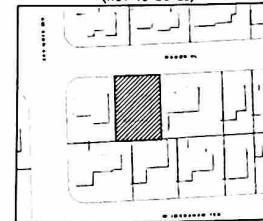


(IN FEET)
1 INCH = 20 FT.

MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 29, TOWNSHIP 54 SOUTH, RANGE 41 EAST
LYING AND BEING IN DADE COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633

PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE 200
MIAMI, FL 33174
PHONE: (305) 556-4022 FAX: (305) 556-4033
WWW.LANDMARKSURVEYING.COM
EMAIL: REQUEST@LANDMARKSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	= DENOTES AIR CONDITIONING UNIT
B.B.	= DENOTES BASIS OF BEARINGS
ASPH.	= DENOTES ASPHALT
P	= DENOTES PROPERTY LINE
B.M.	= DENOTES BENCH MARK
C.B.S.	= DENOTES CONCRETE BLOCK STUCCO
CONC.	= DENOTES CONCRETE
L.P.	= DENOTES LIGHT POLE
L.F.	= DENOTES GATCH BASIN
L.W.E.	= DENOTES CENTERLINE
D.E.	= DENOTES DRAINAGE EASEMENT
D.H.	= DENOTES DRILL HOLE
MEAS.	= DENOTES MEASURE
REC.	= DENOTES RECORD
W.P.P.	= DENOTES WOOD POWER POLE
U.E.	= DENOTES UTILITY EASEMENT
P.B.	= DENOTES PLAT BOOK
P.C.P.	= DENOTES PERMANENT CONTROL POINT
P.O.B.	= DENOTES POINT OF BEGINNING
TYP.	= DENOTES TYPICAL
M.H.W.	= DENOTES MEAN HIGH WATER LINE
W.F.	= DENOTES WOOD FENCE
C.U.L.F.	= DENOTES CHAIN LINK FENCE
I.F.	= DENOTES IRON FENCE
F.I.P.	= DENOTES FOUND IRON PIPE (NO ID.)
F.N.D.	= DENOTES FOUND NAIL AND DISC
A.P.	= DENOTES ASPHALT PAVEMENT
C.P.	= DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	X	
ELEVATION:	N/A	
COMMUNITY:	120639	
PANEL:	12086C0459	
DATE OF FIRM:	09-11-2009	
SUFFIX:	L	
ORIGINAL FIELD WORK SURVEY DATE	03-11-2020	
BENCH MARK:	N/A	
ELEVATION:	N/A	
DATE	DRAWN BY	SCALE
03-12-2020	J.FEE	1"=20'
REVISION /	UPDATE OF SURVEY	
DATE	DRAWN BY	DESCRIPTION
07-16-2020	EG	ADD TREES
07-29-2020	EG	ADD ELEVATION
JOB No.		
2003-0098-01		

LEGAL DESCRIPTION:

LOT 6 AND THE EAST 25 FEET OF LOT 7, BLOCK 4, OF "COCONUT GROVE MANOR", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, AT PAGE 19, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOJO NO. 03-4129-024-0400

322 MANOR PLACE,
CORAL GABLES, FLORIDA 33133-6612

AREA OF PROPERTY: 7,500 SQUARE FEET AND/OR
0.172 ACRES MORE OR LESS.

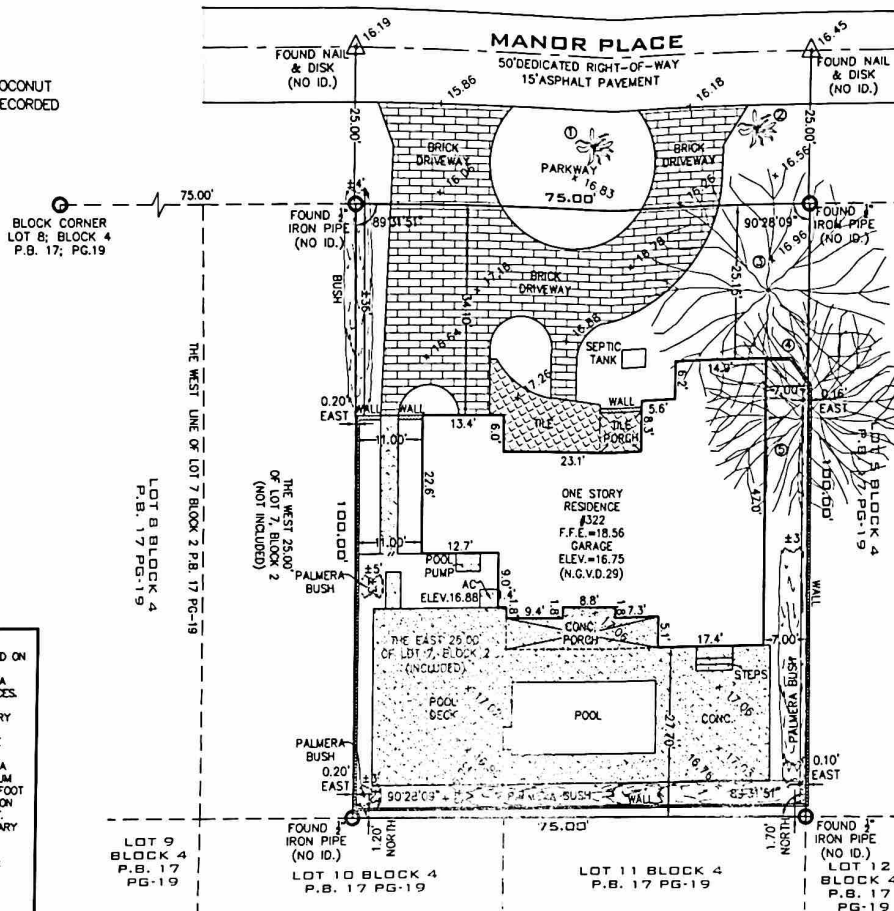
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE
EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE
CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED
PARTIES.

-JUAN M. SALVAT AND HILDA E. SALVAT

SURVEYOR'S NOTES:

- 1) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 2) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (54-17.51FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6) TYPE OF SURVEY: BOUNDARY SURVEY.
- 7) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29).
- 8) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13) ONLY VISIBLE AND ABOVE GROUND ENCUMBRANCES LOCATED.
- 14) WALL TIES ARE TO THE FACE OF THE WALL.
- 15) FENCE OWNERSHIP NOT DETERMINED.
- 16) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "COCONUT GROVE MANOR" RECORDED IN PLAT BOOK 17, AT PAGE 19.
- 20) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET OR SMALLER.

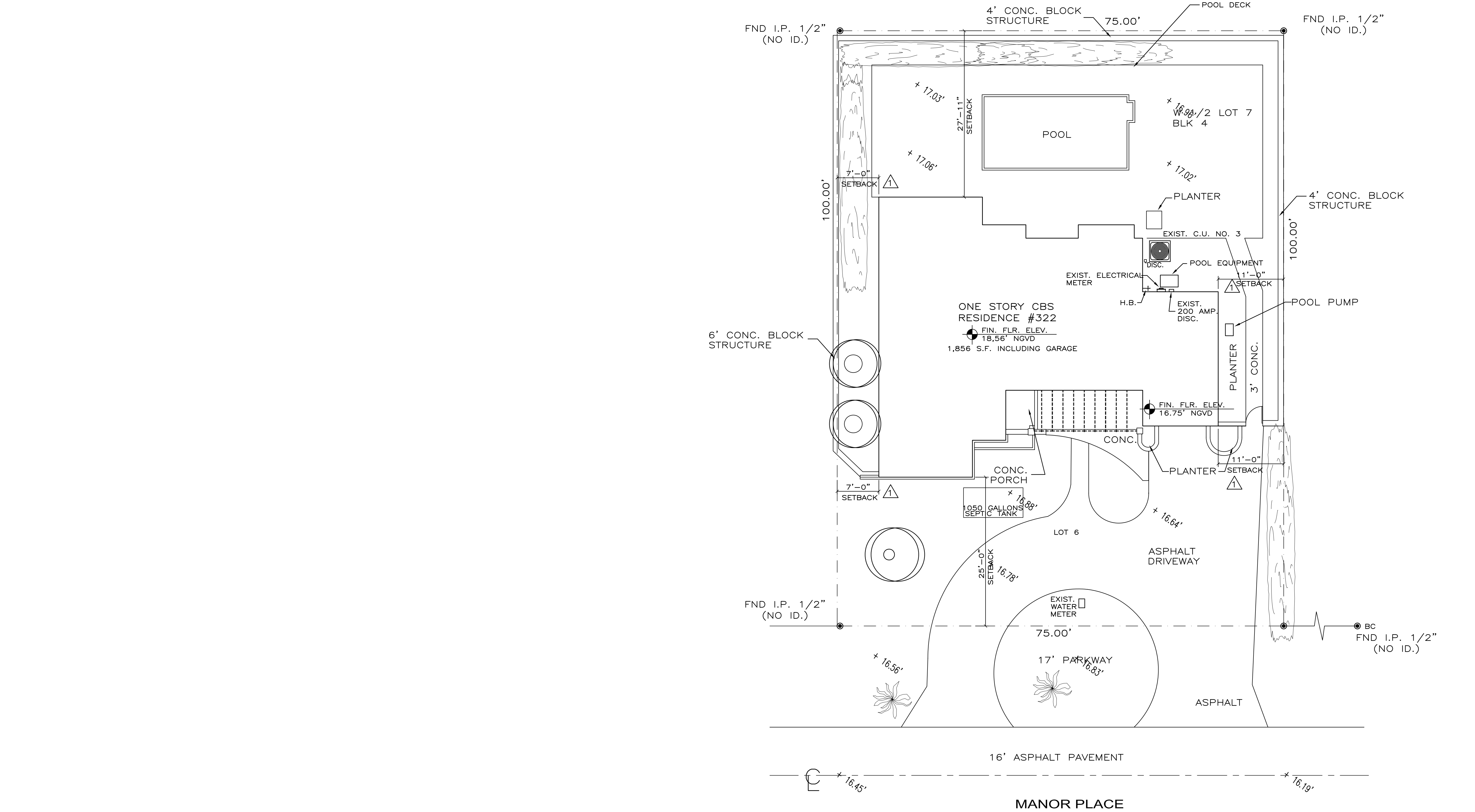


NO.	TREES	DESCRIPTION (FEET)		
		HIGH	DIAMETER	CANOPY
1	COCONUT	15	1	6
2	COCONUT	20	1	6
3	OAK	35	2	40
4	OAK	35	1.5	30
5	OAK	35	1.5	30

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO
THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS
A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION
THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF
FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 54-17.050 THROUGH
54-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW,
PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

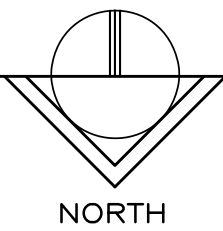
SIGNED: *[Signature]* FOR THE FIRM
ARTURO MENDOZA, P.E. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.



LEGAL DESCRIPTION
COCONUT GROVE MANOR PB 17-19
LOT 6 & E25FT LOT 7 BLK 4
LOT SIZE 75.000 X 100
OR 21173-4767 04/2003 1

AS-BUILT SITE PLAN

SCALE: 1/8"=1'-0"



Digitally signed by Julio Sanchez
DN: c=US, st=Florida, l=Miami, o=JSA Group Inc., cn=Julio Sanchez,
email=julio@jsagroup.net
Date: 2021.05.24 11:55:28 -0400
Adobe Acrobat version:
2017.011.30196

REVISIONS	
1	MAY 21, 2021
JSA GROUP INC. 12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924 AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net	
PROPOSE NEW ADDITIONS & INTERIOR RENOVATIONS DR. SALVAT RESIDENCE 322 MANOR PLACE CORAL GABLES, FL 33133	
JOB # 18-030	
DRAWN BY: IH	
AUGUST 2019	
AB-1	
NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK	

LANDSCAPE LEGEND

ZONING DISTRICT: SFR NET LOT AREA: 0.17 ACRES SQUARE FEET

OPEN SPACE

A. SQUARE FEET OF OPEN SPACE REQUIRED BY CHAPTER 33, AS INDICATED ON SITE PLAN:
NET LOT AREA = 7,500 S.F. X 40% = 3,000 S.F.

REQUIRED: 3,000 S.F.

PROVIDED: 3,059 S.F. *

B. SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED BY CHAPTER 18A, AS INDICATED ON SITE PLAN: THE NUMBER OF PARKING SPACES = 98 X 10 SQUARE FEET PER PARKING SPACE = 980 S.F.

0 S.F.

0 S.F.

C. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 = A + B = 3,000 S.F. + 0 S.F. = 3,000 S.F.

3,000 S.F.

3,059 S.F. *

LAWN AREA CALCULATION

A. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 = 3,000 S.F.

3,000 S.F.

3,059 S.F. *

B. MAXIMUM LAWN AREA (ST. AUGUSTINE SOD) PERMITTED = 40% X 7,500 SQUARE FEET = 3,000 S.F.

3,000 S.F. MAX.

3,059 S.F. **

TREES

A. THE NUMBER OF TREES REQUIRED PER NET LOT ACRE IS (3) LESS THE EXISTING NUMBER OF TREES THAT MEET MINIMUM REQ. (3) TREE PER LOT

0

0

3 REQ. NEW TREES

3 TREES *

B. 30% PALM TREES ALLOWED (TWO PALMS = ONE TREE) PALMS PROVIDED = N/A

0 PALMS

0 PALMS *

C. PERCENTAGE OF NATIVE TREES REQUIRED = THE NUMBER OF TREES PROVIDED IS THREE (3)

3 TREES

3 TREES *

D. STREET TREES (MAX. AVERAGE SPACING OF 35' O.C.): 161 LINEAR FEET ALONG STREET ÷ 35 = 5 PALMS AS STREET TREES (MAX. AVERAGE SPACING 25' O.C.): 161 LINEAR FEET ALONG STREET ÷ 25 = 7

5 TREES

5 TREE *

E. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAXIMUM AVERAGE SPACING OF 25' O.C.): N/A LINEAR FEET ALONG STREET ÷ 25 = N/A

0 PALMS

0 PALMS *

F. TOTAL NUMBER OF TREES PROVIDED = 3

3 TREES

3 TREES *

SHRUBS

A. THE TOTAL NUMBER OF TREES REQUIRED X 10 = THE NUMBER OF SHRUBS REQUIRED = 3 X 10 = 30

30 SHRUBS

124 SHRUBS *

THE NUMBER OF SHRUBS REQUIRED X 30% = THE NUMBER OF NATIVE SHRUBS REQUIRED = 30 X 30% = 9

9 SHRUBS

124 SHRUBS *

IRRIGATION PLAN: REQUIRED BY CHAPTER 33. AUTO IRRIGATION OR HOSE BIB PROVIDED.

* = ALL REQUIREMENTS ARE MET

** = AS PER SECTION 18A-6 OF MIAMI-DADE COUNTY, FL CODE OF ORDINANCES, "VERY DROUGHT TOLERANT GRASSES AND LOW GROWING NATIVE PLANTS, INCLUDING GRASSES AND FORBS, AS REFERENCED IN THE LANDSCAPE MANUAL, MAY BE USED AS GROUND COVER BEYOND THE MAXIMUM PERMITTED GRASS AREA SPECIFIED IN TABLE A."

TREE LEGEND

SYMBOL USED ON PLAN			PLANT NAME		NATIVE SPECIES		CALIPER	HEIGHT		CANOPY DIAMETER	QUANTITY
Symbol	New	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at Maturity	Estimated at Maturity	number
①		X	Wodyetia Bifurcata	Coconut	X		12"	15'	25'	6'	1
②		X	Wodyetia Bifurcata	Coconut	X		12"	20'	25'	6'	1
③		X	Quercus virginiana	Live oak	X		24"	35'	35'	40'	1
④		X	Quercus virginiana	Live oak	X		18"	35'	35'	30'	1
⑤		X	Quercus virginiana	Live oak	X		18"	35'	35'	30'	1
⑥	X		Quercus virginiana	Live oak	X		2"	12'	35'	30'	1
⑦		X		Palmera bush	X		N/A	N/A	N/A	N/A	124 shrubs
⑧	X		Quercus virginiana	Live oak	X		2"	12'	35'	30'	1

ADDITION AND REMODEL

FOLIO: 03-4129-024-0400 ADDRESS: 322 MANOR PLACE CORAL GABLES, FL 33133-6612

6 & EAST 25FT LOT 7 BLOCK/BLDG: 4

SUBDIVISION: COCONUT GROVE MANOR PLAT BOOK: 17 PAGE: 19

COST OF CONSTRUCTION-SCOPE OF WORK

INTERIOR RENOVATION-COST OF WORK (MUST INCLUDE ITEMIZED LIST): \$ -

ADDITION-COST OF WORK- 771 SQ.FT. OF CONST. X (47 SQ.FT. LIVING SPACE): \$26,985.00

- SQ.FT. OF CONST. X (35 SQ.FT. STORAGE, GARAGE, TERRACE): \$ -

TOTAL COST OF WORK: \$ -

	Lowest Floor Elev.(including basement/sunken areas)	Garage/ Storage Floor Elevation	Adjacent Grade Elevation (next to the wall of the structure)
EXISTING	18.56 FT. NGVD	16.75 FT. NGVD	16.75 FT. NGVD
PROPOSED	18.56 FT. NGVD	N/A FT. NGVD	17.02 FT. NGVD

THE OWNER OF THIS PROPERTY UNDERSTANDS THAT THE WORK AMOUNT INDICATED ABOVE IS GOING TO BE KEPT ON THE OFFICIAL PERMIT RECORD DURING A SIX (6) MONTH PERIOD FROM THE DATE OF WHICH THE CERTIFICATE OF COMPLETION IS ISSUED. IF ANY ADDITIONAL, REPAIR, RECONSTRUCTION, ALTERATION, ADDITION, REMODELING OR COMBINATION THEREOF IS DONE BEFORE THE CERTIFICATE OF COMPLETION IS ISSUED, OR WITHIN THE TRACKING PERIOD, IT WILL BE CONSIDERED A CONTINUANCE OF THE ABOVE WORK. IF THE PROPERTY IS DECLARED SUBSTANTIALLY IMPROVED OR DAMAGED AND THE FLOOR ELEVATION IS NOT IN COMPLIANCE, THE STRUCTURE WILL BE ELEVATED IN ACCORDANCE WITH CHAPTER 11C OF THE MIAMI-DADE COUNTY CODE.

0' - 0" = NGVD

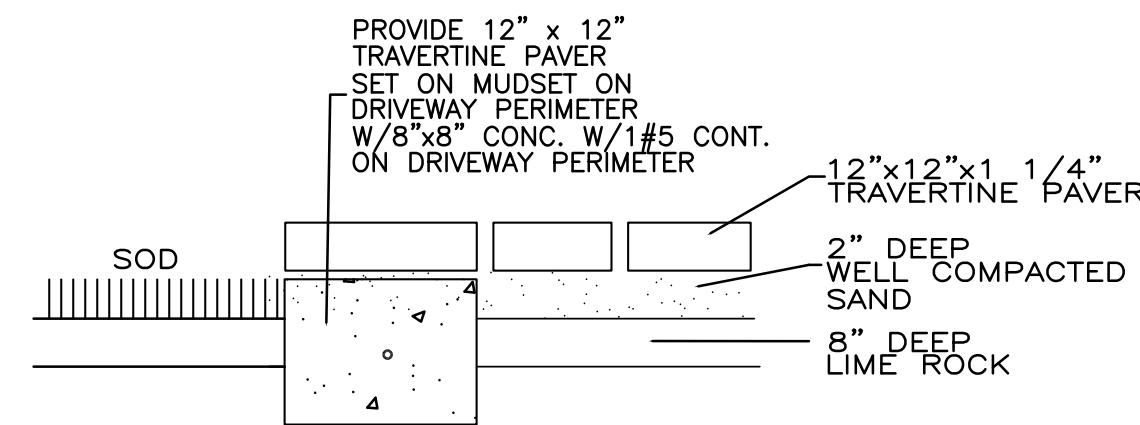
GENERAL NOTES

- GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL VISIT THE BUILDING SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMISSIONS OF BID.
- ANY ERRORS, AMBIGUITIES AND OMISSIONS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTIONS BEFORE SUBMISSION OF BID.
- UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CONTRACT AND/OR MANUFACTURES FAVOR OR BY VIRTUE OF ERRORS, DURING THE PREPARATION OF BID ESTIMATE AND DIRECTED TO THE (ARCHITECT) AMBIGUITIES AND OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED ATTENTION IN A TIMELY MANNER.
- WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK.
- ALL DRAWINGS AND DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF ARCHITECT AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.
- CONTRACTOR AND SUBCONTRACTORS DOING WORK ON THIS PROJECT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH A CERTIFICATE OF SAID INSURANCE. CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY WORKER'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THIS JOB.
- ALL WORK PERFORMED SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND ALL APPLICABLE COUNTY ORDINANCES, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORKS, NOT WITHSTANDING THE APPROVAL OF SHOP DRAWINGS, DESIGN MIXES, LABORATORY INSPECTIONS AND REPORTS. ARCHITECTS AND/OR ENGINEER'S FIELD OBSERVATIONS, THE LIKE OF WHICH ARE INTENDED TO ASSIST BUT IN NO WAY RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY.
- INCLUDED IN THE RESPONSIBILITIES OF ITEM 8. ARE THE FOLLOWING:
A. EXECUTION OF ALL WORKS IN A PROPER AND SAFE MANNER FOR ALL PERSONS, EQUIPMENT AND PROPERTIES.
B. DESIGN, ENGINEERING, CONSTRUCTION AND HANDLING OF ALL FORM WORK AND TEMPORARY STRUCTURES.
C. SPECIFIED STRENGTH AND PROPER PLACING OF CONCRETE. ALL CONCRETE AND RELATED WORK IMPROPERLY PLACED AND/OR TESTING UNDER STRENGTH SHALL BE REPLACED WITHOUT ANY ADDITIONAL EXPENSE TO THE OWNER.
- MEANS OF EGRESS SHALL COMPLY W/THE NFPA 101 2014 EDITION.
- EVERY CLOSET DOOR LATCH SHALL BE ABLE TO HAVE ANY CHILDREN OPEN FROM THE INSIDE OF CLOSET AND ALLOW TO UNLOCKED FROM THE OUTSIDE IN CASE OF AN EMERGENCY AS REQUIRED NFPA 101 LATEST EDITION.
- ALL SHOP DRAWINGS REQUIRED APPROVAL AT THE "CITY OF DANIA BEACH".

SITE NOTES

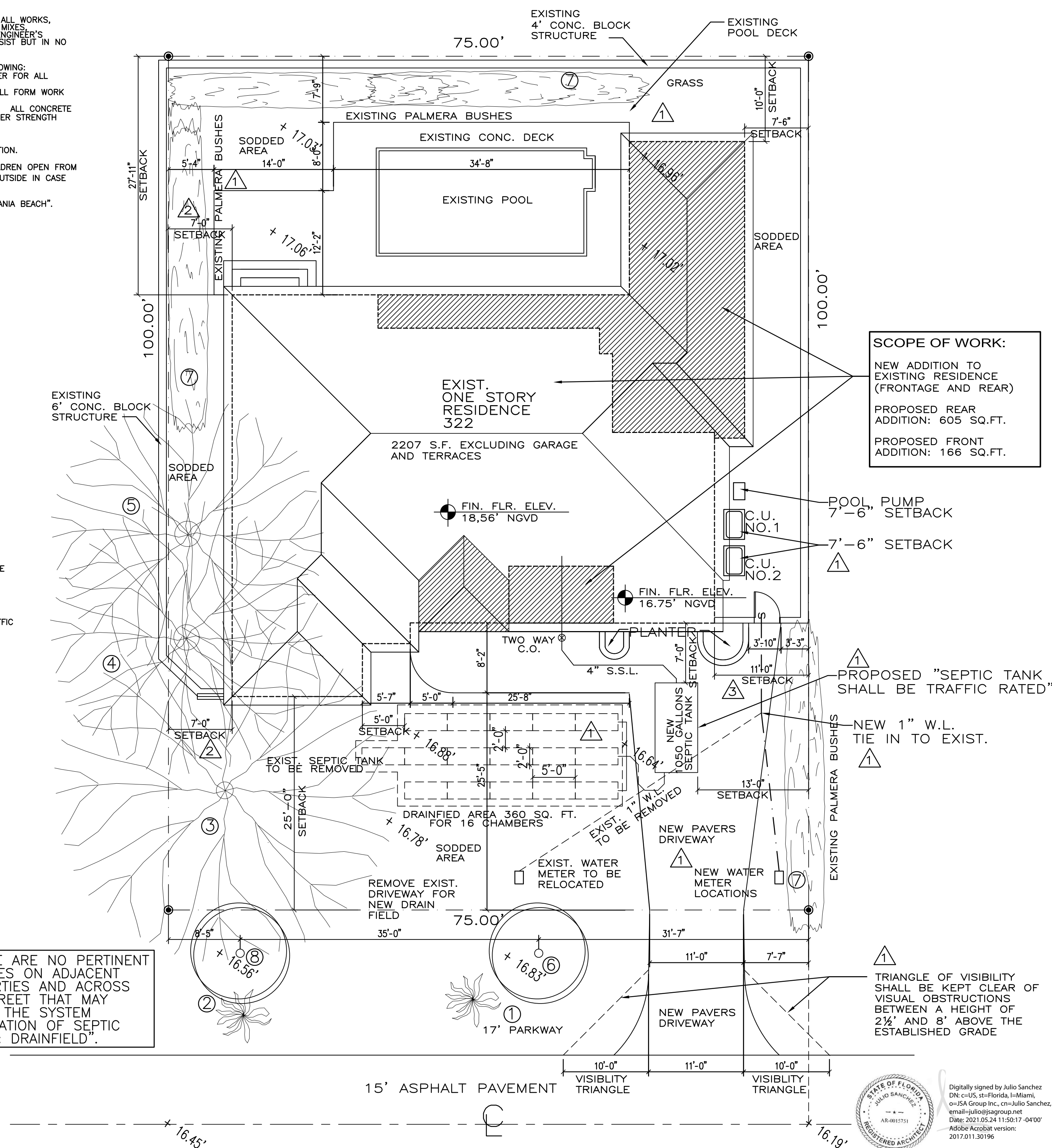
- PROVIDE ALL SITE CLEARING, EXCAVATION, FILL, BACKFILL, WROUGH, GRADING, SUB-GRADES AND COMPACTING.
- TREES TO REMAIN AND/OR RELOCATE AS SELECTED BY OWNER, SHALL BE PROTECTED AS REQUIRED.
- TREES TO BE REMOVED SHALL BE CUT AS DIRECTED BY THE OWNER. ALL SITE CLEARING DEBRIS AND TREE STUMPS SHALL BE REMOVED FROM THE JOB SITE.
- COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING CONTRACTORS AS WELL AS LOCAL UTILITIES PRIOR TO CONSTRUCTION; FOR WATER LINES, DRAINAGE PIPES, UNDERGROUND ELECTRICAL CONDUITS, MECHANICAL EQUIPMENT, IRRIGATION SYSTEMS AND ANY CONCEALED INSTALLATIONS WHICH MAY REQUIRE ADVANCE PLANNING OR BE DAMAGED.
- MAINTAIN BUILDING SITE CLEAN OF CONSTRUCTION DEBRIS THROUGH THE DURATION OF THE PROJECT.
- IF SIDEWALK IS TO BE PROVIDED, IT SHALL BE DIRECTED BY THE CORRESPONDING PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO SUBMITTING BIDS.
- PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".
THIS STATEMENT IS AS PER FBC 2017 SECT. R318.1 "PROTECTION AGAINST TERMITES".
- CONTRACTOR TO REPLACE ANY EXISTING SOD DUE TO FOOTING EXCAVATIONS, DISTURBANCE OF ANY EXISTING SODDED AREAS DUE TO EQUIPMENT DAMAGE, WORKER TRAFFIC OR ANY OTHER CIRCUMSTANCES.

*TYPICAL NOTES, CONTRACTOR TO USE NOTES APPLICABLE TO THE PROJECT.



PAVER DETAIL

SCALE 1 1/2"=1'-0"



*"THERE ARE NO PERTINENT FEATURES ON ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE SYSTEM INSTALLATION OF SEPTIC TANK & DRAINFIELD".

LEGAL DESCRIPTION

COCONUT GROVE MANOR PB 17-19
LOT 6 & E25FT LOT 7 BLK 4
LOT SIZE 75.000 X 100
OR 21173-4767 04/2003 1

MANOR PLACE

SEPTIC TANK/RAIN FIELD SITE PLAN

SCALE: 1/8"=1'-0"



Digitally signed by Julio Sanchez
DN: cn=Julio Sanchez, o=JSA Group Inc., email=julio@jsagroup.net
Date: 2017.05.24 11:55:17 -0400
Adobe Acrobat version:
2017.011.30196

NORTH

REVISIONS

1	JAN. 18, 2021
2	MAY 3, 2021
3	MAY 21, 2021



12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
AR-0015751/AAC003560/ID-0002171 julio@jsagroup.net

JSA GROUP INC.

PROPOSE NEW ADDITIONS & INTERIOR RENOVATIONS

DR. SALVAT RESIDENCE

322 MANOR PLACE
CORAL GABLES, FL 33133

JOB # 18-030

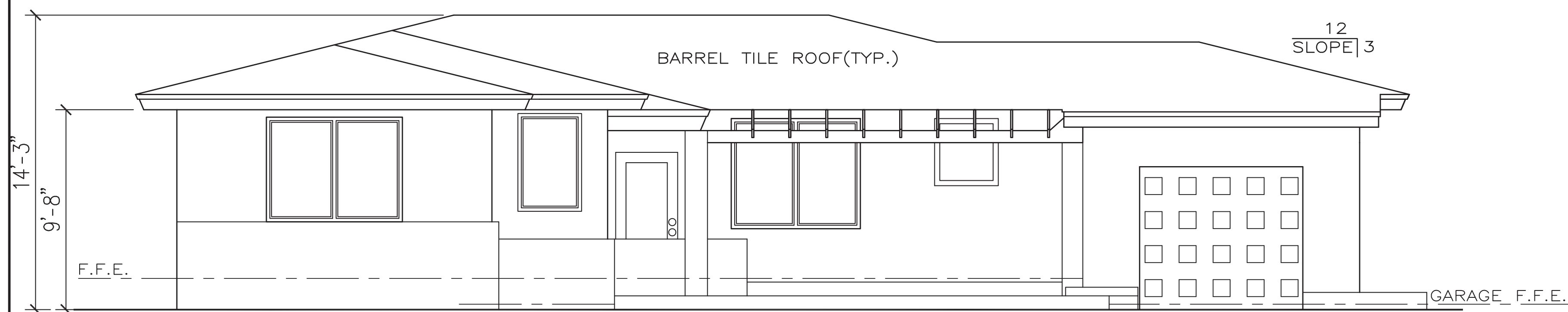
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AUGUST 2019

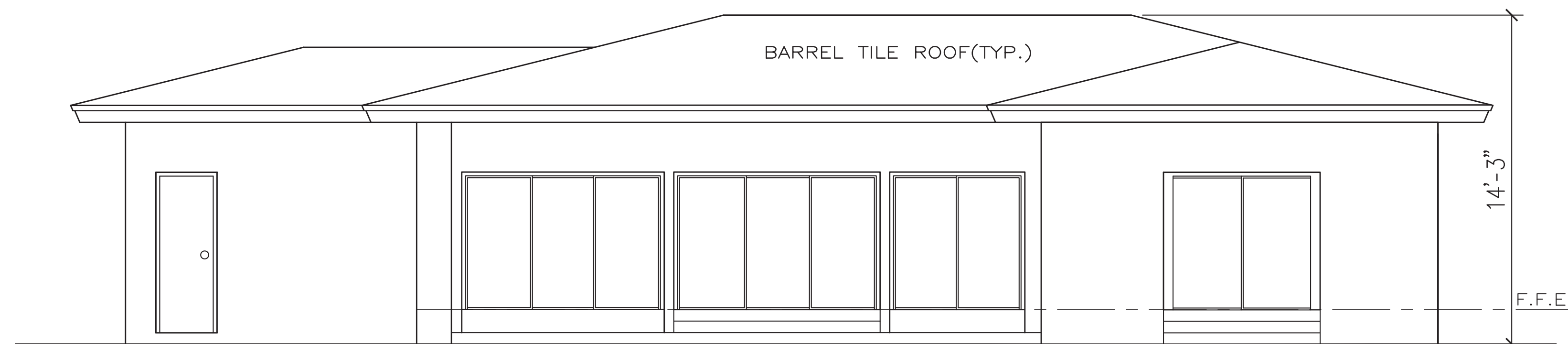
A-1



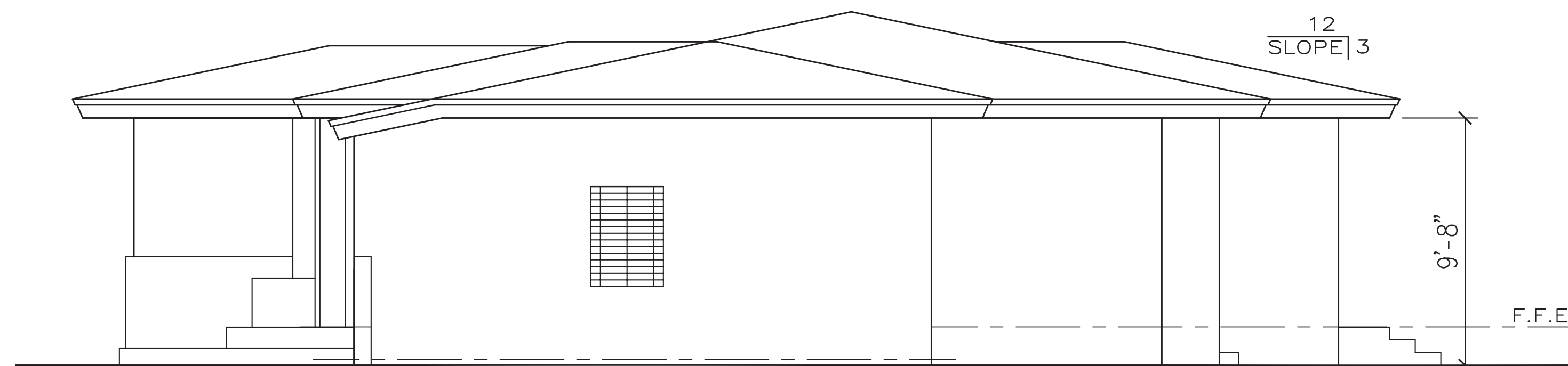
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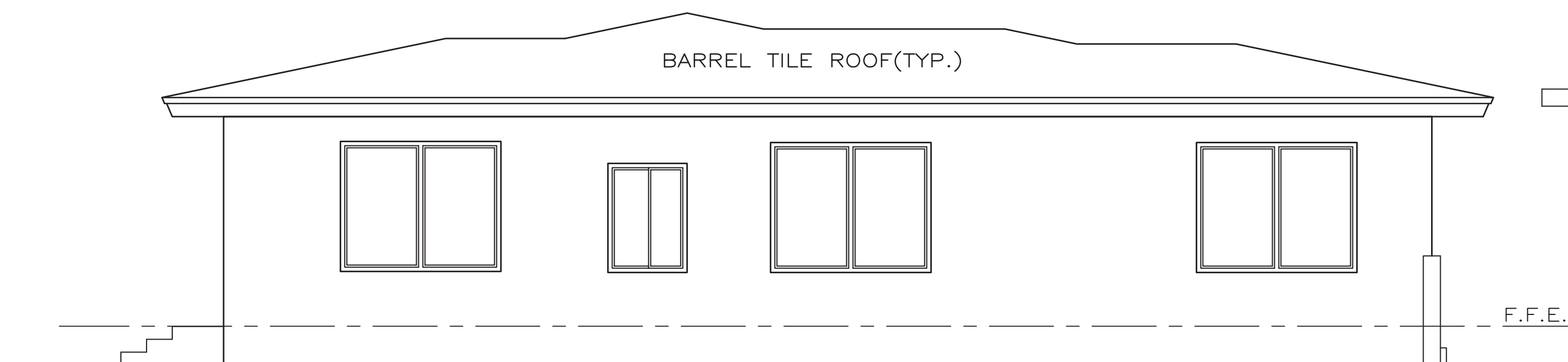
AS-BUILT (FRONT) NORTH ELEVATION



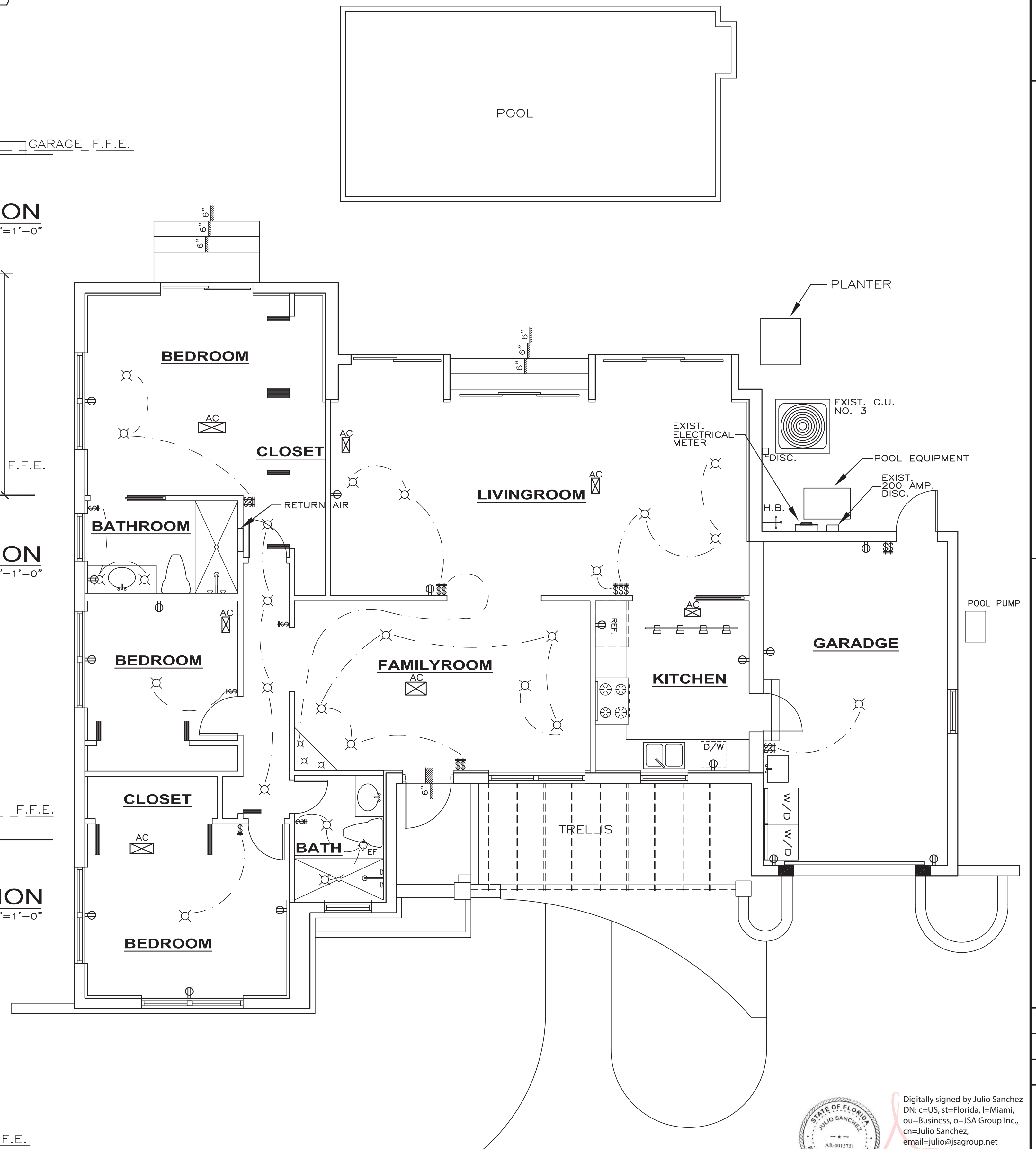
AS-BUILT (REAR) SOUTH ELEVATION
SCALE: 1/4"=1'-0"



AS-BUILT (RIGHT) WEST ELEVATION



AS-BUILT (LEFT) EAST ELEVATION
SCALE: 1/4"=1'-0"




AS-BUILT FLOOR PLAN
SCALE: 1/4"=1'-0"



Digitally signed by Julio Sanchez
DN: c=US, st=Florida, l=Miami,
ou=Business, o=JSA Group Inc.,
cn=Julio Sanchez,
email=julio@jsagroup.net
Date: 2020.09.08 13:58:13 -04'00'
Adobe Acrobat version:
2017.011.30175



USA GROUP INC. 12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER AR-0015751/A40003560/D-0002171 (305) 251-7923 FAX (305) 251-7924		EVISONS
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DR. SALVAT RESIDENCE
322 MANOR PLACE
CORAL GABLES, FL 33133-6612

OB # 18-030

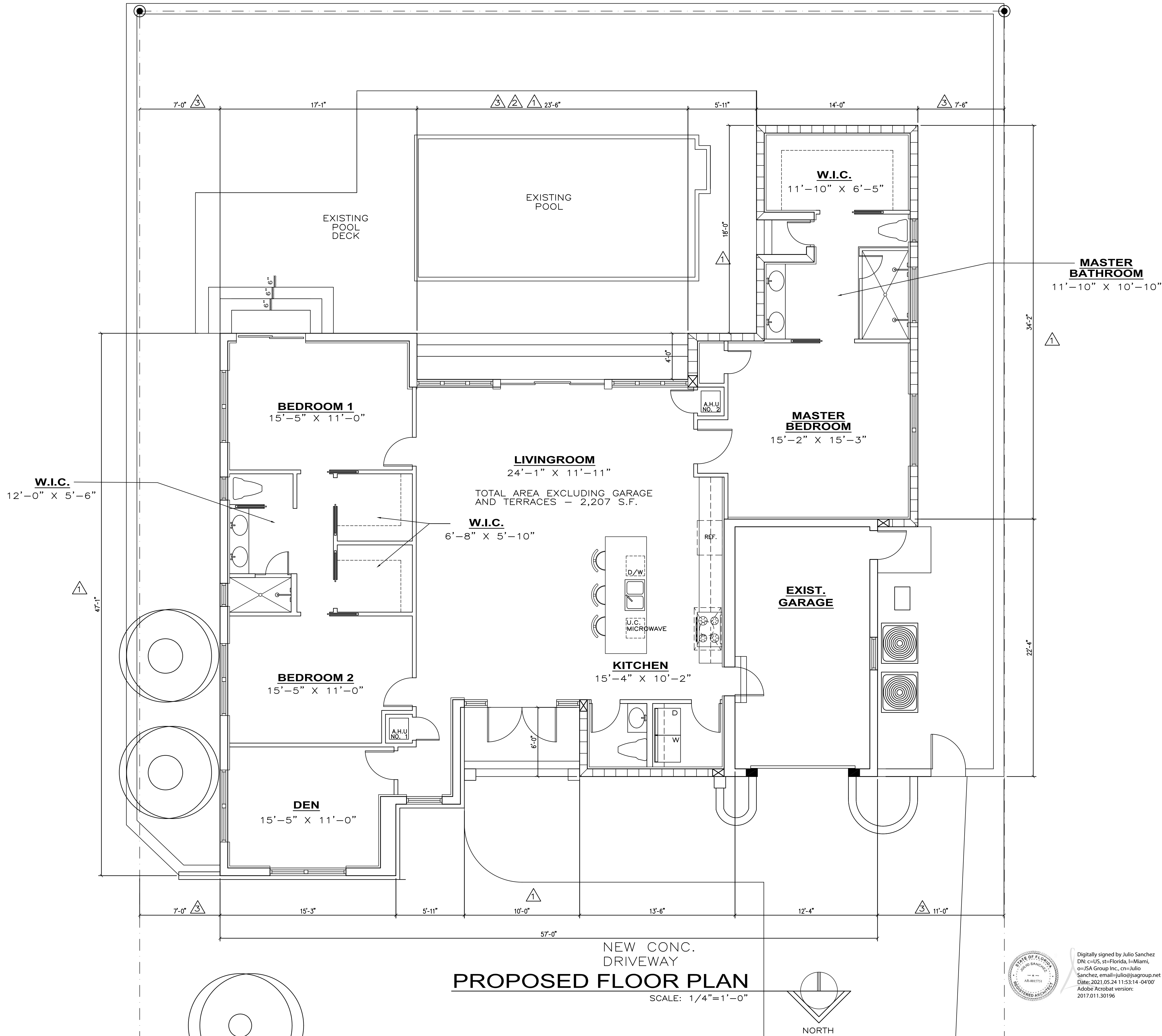
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JULY 2019

AB-2



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LESS SIGNED IN THIS BLOCK



REVISIONS

1	JAN. 18, 2021
2	MAY 3, 2021
3	MAY 21, 2021

JSA

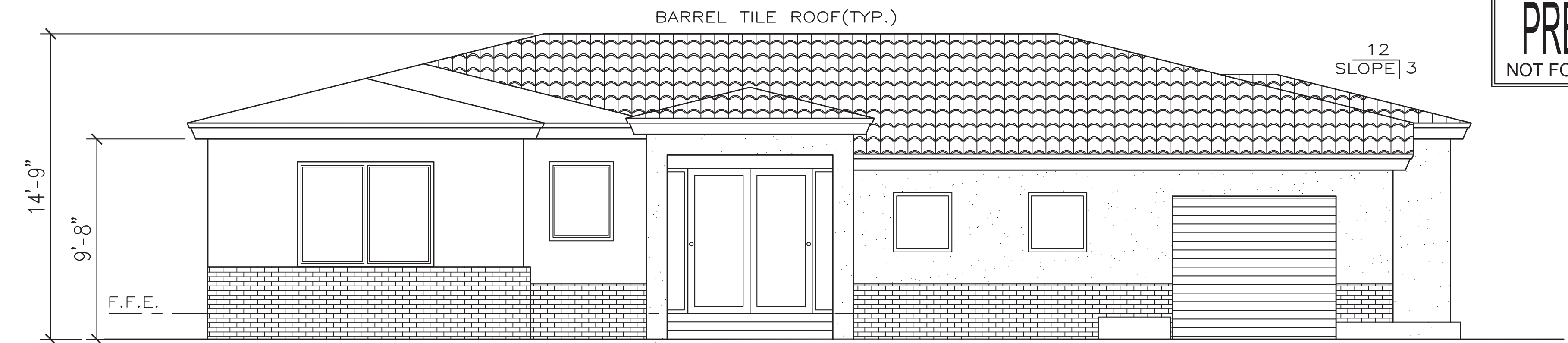
JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER
AR-0015751/AA0003560/D-0002171
(305) 251-7923
FAX (305) 251-7924

PROPOSE NEW ADDITIONS & INTERIOR RENOVATIONS
DR. SALVAT RESIDENCE
322 MANOR PLACE
CORAL GABLES, FL 33133-6612

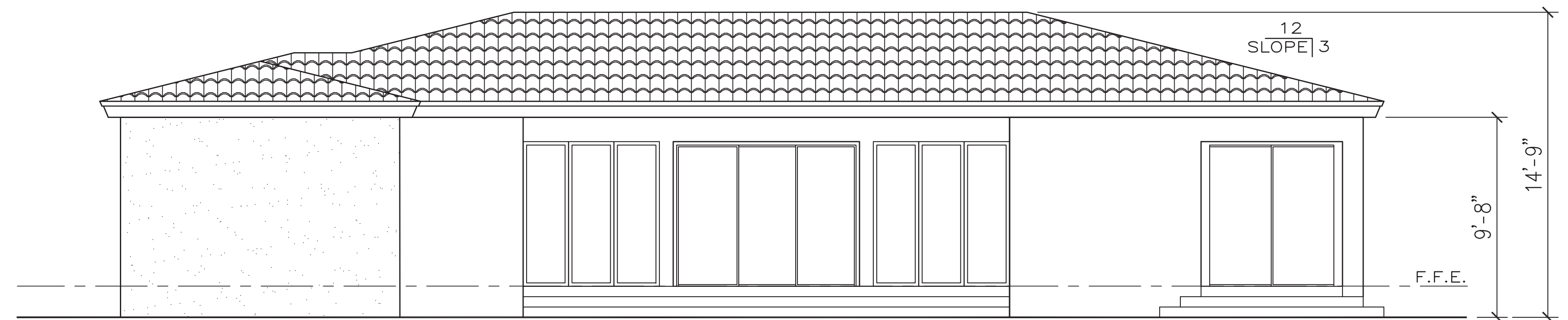
JOB # 18-030
DRAWN BY: MS
JULY 2019

A-2

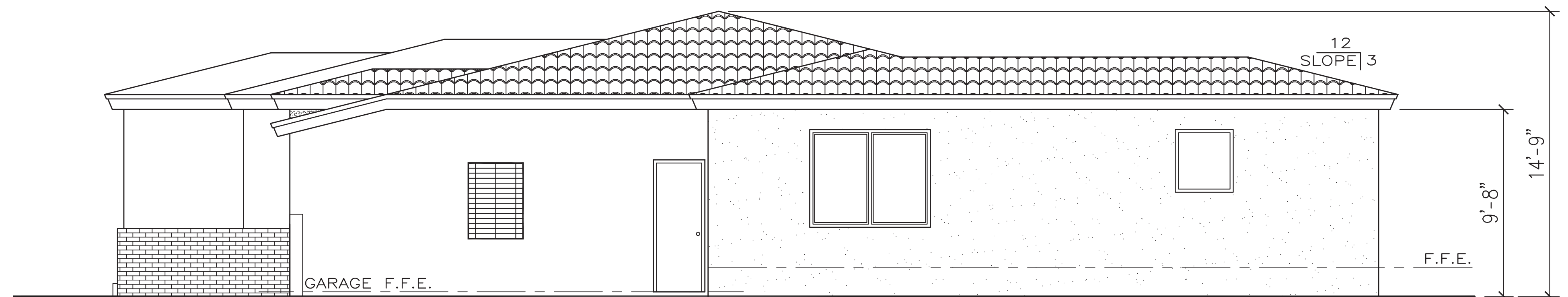
SEAL
JULIO SANCHEZ
NO. 15751
NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK



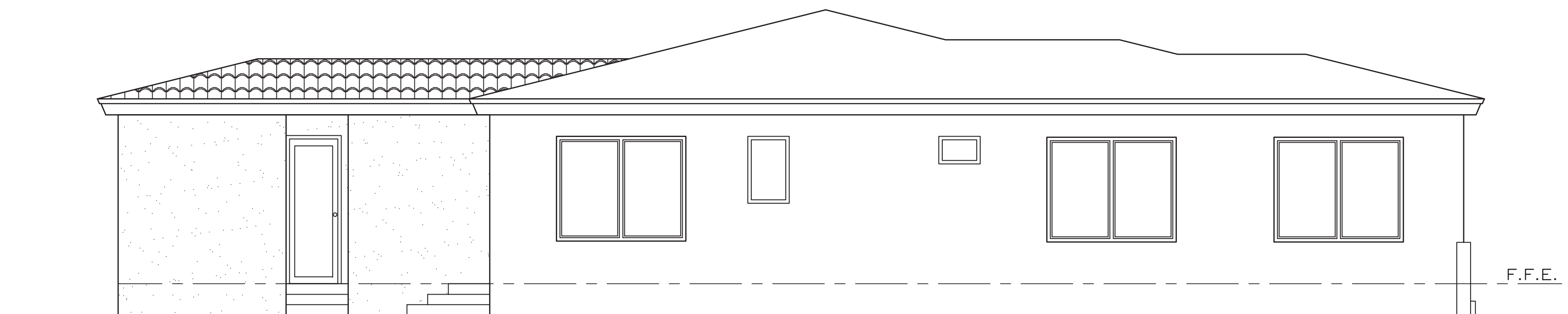
PROPOSED (FRONT) NORTH ELEVATION



PROPOSED (REAR) SOUTH ELEVATION



PROPOSED (SIDE) WEST ELEVATION



PROPOSED (SIDE) EAST ELEVATION

PROPOSED ELEVATIONS

SCALE: 1/4"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

JSA

JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER
AR-0015751/AA0003560/D-0002171

(305) 251-7923
(305) 251-7924

PROPOSE NEW ADDITIONS & INTERIOR RENOVATIONS
DR. SALVAT RESIDENCE
322 MANOR PLACE
CORAL GABLES, FL 33133-6612

JOB # 18-030

DRAWN BY: MS

JULY 2019

A-3



SEAL
Digitally signed by Julio Sanchez
DN: c=US, st=Florida, l=Miami,
ou=Business, o=JSA Group Inc.,
cn=Julio Sanchez,
email=julio@jsagroup.net
Date: 2020.09.08 13:50:16 -0400
Adobe Acrobat 10.0.0 SANCHEZ
2017.0113.15751

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