

HERSMAN RESIDENCE

530 TIVOLI AVE. CORAL GABLES, FL. 33143

PRELIMINARY SUBMITTAL
CORAL GABLES BOARD OF ARCHITECTS

PASCUAL PEREZ KILIDDJIAN STARR
& ASSOCIATES



STREET ELEVATION-6

STREET ELEVATION-5

STREET ELEVATION-4

TIVOLI AVE



STREET ELEVATION-7



STREET ELEVATION-8



STREET ELEVATION-11

STREET ELEVATION-1

STREET ELEVATION-2

STREET ELEVATION-3



STREET ELEVATION-9

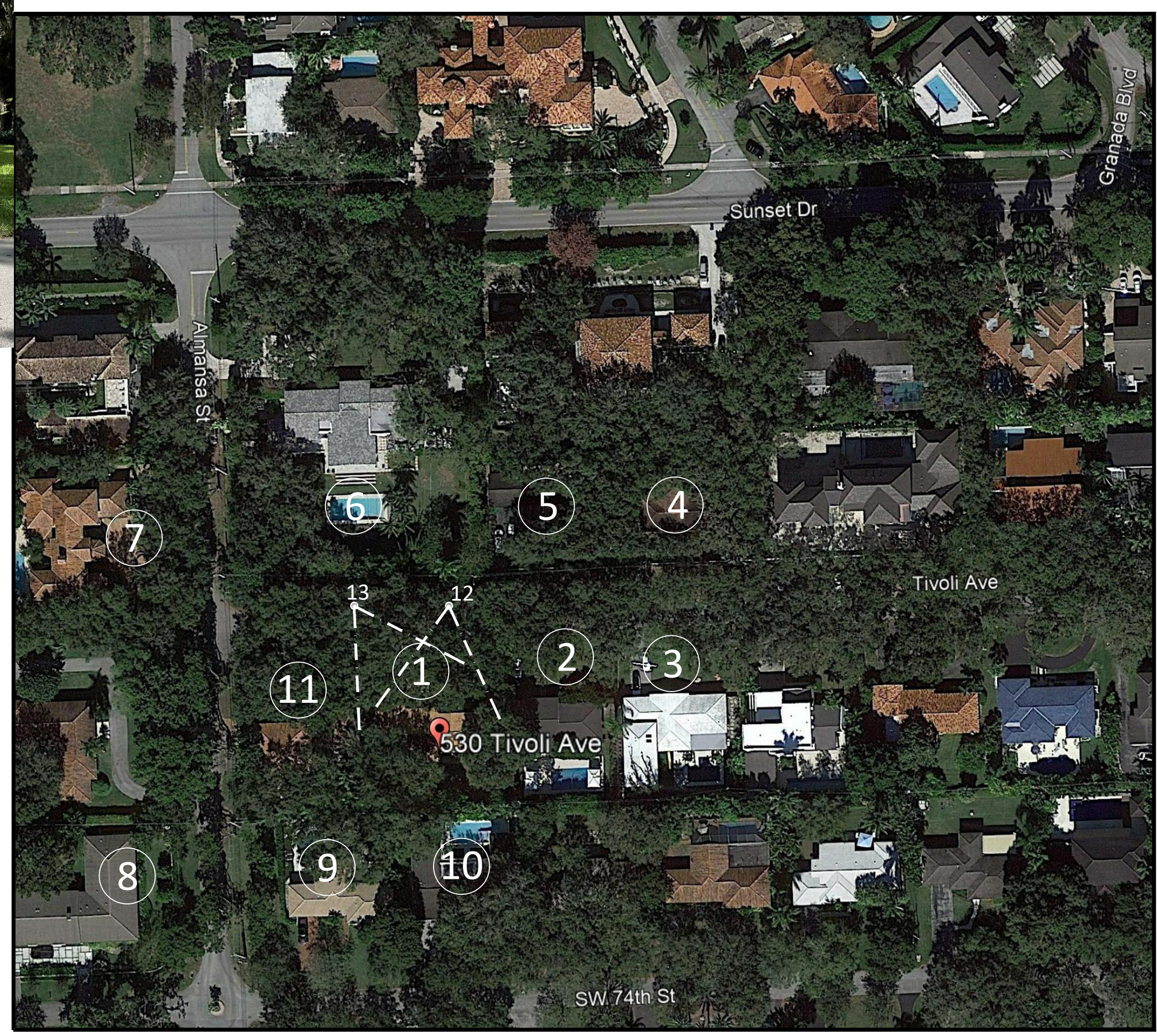
STREET ELEVATION-10



PROPOSED STREET ELEVATION-12



PROPOSED STREET ELEVATION-13



ALMANSA ST

Almanisa St

Sunset Dr

Granada Blvd

Tivoli Ave

530 Tivoli Ave

SW 74th St



PASCUAL
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KILIDDJIAN
STARR

& ASSOCIATES
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LICENSE # AA 26001357

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PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067

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REVISIONS:

OWNER:

RESIDENCE FOR
MR. & MRS. HERSMAN
530 TIVOLI AVE. CORAL GABLES, FL, 33143

SEAL:

STREET PERSPECTIVE

DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY : PK
JOB NO. :

P-1

SHEET NO. :



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ENTRANCE PERSPECTIVE

DATE: AS SHOWN
SCALE: ID
DRAWN: PK
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JOB NO.:

P-2

SHEET NO.:



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SEAL:

REAR PERSPECTIVE

DATE: AS SHOWN
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JOB NO.:

P-3

SHEET NO.:



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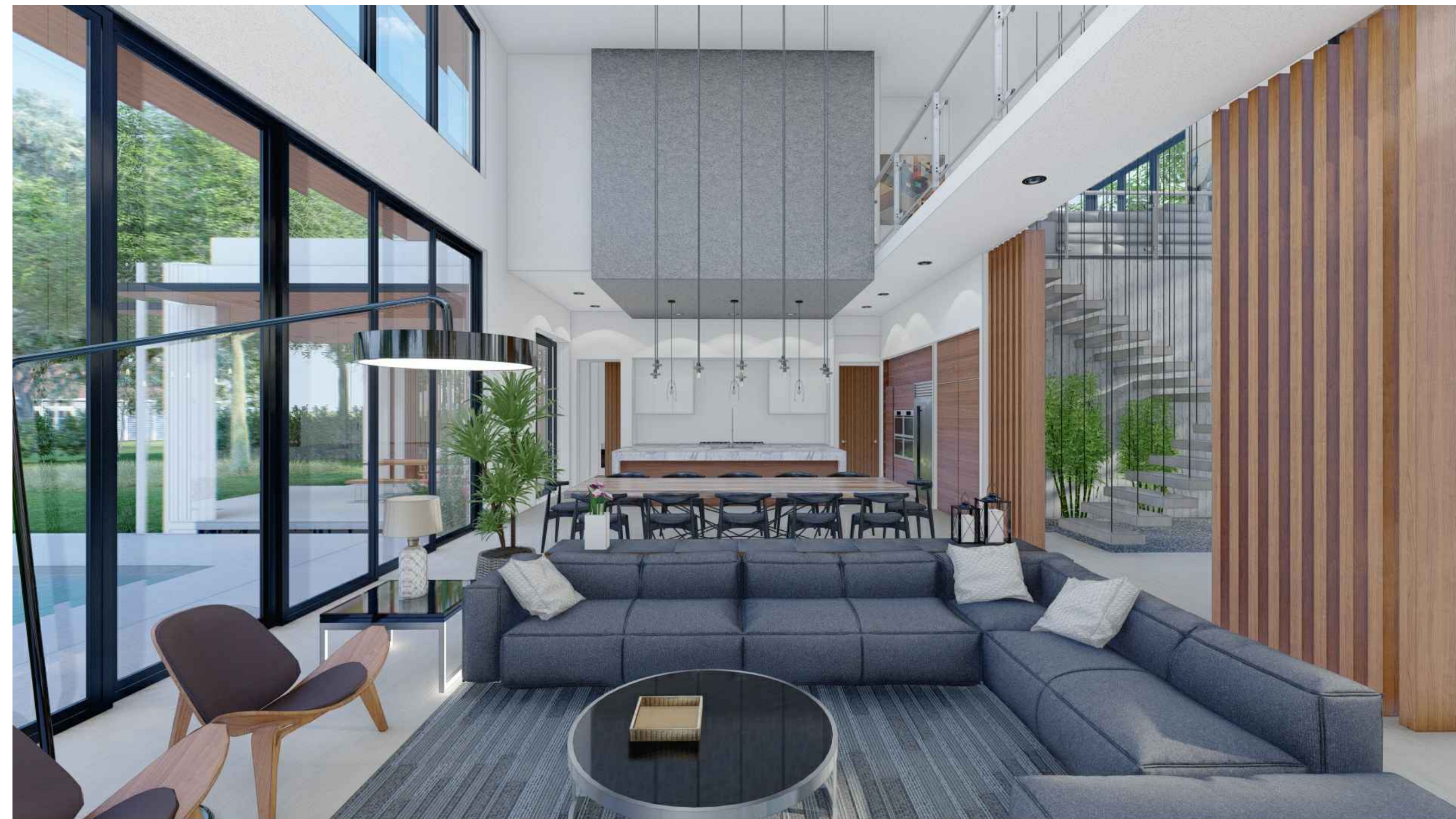
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REAR PERSPECTIVE

DATE: AS SHOWN
SCALE: ID
DRAWN: PK
CHECK BY: PK
JOB NO.:

P-4

SHEET NO.:



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SEAL:

INTERIOR PERSPECTIVES

DATE: 2021-9-01

SCALE: AS SHOWN

DRAWN: ID

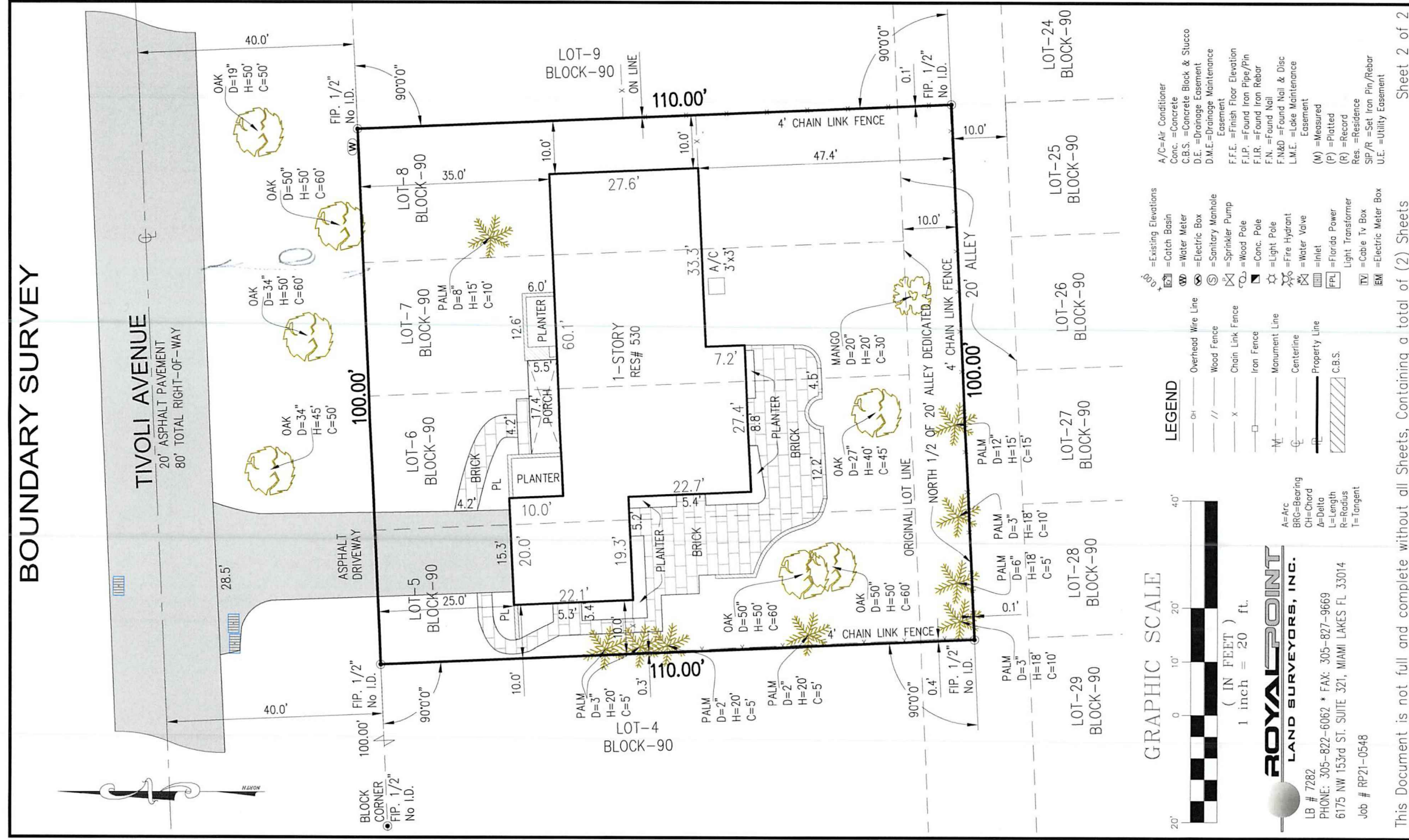
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JOB NO.:

P-5

SHEET NO.:

BOUNDARY SURVEY



This Document is not full and complete without all Sheets, Containing a total of (2) Sheets. Sheet 2 of 2

SURVEY

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DATE: 2021-09-01
SCALE: AS SHOWN
DRAWN: ID
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JOB NO.:

SURVEY

SHEET NO.:



PROPERTY ADDRESS
530 TIVOLI AVE. CORAL GABLES, FL, 33143-6309

LEGAL DESCRIPTION
LOT 5.6, 7.8 BLOCK 90 OF "CORAL GABLES BISC BAY SEC 1 PL AT", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25 PAGE 63 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING LEGEND

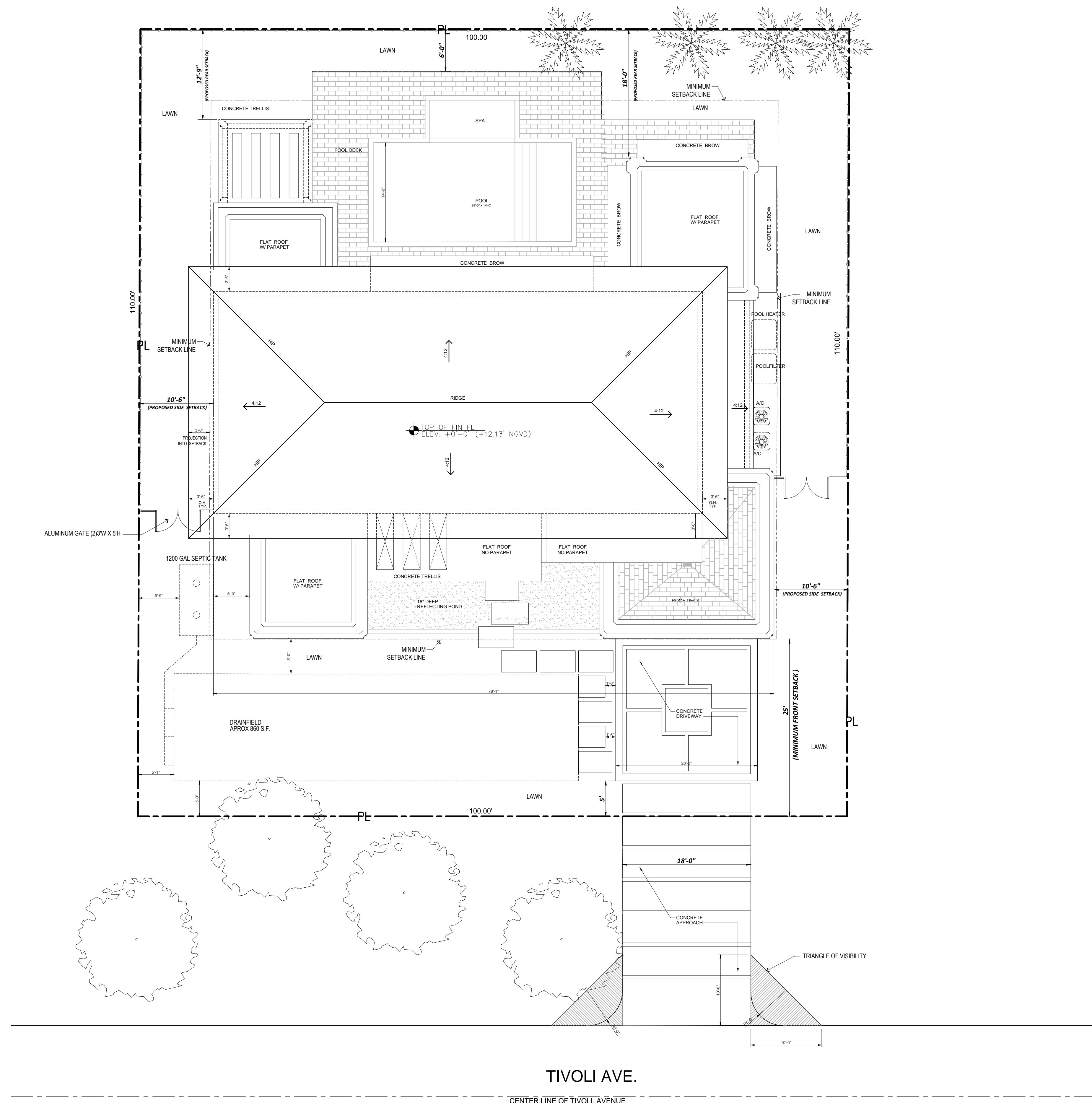
SINGLE FAMILY

ZONING:	SFR	
NETY LAND AREA	11,000 Sq. Ft.	
	REQUIRED/ALLOWED	PROVIDED
HEIGHT (to 2nd floor L.b.)	25'-0"	30'-9"
LOT COVERAGE	3,850 S.F. (35%)	3,846 S.F. (35.0%)
	4,950 S.F. (45%) AUX.	4,375 S.F. (39.7%)
F.A.R.	4,450 S.F.	4,423 S.F.
SETBACKS		
Front	25'-0"	25'-0"
Interior Side	10'-0"	10'-6"
Side Street	15'-0"	N/A
Rear	10'-0"	12'-9"

Lot will be graded so as to prevent direct overland discharge of overland discharge of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.

LANDSCAPE & OPEN SPACE

	REQUIRED	PROVIDED
MINIMUM OF 40% OF SITE	4,400 Sq. Ft.	4,565 Sq. Ft. (41.5%)
20% OF REQD. 40% IN FRONT YARD	880 Sq. Ft.	2,020 Sq. Ft. (41.9%)



Site Plan
1/8" = 1'-0"

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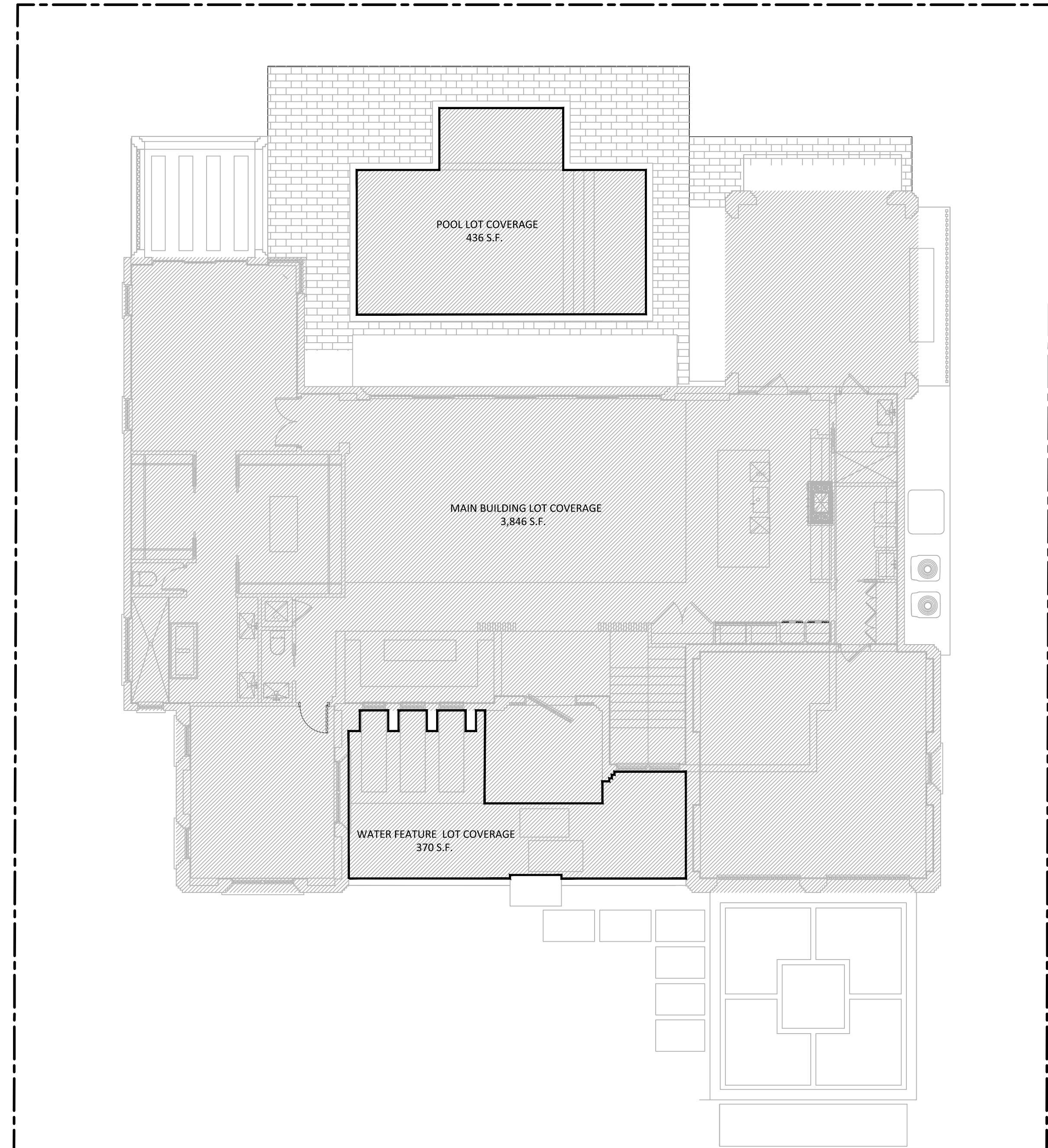
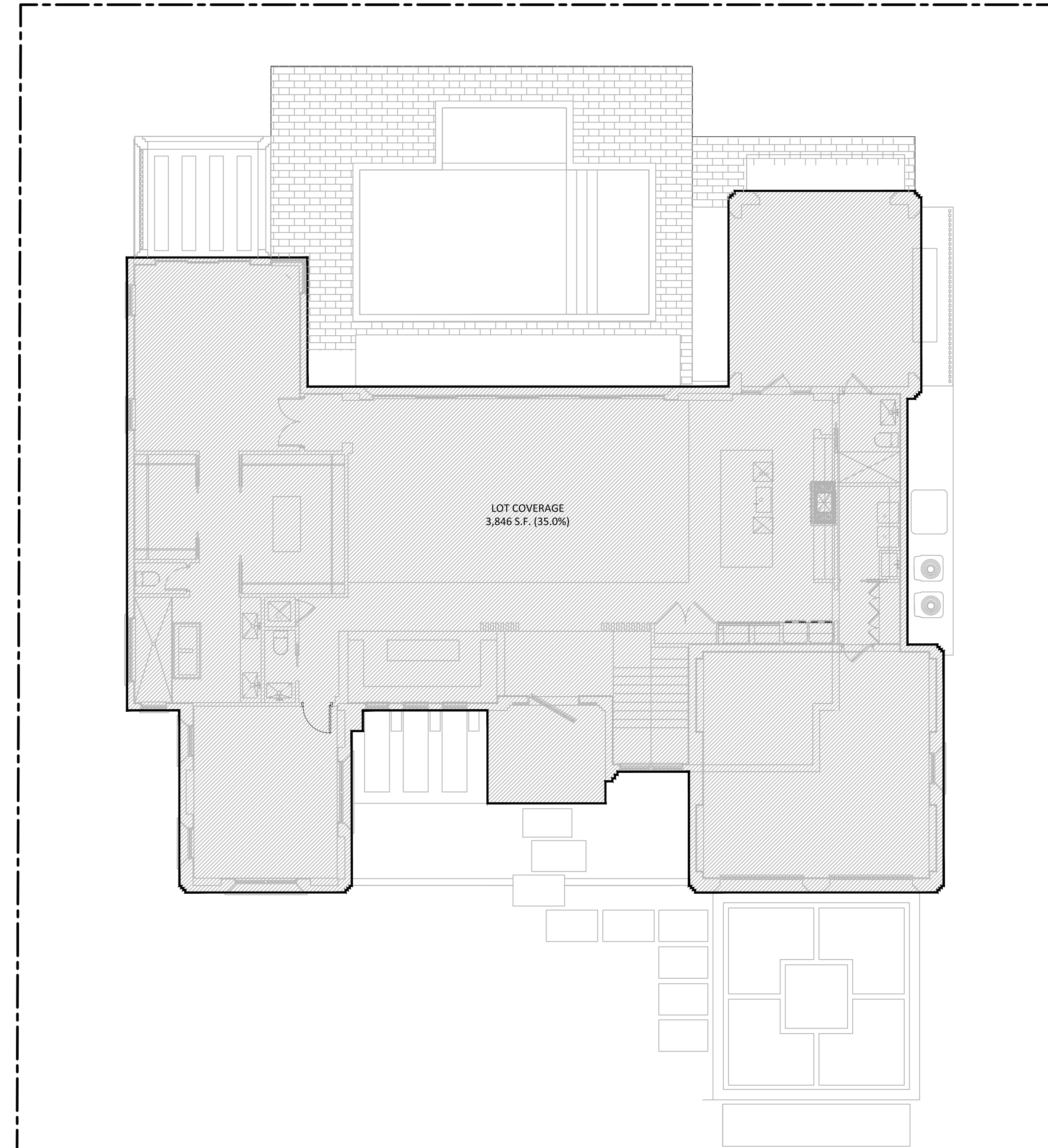
SITE PLAN

SITE PLAN
DATE: 2021 09-01
SCALE: AS SHOWN
DRAWN: ID
CHECK BY: PK
JOB NO.:

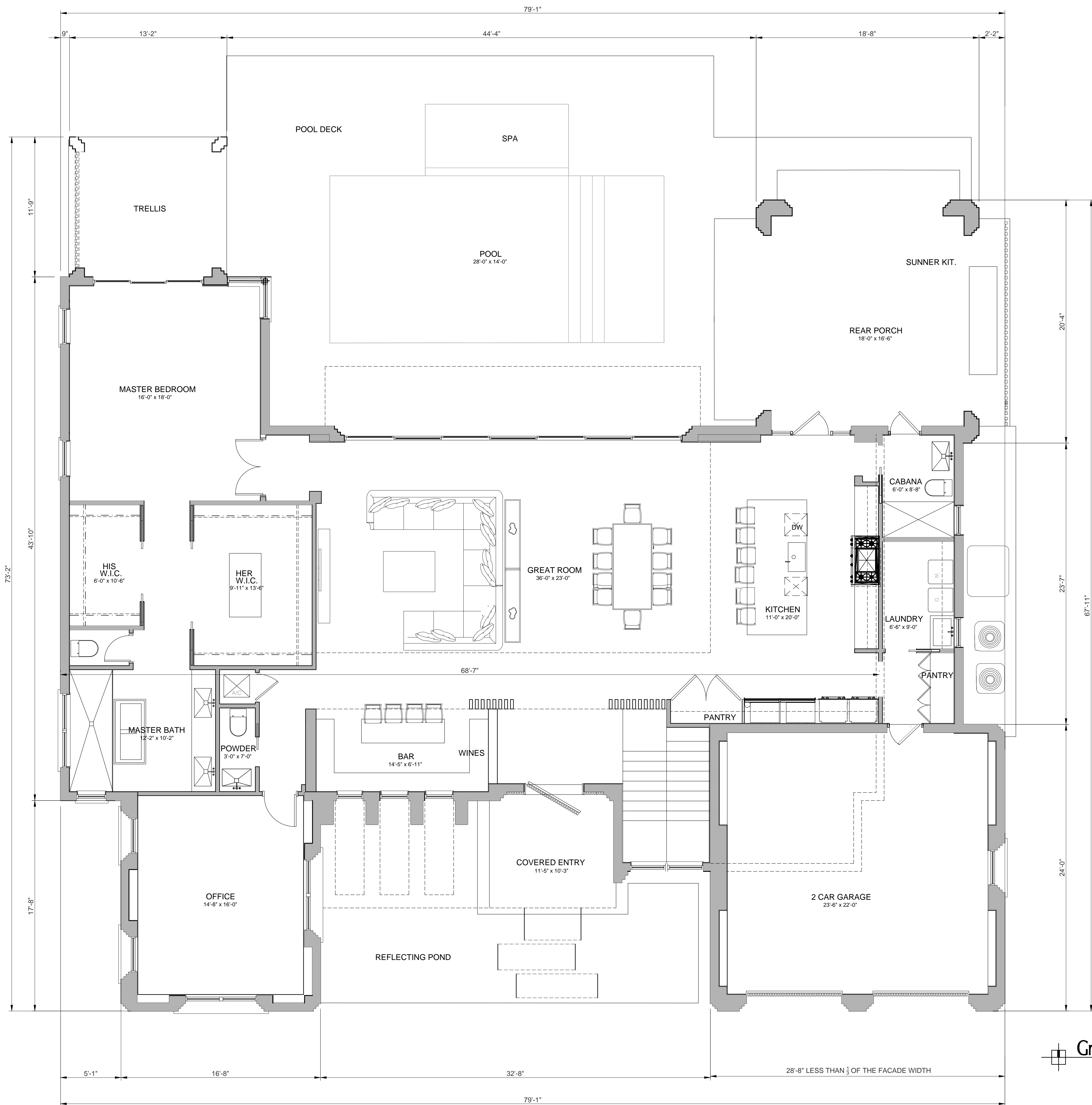
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SHEET NO.:

ZONING		SINGLE FAMILY SFR	
NET LAND AREA		11,000 SF	
	REQUIRED / ALLOWED	PROVIDED	
LOT COVERAGE			
PRINCIPAL BUILDING	3,850 Sq. Ft. (35%)	3,846 Sq. Ft. (34.9%)	
PRINCIPAL BUILDING+ ACCESSORY	4,950 Sq. Ft. (45%)	4,652 Sq. Ft. (42.2%)	

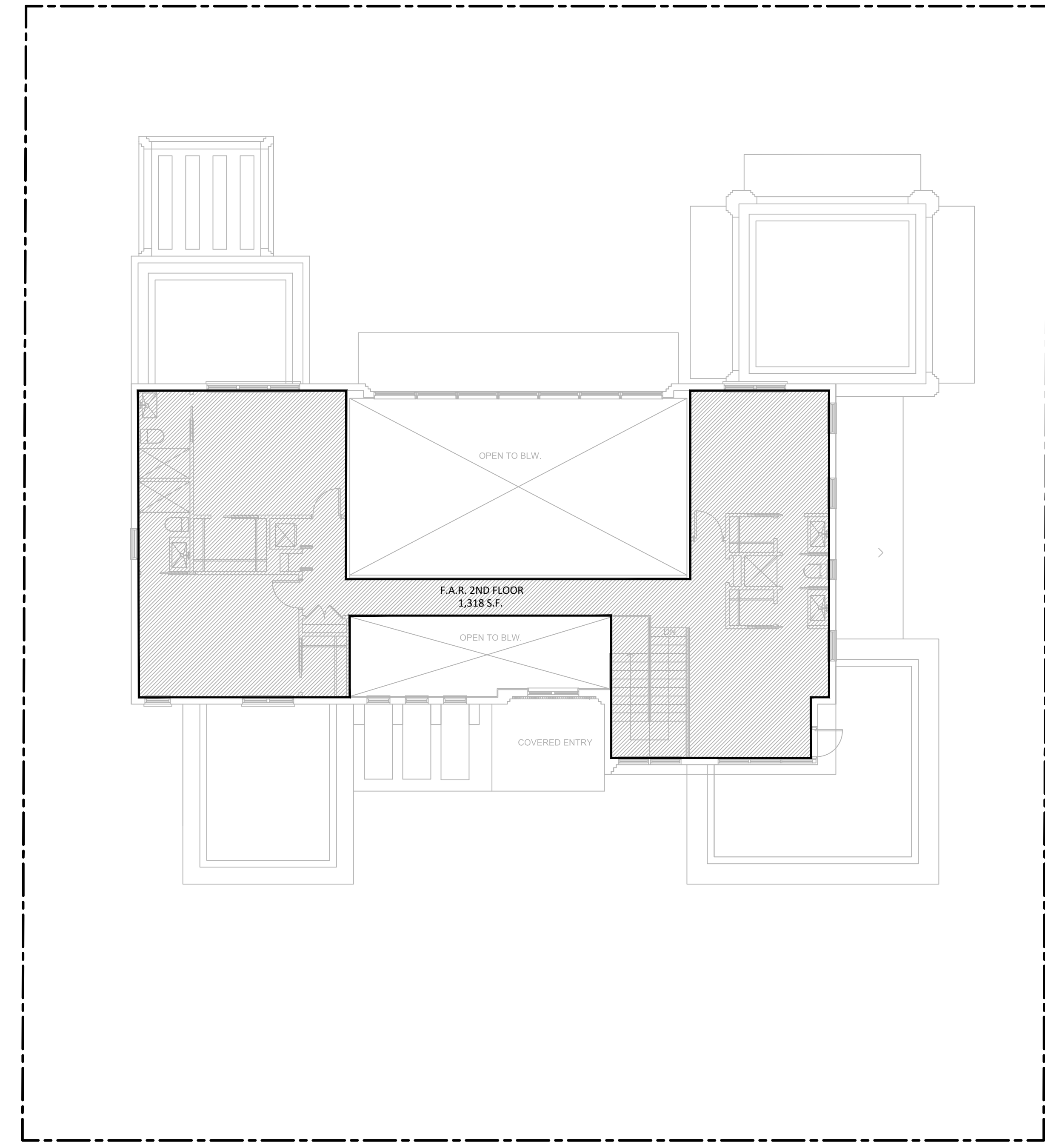
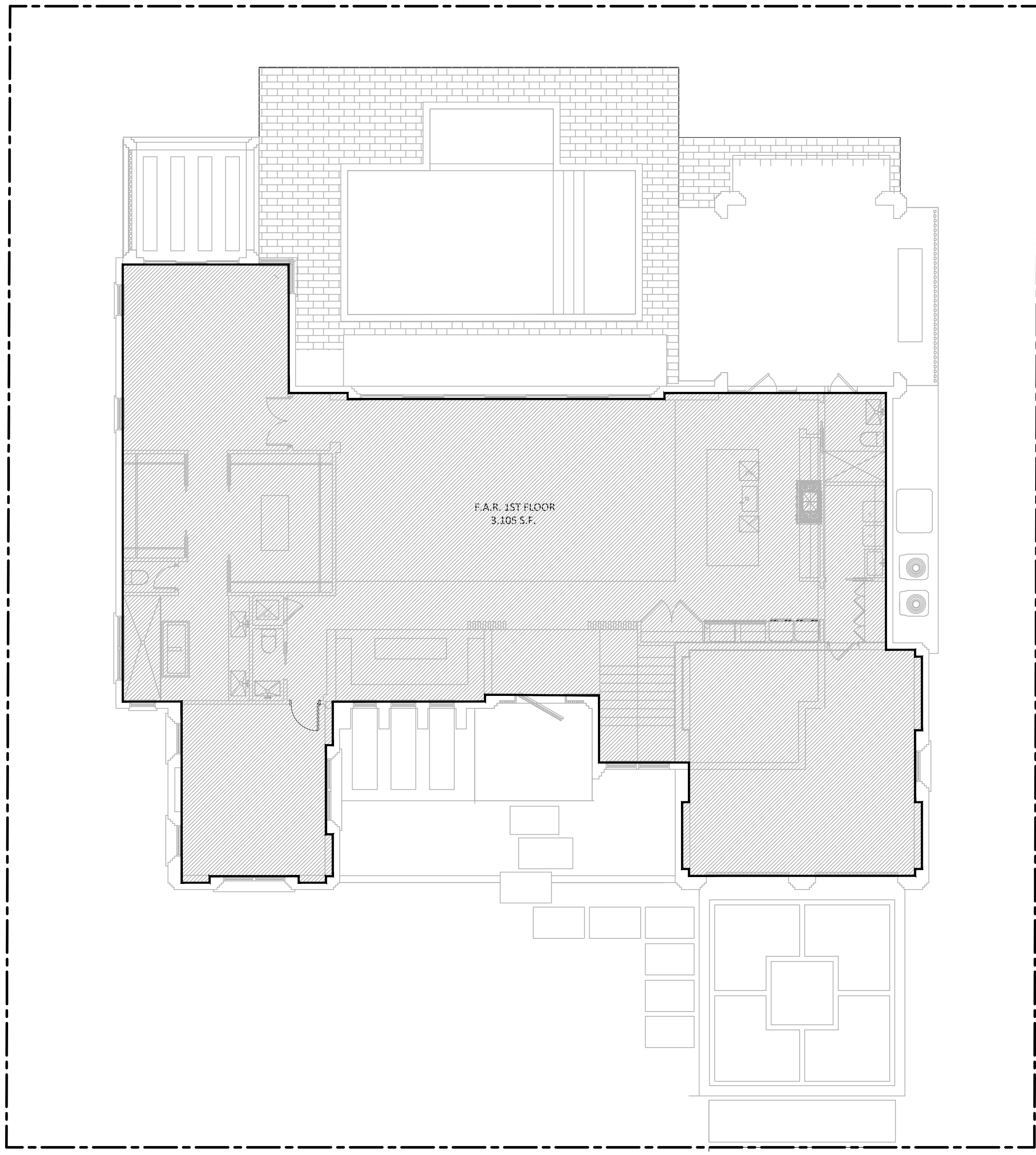


 IOT COVERAGE DIAGRAMS 1/8" = 1'-0"



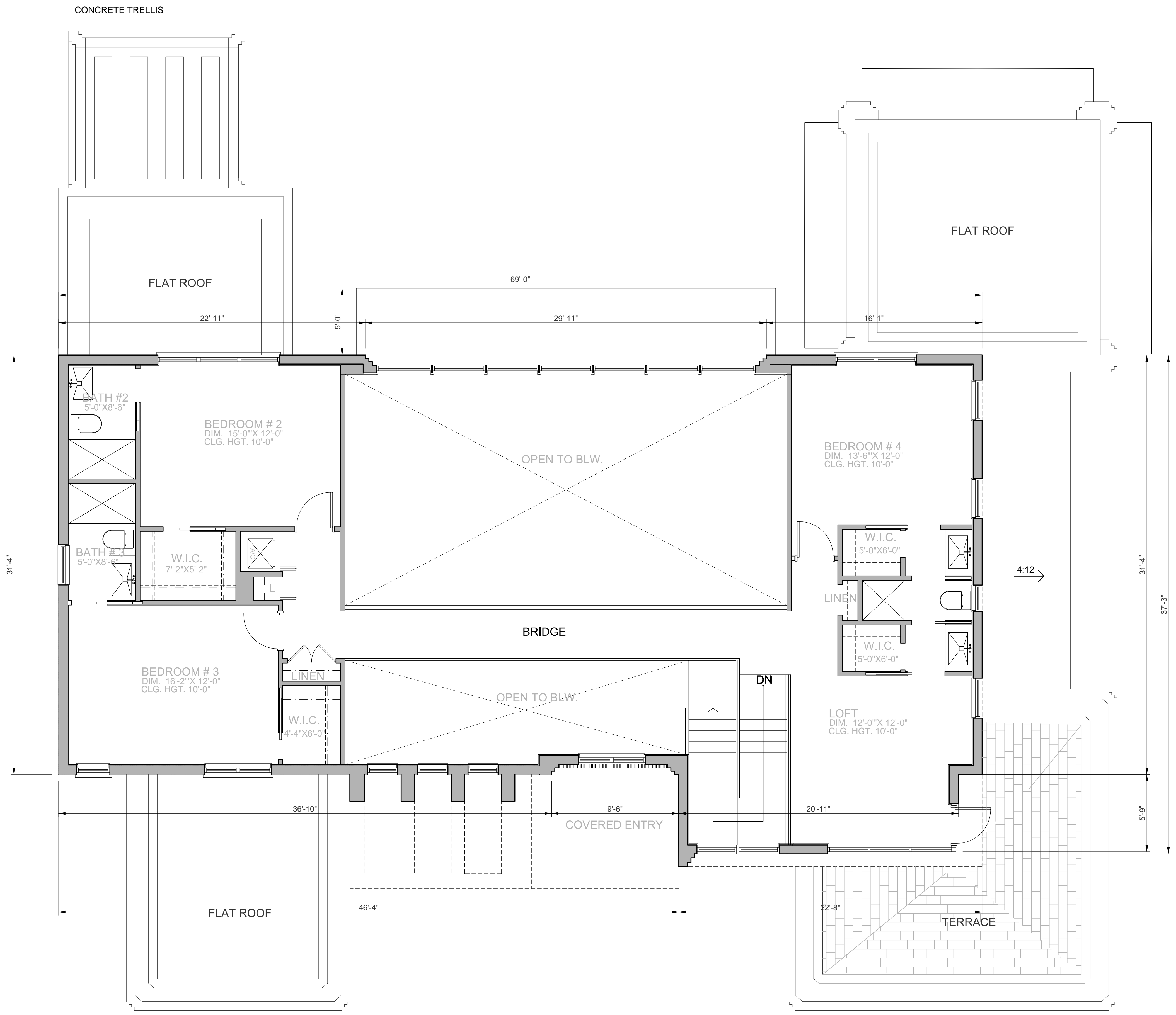
Ground Floor 1/4" = 1'-0"

ZONING SINGLE FAMILY SFR		
NET LAND AREA	11,000 SF	
	REQUIRED / ALLOWED	PROVIDED
F.A.R.	48% FIRST 5,000 S.F.+ 35% SEC OND 5,000 S.F. + 30% REMAINING S.F. = TO. F.A.R	
GROUND FLOOR		3,105 Sq. Ft.
SECOND FLOOR		1,318 Sq. Ft.
TOTAL	4,450 Sq. Ft.	4,423 Sq. Ft.

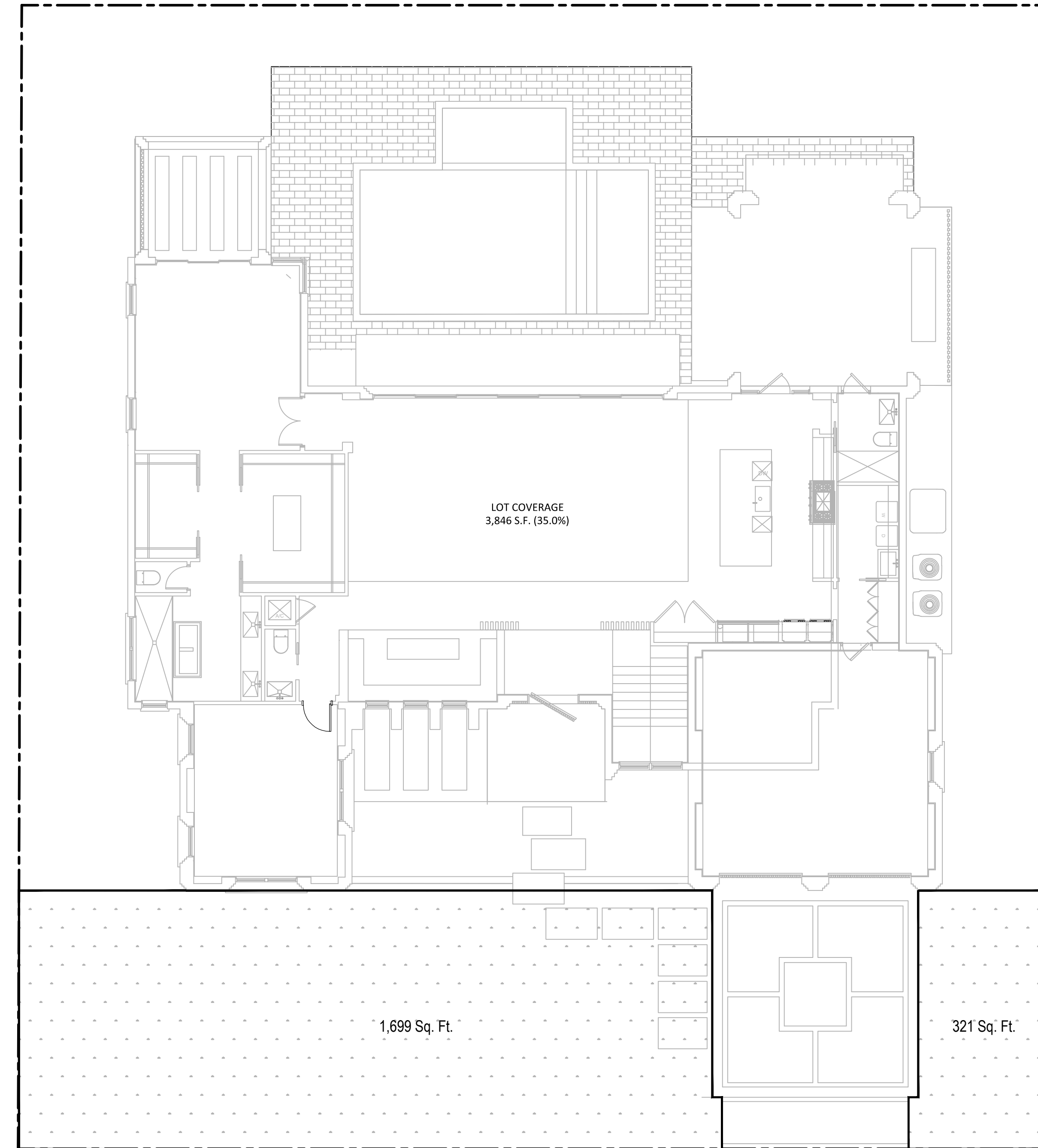
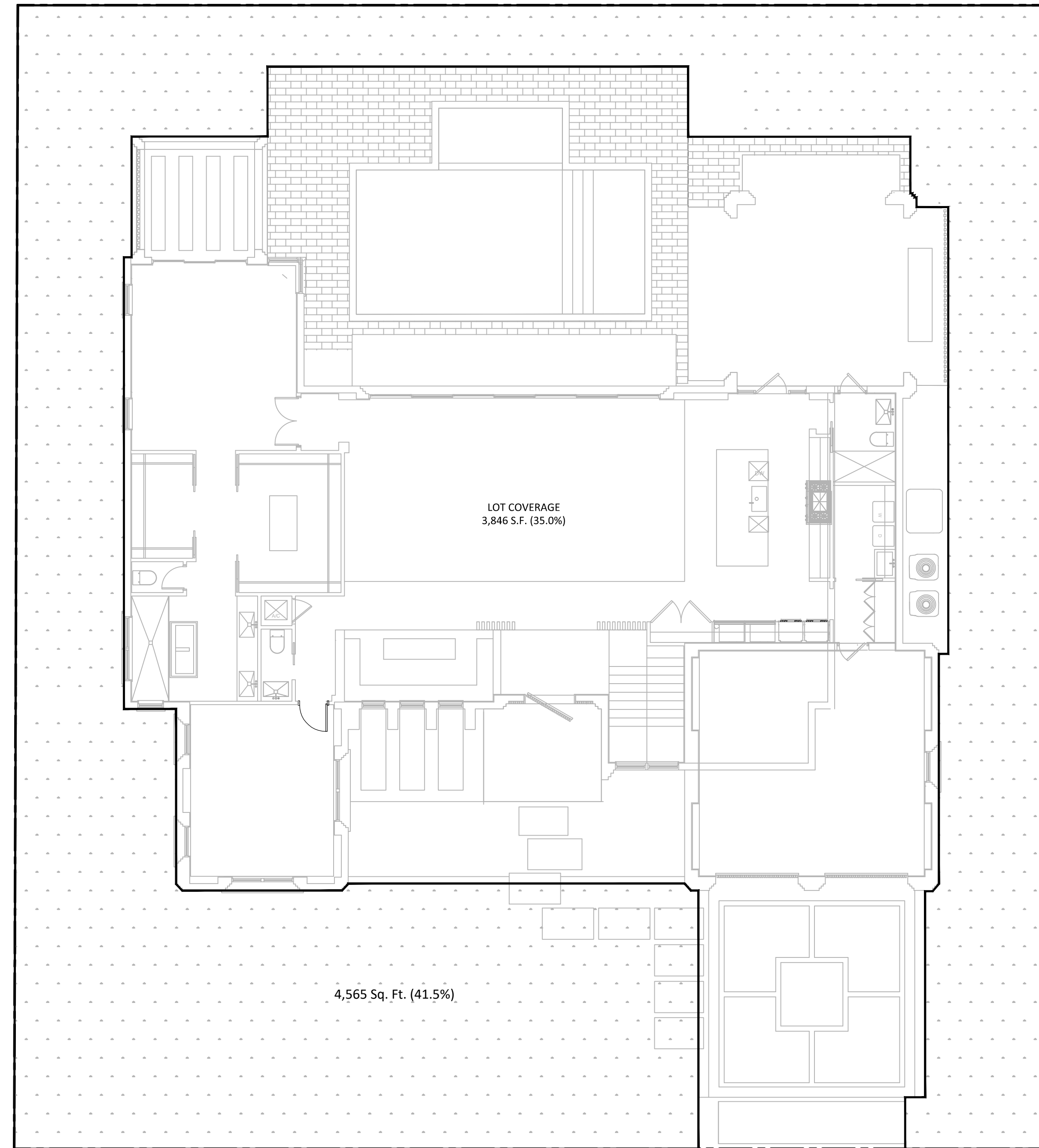


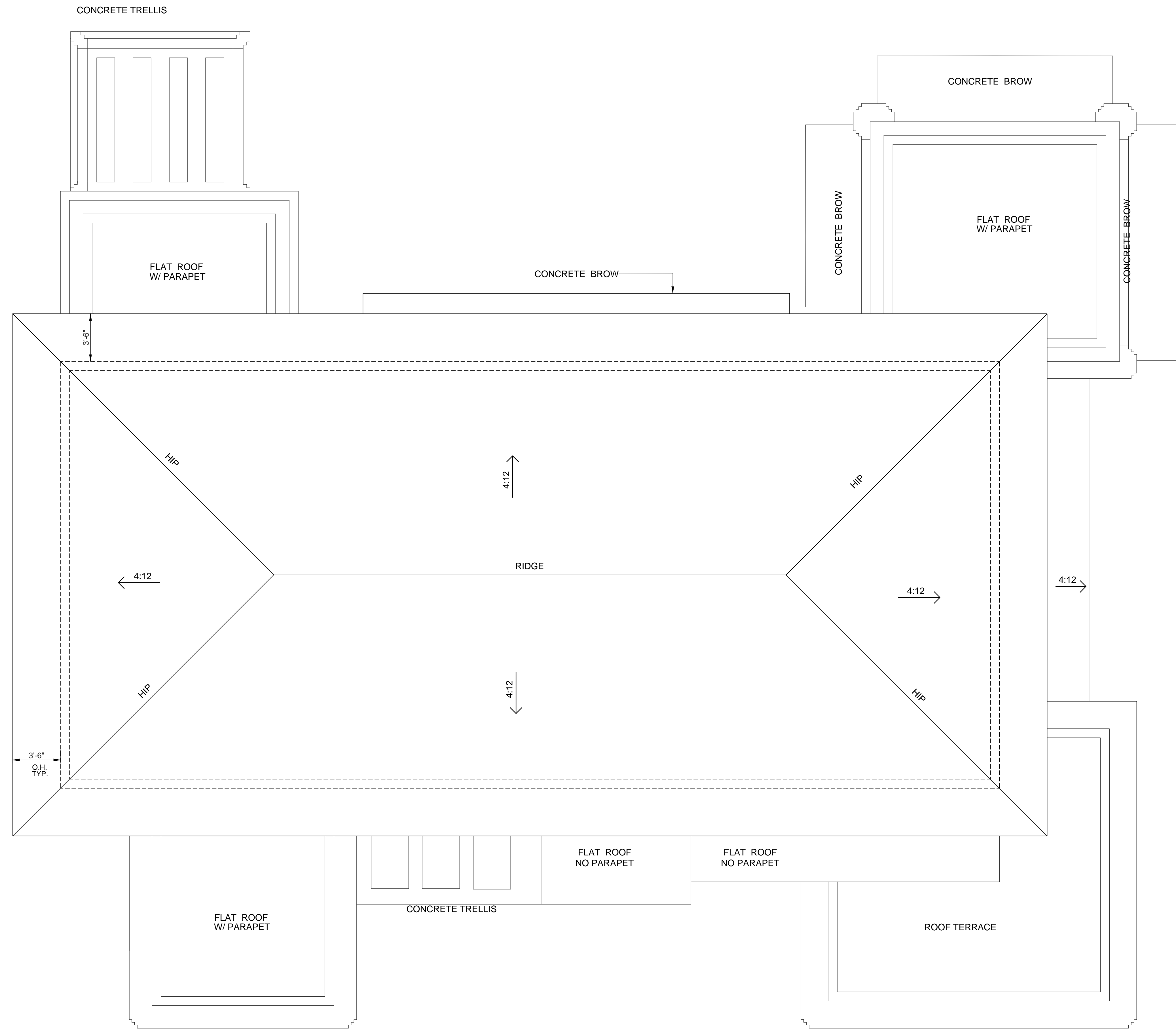
 F.A.R. DIAGRAMS

1/8" = 1'-0"



ZONING	SINGLE FAMILY SFR	
NET LAND AREA	11,000 SF	
	REQUIRED / ALLOWED	PROVIDED
LANDSCAPE OPEN SPACE		
MINIMUM 40% OF SITE	4,400 Sq. Ft. (40%)	4,565 Sq. Ft. (41.5%)
MIN. 20% OF REQD 40% IN FRONT YARD	880 Sq. Ft.	2,020 Sq. Ft.





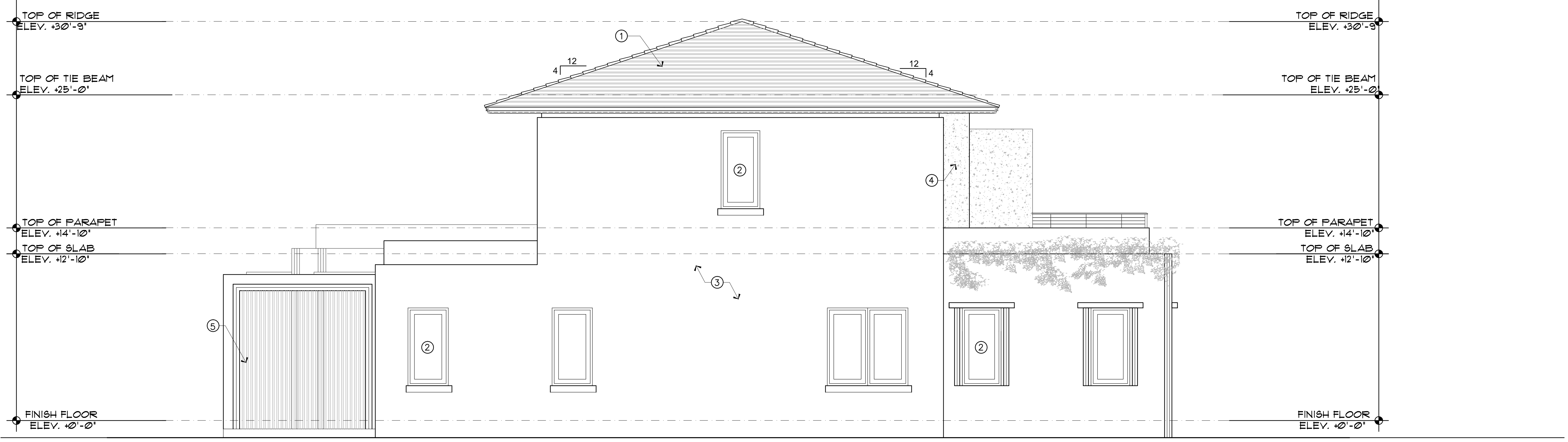
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LEGEND	
①	FLAT CEMENT TILE ROOF
②	CASEMENT IMPACT WINDOWS
③	SMOOTH FINISH STUCCO
④	CONCRETE
⑤	WOOD LOUVERED SCREEN

South Elevation (front)

1/4" = 1'-0"



North Elevation (rear)

1/4" = 1'-0"



- LEGEND**
- ① FLAT CEMENT TILE ROOF
 - ② CASEMENT IMPACT WINDOWS
 - ③ SMOOTH FINISH STUCCO
 - ④ CONCRETE
 - ⑤ WOOD LOUVERED SCREEN

East Elevation (right)

1/4" = 1'-0"



West Elevation (left)

1/4" = 1'-0"



East Elevation (right)

1/4" = 1'-0"

- LEGEND
- ① FLAT CEMENT TILE ROOF
 - ② CASEMENT IMPACT WINDOWS
 - ③ SMOOTH FINISH STUCCO
 - ④ CONCRETE
 - ⑤ WOOD LOUVERED SCREEN



West Elevation (left)

1/4" = 1'-0"