (40%) percent of the area of the building site.

ii. At least twenty (20%) percent of the required forty (40%) percent of landscaped open space shall be located in the front yard area.

iii. The landscaped open space required by this Section shall consist of landscape material.

PLANTING REQUIREMENTS

a. Installation of all of the following:

i. Large shade tree. One (1) large shade tree for each five-thousand (5,000) square feet or fraction thereof at total land area;

ii. Palm and medium shade trees. Two (2), palm or medium shade trees for each five-thousand (5,000) square feet or fraction thereof of total land area;

iii. Shrubs. Fifteen (15) shrubs for each five-thousand (5,000) square feet or fraction thereof of total land area.

iv. Lawn grass. Lawn grass up to a maximum of sixty (60%) percent of the total lot area; and

v. Lawn grass in r.o.w. All unproved surfaces adjoining the property on the r.o.w. shall be sodded.

b. A minimum of two (2) trees and sixty-six (66%) percent of the required shrub quantity shall be in front of the residence.

c. Quantity and size substitutions of these provisions shall not be permitted.

LANDSCAPE LEGEND
City of Coral Gables Section 5-1105

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. & 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THEN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTTOM.
AS PER F.B.C. 2020. COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURER.

* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

GRADING NOTES:

01. ALL WORK SHALL BE IN ACCORDANCE WITH GRADING PRACTICES STANDARDS AND ANY PROVISION RELATED TO GRADING WHICH IS INCLUDED AS PART OF MIAMI DADE COUNTY BUILDING CODE THE FLORIDA BUILDING CODE LATEST EDITION OR ANY OTHER APPLICABLE CODE OR ORDINANCE, LATEST EDITION OR ANY OTHER APPLICABLE CODE OR ORDINANCE.

02. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE DIRECTED.

03. NO FILLS SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED.

04. NO ROCK OR LUMPS WITH GREATER THAN 6" DIAMETER SHALL BE PLACED IN THE FILL UNLESS APPROVED BY ARCHITECT OR LANDSCAPE ARCHITECT.

05. DUST SHALL BE CONTROLLED BY WATERING.

06. PERMITTEE'S GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS TO PROTECT ADJOINING PROPERTIES DURING GRADING.

07. GENERAL CONTRACTOR SHALL PROVIDE SUPERVISION DURING GRADING WORKS TO ENSURE COMPLIANCE WITH THESE PLANS.

08. SWALES SHOWN IN THE PLAN CAN NOT BE ALTERED IN SHAPE OR ELEVATIONS.

09. ANY DAMAGE CAUSED WITHIN THE SITE OR TO ADJOINING PROPERTIES DURING THE GRADING OPERATION MUST BE CORRECTED BY THE GENERAL CONTRACTOR.

10. PRIOR TO START OF THE RAINY SEASON EROSION CONTROL DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON.

11. ALL WORK OUTSIDE THE PROPERTY LINE SHALL BE IN ACCORDANCE WITH THE PUBLIC WORKS CONSTRUCTION STANDARDS OF FINENESS, AND ANY REQUIRED PERMIT SHALL BE PROCURED AND OBTAINED.

12. THE GENERAL CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO SUNSHINE STATE ONE CALL OR FLORIDA, INC. PHONE NUMBER 1-800-432-4710, TWO WORKING DAYS BEFORE DIGGING.

Always call 811 two full business days before you dig

Sunshine811.com

FLOOD ZONE "X"
ZONING DISTRICT - SINGLE FAMILY RESIDENTIAL

GRADING LEGEND

PROPOSED CONTOUR LINES - - - -

PROPOSED SPOT ELEVATIONS 4.00 ABOVE

EXISTING SPOT ELEVATIONS 0.00

GRADE SLOPE FOR WATER RUNOFF SLOPE

THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.

LANDSCAPING PLANS PRESENTED ARE IN ACCORDANCE WITH THE ZONING CODE ARTICLE 9, SECTION 9-109(B).

TREE PROTECTION BARRIERS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.

NO TREE IN THE ROW TO BE MAINTAINED ON TOP OF EXISTING STORM SEWER (NOT ADJACENT TO CATCH BASIN).

ALL RAINWATER TO BE RETAINED ON PROPERTY

EXTERIOR HOSE BIBS LOCATED AT LEAST 15 FEET FROM ALL PLANTING AREAS.

LANDSCAPING WILL ADHERE TO THE DADE COUNTY CHAPTER 18A, ORDINANCE 188-15

FILL WILL NOT BE BROUGHT ONTO SITE

THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

TREE PROTECTION BARRIERS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.

1. FIELD INSPECTION SHALL BE PERFORMED WHEN FILTER FABRIC IS INSTALLED AND BEFORE FINAL BACKFILLING AND GRADING. EXCAVATED AREA WITH FINAL SLASH AND LAVER.

2. CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES.

APPROVED: MAY 2017
SCALE: N.T.S.

DEPT. OF PUBLIC WORKS
ENGINEERING DIVISION
STANDARD DETAILS

SWALE TRENCH

1-28
Page 02

Note: The owner is the responsibility of the owner to maintain, at his expense, the profile to maintain water runoff, then replace with soil and other non-wood groundcovers that will be maintained by the owner less than 24" height at the end of construction. Refer to the water planting guidelines on the City website in SERVICES-PUBLIC WORKS-LANDSCAPE SERVICES files.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PRE-FABRICATED STAIRS	ELEVATIONS	POOLS	WATER FEATURES	COVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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TREE TABLE					
Jeff Shimonski ISA Certified Arborist FL 1052AM					
9050 Hammock Lake Court, Coral Gables					
Scientific name	Common name	DBH	H/CT	Canopy	REMARKS
1 Cocos nucifera	Coconut palm	12"	30'	26'	TO REMAIN
2 Cocos nucifera	Coconut palm	10"	38'	32'	TO REMAIN
3 Cocos nucifera	Coconut palm	10"	35'	32'	TO REMAIN
4 Cocos nucifera	Coconut palm	12"	40'	32'	TO REMAIN
5 Cocos nucifera	Coconut palm	10"	30'	28'	TO BE REMOVED
6 Calophyllum brasiliense	Santa Maria	25"	55'	36'	TO BE REMOVED
7 Calophyllum brasiliense	Santa Maria	15"	55'	25'	TO BE REMOVED
8 Calophyllum brasiliense	Santa Maria	18"	55'	25'	TO BE REMOVED
9 Calophyllum brasiliense	Santa Maria	18"	50'	28'	TO BE REMOVED
10 Calophyllum brasiliense	Santa Maria	37"	55'	35'	TO BE REMOVED
11 Cocos nucifera	Coconut palm	9"	30'	26'	TO REMAIN
12 Cocos nucifera	Coconut palm	8"	30'	28'	TO REMAIN
13 Cocos nucifera	Coconut palm	11"	35'	28'	TO REMAIN
14 Cocos nucifera	Coconut palm	8"	35'	28'	TO REMAIN
15 Cocos nucifera	Coconut palm	10"	35'	32'	TO BE REMOVED
16 Cocos nucifera	Coconut palm	12"	30'	32'	TO BE REMOVED
17 Cocos nucifera	Coconut palm	10"	35'	32'	TO BE REMOVED
18 Phoenix roebelenii x 3 tks	Pygmy date palm	18"	13'	24'	TO BE REMOVED
19 Quercus virginiana	Live oak	22"	70'	60'	TO REMAIN
20 Quercus virginiana	Live oak	10"	32'	22'	TO REMAIN
21 Quercus virginiana	Live oak	20"	45'	45'	TO REMAIN
22 Dypsis decaryi	Triangle palm	12"	12'	24'	TO REMAIN
23 Dypsis lutescens	Areca palm	45"	30'	25'	TO REMAIN
24 Dypsis lutescens	Areca palm	38"	22'	15'	TO REMAIN
25 Dypsis lutescens	Areca palm	32"	26'	14'	TO REMAIN
26 Dypsis lutescens	Areca palm	12"	23'	10'	TO REMAIN
27 Dypsis lutescens	Areca palm	12"	15'	8'	TO REMAIN
28 Dypsis lutescens	Areca palm	36"	22'	8'	TO REMAIN
29 Dypsis lutescens	Areca palm	12"	13'	8'	TO REMAIN
30 Dypsis lutescens	Areca palm	54"	28'	16'	TO REMAIN
31 Dypsis lutescens	Areca palm	48"	28'	15'	TO REMAIN
32 Dypsis lutescens	Areca palm	34"	32'	15'	TO REMAIN
33 Dypsis lutescens	Areca palm	74"	35'	18'	TO REMAIN
34 Dypsis lutescens	Areca palm	54"	35'	18'	TO REMAIN
35 Dypsis lutescens	Areca palm	32"	22'	18'	TO BE REMOVED
36 Roystonea regia	Royal palm	19"	35'	32'	TO BE REMOVED
37 Quercus virginiana	Live oak	22"	50'	50'	TO REMAIN
38 Cocos nucifera	Coconut palm	18"	35'	38'	TO BE REMOVED
39 Cocos nucifera	Coconut palm	9"	35'	28'	TO REMAIN
40 Cocos nucifera	Coconut palm	9"	28'	24'	TO REMAIN
41 Cocos nucifera	Coconut palm	12"	35'	26'	TO REMAIN
42 Cocos nucifera	Coconut palm	10"	30'	28'	TO REMAIN
43 Cocos nucifera	Coconut palm	8"	20'	24'	TO BE REMOVED
44 Cocos nucifera	Coconut palm	11"	30'	28'	TO BE REMOVED
45 Bursera simaruba	Gumbo limbo	30"	50'	65'	TO REMAIN
46 Cocos nucifera	Coconut palm	12"	38'	32'	TO BE REMOVED
47 Cocos nucifera	Coconut palm	11"	40'	34'	TO REMAIN
48 Cocos nucifera	Coconut palm	8"	23'	22'	TO BE REMOVED
49 Cocos nucifera	Coconut palm	9"	24'	20'	TO BE REMOVED
50 Cocos nucifera	Coconut palm	10"	35'	26'	TO BE REMOVED
51 Cocos nucifera	Coconut palm	12"	35'	32'	TO REMAIN
52 Thrinax radiata x 3 tks	Florida thatch palm	15"	18'	18'	TO REMAIN
53 Thrinax radiata x 2 tks	Florida thatch palm	10"	16'	14'	TO REMAIN
54 Washingtonia filifera x 2 tks	Washingtonia filifera	12"	30'	25'	TO REMAIN
55 Terminalia catappa	Tropical almond	29"	60'	70'	TO REMAIN
56 Cocos nucifera	Coconut palm	8"	22'	30'	TO REMOVED
57 Cocos nucifera	Coconut palm	10"	45'	32'	TO BE REMOVED
58 Cocos nucifera	Coconut palm	9"	35'	34'	TO BE REMOVED
59 Cocos nucifera	Coconut palm	13"	40'	32'	TO REMAIN
60 Cocos nucifera	Coconut palm	10"	32'	30'	TO BE REMOVED
61 Cocos nucifera	Coconut palm	9"	32'	32'	TO REMAIN
62 Cocos nucifera	Coconut palm	8"	35'	34'	TO BE REMOVED
63 Dypsis lutescens	Areca palm	88"	30'	45'	TO REMAIN
64 Dypsis lutescens	Areca palm	8"	23'	14'	TO REMAIN
65 Dypsis lutescens	Areca palm	11"	28'	12'	TO REMAIN
66 Dypsis lutescens	Areca palm	44"	23'	30'	TO REMAIN
67 Dypsis lutescens	Areca palm	5"	26'	8'	TO REMAIN
68 Phoenix roebelenii x 3 tks	Pygmy date palm	13"	12'	18'	TO REMAIN
69 Cocos nucifera	Coconut palm	11"	25'	26'	TO REMAIN
70 Elaeocarpus decipiens	Japanese blueberry	2"	14'	4'	TO REMAIN
71 Elaeocarpus decipiens	Japanese blueberry	2"	14'	4'	TO REMAIN
72 Cocos nucifera	Coconut palm	14"	38'	34'	TO REMAIN
73 Phoenix roebelenii x 3 tks	Pygmy date palm	14"	14'	22'	TO REMAIN
74 Cocos nucifera	Coconut palm	9"	26'	18'	TO BE REMOVED
75 Washingtonia filifera	Washingtonia palm	0	3'	14'	TO REMAIN

RESIDENCE FOR:

ANTONIO E. RODRIGUEZ

9050 HAMMOCK LAKE COURT

CORAL GABLES

FLORIDA

OWNER: MIKE MORAN

DATE: 10/05/21

ISSUED: 11/04/21

DRAWN: R.A.

CHECKED: A.R.

PROJECT NO.:

SHEET: A0.2

OF X

ANTONIO E. RODRIGUEZ

CAD Studio Architecture

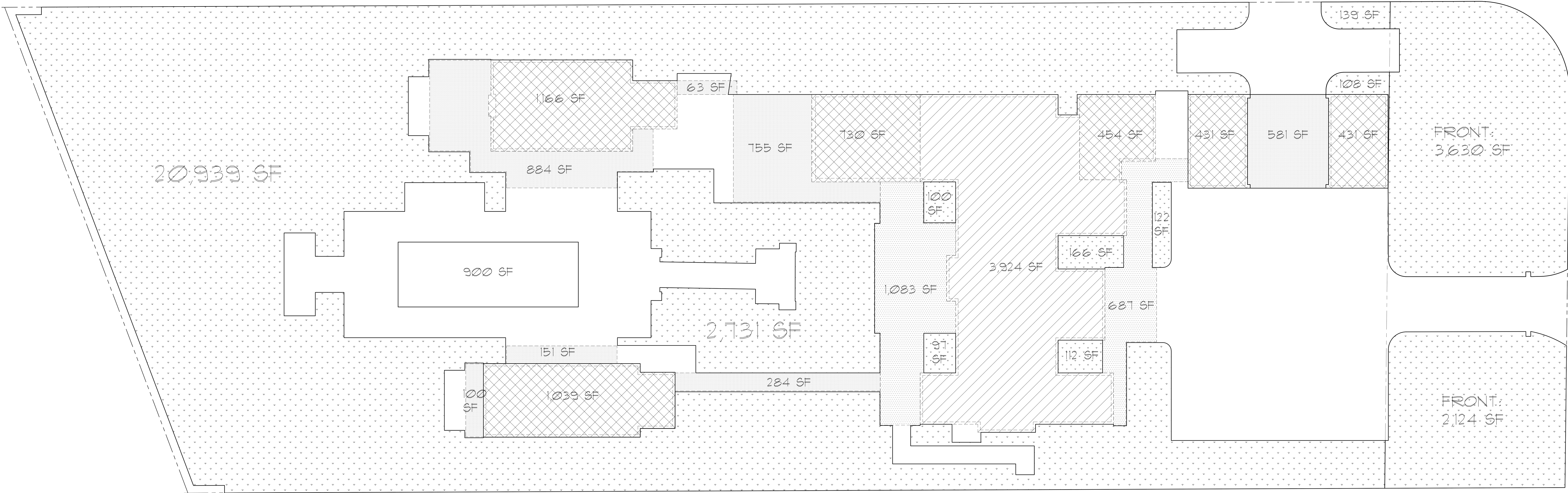
REGISTRATION NO. A0002588

LIC. NO. AR93309

ANTONIO E. RODRIGUEZ, ARCHITECT, AIA

2401 S.W. 77 AVENUE, MIAMI, FL 33135

T 785.165.1000



OPEN LANDSCAPE DIAGRAM
SCALE : 1/8" = 1'-0"

AS PER CORAL GABLES ZONING CODE, THE DETERMINATION OF A BUILDING'S FLOOR AREA RATIO SHALL EXCLUDE THE FOLLOWING:
A. THICKNESS OF EXTERIOR WALLS, MEASURED FROM THE INTERIOR FACE OF STRUCTURE.
B. FLOOR SPACE IN ONE (1) STORY ROOFED TERRACES, BREEZEWAYS, AND PORCHES WITH AN AVERAGE FLOOR TO CEILING HEIGHT LESS THAN OR EQUAL TO THIRTEEN (13) FEET SHALL ALSO BE EXEMPT PROVIDED A COVENANT IS SUBMITTED STATING THAT SUCH ROOFED TERRACE, BREEZEWAY, OR PORCH WILL NOT BE ENCLOSED IF IT WILL CAUSE THE RESIDENCE TO EXCEED THE MAXIMUM PERMITTED FLOOR AREA.
C. DETACHED ONE- AND TWO-STORY CARPORTS AND GARAGES LOCATED IN THE REAR YARD, OR WHERE DETERMINED BY THE BOARD OF ARCHITECTS, THAT IS LESS THAN OR EQUAL TO FOUR-HUNDRED (400) SQUARE FEET, ANY ADDITIONAL AREA WILL NOT BE EXCLUDED.
D. STACKED OR TWO (2) STORY PORCHES, AS APPROVED BY THE BOARD OF ARCHITECTS.
E. UPPER VOLUME OF INTERIOR SPACES OR COURTYARDS.
F. BASEMENTS AND ATTICS WITHIN A PITCHED ROOF.

ZONING CALCULATIONS:	
LOT AREA:	51,054 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT *	20,421 SQ. FT. / 4,084 SQ. FT.
GREEN AREA PROVIDED / FRONT *	30,268 SQ. FT. / 5,154 SQ. FT.
GROUND COVERAGE ALLOWED 28% *	12,163 SQ. FT.
GROUND COVERAGE PROVIDED *	12,163 SQ. FT.
MAX. TOTAL GROUND COVERAGE ALLOWED 30% *	15,316 SQ. FT.
GROUND COVERAGE * POOL	12,163 SQ. FT.
MAX. TOTAL GROUND COVERAGE PROVIDED *	13,663 SQ. FT.

GREEN AREA CALCULATIONS:	
MIN. GREEN AREA REQUIRED (MIN. 40%) *	20,421 SQ. FT.
TOTAL GREEN AREA PROVIDED :	
(20,939+2,731+100+91+66+112+122+124+139+108+3,630=	30,268 SQ. FT. (59.28%)
FRONT GREEN AREA REQUIRED (20% OF 40% MIN.)*	4,084 SQ. FT.
TOTAL FRONT GREEN AREA PROVIDED:	5,154 SQ. FT. (28.1% OF 40%)
(3,630+2,124=	

AREA / LEGEND:	
	IMPERVIOUS LAND AREA : (INCLUDES OF ALL DRIVEWAYS, POOL DECK, AND OTHER PAVED SURFACES) :
	EXISTING A/C AREA:
	NEW A/C AND GARAGE AREAS: (1166+1,039+139+454+1431)=
	NEW/EXIST TERRACE AREAS : (884+151+100+63+155+284+1083+687+581)=
	GREEN AREA: (20,939+2,731+100+91+66+112+122+124+139+108+3,630)=
LOT AREA :	

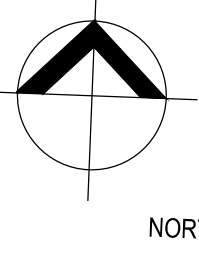
ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1" PENETRATION INTO CONG. & 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER FBC.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE).

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5-1/2 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

GROUND FLOOR AREA CALCULATIONS

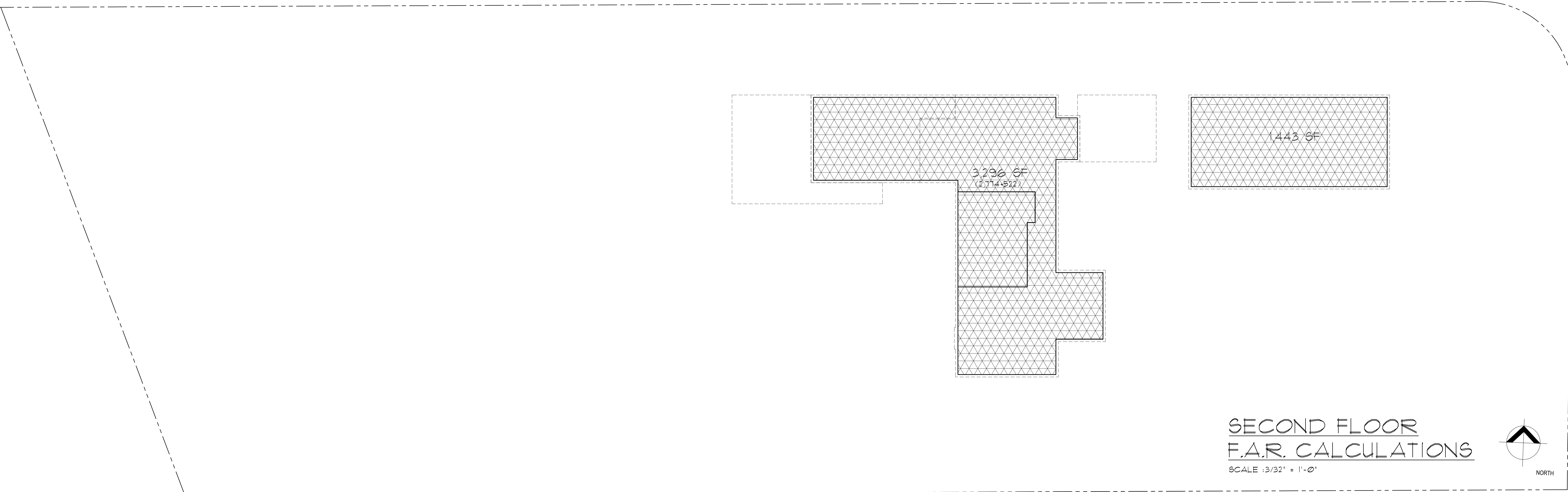
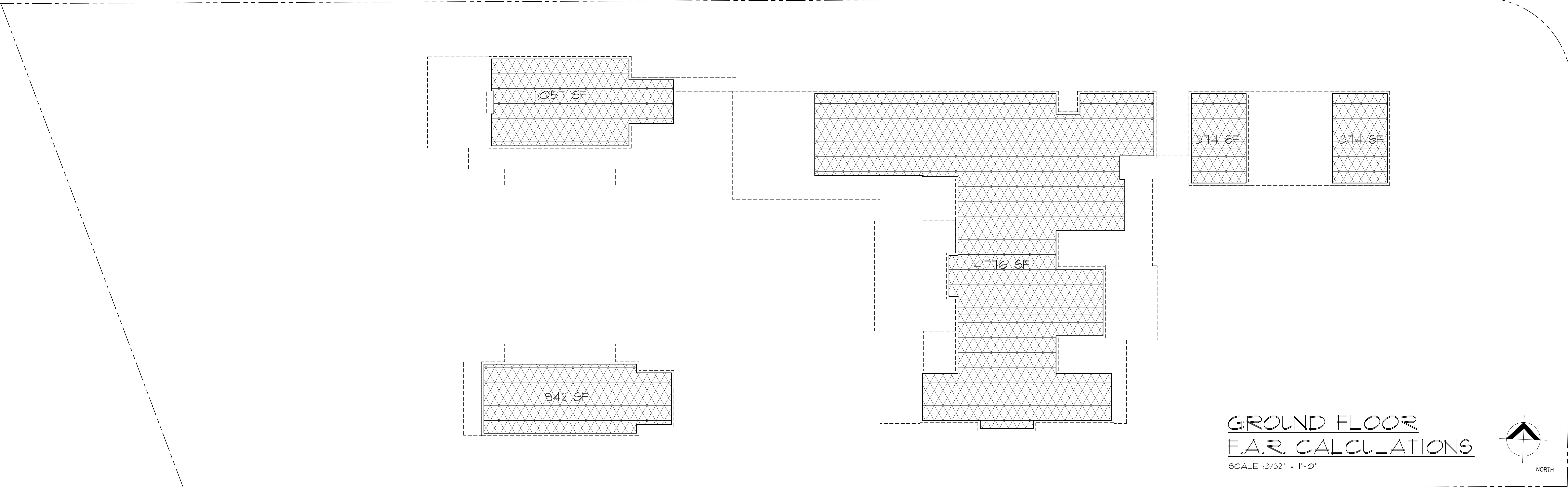
SCALE : 1/8" = 1'-0"



FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORM SHUTTERS STEEL JOISTS STONE FRONT AWNINGS TRELLISES
PREFABRICATED STAIRS ELEVATORS POOLS WATER FEATURES LOUVER ENCLOS.
(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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F.A.R. CALCULATIONS:	
LOT AREA :	51,054 SQ. FT.
MAX. AREA : 48' X 5,000' :	2,400 SQ. FT.
35' X 5,000' :	1,750 SQ. FT.
30' X 4,094' :	1,228 SQ. FT.
TOTAL AREA ALLOWED :	5,378 SQ. FT.
GROUND FL. A.C. AREA :	8,179 SQ. FT.
SECOND FL. A.C. AREA (INCLUDING D.B.L. HT.):	4,139 SQ. FT.
GARAGE AREA :	148 SQ. FT.
TOTAL PARK PROVIDED:	12,467 SQ. FT.

 AREA USED TO CALCULATE F.A.R.

- ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.

ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.

AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.
- VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURER.

 - EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
 - EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.
 - ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)
- ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

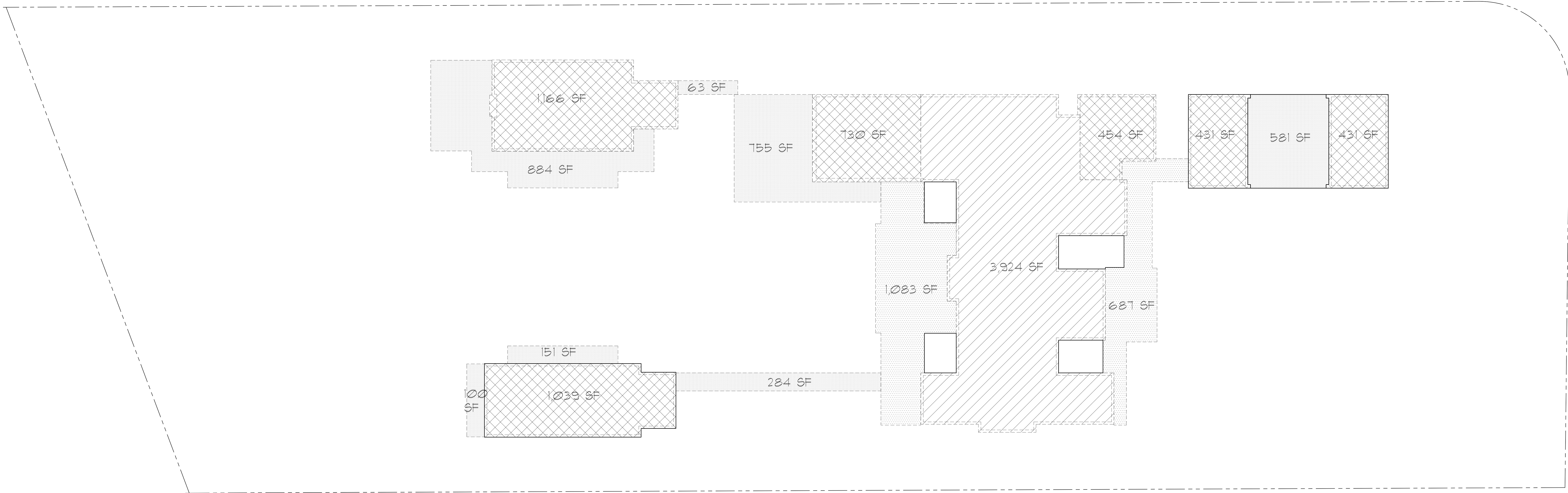
FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	LOUVER ENCLOS.

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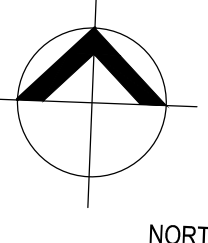
GROUND AREA DIAGRAM
SCALE : 1/8" = 1'-0"

ZONING CALCULATIONS:	
LOT AREA:	51,054 SQ. FT.
EXISTING A/C AREA *	3,924 SQ. FT.
NEW A/C AND GARAGE AREAS *	4,251 SQ. FT.
NEW & EXISTING TERRACE AREAS *	4,588 SQ. FT.
GROUND COVERAGE PROVIDED (25%) *	12,763 SQ. FT.
GROUND COVERAGE ALLOWED (25%) *	12,763 SQ. FT.
MAX. TOTAL GROUND COVERAGE ALLOWED 30% *	15,316 SQ. FT.
GROUND COVERAGE	12,763 SQ. FT.
+ POOL	900 SQ. FT.
MAX. TOTAL GROUND COVERAGE PROVIDED *	13,663 SQ. FT.

AREA / LEGEND:	
	EXISTING A/C AREA: 3,924 SQ. FT.
	NEW A/C AND GARAGE AREAS: (1166+1039+730+454+431+431) 4,251 SQ. FT.
	NEW/EXIST. TERRACE AREAS: (884+51+100+63+155+124+1083+687+581) 4,588 SQ. FT.
LOT AREA :	
51,054 SQ. FT.	

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020. ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6 @ 10" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT. AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.	VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURER. * EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC. * EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER FBC. * ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)	ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
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GROUND AREA
COVERAGE
CALCULATIONS
SCALE : 1/8" = 1'-0"



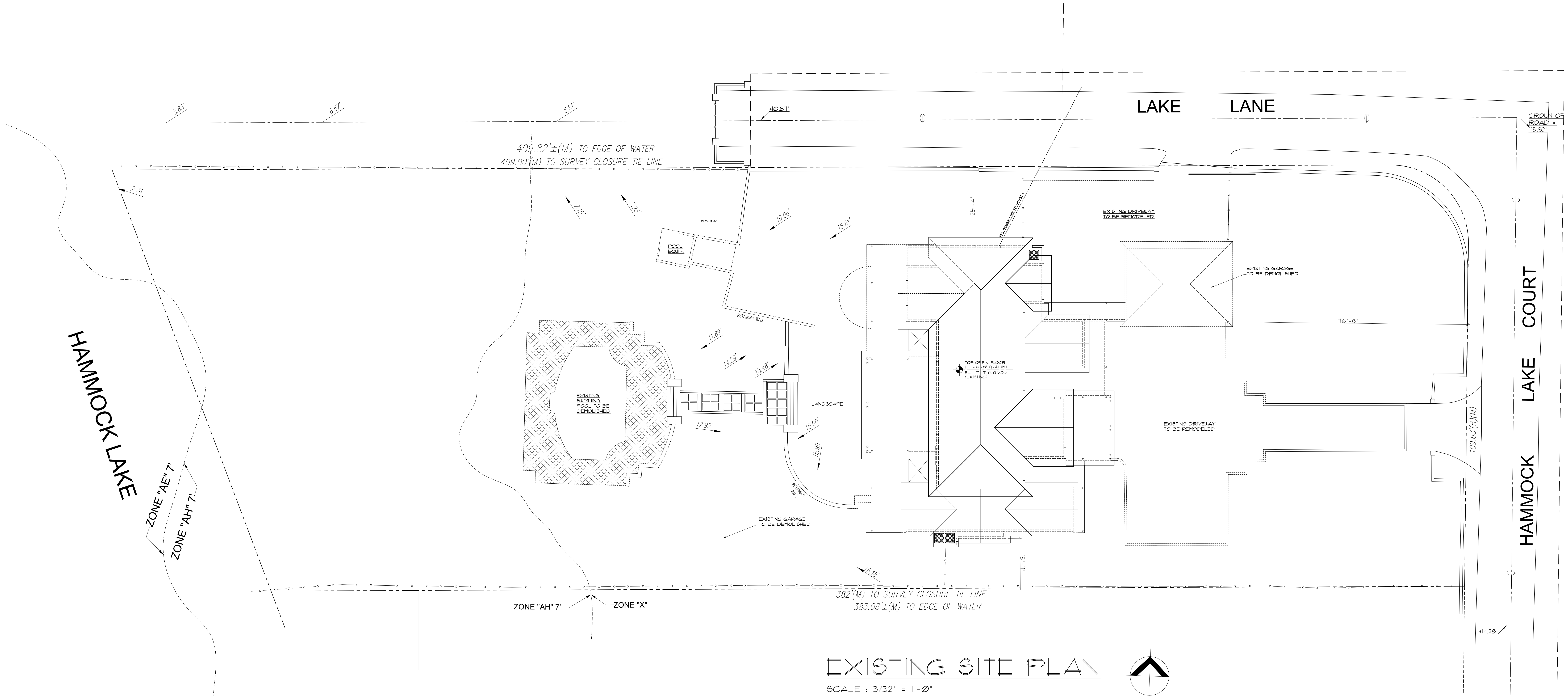
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A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	COVER ENCLOS.

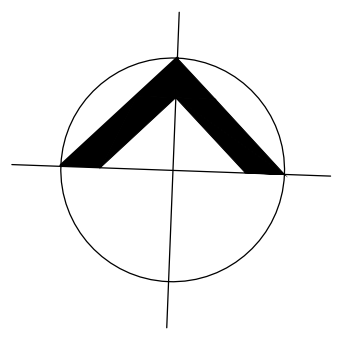
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EXISTING SITE PLAN

SCALE : 3/32" = 1'-0"



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. & 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR MANUFACTURERS.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020, AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5-1/2 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCOS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

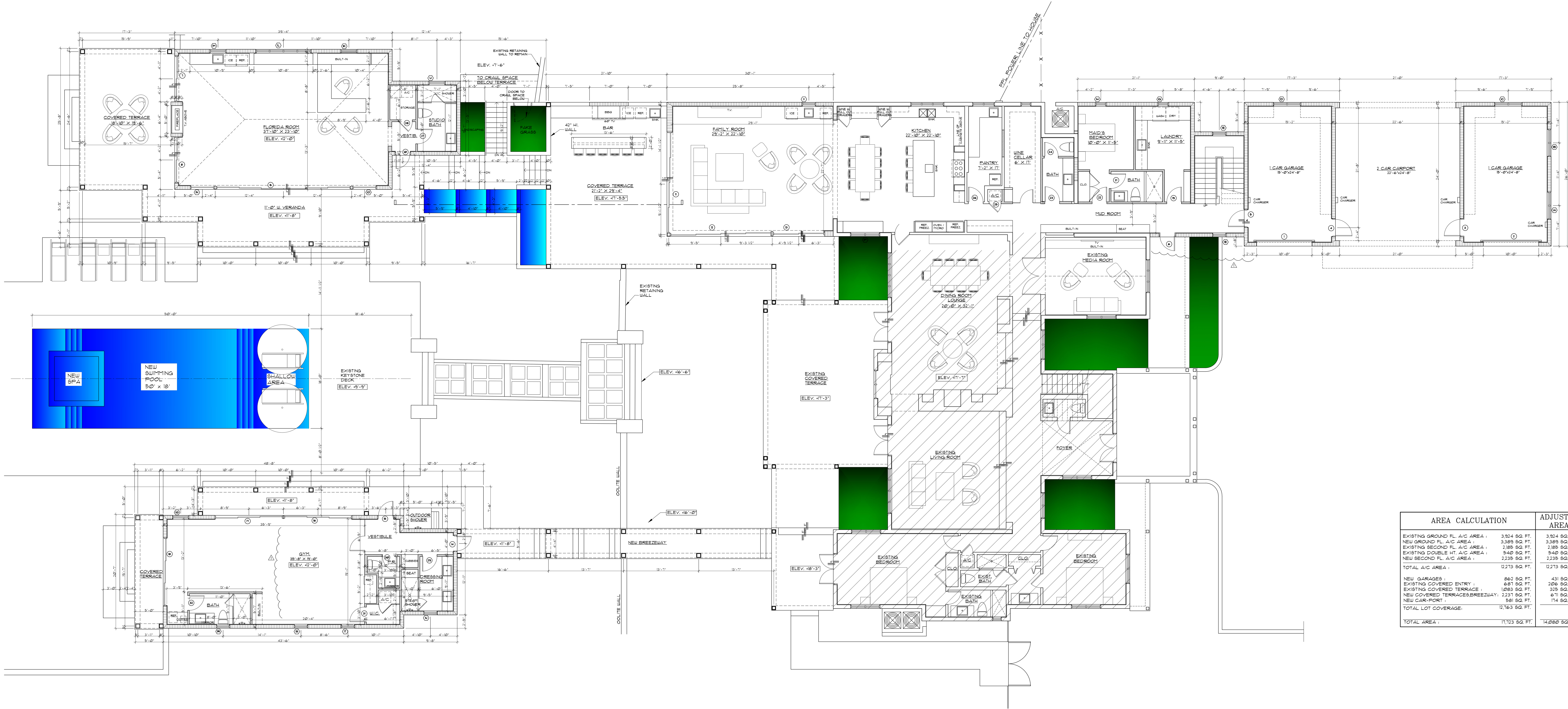
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OWNER: MIKE MORAN
DATE: 10/06/21
ISSUED: 11/04/21
DRAWN: R.A.
CHECKED: A.R.
PROJECT No. _____

SHEET: 106 OF 106

ANTONIO E. RODRIGUEZ
CAD Studio Architecture
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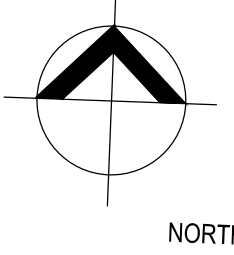


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GROUND
FLOOR PLAN
SCALE : 3/16" = 1'-0"

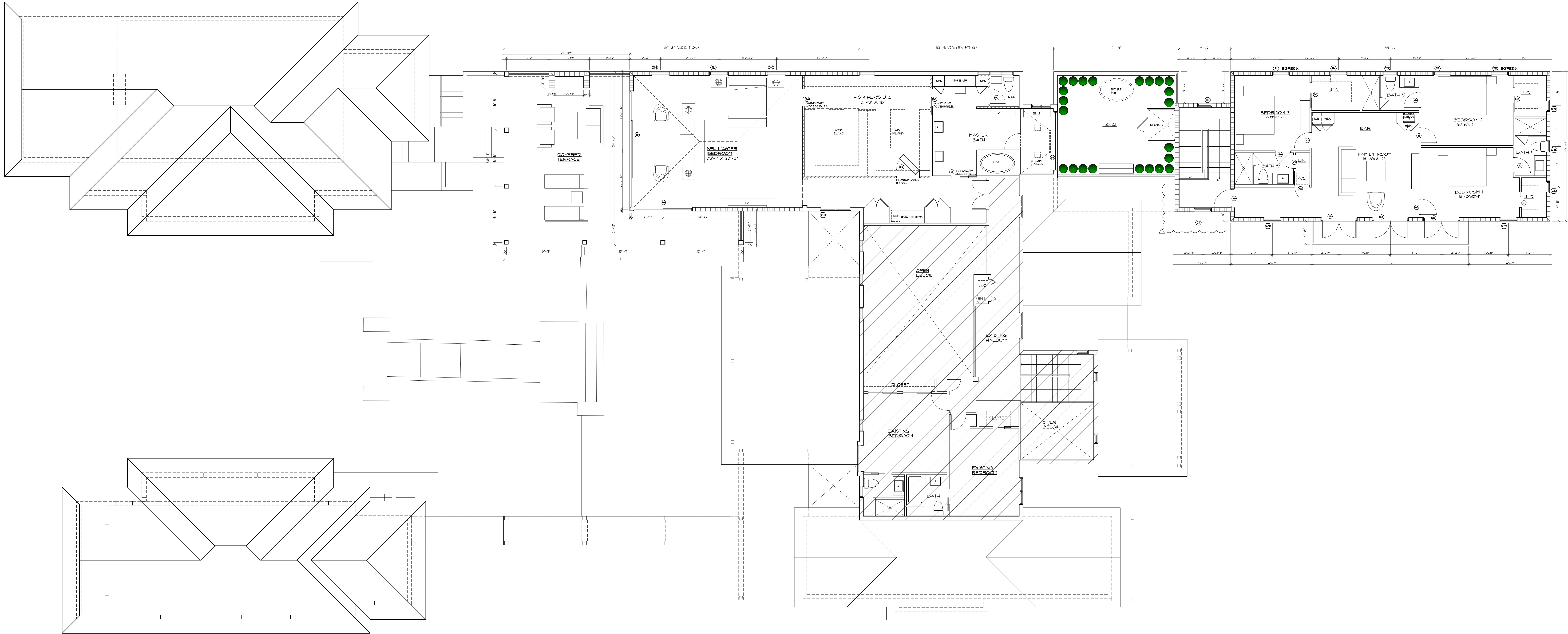


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STORM SHUTTERS STEEL JOISTS STONE FRONT AWNINGS TRELLISES
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AREA CALCULATION	ADJUSTED AREA
EXISTING GROUND FL. A/C AREA :	3,934 SQ. FT.
NEW GROUND FL. A/C AREA :	3,389 SQ. FT.
EXISTING SECOND FL. A/C AREA :	2,189 SQ. FT.
EXISTING DOUBLE HT. A/C AREA :	940 SQ. FT.
NEW SECOND FL. A/C AREA :	2,239 SQ. FT.
TOTAL A/C AREA :	12,213 SQ. FT.
NEW GARAGES :	431 SQ. FT.
EXISTING COVERED ENTRY :	206 SQ. FT.
EXISTING COVERED TERRACE :	1,083 SQ. FT.
NEW COVERED TERRACES/BREEZEWAY :	2,231 SQ. FT.
NEW CAR-PORT :	671 SQ. FT.
TOTAL LOT COVERAGE :	12,763 SQ. FT.
TOTAL AREA :	17,123 SQ. FT.



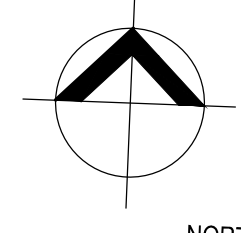
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SECOND FLOOR PLAN

SCALE : 3/16" = 1'-0"



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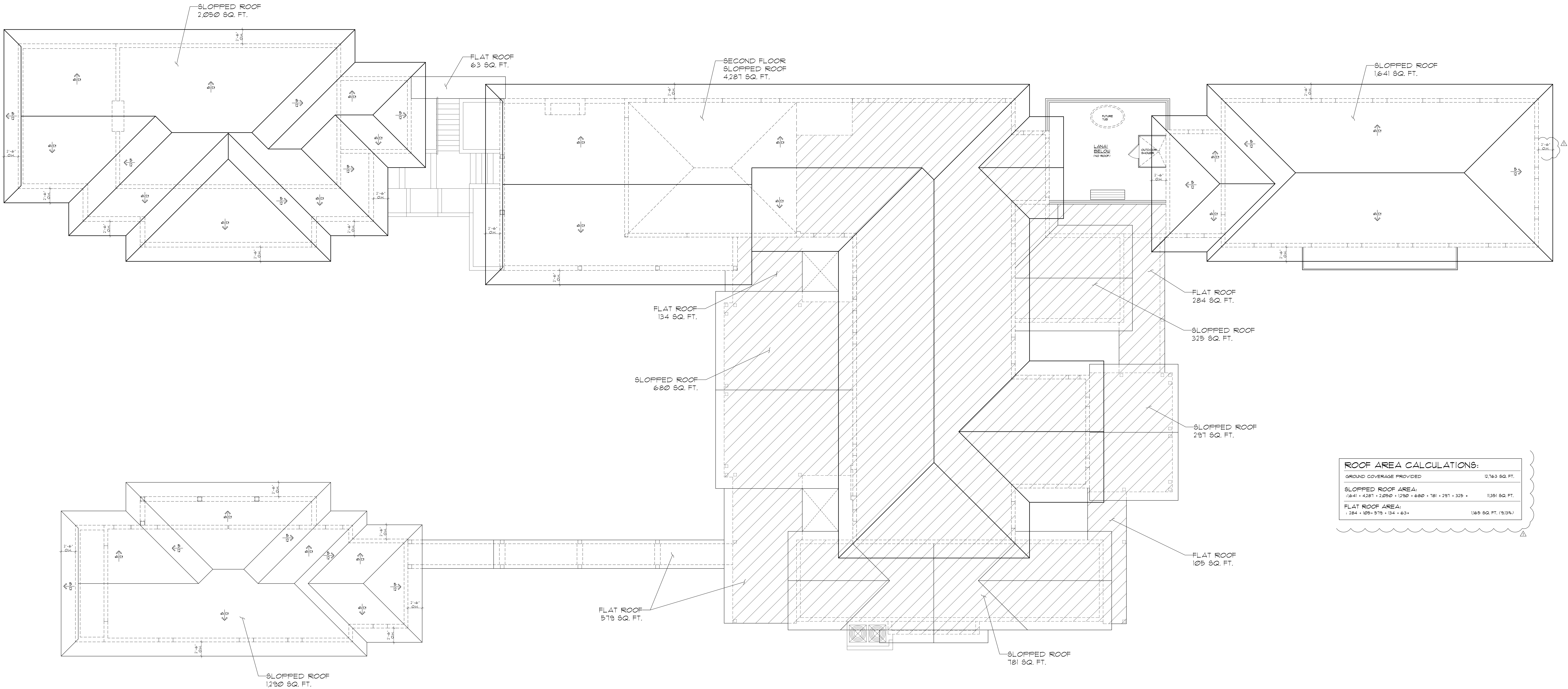
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PROJECT No.:
OWNER: MIKE MORAN
SHEET: A12
X OF X

RESIDENCE FOR:
9050 HAMMOCK LAKE COURT
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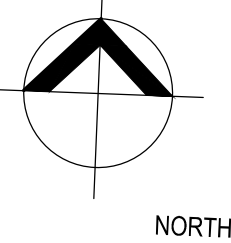
ROOF AREA CALCULATIONS:	
GROUND COVERAGE PROVIDED	12,763 SQ. FT.
SLOPPED ROOF AREA: 1,641 + 4,281 + 2,050 + 1,230 + 680 + 181 + 291 + 325 +	11,351 SQ. FT.
FLAT ROOF AREA: 284 + 105 + 519 + 134 + 63 +	1,065 SQ. FT. (9.33%)

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ROOF PLAN
SCALE : 3/16" = 1'-0"



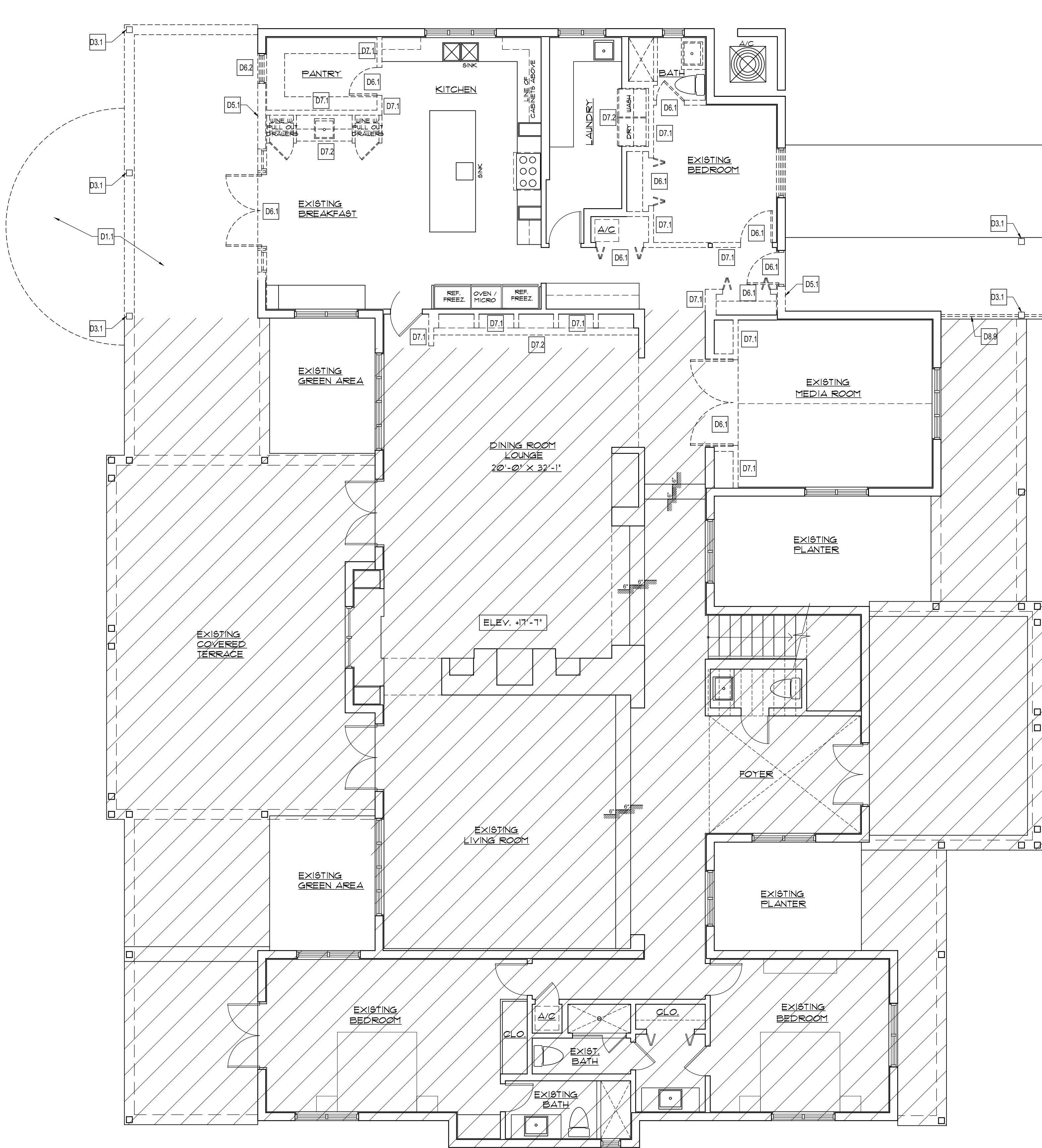
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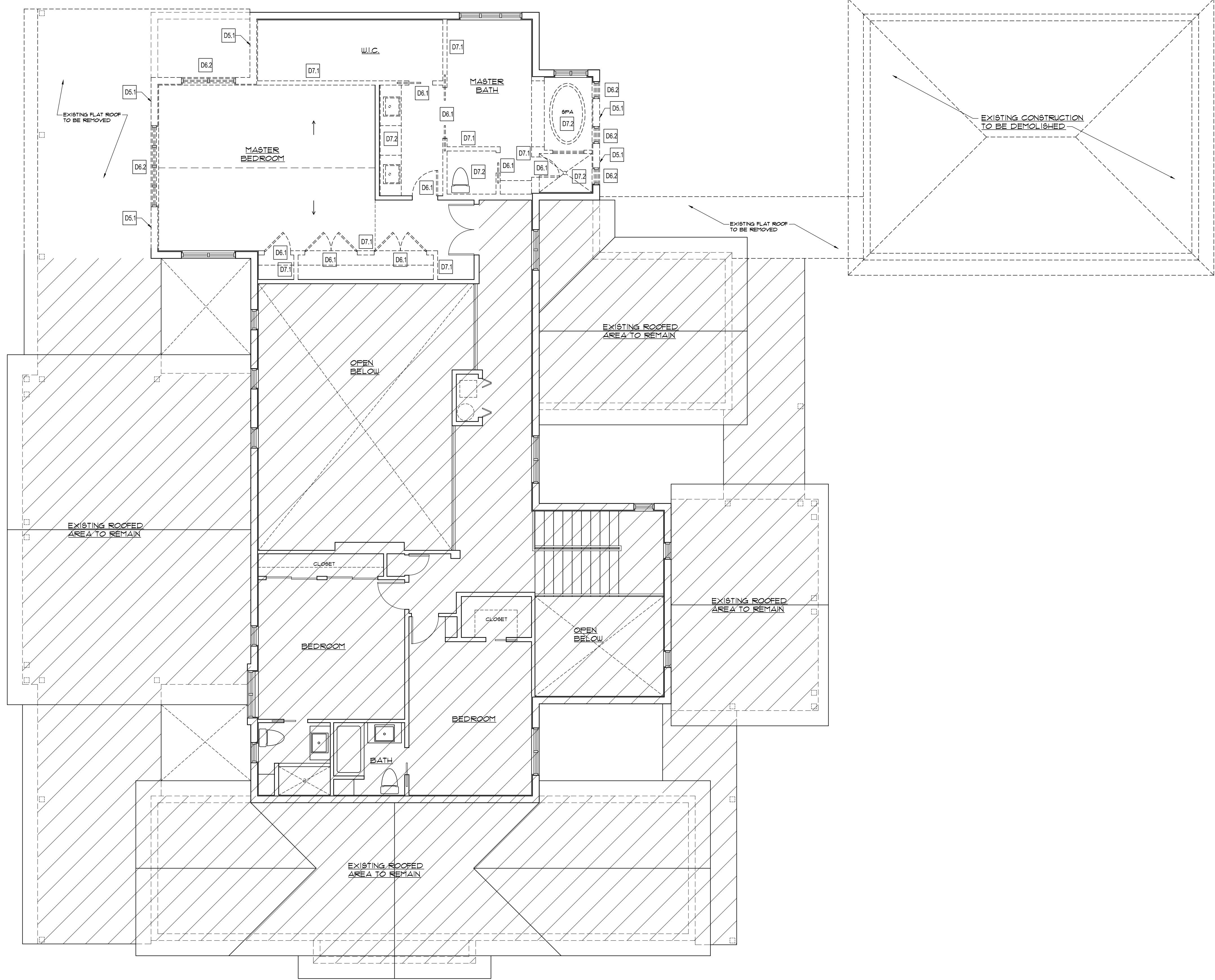
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GROUND FLOOR
DEMOLITION PLAN
SCALE : 3/16" = 1'-0"

DEMOLITION KEY NOTES	
[D10] SLABS	[D70] INTERIOR
[D11] SAW-CUT EXISTING CONC. SLAB REFER TO STRUCTURAL DUGGS FOR DETAILS	[D71] REMOVE INTERIOR PARTITIONS AS SHOWN. REMOVE 4" CAP ALL OUTLETS, SWITCHES, WIRING, ETC. TO THEIR SOURCE AS REQUIRED.
[D12] EXISTING CONC. STEPS TO BE REMOVED AND/OR RECONFIGURED	[D72] EXISTING MILLWORK, PLUMBING FIXTURES AND/OR APPLIANCES TO BE REMOVED
[D20] STAIRS	[D73] REMOVE EXISTING FINISH FLOOR AND BASEBOARDS IN THIS AREA
[D21] REMOVE EXISTING CONC. STAIRS AND RAILINGS	[D74] REMOVE EXISTING CEILING IN THIS AREA
[D30] COLUMNS	[D75] EXISTING LIGHT FIXTURES, A/C AND RETURN GRILLES TO BE REMOVED AND REPLACED. REFER TO PROPOSED REF.
[D31] EXISTING COLUMN TO BE REMOVED +	[D80] EXTERIOR
[D32] EXISTING COLUMN TO BE REMOVED AND TO BE REPLACED WITH NEW +	[D81] REMOVE FINISHES SILL & HOLDINGS AND PRECAST ELEMENTS AS SHOWN. PREPARE SURFACES TO RECEIVE NEW WORK.
[D40] BEAMS	[D82] REMOVE ALL EXTERIOR RAILINGS, BALCONIES AND EXTERIOR STAIRS
[D41] BEAM TO BE REMOVED +	[D83] REMOVE ROOF TILES AND ROOF STRUCTURE AS SHOWN
[D42] BEAM TO REMAIN AND TO BE REINFORCED - SEE STRUCTURAL DUGGS FOR MORE INFO.	[D84] OVERHANG/ROOF TO BE REMOVED (SEE STRUCTURAL PLANS FOR DETAILS)
[D43] BEAM TO BE PARTIALLY REMOVED + SQUARED - SEE STRUCTURAL DUGGS FOR MORE INFO.	[D85] REMOVE EXISTING FLOOR IN THIS AREA
[D50] CMU WALLS	[D86] REMOVE EXISTING ROOF TILES
[D51] PARTIALLY DEMO CMU WALL FOR NEW OPENING. SEE PROPOSED PLANS FOR NEW DOOR / WINDOW SIZE AND LOCATION.	[D87] REMOVE EXISTING ROOF STRUCTURE TO REMAIN
[D52] EXIST. CMU WALL/COLUMN TO BE REMOVED. PREPARE SURFACES TO RECEIVE NEW WORK.	[D88] REMOVE EXISTING DRIVEWAY
[D53] EXISTING OPENING TO BE BLOCKED UP AND PATCHED AS REQUIRED +	[D89] REMOVE EXISTING LATTICE
[D60] WINDOWS & DOORS	
[D61] REMOVE EXISTING DOOR(S) + DOOR FRAME(S) AS SHOWN	
[D62] REMOVE EXISTING WINDOW(S) + WINDOW FRAME(S) AS SHOWN	
+ PROVIDE SHORING AS REQUIRED. SEE STRUCTURAL DUGGS FOR SEE DETAILS AND REINFORCING INFORMATION. + EXISTING CONCRETE FLOOR SLABS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED. + PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES. + PATCH EXISTING GIB WALLS OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH (3) COATS OF SPACKLING SANDPAP AND LEFT IN A PAINT READY CONDITION	



SECOND FLOOR
DEMOLITION PLAN
SCALE : 3/16" = 1'-0"

DEMOLITION NOTES :	
1. IF APPLICABLE, OBTAIN AN ASBESTOS INSPECTION REPORT PRIOR TO DISTURBANCE OF ANY MATERIALS.	
2. CAP EXISTING ELECTRICAL AND PLUMBING FIXTURES BEING REMOVED.	
3. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM REMAINING FROM DEMOLITION CONSTRUCTION AREA. KEEP AREA CLEAN AT COMPLETION OF DEMOLITION WORK. THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS + MISCELLANEOUS MATERIAL SHALL BE REMOVED.	
4. DURING DEMOLITION PROCESS IF ANY STRUCTURAL WALLS, COL'S AND BEAMS ARE ENCOUNTERED NOTIFY THE ARCHITECT/ENGINEER. DO NOT SAW-CUT ANY STRUCTURAL SLABS WITHOUT INSTRUCTIONS FROM THE STRUCTURAL ENGINEER.	
5. DISCONNECT ELECTRICAL MAIN, WATER MAIN AND GAS MAIN PRIOR TO DEMOLITION.	
6. DISCONNECT WATER MAIN PRIOR TO DEMOLITION.	
7. REMOVE ALL DECORATIVE WOOD STRUCTURE.	
8. REMOVE ALL ELECTRICAL FIXTURES + HOUSING, ELECTRICAL CONDUITS + WIRING TO REMAIN. TEMPORARY CAP AS REQUIRED FOR FUTURE USE.	
9. PROVIDE TEMPORARY BARRIER FOR ALL DROPS OVER 24" HIGH.	
10. REMOVE SOME EXTERIOR WINDOWS + DOOR AS SHOWN ON PLAN.	
11. ALL NEW EXTERIOR OPENING SHALL BE TEMPORARILY COVERED W/ FLYWOOD.	
DEMOLITION GENERAL NOTES :	
1. THIS DUG IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION CONTRACTORS SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.	
2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS FOR IDENTIFYING POSSIBLE CRITICAL ITEMS. NOT ADDRESSED OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL/RELOCATION.	
3. CONTRACTOR SHALL ALSO CHECK AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.	
4. THE DEMOLITION WORK SHALL INVOLVE INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK, INCLUDING WORK ABOVE AND/OR BELOW THE FLOOR LEVEL WITHIN THE SCOPE. IT SHALL REQUIRE WORK INVOLVING REMOTE UTILITY LINES (FIRE, SPRINKLERS, PLUMBING, MECHANICAL, ELECTRICAL, COMMUNICATIONS, ETC.) ANY SUCH WORK SHALL BE INCLUSIVE OF ALL STRUCTURES, UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND SAFETY CODE REQUIREMENTS AND TO MEET OWNERS APPROVAL. ALL WORK AS DESCRIBED IN THIS NOTE SHALL BE INCLUDED AS PART OF THE BASE CONTRACT PRICE.	
5. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING SLABS SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. CONTRACTOR SHALL RESTORE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK. CONTRACTOR SHALL SEAL TIGHT ALL NEW PENETRATIONS IN WALL AND FLOOR/CEILING SLABS TO PRESERVE THE REQUIRED FIRE RATING INTEGRITY.	
6. EXISTING CONCRETE FLOOR SLABS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.	
7. EVOLUTION OF DEMOLITION SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH THE SAFETY AND CONVENIENCE OF THE PUBLIC AND THOSE AROUND THE SITE.	
8. WASTE MATERIALS AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIALS WILL BE AT DISCRETION OF THE CONTRACTOR.	
9. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES.	
10. KEEP PREMISES CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.	
11. DEMOLISH AND REMOVE EXISTING CONDITIONS AS SHOWN BY DASHED LINES/ OR AS NOTED, UNLESS OTHERWISE NOTED.	
12. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY IN FIELD.	
13. CONTRACTOR SHALL CHECK AND VERIFY ALL NOTES AND DIMENSIONS BEFORE PROCEEDING WITH WORK.	
14. ALL WORK TO BE DONE IN ACCORDANCE TO THE LATEST EDITION OF THE FBC, NEC AND ANY APPLICABLE LOCAL CODES.	
15. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.	
16. GC TO INCLUDE PRICING FOR ASBESTOS SURVEY AS MAY BE REQUIRED BY THE CITY. GC TO UTILIZE LANDOWNERS APPROVED CONSULTANT.	
17. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE ARCHITECT AND THE OWNER.	
18. REROUTE OR EXTEND EXISTING PLUMBING OR A/C LINES IN AREAS WHERE DEMOLITION WILL OCCUR.	
19. WHERE REMOVAL OF PARTITIONS RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS AND CEILING TO PROVIDE SMOOTH PLACES WITHOUT BREAK, STOPS, OR BULKHEADS.	
20. REMOVE EXISTING GYPSUM WALLBOARD CEILING AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT AND REPLACE CEILING SYSTEM WITH GYPSUM WALLBOARD FINISH IN A TEXTURE AS SPECIFIED.	
21. ALL EXISTING HOLES, CRACKS IN SLAB AND THOSE RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE FILLED, PREPARED AND SURFACE PATCHED SMOOTH AND LEVEL WITH ADJACENT FLOOR SURFACES. APPROPRIATE FIRE RATED MATERIALS THAT MEET CODE ARE TO BE USED.	

DEMOLITION LEGEND :	
-----	DASHED LINES INDICATE ITEMS TO BE DEMOLISHED
-----	LINE THAT INDICATES THE SCOPE OF WORK
	NOTES EXISTING (NOT INCLUDED IN THE SCOPE OF WORK)
(V/F)	NOTES TO BE VERIFIED IN FIELD

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ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 8-1/2 TO 10 FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORM SHUTTERS STEEL JOISTS STORE FRONT AWNINGS TRELLISES
REFRIGERATED STAIRS ELEVATORS POOLS WATER FEATURES LOUVER ENCLOS.
(SHOP DUGS + CORRESPONDING STRUCTURAL CALC'S SHALL BE DATED, SIGNED + SEALED BY A FLORIDA LICENSE ENGINEER)

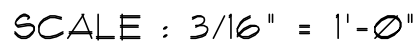
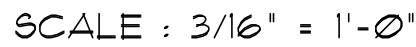
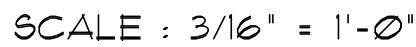
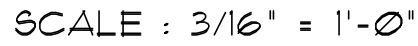
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DATE: 10/06/21
ISSUED: R.A.
DRAWN: A.R.
CHECKED: PROJECT NO.:
SHEET: A1.4
OF X

RESIDENCE FOR: 9050 HAMMOCK LAKE COURT
CORAL GABLES, FLORIDA

OWNER: MIKE MORAN

ANTONIO E. RODRIGUEZ
CAD Studio Architecture
REGISTRATION No. A00002588
L.C. No. AR63309
ANTONIO E. RODRIGUEZ, ARCHITECT, AIA
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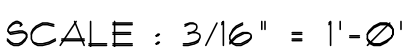
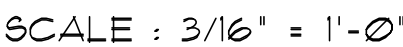
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STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
DUCTILE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORM FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER FEATURES	COVER ENCLOS.

SHOP DRAWING CORRESPONDING STRUCTURAL CALLS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSED ENGINEER.

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NOTE:			
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 1000 AS PER 16101 F.B.C. 8302.31.			
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 16101 F.B.C. 8302.31.			
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX OF NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 16101 F.B.C. 802.10.			
ELEVATION KEY NOTES			
NO.	FINISHES/VENEERS	2102	DECLARATIVE ELEMENTS
201	8"X20" STUCCO FINISH TO MATCH EXISTING	21.1	4"X8" VERTICAL LINE WOOD SCREEN @ 15' O.C.
202	EXISTING STUCCO SIDING (TYP)	21.2	ALUM. LOUVERED SCREEN WITH ALUM. POSTS
203	NEW STANDING METAL ROOF TO MATCH EXISTING	21.3	FLOATING STEPS W/IND RECT LIGHTING (TYP)
204	NEW STONE VENEER COLUMN BASE TO MATCH EXIST. COLUMNS.	21.4	36" AFF. COUNTER (SEE DETAIL 3.1)
205	NEW TONGUE AND GROOVE CEILING TYP. & MATCH EXISTING	21.5	4" AFF. BURE COUNTER (CONCRETE FOR EXTERIOR COUNTERS)
206	NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING	21.6	10" WOOD EXHAUST (10" X 10" SEE TYP DWGS FOR MORE INFORMATION)
207	NEW IMPACT RESISTANT DOOR TO MATCH EXISTING	21.7	2" H. STUCCO BAND
208	NEW GARAGE DOOR WITH WOOD VENEER	21.8	3" H. STUCCO BAND
209	NEW 8" H. CONCRETE BRACKETS	21.9	4" H. STUCCO BAND
210	NEW 42" H. ALUM. RAILING TO RESIST 4 x 6 SPHERE	21.10	STUCCO SILL (TYP.)
211	NEW 8"X16" BRICK VENEER	21.11	NEW LIGHT FIXTURE
212	NEW STEEL COLUMN WITH WOOD COLUMN COVER		

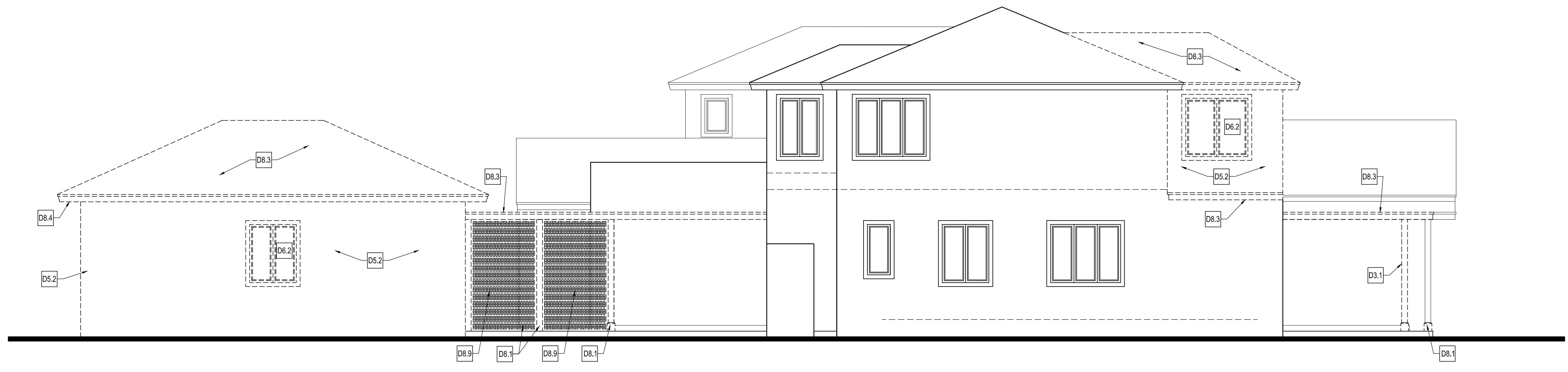
SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL,
WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDUOS
DUCTILE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORM FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

FOR EACH DUGS & CORRESPONDING STRUCTURAL CALLS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER



PROPOSED RIGHT SIDE ELEVATION
SCALE : 1/8" = 1'-0"



DEMOLITION RIGHT SIDE ELEVATION
SCALE : 3/16" = 1'-0"

DEMOLITION KEY NOTES	
D1.0 SLABS	D7.0 INTERIOR
D1.1 BALCONY EXISTING CONC. SLAB, REFER TO STRUCTURAL DUGS FOR DETAILS	D7.1 REMOVE INTERIOR PARTITIONS AS SHOWN, REMOVED & CAP, OUTLET, ETC. AS REQUIRED.
D1.2 EXISTING CONC. STEPS TO BE REMOVED AND/OR RECONFIGURED	D7.2 EXISTING MILLWORK, PLUMBING FIXTURES AND/OR APPLIANCES TO BE REMOVED
D2.0 STAIRS	D7.3 REMOVE EXISTING FINISH FLOOR AND BASEBOARDS IN THIS AREA
D2.1 REMOVE EXISTING CONC. STAIRS AND RAILINGS	D7.4 REMOVE EXISTING CEILING IN THIS AREA
D3.0 COLUMNS	D7.5 EXISTING LIGHT FIXTURES, A/C AND RETURN GRILLES TO BE REMOVED AND REPLACED, REFER TO PROPOSED PLAN
D3.1 EXISTING COLUMN TO BE REMOVED	D8.0 EXTERIOR
D3.2 EXISTING COLUMN TO BE REMOVED AND TO BE REPLACED WITH NEW	D8.1 REMOVE FINISHES, SILL, HOLDINGS AND PRECAST ELEMENTS AS SHOWN, PREPARE SURFACES TO RECEIVE NEW WORK
D4.0 BEAMS	D8.2 REMOVE ALL EXTERIOR RAILINGS, BALCONIES AND EXTERIOR STAIRS
D4.1 BEAM TO BE REMOVED	D8.3 REMOVE ROOF TILES AND ROOF STRUCTURE AS SHOWN
D4.2 BEAM TO REMAIN AND TO BE REINFORCED, SEE STRUCTURAL DUGS FOR MORE INFO	D8.4 OVERHANG ROOF TO BE REMOVED, EXISTING ROOF STRUCTURE TO REMAIN
D4.3 BEAM TO BE PARTIALLY REMOVED & SQUARED, SEE STRUCTURAL DUGS FOR MORE INFO	D8.5 REMOVE EXISTING FLOOR IN THIS AREA
D5.0 CMU WALLS	D8.6 REMOVE EXISTING ROOF TILES, EXISTING ROOF STRUCTURE TO REMAIN
D5.1 PARTIALLY DEMO CMU WALL FOR NEW OPENING, SEE PROPOSED PLAN FOR NEW DOOR, WINDOW SIZE AND LOCATION	D8.7 REMOVE EXISTING POOL & POOL DECK
D5.2 EXIST. CMU WALL COLUMN TO BE REMOVED, PREPARE SURFACES TO RECEIVE NEW WORK	D8.8 REMOVE EXISTING DRIVEWAY
D5.3 EXISTING OPENING TO BE BLOCKED UP AND PATCHED AS REQUIRED	D8.9 REMOVE EXISTING LATTICE
D6.0 WINDOWS & DOORS	D9.0 ROOF
D6.1 REMOVE EXISTING DOOR(S) & DOOR FRAME(S) AS SHOWN	D9.1 REMOVE EXISTING ROOF STRUCTURE, PREPARE SURFACE TO RECEIVE NEW WORK
D6.2 REMOVE EXISTING WINDOW(S) & WINDOW FRAME(S) AS SHOWN	
* PROVIDE SHORING AS REQUIRED, SEE STRUCTURAL DUGS FOR SIZE, DETAILS AND REINFORCING INFORMATION	
1. EXISTING CONCRETE FLOOR SLABS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.	
2. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES AS REQUIRED TO MATCH ADJACENT SURFACES	
3. MATCH EXISTING G.B. WALLS OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN WORK WALL THICKNESS, ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION	

ELEVATION KEY NOTES	
20.0 FINISHES/VENEERS	21.0 DECORATIVE ELEMENTS
20.1 SMOOTH STUCCO FINISH TO MATCH EXISTING	21.1 4"X8" VERTICAL IPE WOOD SCREEN & 15' O.C.
20.2 DECORATIVE STUCCO SIDING (TYP.)	21.2 ALUM. LOUVERED SCREEN WITH ALUM. POSTS
20.3 NEW STANDING METAL ROOF TO MATCH EXISTING	21.3 FLOATING STEPS W/INDIRECT LIGHTING (TYP.)
20.4 NEW STONE VENEER COLUMN BASE WITH 2" HI. TOP BAND (TYP. & EXIST. COLUMNS)	21.4 26" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1)
20.5 TONGUE AND GROOVE CEILING TYP. & ALL EXTERIOR CEILINGS	21.5 42" AFF. BAR COUNTER (CONCRETE FOR EXTERIOR COUNTERS)
20.6 NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING	21.6 18" HOOD EXHAUST (CON.) SEE MECH DUGS FOR MORE INFORMATION
20.7 NEW IMPACT RESISTANT DOOR TO MATCH EXISTING	21.7 2" HI. STUCCO BAND
20.8 NEW GARAGE DOOR WITH WOOD VENEER	21.8 3" HI. STUCCO BAND
20.9 NEW 8" HI. CONCRETE BRACKETS	21.9 4" HI. STUCCO BAND
20.10 NEW 42" HI. ALUM. RAILING TO REFLECT A 4" SPHERE	21.10 STUCCO SILL (TYP.)
20.11 NEW 8"x16" BRICK VENEER	21.11 NEW LIGHT FIXTURE
20.12 NEW STEEL COLUMN WITH WOOD COLUMN COVER	

NOTE :
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2020 F.B.C. R302.3.1
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2020 F.B.C. R302.3.2
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 133 AS PER 2020 F.B.C. 302.10.1

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. & 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURER.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
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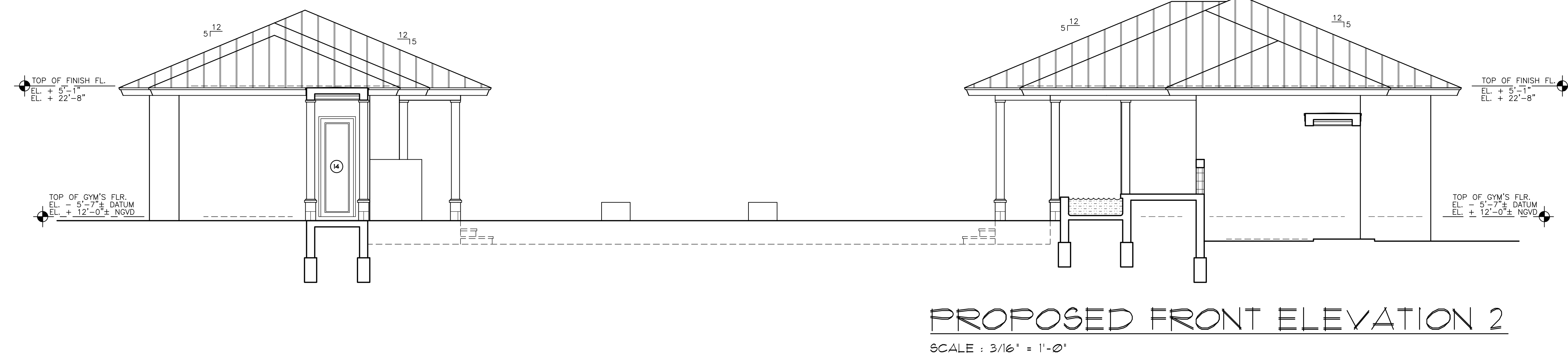
FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

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ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. @ 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
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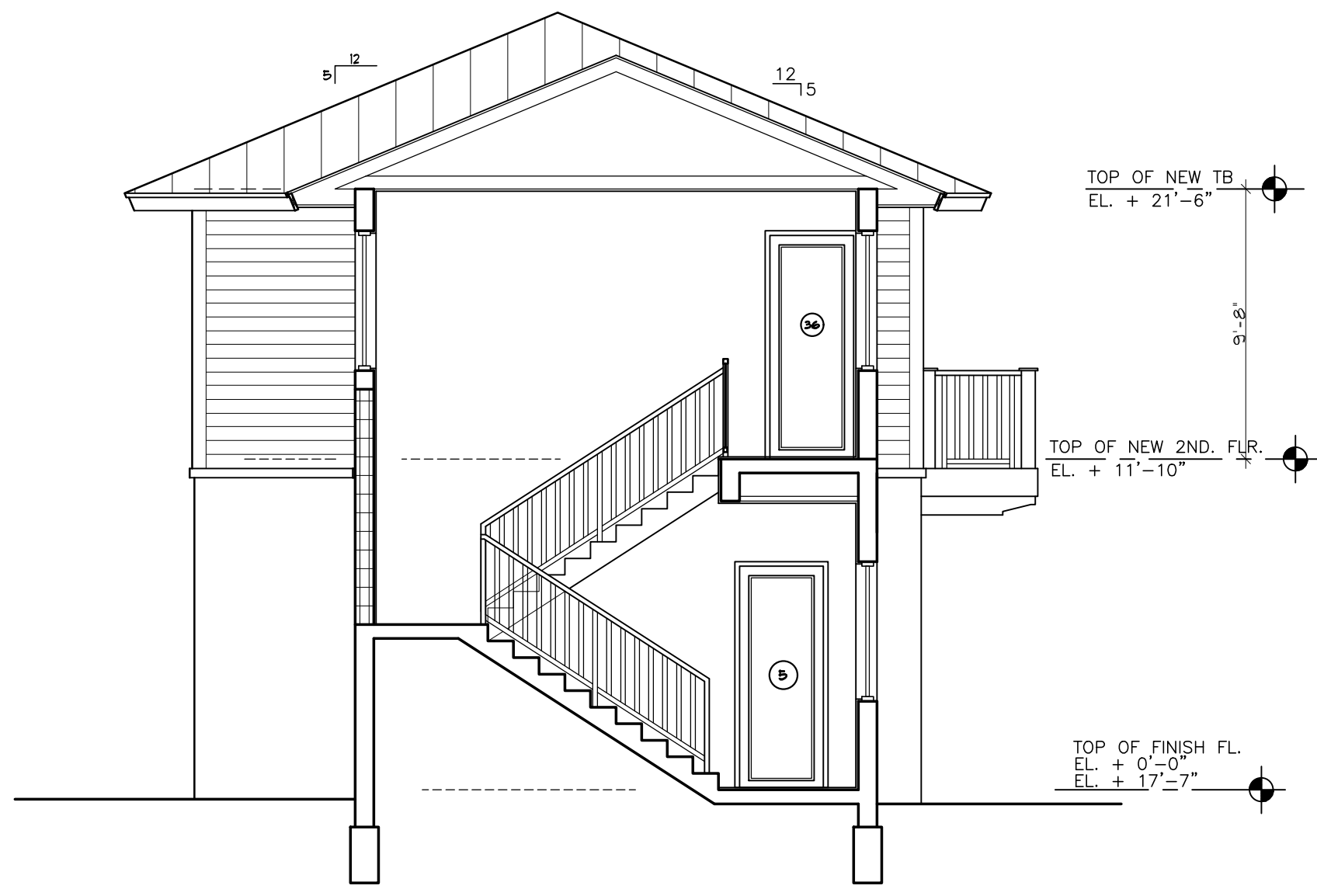
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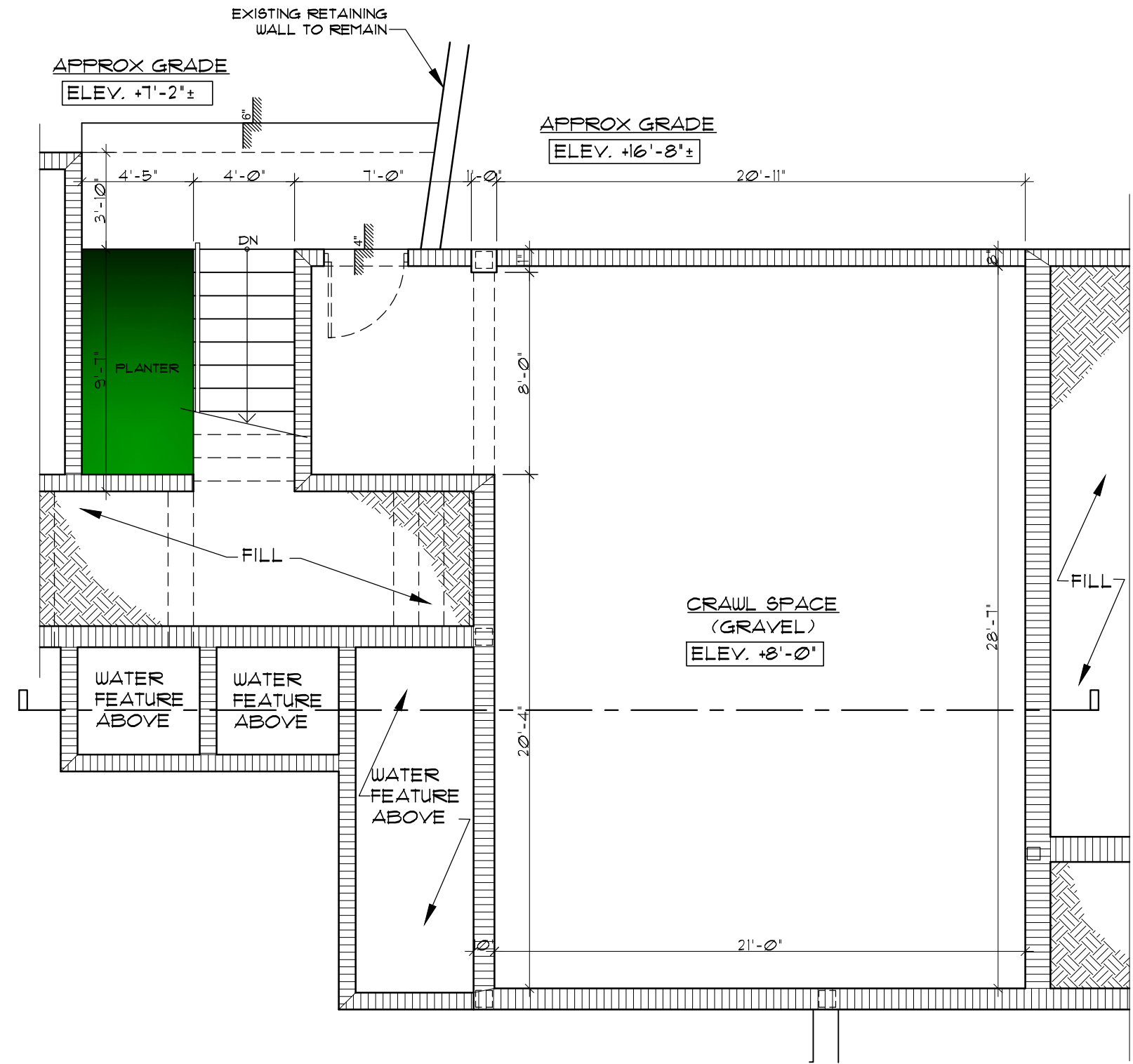
FRONT ELEVATION WITHOUT GARAGE

SCALE : 3/16" = 1'-0"



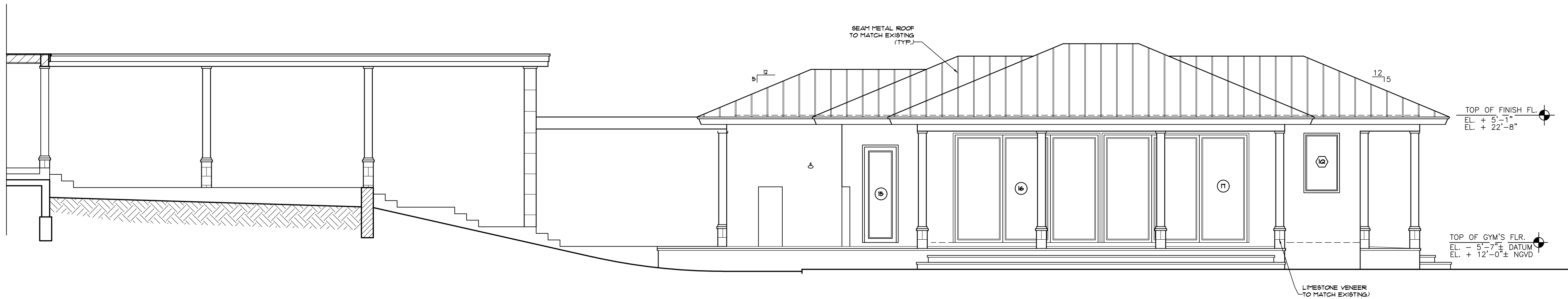
GARAGE REAR ELEVATION

SCALE : 3/16" = 1'-0"



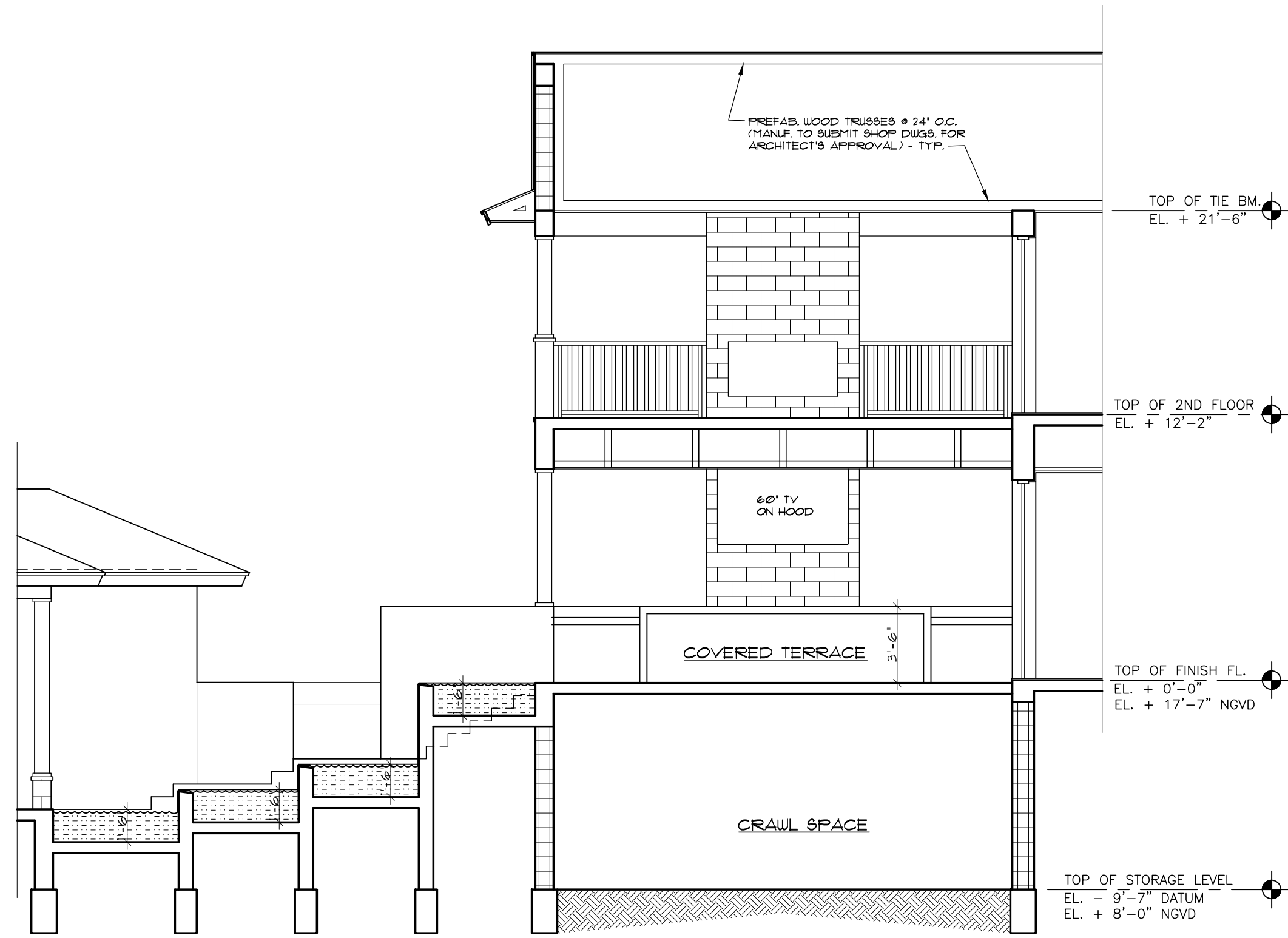
CRAWL SPACE PLAN

SCALE : 3/16" = 1'-0"



GYM SIDE ELEVATION 1

SCALE : 3/16" = 1'-0"



CRAWL SPACE SECTION

SCALE : 3/16" = 1'-0"

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STORM SHUTTERS	STEEL JOISTS	STONE FRONT	AWNINGS	TRELLISES
PRE-FABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

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