

CERTIFICATE OF APPROPRIATENESS
APPLICATION
CITY OF CORAL GABLES - HISTORICAL RESOURCES AND CULTURAL ARTS DEPARTMENT

1. 4501 SANTA MARIA STREET SANTA MARIA STREET
Building Address Historic name of building (if any) District Name (if any)
LT 22 & N25 FT LOT 23 9 CORAL GABLES COUNTRY CLUB SEC PT 5
Legal Description: Lot(s) Block(s) Section
JEFFREY & MALENA NEWBAUER 4501 SANTA MARIA ST 305 799.0885
Owner's Name Street Address Zip Code Phone No.
(Required) e-mail: MRKIRK1947@YAHOO.COM
JEFFREY NEWBAUER 4501 SANTA MARIA ST 305 799.0885
Applicant's Name Street Address Zip Code Phone/Fax
(Required) e-mail: MRKIRK1947@YAHOO.COM
LOCUS ARCHITECTURE INC 500 S. DIXIE HWY, STE 307, CORAL GABLES 305.740.0120
Contractor/Arch/Engineer's Name Street Address Zip Code Phone/Fax
(Required) e-mail: HEL@LOCUSARCHITECTURE.NET

2. PLEASE INDICATE THE CATEGORY WHICH DESCRIBES THE PROPOSED WORK:

☐ Minor Alterations ☐ New Construction ☒ Addition ☐ Rehabilitation
☐ Demolition ☐ Other:

3. Will the work proposed require a variance from the Zoning Code?

☐ NO ☒ YES, from section(s)

Attach the requested variance language to this form

4. Has this property been qualified as a Coral Gables Cottage? ☒ NO ☐ YES (attach a copy of qualification sheet)

5. This request is: ☒ new ☐ result of a violation ☐ a revision to a previous submittal ☐ a revision to a previously approved COA
Case File: _____

6. WORK PROPOSED: Brief narrative of work to be performed.

FULL INTERIOR REMODEL, RESTORE ORIGINAL HISTORIC ELEMENTS, MEP UPGRADES,
ENCLOSE LOGGIA TO NEW AC AREA, ENCLOSE SCREENED ROOM TO NEW AC AREA,
SITE UPGRADES, NEW POOL & NEW SITE WALL.

7. Variance requests require a processing fee. Payment must be included with the application. Please make check payable to the City of Coral Gables. Applications for ad valorem tax relief must be filed on a separate application form prior to construction.

8. The following supplementary information (where applicable) shall be provided:*

☐ Site Plan (with dimensions) ☐ Floor Plan(s) (with dimensions) ☐ Elevations(s) (with dimensions) ☐ Mailing list & 3 sets of labels
Before/After Before/After Before/After VARIANCES/DEMOLITIONS
☐ Photos ☐ Survey (5 yrs or younger) ☐ Color/Material Sample ☐ Letter of Intent ☐ Reduced Plans 11x17
Labeled Board review (1 Orig + 16 copies) Board review (16 swatches) Board review (16 copies) Board review 2 sign/seal + 14 req.
2 per page Non-Board (1 original) Non-Board review (1 set) Non-Board review (1 copy) Non-Board review (1 set)
☐ Copy of Board of Architects Comments/Recommendations ☐ CD/USB with electronic copies of submittal items ☐ Fee variance or violations only ☐ PowerPoint ☐ Other on CD/USB

- Application will not be scheduled for a hearing unless received in completed form by the established due date (subject to staff review).
- Applications will be accepted only when a completed application form is submitted together with the necessary supplemental materials.
- All drawings & supporting information must be collated into the correct number of packets and clearly labeled.
- Applicant or his/her representative **MUST** attend hearing and present his/her proposal to the Board.
- Board of Architects recommendation **MUST** be obtained prior to the submission of any Certificate of Appropriateness application.
- The Historic Preservation Board will act on completed applications only. Decisions made by the Board may be appealed to the City Commission no later than **10 days** after the ruling is made. If there is no appeal or Commission action, the Historic Preservation Board decision shall be final.

9. I, JEFFREY NEWBAUER, as Owner of Lot(s) 22 & N25 FT LOT 23
(Print Owner's Name)
Block(s) 9, Section CG COUNTRY CLUB SEC PT 5 do hereby authorize the
filing of this application. [Signature] 10/3/23
(Owner's Signature) (Date)

My signature affirms and certifies that I/we understand and will comply with the provisions and regulations of the City of Coral Gables Historic Preservation Ordinance as amended from time to time. It further certifies that any statements made in the application, documents attached to the application, and plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that the application, attachments and fees become part of the Official Records of the Historical Resources and Cultural Arts Department and are not returnable. The above signed consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this application and/or presentation to the Historic Preservation Board. Applicants seeking approval of alterations, demolitions and/or new construction acknowledge that the City may erect signs on the subject property, which state the proposed action and the date of the Historic Preservation Board meeting.



DATE RECEIVED: _____
CASE FILE: _____
POTENTIAL HPB MEETING: _____

CITY OF CORAL GABLES
HISTORICAL RESOURCES &
CULTURAL ARTS DEPARTMENT
2327 SALZEDO STREET, 2ND FLOOR
CORAL GABLES, FLORIDA 33134
Phone: (305) 460-5093 Fax: (305) 460-5097
e-mail: HIST@coralgables.com

* A drawing set must include a site plan, floor plan(s), and elevations of all facades with sufficient dimensions to conduct a preliminary Zoning Analysis. The purpose of the preliminary Zoning Analysis is to identify possible variances and is not intended to replace any review required as part of the permitting process. The drawings must illustrate the existing conditions and the proposed changes separately. Contextual drawings or photographs of the neighboring properties must also be included. The Department staff may request additional drawings and documents as needed. Requests for Special Certificates of Appropriateness for demolition and/or that require variance(s) must include a certified mailing list, a map, and three sets of mailing labels (1000-foot radius) and the required fee. * It is the responsibility of the applicant to provide sufficient illustrations to convey the intended scope of work.

October 2, 2023

The Honorable Chair & Members
Historic Preservation Board
c/o Coral Gables Historic Resources Department
405 Biltmore Way, Second Floor
Coral Gables, Florida 33134

**RE: Certificate of Appropriateness: Letter of Intent
Remodeling and Addition**

**Property: 4501 Santa Maria St.
Coral Gables, FL 33146**

Dear Chair and Members:

On behalf of Jeffrey and Malena Newbauer, the owners of the property referenced above, I respectfully submit this letter of intent for the approval of a Certificate of Appropriateness.

The existing 1-story, 4,728 SF house sits on a 12,507.5 SF site. The proposed work includes exterior restoration, replacement of all exterior doors and windows with new impact systems (high-profile muntins), partial interior demolition and full remodel. The restoration of the interior of the existing house includes new mechanical, plumbing and electrical systems, structural repairs and refinish of all exterior and interior areas. New work includes replacement of rear screened room with a new roof and AC enclosure to match house, and the conversion of the open-air loggia to an AC enclosure. Site work includes driveway remodel, new site walls and gates, new septic system, new pool & landscape upgrades.

The design intent is to restore original details as much as feasible and maintain the current footprint and 1-story scale of the home. To achieve this, and not add a second story we are requesting three variances;

- A. 35% Lot coverage: the lot coverage is currently 4,728 SF and exceeds the current codes 4,378 SF allowable. We are requesting the addition of 264 SF AC area for a new total of 4,992 SF. This comprises adding a roof structure at the existing screen roofed area (note the screen enclosures perimeter walls exist and will not be enlarged). The screen enclosure is located at the rear SE corner and faces the golf course. The house complies with FAR and 45% Lot coverage.
- B. 40% Open Landscape: The current landscape area equals 2,690 SF and is under the current codes 5,004 SF required. The new design will remove various decorative concrete decks at the rear and sides, and will greatly reduce the current size of the paved circular driveway by converting it to a single-entry motor court. The new landscape area will equal 4134 SF. Additionally, one of the street paved approaches will be removed and sodded (though this does not count toward the property's landscape area calculations.) The site complies with the front yard landscape requirement needing 1000.6 SF and providing 1,797 SF.

- C. Pool setback: The proposed pool is located within the existing interior courtyard and will extend up to the existing 6 FT high brick walled fountain. The fountain wall sits at +/- 3'-7" from the south side setback, we are proposing the pool setback at 5'-0" (the pool will be almost fully screened from the southern neighbors' views due to the length and height of the fountain wall).

We respectfully request that you approve the attached application. If you have any questions or would like to discuss this application further, please contact me at 305-740-0120. Thank you for your attention to this matter.

Respectfully Submitted,

Nelson de León, AIA
Locus Architecture Inc.

cc: Jeffrey Newbauer



BOAR-23-07-0652

4501 SANTA MARIA ST

Folio #: 0341190014370

Description: The work entails full interior remodeling, restoration of original historical elements and MEP upgrades, including interior and partial exterior demolition. New work includes replacement of rear screened room with a new roof and AC enclosure to match house, and the conversion of the open-air loggia to an AC enclosure. Site work includes, driveway remodel, new site walls and gates, new septic system, new pool & landscape upgrades.

Section		Approved	
		By	Date
<input type="checkbox"/>	BUILDING		
<input type="checkbox"/>	CONCURRENCY		
<input type="checkbox"/>	ELECTRICAL		
<input type="checkbox"/>	FEMA		
<input type="checkbox"/>	FIRE		
<input type="checkbox"/>	HANDICAP		
<input type="checkbox"/>	HISTORICAL		
<input type="checkbox"/>	LANDSCAPE		
<input type="checkbox"/>	MECHANICAL		
<input type="checkbox"/>	PLUMBING		
<input type="checkbox"/>	PUBLIC WORKS		
<input type="checkbox"/>	STRUCTURAL		
<input type="checkbox"/>	ZONING		
<input type="checkbox"/>	CITY ARCHITECT	Callm	8.10.23
<input type="checkbox"/>	OWNER BUILDER	Callm	8.10.23

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans. THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

THIS PRELIMINARY IS FOR ARCHITECTURAL DESIGN ONLY and is approved subject to submission of full size details on final plans. Zoning Code, Building Code, Plumbing Code and all other regulations must be complied with. **"SUBMIT THIS DRAWING WITH FINAL PLANS"**

Chairman, Board of Architects

Date

Callm 8.10.23

Callm 8/10/23

Callm 8/10/23

8.10.23



Neighbor view (4421 Santa Maria St)



Neighbor view (4430 Santa Maria St)



Neighbor view (4510 Santa Maria St)



Neighbor view (4515 Santa Maria St)



Neighbor view (4520 Santa Maria St)

COA Submittal: Context Photo's
Property: 4501 Santa Maria Street
Coral Gables, FL, 33146

October 4, 2023





Existing House. Front view.



Existing House. Front view.



Existing Courtyard.



Existing screened patio from rear



Rear view



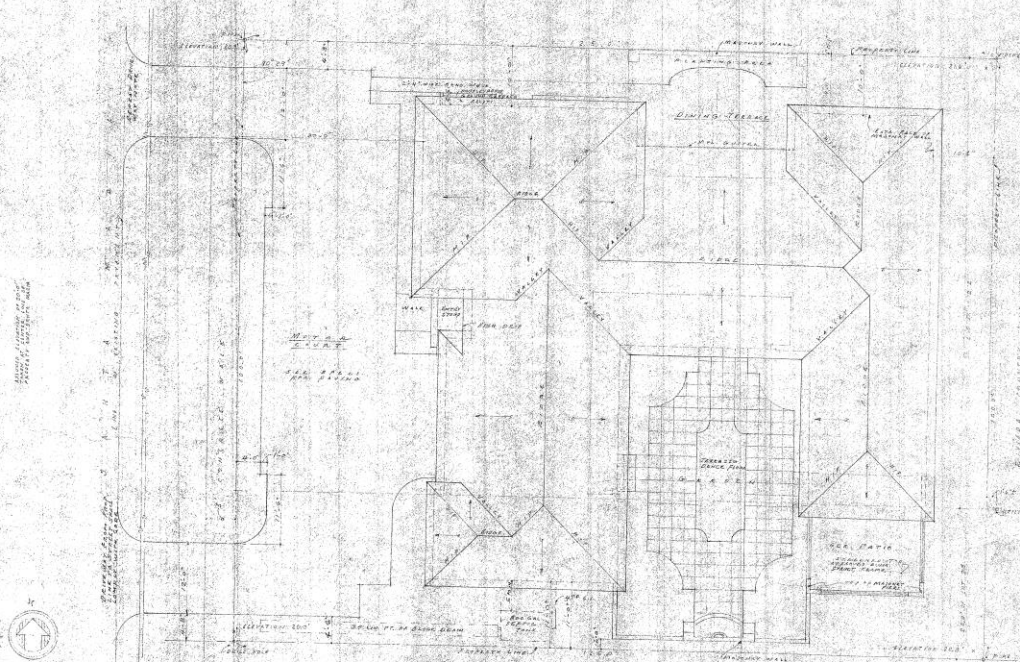
Rear view

COA Submittal-Existing Lot
Property: 4501 Santa Maria Street
Coral Gables, FL, 33146

October 4, 2023



RESIDENCE FOR
 DR. & MRS. EDWARD F. FOX
 CORAL GABLES, FLORIDA
 WILLIAM F. SCHUNKY A.E.A.
 ARCHITECT



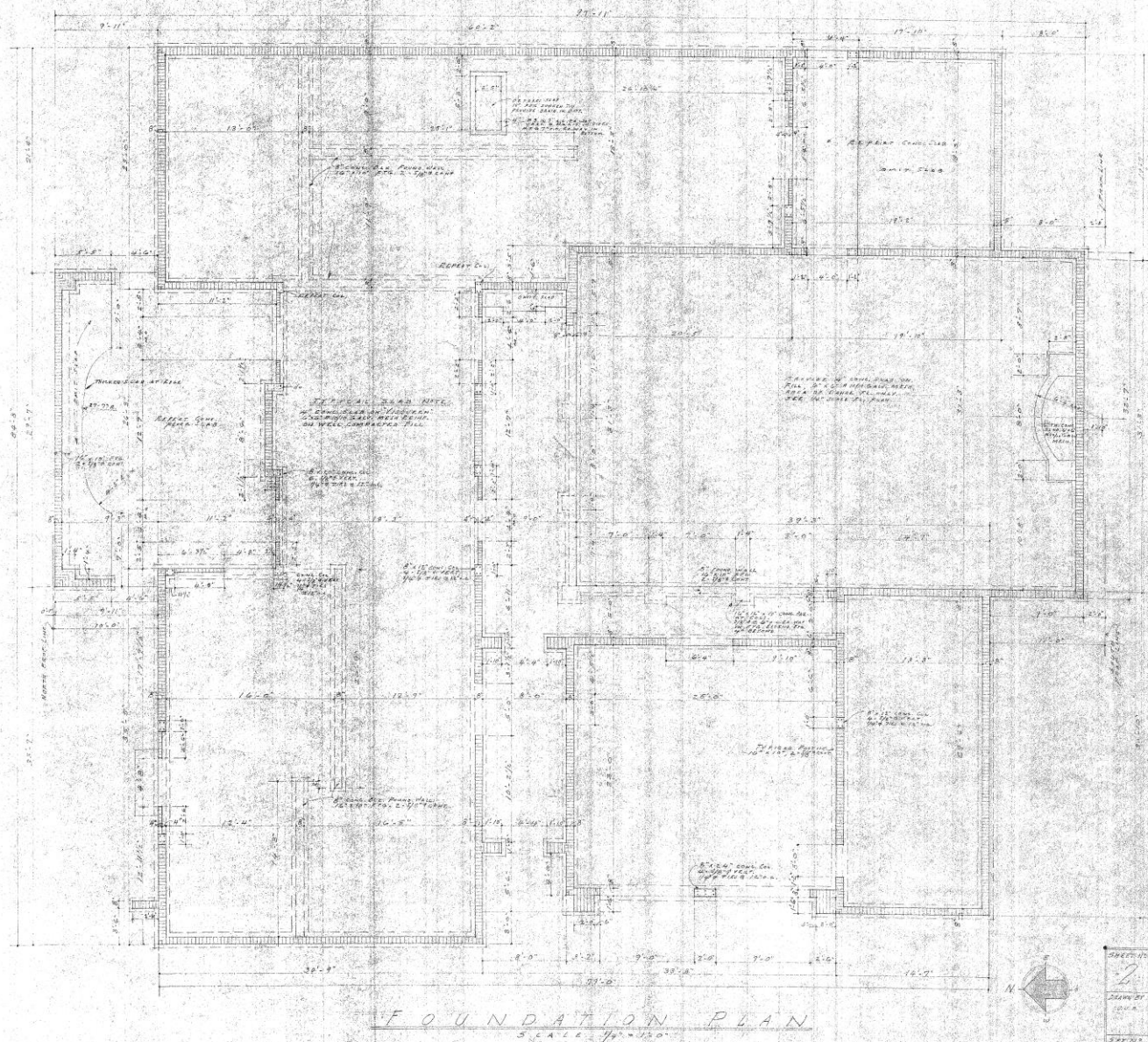
PLOT & ROOF PLAN

LEGAL DESCRIPTION: LOT 25 & NORTH 1/2 OF LOT 26, BLK. 10,
 C.C. SECTION 16, CORAL GABLES, FLORIDA.

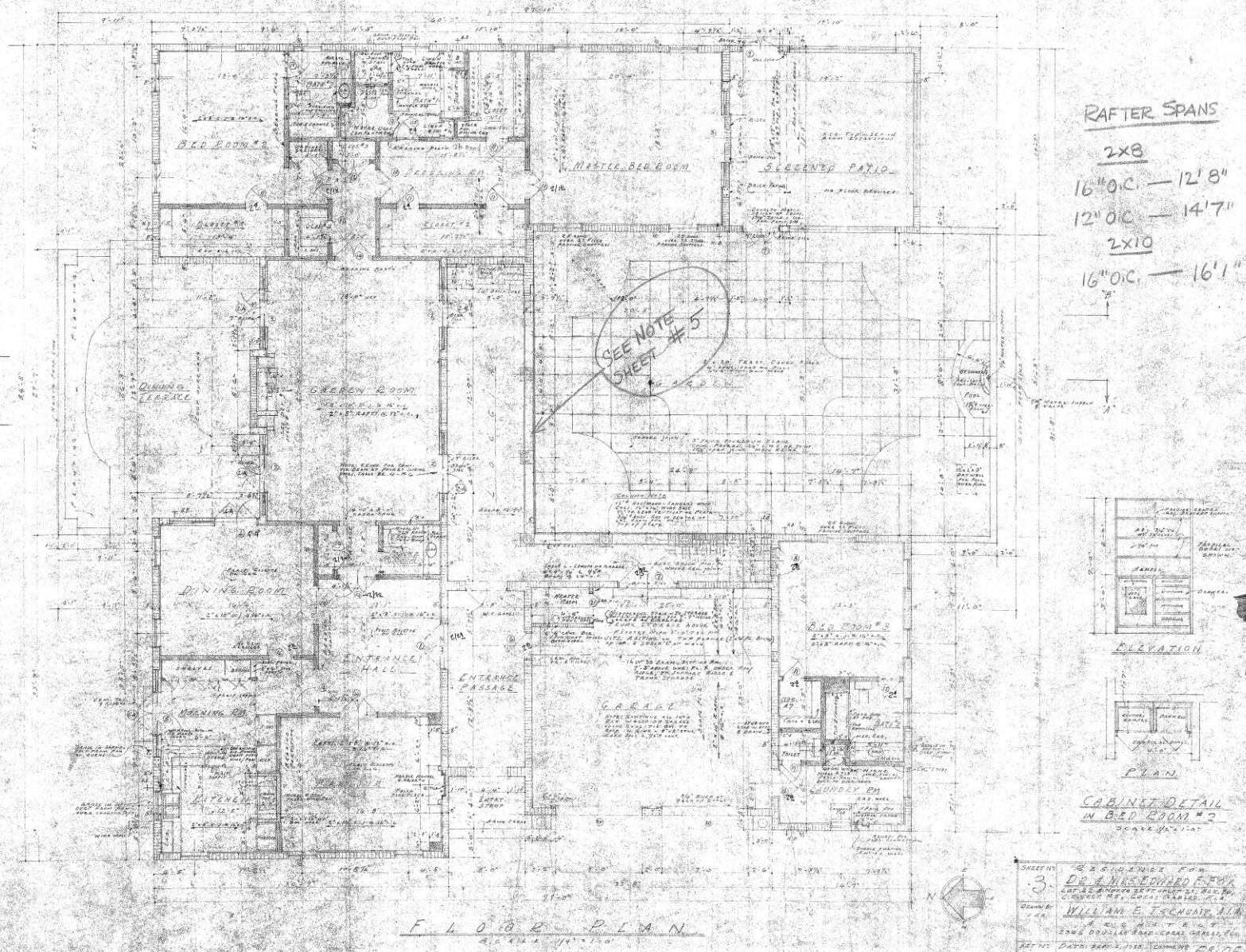
SHEET NO.	1.
RESIDENCE FOR	DR. & MRS. EDWARD F. FOX
ARCHT. BY	WILLIAM F. SCHUNKY, A.E.A.
ENGINEER BY	WILLIAM F. SCHUNKY, A.E.A.
DATE	SEP. 1, 1928

Original Plans. Roof Plan.

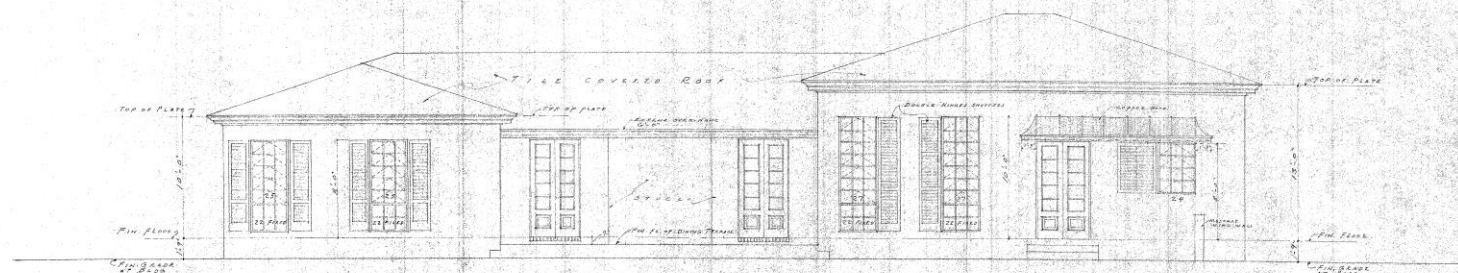
4501 Santa Maria St



Original Plans. Foundation Plan.
4501 Santa Maria St

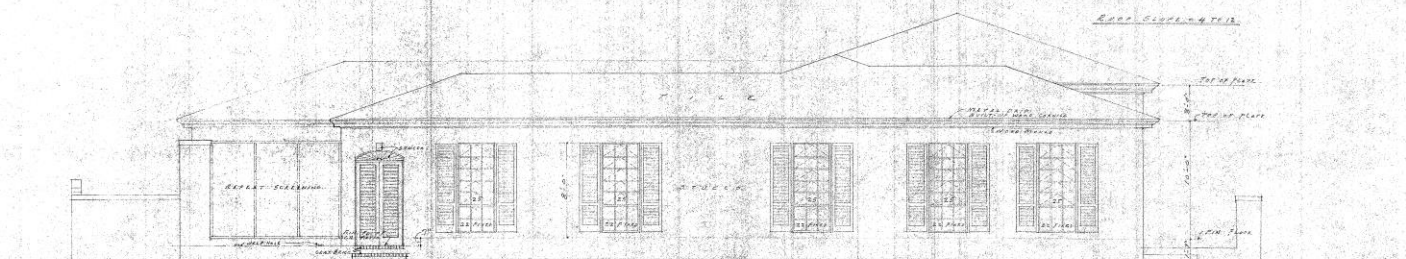


Original Plans. Floor Plan.
4501 Santa Maria St



NORTH ELEVATION

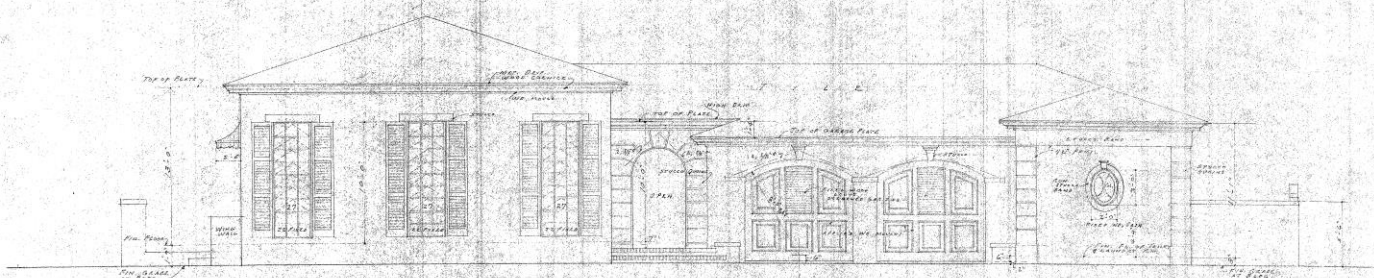
SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"

NOTE
ALL DIMENSIONS IN PARAGRAPHS
ARE TO FACE UNLESS OTHERWISE
NOTED. MATERIALS TO BE USED
AS NOTED.



WEST ELEVATION

SCALE 1/4" = 1'-0"

PROJECT NO.	RESIDENCE FOR
4	DR. & MRS. EDWARD FOX
DESIGNED BY	WILLIAM E. TSCHUMY, AIA
DATE	APRIL 1, 1918
SET NO.	58-05

Original Plans. Elevations.

4501 Santa Maria St

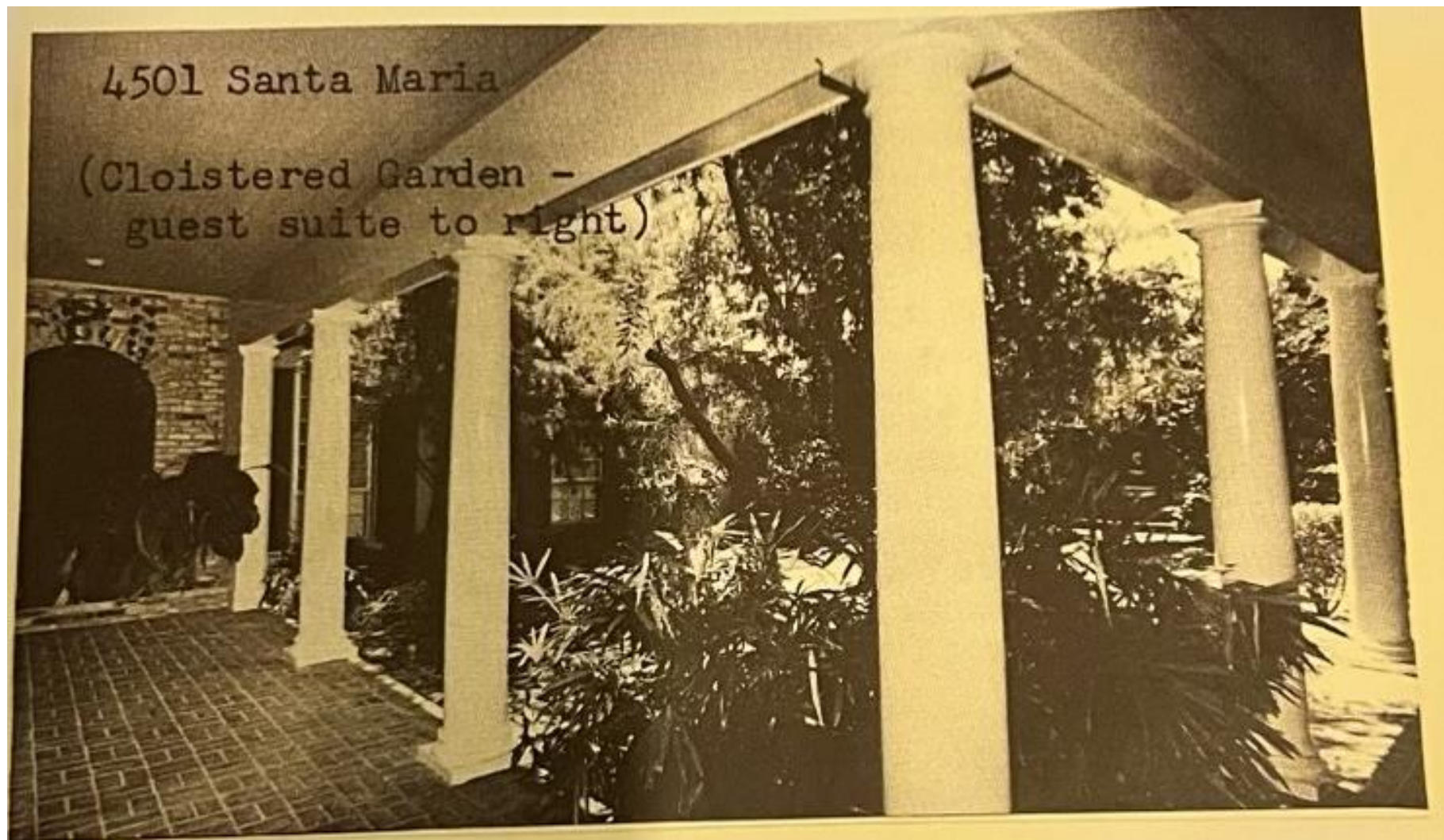
4501 Santa Maria Street
(22 & N 25' 23 Blk 96 CC #5)

PL-ML 7-66



1960's Exterior Picture.

4501 Santa Maria St

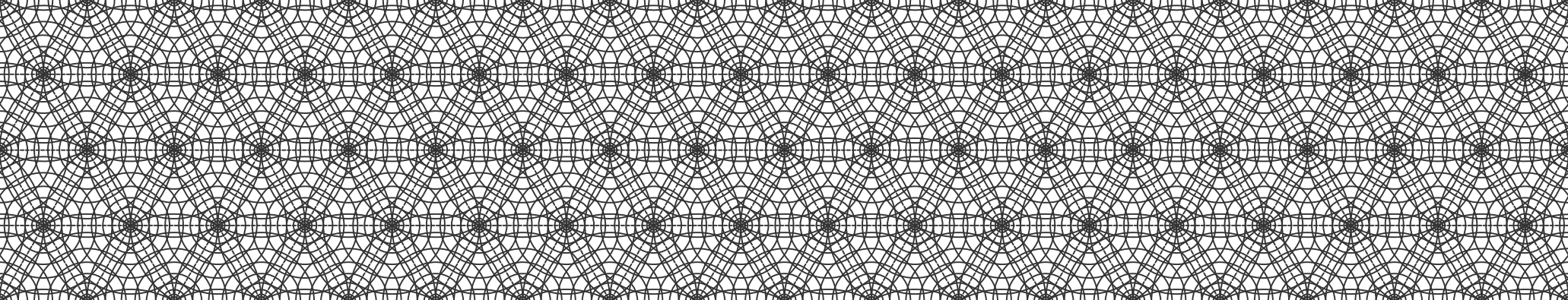


4501 Santa Maria

(Cloistered Garden -
guest suite to right)

1960's Interior Picture.

4501 Santa Maria St



HISTORICAL: REMODELING & ADDITION

Newbauer Residence

4501 Santa Maria St, Coral Gables Fl 33146

Project Team

LOCUS
ARCHITECTURE
INCORPORATED
500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel (305) 740-0120
Email: nel@locusarchitecture.net
License No. AA0002733

ARCHITECTURE

Jeffrey Newbauer

4501 Santa Maria St,
Coral Gables Fl 33146
Email: mtkirk1947@yahoo.com

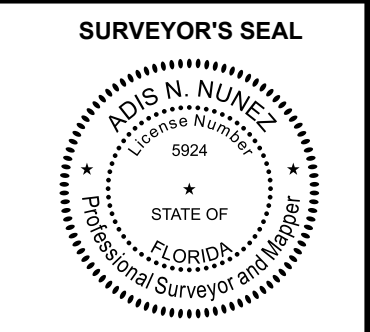
OWNER

Drawing Contents

SHEET NO.	SHEET CONTENTS
	SURVEY
	CONTEXT PHOTOS
	SITE PHOTOS
	HISTORIC PHOTO

ARCHITECTURE	
A-01.0	PROPOSED SITE PLAN AND ZONING INFORMATION
A-01.1	AREA DIAGRAMS AND CALCULATIONS
A-01.2	SITE WALLS & DETAILS
A-01.3	EXISTING AND DEMOLITION SITE PLAN
A-02.0	EXISTING AND DEMOLITION FLOOR PLAN
A-02.1	PROPOSED FLOOR PLAN
A-02.2	PROPOSED ATTIC FLOOR PLAN
A-04.0	EXISTING AND DEMOLITION ROOF PLAN
A-04.1	PROPOSED ROOF PLAN
A-05.0	EXISTING, DEMOLITION AND PROPOSED FRONT ELEVATION
A-05.1	EXISTING, DEMOLITION AND PROPOSED REAR ELEVATION
A-05.2	EXISTING, DEMOLITION AND PROPOSED NORTH SIDE ELEVATION
A-05.3	EXISTING, DEMOLITION AND PROPOSED SOUTH SIDE ELEVATION
A-05.4	EXISTING, DEMOLITION AND PROPOSED SECTION A-A
A-05.5	EXISTING, DEMOLITION AND PROPOSED SECTION B-B
L-01.0	LANDSCAPE PLAN
L-01.1	TREE DISPOSITION PLAN

PRELIMINARY BOA SUBMITTAL: July 18, 2023
COA HISTORICAL SUBMITTAL: October 4, 2023
PERMIT SUBMITTAL:



ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES
IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES
BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 23 PG: 55

An aerial photograph of a residential street labeled 'SANTA MARIA ST' in white capital letters. The street runs vertically through the center of the image. On the left side of the street, there are several houses with varying roof colors (brown, grey, white). A white mouse cursor arrow points to one of the houses on the left. On the right side of the street, there are more houses, some with swimming pools. A yellow rectangular box highlights a specific property on the right side of the street, which appears to be a large, light-colored house with a prominent chimney or tower. The surrounding area is green with trees and grass.

THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

D. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 7TH ED (2020) AND ALL AUTHORITIES HAVING JURISDICTION.

F. AIA DOCUMENT A-105 (2020) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.

I. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.

K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.

O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIs AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.

P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".

R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.

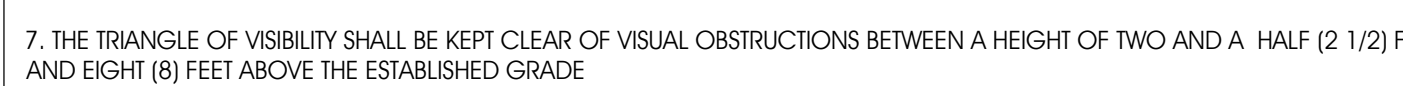
W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.


SYMBOLS KEY

BUILDING SECTION		ELEVATION	
WALL SECTION		INTERIOR ELEVATION	
DETAIL		DOOR ID	
DETAIL @ SECTION		PARTITION TYPE	
		REVISION	
		EQUIPMENT ID	
		GLAZING ID	

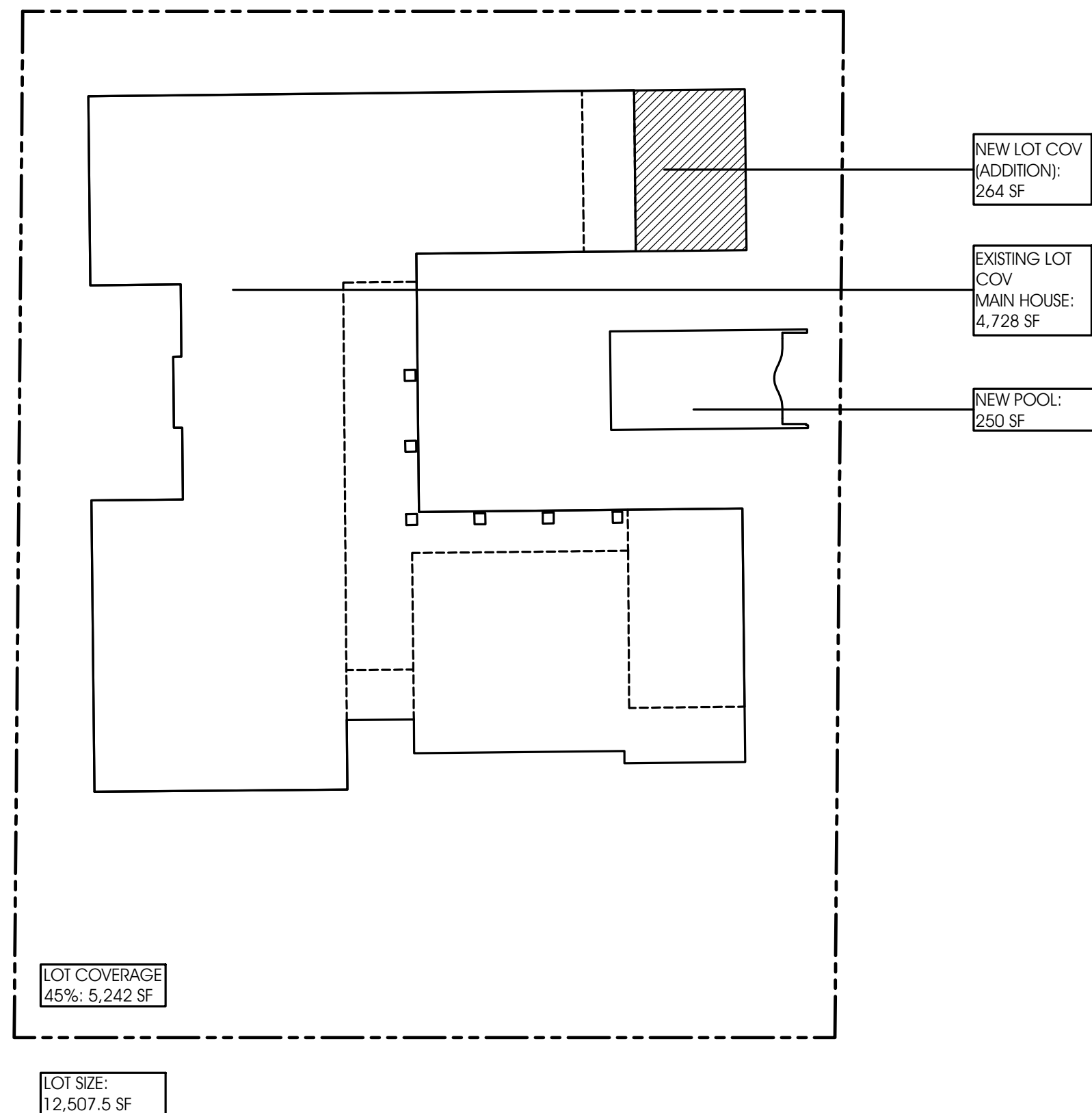
NOTES

1. ALL RAINWATER MUST BE RETAINED ON PROPERTY.
2. LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER 18A. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30" AND 8'.
3. NEW 6 INCHES REINFORCED CORAL GABLES BEIGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH AREA.
4. FILL SHALL NOT BE BROUGHT UNTO SITE.
5. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC., SHALL BE TREATED WITH FUMISEL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
6. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE

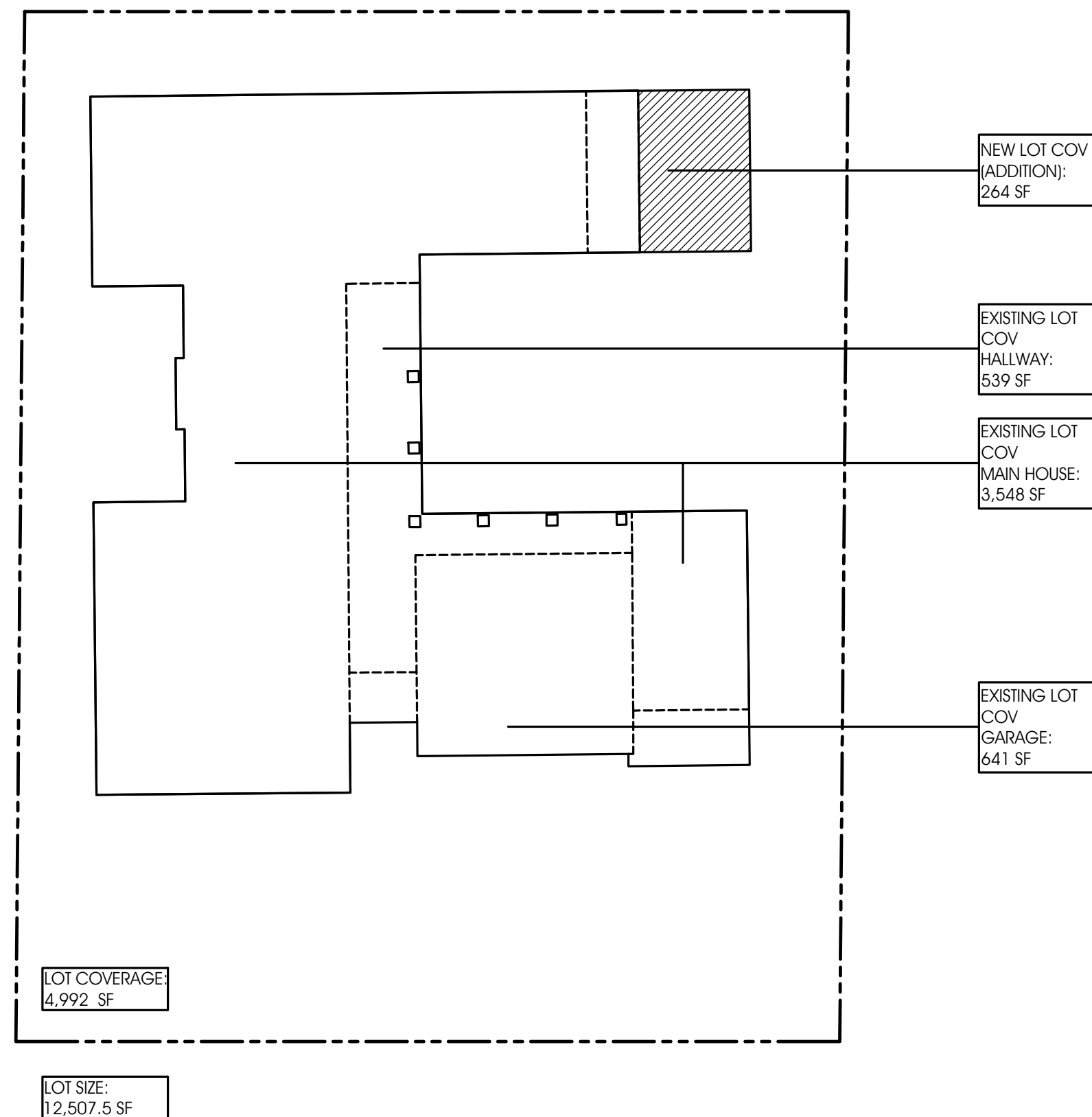


<p>LOCUS ARCHITECTURE <small>INCORPORATED</small></p> <p>500 South Dixie Highway, Suite 307 Coral Gables, Florida 33146 Tel: (305) 740-0120 Fax: (305) 740-0520 License No. AA0002733</p>			
CONSULTANT(S)			
NO.	REVISION/SUBMISSION	DATE	
	OWNER REVIEW	07-07-23	
	BOA SUBMITTAL	07-18-23	
	COA SUBMITTAL	10-04-23	
	PERMIT SUBMITTAL		
PROJECT			
<p>Title:</p> <h2 style="margin: 0;">Remodeling & Addition Newbauer Residence</h2> <p>4501 Santa Maria St. Coral Gables, FL 33146</p>			
DRAWING			
Proposed Site Plan and Zoning Information			
SEAL	 <p>Nelson de Leon AR 13937</p>		SCALE
			DRAWN
			REVIEWED NDL
			PROJ. NO. 339
SHEET NO.			
A-01.0			

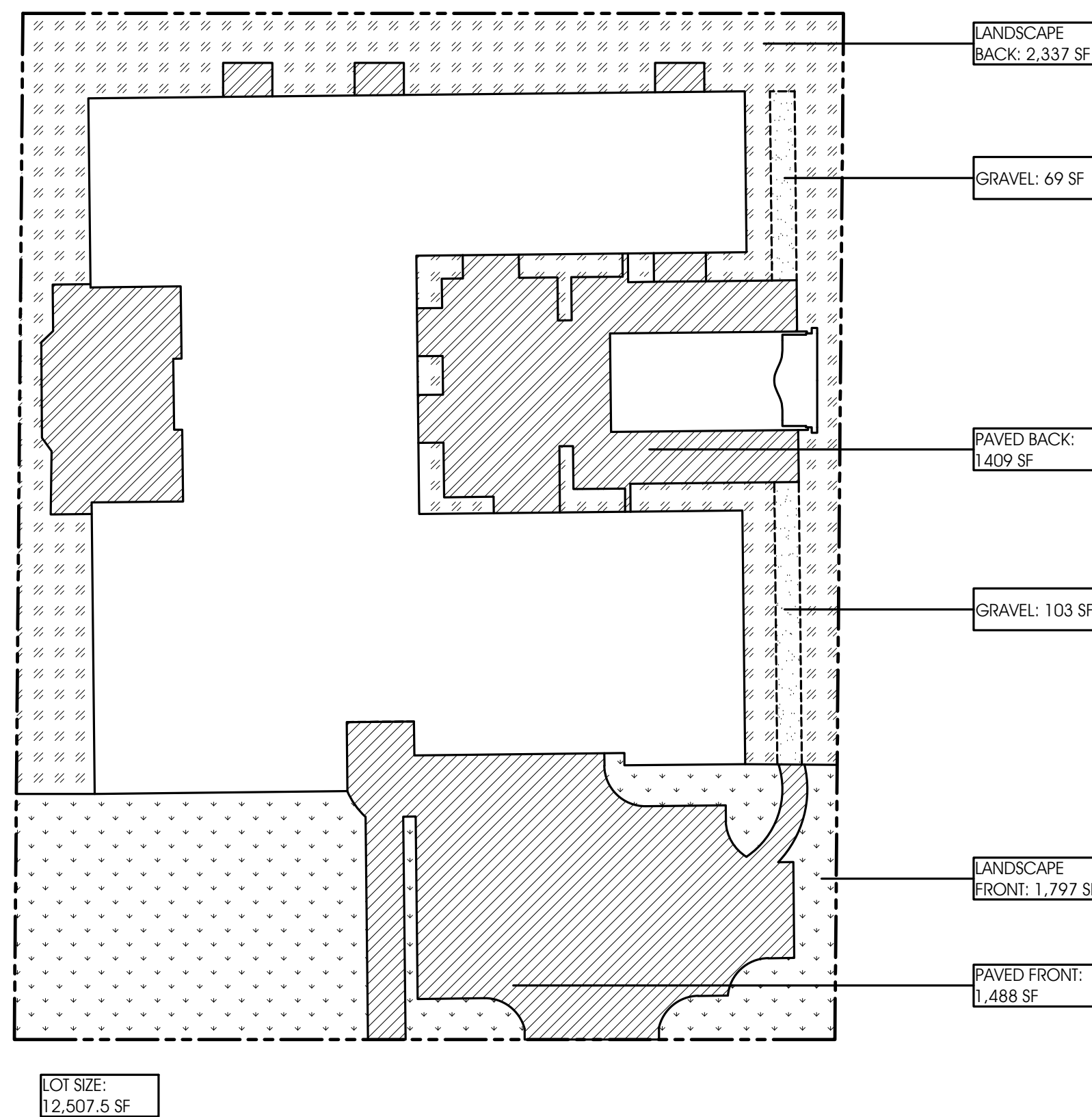
NOTES



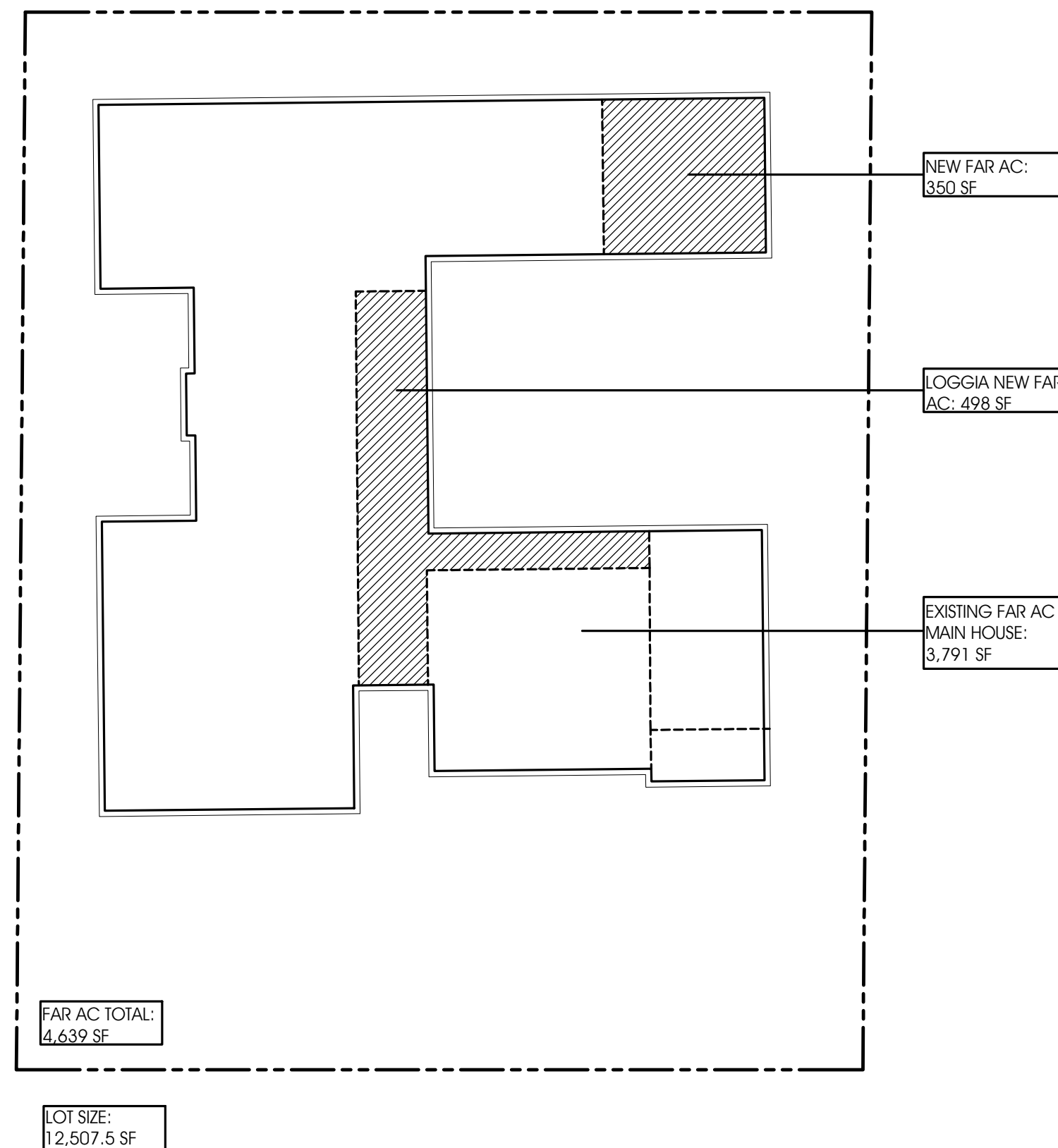
LOT COVERAGE 45%



LOT COVERAGE 35%
SCALE: 1/16" = 1'-0"



LANDSCAPE AND PAVED AREAS
SCALE: 1/16" = 1'-0"



FIRST FLOOR FAR

SCALE: 1/16" = 1'-0"

AREA CALCULATIONS: TOTALS LOT SIZE: 12,507.5 SF

FAR CALCULATIONS: TOTAL ALLOWED = 4,902.2 SF	PROPOSED
MAIN HOUSE	4,639 SF
TOTALS	4,639 SF


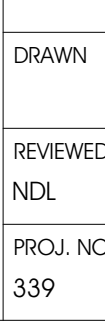
LOT COVERAGE CALCS: 35% TOTAL ALLOWED = 4,377.6 SF	PROPOSED
MAIN HOUSE	4,728 SF
NEW ADDITION	264 SF
TOTALS	4,992 SF

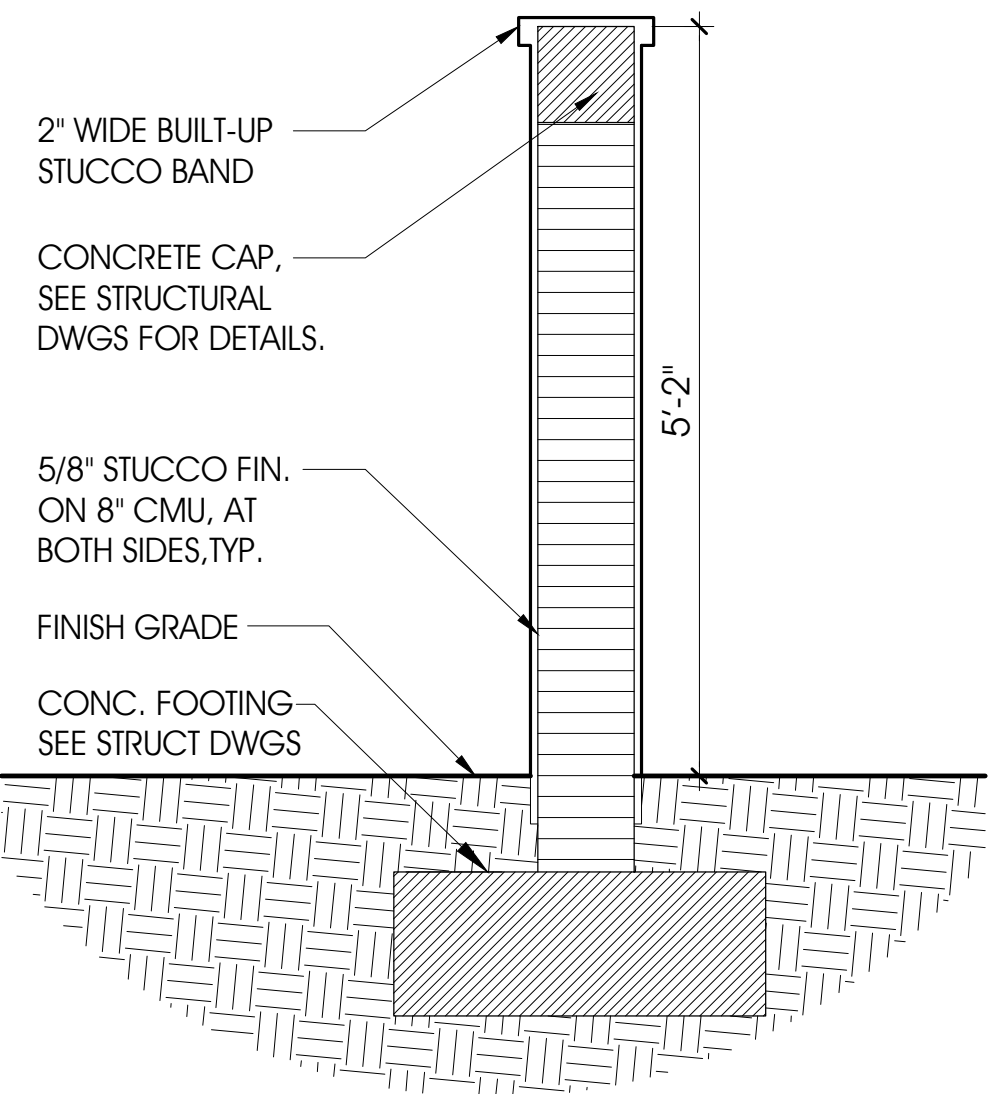
LOT COVERAGE CALCS: 45%	TOTAL ALLOWED = 5,628.4 SF	PROPOSED
MAIN HOUSE		4,728 SF
NEW ADDITION		264 SF
NEW POOL		250 SF
TOTALS		5,242 SF

LANDSCAPE AREAS: TOTAL REQUIRED = 5,003 SF	PROPOSED
LANDSCAPE: FRONT YARD 20% OF 40% = 1,000.6 REQ'D	1,797SF
TOTALS	4,134 SF

PAVED AREAS	PROPOSED
FRONT YARD	1,488 SF
BACK YARD	1,409 SF
TOTALS	2,897 SF

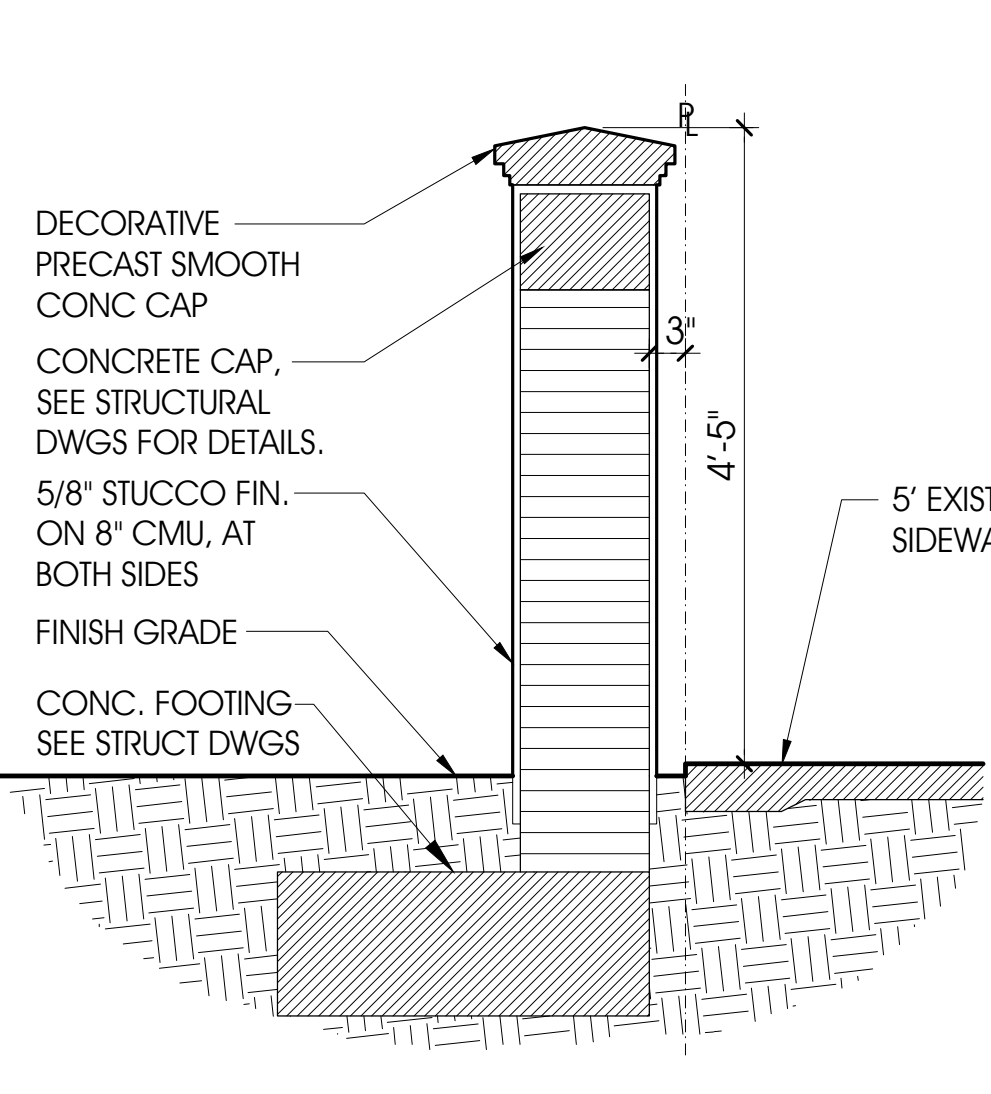
AREA BREAKDOWN	
MAIN HOUSE	3,548 SF
NEW MASTER BEDROOM ADDITION	264 SF
NEW HALLWAY	539 SF
GARAGE	641 SF

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CONSULTANT(S)					
NO.	REVISION/SUBMISSION		DATE		
	OWNER REVIEW		07-07-23		
	BOA SUBMITTAL		07-18-23		
	COA SUBMITTAL		10-04-23		
	PERMIT SUBMITTAL				
PROJECT					
Title: Remodeling & Addition Newbauer Residence 4501 Santa Maria St. Coral Gables, Fl. 33146					
DRAWING					
Area Diagrams and Calculations					
SEAL				SCALE	
 Nelson de Leon AR 13937				DRAWN	
				REVIEWED NDL	
				PROJ. NO. 339	
SHEET NO.					
A-01.1					



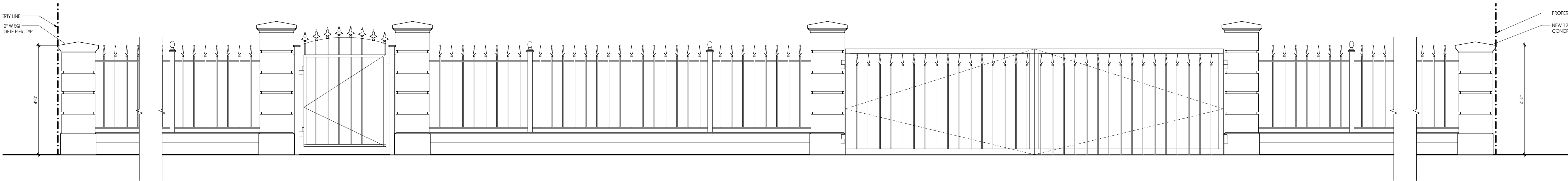
WINDWALL DETAIL: B

SCALE: 3/4"=1'-0"



PIER DETAIL: A

SCALE: 3/4"=1'-0"



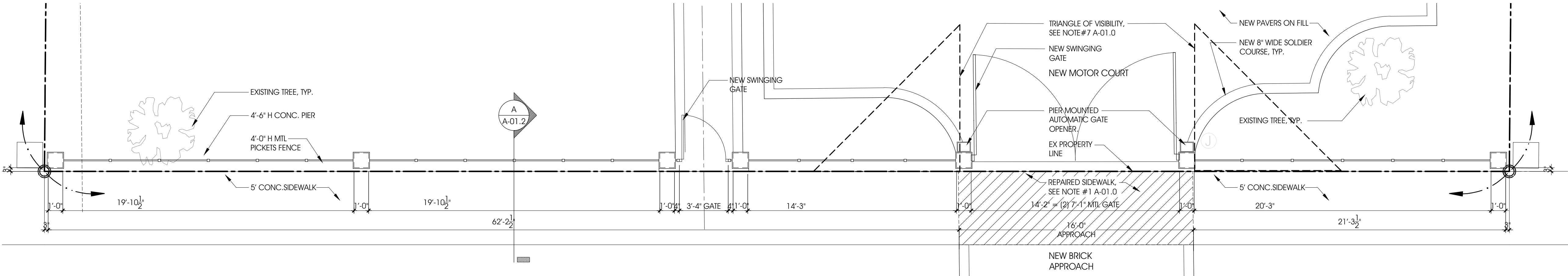
4501 SANTA MARIA STREET: SITE WALL ENLARGED ELEVATION

SCALE: 1/2"=1'-0"



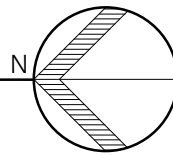
4501 SANTA MARIA STREET: SITE WALL ELEVATION

SCALE: 1/4"=1'-0"



4501 SANTA MARIA STREET: SITE WALL FLOOR PLAN

SCALE: 1/4"=1'-0"



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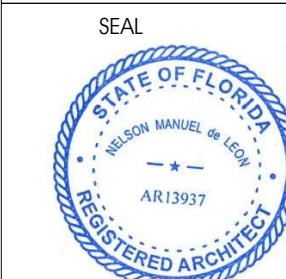
NO.	REVISION/SUBMISSION	DATE
1	OWNER REVIEW	07-07-23
2	BOA SUBMITTAL	07-18-23
3	COA SUBMITTAL	10-04-23
4	PERMIT SUBMITTAL	

PROJECT

Title:
Remodeling & Addition
Newbauer Residence
4501 Santa Maria St.
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DRAWING

Site Walls & Details

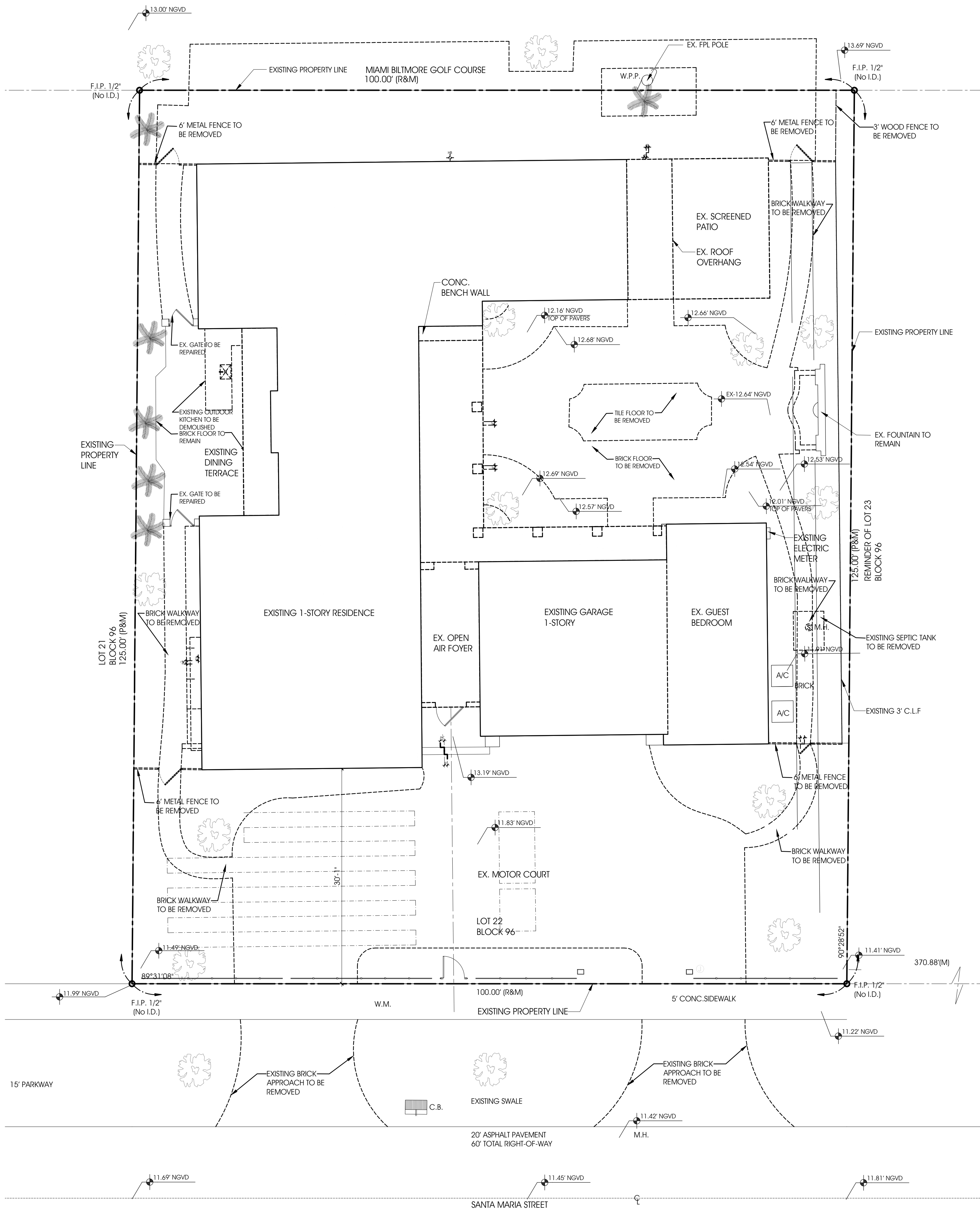


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SHEET NO.

A-01.2

SCALE
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EXISTING AND DEMOLITION SITE PLAN
SCALE: 1/8" = 1'-0"

NOTES



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PROJECT

Title:
Remodeling & Addition
Newbauer Residence
4501 Santa Maria St.
Coral Gables, Fl. 33146

DRAWING

Existing and Demolition
Site Plan

SEAL	SCALE
	DRAWN
	REVIEWED NDL
	PROJ. NO. 339
	SHEET NO.

A-01.3

ELECTRICAL DEMOLITION NOTES

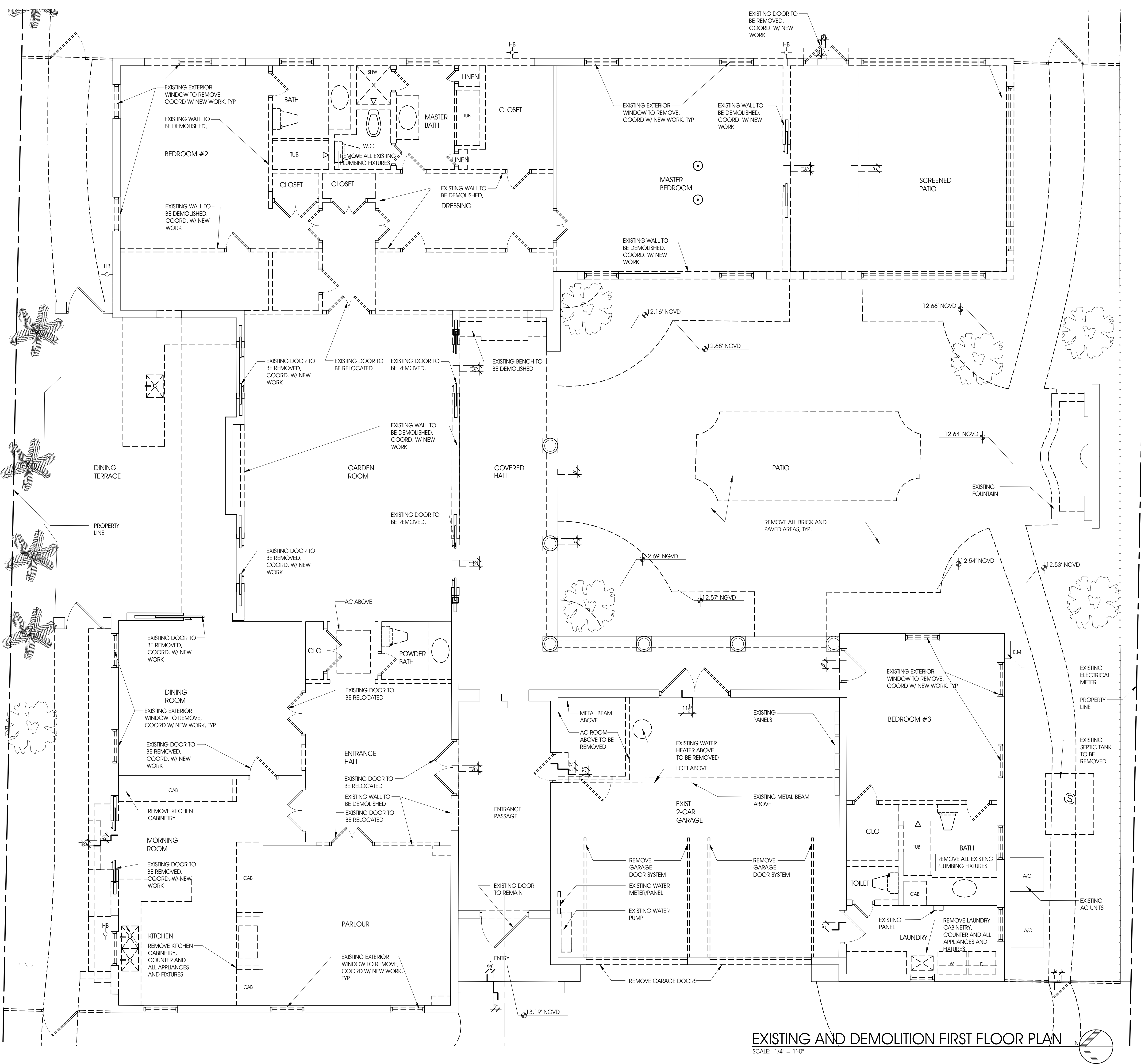
1. CONTRACTOR IS TO VERIFY WITH OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PRIOR TO DEMOLITION. MARK ALL PIPES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PAINT. INFORM ALL SUB-CONTRACTORS.
2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
3. SEE ELECTRICAL SHEETS FOR DETAILS.

PLUMBING DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. LINES RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
3. SEE PLUMBING SHEETS FOR DETAILS.

DEMOLITION PLAN LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED. CONTRACTOR TO COORDINATE W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE REMOVING ANY STRUCTURAL WALLS.
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED



EXISTING AND DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES



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PROJECT

Title:
**Remodeling & Addition
Newbauer Residence**
4501 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Existing and Demolition
Floor Plan

SEAL



Nelson de Leon
AR 13937

SHEET NO.

SCALE

DRAWN

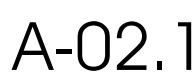
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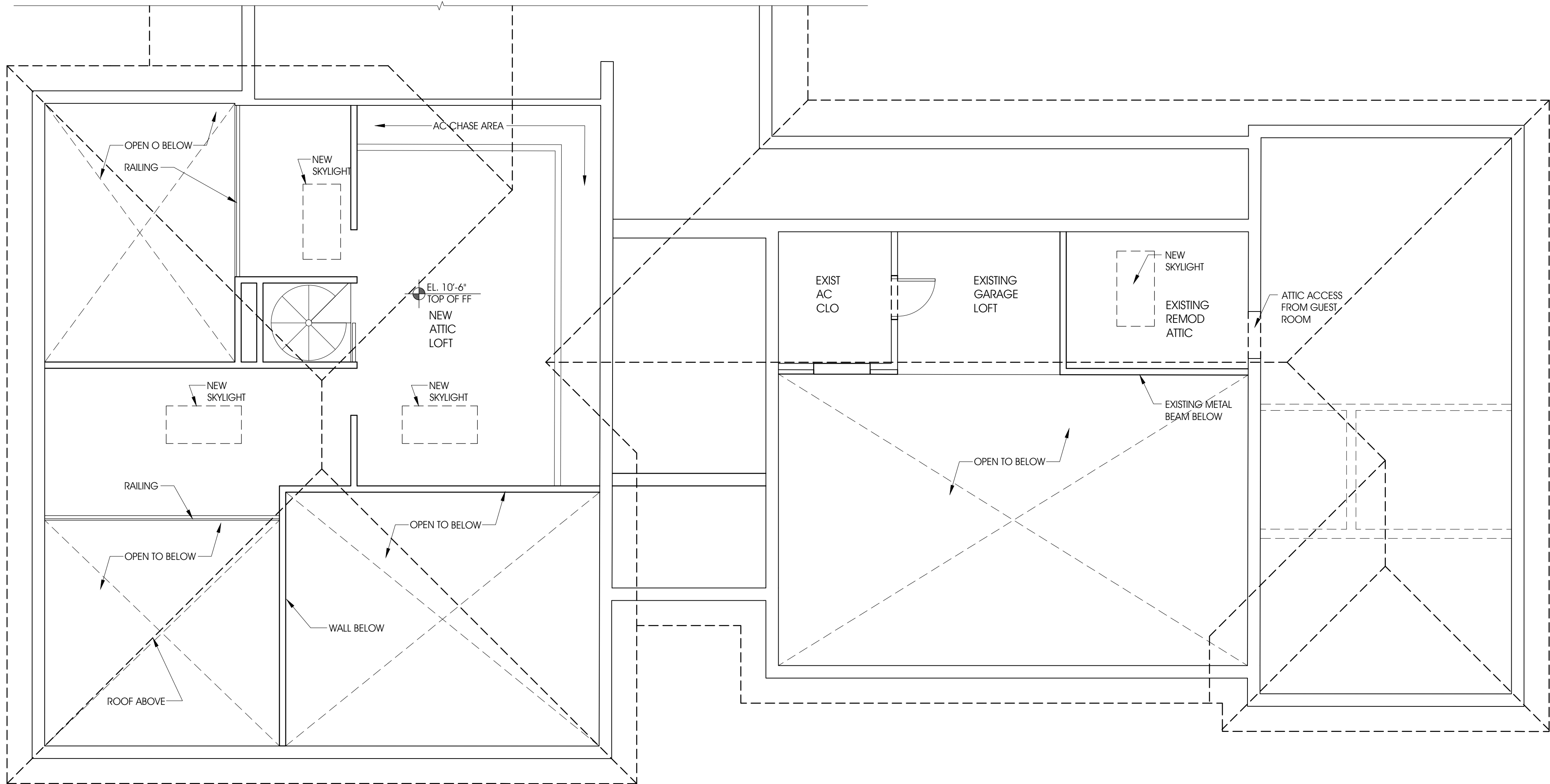
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PROJ. NO.

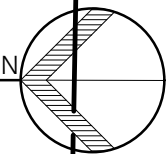
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A-02.0





PROPOSED ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES



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PROJECT

Title:
Remodeling & Addition
Newbauer Residence
4501 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Proposed Attic Floor Plan

SEAL



Nelson de Leon
AR 13937

SHEET NO.

SCALE

DRAWN

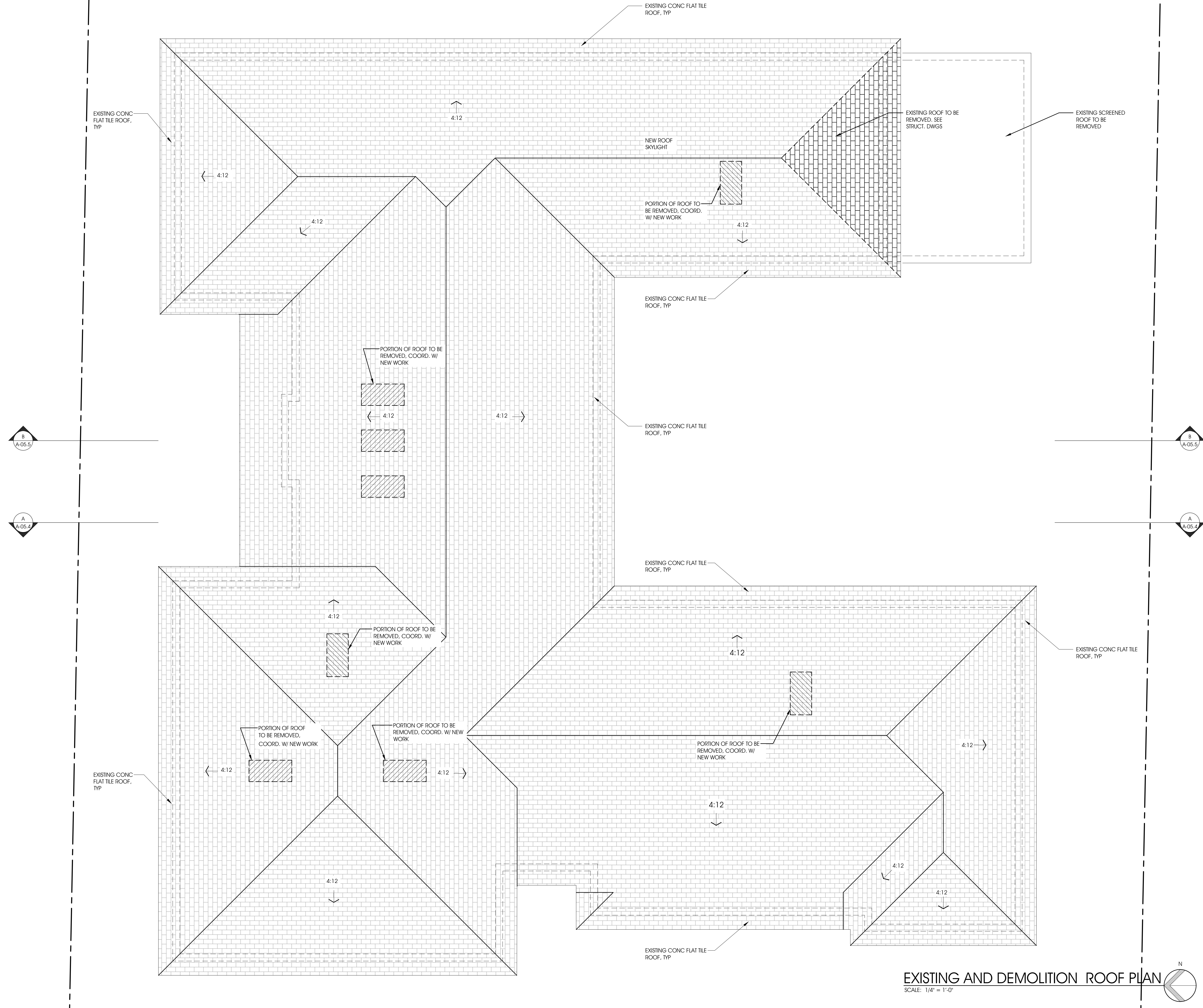
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A-02.2



EXISTING AND DEMOLITION ROOF PLAN

SCALE: 1/4" = 1'-0"

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	PERMIT SUBMITTAL	

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Title:
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Newbauer Residence**
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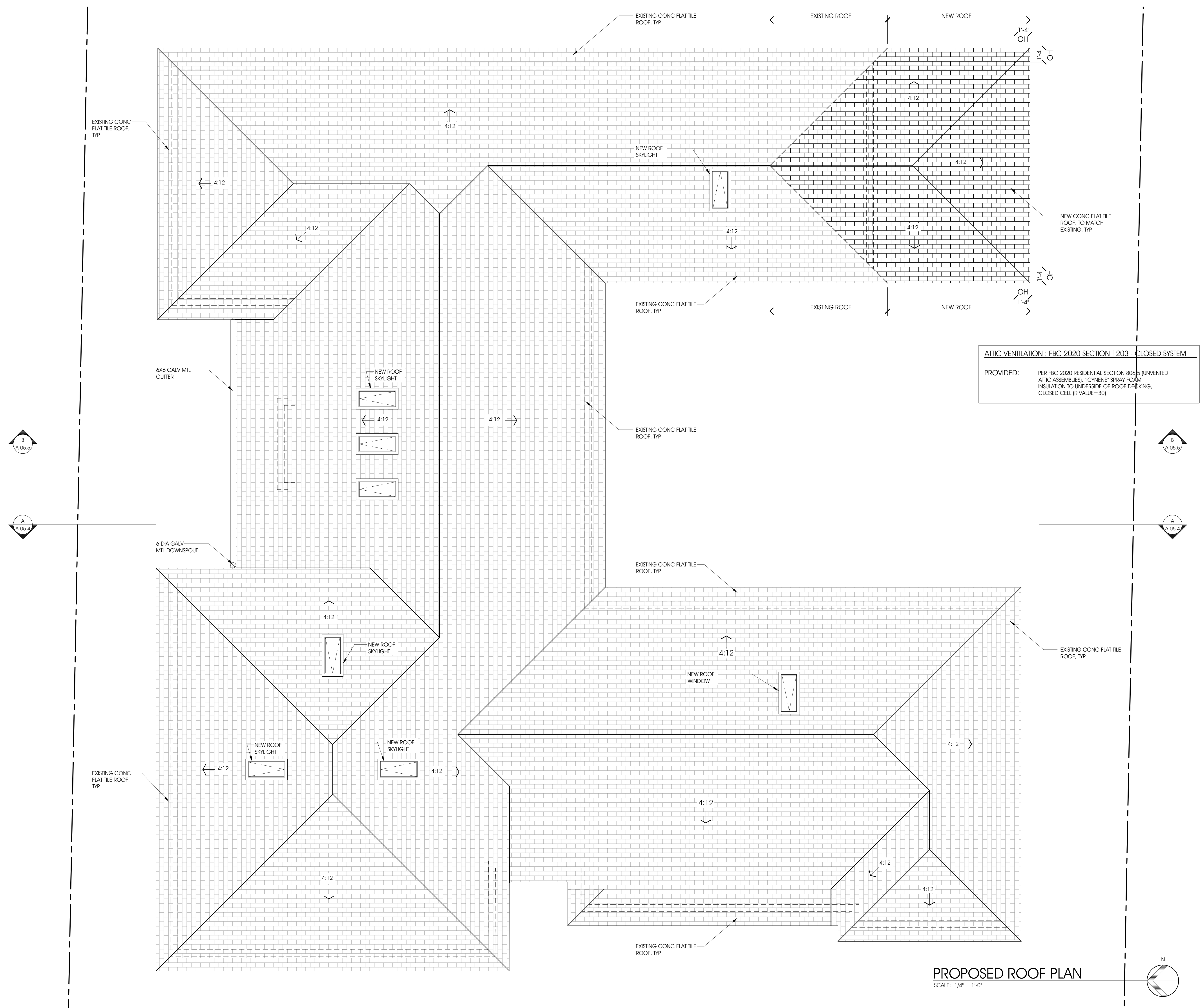
DRAWING

Existing and Demolition
Roof Plan

SEAL	SCALE
	DRAWN
Nelson de Leon AR 13937	REVIEWED NDL
	PROJ. NO. 339

SHEET NO.

A-04.0

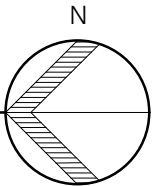


ATTIC VENTILATION : FBC 2020 SECTION 1203 - CLOSED SYSTEM

PROVIDED: PER FBC 2020 RESIDENTIAL SECTION 804.5 (UNVENTED ATTIC ASSEMBLIES), "ICYNENE" SPRAY FOAM INSULATION TO UNDERSIDE OF ROOF DECKING, CLOSED CELL (R VALUE=30)

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



NOTES



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Title:
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Newbauer Residence
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DRAWING

Proposed Roof Plan

SEAL



Nelson de Leon
AR 13937

SHEET NO.

SCALE

DRAWN

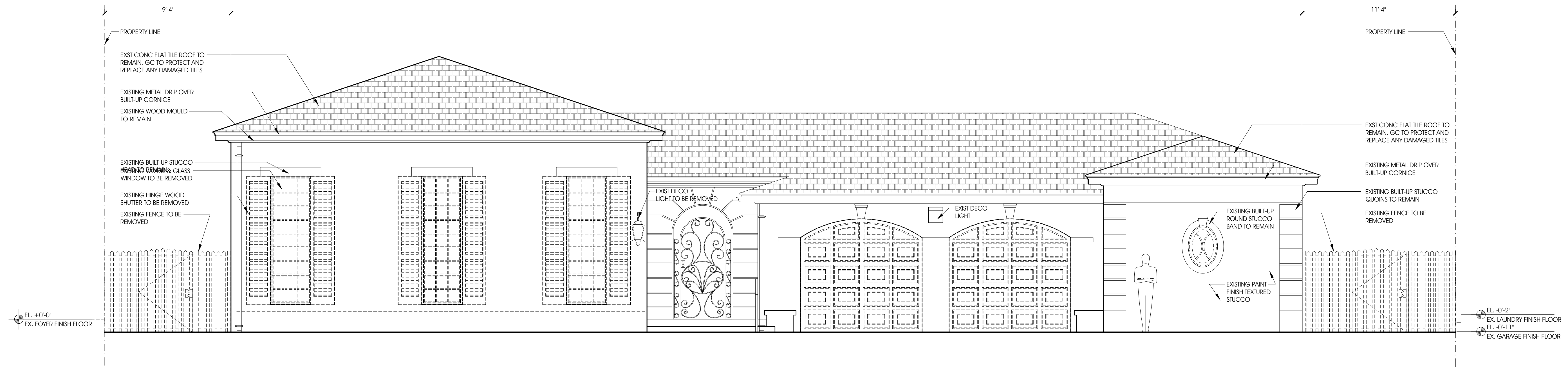
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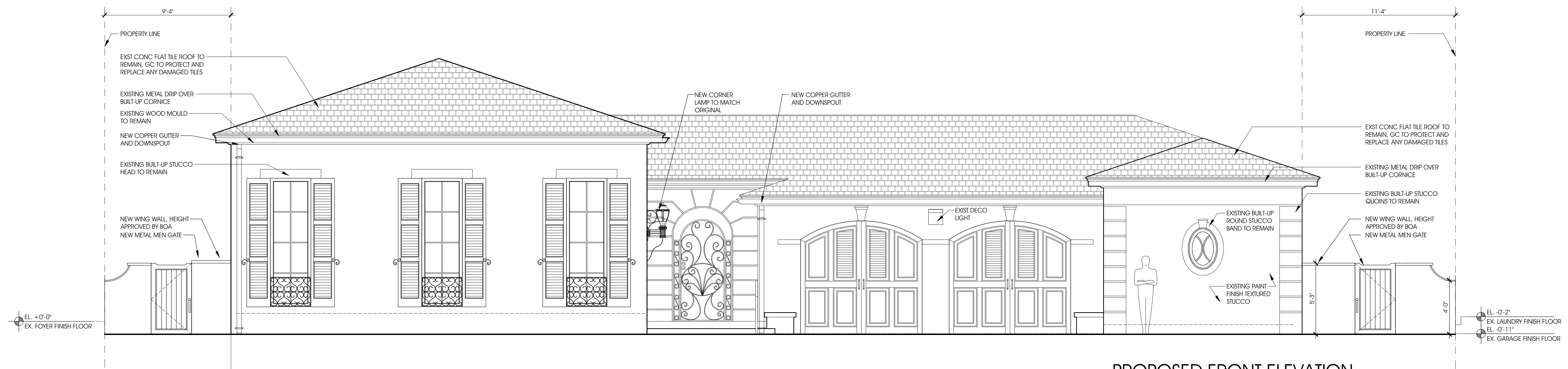
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A-04.1



EXISTING AND DEMOLITION FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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	PERMIT SUBMITTAL	

PROJECT

Title:
Remodeling & Addition
Newbauer Residence
4501 Santa Maria St.
Coral Gables, Fl. 33146

DRAWING

Existing, Demolition and
Proposed Front Elevation

SEAL



Nelson de Leon
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SHEET NO.

A-05.0

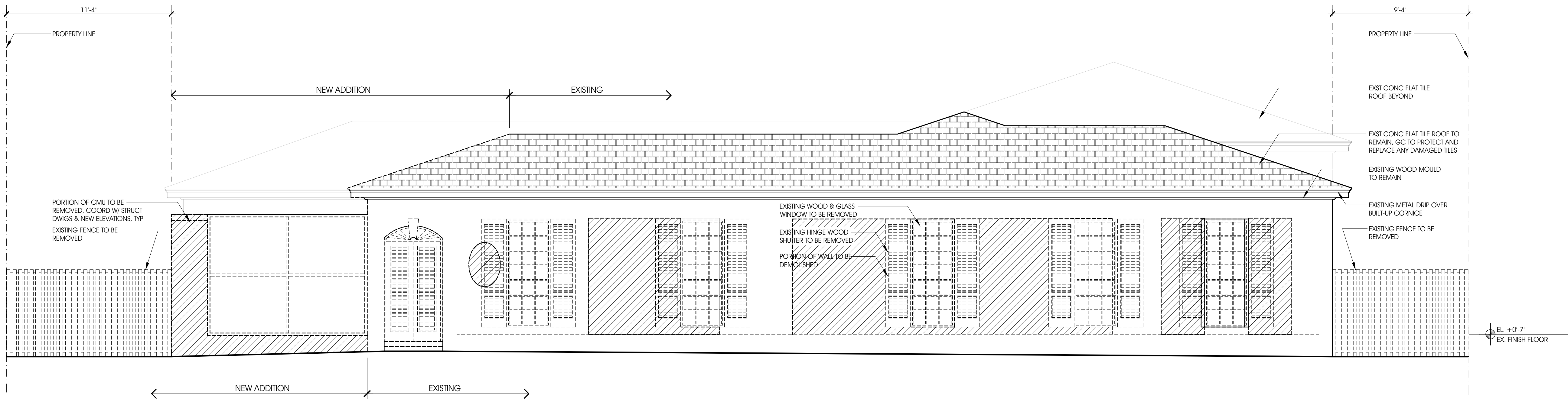
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REVIEWED

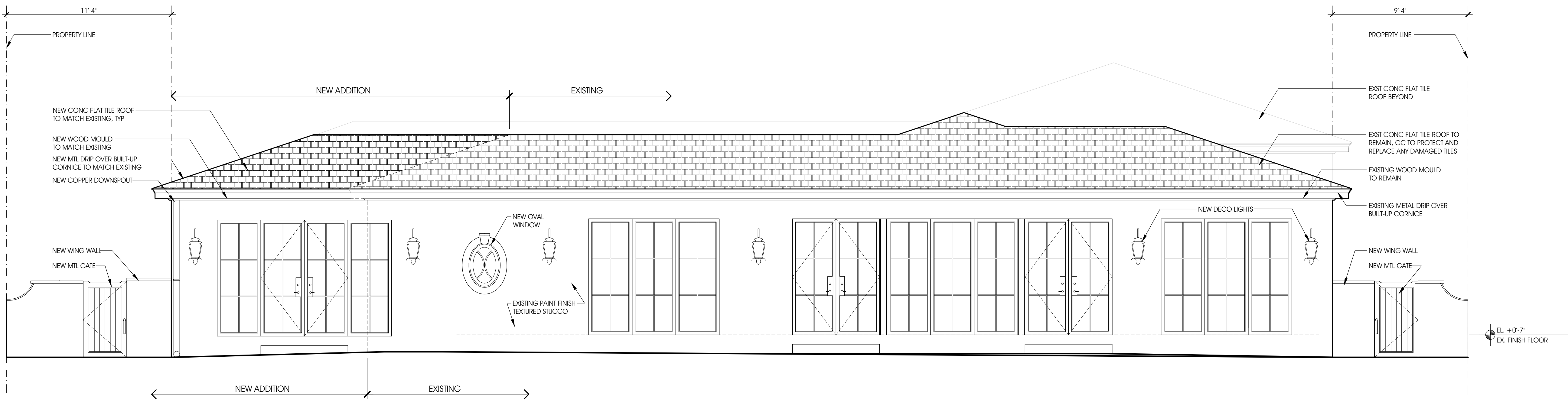
PROJ. NO.

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EXISTING AND DEMOLITION REAR ELEVATION

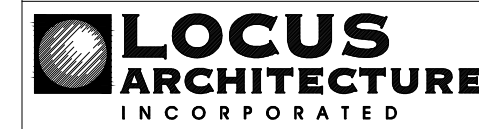
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

NOTES



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Title:
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Newbauer Residence
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DRAWING

Existing, Demolition and
Proposed Rear Elevation

SEAL



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SCALE

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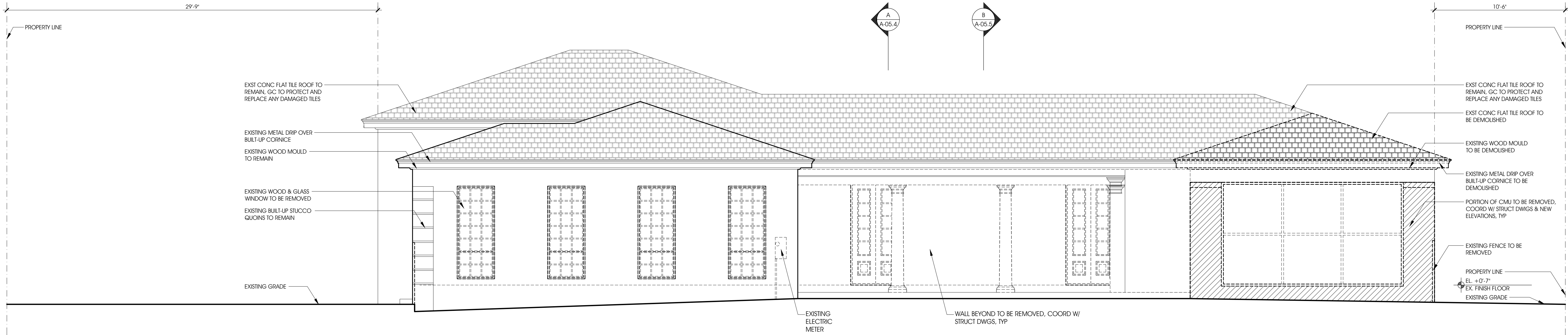
A-05.1



PROPOSED NORTH SIDE ELEVATION

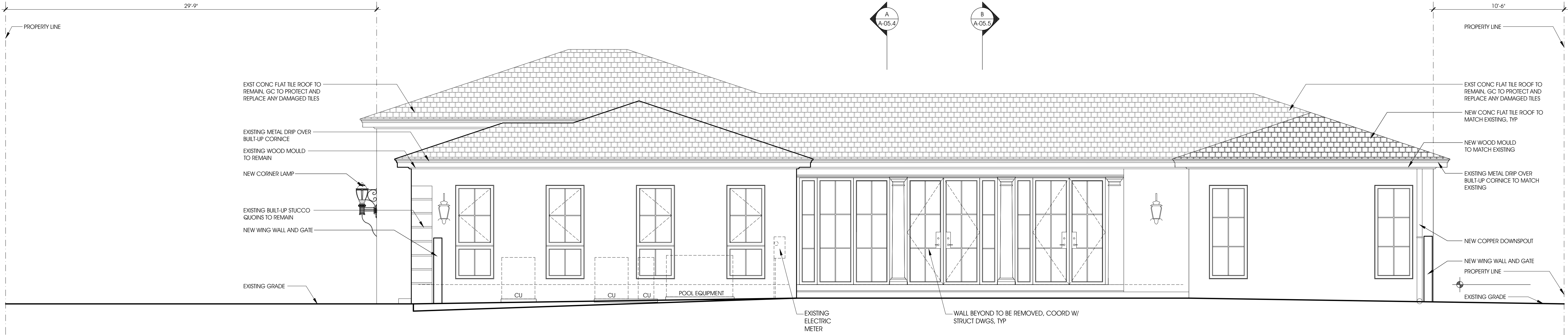
SCALE: 1/4" = 1'-0"

A-05.2



EXISTING AND DEMOLITION SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT

Title:
Remodeling & Addition
Newbauer Residence
4501 Santa Maria St.
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DRAWING

Existing, Demolition and
Proposed South Side Elevation

SEAL



Nelson de Leon
AR 13937

SHEET NO.

A-05.3

SCALE

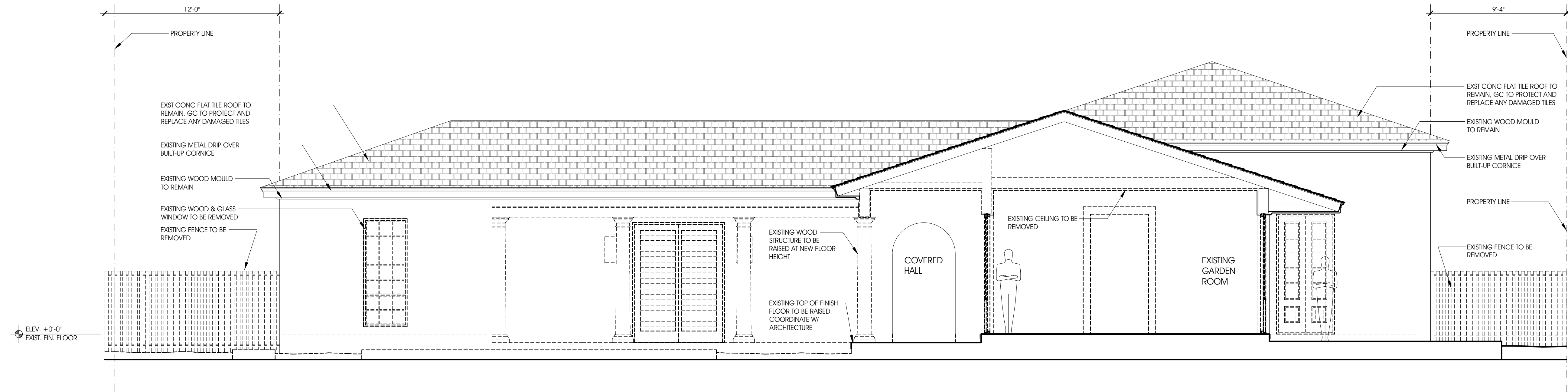
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REVIEWED

NDL

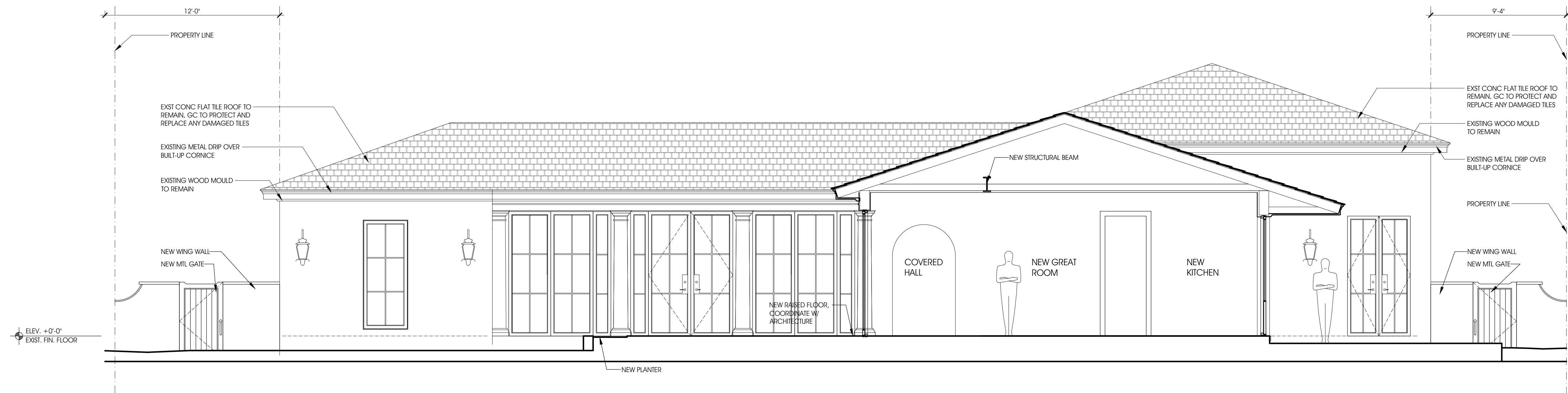
PROJ. NO.

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EXISTING AND DEMOLITION BUILDING SECTION: A-A

SCALE: 1/4" = 1'-0"



PROPOSED BUILDING SECTION: A-A

SCALE: 1/4" = 1'-0"

NOTES



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PROJECT

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Remodeling & Addition
Newbauer Residence
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DRAWING

Existing, Demolition and
Proposed Section A-A

SEAL



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SHEET NO.

A-05.4

SCALE

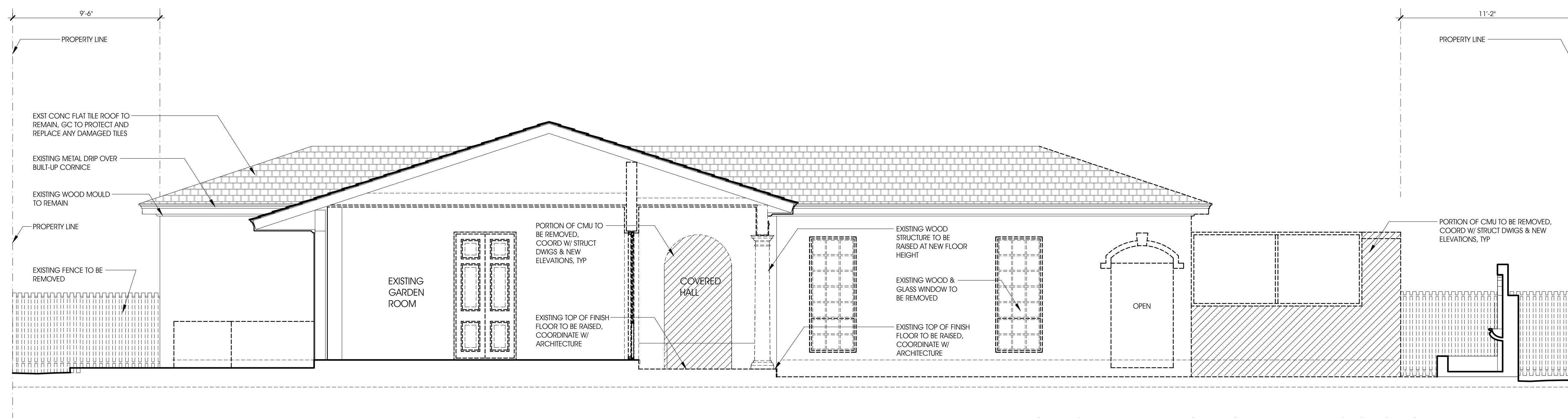
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REVIEWED

NDL

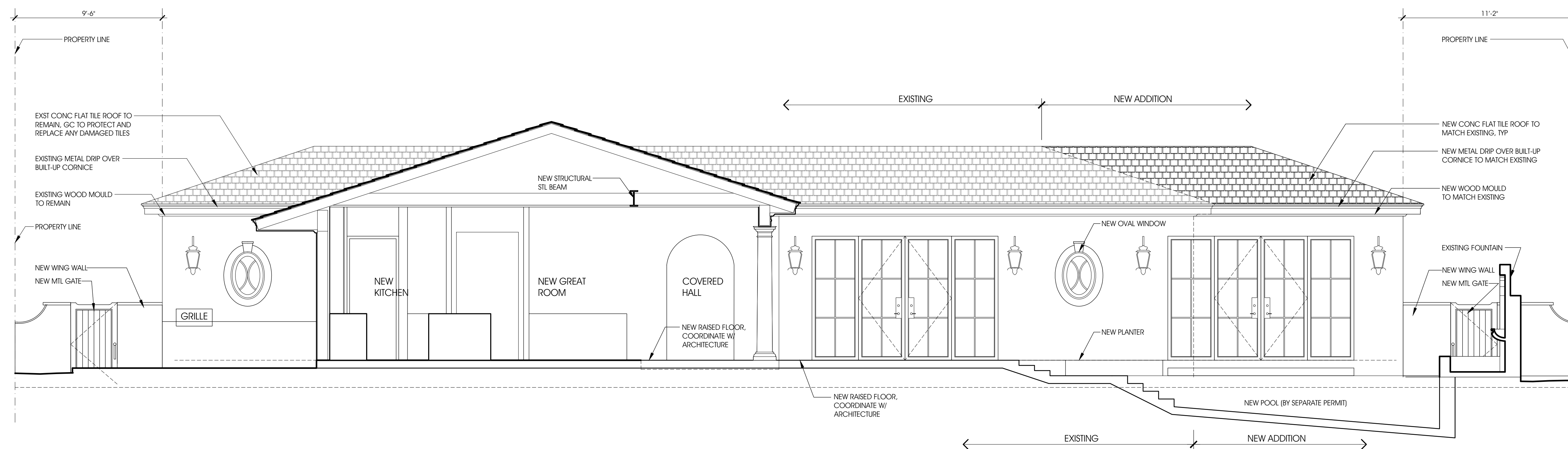
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EXISTING AND DEMOLITION BUILDING SECTION: B-B

SCALE: 1/4" = 1'-0"



PROPOSED BUILDING SECTION: B-B

SCALE: 1/4" = 1'-0"



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Title:
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Newbauer Residence

4501 Santa Maria St.
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DRAWING
Existing, Demolition and
Proposed Section B-B



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A-05.5

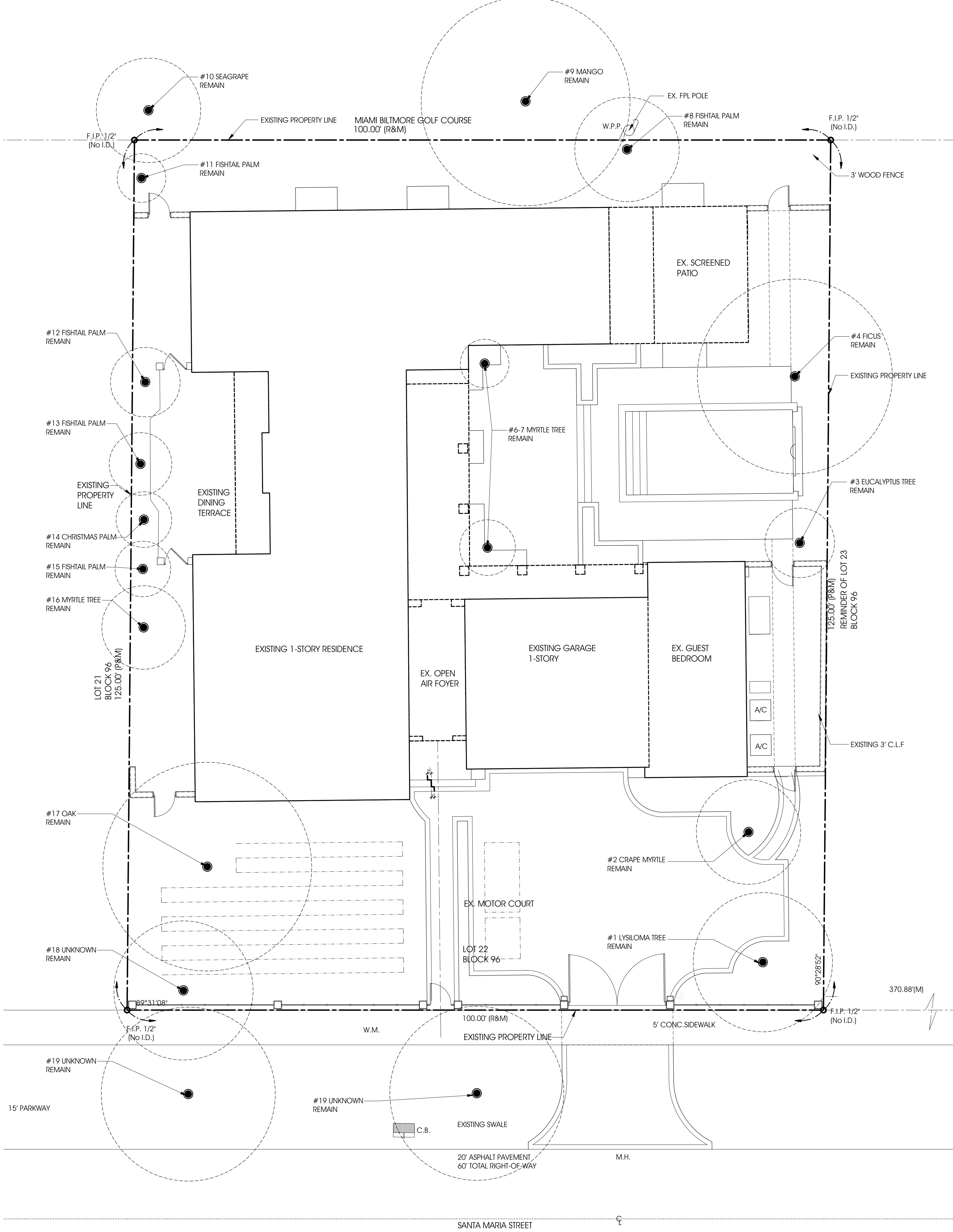
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DRAWN

REVIEW

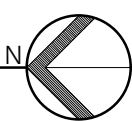
PROJ. N.

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LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



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Title:
Remodeling & Addition
Newbauer Residence

4501 Santa Maria St.
Coral Gables, Fl. 33146

DRAWING

Landscape Plan

SEAL



Nelson de Leon
AR 13937

SHEET NO.

L-01.0

SCALE

DRAWN

REVIEWED

NDL

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Existing Tree / Palm to remain.

Existing Tree / Palm to be removed.

Existing Tree / Palm to be relocated.



- 1) Tree Protection Barricade dimensions are measured from the outside of the trunk.
- 2) Tree Protection Barricades are adjusted where necessary to account for buildings, adjacent sidewalks, & street/curb.
- 3) No disturbance to soil or disposal of any building material/waste is permitted within the tree protection zone.
- 4) Barricades to remain in place throughout the duration of construction activities.
- 5) Barricades to be attached to existing CLF's, WD fences or concrete walls where applicable.
- 6) Barricades to be located no closer than 2' from edge of pavement.
- 7) TPZ dimensions are 6' from face of trunk for exist. trees to remain on site or in the R/W. 3' for exist. palms.



L-01.1