



OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On : 2/6/2019

Property Information	
Folio:	03-4118-005-2080
Property Address:	950 UNIVERSITY DR Coral Gables, FL 33134-6463
Owner	GRANADA CONT PRESB CHURCH INC
Mailing Address	950 UNIVERSITY DR CORAL GABLES, FL 33134-6463
PA Primary Zone	8600 SPECIAL USE
Primary Land Use	7144 RELIGIOUS - EXEMPT : RELIGIOUS
Beds / Baths / Half	0 / 0 / 0
Floors	1
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	37,564 Sq.Ft
Lot Size	131,560 Sq.Ft
Year Built	1960



Assessment Information			
Year	2018	2017	2016
Land Value	\$624,910	\$624,910	\$624,910
Building Value	\$2,574,373	\$2,574,373	\$2,451,784
XF Value	\$35,655	\$35,910	\$36,165
Market Value	\$3,234,938	\$3,235,193	\$3,112,859
Assessed Value	\$3,234,938	\$3,235,193	\$3,112,859

Benefits Information				
Benefit	Type	2018	2017	2016
Religious	Exemption	\$3,234,938	\$3,235,193	\$3,112,859

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional)

Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$3,234,938	\$3,235,193	\$3,112,859
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$3,234,938	\$3,235,193	\$3,112,859
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$3,234,938	\$3,235,193	\$3,112,859
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$3,234,938	\$3,235,193	\$3,112,859
Taxable Value	\$0	\$0	\$0

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

CITY'S

EXHIBIT 1



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Property Address: 950 UNIVERSITY DR

Roll Year 2018 Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	S	8600	Square Ft.	131,560.00	\$624,910

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1960			11,901	\$1,249,480
2	1	1958			14,709	\$754,307
2	2	1968			8,175	\$458,887
3	1	1950			2,779	\$111,699

Extra Features			
Description	Year Built	Units	Calc Value
Cent A/C - Comm (Aprox 300 sqft/Ton)	1981	15	\$14,850
Cent A/C - Comm (Aprox 300 sqft/Ton)	1976	2	\$1,830
Paving - Asphalt	1958	23,000	\$18,975

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Property Address: 950 UNIVERSITY DR

Full Legal Description
CORAL GABLES COUNTRY CLUB SEC 3
ALL BLK 49 PB 10-52
LOT SIZE IRREGULAR
73R-128871

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

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Version:

950 UNIVERSITY DRIVE



950 University Drive

<p><u>Owner</u> Granada Continuing Presbyterian Church, Inc. 950 University Dr Coral Gables, FL 33134-6463</p>	<p><u>Owner (Registered Agent address)</u> Granada Continuing Presbyterian Church, Inc. c/o J.R. Hickson, III Registered Agent 9890 SW 73 St Miami, FL 33173-4630</p>
<p><u>First Wireless Facility Lessor (mortgage address)</u> Valentine Capital, LLC 11900 West Olympic Blvd, Ste 400 Los Angeles, CA 90064-1170</p>	<p><u>First Wireless Facility Tenant (memo of lease address)</u> Bellsouth Mobility, Inc. 575 Morosgo Dr Atlanta, GA 30324-3300</p>
<p><u>First Wireless Facility Tenant (lease address)</u> Bellsouth Mobility Inc. 5201 Congress Ave Boca Raton, FL 33487-3629</p>	<p><u>First Wireless Facility Tenant (DE Registered Agent address)</u> Bellsouth Mobility LLC c/o Corporation Service Company Registered Agent 251 Little Falls Dr Wilmington, DE 19808-1674</p>
<p><u>First Wireless Facility Alternate Tenant (notice of commencement address)</u> AT&T Mobility 8601 W. Sunrise Blvd Plantation, FL 33322-4003</p>	<p><u>First Wireless Facility Alternate Tenant (Sunbiz principal address)</u> AT&T Mobility LLC 1025 Lenox Park Blvd NE Atlanta, GA 30319-5309</p>
<p><u>First Wireless Facility Alternate Tenant (Sunbiz mailing address)</u> AT&T Mobility LLC 675 W Peachtree St NW Ste 2756 Atlanta, GA 30308-1989</p>	<p><u>First Wireless Facility Alternate Tenant (Registered Agent address)</u> AT&T Mobility LLC c/o CT Corporation System Registered Agent 1200 S Pine Island Rd Plantation, FL 33324-4413</p>
<p><u>First Wireless Facility Mortgagee (mortgage address)</u> Deutsche Bank Trust Company Americas c/o Deutsche Bank National Trust Company 100 Plaza One Jersey City, NJ 07311-3901 Attn: Trust & Securities Services</p>	<p><u>First Wireless Facility Mortgagee (FDIC address)</u> Deutsche Bank Trust Company Americas 60 Wall St New York, NY 10005-2836</p>

<p><u>Second Wireless Facility Tenant (memo of lease address)</u> Nextel South Corp. d/b/a Nextel Communications 851 Trafalgar Ct Ste 300E Maitland, FL 32751-7425</p>	<p><u>Second Wireless Facility Tenant (Sunbiz principal and mailing address)</u> Nextel South Corp. 6200 Sprint Parkway Mailstop: HF0202-2BDTX Overland Park, KS 66251-6117</p>
<p><u>Second Wireless Facility Tenant (Registered Agent address)</u> Nextel South Corp. c/o Corporation Service Company Registered Agent 1201 Hays St Tallahassee, FL 32301-2699</p>	



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Permits and Inspections: Search Results

Logon Help Contact

New Permit Search

Permit Search Results

Permit#:	App. Date	Street Address	Type	Description	Status	Issue Date	Final Date	Fees Due
AB-09-06-1974	06/04/2009	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	(7)WINDOWS & 4 DOORS (WHITE FRAME, CLEAR GLASS) \$20000	final	06/04/2009	07/06/2015	0.00
AB-09-11-2354	11/19/2009	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	(3) ALUMINUM GATES (PAINT WHITE TO MATCH EXISTING) \$1000	issued	11/19/2009		0.00
AB-10-02-3608	02/19/2010	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	INSTALL ANTENNAS INSIDE CHURCH STEEPLE AND CABINET INSIDE CHURCH CLOSET \$20,000	issued	02/19/2010		0.00
AB-11-05-5766	05/09/2011	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	REPLACE EXIST ANTENNAS \$30000	issued	05/09/2011		0.00
AB-11-07-7020	07/21/2011	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	ANTENNA REPLACEMENT \$14000	issued	07/27/2011		0.00
AB-14-01-2197	01/14/2014	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	EXTERIOR RENOVATIONS \$22,000	issued	01/14/2014		0.00
AB-14-02-2083	02/07/2014	950 UNIVERSITY DR	BOA COMPLETE (LESS THAN \$75,000)	**COMMERCIAL** DRAINAGE, OVERLAY, STRIPING \$32,000	issued	02/07/2014		0.00
AB-14-09-1988	09/05/2014	950 UNIVERSITY DR	BOA PRELIMINARY/MED BONUS/FINAL	PRELIMINARY EXTERIOR RENOVATION \$160,000	issued	09/10/2014		0.00
BL-08-05-0690	05/12/2008	950 UNIVERSITY DR	INTERIOR ALTERATION ONLY	GENERAL REPAIRS @ FELLOWSHIP HALL & RESTROOM \$147,000 *****CHANGE OF CONTRACTOR TO BL09021882	final	10/22/2008	02/13/2009	0.00
BL-09-02-1882	02/13/2009	950 UNIVERSITY DR	INTERIOR ALTERATION ONLY	GENERAL REPAIRS @ FELLOWSHIP HALL & RESTROOM \$147,000 *****CHANGE OF CONTRACTOR FROM BL-08-05-0690 *****	final	02/17/2009	06/24/2009	0.00
BL-09-06-2024	06/05/2009	950 UNIVERSITY DR	DOOR/GARAGE DOOR/SHUTTER/WINDOW	(7) WINDOWS & 4 DOORS (WHITE FRAME, CLEAR GLASS) \$20,000	final	07/01/2009	07/06/2015	0.00
BL-09-07-2313	07/10/2009	950 UNIVERSITY DR	INTERIOR ALTERATION ONLY	COMMERCIAL INTERIOR ALTERATIONS (STAGE & ADA RESTROOMS) \$200,000	final	09/09/2009	01/28/2010	0.00
BL-10-02-3572	02/18/2010	950 UNIVERSITY DR	FENCE/GATE/WALL	METAL FENCE W/ GATES \$7000	final	03/12/2010	02/01/2011	0.00
BL-10-05-4171	05/14/2010	950 UNIVERSITY DR	ANTENNA	CANCELLED EXOIROED BOA- INSTALL ANTENNAS INSIDE CHURCH STEEPLE AND CABINET INSIDE CHURCH CLOSET \$20,000	canceled		06/28/2012	0.00
BL-11-05-5921	05/11/2011	950 UNIVERSITY DR	ANTENNA	REPLACE EXIST ANTENNAS (PREVIOUS PERMIT #98070748) \$30000	final	07/08/2011	02/02/2012	0.00
BL-12-06-9737	06/25/2012	950 UNIVERSITY DR	INTERIOR ALTERATION ONLY	CANCELLED - FOR CHANGE OF OPERATOR ONLY-NO CONSTRUCTION-"GRANADA PRESBYTERIAN CHRISTIAN DAY SCHOOL"	canceled		08/26/2015	0.00
BL-14-01-2750	01/24/2014		LANDSCAPING	BRICK PAVER COURTYARD, LANDSCAPING \$22,000	stop work	02/27/2014		0.00

CITY'S

EXHIBIT

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Permit ID	Issue Date	Address	Category	Description	Status	Start Date	End Date	Amount
		950 UNIVERSITY DR						
BL-14-02-2112	02/10/2014	950 UNIVERSITY DR	PARKING LOT	CANCELLED - COMMERCIAL DRAINAGE AND RE-SURFACE PARKING LOT & RE-STRIPPING \$32,000	canceled	02/19/2014		0.00
BL-18-06-2817	06/01/2018	950 UNIVERSITY DR	MISCELLANEOUS WORK	CHANGE AT&T REMOTE RADIO UNITS INSIDE CHURCH STEEPLE \$8,500	stop work	07/27/2018		0.00
CE-10-03-3324	03/08/2010	950 UNIVERSITY DR	CODE ENF WARNING PROCESS	WT1490 32-8.1 MDCC (WMR) USE OF SPRINKLER SYSTEM ON UNAUTHORIZED DAY & TIME	final	03/08/2010	03/08/2010	0.00
CE-10-04-3369	04/02/2010	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T39020 SEC 32-8.2 MDCC - USE OF WATER SPRINKLER SYSTEM ON UNAUTHORIZED DAY (FRI) DURING WATER RESTRICTION.	final	04/02/2010	04/21/2010	0.00
CE-10-06-4825	06/22/2010	950 UNIVERSITY DR	CODE ENF WARNING PROCESS	WT3362 CE WARNING 5-1902 ZONING CODE (BAN) BANNER ON PROPERTY WHICH IS PROHIBITED	pending	06/22/2010		0.00
CE-11-02-5230	02/15/2011	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T38194 32-8.2 MDCC (WMR) USE OF SPRINKLER SYSTEM ON UNAUTHORIZED DAY (TUESDAY)	final	02/15/2011	03/08/2011	0.00
CE-11-04-6906	04/26/2011	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T38006 32-8.2 MDCC (WMR) USE OF SPRINKLER SYSTEM ON UNAUTHORIZED DAY (TUESDAY) ***CERT MAIL 91 7108 2133 3932 7380 1898***	final	04/26/2011	06/06/2011	0.00
CE-12-08-0621	08/10/2012	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T46382 32-8.2 MDCC (WMR) USE OF SPRINKLER SYSTEM ON UNAUTHORIZED DAY (FRIDAY) CERT MAIL 91 7108 2133 3932 6151 2768	final	08/10/2012	08/28/2012	0.00
CE-13-03-0596	03/10/2013	950 UNIVERSITY DR	CODE ENF WARNING PROCESS	WT11710 5-1902 ZONING CODE (BAN) BANNERS, BALLOONS, FLAGS, AND OTHER ATTENTION ATTRACTORS AND ADVERTISING DEVICES ARE PROHIBITED, LG. SIGN PLACED ON SIDE WALK.	final	03/10/2013	03/10/2013	0.00
CE-13-03-0597	03/10/2013	950 UNIVERSITY DR	CODE ENF WARNING PROCESS	WT11710 62-133 CITY CODE (ORW) PLACING OBSTRUCTION ON PUBLIC RIGHT OF WAY WHICH CAUSE A HAZARD TO LIFE SAFETY IS PROHIBITED, LG. SIGN ON SIDE WALK.	final	03/10/2013	03/10/2013	0.00
CE-13-03-0598	03/10/2013	950 UNIVERSITY DR	CODE ENF WARNING PROCESS	WT11710 5-1901(1) ZONING CODE (SNT) TEMP. SIGNS OVER 2505Q. IN. PROHIBITED.	final	03/10/2013	03/10/2013	0.00
CE-13-03-1550	03/24/2013	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T44408 62-133 CITY CODE (ORW) SIGN, OBSTRUCTIONS MAINTAINED ON THE CITY PUBLIC RIGHT OF WAY (SIDEWALK) WHICH CAUSE A DANGER TO LIFE SAFETY, PROHIBITED. LG. SIGN ON SIDEWALK	final	03/24/2013	04/19/2013	0.00
CE-13-03-1551	03/24/2013	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	T44407 5-1902 ZONING CODE (BAN) BANNERS, BALLONS, FLAGS, (A FRAME SIGN) ETC. & OTHER ATTENTION ATTRACTORS & ADVERTISING DEVICES ARE PROHIBITED. LG. SIGN ON SIDEWALK.	final	03/24/2013	04/19/2013	0.00
CE-15-10-5096	10/15/2015	950 UNIVERSITY DR	CODE ENF TICKET PROCESS - NO RUNNING FINE	GovQA Ticket - CE260724/T56410	final	10/20/2015	10/20/2015	0.00

EL-08-10-0734	10/13/2008	950 UNIVERSITY DR	ELEC GENERATOR	INSTALL GENERATOR & TRANSFER SWITCH \$1,800	final	10/21/2008	03/01/2013	0.00
EL-08-11-0257	11/05/2008	950 UNIVERSITY DR	ELEC COMMERCIAL / RESIDENTIAL WORK	FIXTURE LIGHT SOCKETS ONLY	final	11/05/2008	04/07/2009	0.00
EL-09-09-2488	09/17/2009	950 UNIVERSITY DR	ELEC COMMERCIAL / RESIDENTIAL WORK	INSTALL LIGHT FIXTURES, WIRING OUTLETS, SERVICE & LOW VOLTAGE (AUDIO) FOR THE COMMERCIAL INTERIOR ALTERATIONS (STAGE & ADA RESTROOMS)	final	09/17/2009	12/09/2009	0.00
EL-11-05-5987	05/12/2011	950 UNIVERSITY DR	ELEC COMMERCIAL / RESIDENTIAL WORK	REPLACE EXIST ANTENNAS	final	01/13/2012	01/24/2012	0.00
EL-11-08-5085	08/01/2011	950 UNIVERSITY DR	ELEC LOW VOLTAGE SYSTEM	LOW VOLT PERMIT TO REPLACE ANTENNAS	final	01/31/2012	04/27/2012	0.00
EL-14-01-2779	01/27/2014	950 UNIVERSITY DR	ELEC COMMERCIAL / RESIDENTIAL WORK	29 LIGHT SOCKETS AND 5 -300 WAT TRANSFORMERS.	pending			0.00
EL-18-06-2862	06/04/2018	950 UNIVERSITY DR	ELEC LOW VOLTAGE SYSTEM	CHANGE AT&T REMOTE RADIO UNITS INSIDE CHURCH STEEPLE LOW VOLT PERMIT FOR SOUND SYSTEM UP GRADE	stop work	07/24/2018		0.00
EL-18-10-2565	10/02/2018	950 UNIVERSITY DR	ELEC COMMERCIAL / RESIDENTIAL WORK	INSTALL EMERGENCY LIGHTING, EXIT LIGHTS, REPLACE METER CAN \$9,500	final	10/02/2018	10/29/2018	0.00
EX-09-05-3168	05/29/2009	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT EXTENSION FOR # EL-08-10-0734	final	05/29/2009	05/29/2009	0.00
EX-10-06-4594	06/18/2010	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT EXTENSION	final	06/21/2010	06/21/2010	0.00
EX-11-01-5671	01/27/2011	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT EXTENSION FOR #BL10023572 FOR METAL FENCE W/ GATES	final	01/31/2011	01/31/2011	0.00
EX-12-11-1696	11/30/2012	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT EXTENSION FOR #BL09062024 FOR 7 WINDOWS & 4 DOORS	final	11/30/2012	11/30/2012	0.00
EX-12-12-0782	12/13/2012	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT RENEWAL OF ZN- 11-06-5966	final	12/13/2012	12/13/2012	0.00
EX-13-11-2171	11/08/2013	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT RENEWAL ZN-11- 06-5966	final	11/08/2013	11/08/2013	0.00
EX-13-11-2172	11/08/2013	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT RENEWAL BL-09- 06-2024	final	11/08/2013	11/08/2013	0.00
EX-15-06-6195	06/30/2015	950 UNIVERSITY DR	PERMIT EXTENSION	PERMIT EXTENSION FOR BL-09-06-2024	final	06/30/2015	06/30/2015	0.00
ME-09-07-2730	07/17/2009	950 UNIVERSITY DR	MECH SMOKE EVAC INSP / FIRE SUPPRESSION TEST	INSTALL FIRE SUPPRESSION SYSTEM, SERVICE & RETROFIT \$1,000	final	07/17/2009	05/12/2010	0.00
ME-09-10-3213	10/21/2009	950 UNIVERSITY DR	MECH COMMERCIAL / RESIDENTIAL WORK	INSTALL (2) BATH FANS FOR THE COMMERCIAL INTERIOR ALTERATIONS (STAGE & ADA RESTROOMS)	final	10/22/2009	11/20/2009	0.00
PL-09-02-2157	02/20/2009	950 UNIVERSITY DR	PLUMB COMMERCIAL / RESIDENTIAL WORK	PORTABLE TOILET	final	02/23/2009	06/24/2009	0.00
PL-09-02-2515	02/26/2009	950 UNIVERSITY DR	PLUMB COMMERCIAL / RESIDENTIAL WORK	(18) ROUGH & SET FOR THE GENERAL REPAIRS @ FELLOWSHIP HALL & RESTROOM	final	02/27/2009	04/13/2009	0.00
PL-09-06-3064	06/24/2009	950 UNIVERSITY DR	PLUMB COMMERCIAL / RESIDENTIAL WORK	REPLACE GAS HOT WATER HEATER \$500	final	07/01/2009	10/09/2009	0.00
PL-09-07-2690	07/16/2009	950 UNIVERSITY DR	PLUMB COMMERCIAL / RESIDENTIAL WORK	INSTALL NEW GAS PIPING & GAS APPLIANCES \$1,800	final	07/22/2009	01/25/2010	0.00
PL-09-09-2172	09/14/2009	950 UNIVERSITY DR	PLUMB COMMERCIAL / RESIDENTIAL WORK	INSTALL (5) RPUH/SET FOR THE COMMERCIAL INTERIOR ALTERATIONS	final	09/14/2009	01/07/2010	0.00

Permit Number	Issue Date	Applicant	Category	Description	Status	Start Date	End Date	Amount
PL-14-02-2476	02/18/2014	950 UNIVERSITY DR	PLUMB SITE UTILITIES- LIFT STATION/MANHOLE/STORM	(STAGE & ADA RESTROOMS) **COMMERCIAL** PLUMBING WORK FOR DRAINAGE AND CATCH BASIN	final	02/18/2014	03/06/2014	0.00
PS-16-09-6577	09/28/2016	950 UNIVERSITY DR	TREE REMOVAL/RELOCATION	REMOVE NORFLOK PINE WHICH WAS STRUCK BY LIGHTENING. (900 UNIVERSITY DR) MUST REPLACE WITH A NEW TREE 15' TALL WITH A 3 INCH CALIPER FLORIDA NUMBER ONE OR BETTER	approved			4.90
PU-12-01-7740	01/31/2012	950 UNIVERSITY DR	PUBLIC RECORDS SEARCH	REQ COPY OF PERMITS 19441B BL10023572 CRM INV 015354	final	02/10/2012	02/10/2012	0.00
PU-13-12-1632	12/02/2013	950 UNIVERSITY DR	PUBLIC RECORDS SEARCH	REQ CERT COPY OF PERMIT ZN11065966	final	12/04/2013	12/04/2013	0.00
PU-14-06-3175	06/17/2014	950 UNIVERSITY DR	PUBLIC RECORDS SEARCH	REQ A CD OF VARIOUS DRAWINGS	final	06/17/2014	06/17/2014	0.00
RC-18-06-3177	06/07/2018	950 UNIVERSITY DR	BLDG RECERT / CRB	BUILDING RECERTIFICATION (1958) BUILDING 2 CONSTRUCTION REGULATION BOARD CASE #19-8330 AND UNSAFE STRUCTURES FEE	issued	07/16/2018		600.00
RV-08-11-0389	11/07/2008	950 UNIVERSITY DR	REVISION TO PERMIT	REVISION TO PERMIT: CLEAN/PAINT EXT WALLS SW 6142 (LIGHT BEIGE) & TRIM SW 7009 (OFF WHITE)	final	11/07/2008	11/07/2008	0.00
RV-09-12-3005	12/28/2009	950 UNIVERSITY DR	REVISION TO PERMIT	REVISION (ELECTRICAL & PLUMBING)	final	01/04/2010	01/04/2010	0.00
UP-18-06-2818	06/01/2018	950 UNIVERSITY DR	UPFRONT FEE	UPFRONT FEE FOR BL18062817 CHANGE AT&T REMOTE RADIO UNITS INSIDE CHURCH STEEPLE \$8500	final	06/04/2018	06/04/2018	0.00
ZN-08-01-1305	01/31/2008	950 UNIVERSITY DR	PAINT / RESURFACE FL / CLEAN	CLEAN/PAINT EXT WALLS SW 6147 (WHITE) & TRIM SW 6149 (BEIGE) \$2,400 REVISION TO PERMIT: EXT WALLS SW 6142 (LIGHT BEIGE) & TRIM SW 7009 (OFF WHITE)	final	12/08/2008	10/22/2009	0.00
ZN-08-11-0207	11/04/2008	950 UNIVERSITY DR	DUMPSTER / CONTAINER	ROLL OFF DUMPSTER	final	11/04/2008	11/04/2008	0.00
ZN-09-07-2511	07/14/2009	950 UNIVERSITY DR	DUMPSTER / CONTAINER	ROLL OFF DUMPSTER	final	07/14/2009	07/14/2009	0.00
ZN-11-06-5966	06/07/2011	950 UNIVERSITY DR	ASPHALT - RESURFACE / SEALANT	RESURFACE PARKING LOT AND RESTRIPE TO THE EXISTING LAYOUT \$20,000	final	09/08/2011	02/14/2014	0.00
ZN-13-07-0786	07/12/2013	950 UNIVERSITY DR	DUMPSTER / CONTAINER	CANCELLED - DUMPSTER \$500	canceled		11/21/2013	0.00

The City's online services are protected with an [SSL encryption certificate](#). For technical assistance, please call 305-569-2448 (8am-5pm, M-F).



City of Coral Gables Fire Department

Fire Prevention Division

2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

Occupant Name:	Granada Presbyterian Church	Inspection Date:	4/9/2018
Address:	950 University Drive Coral Gables	Inspection Type:	AA-Tactical, Assembly
		Inspected By:	Terrance J. Daniel 305-441-5776 tdaniel@coralgables.com
Suite:		Occ. Sq. Ft.:	28921
		Occupant Number:	194175

Insp. Result	Location	Code Set	Code
Fail	Floor 1	NFPA 72 07 Chapter 10 Inspection, Testing, and Maintenance	10.2.1.1 - Is the fire alarm system tagged and all system is normal?

Inspector Comments: Performance Verification.

To ensure operational integrity, the fire alarm system shall have an inspection, testing, and maintenance program. Inspection, testing, and maintenance programs shall satisfy the requirements of this Code, shall conform to the equipment manufacturer's published instructions, and shall verify correct operation of the fire alarm system.

Pending inspection and testing report

Fail	Floor 1	NFPA 25 08 Chapter 6 Standpipe and Hose Systems	6.2.2 - Maintenance for standpipes, and hoses
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Inspector Comments: Table 6.2.2 shall be used for the inspection, testing, and maintenance of all classes of standpipe and hose systems.

Pending inspection and testing report

Fail	Floor 2 Youth Loft	FL NFPA 101 2015 Chapter 13 Existing Assembly Occupancies	13.7.9.3.1 - Excerpt: Every room constituting an assembly occupancy and not having...
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Inspector Comments: Every room constituting an assembly occupancy and not having fixed seats shall have the occupant load of the room posted in a conspicuous place near the main exit from the room.

Post maximum occupant load capacity by main entrance/exit. Sign color must contrast with background.

CITY'S

EXHIBIT

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A re-inspection will occur on or after 5/9/2018.


Failure to correct violations within 15 days of re-inspection is subject to penalties up to and including the issuance of Civil Citations in the amount of \$200 per violation / per day.

Failure to provide immediate corrective measures when required, may result in administrative action including but not limited to: mandatory fire watch, building evacuation, or stoppage of all work.

Per City Ordinance 30-4, a Fire Inspection Fee will be billed for this inspection. All fees are subject to change without prior notice.

Thank you for your assistance. If you have any additional questions or to schedule an inspection, please contact the inspector listed at the top of this report.

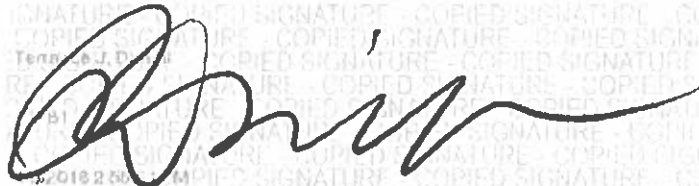
Company Representative:



Signature valid only in mobile-eye documents

Alfredo Lopez
4/9/2018

Inspector:



Signature valid only in mobile-eye documents

Terrance J. Daniel
4/9/2018



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

March 6, 2018

VIA CERTIFIED MAIL

91 7108 2133 3932 5889 0657

GRANADA CONT' PRESB CHURCH INC
BUILDING 2
950 UNIVERSITY DR
CORAL GABLES, FL 33134-6463

RE: 950 UNIVERSITY DR
FOLIO # 0341180052080
Recertification of Building 40 Years or Older

To whom it may concern:

As per the Miami-Dade County Property Appraiser's office the above referenced property address is forty (40) years old, or older, having been built in 1958. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a completed Recertification Report ("Report") must be submitted to this Department within **ninety (90) calendar days** from the date of this letter. A completed Report includes the Building Structural Report, the Building Electrical Report, cover letter(s) stating the structure meets the electrical and structural requirements for recertification, the Parking Lot Illumination Standards Form and the Parking Lot Guardrails Requirements Form; no additional documents or photographs are necessary. Note all paperwork submitted must be the original signed and sealed documents (no copies). Submittal of the Report does not constitute recertification: it must be approved by this Department.

In the event repairs or modifications are found to be necessary, the Building Official is able to grant an extension of one hundred fifty (150) calendar days from the date of this letter to obtain the necessary permits and perform the repairs. The structure will be recertified once a *revised* Report is submitted and approved, and all required permits are closed.

The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: <http://www.miamidade.gov/pa/propertyrecertification.asp>. **The Recertification Report fee of \$380.63 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134. In order to avoid delays please submit in person in order to calculate the fees accordingly.**

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice; a \$600.00 administrative fee will be imposed. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

The Department's working hours are Monday through Friday, 7:30am to 3:30pm, tel: (305) 460-5235.

Thank you for your prompt attention to this matter.

Manuel Z. Lopez, P.E.
Building Official

CITY'S' Composite
EXHIBIT 4

USPS Tracking® FAQs > (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Track Another Package +

Tracking Number: 9171082133393258890657

Remove X

Your item was delivered to the front desk, reception area, or mail room at 12:59 pm on March 12, 2018 in MIAMI, FL 33134.

 **Delivered**

March 12, 2018 at 12:59 pm
Delivered, Front Desk/Reception/Mail Room
MIAMI, FL 33134

Feedback

Tracking History



March 12, 2018, 12:59 pm

Delivered, Front Desk/Reception/Mail Room
MIAMI, FL 33134

Your item was delivered to the front desk, reception area, or mail room at 12:59 pm on March 12, 2018 in MIAMI, FL 33134.

March 10, 2018

In Transit to Next Facility

March 10, 2018, 8:26 am

Delivery Attempted - No Access to Delivery Location
33134

March 8, 2018, 10:26 pm
Departed USPS Regional Facility
MIAMI FL DISTRIBUTION CENTER

March 7, 2018, 9:47 pm
Arrived at USPS Regional Facility
MIAMI FL DISTRIBUTION CENTER

Product Information



See Less ^

Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

FAQs (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Feedback

The easiest tracking number is the one you don't have to know.

With Informed Delivery®, you never have to type in another tracking number. Sign up to:

- See images* of incoming mail.
- Automatically track the packages you're expecting.
- Set up email and text alerts so you don't need to enter tracking numbers.
- Enter USPS Delivery Instructions™ for your mail carrier.

Sign Up

([https://reg.usps.com/entreg/RegistrationAction_input?](https://reg.usps.com/entreg/RegistrationAction_input?app=UspsTools&appURL=https%3A%2F%2Ftools.usps.com%2Fgo/TrackConfirmAction?Ref=fullpage&tl_c=2&taxf28777=&tl_label=)

*NOTE: Black and white (grayscale) images show the outside, front of letter-sized envelopes and mailpieces that are processed through USPS automated equipment.

Feedback



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

June 6, 2018

GRANADA CONT PRESB CHURCH INC
BUILDING 2
950 UNIVERSITY DR
CORAL GABLES, FL 33134-6463

RE: 950 UNIVERSITY DR
FOLIO # 0341180052080
Recertification of Building 40 Years or Older - SECOND NOTICE

Dear Property Owner:

In a certified letter dated March 6, 2018, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a licensed architect or engineer within ninety (90) calendar days certifying the structure meets the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

A completed Report includes: 1) cover letter(s) stating the structure meets the electrical and structural requirements for recertification from a Florida Registered Architect or Professional Engineer that inspects said building, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form and 5) Parking Lot Guardrails Requirements Form; no additional documents or photographs are necessary. Note all paperwork submitted must be the original signed and sealed documents (no copies).

Failure to submit a completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official



The City of Coral Gables

Development Services Department July 10, 2018
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

GRANADA CONT PRESB CHURCH INC
950 UNIVERSITY DR
CORAL GABLES, FL 33134-6463

RE: Recertification of Building 40 Years or Older – **FINAL NOTICE**
950 UNIVERSITY DR
Folio # 0341180052080

Dear Property Owner:

In a certified letter dated March 6, 2018, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). A Second Notice, dated and mailed June 6, 2018, informed you it was necessary to submit a completed Report prepared by a licensed architect or engineer within thirty (30) calendar days certifying the structure meets (or does not meet) the requirements for recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

As of this date, the completed Report has not been submitted and the **structure remains unsafe** due to non-compliance. Please be advised the matter will be forwarded to the City's Construction Regulation Board ("Board") and a \$600.00 Administrative Fee will be imposed once the Case is scheduled. The Board may impose additional fines of \$250.00 for each day the violation continues, may also enter an order of revocation of the Certificate of Occupancy and/or demolition and assess all costs of the proceedings along with the cost of demolition and any other required action for which the City shall have a lien against the Property Owner and the Property.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

July 17, 2018

Granada Continuing Presbyterian Church Inc.
950 University Drive
Coral Gables, Florida 33134-6463

ADDRESS: 950 University Drive
PROPERTY FOLIO #: 03-4118-005-2080

Dear Property Owner/Manager:

This Department has received the Building Recertification Report ("Report") you submitted for the above property address. Please note the Report indicates remedial repairs must be done to the structure in order for it to meet minimum requirements stipulated for safe occupancy as prescribed in the Miami-Dade County Code, Section 8-11.

By these means, I am granting you ninety (90) calendar days from the date of this letter to provide a new, completed and revised Recertification Report. Please note we will not be able to grant additional extensions; therefore, repairs to comply with the recertification criteria shall take place during these ninety (90) calendar days.

If you have any questions I can be reached at 305-460-5242.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Deputy Building Official

Garcia, Belkys

From: Garcia, Belkys
Sent: Wednesday, November 14, 2018 1:47 PM
To: 'Jeff Sullivan'
Cc: Lopez, Manuel
Subject: RE: Granada Continuing Presbyterian Church Inc 40yr cert

Hi,

The Building Official has granted the last 60-day administrative extension. The new deadline to recertify the structure is Monday, January 14, 2019.

The requirements for submittal are:

1. Cover letter(s) to the Building Official from the architect or engineer that performed the inspection certifying the structure is safe for its intended use (electrically and structurally)
2. Building Structural Recertification Report
3. Certification of Compliance With Parking Lot Guardrails Requirements Form
4. Building Electrical Recertification Report
5. Certification of Compliance With Parking Lot Illumination Standards Form
6. All original signed and sealed documents must be included at time of submittal – no copies
7. Applicable fees must be paid at time of submittal.

Let me know if you have any questions.

Thank you,

Belkys Garcia

City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: 305.460.5229



From: Jeff Sullivan [mailto:jeff@granadapca.org]
Sent: Wednesday, November 14, 2018 10:14 AM
To: Garcia, Belkys <bgarcia@coralgables.com>
Subject: Granada Continuing Presbyterian Church inc 40yr cert

Hi Belkys,

There were 3 areas of correction on our report for 40 yr certification.

We have complete the emergency exits for all of the facility and have closed that permit with the inspection from the city of Coral Gables.

We are currently working on the support beam for 1 of our rooms. The correction isn't hard. It has just been hard to get the proper documentation for the engineer drawings. My apologies.

We have retained an electrical engineer to draw new parking lot lighting plans. This is a much larger issue and we require an extension of time to get it done. He will send a letter of acknowledgement quickly.

Please allow us more time to complete this process without assessing fines.

Thank you,

Jeff Sullivan
Executive Administrator
Granadachurch.com
jeff@granadachurch.com
305-487-0306



Puga & Associates International, Inc.

Engineers / Consultants

Phone: (305) 661-7700

Fax: (305) 661-7371

www.puga.com

7700 N Kendall Drive, Suite 806
Miami, Florida 33156

January 28, 2019

City of Coral Gables Building and Zoning
Building Official
405 Biltmore Way,
Coral Gables, FL 33134

RE: Granada Continuing Presbyterian Church
950 University Drive
Coral Gables, FL 33134

Folio # 03-4118-005-2080

To Whom It May Concern:

This is to certify that I have been retained by client referenced above to inspect the property and assist in any of the remedial work deemed necessary to grant electrical recertification.

Any additional time that can be allotted to the client in order to perform my duties would be greatly appreciated.

Please do not hesitate to contact me if you have any questions.

A handwritten signature in black ink that reads 'J. David Puga'. The signature is written in a cursive, flowing style.

J. David Puga, P.E.
Engineering License No. 41163

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 19-8330

vs.

GRANADA CONTINUING PRESBYTERIAN CHURCH, INC.
950 University Drive
Coral Gables, Florida 33134-6463

Return receipt number:

7018 2290 0001 6693 7595

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: February 19, 2019

Re: **950 University Drive (Building 2)**, Coral Gables, Florida 33134-6463 and legally described as All Block 49, CORAL GABLES COUNTRY CLUB SECTION 3, according to the Plat thereof, as recorded in Plat Book 10, Page 52, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4118-005-2080 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-1 86(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

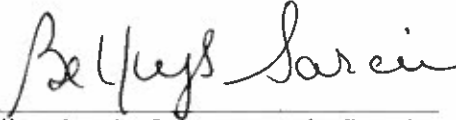
Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134, on March 11, 2019, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.



Belkys Garcia, Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Presentations made to this Board are subject to the City's False Claims Ordinance, Chapter 39 of the City of Coral Gables Code.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

c:

Granada Continuing Presbyterian Church, Inc., c/o J.R. Hickson, III, 9890 S.W. 73rd Street, Miami, Florida 33173-4630

Valentine Capital, LLC, 11900 West Olympic Boulevard, Suite 400, Los Angeles, California 90064-1170

Bellsouth Mobility, Inc., 575 Morosgo Drive, Atlanta, Georgia 30324-3300

Bellsouth Mobility, Inc., 5201 Congress Avenue, Boca Raton, Florida 33487-3629

Bellsouth Mobility LLC, c/o Corporation Service Company, 251 Little Falls Drive, Wilmington, Delaware 19808-1674

AT & T Mobility, 8601 W. Sunrise Boulevard, Plantation, Florida 33322-4003

AT & T Mobility LLC, 1025 Lenox Park Boulevard NE, Atlanta, Georgia 30319-5309

AT & T Mobility LLC, 675 W. Peachtree Street NW, Suite 2756, Atlanta, Georgia 30308-1989

AT & T Mobility LLC, c/o CT Corporation System, 1200 S. Pine Island Road, Plantation, Florida 33324-4413

Deutsche Bank Trust Company Americas, c/o Deutsche Bank National Trust Company, Attn: Trust & Securities Services, 100 Plaza One, Jersey City, New Jersey 07311-3901

Deutsche Bank Trust Company Americas, 60 Wall Street, New York, New York 10005-2836

Nextel South Corp., d/b/a Nextel Communications, 851 Trafalgar Court, Suite 300E, Maitland, Florida 32751-7425

Nextel South Corp., 6200 Sprint Parkway, Mailstop: HF0202-2BDTX, Overland Park, Kansas 66251-6117

Nextel South Corp., c/o Corporation Service Company, c/o Corporation Service Company, 1201 Hays Street, Tallahassee, Florida 32301-2699



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Case #: 19-8330

Title of Document Posted: Construction Regulation Board, Notice of Unsafe Structure Violation For Failure To Recertify and Notice of Hearing

I, EDUARDO MARTIN, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 950 University Drive, ON Feb. 19, 2019
AT 8:45 a.m. (Building 2)

EDUARDO MARTIN
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 19th day of February, in
the year 2019, by Eduardo Martin who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

950 UNIVERSITY DRIVE



This instrument prepared by and
after recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,

Case No. 19-8330

Petitioner,

vs.

GRANADA CONTINUING PRESBYTERIAN CHURCH, INC.
950 University Drive
Coral Gables, Florida 33134-6463

Respondent.

NOTICE OF ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on March 11, 2019, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served all required notices on the owner, GRANADA CONTINUING PRESBYTERIAN CHURCH, INC., and any lienholders of record for the structure located on the property at **950 University Drive (Building 2)**, having folio number 03-4118-005-2080 (the "Structure").
2. As of the date of this Notice the Structure has failed to comply with the inspection report requirement and minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"). Therefore, **the Structure is presumed and is hereby declared unsafe** pursuant to Section 105-186(j) (13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

3. It is, therefore, **ORDERED**: The Owner shall take the Required Action as follows: a) the owner shall recertify the structure, to include permits and inspections, if applicable, and submittal of the Recertification Report within 90 days of the date of this Order; b) if the requirements are not completed within the 90 days the owner shall pay a daily fine of \$250 for each day the violation continues.
4. *Request for compliance inspection.* It is the responsibility of the Owner to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order and to notify the City of any compliance action taken.
5. *Payment of costs, fines, and demolition by City.* The Owner shall pay, within 7 days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure. In addition, the Owner shall pay a fine of \$250 for each day the violation continues past the date set for compliance, for which the City shall have a lien against the Owner and the Property. The Board may also enter an order of demolition and assess all costs of the proceedings and demolition and other required action for which the City shall have a lien against the Owner and the Property. Until the Structure is recertified in compliance the terms of this Order, the City shall not issue any further development approvals for the Property, including, but not limited to, building permits, unless the development approval is required to comply with the terms of this Order.
6. Lien for costs and notice to subsequent purchasers. The City shall have a special assessment lien for its administrative costs, the costs of corrective action, and any fines imposed by the Board, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.
7. City's remedies are cumulative. This Order notwithstanding, the City may enforce its code by any other lawful means.
8. NOTICE: If the Respondent does not comply with the terms of this Order, the City may issue a Notice of Non-Compliance ("Notice"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this Order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m. Failure to request an administrative hearing within seven (7) days after service of the Notice shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable

for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 14th day of March, 2019.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES


Secretary to the Board

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY (30) DAYS OF THE FILING OF THIS ORDER.

c:

Granada Continuing Presbyterian Church, Inc., c/o J.R. Hickson, III, 9890 S.W. 73rd Street, Miami, Florida 33173-4630
Valentine Capital, LLC, 11900 West Olympic Boulevard, Suite 400, Los Angeles, California 90064-1170
Bellsouth Mobility, Inc., 575 Morosgo Drive, Atlanta, Georgia 30324-3300
Bellsouth Mobility, Inc., 5201 Congress Avenue, Boca Raton, Florida 33487-3629
Bellsouth Mobility LLC, c/o Corporation Service Company, 251 Little Falls Drive, Wilmington, Delaware 19808-1674
AT & T Mobility, 8601 W. Sunrise Boulevard, Plantation, Florida 33322-4003
AT & T Mobility LLC, 1025 Lenox Park Boulevard NE, Atlanta, Georgia 30319-5309
AT & T Mobility LLC, 675 W. Peachtree Street NW, Suite 2756, Atlanta, Georgia 30308-1989
AT & T Mobility LLC, c/o CT Corporation System, 1200 S. Pine Island Road, Plantation, Florida 33324-4413
Deutsche Bank Trust Company Americas, c/o Deutsche Bank National Trust Company, Attn: Trust & Securities Services, 100 Plaza One, Jersey City, New Jersey 07311-3901
Deutsche Bank Trust Company Americas, 60 Wall Street, New York, New York 10005-2836
Nextel South Corp., d/b/a Nextel Communications, 851 Trafalgar Court, Suite 300E, Maitland, Florida 32751-7425
Nextel South Corp., 6200 Sprint Parkway, Mailstop: HF0202-2BDTX, Overland Park, Kansas 66251-6117
Nextel South Corp., c/o Corporation Service Company, c/o Corporation Service Company, 1201 Hays Street, Tallahassee, Florida 32301-2699

This instrument prepared by and
after recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,

Case No. 19-8330

Petitioner.

vs.

GRANADA CONTINUING PRESBYTERIAN CHURCH, INC.
950 University Drive
Coral Gables, Florida 33134-6463

Respondent.

NOTICE OF ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on March 11, 2019, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served all required notices on the owner, GRANADA CONTINUING PRESBYTERIAN CHURCH, INC., and any lienholders of record for the structure located on the property at **950 University Drive (Building 2)**, having folio number 03-4118-005-2080 (the "Structure").
2. As of the date of this Notice the Structure has failed to comply with the inspection report requirement and minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"). Therefore, **the Structure is presumed and is hereby declared unsafe** pursuant to Section 105-186(j) (13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

3. It is, therefore, **ORDERED**: The Owner shall take the Required Action as follows: a) the owner shall recertify the structure, to include permits and inspections, if applicable, and submittal of the Recertification Report within 90 days of the date of this Order; b) if the requirements are not completed within the 90 days the owner shall pay a daily fine of \$250 for each day the violation continues.

4. *Request for compliance inspection.* It is the responsibility of the Owner to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order and to notify the City of any compliance action taken.

5. *Payment of costs, fines, and demolition by City.* The Owner shall pay, within 7 days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure. In addition, the Owner shall pay a fine of \$250 for each day the violation continues past the date set for compliance, for which the City shall have a lien against the Owner and the Property. The Board may also enter an order of demolition and assess all costs of the proceedings and demolition and other required action for which the City shall have a lien against the Owner and the Property. Until the Structure is recertified in compliance the terms of this Order, the City shall not issue any further development approvals for the Property, including, but not limited to, building permits, unless the development approval is required to comply with the terms of this Order.

6. *Lien for costs and notice to subsequent purchasers.* The City shall have a special assessment lien for its administrative costs, the costs of corrective action, and any fines imposed by the Board, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

7. City's remedies are cumulative. This Order notwithstanding, the City may enforce its code by any other lawful means.

8. **NOTICE:** If the Respondent does not comply with the terms of this Order, the City may issue a Notice of Non-Compliance ("Notice"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this Order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m. Failure to request an administrative hearing within seven (7) days after service of the Notice shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable

for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 14th day of March, 2019.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES


Secretary to the Board

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY (30) DAYS OF THE FILING OF THIS ORDER.

Graceland Continuing Presbyterian Church, Inc., c/o J.R. Hickson, III, 9890 S.W. 73rd Street, Miami, Florida 33173-4630
Valentine Capital, LLC, 11900 West Olympic Boulevard, Suite 400, Los Angeles, California 90064-1170
Bellsouth Mobility, Inc., 575 Morosgo Drive, Atlanta, Georgia 30324-3300
Bellsouth Mobility, Inc., 5201 Congress Avenue, Boca Raton, Florida 33487-3629
Bellsouth Mobility LLC, c/o Corporation Service Company, 251 Little Falls Drive, Wilmington, Delaware 19808-1674
AT & T Mobility, 8601 W. Sunrise Boulevard, Plantation, Florida 33322-4005
AT & T Mobility LLC, 1025 Lenox Park Boulevard NE, Atlanta, Georgia 30319-5309
AT & T Mobility LLC, 675 W. Peachtree Street NW, Suite 2756, Atlanta, Georgia 30308-1989
AT & T Mobility LLC, c/o CCI Corporation System, 1200 S. Pine Island Road, Plantation, Florida 33324-4113
Deutsche Bank Trust Company Americas, c/o Deutsche Bank National Trust Company, Attn: Trust & Securities Services, 100 Plaza One, Jersey City, New Jersey 07311-3901
Deutsche Bank Trust Company Americas, 60 Wall Street, New York, New York 10005-2836
Nextel South Corp., d/b/a Nextel Communications, 851 Trafalgar Court, Suite 300E, Maitland, Florida 32751-7125
Nextel South Corp., 6200 Sprint Parkway, Mailstop: HF0202-2BDTX, Overland Park, Kansas 66251-6117
Nextel South Corp., c/o Corporation Service Company, c/o Corporation Service Company, 1201 Hays Street, Tallahassee, Florida 32301-2699

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 19-8330

vs.

GRANADA CONTINUING PRESBYTERIAN CHURCH, INC.
950 University Drive
Coral Gables, Florida 33134-6463

Return receipt number:

7018 2290 0001 6693 7953

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: July 26, 2019

Re: **950 University Drive (Building 2)**, Coral Gables, Florida 33134-6463 and legally described as All Block 49, CORAL GABLES COUNTRY CLUB SECTION 3, according to the Plat thereof, as recorded in Plat Book 10, Page 52, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4118-005-2080 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-1 86(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

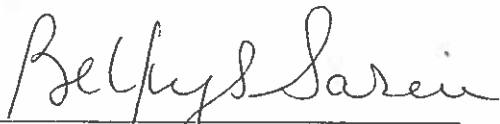
Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134, on August 12, 2019, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.



Belkys Garcia, Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Presentations made to this Board are subject to the City's False Claims Ordinance, Chapter 39 of the City of Coral Gables Code.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

c:
Granada Continuing Presbyterian Church, Inc., c/o J.R. Hickson, III, 9890 S.W. 73rd Street, Miami, Florida 33173-4630
Valentine Capital, LLC, 11900 West Olympic Boulevard, Suite 400, Los Angeles, California 90064-1170
Bellsouth Mobility, Inc., 575 Morosgo Drive, Atlanta, Georgia 30324-3300
Bellsouth Mobility, Inc., 5201 Congress Avenue, Boca Raton, Florida 33487-3629
Bellsouth Mobility LLC, c/o Corporation Service Company, 251 Little Falls Drive, Wilmington, Delaware 19808-1674
AT & T Mobility, 8601 W. Sunrise Boulevard, Plantation, Florida 33322-4003
AT & T Mobility LLC, 1025 Lenox Park Boulevard NE, Atlanta, Georgia 30319-5309
AT & T Mobility LLC, 675 W. Peachtree Street NW, Suite 2756, Atlanta, Georgia 30308-1989
AT & T Mobility LLC, c/o CT Corporation System, 1200 S. Pine Island Road, Plantation, Florida 33324-4413
Deutsche Bank Trust Company Americas, c/o Deutsche Bank National Trust Company, Attn: Trust & Securities Services, 100 Plaza One, Jersey City, New Jersey 07311-3901
Deutsche Bank Trust Company Americas, 60 Wall Street, New York, New York 10005-2836
Nextel South Corp., d/b/a Nextel Communications, 851 Trafalgar Court, Suite 300E, Maitland, Florida 32751-7425
Nextel South Corp., 6200 Sprint Parkway, Mailstop: HF0202-2BDTX, Overland Park, Kansas 66251-6117
Nextel South Corp., c/o Corporation Service Company, c/o Corporation Service Company, 1201 Hays Street, Tallahassee, Florida 32301-2699



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Case #: 19-8330

Title of Document Posted: Construction Regulation Board, Notice of Unsafe Structure Violation For Failure To Recertify and Notice of Hearing

I, Jose IGUESIAS, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 950 University Drive ON 7-26-19
AT 1:45 PM Building 2

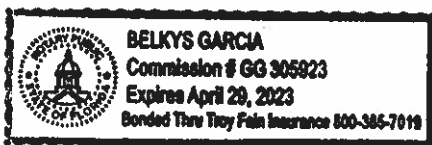
Jose IGUESIAS
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 26th day of July, in
the year 2019, by Jose Iglesias who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

178.50

REC 8315 JE 923
73 JUN 5 PM 2:07

285.45

WARRANTY DEED
WITH COOPERATION TO COOPERATION

OFFICIAL FORM 586

OFFICIAL LEGAL FORMS
MIAMI 48 FLORIDA

Warranty Deed

This instrument prepared by
W. J. McLEOD, JR., ATTORNEY
317 Aragon Ave., Coral Gables, Florida 33124

This Indenture, Made, this 4 day of JUNE, A. D. 19 73

BETWEEN GRANADA PRESBYTERIAN CHURCH, a Florida non-profit religious

incorporation

existing under the laws of the State of Florida, having its principal place of
business in the County of Dade and State of Florida

and lawfully authorized to transact business in the State of Florida, party of the first part, and
GRANADA CONTINUING PRESBYTERIAN CHURCH, INC., a non-profit religious
incorporation existing under the laws of the State of Florida, having its
principal place of business at 950 University Drive, Coral Gables,
Dade and State of Florida

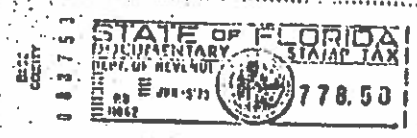
and lawfully authorized to transact business in the State of Florida, party of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of
- Ten (\$10.00) Dollars and other good and valuable considerations -
to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged,
has granted, bargained and sold to the said party of the second part, its successors and assigns forever,
the following described land situate, lying and being in the County of Dade
and State of Florida, to-wit:

See legal descriptions attached hereto, and made a part hereof.



285.45



And the said party of the first part does hereby fully warrant the title to said land, and will defend the
same against the lawful claims of all persons whomsoever.

80K

8315 924

In Witness Whereof, the said party of the first part has caused these presents to be signed in its name by its proper officers, and its corporate seal to be affixed, attested by its Secretary, the day and year above written.

GNANADA PRESBYTERIAN CHURCH
By: Joseph Webb President.
Charles A. Kimbrell Secretary.

Witnessed and delivered in the presence of us:
James H. Simpson
State of Florida:

County of Dade
I Hereby Certify, that on this 4 day of June
A. D. 1975, before me personally appeared JOSEPH WEBB

and CHARLES A. KINDRELL President and Secretary respectively of
GNANADA PRESBYTERIAN CHURCH religious
incorporation under the laws of
the State of Florida, to me known to be the persons who signed the foregoing instrument as such officers and severally acknowledged the execution thereof to be their free act and deed as such officers for the uses and purposes therein mentioned and that they affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation.

Witness my hand and official seal at Coral Gables
in the County of Dade and State of Florida
the day and year last aforesaid.

Notary Public
NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXPIRES 12/31/79
GENERAL INSURANCE UNDERWRITERS, INC.

Warranty Deed
FROM
TO
ABSTRACT OF DESCRIPTION
Filed for Record the day of . 19 . and recorded
in the Public Records of
County, Florida, in Official Records Book
. Page
Cert
D.C.

8315 925

LEGAL DESCRIPTIONS

PARCEL NO. 1:

Lots 1 through 24, both inclusive, in Block 49, of CORAL GABLES COUNTRY CLUB SECTION, PART 3, according to the Plat thereof, recorded in Plat Book 10, at Page 52, of the Public Records of Dade County, Florida.

PARCEL NO. 2:

The East Half (E 1/2) of Lot 8 and all of Lot 9, in Block 77, of CORAL GABLES RIVIERA SECTION, PART 3, according to the Plat thereof, recorded in Plat Book 20, at Page 38, of the Public Records of Dade County, Florida.

PARCEL NO. 3:

Lot 12, in Block 84, of CORAL GABLES COUNTRY CLUB SECTION, PART 3, according to the Plat thereof, recorded in Plat Book 23, at Page 55, of the Public Records of Dade County, Florida.

PARCEL NO. 4:

Lots 8, 9, 10, 11, 12, 13, 14, 15, and 26, in Block 100, of CORAL GABLES COUNTRY CLUB SECTION, PART 3, according to the amended Plat thereof recorded in Plat Book 23, at Page 55, of the Public Records of Dade County, Florida.

PARCEL NO. 5:

Lots 27 and 28, in Block 103, of CORAL GABLES COUNTRY CLUB SECTION, PART 3, according to the amended Plat thereof, recorded in Plat Book 23, at Page 55, of the Public Records of Dade County, Florida.

PARCEL NO. 6:

The West Half (W 1/2) of the East Half (E 1/2) of the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4) of Section 1, Township 54 South, Range 39 East;
ALSO KNOWN AS:
Tract 10, Block 1 of Section 1, Township 54 South, Range 39 East, situate, lying and being in Dade County, Florida.

GNANADA PRESBYTERIAN CHURCH

By: Joseph A. Webb (Seal)
Joseph Webb - President

Attent!

 (Seal)
Charles A. Kimbrell-Secretary

RECORDED BY COUNTY CLERK
OF DALLAS COUNTY, TEXAS
JAN 24 1919
JUL 15 1919 P. BRINLEY
CLERK DISTRICT COURT

Book8315/Page925

CFN#19730128871

Page 3 of 3



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Not For Profit Corporation

GRANADA CONTINUING PRESBYTERIAN CHURCH, INC.

Filing Information

Document Number	726568
FE/EIN Number	59-0760211
Date Filed	05/31/1973
State	FL
Status	ACTIVE
Last Event	EVENT CONVERTED TO NOTES
Event Date Filed	07/16/1984
Event Effective Date	NONE

Principal Address

950 UNIVERSITY DR.
CORAL GABLES, FL 33134

Mailing Address

950 UNIVERSITY DR.
CORAL GABLES, FL 33134

Registered Agent Name & Address

HICKSON, J.R. III
9890 SW 73 ST
MIAMI, FL 33173

Name Changed: 04/23/2003

Address Changed: 04/23/2003

Officer/Director Detail

Name & Address

Title TD

knowles, Leonides B.
817 Santiago St.
Coral Gables, FL 33134

Title PD

Battle, Robert B.
7350 SW 89 Street
#1007S
MIAMI, FL 33156

Title SD

HICKSON, ROBERT
9890 SW 73 ST
MIAMI, FL 33173

Title VP

Sullivan, Jeffrey T.
936 Bird Rd.
Coral Gables, FL 33146

Annual Reports

Report Year	Filed Date
2016	01/29/2016
2017	04/03/2017
2018	03/26/2018

Document Images

03/26/2018 -- ANNUAL REPORT	View image in PDF format
04/03/2017 -- ANNUAL REPORT	View image in PDF format
01/29/2016 -- ANNUAL REPORT	View image in PDF format
01/21/2015 -- ANNUAL REPORT	View image in PDF format
02/28/2014 -- ANNUAL REPORT	View image in PDF format
04/05/2013 -- ANNUAL REPORT	View image in PDF format
01/13/2012 -- ANNUAL REPORT	View image in PDF format
01/18/2011 -- ANNUAL REPORT	View image in PDF format
01/07/2010 -- ANNUAL REPORT	View image in PDF format
01/14/2009 -- ANNUAL REPORT	View image in PDF format
01/14/2008 -- ANNUAL REPORT	View image in PDF format
01/22/2007 -- ANNUAL REPORT	View image in PDF format
04/24/2006 -- ANNUAL REPORT	View image in PDF format

03/17/2005 -- ANNUAL REPORT	View image in PDF format
04/15/2004 -- ANNUAL REPORT	View image in PDF format
04/23/2003 -- ANNUAL REPORT	View image in PDF format
05/07/2002 -- ANNUAL REPORT	View image in PDF format
05/22/2001 -- ANNUAL REPORT	View image in PDF format
04/24/2000 -- ANNUAL REPORT	View image in PDF format
05/07/1999 -- ANNUAL REPORT	View image in PDF format
03/09/1998 -- ANNUAL REPORT	View image in PDF format
05/14/1997 -- ANNUAL REPORT	View image in PDF format
04/26/1996 -- ANNUAL REPORT	View image in PDF format
05/01/1995 -- ANNUAL REPORT	View image in PDF format

PREPARED BY AND
WHEN RECORDED MAIL TO:

Valentine Capital, LLC
c/o Wireless Capital Partners, LLC
11900 Olympic Boulevard, Suite 400
Los Angeles, California 90064
Attention: Title Department
Asset# 384056

Tax Parcel # 03-4118-005-2080

MEMORANDUM OF PURCHASE AND SALE OF LEASE AND SUCCESSOR LEASE AGREEMENT

This Memorandum of Purchase and Sale of Lease and Successor Lease Agreement (this "Memorandum") is made as of the later of the dates set forth below the signatures to this Memorandum (such date, the "Effective Date"), between Granada Continuing Presbyterian Church, Inc., a Florida non-profit religious corporation ("Landlord"), and Valentine Capital, LLC, a Delaware limited liability company ("Buyer").

A. Landlord, as lessor, and Bellsouth Mobility Inc., ("Tenant"), as lessee, are parties to the lease described on Schedule A, attached hereto and incorporated herein by reference (as amended or supplemented, the "Lease"), with respect to the premises therein described (the "Premises"). The Premises form a part of the real property described on Schedule B, attached hereto.

B. Landlord and Buyer are parties to a Purchase and Sale of Lease and Successor Lease Agreement (the "Agreement"), dated as of the Effective Date, pursuant to which Landlord has, among other things, sold and assigned to Buyer, all of Landlord's right, title and interest in, under, and to the Lease. The parties hereto desire to execute this Memorandum to provide constructive notice of the existence of the Lease and the Agreement, and of Buyer's rights under the Agreement (all capitalized terms used herein, but not otherwise defined, shall have the meanings ascribed thereto in the Agreement).

For good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties hereto acknowledge and/or agree as follows:

Landlord has leased the Premises to Tenant and the expiration date of the Lease (taking into account all options in favor of the Tenant to extend the term of the Lease) occurs on or about June 30, ²⁰²³~~2025~~. As of the Effective Date, Landlord has sold and assigned, and hereby does sell and assign, all of its right, title and interest in and to the Lease to Buyer, on the terms and subject to the conditions set forth in the Agreement. Additionally, pursuant to the Agreement, Landlord has, and hereby does, lease the Premises to Buyer on the terms and subject to the conditions set forth in the Agreement pertaining to the Successor Lease. The Successor Lease is for a term commencing upon the expiration or termination of the Lease and ending on the Reversion Date.

The terms and conditions of the Lease and the Agreement are hereby incorporated herein by reference as if set forth herein in full. Copies of the Lease and the Agreement are maintained by Buyer at the address of Buyer above and are available to interested parties upon request. This Memorandum has been duly executed by the undersigned as of the Effective Date.

[Signatures Appear on the Following Page]

17399458

Landlord:

Granada Continuing Presbyterian Church, Inc.,
a Florida non-profit religious corporation

By: BK Sullivan
Name:
Title: Authorized Signatory

Date: November 04, 2013

Witness #1: [Signature]
Name: Jeff Sullivan

Witness #2: [Signature]
Name: CHRISTINE PARDO

STATE OF FLORIDA)
COUNTY OF BROWARD)

On 11/04/2013, before me, Christine Pardo a Notary Public, personally appeared Brendley KHANATE who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his authorized capacity, and that by his/her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under penalty of perjury under the laws of the State of FLORIDA that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)



[Signatures Continue on the Following Page]

Schedule A

Lease Description

That certain Option and Lease Agreement dated December 17, 1997, by and between GRANADA CONTINUING PRESBYTERIAN CHURCH, INC, a Florida non-profit religious corporation, whose address is 950 University Drive, Coral Gables, FL 33134 ("Landlord") and Bellsouth Mobility, Inc., a Delaware corporation ("Tenant"), whose address is 575 Morosgo Drive NE, Atlanta, GA 30324, for the property located at 950 University Dr., Coral Gables, FL 33134.

Schedule B

Legal Description

An interest in land, said interest being over a portion of the following described parent parcel:

Lots 1 through 24, both inclusive, in Block 49, of CORAL GABLES COUNTRY CLUB SECTION, PART 3, according to the Plat thereof, recorded in Plat Book 10, at Page 52, of the Public Records of Dade County, Florida.

AND BEING a portion of the same property conveyed to Granada Continuing Presbyterian Church, Inc., a non-profit religious corporation from Granada Presbyterian Church, a Florida non-profit religious corporation by Warranty Deed dated June 04, 1973 and recorded June 05, 1973 in Deed Book 8315, Page 923.

Tax Parcel No. 03-4118-005-2080

NOV 24 PM 1:11

98R562264 FG00

This instrument was prepared by:
Record and Return to:
Lillian Arango de la Hoz, Esq.
Weiss Serota Heffman
Pastoriza & Gasdes, P.A.
2665 South Bayshore Drive
Suite 420
Miami, FL 33133

REC 18362 PG 0747

OPTION AND
LEASE AGREEMENT

This Agreement is made this 17th day of December, 1997,
between GRANADA CONTINUING PRESBYTERIAN CHURCH, INC., whose
address is 950 University Drive, Coral Gables, Florida 33134,
hereinafter designated LESSOR, and BELLSOUTH MOBILITY INC., with
offices at 5201 Congress Avenue, Boca Raton, Florida 33487,
hereinafter designated TENANT.

RECITALS:

LESSOR is the owner of certain real property located at
Granada Presbyterian Church, Coral Gables, Dade County, State of
Florida, and TENANT desires to obtain an Option to lease a portion
of said real property, containing approximately 500 square feet,
together with the steeple structure ("Steeple") and a twenty foot
(20') wide right of way for access thereto (said leased parcel,
Steeple and right of way hereinafter called "Property"). The
Property is more specifically described in and substantially shown
outlined in red on Exhibit "A" attached hereto and made a part
hereof.

NOW, THEREFORE, in consideration of a sum of TWO THOUSAND
Dollars (\$2,000.00), hereinafter referred to as "Option Money", to
be paid by TENANT to the LESSOR, which TENANT will provide upon its
execution of this Agreement, the LESSOR hereby grants to TENANT the
right and Option to lease on a non-exclusive basis, except for the
interior equipment room, cable easement and antenna locations which
shall be on an exclusive basis, for the term and in accordance with
the covenants and conditions set forth herein.

The Option may be exercised at any time within six (6) months
from final execution of this Agreement by LESSOR.

At TENANT's election, and upon TENANT's prior written
notification to LESSOR, the time during which the Option may be

73.20

June 2, 2018

Building Official
City of Coral Gables Building Department
40-Year Recertification Section

RE: Building Recertification
Folio #03-4118-005-2080
Granada Continuing Presbyterian Church **Fellowship Hall and Youth Building**
950 University Drive
Coral Gables, FL 33134-6463

Dear Building Official:

We have been retained by the Granada Continuing Presbyterian Church to perform the required building recertification for the above referenced property.

Enclosed is the completed report for the required structural inspection.

Please be advised that we have found the building to be in good condition and to be structurally safe for its present use and occupancy.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and belief, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.

It is our recommendation that this building be granted recertification for continued use under its present occupancy. Please do not hesitate to contact this office should you have any questions.

Sincerely,



Thomas T. Cooper, AIA
Reg. No. 4486

TTC (w/enclosures)

cc: Jeff Sullivan, Granada Continuing Presbyterian Church.

**MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDING STRUCTURAL RECERTIFICATION**

INSPECTION COMMENCED
DATE: April 27, 2018

INSPECTION MADE BY:
SIGNATURE: Thomas T. Cooper

INSPECTION COMPLETED
DATE: April 27, 2018

PRINT NAME: Thomas T. Cooper
TITLE: Architect

ADDRESS:

THOMAS T. COOPER, ARCHITECT
AR # 4486
4498 NE Skyline Drive
Jensen Beach, Florida 34957
Tel. (305) 667-2009
thomastcooper@gmail.com

1. DESCRIPTION OF STRUCTURE

- a. Name or Title: **Granada Presbyterian Church Fellowship Hall / Youth Loft**
- b. Street address: **950 University Drive, Coral Gables, FL 33134-6463**
- c. Legal description: **Coral Gables Country Club Sec. 3, all block 49 PB 10-52, lot size irregular, 73R-128871**
- d. Owner's name: **Granada Continuing Presbyterian Church**
- e. Owner's mailing address: **950 University Drive, Coral Gables, FL 33134-6463**
- f. Building official folio number: **03-4118-005-2080**
- g. Building code occupancy classification: **Religious**
- h. Present use: **Religious / Assembly**
- i. General description, type of construction, size, number of stories and special features. **A one and two-story, poured reinforced concrete frame with masonry in-fill structure with stucco and brick veneer exterior walls with wood and steel trusses with wood joist and deck with flat cement tile roof and**



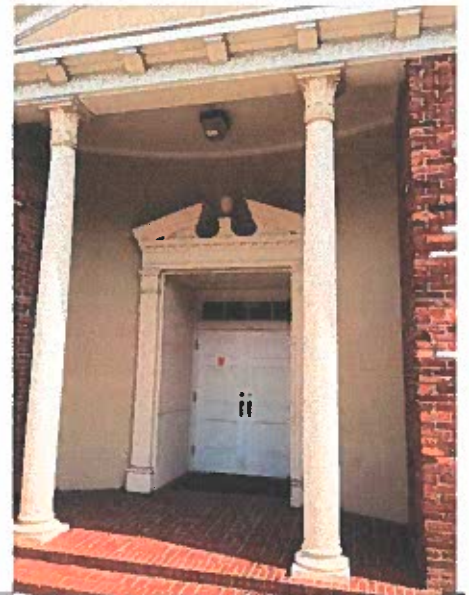
Thomas T. Cooper
6-2-18 #4486

poured concrete joists and slab on the second floor. Also, contains a covered walkway, passenger drop off with wood trusses and plywood decking.

- j. Additions to original structure: **Not apply**

2. PRESENT CONDITION OF STRUCTURE

- a. General alignment (note good, fair, poor, explain if significant). **Good**
- b. Portions showing distress (note beams, columns, structural walls, floors, roofs, other). **None observed**
- c. Surface conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration & stains. **General condition of finishes is good. No cracking. Spalling, peeling, signs of moisture penetration and / or stains observed.**
- d. Cracks – note location in significant members. Identify crack size as HAIRLINE if barely discernable; FINE if less than 1 mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm. **None observed**
- e. General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood. **None observed**
- f. Previous patching in wood. **None observed**
- g. Nature of present loading – indicate residential, commercial other estimate magnitude. **Average assembly loading**
- h. Availability of original construction drawings – location description. **Not available but see attached campus drawings.**



3. INSPECTIONS

- a. Date of notice of required inspection. **March 6, 2018**
- b. Date (s) of actual inspection. **April 27, 2018**
- c. Name and qualification of individual submitting inspection report. **Thomas T. Cooper, AIA Emeritus, Architect AR 000-4486**
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: **None required**
- e. Structural repair – note appropriate line: **None required**

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1. One required. **Not apply**
2. Require (describe and indicate acceptance). **Not apply**

4 SUPPORTING DATA

- a. Sheets written data. **Not apply**
- b. Photographs. **See attached**
- c. Drawings or sketches. **See attached**

5. MASONRY BEARING WALLS – indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units. **Good**
- b. Clay tile or terracotta units. **Not apply**
- c. Reinforced concrete tie columns. **Good**
- d. Reinforced concrete tie beams. **Good**
- e. Lintels. **Good**
- f. Other type bond beams. **Not apply**
- g. Masonry finishes – exterior: **Good**
 1. Stucco. **Good**
 2. Veneer. **Good**
 3. Paint only. **Good**
 4. Other (describe). **Not apply**
- h. Masonry finished – interior: **Good**
 1. Vapor barrier. **Good**
 2. Furring and plaster. **Good**
 3. Paneling. **Good**
 4. Paint only. **Good**
 5. Other (describe). **Not apply**
- i. Cracks: **None observed**
 1. Location – note beams, columns, other. **None observed**



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2. Description. **Not apply**
- j. Spalling: **None observed**
 1. Location – note beams, columns, other. **Not apply**
 2. Description. **Not apply**
- k. Rebar corrosion – check appropriate line: **Not apply**
 1. **None visible.**
 2. Minor – Patching will suffice. **Not apply**
 3. Significant – but patching will suffice. **Not apply**
 4. Significant – structural repairs required (describe). **Not apply**
- l. Samples chipped out for examination in spall areas: **None required**
 1. **No.**
 2. Yes – describe color, texture, aggregate, general quality.

6. FLOOR AND ROOF SYSTEMS

- a. Roof. **Wood trusses with gang nails and T & G decking in good condition. Wood joist with T & G decking in exterior corridors. Roof material is flat cement tile.**
- b. Floor system (s): **First floor is concrete slab-on-grade. Second floor is reinforced concrete joists and slab in good condition.**
- c. Inspection – note exposed areas available for inspection, and where it was necessary to open ceilings, etc. for inspection of typical members. **Removed ceiling tile in first floor ceiling and second floor to observe structure.**



7. STEEL FRAMING SYSTEMS

Thom J. Cooper
6-2-18 #4486

- a. Description. **Steel tube columns at open walkway at Youth Loft**
- b. Exposed steel – describe condition of paint and degree of corrosion: **None observed**
- c. Concrete or other fireproofing – note any cracking or spalling and note where any covering was removed for inspection. **Not apply**
- d. Elevator sheave beams & connections, and machine floor beams – note condition: **Not apply**



8. CONCRETE FRAMING SYSTEMS

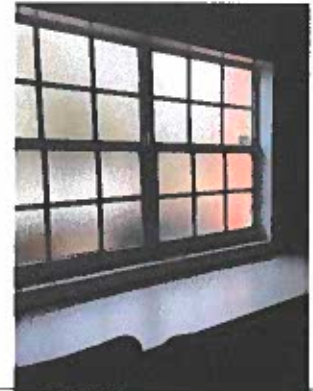
- a. Full description of structural system. **Reinforced concrete columns and beams with masonry in-fill support wood trusses at roof and reinforced concrete joist and slab for second floor structure.**
- b. Cracking: **None observed**
 - 1. **Not significant.**
 - 2. Location and description of members effected and type cracking. **Not apply**
- c. General condition. **Good**
- d. Rebar corrosion – check appropriate line. **None observed**
 - 1. **None visible**
 - 2. Minor – Patching will suffice
 - 3. Significant but patching will suffice
 - 4. Significant – structural repair (describe).
- e. Samples chipped out in spall areas: **Not required**
 - 1. **No**
 - 2. Yes – describe color, texture, aggregate, general quality:

9. WINDOWS

- a. Type (wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other). **Aluminum single hung windows**
- b. Anchorage – type and condition of fasteners and latches: **Four screw anchors in each jamb.**

Thomas J. Gagne
6-2-18 # 4486

- c. Sealants – type and condition of perimeter and sealants & at mullions: **Type unknown, appear in good condition**
- d. Interior seals – type & condition at operable vents: **Aluminum seals at window panes**
- e. General condition: **Good**





10. WOOD FRAMING

- a. Type – fully describe mill construction, light construction, major spans, trusses: **Wood trusses and T & G decking in two story building and first floor open corridors with plywood decking at covered entry area.**
- b. Note metal fittings i.e., angles, plates, bolts, split rings, pintles, other and note condition: **All metal attachments appear in good condition.**
- c. Joists – note if well fitted and still closed: **Joist well fitted**
- d. Drainage – note accumulations of moisture: **None observed**
- e. Ventilation – note any concealed spaces not ventilated: **None observed**
- f. Note any concealed spaces opened for inspection: **Removed ceiling tile in kitchen and Youth Loft to observe structure condition.**

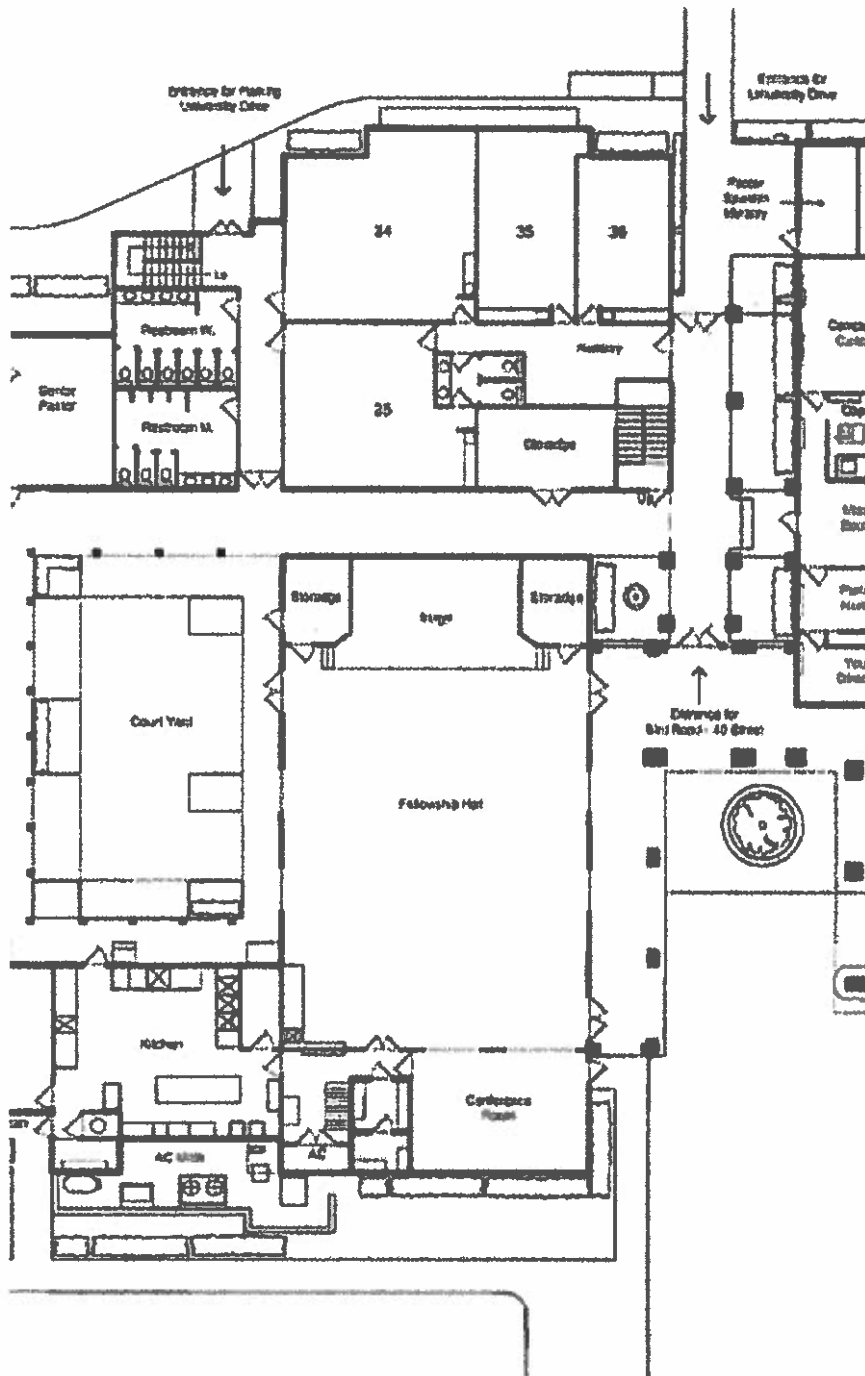


As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.


Thomas T. Cooper
#4486


Date

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION
Granada Presbyterian Church Fellowship Hall / Youth Loft
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MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED Date: 04/27/2018

INSPECTION COMPLETED Date: 05/02/2018

LICENSE #: 13003573

INSPECTION MADE BY: Jesus Jimenez SIGNATURE: [Signature]

PRINT NAME: Jesus Jimenez, President TITLE: Electric Service Repair, Inc.

ADDRESS: 13335 SW 88th Ave Miami, FL 33176



DESCRIPTION OF STRUCTURE #4-Sanctuary

Form with fields for: a. Name on Title: Granada Presbyterian Church; b. Street Address: 950 University Drive; c. Legal Description: Coral Gables Country Club SEC3 ALL BCK49 PB10-52; d. Owner's Name: Granada Cont. Presb. Church, Inc.; e. Owner's Mailing Address: 950 University Drive, Coral Gables, FL 33134; f. Folio Number of Property on which Building is Located: 03-4118-005-2080; g. Building Code Occupancy Classification: 0044 Religious; h. Present Use: Church; i. General Description, Type of Construction, Size, Number of Stories, and Special Features. Additional Comments: #4 Sanctuary. This report addresses one of the four structures comprising this religious compound, namely, the Sanctuary which is located at the western most end of the property. It is a single story CBS structure, with wood/steel framing roof. Total approx. square footage is 11,000 sq. ft. year built 1960.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage () Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair ()

Comments:

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction ()

Comments:

3. GUTTERS

Location: Go od () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments:

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #()

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments:

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments:

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments:

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments:

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments:

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments:

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	()	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments:

12. EMERGENCY LIGHTING:

Good () Repairs Required ()

Comments:

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments:

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments:

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments:

16. EXIT LIGHTS:

Good () Repairs Required (X)

Comments: (1) Exit in Asst. Pastor office. Front office (1) Exit (1) Emergency. (1) Exit in Asst. to Pastor office. (1) West door Warhex Exit/Em green. (1) East door sanctuary Exit/Em green, Bird Rd. side. Parking lot lighting north entrance.

17. EMERGENCY GENERATOR:

Good () Repairs Required ()

Comments:

June 2, 2018

Building Official
City of Coral Gables Building Department
40-Year Recertification Section

RE: Building Recertification
Folio #03-4118-005-2080
Granada Continuing Presbyterian Church **Education Building**
950 University Drive
Coral Gables, FL 33134-6463

Dear Building Official:

We have been retained by the Granada Continuing Presbyterian Church to perform the required building recertification for the above referenced property.

Enclosed is the completed report for the required structural inspection.

Please be advised that we have found the building to be in good condition and to be structurally safe for its present use and occupancy.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and belief, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.

It is our recommendation that this building be granted recertification for continued use under its present occupancy. Please do not hesitate to contact this office should you have any questions.

Sincerely,



Thomas T. Cooper, AIA
Reg. No. 4486

TTC (w/enclosures)

cc: Jeff Sullivan, Granada Continuing Presbyterian Church.

MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDING STRUCTURAL RECERTIFICATION

INSPECTION COMMENCED
DATE: April 27, 2018

INSPECTION MADE BY:
SIGNATURE: Thomas J. Cooper

INSPECTION COMPLETED
DATE: April 27, 2018

PRINT NAME: Thomas T. Cooper
TITLE: Architect

ADDRESS:

THOMAS T. COOPER, ARCHITECT
AR # 4486
4498 NE Skyline Drive
Jensen Beach, Florida 34957
Tel. (305) 667-2009
thomastcooper@gmail.com

1. DESCRIPTION OF STRUCTURE

- a. Name or Title: **Granada Presbyterian Church Education Building**
- b. Street address: **950 University Drive, Coral Gables, FL 33134-6463**
- c. Legal description: **Coral Gables Country Club Sec. 3, all block 49 PB 10-52, lot size irregular, 73R-128871**
- d. Owner's name: **Granada Continuing Presbyterian Church**
- e. Owner's mailing address: **950 University Drive, Coral Gables, FL 33134-6463**
- f. Building official folio number: **03-4118-005-2080**
- g. Building code occupancy classification: **Religious**
- h. Present use: **Religious / Education**
- i. General description, type of construction, size, number of stories and special features. **A one and two-story courtyard building with poured reinforced concrete frame and masonry in-fill structure with stucco and brick veneer exterior with wood trusses, joist and deck with cement tile roof and concrete floors.**



Thomas J. Cooper
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- j. Additions to original structure: **Not apply**

2. PRESENT CONDITION OF STRUCTURE

- a. General alignment (note good, fair, poor, explain if significant). **Good**
- b. Portions showing distress (note beams, columns, structural walls, floors, roofs, other). **None observed**
- c. Surface conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration & stains. **General condition Good**
- d. Cracks – note location in significant members. Identify crack size as HAIRLINE if barely discernable; FINE if less than 1 mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm. **None observed**
- e. General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood. **Rust on metal gates at south side of Education Building walkway and rot and previous termite damage in open corridor between one and two-story buildings.**
- f. Previous patching in wood. **None observed**
- g. Nature of present loading – indicate residential, commercial, other estimate magnitude. **Average commercial**
- h. Availability of original construction drawings – location description. **Not available but see attached CAD drawings of campus buildings.**

3. INSPECTIONS

- a. Date of notice of required inspection. **March 6, 2018**
- b. Date (s) of actual inspection. **April 27, 2018**
- c. Name and qualification of individual submitting inspection report. **Thomas T. Cooper, AIA Emeritus-AR 0004486, Architect**
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: **Not apply**
- e. Structural repair – note appropriate line:
1. One required.
 2. Require (describe and indicate acceptance).

4 SUPPORTING DATA

Thomas T. Cooper
6-2-18 #4486

- a. Sheets written data. Not apply
- b. Photographs. See attached
- c. Drawings or sketches. See attached

5. MASONRY BEARING WALLS – indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units. **Good**
- b. Clay tile or terracotta units. **Not apply**
- c. Reinforced concrete tie columns. **Good**
- d. Reinforced concrete tie beams. **Good**
- e. Lintels. **Good**
- f. Other type bond beams. **Good**
- g. Masonry finishes – exterior: **Good**
 - 1. Stucco. **Good**
 - 2. Veneer. **Good**
 - 3. Paint only. **Good**
 - 4. Other (describe). **Not apply**
- h. Masonry finished – interior: **Good**
 - 1. Vapor barrier. **Good**
 - 2. Furring and plaster. **Good**
 - 3. Paneling. **Good**
 - 4. Paint only. **Good**
 - 5. Other (describe). **Not Apply**
- i. Cracks: **None observed**
 - 1. Location – note beams, columns, other. **None observed**
 - 2. Description. **Not apply**
- j. Spalling: **None observed**
 - 1. Location – note beams, columns, other. **Not apply**



Thomas J. Cooper

- 2. Description. **Not apply**
- k. Rebar corrosion – check appropriate line: **None observed**
 - 1. **None visible.**
 - 2. Minor – Patching will suffice. **Not apply**
 - 3. Significant – but patching will suffice. **Not apply**
 - 4. Significant – structural repairs required (describe). **Not apply**
- l. Samples chipped out for examination in spall areas:
 - 1. **No.**
 - 2. Yes – describe color, texture, aggregate, general quality.

6. FLOOR AND ROOF SYSTEMS

- a. Roof. **Wood trusses with gang nails and T & G decking in good condition. Wood joist with T & G decking at exterior walkways with cement tile roofing. South corridor between one and two-story buildings at north edge shows water and / or termite damage. Termites do not appear to be active. Stains and peeling paint indicate water penetration where pilaster penetrates roof. Needs re-flashing.**
- b. Floor system (s): **Concrete slab-on-grade and poured concrete joist and slab for second floor structure.**
- c. Inspection – note exposed areas available for inspection, and where it was necessary to open ceilings, etc. for inspection of typical members. **Removed ceiling tile in both the first and second floor ceilings to observe structure.**



7. STEEL FRAMING SYSTEMS

- a. Description. **Not apply**
- b. Exposed steel – describe condition of paint and degree of corrosion: **Not apply**
- c. Concrete or other fireproofing – note any cracking or spalling and note where any covering was removed for inspection. **Not apply**
- d. Elevator sheave beams & connections, and machine floor beams – note condition: **Not apply**

8. CONCRETE FRAMING SYSTEMS

Thomas J. Conroy
6-2-18 #4486

- a. Full description of structural system. **Reinforced concrete columns and beams with masonry in-fill support wood trusses and poured concrete joist and slab on second floor.**
- b. Cracking: **None observed**
 - 1. **Not significant.**
 - 2. Location and description of members effected and type cracking. **Not apply**
- c. General condition. **Good**
- d. Rebar corrosion – check appropriate line. **None observed**
 - 1. **None visible**
 - 2. **Minor – Patching will suffice**
 - 3. **Significant but patching will suffice**
 - 4. **Significant – structural repair (describe).**
- e. Samples chipped out in spall areas: **None required**
 - 1. **No**
 - 2. **Yes – describe color, texture, aggregate, general quality:**

9. WINDOWS

- a. Type (wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other). **Aluminum single hung windows**
- b. Anchorage – type and condition of fasteners and latches:
Four screw anchors in each jamb
- c. Sealants – type and condition of perimeter and sealants & at mullions: **Type unknow with many layers of paint. Appears in good condition.**
- d. Interior seals – type & condition at operable vents:
Aluminum seal at window panes.
- e. General condition: **Good**



10. WOOD FRAMING

Thomas J. Coyne
6-2-18 #4486

- a. Type – fully describe mill construction, light construction, major spans, trusses: **Wood trusses with gang nails and T & G decking in roof of building and trusses with plywood decking in covered entry area.**
- b. Note metal fittings i.e., angles, plates, bolts, split rings, pintles, other and note condition: **All metal attachments appear in good condition**
- c. Joists – note if well fitted and still closed: **Joist well fitted. Minor termite previous damage to joist in open corridor, keep under observation**
- d. Drainage – note accumulations of moisture: **Previously noted rafter at east end of building shows former water stain.**
- e. Ventilation – note any concealed spaces not ventilated: **None observed**
- f. Note any concealed spaces opened for inspection: **Removed ceiling tile in both first floor and second to observe structure. Also, removed scuttle in covered entry area, first floor exterior.**

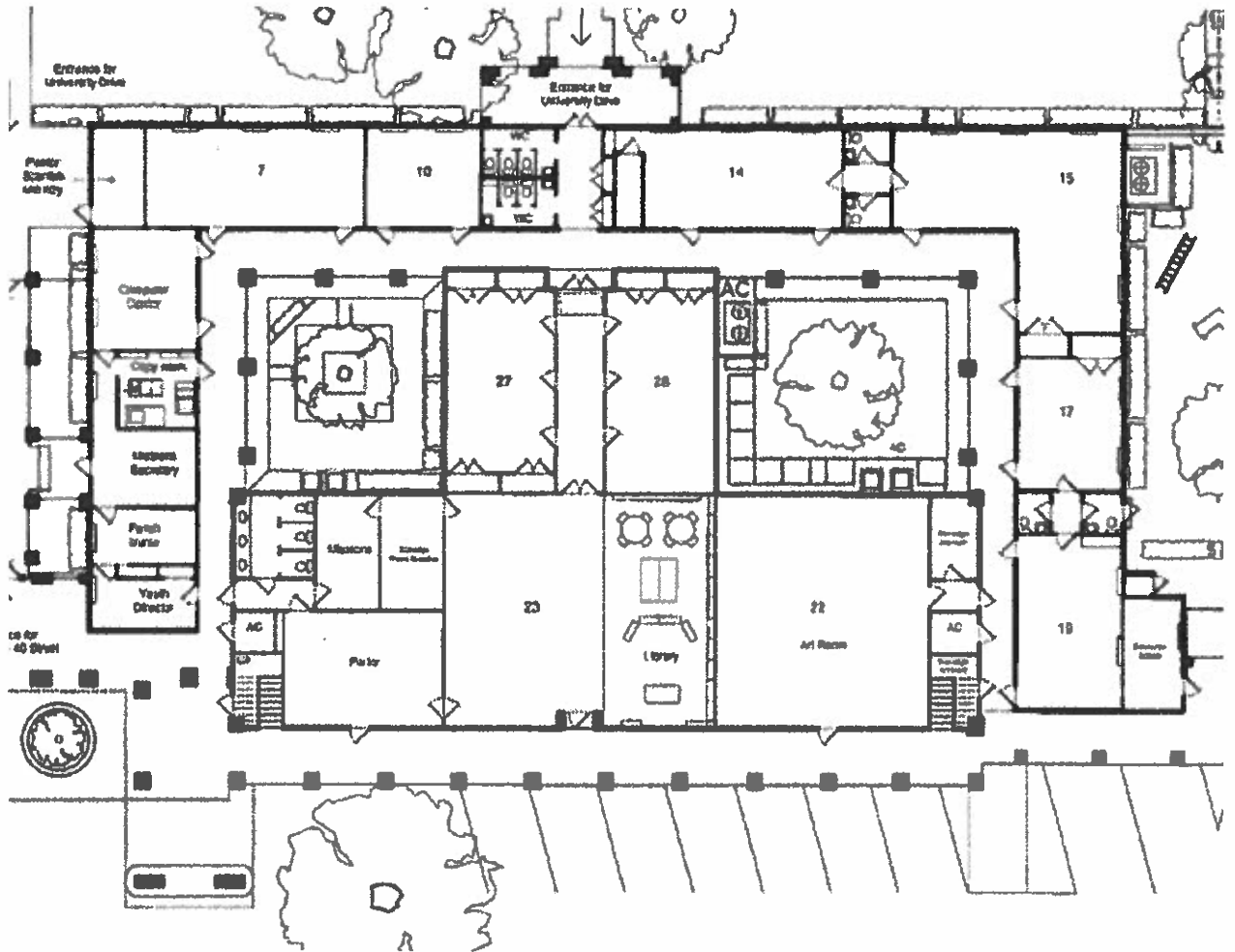


As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.


Thomas T. Cooper
#4486


Date

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION
Granada Presbyterian Church Education Building
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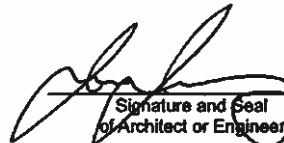
**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C OF THE CODE OF MIAMI-DADE COUNTY**

DATE: 7-6-18

Re: Case No. _____ FYear 2018
Property Address: _____ Bldg. No.: _____
Building Description: Granada Presbyterian Church
950 University Dr. 4 Buildings Admin,
Coral Gables, FL 33134 education, Sanctuary, Fellowship

The undersigned states the following:

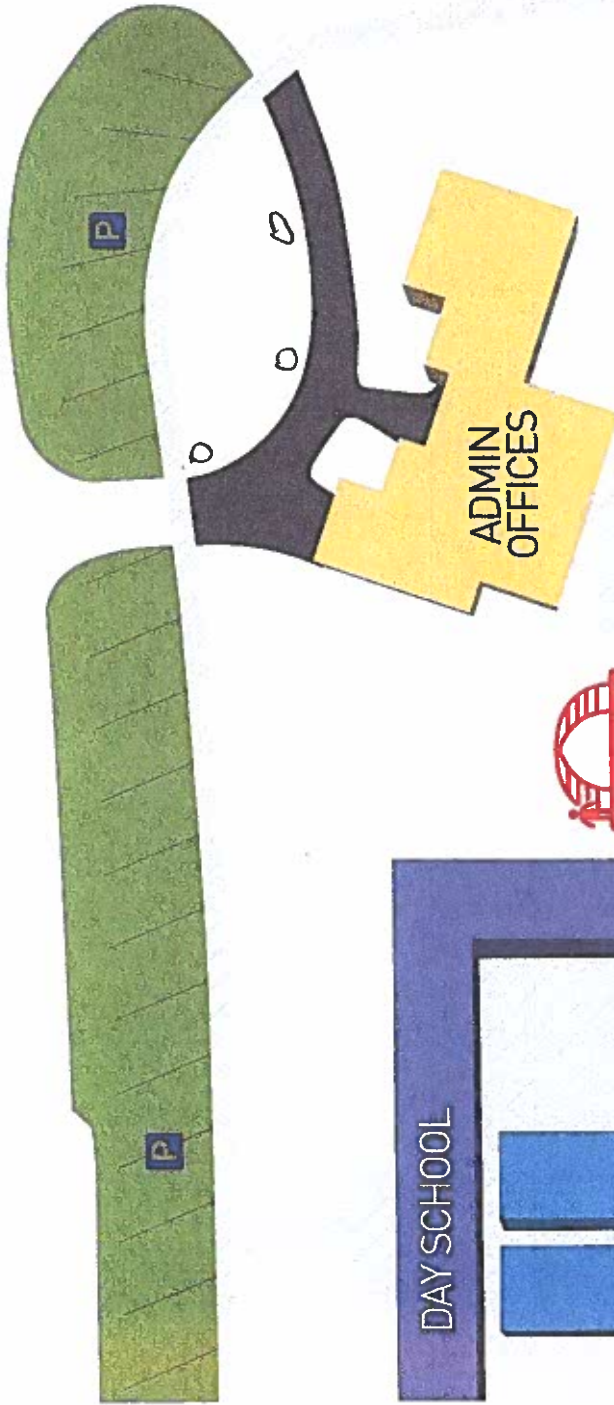
1. I am a Florida registered ~~professional engineer or architect with an active license.~~ Electrical Contractor
2. On July 6, 2018, at 10:30 PM. I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum 2 foot candle per SF, Minimum 0 foot candle per SF, Minimum to Maximum ratio 2:0, foot candle 0 average per SF.
4. The level of illumination provided in the parking lot(s) Does Not meets the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Code of Miami-Dade County. NOT Meet Code
5. The level of outdoor lighting overspill meets the limitations established in Section 33-4.1 of the Code of Miami-Dade County.

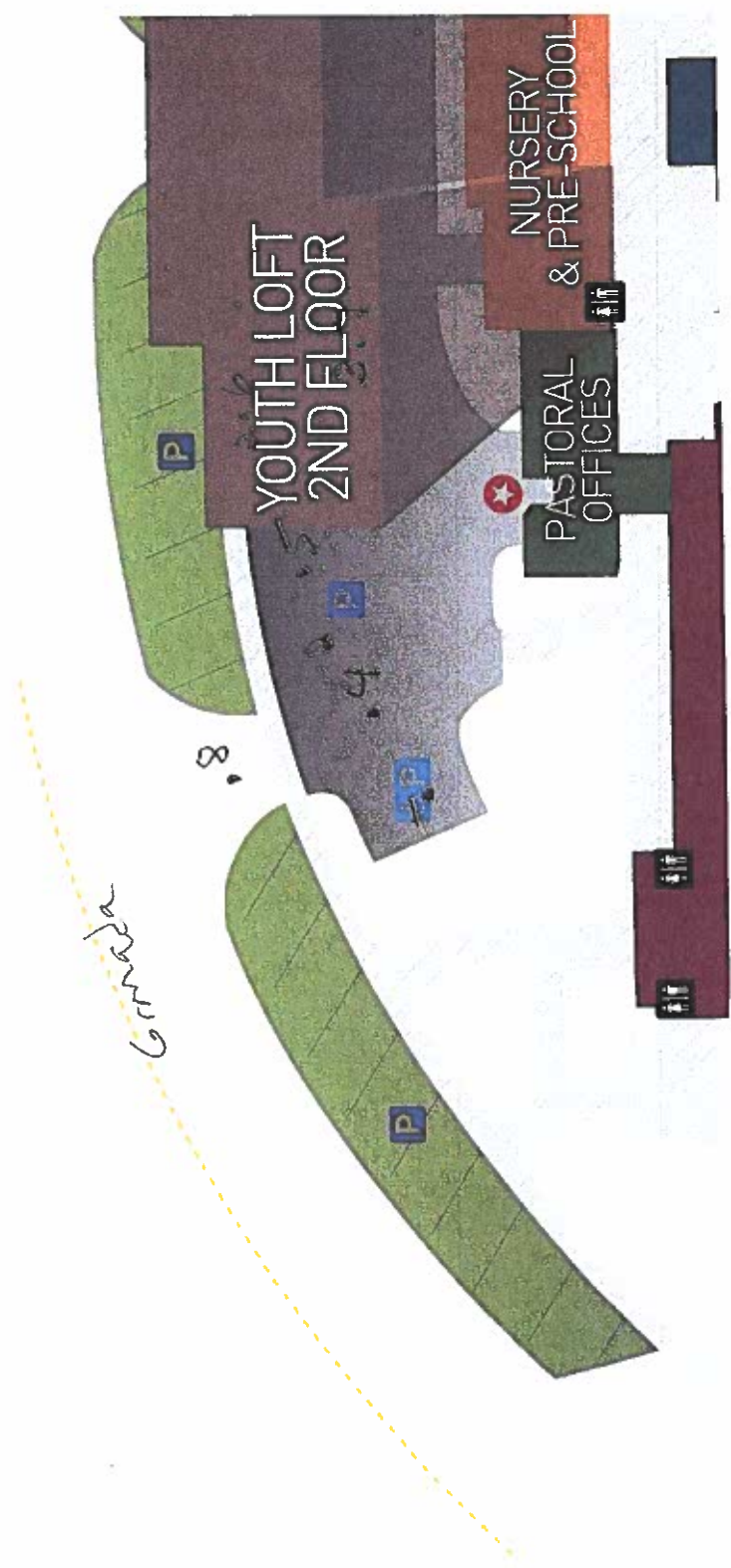

Signature and Seal
of Architect or Engineer

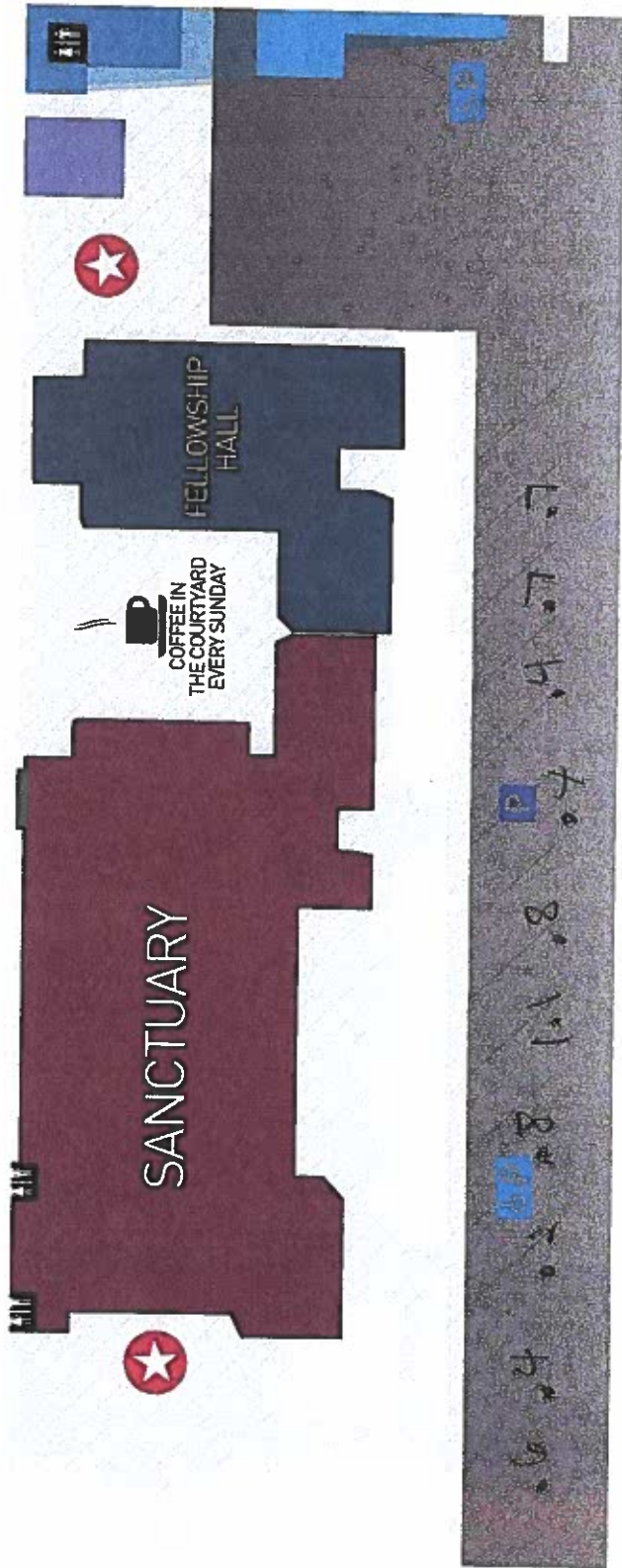
Jess Jimenez
(Print Name)

EC13003573

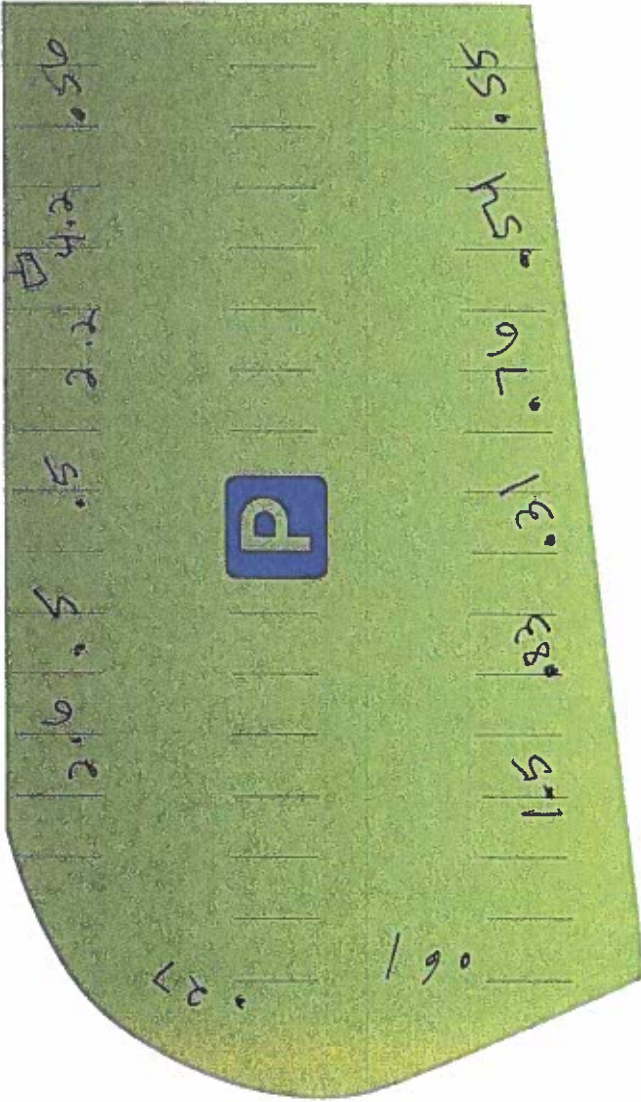
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7-6-18







Bind R2



SANCTUARY
- Sanctuary Classro
- Family Room

ENTRANCE

HANDICAPPE

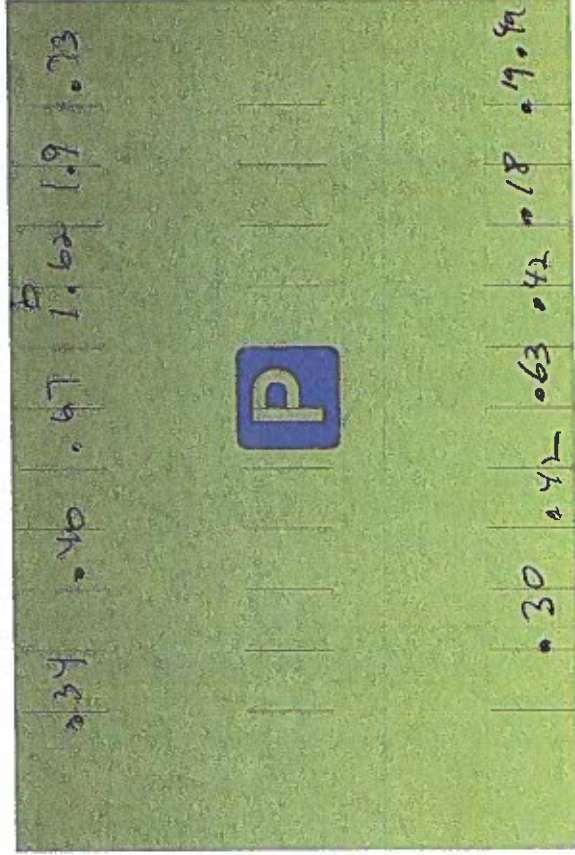
BIRD PZ.

EDUCATION BUILDING

- Granada Kids
- Library
- Small Group MTG Rooms
- Parlor

RESTROOMS

PARKING



Bird Rd.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (400) Fuses (X) Breakers ()
2. Phase: Three Phase (X) Single Phase ()
3. Condition: Good () Fair (X) Needs Repair ()

Comments:

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction (X)

Comments: Electric room needs sign and cleaned out. No storage permitted

3. GUTTERS

Location: Good () Requires Repair ()
Taps and Fill: Good (X) Requires Repair ()

Comments:

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #()

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments:

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments:

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments:

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments:

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments:

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments:

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	()	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments:

12. EMERGENCY LIGHTING:

Good () Repairs Required (x)

Comments: (2) emergency light Mercy Ministry Office. (1) exit sign repair. (6) Emergency light outside corridor. (1) Exit in 1 yr. old classroom. (1) exit in rm 4. (1) Exit in rm 5. (1) Exit near bathrooms. (1) Exit in rm 8. (1) Exit in rm 11. (1) Exit outside art classroom. (1) Exit 1st floor exterior hallway west end/ east end. Add emergency light west stairs.

****Emergency Lighting comments continued on last page #22 Additional Comments****

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments:

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments:

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments:

16. EXIT LIGHTS: [See Emergency Lighting comments](#)

Good () Repairs Required (X)

Comments:

17. EMERGENCY GENERATOR: [N/A](#)

Good () Repairs Required ()

Comments:

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od () Repairs Required ()

Comments:

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION: N/A

Require Additional

Go od () Repairs Required ()

Comments:

20. SWIMMING POOL WIRING: N/A

Go od () Repairs Required ()

Comments:

21. WIRING TO MECHANICAL EQUIPMENT:

Go od () Repairs Required ()

Comments:

22. ADDITIONAL COMMENTS:

Emergency Lighting Continued:

2nd floor Exit (1). (1) Exit rm 33. (7) Exits in offices. (1) Exit/Em rm 30. (1) Exit east stairs 2nd floor. (1) Emergency light east stairs.

THOMAS T. COOPER
ARCHITECT

June 2, 2018

Building Official
City of Coral Gables Building Department
40-Year Recertification Section

RE: Building Recertification
Folio #03-4118-005-2080
Granada Continuing Presbyterian Church **Cornerstone Building**
900 University Drive
Coral Gables, FL 33134-6463

Dear Building Official:

We have been retained by the Granada Continuing Presbyterian Church to perform the required building recertification for the above referenced property.


Enclosed is the completed report for the required structural inspection.

Please be advised that we have found the building to be in good condition and to be structurally safe for its present use and occupancy **except for the needed replacement or repair of one joist in the children's playroom as noted in the report.** The administration is aware of this need and is in the process of correcting this item. When the remedial work is complete I will reinspect the facility and issue a confirmation report.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and belief, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.

It is our recommendation that this building be granted recertification for continued use under its present occupancy **except for the children's playroom. This room has signs at each entrance "Do not occupy this room" until repair is complete and inspected.** Please do not hesitate to contact this office should you have any questions.

Sincerely,



Thomas T. Cooper, AIA
Reg. No. 4486

TTC (w/enclosures)

cc: Jeff Sullivan, Granada Continuing Presbyterian Church.

thomastcooper.com

4498 NE Skyline Drive, Jensen Beach, FL 34957

TEL 772.232.1767
CEL 305.667.2009
FAX 772.232.1767

**MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDING STRUCTURAL RECERTIFICATION**

INSPECTION COMMENCED
DATE: April 27, 2018

INSPECTION MADE BY:
SIGNATURE: *Thomas J. Cooper*

INSPECTION COMPLETED
DATE: April 27, 2018

PRINT NAME: Thomas T. Cooper
TITLE: Architect

ADDRESS:

THOMAS T. COOPER, ARCHITECT
AR # 4486
4498 NE Skyline Drive
Jensen Beach, Florida 34957
Tel. (305) 667-2009
thomastcooper@gmail.com

1. DESCRIPTION OF STRUCTURE

- a. Name or Title: **Granada Presbyterian Church Cornerstone Building**
- b. Street address: **900 University Drive, Coral Gables, FL 33134-6463**
- c. Legal description: **Coral Gables Country Club Sec. 3, all block 49 PB 10-52, lot size irregular, 73R-128871**
- d. Owner's name: **Granada Continuing Presbyterian Church**
- e. Owner's mailing address: **900 University Drive, Coral Gables, FL 33134-6463**
- f. Building official folio number: **03-4118-005-2080**
- g. Building code occupancy classification: **Religious**
- h. Present use: **Religious / Educational / Office**
- i. General description, type of construction, size, number of stories and special features. **A single story, concrete block and stucco building with exposed wood rafters with T & G decking with flat cement tile and built-up roofing with concrete slab on grade.**



Thomas J. Cooper
6/2/18
#4486

- j. Additions to original structure: **Not apply**

2. PRESENT CONDITION OF STRUCTURE

- a. General alignment (note good, fair, poor, explain if significant). **Good**
- b. Portions showing distress (note beams, columns, structural walls, floors, roofs, other). **Single joist in middle of Playroom on south court yard need replacement or repair.**
- c. Surface conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration & stains. **General conditions of finishes good.**
- d. Cracks – note location in significant members. Identify crack size as HAIRLINE if barely discernable; FINE if less than 1 mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm. **See b. above for FINE crack**
- e. General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood. **Rust at steel casement windows at entry.**
- f. Previous patching in wood. **None observed.**
- g. Nature of present loading – indicate residential, commercial, other estimate magnitude. **Average commercial.**
- h. Availability of original construction drawings – location description. **Not available – see campus drawings attached.**



3. INSPECTIONS

- a. Date of notice of required inspection. **March 6, 2018**
- b. Date (s) of actual inspection. **April 27, 2018**
- c. Name and qualification of individual submitting inspection report. **Thomas T. Cooper, AIA Emeritus-AR 0004486, Architect**
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: **Not Apply**
- e. Structural repair – note appropriate line:
1. One required. **Replace or repair existing wood joist in Children's Playroom- lines 6 a and 10 c.**

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2. Require (describe and indicate acceptance). **Joist has large crack see photograph at 10 c. Once corrected I will reinspect and issue a letter.**

4 SUPPORTING DATA

- a. Sheets written data. **Not Apply**
b. Photographs. **See attached**
c. Drawings or sketches. **Not Apply**

5. MASONRY BEARING WALLS – indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units. **Good**
b. Clay tile or terracotta units. **Not Apply**
c. Reinforced concrete tie columns. **Good**
d. Reinforced concrete tie beams. **Good**
e. Lintels. **Good**
f. Other type bond beams. **Good**
g. Masonry finishes – exterior: **Good**
1. Stucco. **Good**
2. Veneer. **Not Apply**
3. Paint only. **Good**
4. Other (describe). **Not Apply**
h. Masonry finished – interior: **Good**
1. Vapor barrier. **Good**
2. Furring and plaster. **Good**
3. Paneling. **Good**
4. Paint only. **Good**
5. Other (describe). **Not Apply**
i. Cracks:
1. Location – note beams, columns, other. **None observed.**
2. Description. **Not Apply**



Thomas J. Coyne
6-2-18 #4486

- j. Spalling: **None observed.**
 - 1. Location – note beams, columns, other. **Not Apply**
 - 2. Description. **Not Apply**
- k. Rebar corrosion – check appropriate line: **None observed.**
 - 1. None visible. **None observed.**
 - 2. Minor – Patching will suffice. **Not Apply**
 - 3. Significant – but patching will suffice. **Not Apply**
 - 4. Significant – structural repairs required (describe). **Not Apply**
- l. Samples chipped out for examination in spall areas:
 - 1. **No.**
 - 2. Yes – describe color, texture, aggregate, general quality.

6. FLOOR AND ROOF SYSTEMS

- a. Roof. **Wood joist with T & G decking and flat cement tile roofing. Playroom wood joist with T & G decking and recently replaced built-up roofing. 5th rafter from the north shows distress – replace or repair photograph at 10 c.**
- b. Floor system (s): **Concrete slab-on-grade**
- c. Inspection – note exposed areas available for inspection, and where it was necessary to open ceilings, etc. for inspection of typical members. **Opened ceiling tile in office area to inspect.**



7. STEEL FRAMING SYSTEMS

- a. Description. **Not Apply**
- b. Exposed steel – describe condition of paint and degree of corrosion: **Not Apply**

Thomas J. Crupel
6-2-18 #4486

- c. Concrete or other fireproofing – note any cracking or spalling and note where any covering was removed for inspection. **Not Apply**
- d. Elevator sheave beams & connections, and machine floor beams – note condition: **Not Apply**

8. CONCRETE FRAMING SYSTEMS

- a. Full description of structural system. **Reinforced poured concrete frame with masonry infill**
- b. Cracking: **None observed.**
 - 1. **Not significant. Not Apply**
 - 2. Location and description of members effected and type cracking. **Not Apply**
- c. General condition. **Good**
- d. Rebar corrosion – check appropriate line. **None observed.**
 - 1. **None visible**
 - 2. Minor – Patching will suffice
 - 3. Significant but patching will suffice
 - 4. Significant – structural repair (describe).
- e. Samples chipped out in spall areas: **Not Apply**
 - 1. **No**
 - 2. Yes – describe color, texture, aggregate, general quality:

9. WINDOWS

- a. Type (wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other). **Steel casement windows on office area, aluminum jalousie south east corner of office area, and aluminum awning on east wall of office area.**
- b. Anchorage – type and condition of fasteners and latches: **On average four screw anchors in each face of jamb**
- c. Sealants – type and condition of perimeter and sealants & at mullions: **Type of caulk unknown in varying condition.**
- d.



Thomas J. Cooper
6-2-18 #4466

- e. Interior seals – type & condition at operable vents: Aluminum seal good on awning windows
- f. General condition: Steel casement windows at entry need rust removal, paint and broken glass replaced.



10. WOOD FRAMING

- a. Type – fully describe mill construction, light construction, major spans, trusses: 3" x 6" wood joist with T & G wood deck in good condition.
- b. Note metal fittings i.e., angles, plates, bolts, split rings, pintles, other and note condition: All attachments and anchors appear in good condition.
- c. Joists – note if well fitted and still closed: The 5th rafter from the north wall of Playroom needs to be replaced or repaired under the direction of an architect or structural engineer. This will require a reinspection letter after correction. Until complete the room will not be occupied.
- d. Drainage – note accumulations of moisture: None observed.
- e. Ventilation – note any concealed spaces not ventilated: None observed.
- f. Note any concealed spaces opened for inspection: Ceiling tile in office area removed for observation.

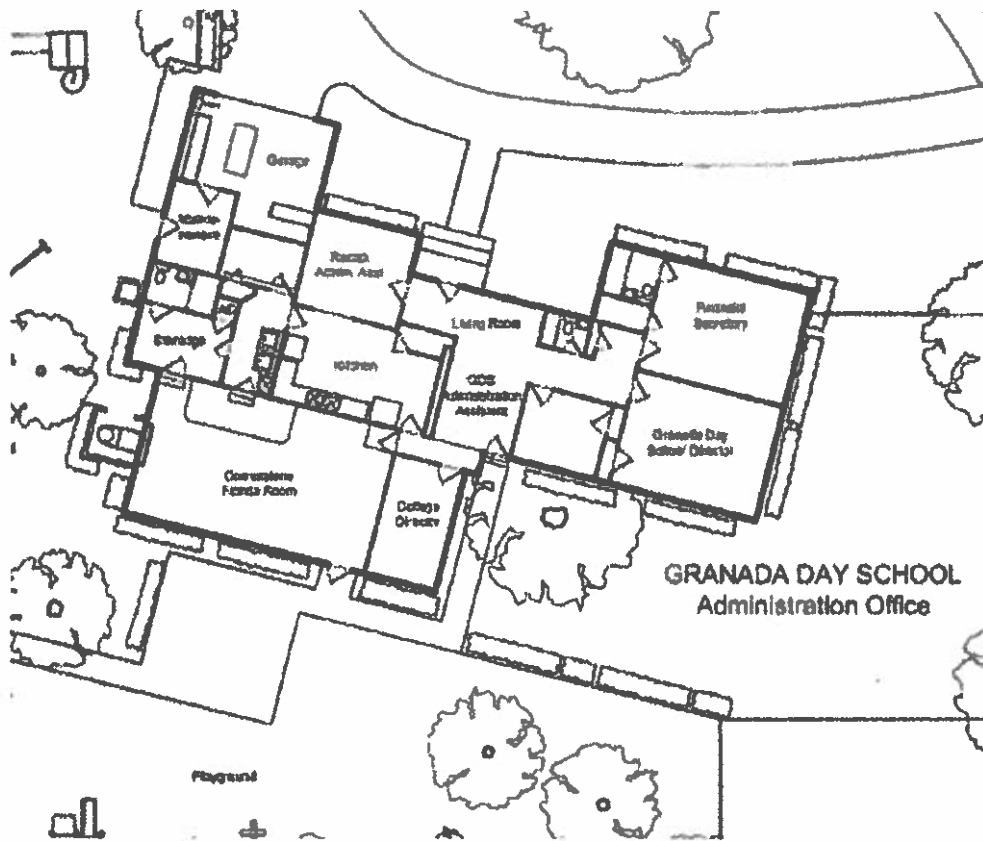


As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.


Thomas T. Cooper

#4486

6/2/18
Date



John J. Cooper
6-2-18 # 4486



MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED
Date: 04/27/2018

INSPECTION COMPLETED
Date: 05/02/2018

LICENSE #: 13003573

INSPECTION MADE BY: Jesus Jimenez
SIGNATURE: [Handwritten Signature]

PRINT NAME: Jesus Jimenez, President
TITLE: Electric Service Repair, Inc.

ADDRESS: 13335 SW 88th Ave
Miami, FL 33176

DESCRIPTION OF STRUCTURE #1-Cornerstone Building (Administration Building)

Form with fields for: a. Name on Title, b. Street Address, c. Legal Description, d. Owner's Name, e. Owner's Mailing Address, f. Folio Number, g. Building Code, h. Present Use, i. General Description, and Additional Comments.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (200) Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair (X)

Comments: Need new 200 amp meter main installed and new overload service riser. Existing service drop is approx. 7' AFF.

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction (X)

Comments: Add bonding bushings as needed. Equipment ground #6.

3. GUTTERS N/A

Location: Go od () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments:

4. ELECTRICAL PANELS

Location: Good () Needs Repair (X)

1. Panel #(A)

 Good () Needs Repair (X)

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments: [Replace existing homeline circuit breakers with ITE - Siemens](#)

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments: [Copier should have ded. circ.](#)

6. GROUNDING SERVICE:

Good () Repairs Required (X)

Comments: Need new grounding electrode conductor #4

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required (X)

Comments: Need #6 CU equipment ground for feeders

8. SERVICE CONDUITS/RACEWAYS:

Good (X) Repairs Required ()

Comments:

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required (X)

Comments:

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	()	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	(X)
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS: *Undersized 2/0 need to be 3/0*

Good () Repairs Required ()

Comments: *Repair exterior rear light remove cord/romex replace romex in garage.*

12. EMERGENCY LIGHTING:

Good () Repairs Required (X)

Comments: *Add emergency light in hallway. Add Exit in hallway. Add Exit/EM over front door. Add Exit/EM over back door. Add Exit/EM in kitchen/breakroom. Add EM in laundry room. Add Exit/EM over rear door of Florida room.*

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required (X)

Comments:

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments: No fire alarm system

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments:

16. EXIT LIGHTS:

Good () Repairs Required (X)

Comments: No existing exit lights. Add as needed

17. EMERGENCY GENERATOR: N/A

Good () Repairs Required ()

Comments:



City of Coral Gables
Development Services



RC-18-06-3177

950 UNIVERSITY DR #

Folio #: 03-4118-005-2080
Permit Description: BUILDING
RECERTIFICATION (1958)
BUILDING 2

EL _____
ME _____
PL _____

OFFICE SET

Section	Approved	
	By	Date
<input checked="" type="checkbox"/> BUILDING	<i>[Signature]</i>	7/17/18
<input type="checkbox"/> CONCURRENCY		
<input checked="" type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FEMA		
<input type="checkbox"/> FIRE		
<input type="checkbox"/> HANDICAP		
<input type="checkbox"/> HISTORICAL		
<input type="checkbox"/> LANDSCAPE		
<input type="checkbox"/> MECHANICAL		
<input type="checkbox"/> PLUMBING		
<input type="checkbox"/> PUBLIC WORKS		
<input type="checkbox"/> STRUCTURAL		
<input type="checkbox"/> ZONING		
<input type="checkbox"/>		
<input type="checkbox"/> OWNER BUILDER		

R

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans.
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

Special Inspector required for the following:

- Special Inspector for PILING
- Special Inspector for REINFORCED MASONRY
- Special Inspector for _____

RC-18-06-3177



RC-18-06-3177

