



City of
Coral Gables,
Florida

Level

2

Review

General Procedures – Non-Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Development Review General Procedures – Non-Conditional

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: _____

Coral Gables Mediterranean Architecture Bonus

- Coral Gables Mediterranean Style Bonus - Table 1
- Coral Gables Mediterranean Style Bonus - Table 2
- Coral Gables Mediterranean Style Bonus - Table 3
- None

Property information

Street address of the subject property: _____

Property/project name: _____

Current land use classification(s): _____

Current zoning district(s): _____

Proposed land use classification(s) (if applicable): _____

Proposed zoning district(s) (if applicable): _____

Last use/current use of the property/building(s): _____

Proposed use(s) of the property/building(s): _____

Size of property (square feet/acres): _____

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): _____

Total number of residential units per acre and total number of units: _____

Estimated cost of the existing/proposed building/project: _____



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Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Project Legal Description: Lot(s): _____

Block(s): _____

Section(s): _____

Listing of all folio numbers for subject property:

General information

Applicant(s)/Agent(s) Name(s): _____

Telephone Contact No: _____ Fax No.: _____ Email: _____

Mailing Address: _____
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No.: _____ Email: _____

Mailing Address: _____
(City) (State) (ZIP Code)



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Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No.: _____ Email: _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect: _____

Telephone Contact No: _____ Fax No.: _____ Email: _____

Mailing Address: _____
(City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:



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Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be tentatively scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. First Floor Board Room, 427 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjoining properties and/or streetscape.
- Property survey and legal description.
- Architectural drawings (signed/sealed), including: Zoning chart / supporting information; site plan; floor plan(s); and all affected elevations. Maximum of 20 sheets shall be accepted.
- Landscape plan; vegetation assessment; and tree survey / relocation plan.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The Applicant will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant’s responsibility to remove the sign.

 City of Coral Gables, Florida	Level 2	General Procedures – Non-Conditional	
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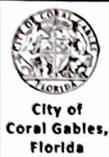
Application submittal requirements

Electronic copy. A PDF of the entire application shall be submitted. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk’s office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the Applicant in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant’s responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



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Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Del Boca Coral Gables LP / Drew Smith

Address:

100 Crescent Court, Dallas, TX 75201

Telephone: 469-418-0497

Fax:

Email: dsmith@moxies.eatz.ca

NOTARIZATION

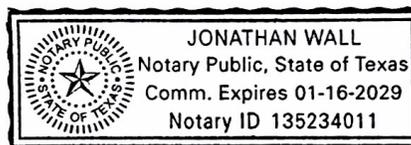
fw
 Texas
 STATE OF ~~FLORIDA~~/COUNTY OF DALLAS

The foregoing instrument was acknowledged before me this 6th day of January by

Drew Smith

(Signature of Notary Public - State of ~~Florida~~)

Texas



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced

TX Driver's License



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93 Coral Gables MM, LLC a Florida Limited Liability Company

By: *Scott Fitzgerald*
Scott Fitzgerald, Manager

Property Owner(s) Signature: <i>Scott Fitzgerald, Manager</i>	Property Owner(s) Print Name: 93 Coral Gables MM, LLC, Scott Fitzgerald
Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:

Address: 834 Lincoln Road, Miami Beach, FL 33139

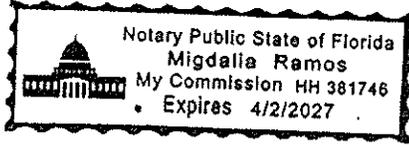
Telephone: *305. 779. 8914* Fax:

Email: *sfitzgerald@ terranovacorp.com*

NOTARIZATION

STATE OF FLORIDA/COUNTY OF MIAMI-DADE
The foregoing instrument was acknowledged before me this *6th* day of *January* by
Scott Fitzgerald
(Signature of Notary Public - State of Florida)

[Signature]



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced

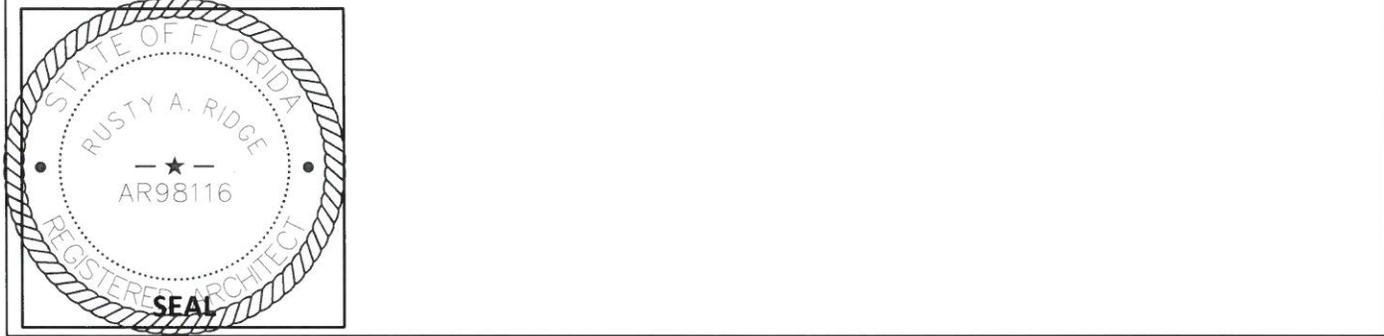
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Architect(s) Signature: 	Architect(s) Print Name: Fusion AE / Rusty Ridge
---------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------

Address: 6201 Campus Circle Dr. E, Irving, TX 75063

Telephone: Fusion AE / Rusty Ridge	Fax:
-------------------------------------------	-------------

Email: rridge@fusion-ae.com

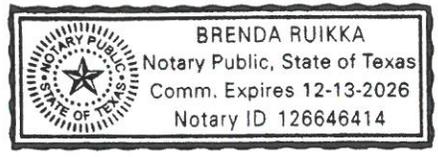


NOTARIZATION

STATE OF TEXAS / COUNTY OF DALLAS

The foregoing instrument was acknowledged before me this 8th day of January 2016 by Brenda Ruiuika

(Signature of Notary Public - State of Texas)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced



January 6, 2026

Ms. Jennifer Garcia, Chairperson
Development Review Committee
City of Coral Gables
427 Biltmore Way, Floor 2
Coral Gables, FL 33134

RE: Statement of Use / Cover Letter – Development Review Committee
New Moxies Restaurant at 87 Miracle Mile

Ms. Garcia,

Please accept this letter requesting Development Review Committee approval for the demolition of an existing retail store and construction of a new restaurant at the Northeast corner of Miracle Mile and Galiano Street.

The property is zoned Mixed-Use 2 (MX-2) and in the Future Land Use zoning as Commercial High Rise Intensity. We are seeking the Mediterranean Style Bonus, Level 1.

The project consists of demolition of an existing single-story retail building previously occupied by Navarro Discount Pharmacy. In its place we propose a two-story building, approximately 18,787 total square footage containing a premium casual restaurant and lounge with approximately 1,029 square feet of ground level patio dining and 2,553 square feet of second floor outdoor patio lounge. Indoor dining will accommodate 470 patrons and outdoor will accommodate 208 from 11:00 am to Midnight, seven days a week. The façade's soaring arches, rhythmic pilasters and breeze block railings are designed to compliment the surrounding Mediterranean style.

The applicant requests approval of this development submittal. We believe this project will be a positive addition to the architectural warmth and heritage of Miracle Mile in addition to bringing Moxies' globally inspired flavors to Coral Gables.

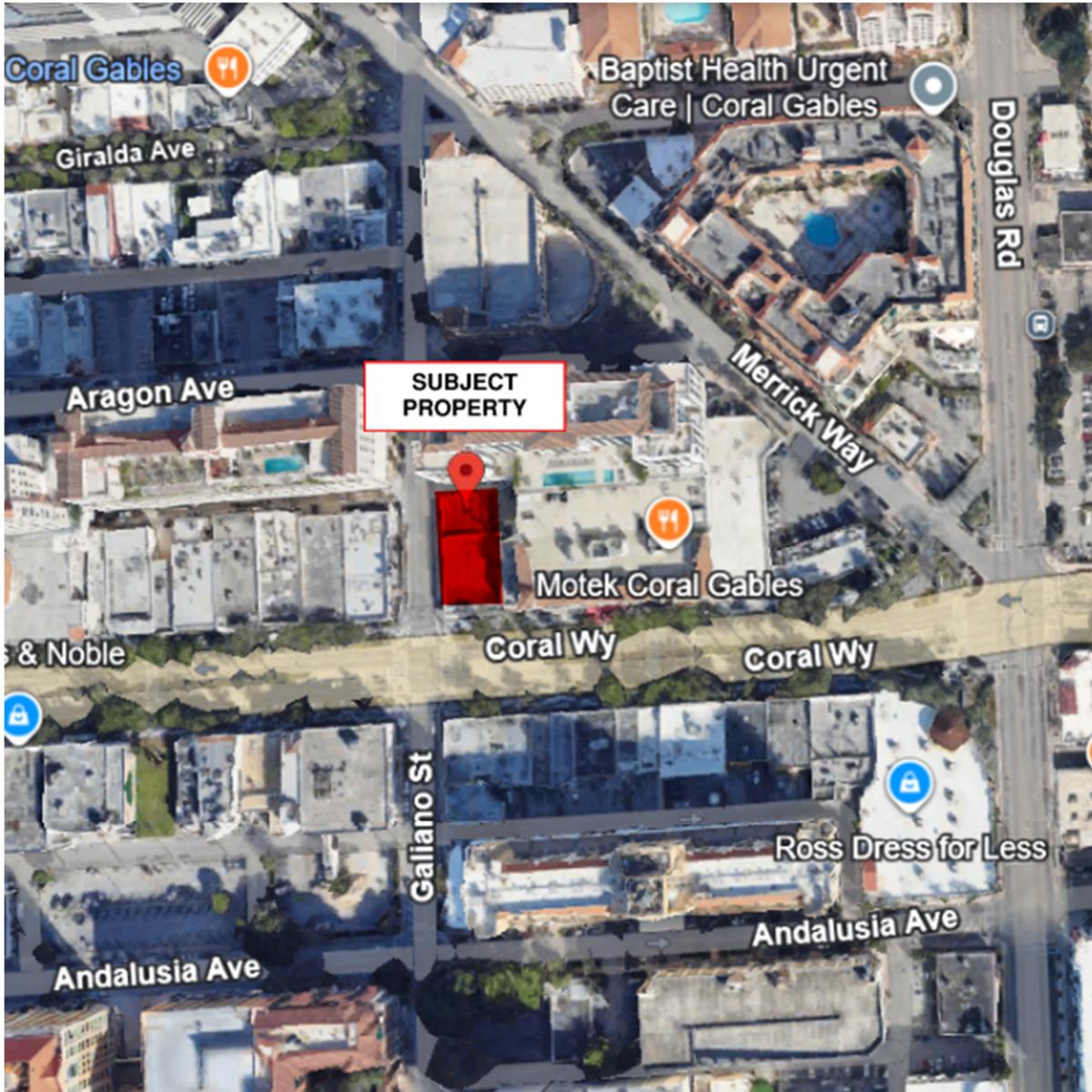
Feel free to contact our office should you have any questions or follow-up for additional information.

Sincerely,


Randy Barnett

Fusion AE

Cc: File





View from Galiano of existing rear Alley



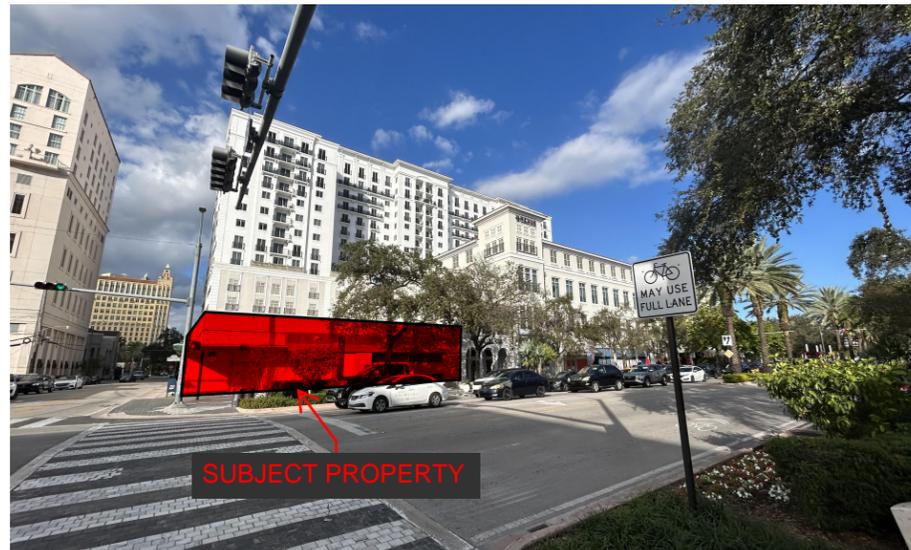
View from Galiano of existing rear Alley



View of existing building from rear Alley.



View from East Street Corner



View from South Street Corner



View from South across Miracle Mile



View of Existing Building SW Corner



View looking East from Existing Building



View looking West toward Existing Building



View looking West directly across Galiano



View of building at NW Corner of Miracle Mile and Galiano



View of abutting building immediately East of property



View of SW Corner of Miracle Mile and Galiano.



View from property looking due South



View from the East looking West toward Existing Building



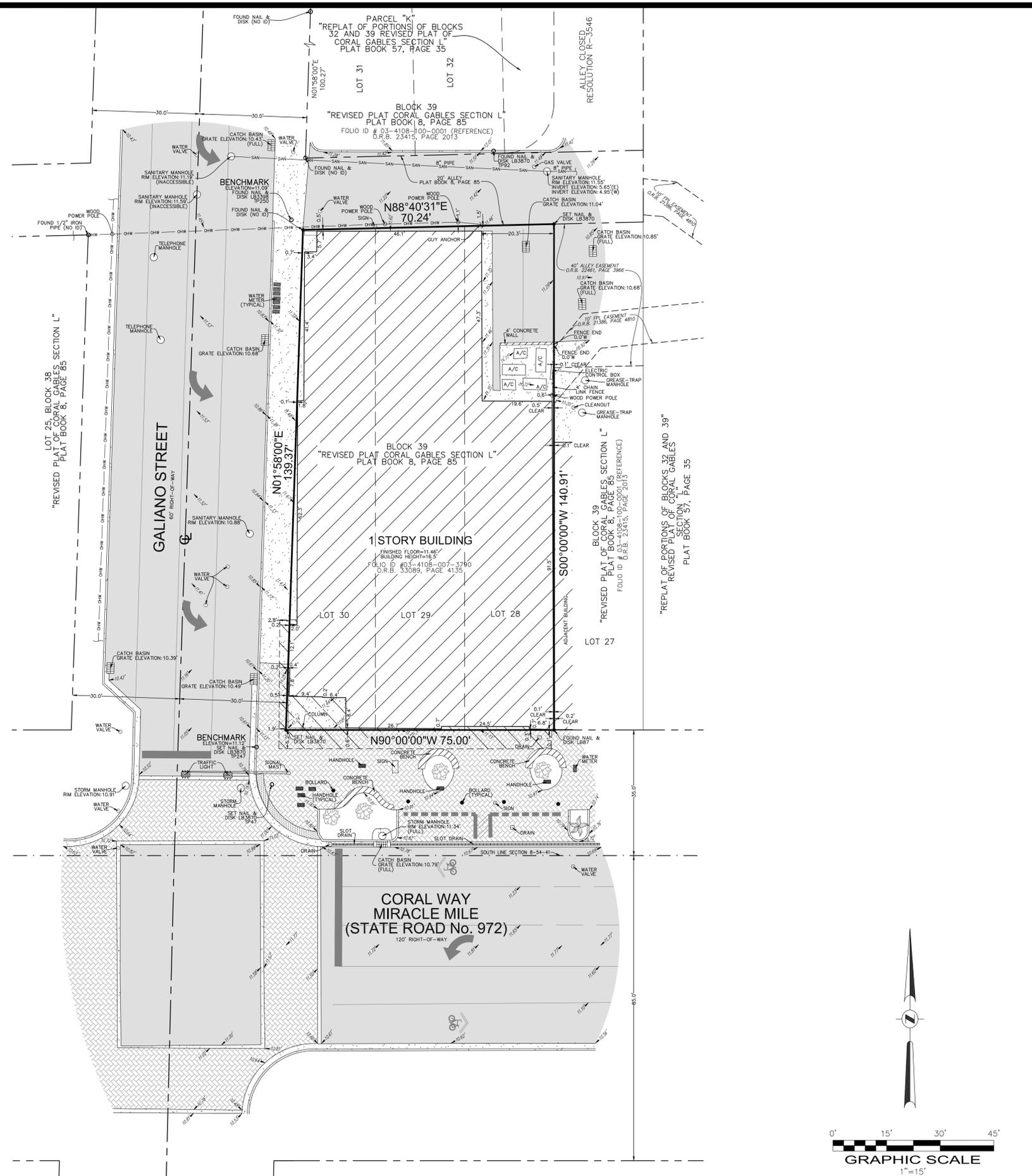
View looking East from Existing Building



View across Miracle Mile.



View of building directly across Miracle Mile



LEGAL DESCRIPTION:
 LOTS 28, 29, AND 30, BLOCK 39 "REVISED PLAT OF CORAL GABLES SECTION L", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 85, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 10,171 SQUARE FEET (0.234 ACRES), MORE OR LESS.

- NOTES:**
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK N-19; ELEVATION: 11.68 FEET.
 - FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12086C0294L & #12086C0457L; COMMUNITY #120639; MAP DATE: 9/11/09.
 - THIS SITE LIES IN SECTION 8, TOWNSHIP 54 SOUTH, RANGE 41 EAST, MIAMI-DADE COUNTY, FLORIDA.
 - BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE EAST RIGHT-OF-WAY LINE OF GALIANO STREET BEING N01°58'00"E.
 - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
 - THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, ORDER No. 5734594, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY; EFFECTIVE DATE: MAY 16, 2016 AT 11:00 PM. REVISED 5/25/16-REVISION F.
 THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
 ITEM 1: 2, 3, 4: STANDARD EXCEPTIONS NOT ADDRESSED.
 ITEM 5: DEDICATIONS, RESTRICTIONS, LIMITATIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN PLAT BOOK 8, PAGE 85 AFFECT THIS SITE. THERE ARE NO PLATTED EASEMENTS.
 ITEM 6: ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS IN ENCROACHMENT AGREEMENT IN O.R.B. 8836, PAGE 1362 AFFECT THIS SITE BUT ARE NOT PLOTTABLE.
 ITEM 7: ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS IN DECLARATION OF RESTRICTIVE COVENANT IN O.R.B. 14931, PAGE 255 AFFECT THIS SITE BUT ARE NOT PLOTTABLE.
 ITEM 8: ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS IN DECLARATION OF RESTRICTIVE COVENANT IN O.R.B. 20313, PAGE 1371 AFFECT THIS SITE BUT ARE NOT PLOTTABLE.
 ITEM 9: UNRECORDED LEASES NOT ADDRESSED.
 ITEM 10: NOT ADDRESSED.
 ITEM 11: SURVEY MATTERS DEPICTED HEREON.
 a) CANOPY EXTENDS 5.2'-5.3" SOUTH AND 1.9'-2.8' WEST INTO THE RIGHT-OF-WAY.
 b) BUILDING TO THE EAST DOES NOT ENCRANCH.
 c) IMPROVEMENTS SHOWN.
 d) IMPROVEMENTS SHOWN.
 - ALL RECORDED DOCUMENTS ARE PER MIAMI-DADE COUNTY PUBLIC RECORDS.

CERTIFICATION:
 TO DEL BOCA CORAL GABLES, LP; GOODMAN REAL ESTATE SOLUTIONS; FIDELITY NATIONAL TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, & 11 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 12/17/25.

DATE OF PLAT OR MAP: 12/17/25
 Digitally signed by
John F Pulice
 Date: 2026.01.06
 13:19:10 -05'00'

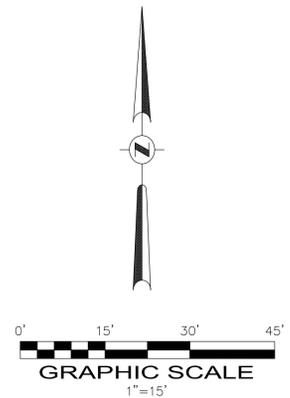
- LEGEND & ABBREVIATIONS**
- CONCRETE
 - ASPHALT PAVEMENT
 - ADA DETECTABLE WARNING PAD
 - BRICK PAVERS
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - CENTERLINE
 - FPL FLORIDA POWER & LIGHT COMPANY
 - LB LICENSED BUSINESS
 - O.R.B. OFFICIAL RECORDS BOOK
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - A/C AIR CONDITIONER
 - TREE
 - PALM TREE

NO.	REVISIONS	BY
1	#75208-UPDATE SURVEY-12/17/25	K.F.
2	#20389-ORIGINAL SURVEY-4/11/16	L.S.

**BOUNDARY AND TOPOGRAPHIC SURVEY
 ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@puliceandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.S. SCALE: 1" = 15'
 CHECKED BY: J.F.P. SURVEY DATE: 12/17/25 CLIENT: DEL BOCA CORAL GABLES LP ORDER NO.: 75208



MOXIES CORAL GABLES

87 CORAL WAY
CORAL GABLES, FL 33134

CLIENT: EATZ HOSPITALITY

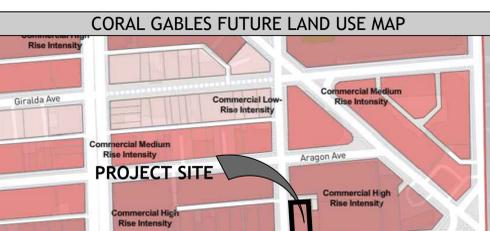
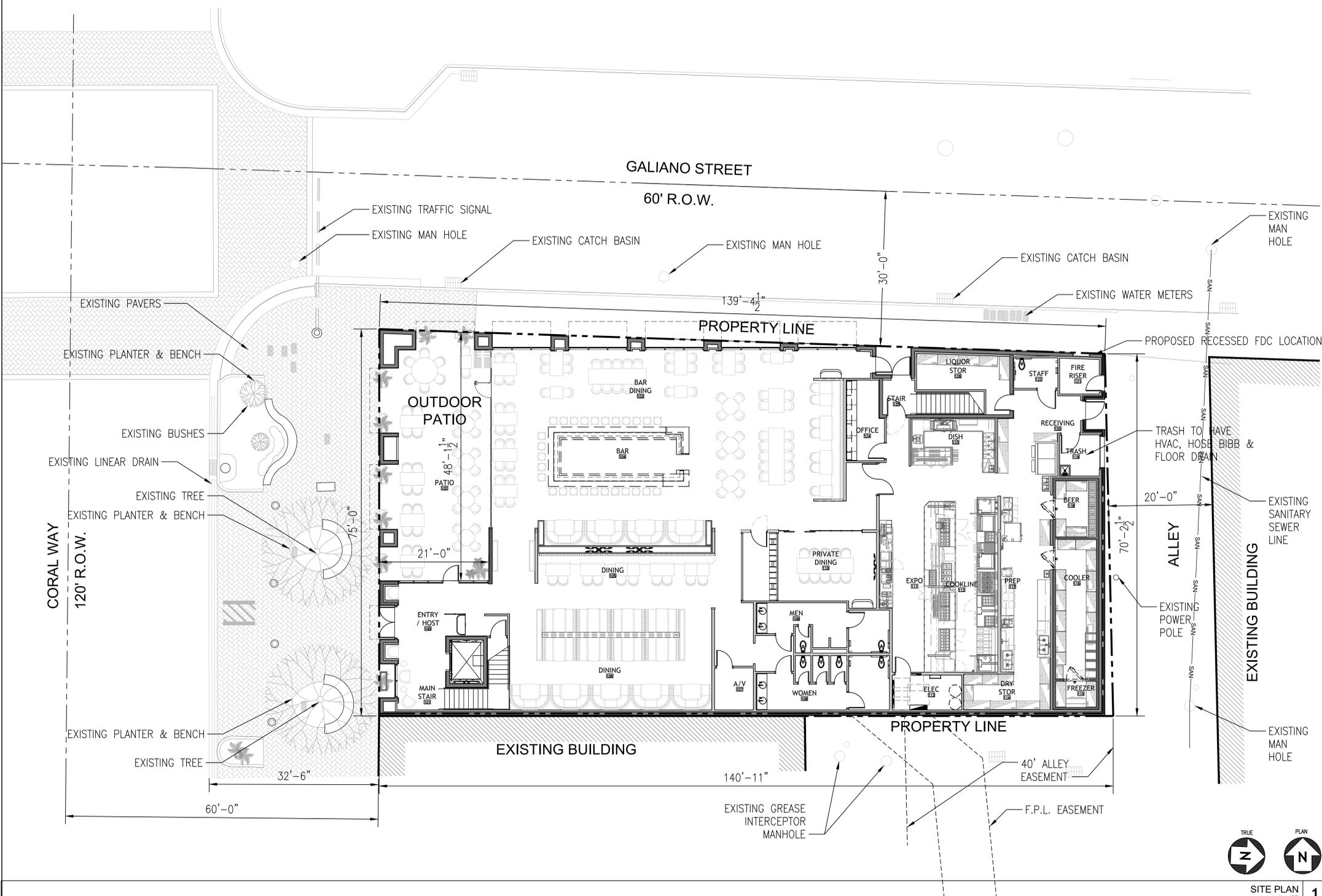


CODE SUMMARY		ZONING SUMMARY - SECTION 2-200	
GOVERNING CODES:	TENANT SPACE	PARCEL ID	0341080073790
ZONING CLASSIFICATION	MIXED USE 2 - MX2	LEGAL DESCRIPTION	Lots 28, 29 and 30, Block 39, REVISED PLAT CORAL GABLES SECTION 1, According to the Plat thereof as recorded in Plat Book 8, Page 85, of the Public Records of Miami-Dade County, Florida.
BUILDING:	2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION	ZONE	MIXED USE 2 (MX-2)
ELECTRICAL:	2020 NATIONAL ELECTRICAL CODE (NFPA 70)	ALLOWED USES - PRIMARY	OFFICE, RESIDENTIAL, COMMERCIAL, INDUSTRIAL
MECHANICAL:	2023 FLORIDA BUILDING CODE, MECHANICAL, EIGHTH EDITION	ALLOWED USES - ACCESSORY	OFFICE, COMMERCIAL
PLUMBING:	2023 FLORIDA BUILDING CODE, PLUMBING, EIGHTH EDITION	OVERLAY DISTRICTS	CENTRAL BUSINESS DISTRICT, JAIN FRIEDMAN MIRACLE MILE DOWNTOWN OVERLAY DISTRICT, BUSINESS IMPROVEMENT OVERLAY DISTRICT, SITE SPECIFIC A-64 - SECTION 1
FIRE:	FLORIDA FIRE PREVENTION CODE - EIGHTH EDITION (BASED ON 2021 EDITION, NFPA 101 LIFE SAFETY CODE & NFPA 1 NATIONAL FIRE CODE)	LOT OCCUPATION	
FIRE PROTECTION	2023 FLORIDA BUILDING CODE, FUEL GAS, EIGHTH EDITION	BUILDING SITE AREA - MINIMUM	10,000 SF
ENERGY:	2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION, EIGHTH EDITION	BLDG SITE AREA - PUBLIC RECORDS	10,164 SF
ACCESSIBILITY:	2023 FLORIDA BUILDING CODE - ACCESSIBILITY, EIGHTH EDITION	BUILDING SITE WIDTH - MINIMUM	100 FT
BUILDING DATA		BLDG SITE WIDTH - PUBLIC RECORDS	75 FT MIRACLE MILE, 139.37 FT GALIANO
OCCUPANCY:	BUILDING SHELL & TENANT: A2 ASSEMBLY	GROUND COVERAGE - MINIMUM	NA
CONSTRUCTION TYPE:	II-B SPRINKLERED	PROPOSED BUILDING COVERAGE	10,009 SQ. FT.
NUMBER OF FLOORS/STORIES:	2 STORIES WITH OUTDOOR DINING DECK ON 2ND FLOOR	OPEN SPACE MINIMUM	10% * (MAY BE IN RIGHT-OF-WAY WITH MEDITERRANEAN BONUS)
TOTAL SQUARE FOOTAGE (GROSS)	18,787	PROPOSED OPEN SPACE *	7.52% (17.52% WITH MEDITERRANEAN BONUS)
TOTAL SQUARE FOOTAGE (NET)	14,323	DENSITY	
FIRE ALARM SYSTEM (YES/NO):	YES (EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM REQUIRED)	RESIDENTIAL DENSITY	125 DU / ACRE (NOT APPLICABLE)
FIRE SUPPRESSION SYSTEM:	YES (DEFERRED SUBMITTAL)	FLOOR AREA RATIO	3.00 MAXIMUM
OCCUPANCY LOAD:	807	PROPOSED FLOOR AREA RATIO	1.41
CLIMATE ZONE:	1A, HOT HUMID	SETBACK MINIMUM	
BUILDING SIGNAGE:	TO BE SUBMITTED UNDER SEPARATE PERMIT	SETBACK PRINCIPAL FRONT	0 FT
BUILDING MATERIALS:	EXTERIOR: PORTLAND CEMENT PLASTER, ANODIZED ALUMINUM CURTAINWALL/STOREFRONT W/ INSULATED GLAZING, PREFINISHED METAL PANELS & METAL TRIM	SETBACK SIDE INTERIOR	0 FT
ROOF DRAINAGE:	INTERNAL DRAINS TO SITE STORM DRAINAGE SYSTEM	SETBACK SIDE STREET	0 FT
RESTROOM FIXTURES:	FLOOR MOUNTED	SETBACK REAR	10 FT (NOT APPLICABLE)
FIRE RATING REQ:	1HR RATED EXTERIOR WALLS, NORTH AND EAST	SETBACK REAR AT ALLEY	0 FT
EXTERIOR OPENINGS ALLOWED	NORTH WALL: 10% MAX, EAST WALL: NOT PERMITTED, SOUTH AND WEST WALLS: UNLIMITED	SETBACK WATERWAY	35 FT (NOT APPLICABLE)
FRONT DOOR DIRECTION:	SOUTH FACING	SETBACK MINIMUM**	
WATER CONNECTION SIZE:	TBD	STEPBACK FRONT	10 FT (NOT APPLICABLE)
GAS CONNECTION:	TBD	STEPBACK SIDE	15 FT (NOT APPLICABLE)
		STEPBACK SIDE STREET	10 FT (NOT APPLICABLE)
		STEPBACK REAR	10 FT (NOT APPLICABLE)
		STEPBACK REAR AT ALLEY	3 FT (NOT APPLICABLE)
		DENSITY	
		BUILDING HEIGHT	45 FT MAXIMUM (<100 FEET LOT WIDTH)
		MAXIMUM HEIGHT - STORES	4
		PROPOSED BUILDING HEIGHT	40'-0"
		PROPOSED NUMBER OF STORES	2
		PARKING	
		ON-STREET	NOT ALLOWED
		REMOTE REQUIRED	16 SPACES (0 SPACES WITH MEDITERRANEAN BONUS)
		NOTES	
			* AREAS NOT OPEN TO SKY SUCH AS ARCADES AND LOGGIAS MAY COUNT UP TO 75%, THE REMAINING OPEN SPACE IS TO BE OPEN TO SKY WITH NO SIDE TO SKY WITH NO LESS THAN 10 FT LONG AND A MINIMUM OF 500 SQ. FT.
			** APPLIES TO BUILDING HEIGHTS OVER 45 FT

FUSIONAE
6001 GANES DRIVE, SUITE 100
IRVING, TEXAS 75038
TEL: 972.970.2088
WWW.FUSIONAE.COM

CORPORATE:
EATZ HOSPITALITY
100 CRESCENT COURT
DALLAS, TX 75201

STATE OF FLORIDA
PLANNING & ZONING BOARD
AR 98116
01/06/2026



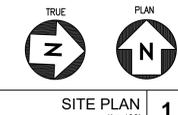
MOXIES CORAL GABLES
87 CORAL WAY
CORAL GABLES, FLORIDA 33134
CLIENT: EATZ HOSPITALITY
100 CRESCENT COURT
DALLAS, TEXAS 75201

MOXIES

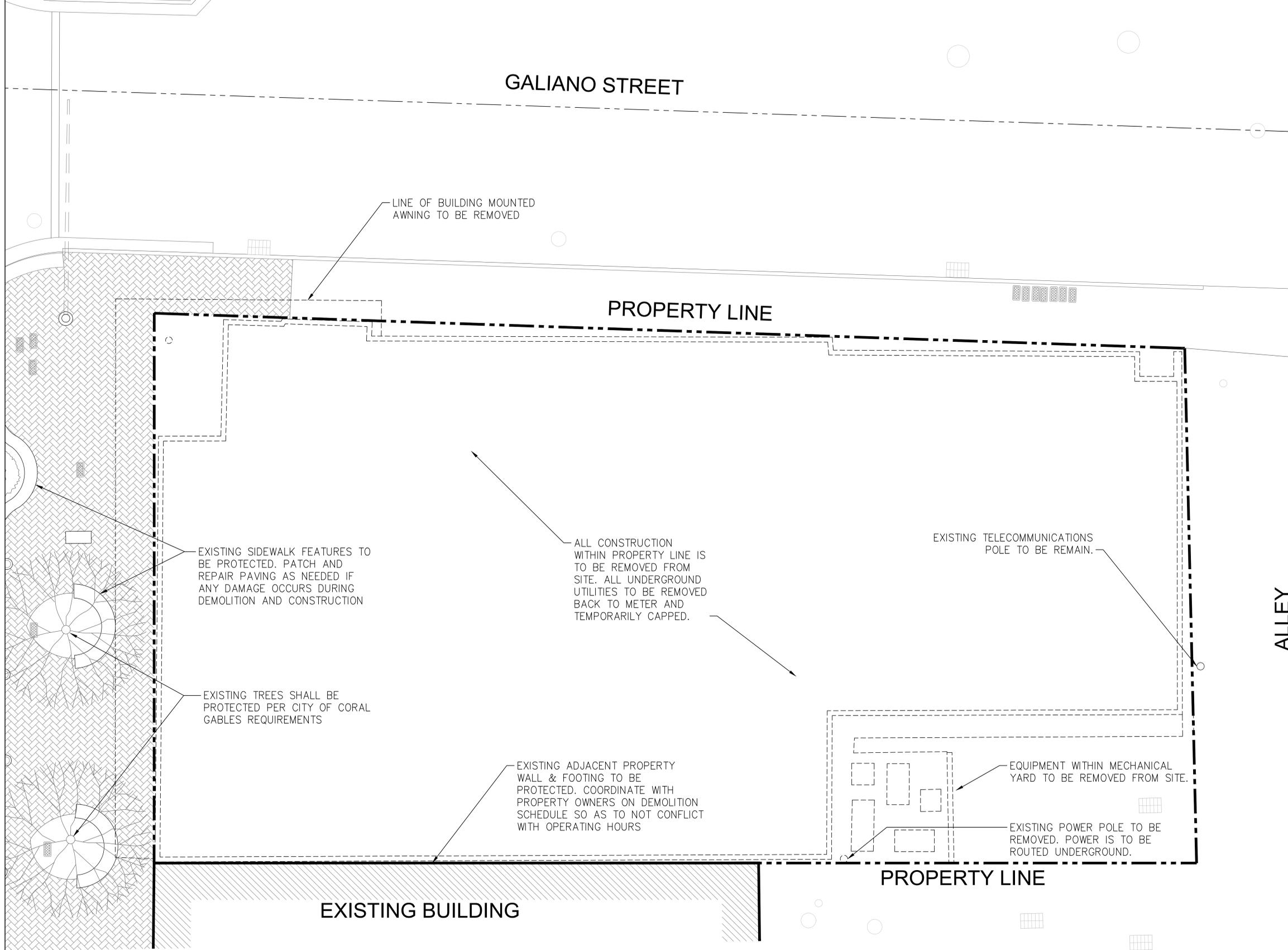
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	01.06.2026	DEVELOPMENT COMMITTEE REVIEW
REVISED	DATE	DESCRIPTION

SITE ZONING
SITE PLAN
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PROJECT NUMBER:
MOX25002

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GALIANO STREET

LINE OF BUILDING MOUNTED AWNING TO BE REMOVED

PROPERTY LINE

EXISTING SIDEWALK FEATURES TO BE PROTECTED. PATCH AND REPAIR PAVING AS NEEDED IF ANY DAMAGE OCCURS DURING DEMOLITION AND CONSTRUCTION

ALL CONSTRUCTION WITHIN PROPERTY LINE IS TO BE REMOVED FROM SITE. ALL UNDERGROUND UTILITIES TO BE REMOVED BACK TO METER AND TEMPORARILY CAPPED.

EXISTING TELECOMMUNICATIONS POLE TO BE REMAIN.

EXISTING TREES SHALL BE PROTECTED PER CITY OF CORAL GABLES REQUIREMENTS

EXISTING ADJACENT PROPERTY WALL & FOOTING TO BE PROTECTED. COORDINATE WITH PROPERTY OWNERS ON DEMOLITION SCHEDULE SO AS TO NOT CONFLICT WITH OPERATING HOURS

EQUIPMENT WITHIN MECHANICAL YARD TO BE REMOVED FROM SITE.

EXISTING POWER POLE TO BE REMOVED. POWER IS TO BE ROUTED UNDERGROUND.

EXISTING BUILDING

PROPERTY LINE

ALLEY

DEMOLITION GENERAL NOTES	
1	SECTION INCLUDES: REMOVAL OF EXISTING CONSTRUCTION INDICATED ON DRAWINGS AND/OR REQUIRED BY WORK SPECIFIED IN OTHER SECTIONS OF THESE SPECIFICATIONS CAPPING AND IDENTIFYING UTILITIES PROTECTION OF PERSONS AND PROPERTY ASBESTOS REMOVAL AND/OR ABATEMENT
2	CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK IN THIS SECTION WITH WORK OF SUBCONTRACTORS AND OWNER'S STAFF FOR WORK OF OTHER SECTIONS OF THESE SPECIFICATIONS
3	GENERAL A) MAINTAIN PROTECTED ACCESS AT ALL TIMES. USE OF EXPLOSIVES IS PROHIBITED. ERECT AND MAINTAIN WEATHERPROOF ENCLOSURES FOR NEIGHBORING EXTERIOR OPENINGS. PROTECT EXISTING ADJACENT BUILDINGS. EXISTING UTILITIES: DISCONNECT, REMOVE AND CAP DESIGNATED UTILITY SERVICES WITHIN DEMOLITION AREAS. MARK LOCATIONS OF DISCONNECTED UTILITIES. IDENTIFY AND INDICATE CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS ERECT AND MAINTAIN FENCES, PLANKING, BRACING, SHORING, LIGHTS, BARRICADES, WARNING SIGNS AND GUARDS REQUIRED FOR PROTECTION OF WORKMEN AND THE PUBLIC USE CARE AND APPROPRIATE MEANS TO PROTECT CONSTRUCTION AND PROPERTY WHICH IS NOT PART OF WORK IN THIS CONTRACT. REPAIR, REFINISH AND/OR REPLACE DAMAGED CONSTRUCTION AND PROPERTY AT NO ADDITIONAL COST TO THE OWNER F) DEMOLISH IN AN ORDERLY AND CAREFUL MANNER WITH LEAST POSSIBLE DISTURBANCE TO PUBLIC AND TO ADJACENT PROPERTY ALL ITEMS INDICATED AS EXISTING TO REMAIN SHALL BE PROPERLY PROTECTED FROM ANY DAMAGES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE THE EXISTING TO REMAIN ITEMS EXCEPT WHERE NOTED OTHERWISE, IMMEDIATELY REMOVE AND DISPOSE OF DEMOLISHED MATERIALS AWAY FROM THE SITE. DO NOT BURN OR BURY MATERIALS ON SITE H) DISPOSE OF DEMOLISHED MATERIALS AWAY FROM THE SITE. DO NOT BURN OR BURY MATERIALS ON SITE
4	THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL INCLUSIVE NOT TO DEFINE THE SCOPE OF WORK OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONSTRUCTION DOCUMENTS AND VISIT THE SITE DURING BIDDING AS REQUIRED TO DETERMINE THE TOTAL EXTENTS AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. ALL ITEM'S ELECTRICAL, HVAC, PLUMBING, STRUCTURAL FINISH, ETC. THAT ARE NOT REQUIRED TO REMAIN, SHALL BE PART OF THE DEMOLITION WORK REQUIRED TO CARRY OUT WORK AS SHOWN IN THE CONSTRUCT DOCUMENTS.
5	ANY UNNOTED EXISTING CONDITIONS WHICH MAY CONFLICT WITH THE PROPOSED NEW WORK MAY REQUIRE MODIFICATION, RELOCATION, AND/OR REMOVAL SHALL BE IDENTIFIED AND REPORTED TO THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
6	G.C. TO DISPOSE OF ALL WASTE DURING DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE JURISDICTIONS, CODES, AND ORDINANCES.
7	G.C. TO REFERENCE ASBESTOS SURVEY PERFORMED BY ARS ENVIRONMENTAL, INC. DATED 12/10/2025 AS PREPARED FOR PACIFIC ENGINEERING SERVICES. G.C. TO FOLLOW ALL REQUIREMENTS IN REPORT FOR THE REMOVAL AND DISPOSAL OF CATEGORY I ASBESTOS CONTAINING BUILDING MATERIALS, UP TO AND INCLUDING POTENTIAL ABATEMENT.
8	G.C. TO FIELD LOCATE AND DEACTIVATE ALL EXISTING "HOT" ELECTRICAL WIRING PRIOR TO DEMOLITION.
9	ANY EXISTING SERVICES TO ADJACENT BUILDINGS THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE REROUTED TO PROVIDE CONTINUATION OF SERVICE. COORDINATE WITH THE LANDLORD/ADJACENT TENANT REQUIREMENTS AND VERIFY PRIOR TO BIDDING

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DALLAS, TX 75201

STATE OF FLORIDA
RUSTY A. RIDGE
ARB#116
01/06/2026

MOXIES CORAL GABLES
87 CORAL WAY
CORAL GABLES FLORIDA 33134
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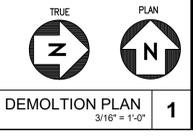
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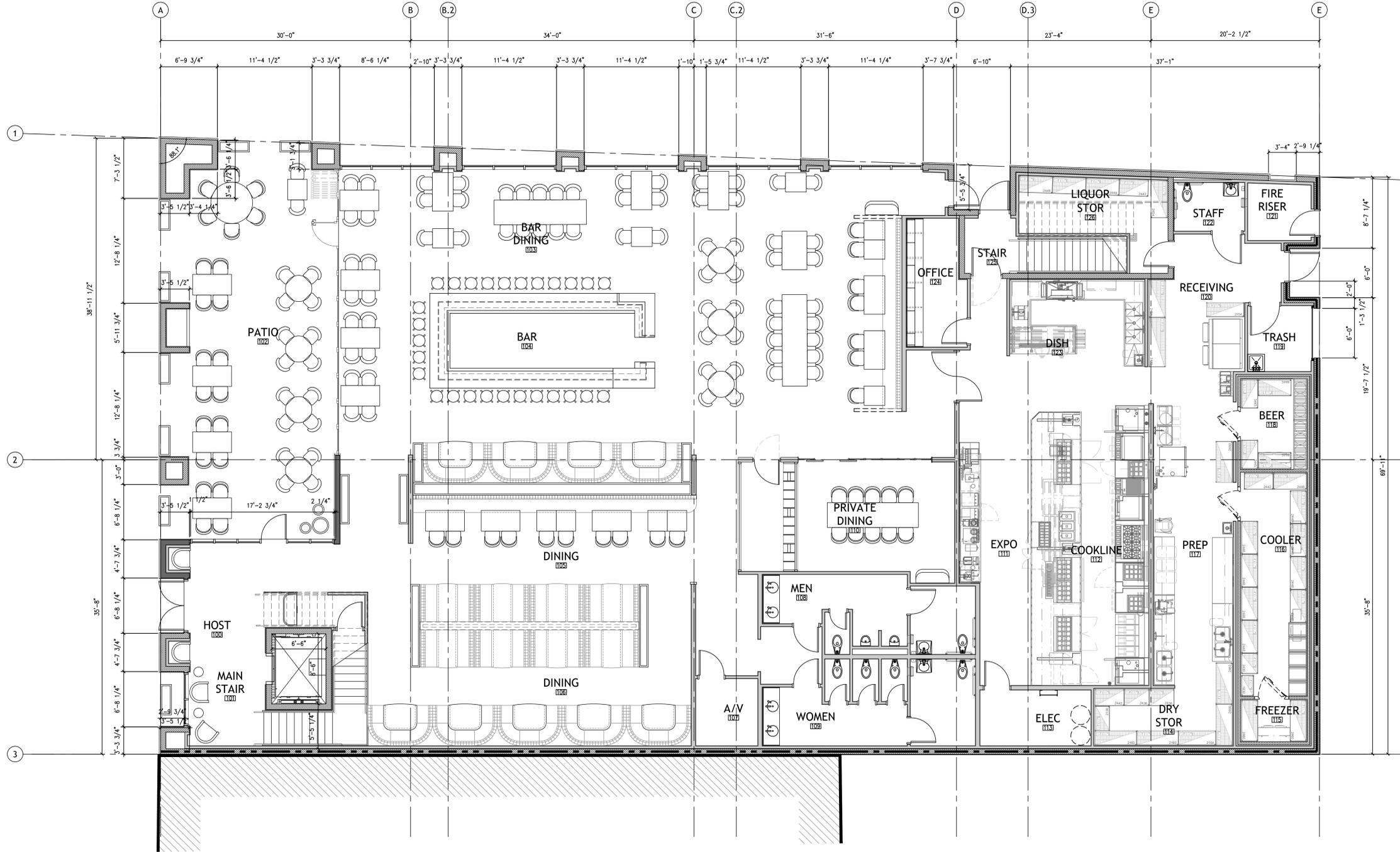
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DEMOLITION PLAN

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PROJECT NUMBER: **MOX25002**





- GENERAL NOTES**
- 1 ALL DIMENSIONS AT WALLS ARE SHOWN TO FACE OF STUD TO FACE OF STUD, GRIDLINE OR MASONRY UNLESS NOTED OTHERWISE.
 - 2 DIMENSIONS ARE ROUNDED TO THE NEAREST 1/8". DIMENSION STRINGS MAY NOT ADD UP TO OVERALL DIMENSION DUE TO ROUNDING.
 - 3 REFER TO FINISH SCHEDULE AND DETAILS FOR APPLIED FINISHES.
 - 4 WALLS TO STRUCTURAL DECK SHALL BE THOROUGHLY SEALED AROUND PENETRATIONS.
 - 5 PROVIDE BLOCKING IN WALLS FOR RAILINGS, DOOR STOPS, TOILET ACCESSORIES, MILLWORK, FIXTURES AND ANY WALL MOUNTED ITEM. PROVIDE BLOCKING IN CEILING FOR CEILING SYSTEM COMPONENTS, SUSPENDED LIGHT FIXTURES, CEILING FANS, SIGNS, SUSPENDED MILLWORK, DECORATIVE FABRICATIONS AND ANY CEILING MOUNTED ITEM.
 - 6 ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED
 - 7 DOORS SHALL BE LOCATED 4" FROM FACE OF HINGE SIDE FRAME TO PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - 8 REFER TO INTERIOR ELEVATIONS/WALL SECTIONS/DETAILS FOR HEIGHT OF PARTITIONS TO ABOVE CEILING THAT DO NOT EXTEND TO UNDERSIDE OF FLOOR/ROOF DECK.
 - 9 PROVIDE ABOVE CEILING BRACING/FRAMING FOR PARTITIONS WHERE UNBRACED HEIGHT EXCEEDS STUD MANUFACTURER RECOMMENDATIONS FOR INDICATED STUD SIZE & GAUGE.
 - 10 SEE FOOD SERVICE SHEETS FOR KITCHEN AND BARS RAISED CURB & DEPRESSION LOCATIONS AND DIMENSIONS. GC TO COORDINATE DIMS WITH FOOD SERVICE EQUIPMENT, FLOOR DRAINS AND FLOOR SINKS PRIOR TO PLACING CONCRETE.

WALL LEGEND

	FULL HEIGHT PARTITIONS
	PARTIAL HEIGHT PARTITIONS
	CONCRETE MASONRY WALLS
	2 HR FIRE RATED PARTITION (UL U901)
	1 HR FIRE RATED PARTITION (UL U901 & UL 449V)
	COOLER/FREEZER WALL
	WALL / PARTITION TYPE TAG. SUB-SCRIPT INDICATES HEIGHT OF LOW WALL

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COUNTY OF DALLAS
ARB8116

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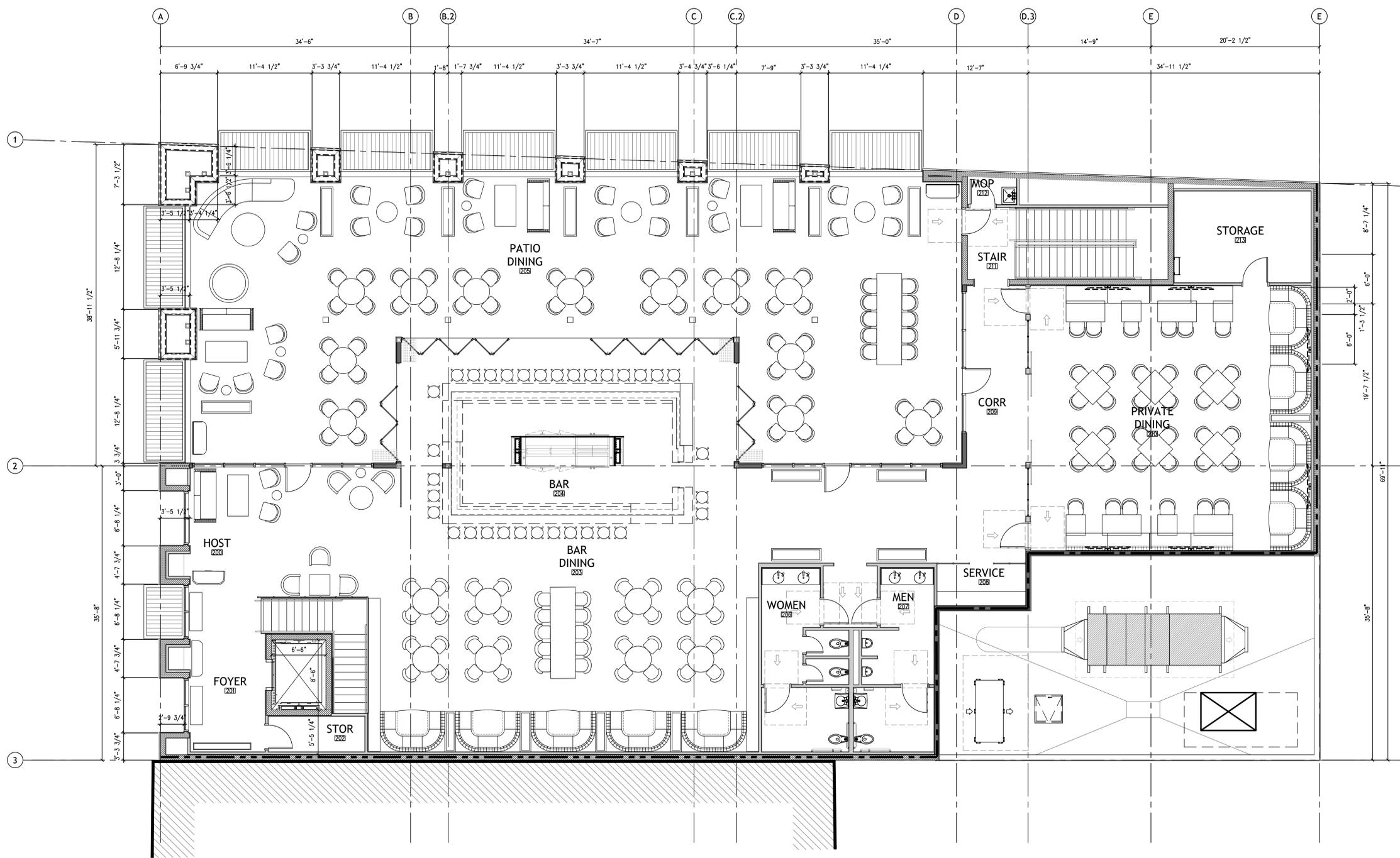
DIMENSIONED FLOOR PLAN - LEVEL 1

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PROJECT NUMBER: MOX25002



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	WALL / PARTITION TYPE TAG. SUB-SCRIPT INDICATES HEIGHT OF LOW WALL

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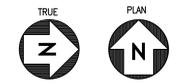
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DIMENSIONED FLOOR PLAN LEVEL 2

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PROJECT NUMBER: MOX25002



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REQUIRED MINIMUM PLUMBING FACILITIES SUMMARY

OCCUPANCY	LOAD	RATIO	WATER CLOSETS				LAVATORIES				URINALS **	DRINKING FOUNTAIN *	SERVICE SINK	ADULT CHANGING STATION	
			MALE	RATIO	FEMALE	EITHER	RATIO	MALE	FEMALE	EITHER					
A-2 RESTAURANTS, BANQUET HALLS AND FOOD COURTS	612 TOTAL (306 EA)	1 PER 75		1 PER 75			1 PER 200						1 PER 500		1
B KITCHENS	9	1 PER 75		1 PER 75			1 PER 200								
REQUIRED FIXTURES (SEPARATE FACILITIES)			5		5		2	2				1	1		1
REQUIRED FIXTURES (SINGLE USER)						1			1						
TOTAL REQUIRED FIXTURES					11			5				1	1		1
PROVIDED FIXTURES (SEPARATE FACILITIES)			3		7			4	4			4	1		1
PROVIDED FIXTURES (SINGLE USER) ***						1				1					1
TOTAL PROVIDED FIXTURES					11			9				4		1	1

* WATER AVAILABLE FROM SERVER BY REQUEST.
 ** URINALS MAY SUBSTITUTE FOR WATER CLOSETS BUT AT NO MORE THAN 67% RATIO.

BUILDING DATA

GROSS AREA - LEVEL 1	10009
GROSS AREA - LEVEL 2	8778
TOTAL GROSS BUILDING AREA	18787
NET AREA - LEVEL 1	9048
NET AREA - LEVEL 2	5275
TOTAL NET (F.A.R.) BUILDING AREA	14323

SEATING COUNT - LEVEL 1

RESTAURANT SEATING	
1 SEAT (LOOSE) x	2 = 2 SEATS
2 TOP TABLE x	3 = 6 SEATS
4 TOP TABLE x	11 = 44 SEATS
10 TOP TABLE x	2 = 20 SEATS
2 TOP BOOTH x	8 = 16 SEATS
1 TOP BOOTH x	1 = 1 SEATS
BOOTH LINEAR FEET	171 = 114 SEATS
BANQUETTE LINEAR FEET	57 = 29 SEATS
BAR SEATING x	33 = 33
RESTAURANT SEATING TOTAL	265 SEATS
OUTDOOR SEATING	
1 TOP TABLE x	1 = 2
4 TOP TABLE x	8 = 32
6 TOP TABLE x	1 = 6
EXTERIOR SEATING TOTAL	40 SEATS
LEVEL 1 TOTAL SEATING	305 SEATS

H.C. SEATING REQUIRED (NON-FIXED)

305 x .05 = 15 SPACES REQ'D

EXIT SIGNS FOR THE SIGHT IMPAIRED

1. TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS

A. EACH GRADE LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT WITH THE WORD "EXIT"

B. EACH EXIT, EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE"

OCCUPANCY LOAD - DINING LEVEL 1

USE	SQUARE FOOTAGE	LF	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
BAR SERVICE	148		150	1
BAR SEATING ****	-	-	-	33
CIRCULATION	1153		-	0
DINING - NONFIXED	2198		15	147
DINING - BOOTH	-	190	18"	127 ***
DINING - BANQ'T	-	57	18"	38
ENTRY WAITING	75		5	15
HOST/HOSTESS	48		150	1
KITCHEN	1713		100	18 **
OFFICE / ADMIN	105		150	1
STORAGE	900		300	3
RESTROOM	590		-	0
TOTAL				383

EGRESS COMPONENTS - LEVEL 1

DOOR/STAIR #	EGRESS WIDTH (IN.)	OCCUPANT CAPACITY	OCCUPANTS SERVED
DOOR 100A	68.0	453	212
DOOR 103B	33.5	222	181
DOOR 125	39.5	262	212
DOOR 120	39.5	262	22

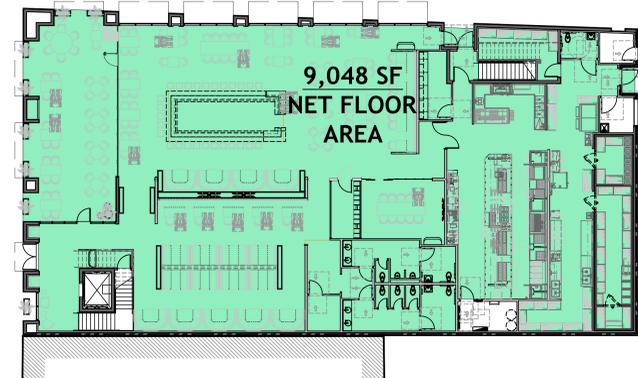
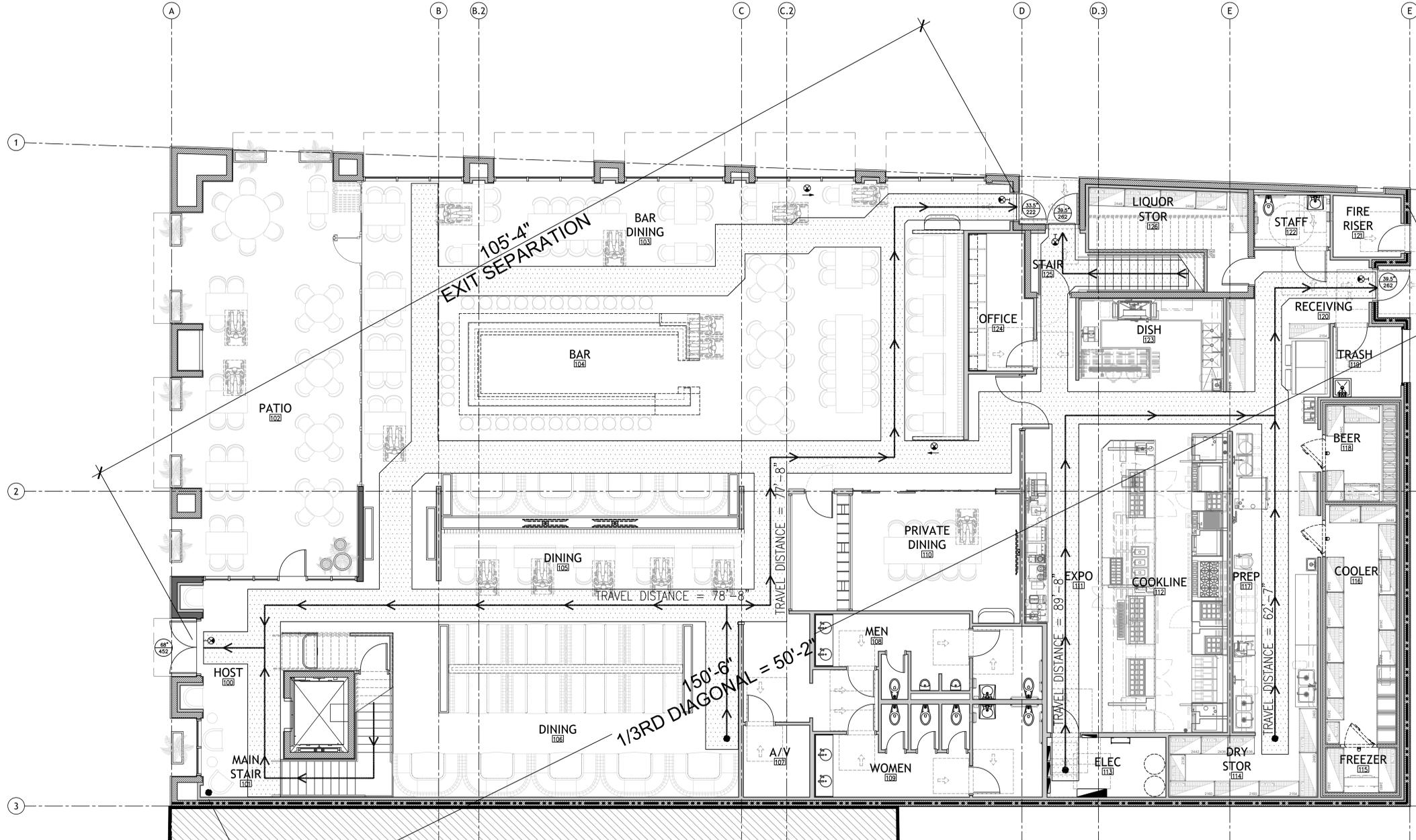
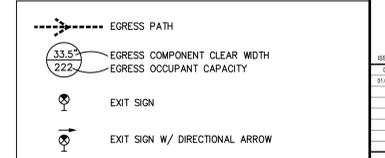
DOORS 100A AND 125 ARE CALCULATED FOR HIGHER EGRESS LOAD FROM LEVEL 2

EGRESS WIDTH

DOORS: OCCUPANTS X 0.15"
 STAIRS: OCCUPANTS X 0.20"

REQUIRED DOORS: 58.5 INCHES
 PROVIDED DOORS: 101.5 + 39.5 INCHES FOR KITCH

- ### NOTES
- HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MIN. - 34" MAX
 - MANUEVERING CLEARANCE SHALL BE 30"x48"
 - KNEE CLEARANCE SHALL BE 27" HIGH, 17" DEEP AND 30" WIDE
- ** PER FIRE CODE KITCHENS CALCULATED AT 100 GROSS = 1 OCCUPANT
 *** SEATING PER FIRE CODE; FIRE CODE DOES NOT DIFFERENTIATE BETWEEN BOOTHS AND BANQUETTES. BOTH CALCULATED AT 18" = 1 OCCUPANT
 **** BAR SEATING CALCULATED AT ACTUAL SEATS PROVIDED + 2 WHEELCHAIR ACCESSIBLE SPACES



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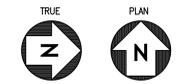
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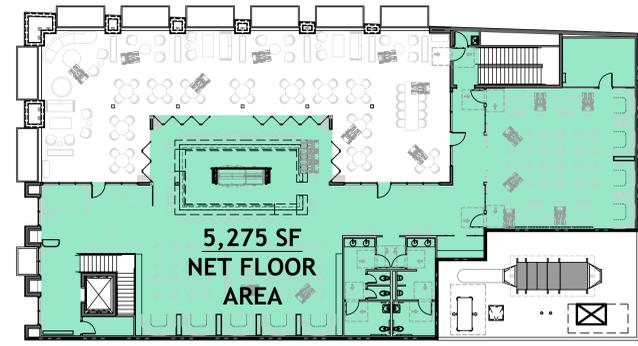
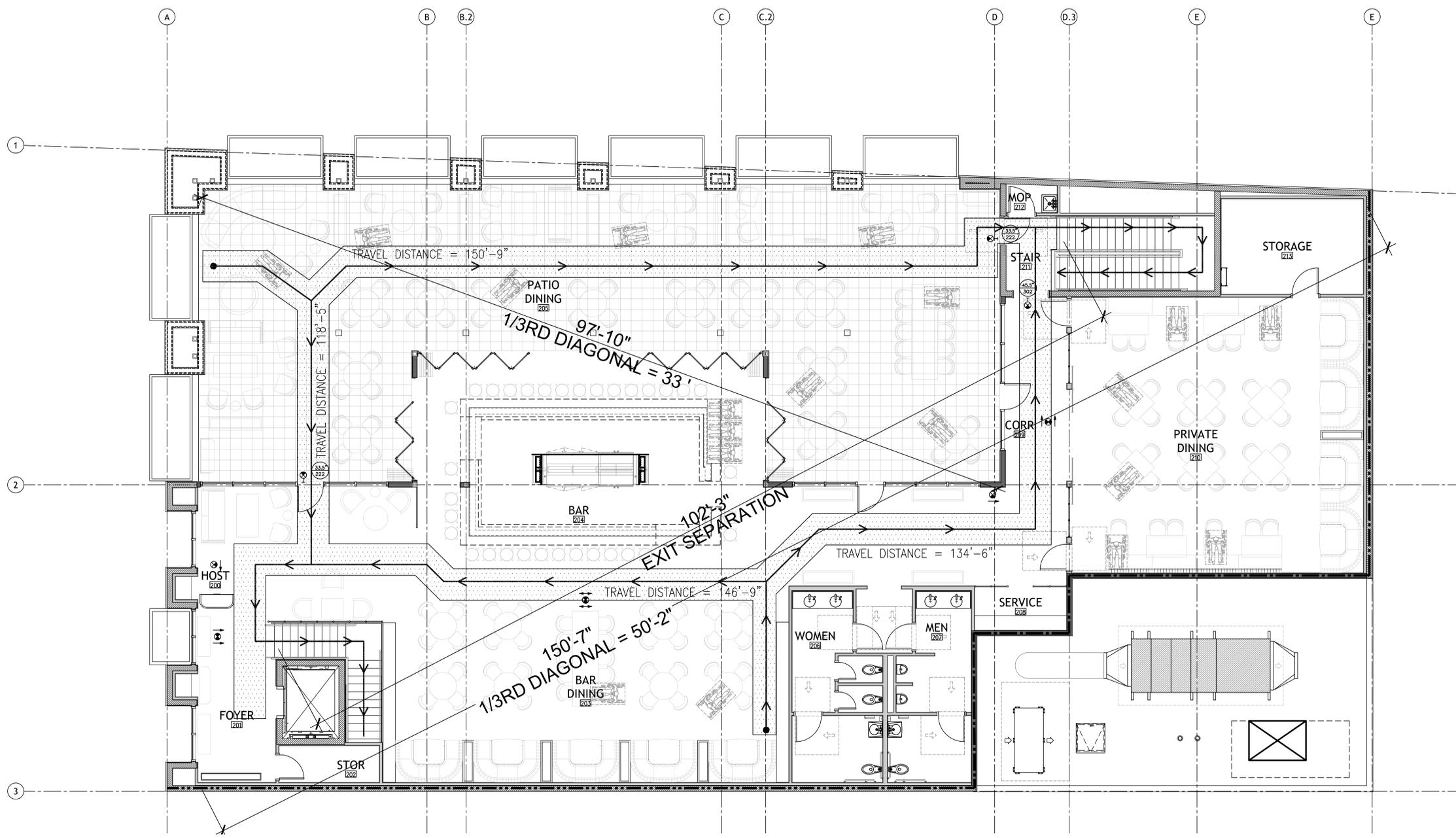
EGRESS FLOOR PLAN - LEVEL 1

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PROJECT NUMBER: MOX25002



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BUILDING DATA	
GROSS AREA - LEVEL 1	10009
GROSS AREA - LEVEL 2	8778
TOTAL GROSS BUILDING AREA	18787
NET AREA - LEVEL 1	9046
NET AREA - LEVEL 2	5275
TOTAL NET (F.A.R.) BUILDING AREA	14323

SEATING COUNT - LEVEL 2	
INTERIOR SEATING	
1 SEAT (LOOSE) x	7 = 7 SEATS
4 TOP TABLE x	14 = 56 SEATS
10 TOP TABLE x	1 = 8 SEATS
1 TOP BOOTH x	4 = 4 SEATS
2 TOP BOOTH x	4 = 8 SEATS
BOOTH LINEAR FEET	171 = 86 SEATS
BANQUETTE LINEAR FEET	40 = 27 SEATS
BAR SEATING x	35 = 35
INTERIOR SEATING TOTAL	223 SEATS
OUTDOOR SEATING	
1 SEAT x	24 = 24 SEATS
2 TOP TABLE x	3 = 6 SEATS
4 TOP TABLE x	12 = 48 SEATS
10 TOP TABLE x	1 = 10 SEATS
BANQUETTE LINEAR FEET	29 = 19 SEATS
EXTERIOR SEATING TOTAL	107 SEATS
TOTAL SEATING	331 SEATS

H.C. SEATING REQUIRED (NON-FIXED)
 $373 \times .05 = 19$ SPACES REQ'D

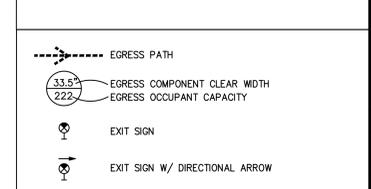
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OCCUPANCY LOAD - LEVEL 2				
USE	SQUARE FOOTAGE	LF	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
BAR SERVICE	259	-	150	2
BAR SEATING ****	-	-	-	35
CIRCULATION	1580	-	-	0
DINING - NONFIXED	4273	-	15	285
DINING - BOOTH	-	126	18"	84 ***
DINING - BANQ'T	-	0	18"	0
ENTRY WAITING	80	-	5	16
HOST/HOUSTESS	32	-	150	1
KITCHEN	0	-	200	0
OFFICE / ADMIN	0	-	150	0
STORAGE	181	-	300	1
RESTROOMS	284	-	-	0
TOTAL				424

EGRESS COMPONENTS - LEVEL 2			
DOOR/STAIR #	EGRESS WIDTH (IN.)	OCCUPANT CAPACITY	OCCUPANTS SERVED
STAIR 1	48	240	212
STAIR 2	48	240	212
DOOR 205A	33.5	222	65
DOOR 205B	33.5	222	65
OPENING 211	45.5	302	212

EGRESS WIDTH	
REQUIRED DOORS	63.6 INCHES
PROVIDED DOORS	112.5 INCHES
REQUIRED STAIRS	84.8 INCHES
PROVIDED STAIRS	96 INCHES

- NOTES**
- HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MIN. - 34" MAX
 - MANUEVERING CLEARANCE SHALL BE 30"x48"
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- *** SEATING PER FIRE CODE; FIRE CODE DOES NOT DIFFERENTIATE BETWEEN BOOTHS AND BANQUETTES. BOTH CALCULATED AT 18" = 1 OCCUPANT
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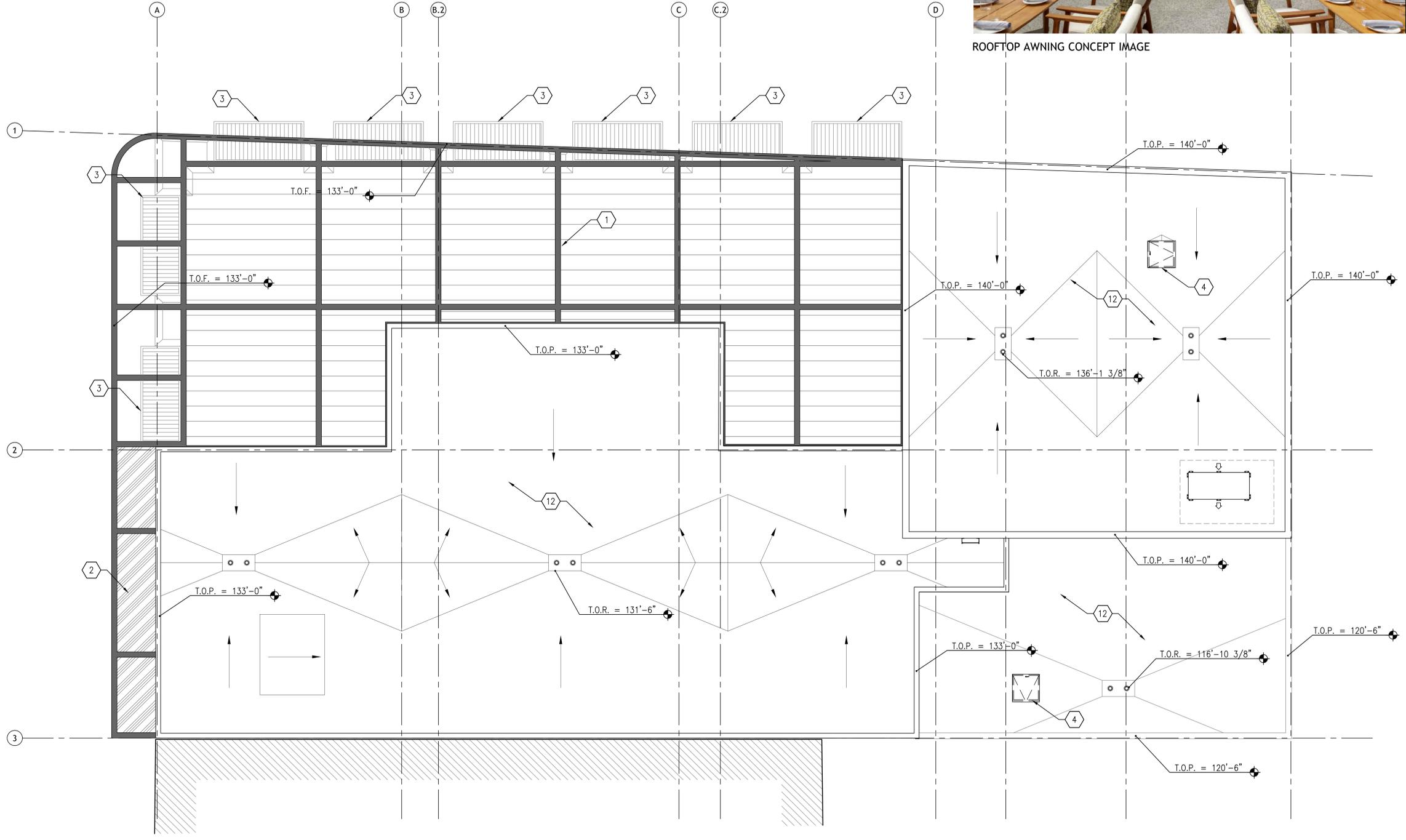


ROOFTOP AWNING CONCEPT IMAGE

- ### ROOF NOTES
- ALL DETAILS RELATING TO THE ROOFING SYSTEM REGARDLESS AS TO HOW THEY MAY BE INDICATED ON THESE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ROOFING MANUFACTURER, TO OBTAIN THE REQUIRED 20 YEAR SYSTEM WARRANTY. DISCREPANCIES SHALL NOT BE CAUSE FOR MODIFICATIONS TO THE CONTRACT SUM.
 - TAPERED INSULATION SHALL BE LOCATED AND INSTALLED FOR EFFICIENT ROOF SURFACE DRAINAGE AT ALL ROOF EQUIP AND MEP CURBS. INSULATION BOARD CRICKETS AND SADDLE SLOPES SHALL MEET ROOFING SYSTEM MANUFACTURER'S STANDARDS FOR EXTENTS (SLOPES AND CONFIGURATIONS). ALL FREESTANDING ELEMENTS WIDER THAN 30" SHALL HAVE CRICKET.
 - ROOF TOP EQUIPMENT CURBS SHALL BEAR DIRECTLY ON ROOF STRUCTURAL STEEL AND STEEL ANGLE OPENING FRAMES. DO NOT BEAR ON METAL ROOF DECK. ROOF TOP EQUIPMENT SHALL SIT LEVEL AND PLUMB.
 - ALL EXPOSED STEEL ABOVE THE ROOF SHALL BE PAINTED TO MATCH ADJACENT FINISHES. ONE PRIMER COAT AND TWO FINISH COATS.
 - PROVIDE ROOF TOP SINGLE PENETRATION CONDUIT/PIPE BOOTS AND CLUSTER PENETRATION M.E.P. CURBS.
 - ALL ROOFING CORNERS, INSETS, CAPS, TERMINATIONS AND PENETRATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED ROOFING MANUFACTURER'S ROOFING DETAILS FOR THE ROOFING SYSTEM(S) INSTALLED AND SHALL MAINTAIN ROOF SYSTEM WARRANTY.
 - INCLUDE THE INSTALLATION OF SERVICE WALKWAYS AND LANDINGS AS INDICATED ON ROOF PLAN AND CONNECTING ALL RTU'S AND ROOF MOUNTED EQUIPMENT TO ROOF HATCH.
 - CONTRACTOR TO SUBMIT TO ARCHITECT ANY ADDITIONAL DETAILS NEEDED TO PROVIDE COMPLETED ROOF SYSTEM MEETING WARRANTY REQUIREMENTS.

- ### R-1 ROOFING SYSTEM COMPONENTS
- 50 MIL PVC ROOFING MEMBRANE, 45 MIL ON BACK OF PARAPETS - COLOR WHITE
 - 4" TOTAL THICKNESS OF POLYISOCYANURATE RIGID INSULATION FOR R-20 AGED THERMAL PERFORMANCE
 - METAL DECKING (STANDARD AND ACOUSTICAL) ON STEEL ROOF JOISTS RE: STRUCTURAL

- ### KEY NOTES:
- NOT ALL NOTES MAY BE USED
- PRE-FABRICATED ALUMINUM AWNING FRAME W/ RETRACTABLE FABRIC SUN SHADE
 - WOOD-LOOK ALUMINUM SLAT SOLID INFILL PANEL BY FABRICATED ALUMINUM AWNING MANUFACTURER.
 - PRE-FABRICATED ALUMINUM CANOPY AND TURNBUCKLES.
 - ROOF ACCESS HATCH
 - PRE-FINISHED DOWNSPOUT AND COLLECTION BOX
 - WALL MOUNTED SCONCES, RE: ELECTRICAL. REFER TO EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
 - ROOF WALKWAY PAD
 - ROOF MOUNTED HVAC EQUIPMENT, RE: MECHANICAL
 - MAKEUP AIR UNIT, RE: MECHANICAL
 - ROOF EXHAUST FAN, RE: MECHANICAL
 - TAPERED INSULATION CRICKET, MINIMUM 1/2" SLOPE, TYPICAL
 - FULLY ADHERED PVC ROOF MEMBRANE OVER TAPERED RIGID INSULATION
 - SERVICE YARD
 - WATER HEATER VENT, RE: PLUMBING
 - ROOF JACK FOR REFRIGERATION LINES.



FUSIONAE
 6001 GARDNER DRIVE, SUITE 100
 IRVING, TEXAS 75038
 TEL: 972.670.1288
 WWW.FUSIONAE.COM

CORPORATE:
EATZ HOSPITALITY
 100 CRESCENT COURT
 DALLAS, TX 75201

STATE OF TEXAS
 RUSTY A. RIDGE
 ARCHITECT
 01/06/2026

MOXIES CORAL GABLES
 87 CORAL WAY
 CORAL GABLES FLORIDA 33134
 CLIENT: EATZ HOSPITALITY
 100 CRESCENT COURT
 DALLAS, TEXAS 75201

MOXIES

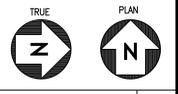
ISSUED	
DATE	DESCRIPTION
01.06.2026	DEVELOPMENT COMMITTEE REVIEW

REVISED	
DATE	DESCRIPTION

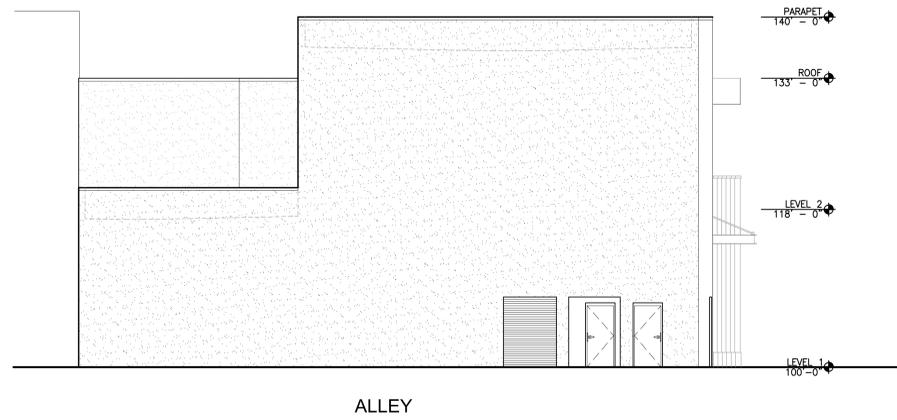
ROOF PLAN
 3/16"=1'-0"

PROJECT NUMBER:
MOX25002

A1.8



17/2026 - 6:03 PM, Z:\Moxies\MOX25002 - Coral Gables, FL\3_Construction Documents\3_2_Drawings\3_23_Architectural\DRG SET\A2.0 EXTERIOR ELEVATIONS.dwg, kscolar



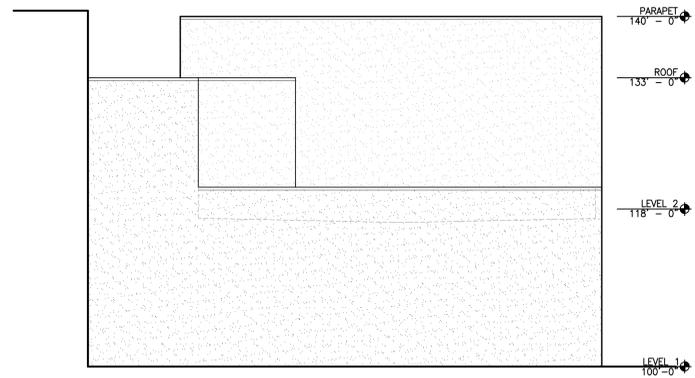
ALLEY

ELEVATION NORTH
1/8"=1'-0" 14



GALIANO STREET

ELEVATION WEST
1/8"=1'-0" 11



ELEVATION EAST
1/8"=1'-0" 4



MIRACLE MILE

ELEVATION SOUTH
1/8"=1'-0" 1



01/06/2026



ISSUED	
DATE	DESCRIPTION
01.06.2026	DEVELOPMENT COMMITTEE REVIEW

REVISED	
DATE	DESCRIPTION



January 6, 2026

Ms. Jennifer Garcia
Chairperson
Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Art in Public Places --Planning and Zoning Board
New Moxies Restaurant

Dear Ms. Garcia,

As required by Coral Gables Zoning Code Section 9-103.B, and on behalf of Del Boca Coral Gables LP (the applicant), please be advised that as part of the proposed site redevelopment the applicant would prefer to waive the Art in Public Places Fee requirement by commissioning a mural to be installed on the building in accordance with Section 9-103.C.

Sincerely,



Randy Barnett

Fusion AE

Cc: File

January 8, 2026

Ms. Jennifer Garcia
Chairperson
Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Ordinances, Resolutions, Covenants, Development Agreements, etc. previously granted.
New Moxies Restaurant

Dear Ms. Garcia,

Please be advised that we have requested a copy of all Ordinances, Resolutions, Covenants, Development Agreements, etc. previously granted for the property and will submit as soon as received.

Sincerely,



Randy Barnett

Fusion AE

Cc: File



January 6, 2026

Ms. Jennifer Garcia
Chairperson
Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Historical Significance Determination
New Moxies Restaurant

Dear Ms. Garcia,

On behalf of Del Boca Coral Gables LP (the applicant), please be advised that a reissue of a Historical Significance Determination letter dated May 24, 2023 has been applied for and will be submitted as it is received.

Sincerely,

A handwritten signature in black ink, appearing to read "Randy Barnett", with a long horizontal flourish extending to the right.

Randy Barnett

Fusion AE

Cc: File



Contact Information

Property Owner:

93 Coral Gables MM, LLC

834 Lincoln Road

Miami Beach, FL 33139

Contact: Scott Fitzgerald

305-695-8700

Applicant:

Del Boca Coral Gables LP

100 Crescent Court

Dallas TX 75201

Contact: Drew Smith

469-418-0497

Applicant's Representative:

Goodman Real Estate Solutions

6607 Missy Drive, Dallas TX

Contact: Herb Goodman

214-537-1441

Architect:

Fusion-AE

6201 campus Circle Dr E

Irving Tx 75063

Contact: Randy Barnett

972-870-1288

Civil Engineer:

David Plummer & Associates

1750 Ponce De Leon Boulevard

Coral Gables FL 33134

Contact: Todd Seymour

304-447-0900



January 6, 2026

Ms. Jennifer Garcia
Chairperson
Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Lobbyist Registration Confirmation
New Moxies Restaurant

Dear Ms. Garcia,

Please be advised that myself and Herb Goodman are currently in the process of registering as Lobbyists with the Coral Gables Office of the City Clerk. Confirmation will be submitted as it is received prior to the DRC meeting on 01/30/2026.

Sincerely,

A handwritten signature in black ink that reads "Randy Barnett".

Randy Barnett

Fusion AE

Cc: File

This instrument prepared by:

Eduardo M. Soto, Esq.
Weiss Serota Helfman
Cole & Bierman, P.L.
2525 Ponce de Leon Blvd., Suite 700
Coral Gables, Florida 33134

Property Appraiser's Identification
Folio Number(s):
03-4108-007-3790

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made and entered into as of the 30 day of December 2021, by **93 MM HOLDINGS, LP**, a Delaware limited partnership, ("Grantor"), whose office address is 677 Washington Blvd. Suite 500 Stamford, Connecticut 06901, to **801 ARTHUR GODFREY, LTD.**, a Florida limited partnership, ("Grantee"), whose mailing address is 801 Arthur Godfrey Road, Suite 600, Miami Beach, Florida 33140. Wherever used herein, the terms "Grantor" and "Grantee" shall include all of the parties to this instrument and their heirs, legal representatives and assigns.

WITNESSETH:

GRANTOR, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold, and by these presents does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in Broward County, Florida and more particularly described as follows:

Lots 28, 29, and 30, Block 39, REVISED PLAT CORAL GABLES SECTION L, according to the Plat thereof recorded in Plat Book 8, Page 85, of the Public Records of Miami-Dade County, Florida (the "**Property**").

THIS CONVEYANCE is subject to: taxes and assessments for 2022 and all subsequent years; zoning ordinances, restrictions, prohibitions and other requirements imposed by governmental authority, conditions restrictions, reservations, limitations and easements of record, if any, but this reference shall not operate to reimpose same.

TO HAVE AND TO HOLD unto Grantee and Grantee's heir, successors and assigns in fee simple forever.

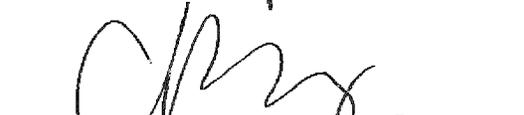
AND GRANTOR does hereby specifically warrant the title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal as of the day and year

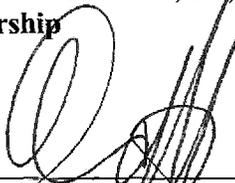
first above written.

Signed, sealed and delivered
in the presence of:


Print Name: ELISA SEGUIN

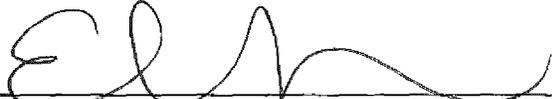

Print Name: Christine Perez

**93 MM HOLDINGS, LP, a Delaware limited
partnership**

By: 
Name: Arnaud Karsenti
Title: Authorized Representative

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me by means of physical presence or
 online notarization, this 29 day of DECEMBER 2021 by Arnaud Karsenti, as Authorized
Representative, of 93 MM HOLDINGS, LP, a Delaware limited partnership, on behalf of the
company, who is personally known to me or has produced _____ as
identification.


Notary Public, State of Florida
Print Name: ELISA SEGUIN

My Commission Expires:
MARCH 24, 2024



Elisa Seguin
Comm. # GG934923
Expires: March 24, 2024
Bonded Thru Aaron Notary



January 6, 2026

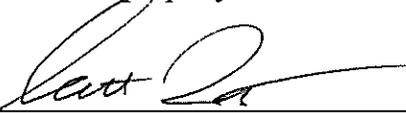
OWNER AFFIDAVIT AND AUTHORIZATION

Property Address: 87 Coral Way, Coral Gables, FL 33134

Property Owner: 93 Coral Gables MM, LLC

Mailing Address: 834 Lincoln Road, Miami Beach, FL 33139

I, the undersigned owner's representative, hereby authorize Del Boca Coral Gables LP (100 Crescent Court, Dallas, TX 75201) and Fusion AE (6201 Campus Circle Drive East, Irving TX 75063) to act on my behalf for the processing of this Development Review Committee application for the above-referenced property.

Signature:  **Date:** 01/06/2026

Printed Name: Scott Fitzgerald

Title: Manager