

# ADDITION/REMODELING TO THE AIROMLOO - CORO RESIDENCE

4200 SANTA MARIA STREET  
CORAL GABLES, FL 33146

## SCOPE OF WORK:

PROPOSED ATTACHED COVERED PERGOLA ADDITION IN THE REAR YARD- 255 SF AND GROUND FLOOR INTERIOR REMODELING OF AN EXISTING 2 STORY RESIDENCE, ADDITION TO INCLUDE REMODELED KITCHEN, DINING ROOM, AND UTILITY AREA. NEW POOL AND DECK AT REAR OF PROPERTY.

## LEGAL DESCRIPTION:

CORAL GABLES COUNTRY CLUB SEC 5, LOT 14 & E15FT LOT 13, BLK 93, PB 23-55. ALL LYING IN AND BEING IN MIAMI DADE COUNTY FLORIDA.

## FOLIO

03-4119-001-3700

## BUILDING CLASSIFICATION

OCCUPANCY: GROUP R-3 RESIDENTIAL  
CONSTRUCTION: TYPE III

## ZONING

DISTRICT: SFR SINGLE FAMILY RESIDENTIAL  
LOT AREA: 12,300 S.F.  
GROUND AREA COVERAGE: 35% MAX (4,305 S.F.)  
GROUND AREA PROVIDED: 3,079 S.F. (25%)  
OPEN SPACE: 40% REQD. (4,920 S.F.)  
OPEN SPACE PROVIDED: 8,073 S.F. (65.6%)  
BUILDING HEIGHT: 1 STORY, 13'-4" TO TIE BEAM

BUILDING CODE DATA	
PROJECT CLASSIFICATION	PER FBC 7TH EDITION EXISTING BUILDING CHAPTER 6 SECTION 603
REMODELING OF INTERIOR SPACE / EXTERIOR ALTERATION	ALTERATION - LEVEL 2 (FBCE)
OCCUPANCY	- FBCR 2020
GROUP - RESIDENTIAL	
CODES	
FLORIDA BUILDING CODE (FBC) - 2020 7TH EDITION	
FLORIDA BUILDING CODE EXISTING (FBCE) - 2020 7TH EDITION	
FLORIDA BUILDING CODE RESIDENTIAL (FBCR) - 2020 7TH EDITION	
FLORIDA BUILDING CODE PLUMBING (FBCR) - 2020 7TH EDITION	



2 LOCATION PLAN N.T.S.

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ADARC INC  
ARCHITECTURE

ADALBERTO A. DELGADO R.A.  
AR 0013636

5735 SW 39th Street  
MIAMI, FL 33183  
TEL: 305.776.3276  
archmiamiad@gmail.com

G2 Consulting Group, Inc  
9725 SW 4th TERRACE  
MIAMI FL 33174  
786-291-0037  
Joaquin Montesino, PE  
lic#69969

STRUCTURAL ENGINEER

C.C.E

COTO CONSULTING ENGINEER, LLC  
PEDRO PABLO COTO, P.E.  
PE. No: 85311  
CA. No: 33441  
TEL: 3053162999  
E-mail: pedrocoto37@gmail.com

CONSULTING ENGINEERS

MEP ENGINEER

PROJECT:  
ADDITION/REMODELING TO THE  
AIROMLOO - CORO RESIDENCE  
4200 SANTA MARIA STREET  
CORAL GABLES, FL 33146

CLIENT:  
OMID DAVID AIROMLOO TRS, IVETTE M CORO TRS  
4200 SANTA MARIA STREET  
CORAL GABLES, FL 33146

BOA: 04/26/2023

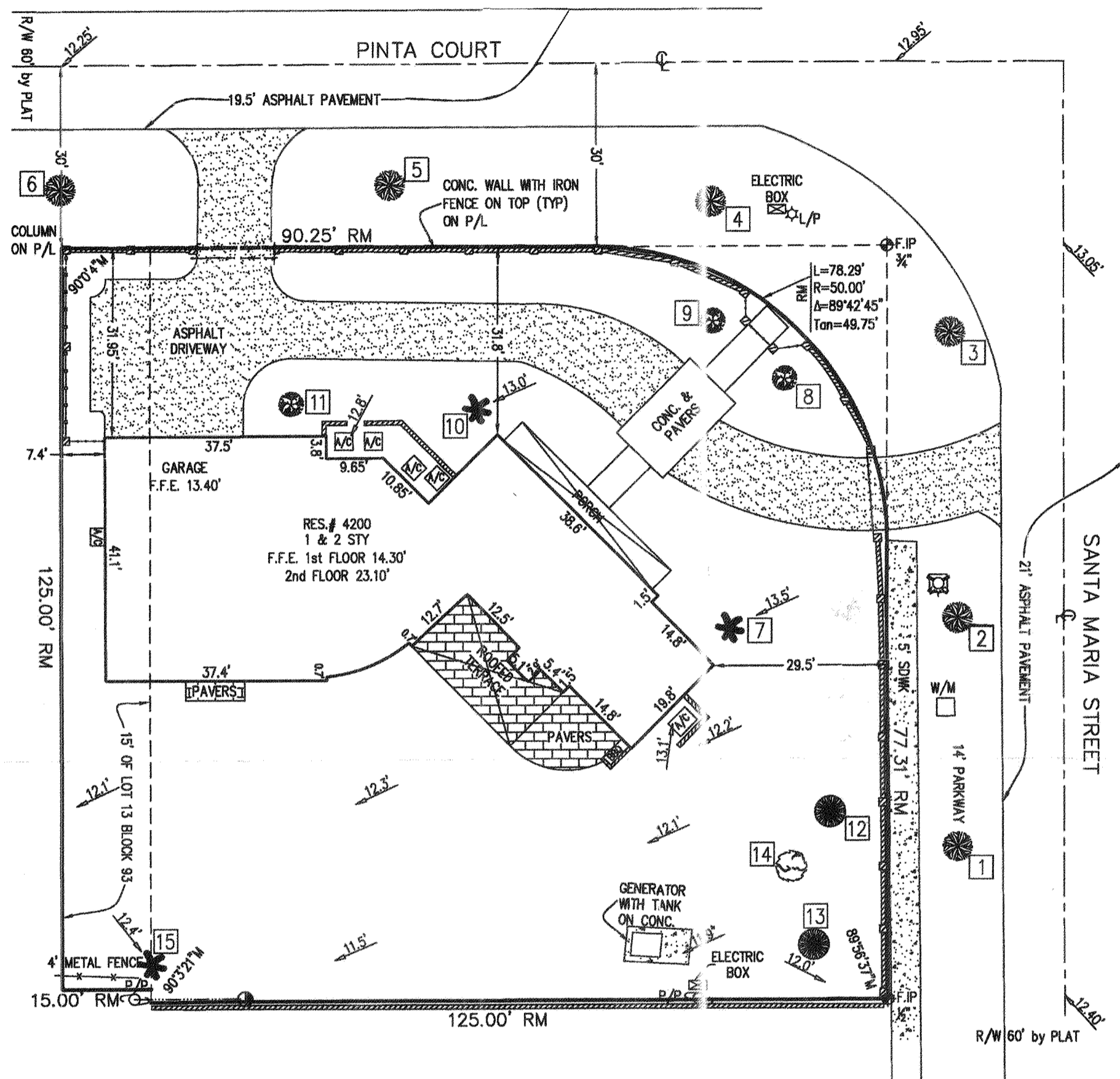
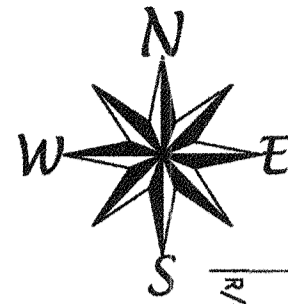
REVISIONS:

REV 01 11/28/23

SHEET NUMBER: **A1.0**  
SITE PLAN

# SKETCH OF SURVEY

SCALE: 1"=20'



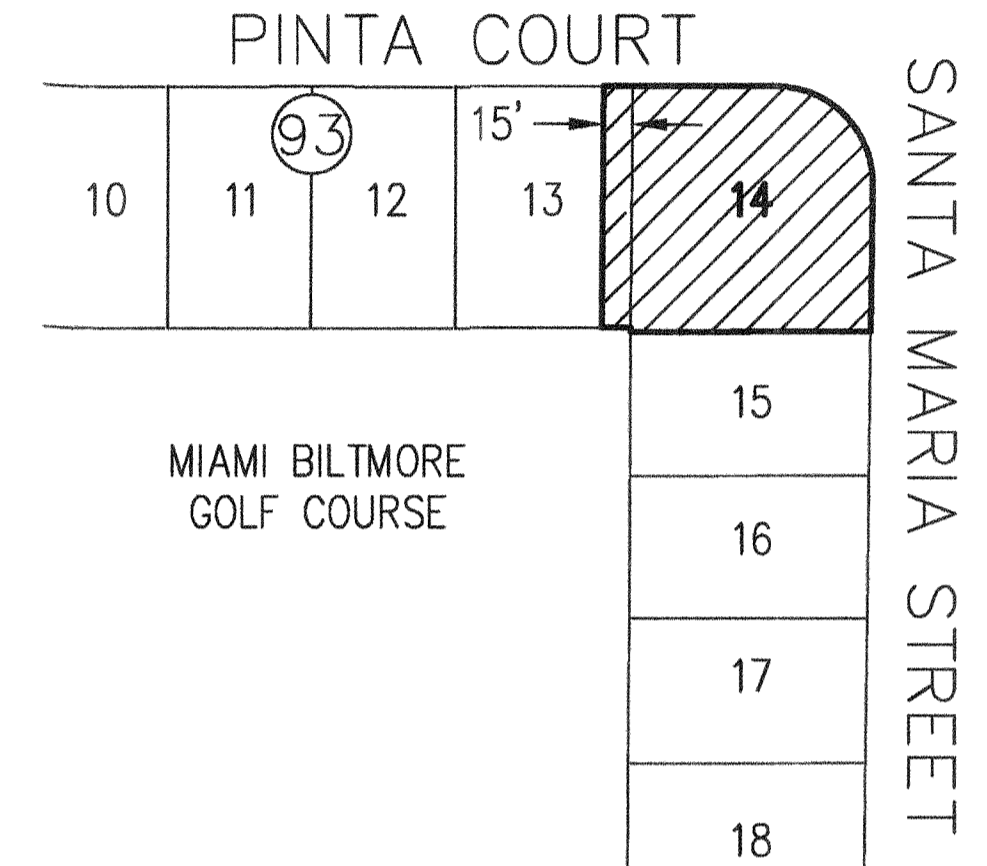
FOR: OMID DAVID AIROMLOO AND IVETTE MICHELLE CORO  
 ADDRESS: 4200 SANTA MARIA STREET, CORAL GABLES, FLORIDA 33146  
 LEGAL DESCRIPTION:  
 LOT 14 AND THE EAST 15 FEET OF LOT 13 BLOCK 93 OF "AMENDED PLAT OF CORAL GABLES COUNTRY CLUB SECTION PART FIVE"  
 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23 AT PAGE 55 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,  
 FLORIDA.

JOB No.: 0821211

SURVEY DATE: 08-21-2021

REVISIONS:  
 ADD SPOT ELEVATIONS AND LOCATE TREES 02-15-2023

LOCATION MAP (NTS)



#	NAME	DIAMETER (inches)	HEIGHT (feet)	SPREAD (feet)
1	WATER OAK	2.50	30	50
2	WATER OAK	2.00	30	50
3	WATER OAK	2.50	30	50
4	WATER OAK	2.50	30	50
5	WATER OAK	1.20	25	35
6	WATER OAK	2.50	30	50
7	3 PALMS (CLUMP)	3.00	25	20
8	ORANGE JASMINE	0.50	13	15
9	ORANGE JASMINE	0.50	13	15
10	3 PALMS (CLUMP)	3.00	30	20
11	ORANGE JASMINE	0.50	15	15
12	OAK	0.70	20	25
13	OAK	1.20	20	25
14	PINK SHOWER	1.20	30	30
15	PALM	1.30	30	10

### ABBREVIATIONS

ENC=ENCROACHMENT (BASED ON APPARENT PHYSICAL USE), SDWK=SIDEWALK, P/L=PROPERTY LINE, F=FOUND, STY=STORY, A/C=AIR CONDITIONING UNIT, PC=POINT OF CURVATURE, PT=POINT OF TANGENCY, D/H=DRILL HOLE, RES=RESIDENCE, CONC=CONCRETE, RW=RIGHT-OF-WAY, (TYP)=TYPICAL, (M)=FIELD MEASURED, (C)=CALCULATED, (R)=RECORD, C/N=CUTNAIL, R/N=ROUND NAIL, N/TT=NAIL & TIN TAB, S=SET, FFE=FINISH FLOOR ELEVATION, O/S=OFF SET, PB=PLAT BOOK, PG.=PAGE, NTS=NOT TO SCALE, PRC=POINT OF REVERSE CURVE, PCC=POINT OF COMPOUND CURVE, POC=POINT OF COMMENCE, POB=POINT OF BEGINNING, CB=CHORD BEARING, BLDG=BUILDING, EASM=T=EASEMENT, UT EASM=T=UTILITY EASEMENT, DME=DRAINAGE MAINTENANCE EASEMENT, C.N.A.=CORNER NOT ACCESSIBLE, M.SH.=METAL SHED, P/F=PLASTIC FENCE, MH=MANHOLE, CL=CLEAR

### SURVEYOR'S NOTES:

1) PROPERTY SURVEYED ACCORDING TO LEGAL DESCRIPTION PROVIDED BY CLIENT; 2) UNLESS NOTED PROPERTY CORNER MONUMENTS HAVE NO ID; 3) EXAMINATION OF ABSTRACT OF TITLE AND A SEARCH OF THE PUBLIC RECORDS WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS AFFECTING THE PROPERTY; 4) BELOW SURFACE LOCATION NOT DONE; 5) THIS SURVEY IS FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON; 6) NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, OR DIGITALLY SIGNED AND SEALED BY A FLORIDA LICENSED SURVEYOR AND MAPPER; 7) IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" MEETS THE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472-027, FLORIDA STATUTES.

**FREEDOM OF LAND CORP**  
 Surveying Services  
 1150 NW 72nd AVENUE  
 TOWER 1, SUITE 351  
 MIAMI, FLORIDA 33126  
 305.266.4451 - 305.262.5007 / LB4515

FLOOD INFORMATION  
 COMMUNITY: 120639  
 PANEL: 12086C0457  
 SUFFIX: L  
 FLOOD ZONE: X  
 BASE FLOOD ELEV: N/A  
 DATE OF FIRM: 09-11-2009

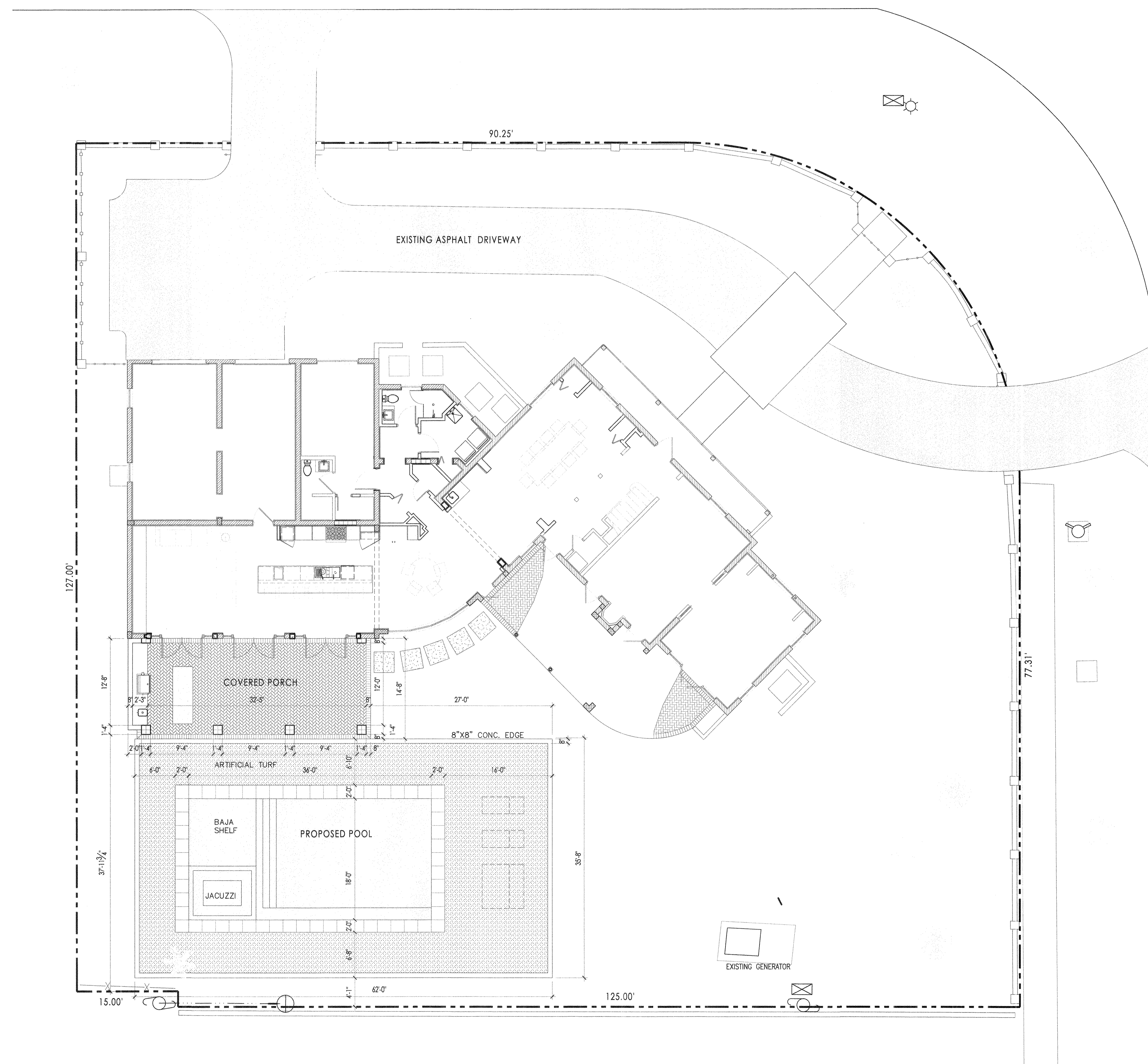
*Enrique H. Pousada*  
 Registered Land Surveyor No. 5133  
 STATE OF FLORIDA

THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE

NOTES:  
 1) BENCHMARK USED MIAMI-DADE No. CG-10-R ELEVATION 13.09 FEET NGVD OF 1929  
 2) 0.00' DENOTES EXISTING ELEVATION (NGVD 1929)  
 3) TREES ARE APPROXIMATELY LOCATED AND DENOTED HEREON ARE FOR INFORMATIONAL PURPOSE ONLY. CONSULT A BOTANIST AND/OR LANDSCAPE ARCHITECT FOR MORE SPECIFIC INFORMATION ON TREE SPECIES.

**LEGENDS**  
 [Symbol] = CATCH BASIN [Symbol] = GUY ANCHOR [Symbol] = HYDRANT [Symbol] = IRON PIPE [Symbol] = IRON ROD [Symbol] = LIGHT POLE  
 [Symbol] = SEWER MANHOLE [Symbol] = DRAINAGE MANHOLE [Symbol] = NAIL & DISC [Symbol] = POWER POLE [Symbol] = WATER METER  
 [Symbol] = WELL [Symbol] = SIGN [Symbol] = CENTERLINE [Symbol] = MONUMENT LINE [Symbol] = CHAIN LINK FENCE  
 [Symbol] = OVERHEAD POWERLINE [Symbol] = CONCRETE FENCE [Symbol] = METAL FENCE [Symbol] = WOOD FENCE

PINTA COURT



SANTA MARIA STREET

1 SITE PLAN  
 SCALE: 1/8"=1'-0"

**ADARC INC**  
 ARCHITECTURE

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 AR 0013636

5735 SW 39th Street  
 MIAMI, FL 33183  
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 archmiamiaad@gmail.com

ARCHITECT

**G2 Consulting Group, Inc**  
 9725 SW 4th TERRACE  
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 786-291-0037  
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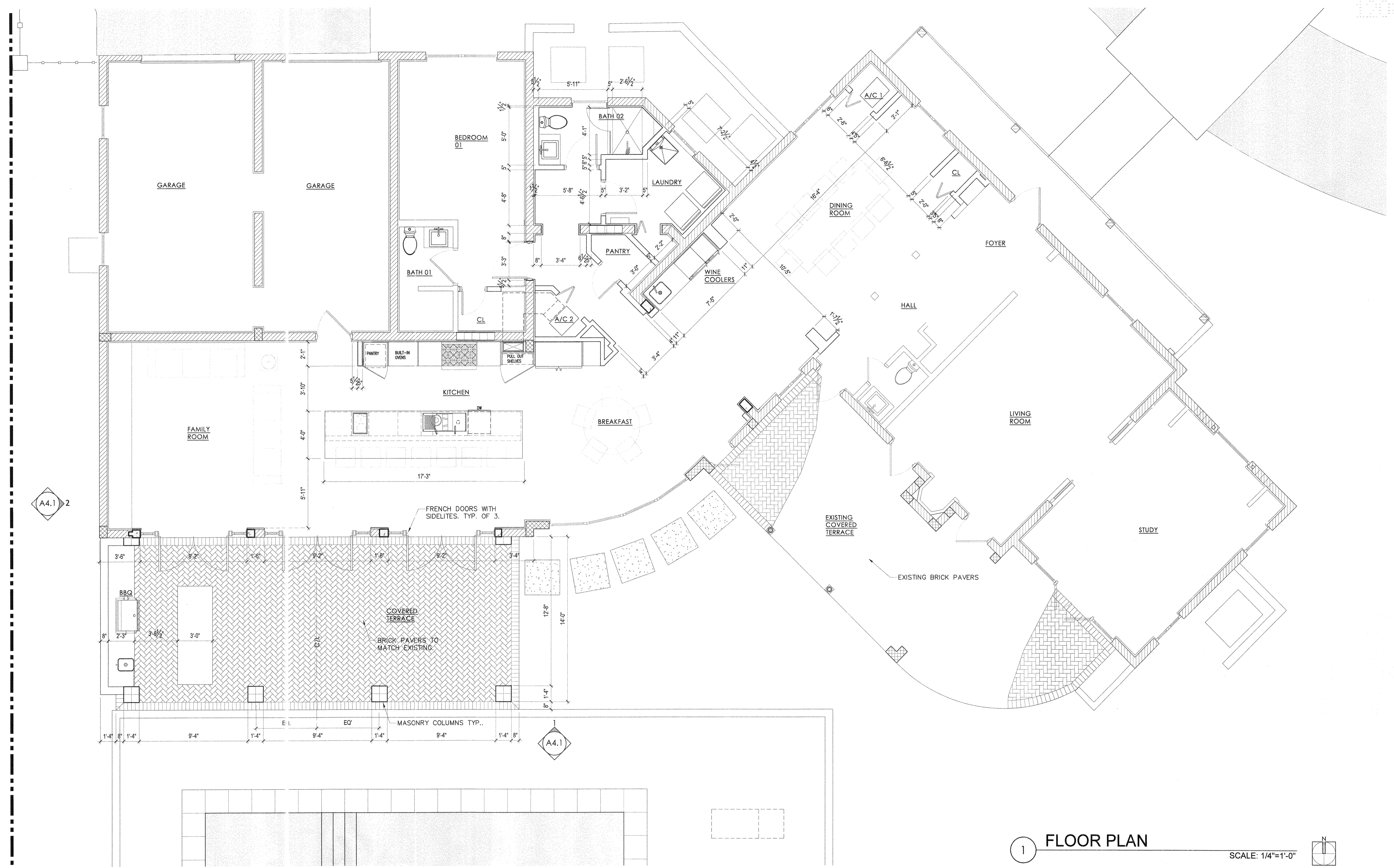
MEP ENGINEER

PROJECT:  
 ADDITION/REMODELING TO THE  
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CLIENT:  
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B.O.A.: 04/26/2023

REVISIONS:  
 REV 01 11/28/23



1 FLOOR PLAN  
SCALE: 1/4"=1'-0"

- ### WALL LEGEND
- EXISTING 8" CBS WALL WITH NEW 5/8" GWB ON 1"X P.T. WD. (OR 7/8" MTL) FURRING INTERIOR SIDE. PROVIDE RIGID OR SPRAY FOAM INSULATION ON ALL EXTERIOR FACING WALLS IN BETWEEN FURRING (R-5 MIN.).
  - EXISTING STUD FRAMED PARTITION W/ NEW 5/8" GWB FINISH EACH SIDE.
  - WALL: 8" REINFORCED C.M.U. WALL W/ SMOOTH STUCCO ON ALL EXPOSED EXTERIOR SURFACES - 5/8" GWB ON 1"X P.T. WD. (OR 7/8" MTL) FURRING INTERIOR SIDE. PROVIDE RIGID OR SPRAY FOAM INSULATION ON ALL EXTERIOR FACING WALLS IN BETWEEN FURRING (R-5 MIN.). REFER TO STRUCTURAL DWG.S FOR REINFORCING.
  - PARTITION: 2"X4" WD. STUDS (OR 3-5/8" MTL) @ 16" O.C. W/ 5/8" GWB. BOTH SIDES. LEVEL 5 FINISH ALL LIVING SPACES/ LEVEL 4 FINISH @ BEDROOMS AND CORRIDORS. PROVIDE (2) 2"X4" AT BASE AND (1) 2"X4" AT HEAD.

- ### GENERAL NOTES
1. VERIFY ALL DIMENSIONS IN FIELD AND REPORT DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING WORK.
  2. DIMENSIONS ARE REFERENCED TO FACE OF CONC WALL OR FINISHED FACE OF FRAMED PARTITIONS. DIMENSIONS SHOWN ON PLAN ARE NOMINAL.
  3. PATCH AND REPAIR EXISTING ADJACENT FINISHES DAMAGED BY PROPOSED CONSTRUCTION AND/OR DEMOLITION TO MATCH ADJACENT FINISH. UNO.
  4. FIRE BLOCKING IN PARTITIONS AND FURRED SPACES SHALL BE PROVIDED AT VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET - FBR R302.11. FIREBLOCKING MATERIALS SHALL COMPLY W/ FBC R302.11.
  5. WOOD IN CONTACT WITH CONCRETE, MASONRY WALLS, SHALL BE PRESSURE-TREATED.
  6. REFER TO SHEET A-14 FOR POOL SAFETY NOTES.

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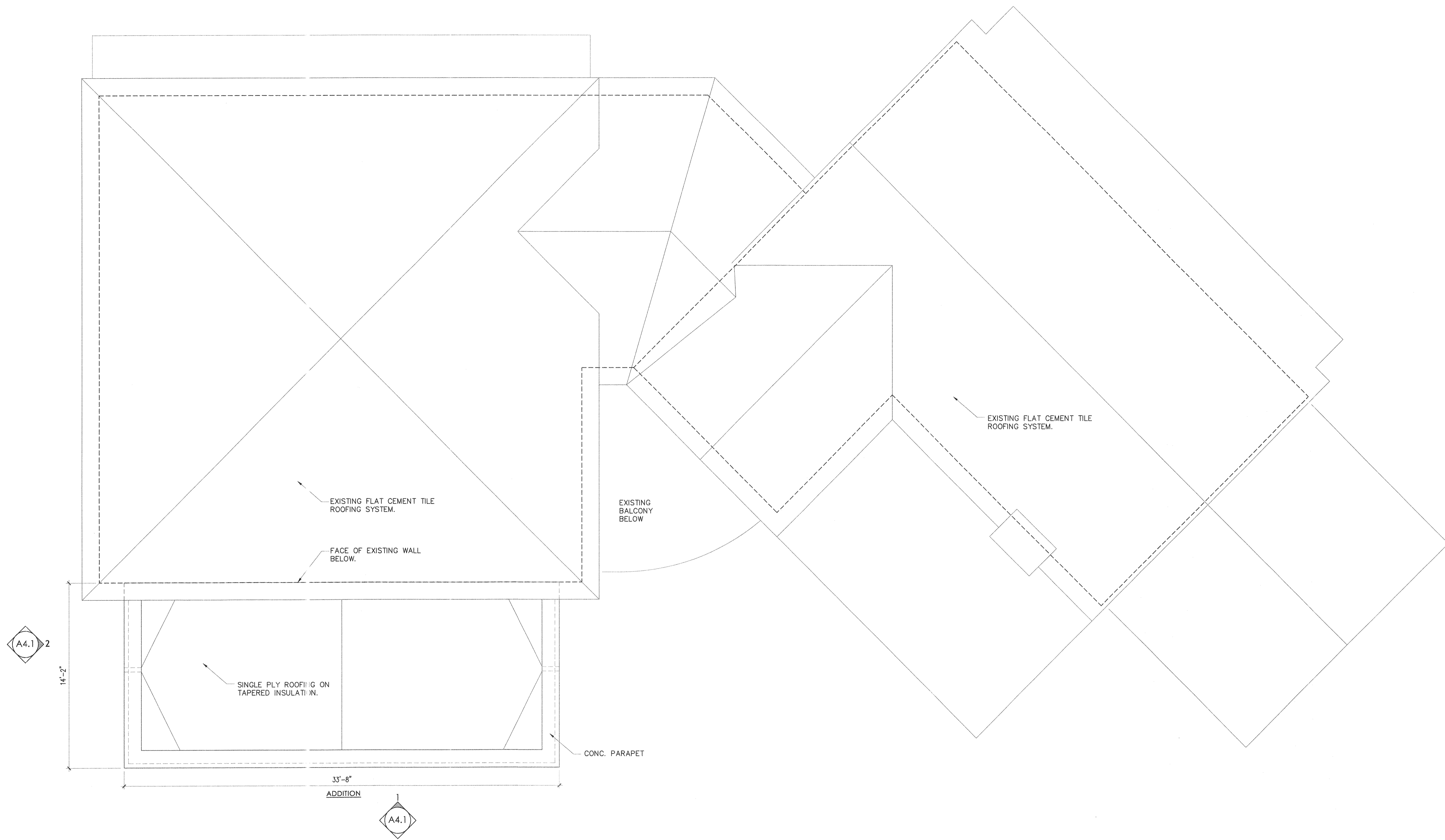
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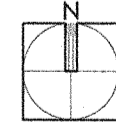
△	REV 01	11/28/23
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FLOOR PLAN

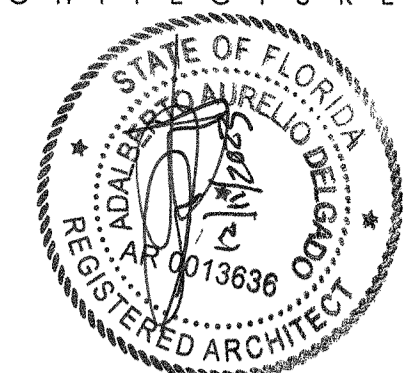


1 ROOF PLAN

SCALE: 1/4"=1'-0"



**ADARC INC**  
ARCHITECTURE



ADALBERTO A. DELGADO R.A.  
AR 0013636

5735 SW 39th Street  
MIAMI, FL 33183  
TEL: 305.776.3276  
archmiamiaad@gmail.com

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MIAMI FL 33174  
786-291-0037  
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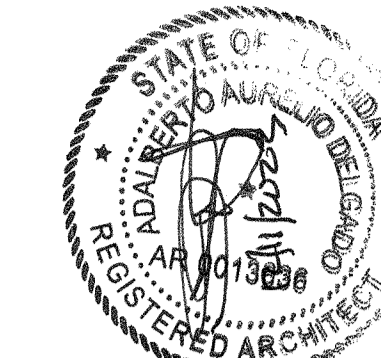
BOA: 04/26/2023

REVISIONS:

△ REV 01 11/28/23

SHEET NUMBER: **A2.2**

ROOF PLAN



ADALBERTO A. DELGADO R.A.  
AR 0013636

5735 SW 39th Street  
MIAMI, FL 33183  
TEL: 305.776.3276  
archmiamiaad@gmail.com

ARCHITECT

G2 Consulting Group, Inc  
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MIAMI FL 33174  
786-291-0037  
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STRUCTURAL ENGINEER

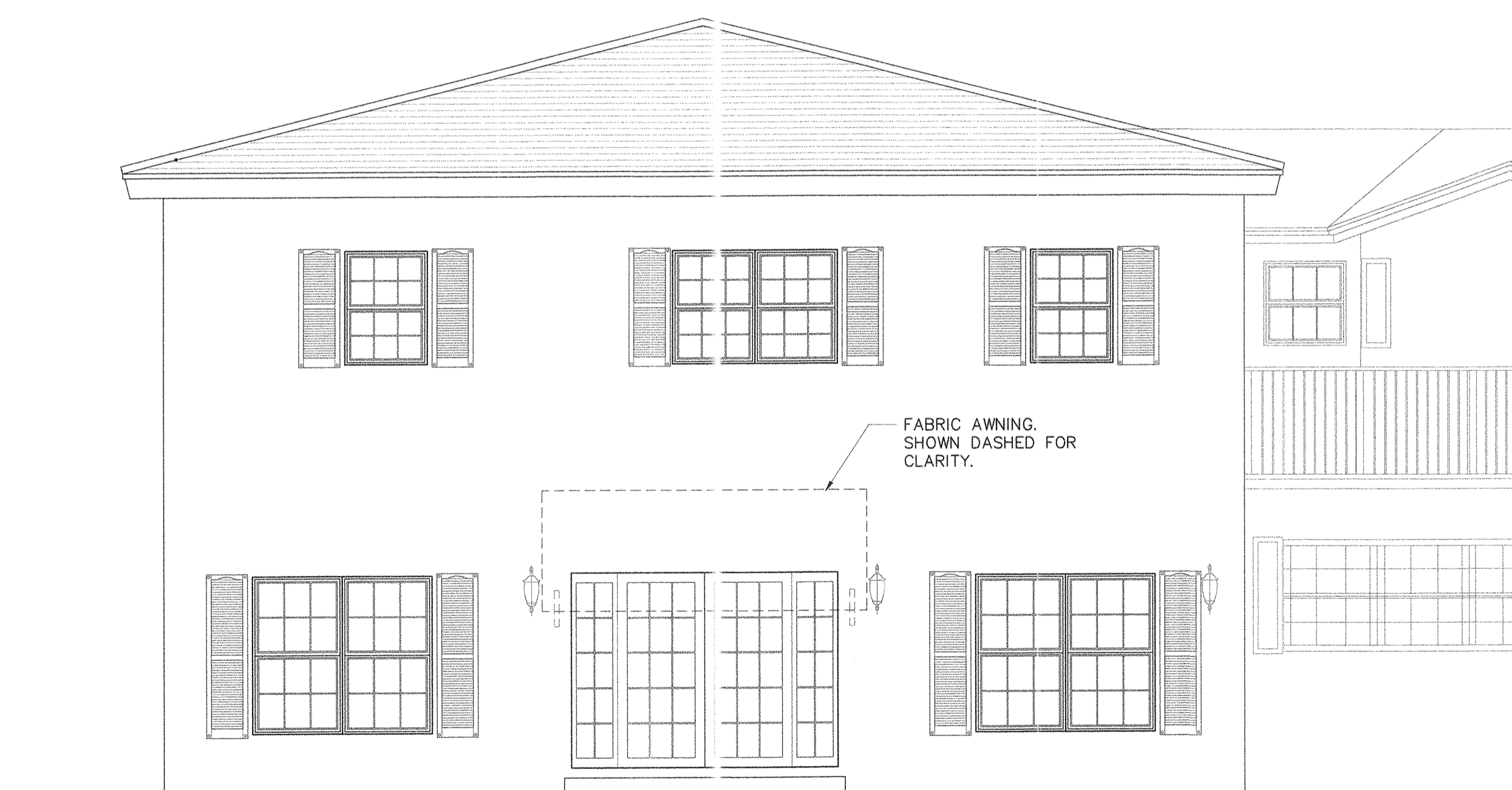
**C.E.**  
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CONSULTING ENGINEERS

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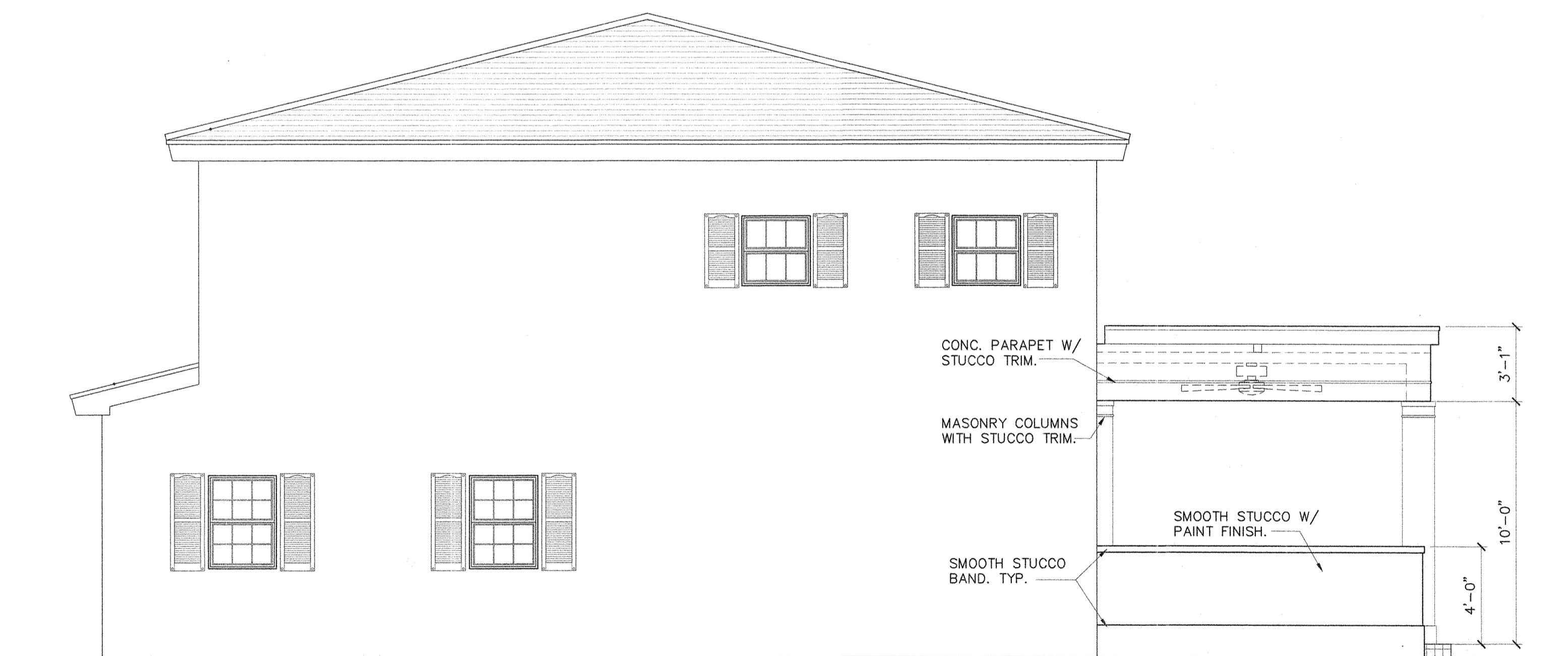


GLASS/ALUM. FRENCH DOORS AND SIDELITES. TYP.  
PGT PREFERRED FRENCH DOOR  
FD 650. COLOR: WHITE.

1 SOUTH ELEVATION  
REAR YARD ELEVATION SCALE: 1/4"=1'-0"



3 EXISTING SOUTH ELEVATION  
REAR YARD ELEVATION (PARTIAL) SCALE: 1/4"=1'-0"



2 WEST ELEVATION  
SIDE YARD ELEVATION SCALE: 1/4"=1'-0"

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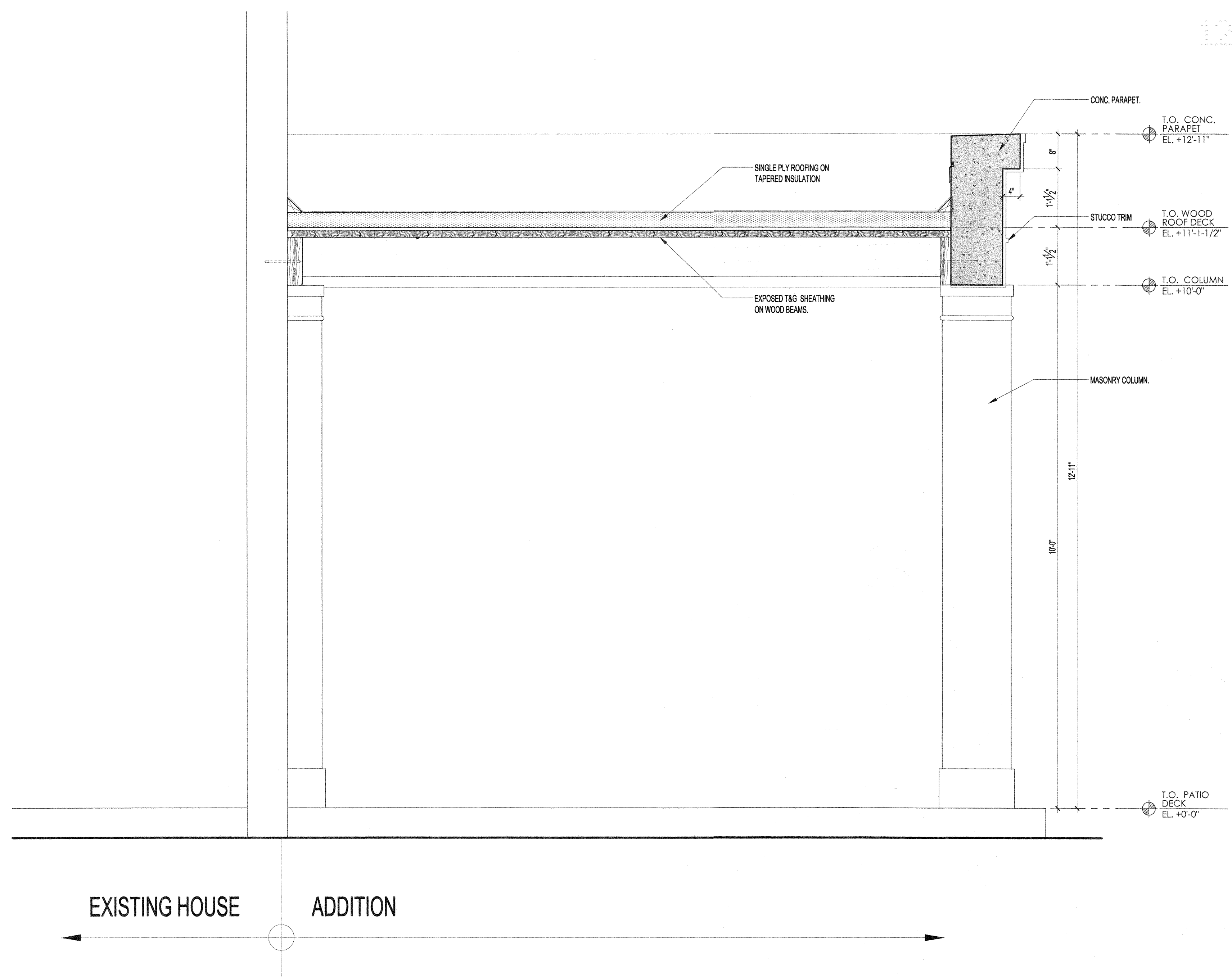
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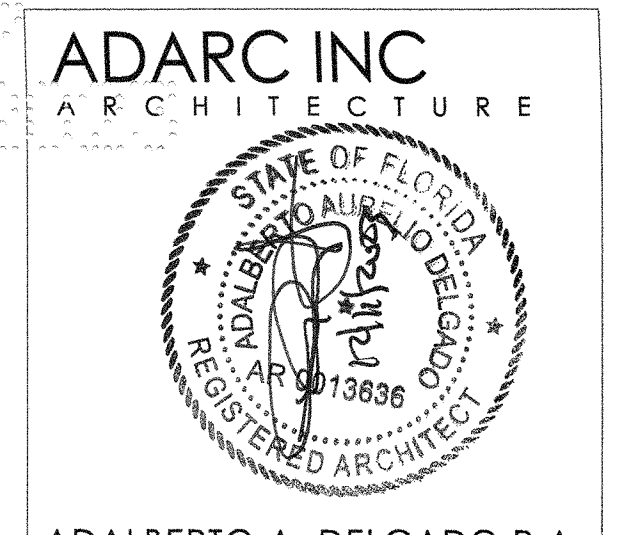
REVISIONS:  
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SHEET NUMBER: A4.1

EXTERIOR ELEVATIONS



1 WALL SECTION SCALE: 3/4"=1'-0"



ADARC INC ARCHITECTURE

ADALBERTO A. DELGADO R.A.  
A R 0 0 1 3 6 3 6

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MIAMI, FL 33183  
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BOA: 11/28/2023

REVISIONS:  
REV 01 11/28/23

SHEET NUMBER: A-5  
WALL SECTIONS

VOID

# ADDITION/REMODELING TO THE AIROMLOO - CORO RESIDENCE

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PROPOSED ATTACHED COVERED PERGOLA ADDITION IN THE REAR YARD - 255 SF AND GROUND FLOOR INTERIOR REMODELING OF AN EXISTING 2 STORY RESIDENCE. ADDITION TO INCLUDE REMODELED KITCHEN, DINING ROOM, AND UTILITY AREA. NEW POOL AND DECK AT REAR OF PROPERTY.

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CORAL GABLES COUNTRY CLUB SEC 5, LOT 14 & E15FT LOT 13, BLK 93, PB 23-55. ALL LYING IN AND BEING IN MIAMI DADE COUNTY FLORIDA.

## FOLIO

03-4119-001-3700

## BUILDING CLASSIFICATION

OCCUPANCY: GROUP R-3 RESIDENTIAL  
CONSTRUCTION: TYPE III

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ALTERATION - LEVEL 2 (FBCE)

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2 LOCATION PLAN

N.T.S.

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REGISTERED ARCHITECT  
ADALBERTO A. DELGADO R.A.  
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5735 SW 39th Street  
MIAMI, FL 33183  
TEL: 305.776.3276  
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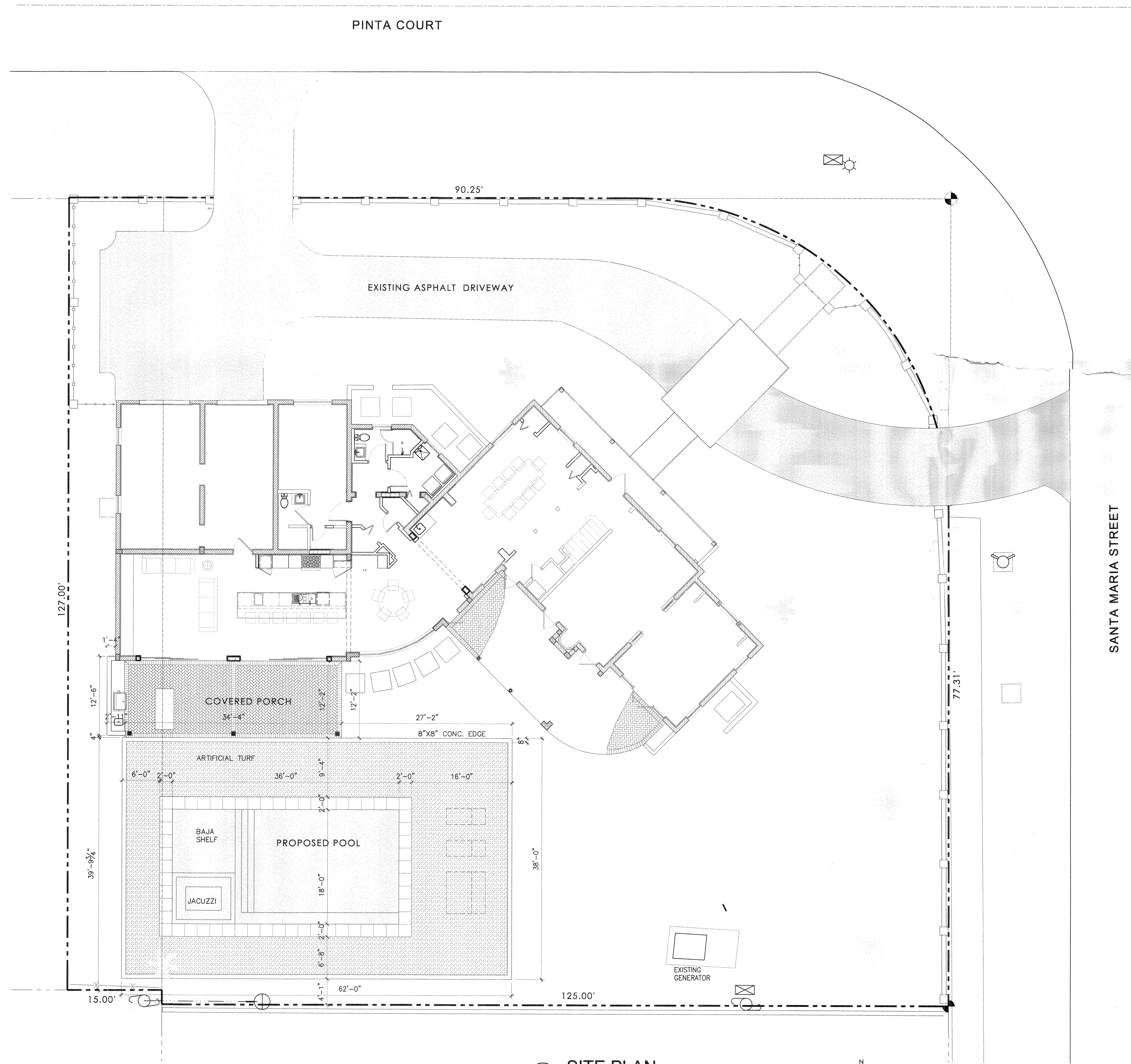
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BOA: 04/26/2023

REVISIONS:

SHEET NUMBER: A1.0  
SITE PLAN VOID





1 SITE PLAN SCALE: 1/8"=1'-0"

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STATE OF FLORIDA  
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786-291-0037  
Joaquin Montesino, PE  
lic#69969

STRUCTURAL ENGINEER

**G2 CONSULTING ENGINEERS, LLC**  
PEDRO PABLO GONZALEZ, P.E.  
PE No: 85311  
CA No: 33441  
TEL: 3053162999  
E-mail: pedrocoto37@gmail.com

CONSULTING ENGINEERS

MEP ENGINEER

PROJECT:  
ADDITION/REMODELING TO THE  
AIROMLOO - CORO RESIDENCE  
4200 SANTA MARIA STREET  
CORAL GABLES, FL 33146

CLIENT:  
OMID DAVID AIROMLOO TRS, IVETTE M CORO TRS  
4200 SANTA MARIA STREET  
CORAL GABLES, FL 33146

BOA: 04/26/2023

REVISIONS:

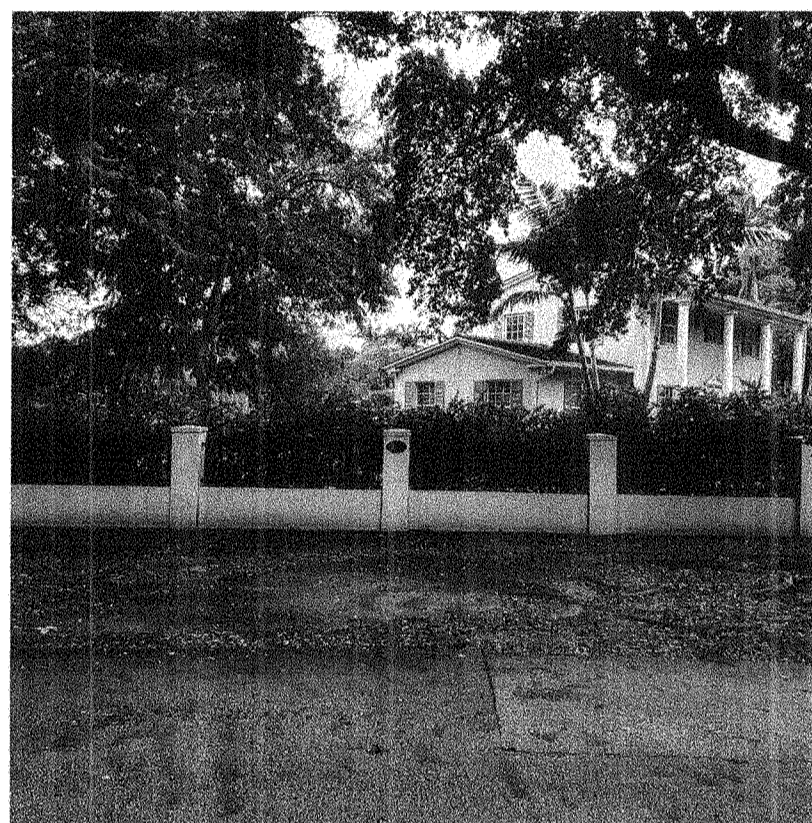
SHEET NUMBER: **A1.1**  
SITE PLAN VOID



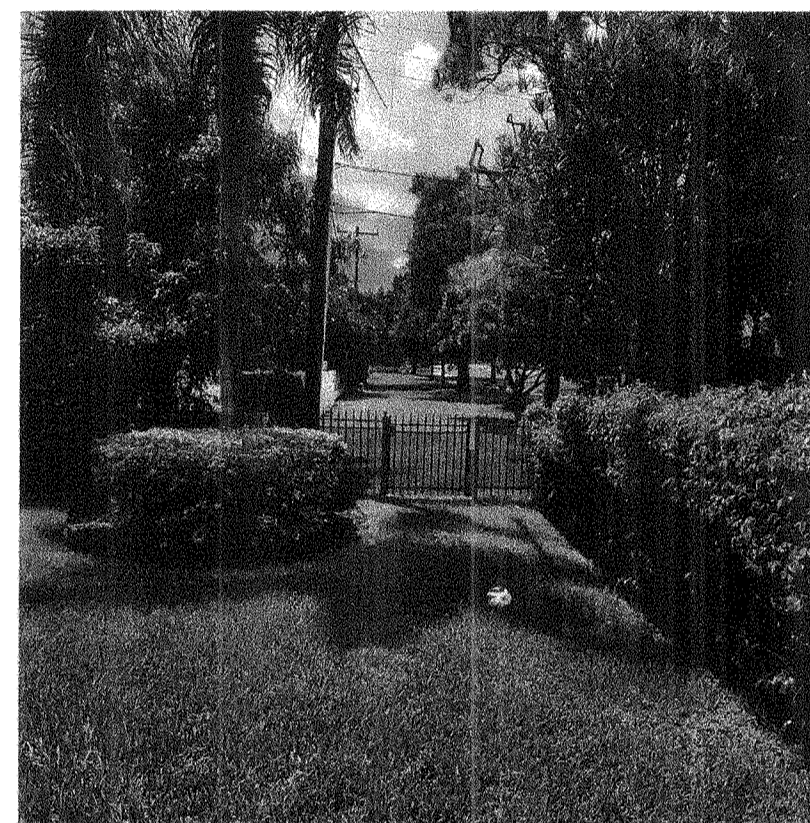
2 SOUTH ELEVATION  
4200 SANTA MARIA



1 SOUTH ELEVATION  
4200 SANTA MARIA



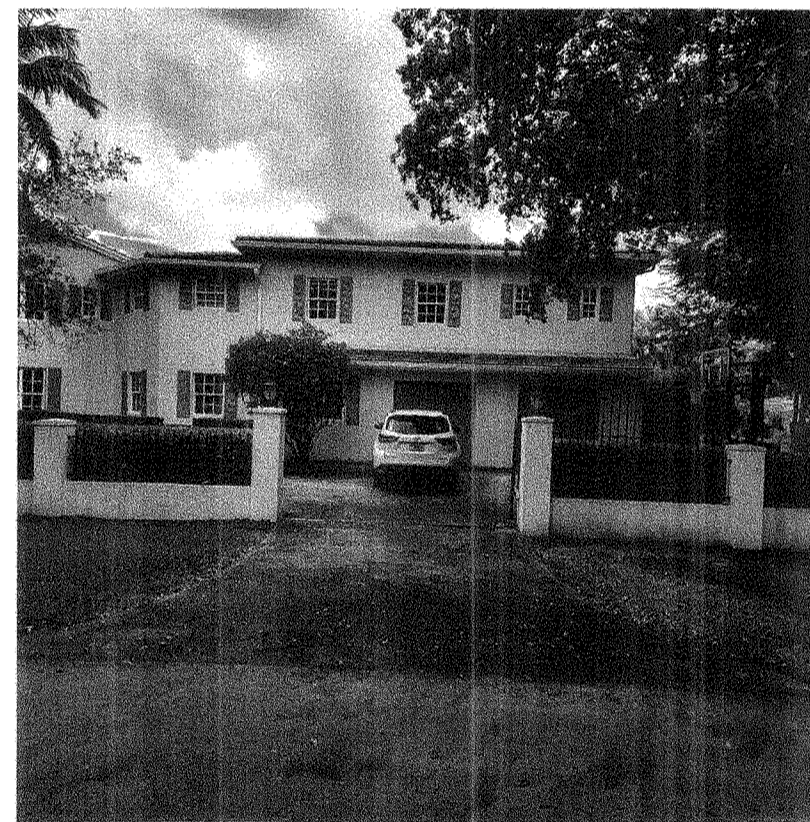
4 EAST ELEVATION  
4200 SANTA MARIA



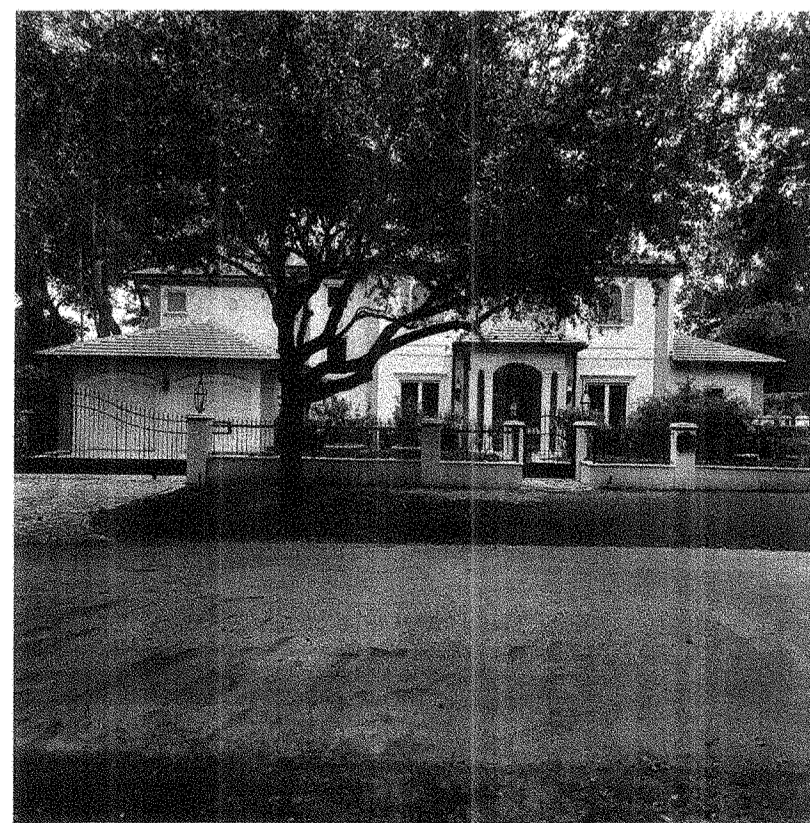
3 VIEW TOWARD GOLF COURSE  
4200 SANTA MARIA



6 NORTH ELEVATION  
4145 PINTA COURT



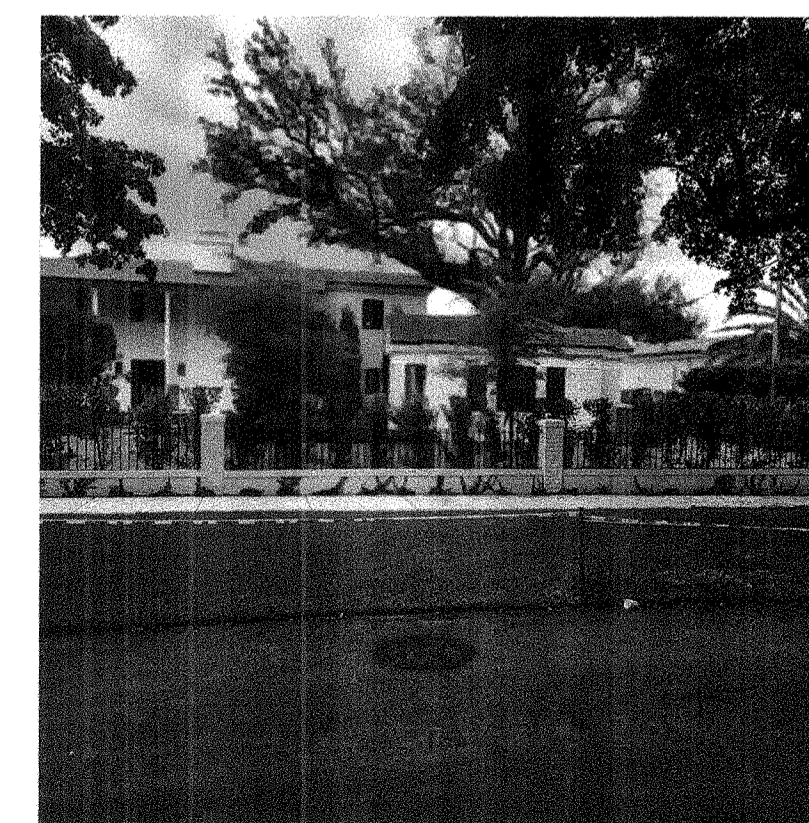
5 NORTH ELEVATION  
4200 SANTA MARIA



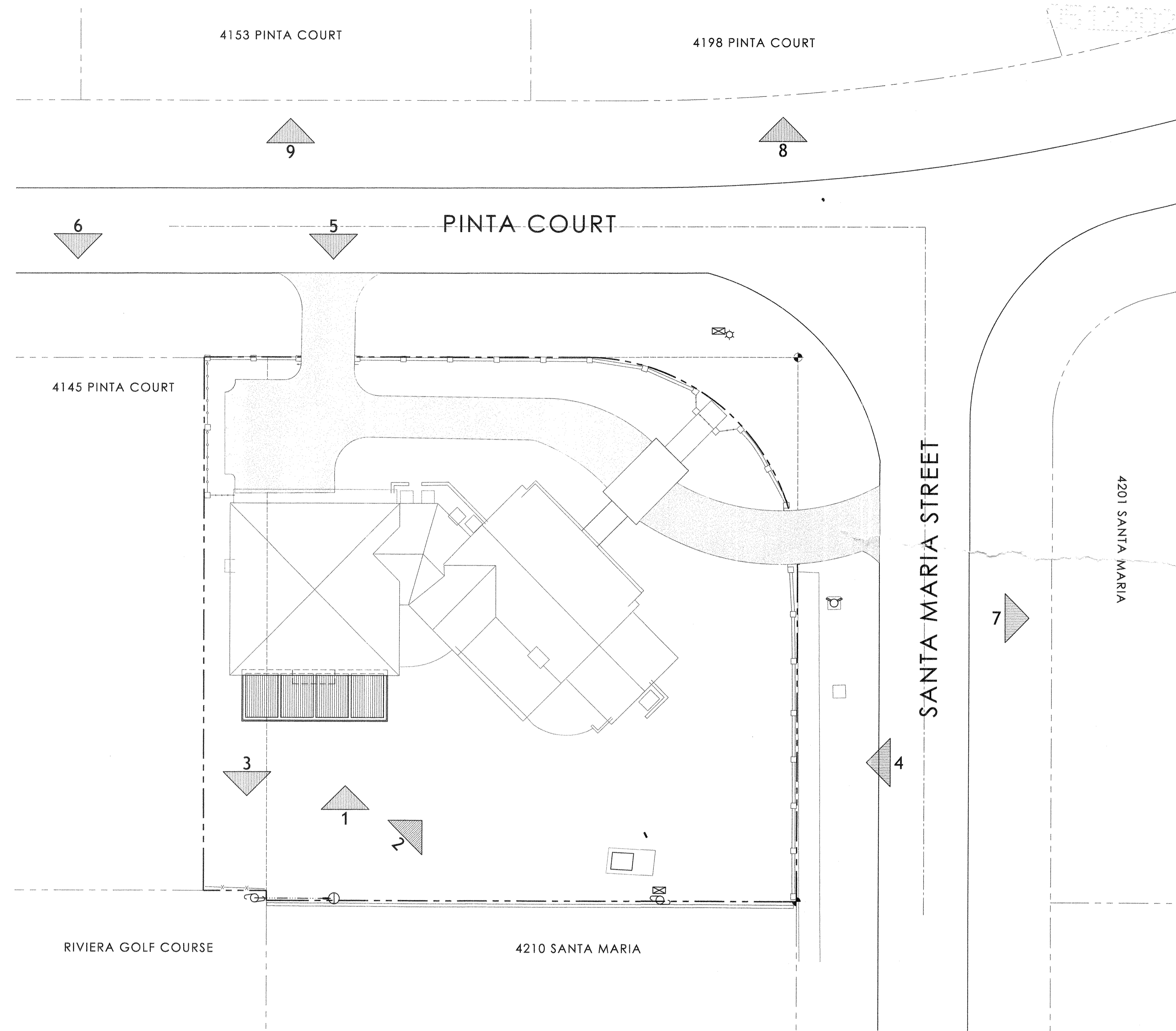
9 SOUTH ELEVATION  
4153 PINTA COURT



8 SOUTH ELEVATION  
4198 PINTA COURT



7 WEST ELEVATION  
4201 SANTA MARIA



(A) REFERENCE PLAN SCALE: 1/16"=1'-0"

ADARC INC  
ARCHITECTURE  
STATE OF FLORIDA  
ADALBERTO A. DELGADO R.A.  
AR 0013636

5735 SW 39th Street  
MIAMI, FL 33183  
TEL: 305.776.3276  
archmiamiad@gmail.com  
ARCHITECT

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9725 SW 4th TERRACE  
MIAMI FL 33174  
786-291-0037  
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STRUCTURAL ENGINEER  
C.E.  
COTO CONSULTING ENGINEER, LLC  
PEDRO PABLO COTO, P.E.  
PE No: 85311  
CA No: 33441  
TEL: 3053162999  
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MEP ENGINEER

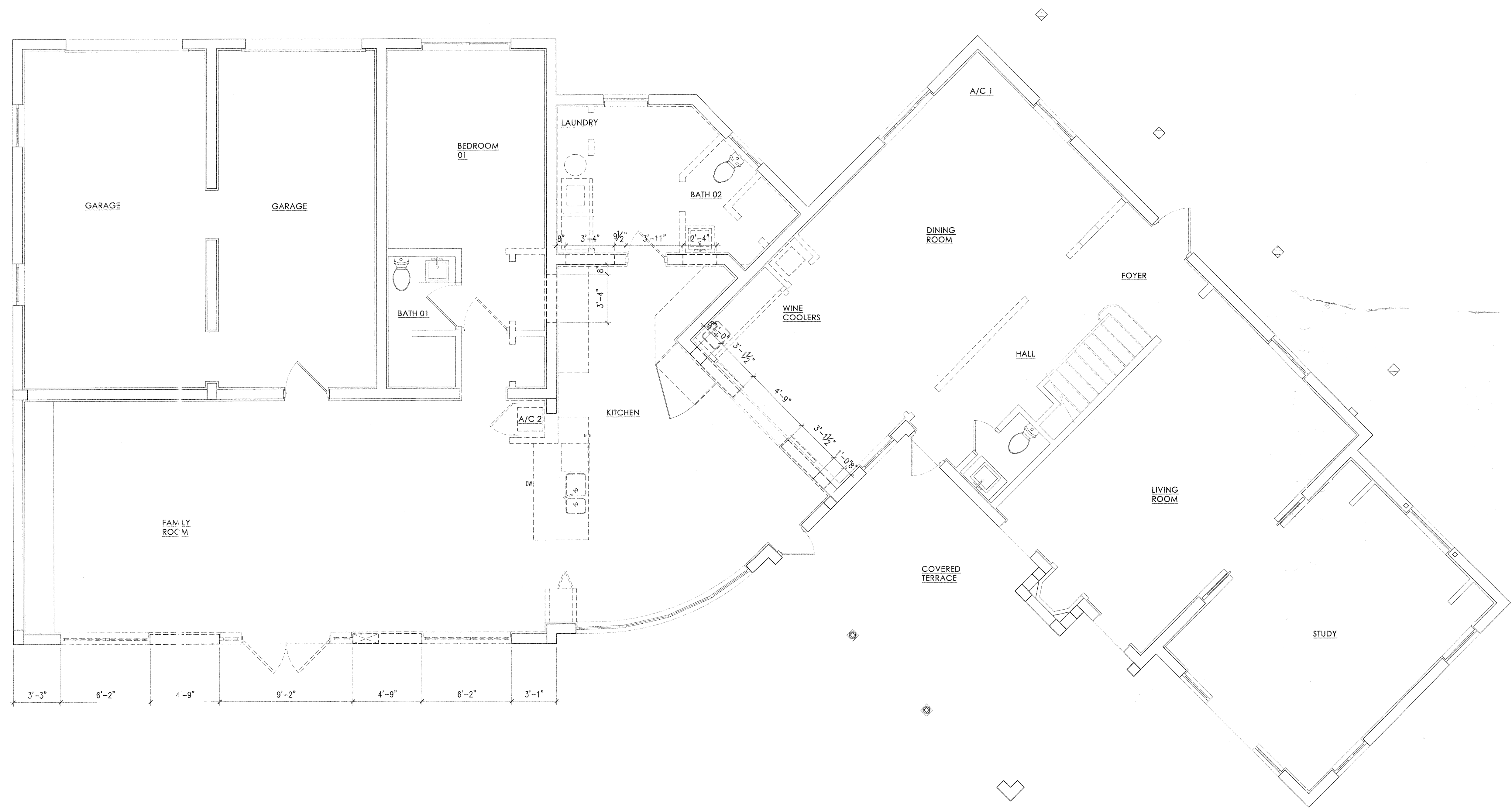
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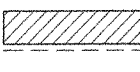


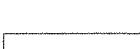

BOA: 04/26/2023  
REVISIONS:

SHEET NUMBER: A1.2  
SITE PHOTOS VOID

05/22/23



### DEMOLITION LEGEND

-  EXISTING CMU WALL TO REM IN. REMOVE INTERIOR GWB FINISH.
-  EXISTING CMU WALL TO DEMOLISHED.
-  EXISTING PARTITION WALLS TO REMAIN.
-  EXISTING BEARING PARTITION WALLS TO REMAIN.
-  EXISTING PARTITION WALLS TO BE DEMOLISHED. DEMOLISH ALL DOORS AND WINDOWS IN WALL.

1 DEMOLITION PLAN  
 SCALE: 1/4"=1'-0" 

**ADARC INC**  
 ARCHITECTURE

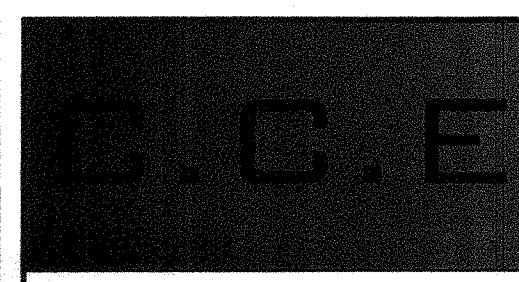


ADALBERTO A. DELGADO R.A.  
 AR 0013636

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 MIAMI, FL 33183  
 TEL: 305.776.3276  
 archmiamiad@gmail.com  
 ARCHITECT

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 9725 SW 4th TERRACE  
 MIAMI FL 33174  
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 ADDITION/REMODELING TO THE  
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 4200 SANTA MARIA STREET  
 CORAL GABLES, FL 33146

CLIENT:  
 Omid David Airomloo Trs, Ivette M Coro Trs  
 4200 SANTA MARIA STREET  
 CORAL GABLES, FL 33146

BOA: 04/26/2023  
 REVISIONS:

SHEET NUMBER: **A2.0**  
 DEMO PLAN *VOID*

**ADARG INC**  
 ARCHITECTURE  
 REGISTERED ARCHITECT  
 ADALBERTO A. DELGADO R.A.  
 AR 0013636

5735 SW 39th Street  
 MIAMI, FL 33183  
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 ARCHITECT

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 9725 SW 4th TERRACE  
 MIAMI FL 33174  
 786-291-0037  
 Joaquin Montesino, PE  
 lic #69969

STRUCTURAL ENGINEER

**COTO CONSULTING ENGINEER, LLC**  
 PEDRO PABLO COTO, P.E.  
 PE No: 85311  
 CA No: 33441  
 TEL: 3053162999  
 E-mail: pedrocoto37@gmail.com  
 CONSULTING ENGINEERS

MEP ENGINEER

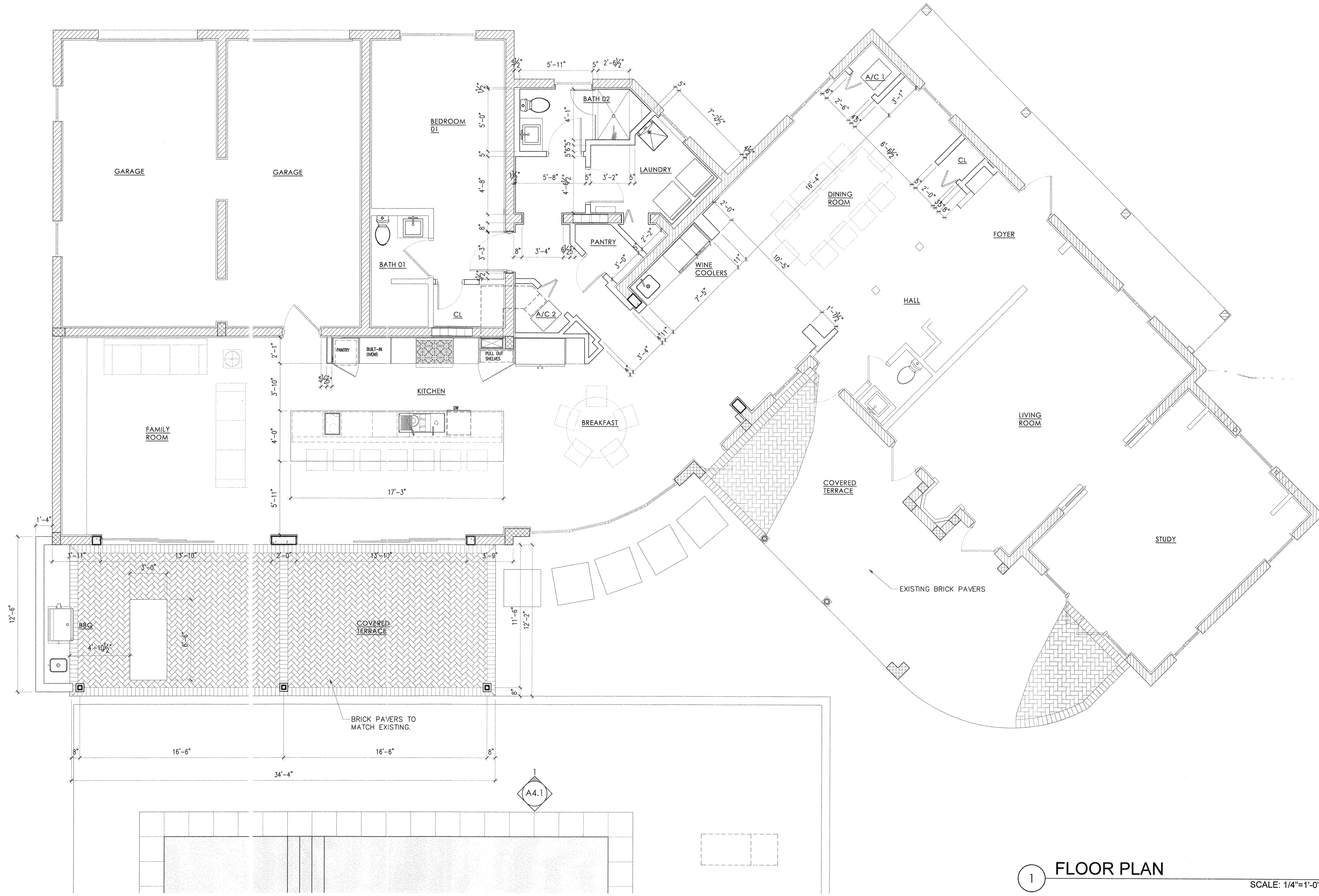
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 CORAL GABLES, FL 33146

CLIENT:  
 OMIID DAVID AIROMLOO TRS. VETTE M CORO TRS  
 4200 SANTA MARIA STREET  
 CORAL GABLES, FL 33146

BOA: 04/26/2023

REVISIONS:

SHEET NUMBER: **A2.1**  
 FLOOR PLAN *VOID*



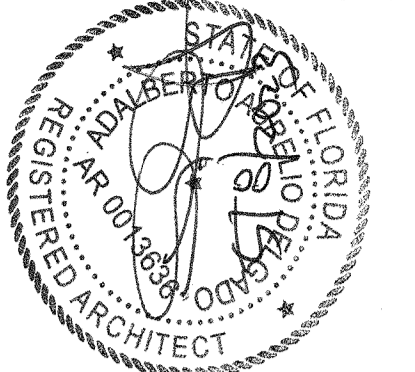
**1 FLOOR PLAN** SCALE: 1/4"=1'-0"

- WALL LEGEND**
- EXISTING 8" CBS WALL WITH NEW 5/8" GWB ON 1"X P.T. WD. (OR 7/8" MTL) FURRING INTERIOR SIDE. PROVIDE RIGID OR SPRAY FOAM INSULATION ON ALL EXTERIOR FACING WALLS IN BETWEEN FURRING (R-5 MIN.).
  - EXISTING STUD FRAMED PARTITION W/ NEW 5/8" GWB FINISH EACH SIDE.
  - WALL: 8" REINFORCED C.M.U. WALL W/ SMOOTH STUCCO ON ALL EXPOSED EXTERIOR SURFACES - 5/8" GWB ON 1"X P.T. WD. (OR 7/8" MTL) FURRING INTERIOR SIDE. PROVIDE RIGID OR SPRAY FOAM INSULATION ON ALL EXTERIOR FACING WALLS IN BETWEEN FURRING (R-5 MIN.). REFER TO STRUCTURAL DWG.S FOR REINFORCING.
  - PARTITION: 2"X4" WD. STUDS (OR 3-5/8" MTL) @ 16" O.C. W/ 5/8" GWB. BOTH SIDES. LEVEL 5 FINISH ALL LIVING SPACES/ LEVEL 4 FINISH @ BEDROOMS AND CORRIDORS. PROVIDE (2) 2"X4" AT BASE AND (1) 2"X4" AT HEAD.

- GENERAL NOTES**
1. VERIFY ALL DIMENSIONS IN FIELD AND REPORT DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING WORK.
  2. DIMENSIONS ARE REFERENCED TO FACE OF CONC WALL OR FINISHED FACE OF FRAMED PARTITIONS. DIMENSIONS SHOWN ON PLAN ARE NOMINAL.
  3. PATCH AND REPAIR EXISTING ADJACENT FINISHES DAMAGED BY PROPOSED CONSTRUCTION AND/OR DEMOLITION TO MATCH ADJACENT FINISH. UND.
  4. FIRE BLOCKING IN PARTITIONS AND FURRED SPACES SHALL BE PROVIDED AT VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET - FBR R302.11. FIREBLOCKING MATERIALS SHALL COMPLY W/ FBC R302.11.
  5. WOOD IN CONTACT WITH CONCRETE, MASONRY WALLS, SHALL BE PRESSURE-TREATED.
  6. REFER TO SHEET A-14 FOR POOL SAFETY NOTES.

1512302

ADARC INC  
ARCHITECTURE



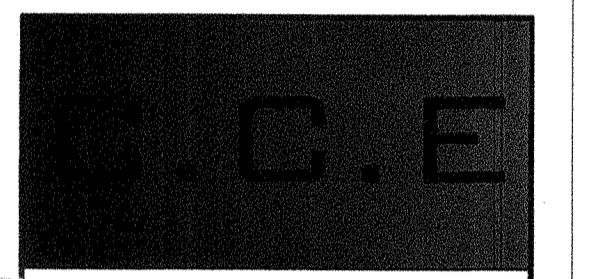
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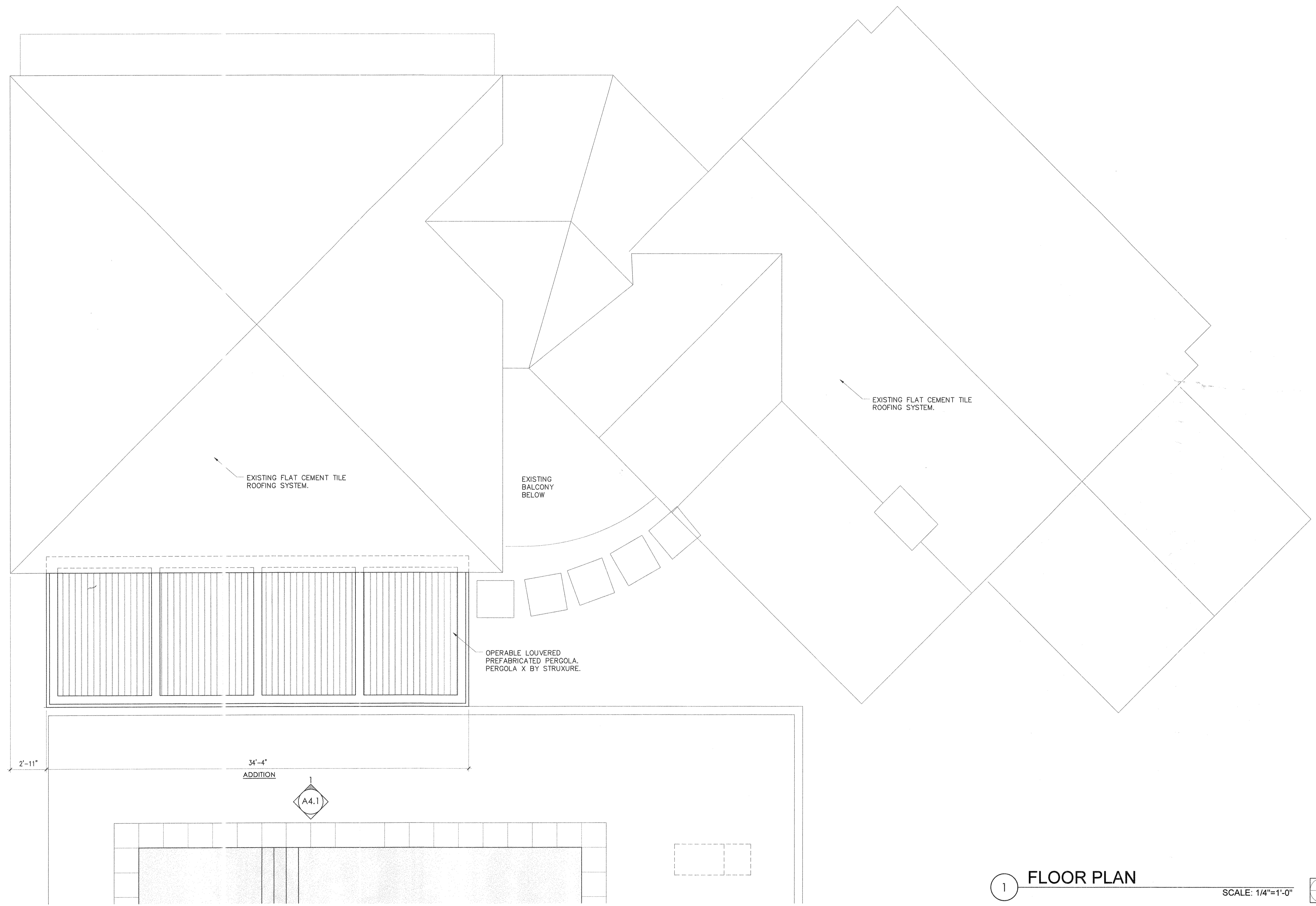
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BOA: 04/26/2023

REVISIONS:

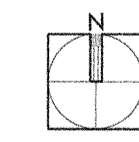
SHEET NUMBER: **A2.2**  
ROOF PLAN *VOID*

A4.1

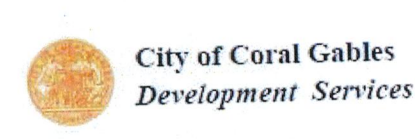


1 FLOOR PLAN

SCALE: 1/4"=1'-0"



HISTORIC PROPERTY



# Office Set

BOAR-23-05-0599  
4200 SANTA MARIA ST  
Folio #: 0341190013700

*ok for BOA  
Needs HPB approval & copy  
See comments attached*

Description: HISTORIC Interior Renovations - Adding an exterior pergola in the backyard - Pool and Pool Deck

EL \_\_\_\_\_  
ME \_\_\_\_\_  
PL \_\_\_\_\_  
USE AND OCCUPANCY \_\_\_\_\_  
OCCUPANT LOAD \_\_\_\_\_  
BUILDING CODE VERSION \_\_\_\_\_  
CONSTRUCTION TYPE \_\_\_\_\_  
RESIDENTIAL \_\_\_\_\_ NON-RESIDENTIAL \_\_\_\_\_

INDICATE THE TYPE OF FLOOD ZONE AND PROPOSED LOWEST FLOOR ELEVATION OR FLOOD PROOFING ELEVATION IN RELATION TO MEAN SEA LEVEL (MSL)

DISTRICT REQUIRED PROPOSED  
CIBT \_\_\_\_\_  
SFE \_\_\_\_\_  
OTHER \_\_\_\_\_

NEW CONSTRUCTION SUBSTANTIAL IMPROVEMENT  
YES \_\_\_\_\_ NO \_\_\_\_\_  
YES \_\_\_\_\_ NO \_\_\_\_\_

Special Inspector required for the following:  
 Special Inspector for PILING  
 Special Inspector for REINFORCED MASONRY  
 Special Inspector for \_\_\_\_\_

Section	Approved	
	By	Date
<input type="checkbox"/> BUILDING		
<input type="checkbox"/> CONCURRENCY		
<input type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FEMA		
<input type="checkbox"/> FIRE		
<input type="checkbox"/> HANDICAP		
<input type="checkbox"/> HISTORICAL		
<input type="checkbox"/> LANDSCAPE	DM	5/23/23
<input type="checkbox"/> MECHANICAL		
<input type="checkbox"/> PLUMBING		
<input type="checkbox"/> PUBLIC WORKS		
<input type="checkbox"/> STRUCTURAL		
<input type="checkbox"/> ZONING		
<input type="checkbox"/> CITY ARCHITECT	Allen	1/11/24
<input type="checkbox"/> OWNER BUILDER	Allen	1/11/24

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of set results from these plans. THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONSTRUCTION NOT IN COMPLIANCE WITH ANY

**BOARD OF ARCHITECTS**  
 DEFERRED  REJECTED   
 Callum 6.1.23  
 Callum 6.1.23  
 Callum 6.1.23  
 DATE CHAIRPERSON

- 1) 3 DAYS INSTEAD OF 2
- 2) 3 SETS OF DOORS PREFERABLY FRENCH
- 3) LOWER HGT OF STRUCTURE
- 4) BUILD-OUT PERGOLA STRUCTURE AND INSERT OPERABLE PERGOLA SYSTEM.

Callum 6.1.23  
 Callum 6/1/23  
 P. 1.11.24

**THIS PRELIMINARY IS FOR ARCHITECTURAL DESIGN ONLY and is approved subject to submission of full size details on final plans. Zoning Code, Building Code, Plumbing Code and all other regulations must be complied with. SUBMIT THIS DRAWING WITH FINAL PLANS.**

Board of Architects

Callum 1/11/24